

**MEETING OF  
THE HISTORIC DISTRICT COMMISSION  
PORTSMOUTH, NEW HAMPSHIRE  
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom  
(See below for more details) \**

**6:30 p.m.**

**February 05, 2025**

**AGENDA (revised on January 31, 2025)**

*The Board's action in these matters has been deemed to be quasi-judicial in nature.  
If any person believes any member of the Board has a conflict of interest,  
that issue should be raised at this point or it will be deemed waived.*

**I. APPROVAL OF MINUTES**

1. January 08, 2025

**II. ADMINISTRATIVE APPROVALS**

1. 93 Pleasant Street
2. 40 Pleasant Street
3. 15 Pleasant Street
4. 442-444 Middle Street
5. 1 Walton Alley
6. 100 High Street
7. 50 Austin Street
8. 87 Market Street

**III. CERTIFICATE OF APPROVAL EXTENSION REQUESTS**

A. Petition of Martingale LLC, owner, for property located at 99 Bow Street, wherein permission is requested for a one-year extension of the Certificate of Approval originally granted on April 03, 2024, to allow exterior renovations to an existing structure (storefront assembly repair and replacement and brick repairs) as per plans in file in the Planning Department. Said property is shown on Assessor Map 117 as Lot 24 and lies within Character District 5 (CD5), Downtown Overlay, and Historic Districts.

**IV. PUBLIC HEARINGS (NEW BUSINESS)**

1. Petition of 409 Franklin Pierce Highway, LLC, owner, for property located at 24 Market Street, wherein permission is requested to allow exterior renovations to an existing structure (storefront assembly repair and replacement and brick repairs) as per plans in file in the Planning

Department. Said property is shown on Assessor Map 117 as Lot 24 and lies within Character District 5 (CD5), Downtown Overlay, and Historic Districts.

2. Petition of KGM 2, LLC, owner, for property located at 62 Deer Street, wherein permission is requested to allow exterior renovations to an existing structure (replacement windows) as per plans in file in the Planning Department. Said property is shown on Assessor Map 118 as Lot 27 and lies within Character District 4-L1 (CD4-L1), Downtown Overlay, and Historic Districts.

3. Petition of Jane M. Man Associates, LLC, owner, for property located at 113 Market Street, wherein permission is requested to allow exterior renovations to an existing structure (replacement windows to match installed at 87 Market Street) as per plans in file in the Planning Department. Said property is shown on Assessor Map 106 as Lot 38 and lies within Character District 5 (CD5), Downtown Overlay, and Historic Districts.

4. Petition of Jane M. Man Associates, LLC, owner, and Morton Market Realty, C/O for property located at 117 Market Street, wherein permission is requested to allow exterior renovations to an existing structure (replacement windows to match those installed at 87 Market Street) as per plans in file in the Planning Department. Said property is shown on Assessor Map 106 as Lot 37 and lies within Character District 5 (CD5), Downtown Overlay, and Historic Districts.

5. Petition of R.A. Morton Holdings, LLC, owner, for property located at 93 Market Street, wherein permission is requested to allow exterior renovations to an existing structure (replacement windows to match those installed at 87 Market Street) as per plans in file in the Planning Department. Said property is shown on Assessor Map 106 as Lot 42 and lies within Character District 5 (CD5), Downtown Overlay, and Historic Districts.

6. Petition of JFJ Market Square, LLC, owner, for property located at 2 Market Square, Unit E, wherein permission is requested for the demolition of a wooden shed (not to be replaced) and for the replacement of one window as per plans on file in the Planning Department. Said property is shown on Assessor Map 117 as Lot 17-E and lies within Character District 4 (CD4), Downtown Overlay, and Historic Districts.

## **V. WORK SESSIONS (NEW BUSINESS)**

A. Work Session requested by, owner, for property located at 266-278 State Street, wherein permission is requested to allow the construction of a new 4-Story mixed-use building as per plans in file in the Planning Department. Said property is shown on Assessor Map 107 as Lots 78,78, and 80 and lie within Character District 4 (CD4), Downtown Overlay, and Historic Districts.

## **VI. ADJOURNMENT**

*\*Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

[https://us06web.zoom.us/webinar/register/WN\\_yprANimzTo-1VDWUFI4vLA](https://us06web.zoom.us/webinar/register/WN_yprANimzTo-1VDWUFI4vLA)

**MINUTES OF  
THE HISTORIC DISTRICT COMMISSION  
PORTSMOUTH, NEW HAMPSHIRE  
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

**6:30 p.m.**

**January 08, 2025**

**MEMBERS PRESENT:** Chair Reagan Ruedig; Vice-Chair Margot Doering; City Council Representative Rich Blalock; Members Jon Wyckoff, Martin Ryan, Dr. Dan Brown, Dave Adams, and Alternate Larry Booz

**MEMBERS EXCUSED:** None.

**ALSO PRESENT:** Izak Gilbo, Planner 1, Planning Department

.....  
Mr. Booz was late to the meeting. Chair Ruedig called the meeting to order at 6:30 p.m.

**I. APPROVAL OF MINUTES**

1. December 04, 2024

*Mr. Adams moved to **approve** the minutes as submitted, seconded by Councilor Blalock. The motion passed unanimously.*

**II. ADMINISTRATIVE APPROVALS**

1. **33 Jewell Court**

[Timestamp 3:32] Mr. Gilbo said the applicant wanted to replace two third-floor windows due to the vents needed for a new heating and cooling system. He said the Commission previously had questions on the vent's sizing and whether some of the original window trim work could be kept.

Project architect Richard Desjardins was present and reviewed four options. He said Option 1 was the original option but then they discovered that the windows were 1977 replacement ones and there was an arched part in the window, so they proposed to replace the entire window and leave the arched portion but infill it with a standard louver size. He said Option 2 was to keep the window frame and remove the sashes and place the louver within the frame. He said Option 3 was a replicated 6/6 window with two aluminum sashes in front of the louver, and Option 4 was to create two new masonry openings within the elevation itself to provide the smallest louver size possible but was an undesirable option that would cause saw cutting into the brick, repointing around the lintel area and replacing damaged brick. He said Options 1, 2, and 3 would allow them to place windows back into the openings if there was a future change in use.

[Timestamp 8:53] Mr. Wyckoff said he thought Option 2 was the best because if it didn't work out, the frame would still be there. Mr. Ryan agreed. Architect Mark Gianniny was also present

and said they did not recommend Option 2 because it was a 1990s replacement window and would not save anything historical. Mr. Adams said Option 2 was a better example of putting louver into an existing building. There was further discussion about Option 1 vs. Option 2 and it was agreed that Option 2 was the best choice.

**Stipulation:** Option 2 shall be used.

## **2. 93 Pleasant Street**

Mr. Gilbo said the Commission previously asked that the metal awnings return for further discussion. He said there were now two options, the previously-approved one and a mockup one. He showed a photo of the mockup installed on the building. Mr. Ryan said the mockup looked like he expected it to and that he could accept it.

## **3. 50 South School Street, Unit #4**

The request was for a new kitchen exhaust vent that was visible to the public. He showed a photo of the vent. Vice-Chair Doering asked if the vent was similar to the one below it in size and shape. Mr. Gilbo said the application did not indicate the size.

**Stipulation:** The vent size shall match the existing venting on that façade and shall be painted to match the brick.

## **4. 254 South Street**

Mr. Gilbo said the applicant was doing a kitchen renovation and wanted to remove a first-floor window on the side of the home toward the rear, move the location of the window, and replace it with a Marvin Elevate half-hung window. Vice-Chair Doering said it would result in an odd asymmetry but the window would be a good way toward the back of the house in this case.

## **5. 2 Russell Street**

[Timestamp 18:30] Ryan Plummer of 2 International Group was present to review some proposed changes to a previously-approved petition. He said the corner of Building 1 needed to be pulled out of the easement and the sprinkler room had to have direct access to the outside, so they updated it to show the door and metal infill panels. He said Building 2 had a similar issue because the building's back side faced the parking garage, so they updated the glazing to metal infill panels. He said they didn't need as much mechanical screening on all three buildings as previously shown because the equipment on the roof was much smaller than they thought. He said they had two additional retail spaces with direct access to the street, so there were doorways there instead of windows. He said the entrance to the mechanical space was now in Building 1.

The Commission voted on the five items. Mr. Adams said he would abstain from voting because he did not support the 2 Russell Street application.

*Councilor Blalock moved to **approve** the five items with stipulations on Items 1 and 3. Vice-Chair Doering seconded. The motion **passed** unanimously, with Mr. Adams abstaining.*

### **III. CITY COUNCIL REFERRAL**

**1.** Request from **Scott and Jessie Rafferty, owners**, for property located at **185 Orchard Street** wherein permission is requested for the removal of 185 Orchard Street from The Historic District. The City Council voted to request a vote from the Historic District Commission and Planning Board at the October 07, 2024 meeting. Said property is located on Assessor Map152 Lot 2-1 and lies within the General Residence A (GRA) and Historic Districts.

[Timestamp 23:20] Mr. Gilbo said the property was recently divided and that it was previously part of 15 Lafayette Road, which directly faced the Historic District. He said the back half faced Orchard Street. He said the new divided lot was still under the HDC's jurisdiction but did not make sense because Orchard Street itself was not in the Historic District. He said the Planning Board recommended approval and that the Commission was there to give their recommendation. Chair Ruedig said she met with the Planning Department in December to start the process of clarifying the boundary lines and that they would follow the property lines of all the properties facing Middle Street. Mr. Wyckoff said he thought it was a 100-ft corridor and that the map did not indicate that. It was further discussed. Chair Ruedig said the Planning Department would bring a recommendation to the City Council to have those boundary lines clarified. Councilor Blalock said the City Council agreed and wanted to ensure that the Commission was also in agreement. Mr. Wyckoff said the house was styled for where it sat. Mr. Adams asked if the proposed change fell in line with movement of the HDC's boundaries. Chair Ruedig agreed and said it would be further discussed before bringing it to the City Council to ensure that everyone understood what was proposed and agreed that the new boundaries made sense. Mr. Ryan said the house could be approved by the Commission as designed. Chair Ruedig said it was more of the intent of what the Historic District boundaries were drawn for, and in that area the intent was to take in the corridor of Middle Street and Lafayette Road. She said that particular part focused on that corridor and not the side streets. Mr. Ryan said he still thought it could remain in the Historic District and be accommodated. Mr. Adams said he had similar sentiments and found it difficult to think that someone would want to give up the level of protection that the Historic District provided to a homeowner. Chair Ruedig said having that one property included in the Historic District that is focused on Middle Street would be incongruous and would not protect the neighborhood around Orchard Street as much as it could. It was further discussed. Mr. Ryan said if the house remained in the Historic District and the owners wanted to change out a storm door, the Commission would not hold the owner to the same standard as the South End. He said he did not think that it should be advertised that it was a bad thing to be in the Historic District and to retreat from it. Dr. Brown asked if there was a real estate value to being in the Historic District. Vice-Chair Doering said it was a point of view. Councilor Blalock pointed out that the project's construction had already been delayed a year.

### **DECISION OF THE BOARD**

*Councilor Blalock moved to recommend **removing** 185 Orchard Street from the Historic District. Vice-Chair Doering seconded.*

[Timestamp 33:41] Vice-Chair Doering said the Commission had already discussed redrawing the boundary lines. She said when that redrawing happened, the property would have fallen out. She also thought the house should go with the neighborhood it belonged to, and once the subdivision happened, it would belong to the Orchard Street neighborhood.

*The motion **passed** by a vote of 5-2, with Mr. Ryan and Mr. Adams opposed.*

#### IV. REQUEST FOR REHEARING

1. Request from **Glen Brown, owner**, for property located at **50 Maplewood Avenue, Unit #305**, for a rehearing of the Administrative Approval that was granted for property located at 238 Deer Street on November 06, 2024. Said property is shown on Assessor Map 125 as Lot 3 and lies within the Character District 4 (CD4) and Historic Districts.

[Timestamp 36:15] Chair Ruedig referred to the letter proposing the request for rehearing and said it would be an administrative discussion on whether the Commission thought the rehearing was warranted due to something procedurally out of line that the Board did, whether there was new information brought forward, or whether the Board had not correctly applied their criteria and findings of fact or decision. Mr. Wyckoff said it merited more discussion because it was visible from the petitioner's condo and could be fixed by a higher fence. He said he felt that the Board's findings of fact were slight askew. Chair Ruedig said that slight abnormality for it was that it was an administrative approval, which was harder because the Commission didn't generally have written findings of fact for that sort of thing. She said the rehearing would be on that particular administrative approval and decision and that the rehearing process was technically a public hearing. Mr. Ryan said he did not see new evidence or new data, and that the only new thing he saw was that the applicant did not like the Commission's decision. He said it was not a good condition visually but thought the Commission did their job in protecting the Historic District. He said something might have to be done in the zoning regulations for something of that nature. Mr. Adams said the Commission might have inappropriately accepted the application as an administrative decision. He said it was presented as a modification at the time and it wasn't that there were more or larger units but that the units had to be moved up in the air. He said moving things up seemed difficult but was not a design problem because it was the same stuff but just in a different place. He said he didn't think it was in the Commission's purview to change and that he didn't see that they did anything wrong. Mr. Wyckoff said he made the recommendation to approve all the administrative approvals at the time, and according to the letter from the 238 Deer Street owner, he said the owner noted that some of the condenser units were increased in size and much larger than presented on June 6. Chair Ruedig said that would have to be clarified by Vincent Hayes in the Planning Department. Vice-Chair Doering said it was pointed out that in the process of designing, the applicant went from 21 condenser units down to 15 units, but she thought it was too bad that the owners were not willing to make a slightly higher railing. She said they claimed that the railing was high enough to cover all but an inch or two of the condenser. She said the picture previously provided to the Commission was not the final view and that the fence would be higher. She said the Commission approved a lower number of condensers and approved a fence to provide screening, and she didn't see anything that the Commission could have done differently.

## DECISION OF THE COMMISSION

*Councilor Blalock moved to **grant** the request to rehear, seconded by Vice-Chair Doering.*

*The motion **failed** by a roll vote of 2-5, with Mr. Ryan, Vice-Chair Doering, Mr. Adams, Chair Ruedig, and Councilor Blalock voting in opposition.*

## V. PUBLIC HEARINGS (OLD BUSINESS)

A. Petition of **Jay Ganesh, LLC, owner**, for property located at **201 Islington Street** wherein permission is requested to remove and replace fencing as per plans on file in the Planning Department. Said property is shown on Assessor Map 138 as Lot 33 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts.

## SPEAKING TO THE PETITION

[Timestamp 48:00] The co-owner Dixita Patel was present and said he wanted to put a solid 6-ft vinyl fence around the building to make his business more appealing. Mr. Gilbo asked if the existing chain-link fence would be removed, and Mr. Patel said it was not his fence. Mr. Gilbo asked the applicant if the fence was proposed to go to the side entrance points or all the way to the corner of Islington Street. Mr. Patel said the fence would go one the side with the entrance and not on the other side. Mr. Adams asked if the existing fence posts and metal would be removed. Mr. Patel said it was the neighbor's fence. Mr. Adams pointed out that an abutter said the fence was the applicant's fence. Mr. Patel said he could find out more information but that he did not plan to touch the metal fence. Vice-Chair Doering asked if there were plans for shielding the dumpster, and Mr. Patel said there were not. She said the building was in the Historic District even if the building itself wasn't historic, and a modern plastic fence would not help the building fit into the Historic District more fully. Mr. Wyckoff said he supported the petition because the building was a commercial one, a gas station that had a large parking lot, and a vinyl fence at that location was better than one on a residential property in that neighborhood. Dr. Brown said the fence would also hide a less historic chain-link fence, so he was in favor of it. Mr. Adams said he was on the site and saw that almost every abutting property was covered with vinyl plastic materials, so he thought the fence was in keeping with the current situation. He said he did have an issue with the presented plan, however, because he wanted the metal fence removed because it was an eyesore. He said the proposed vinyl fence was appropriate but thought some low shrubbery similar to what was on the other side of the property would solve the problem and would not create a wall for the neighborhood. He asked that the plan be slightly adjusted. Mr. Ryan said he wanted to see a site plan that showed how far the plastic fence would extend to the left and right of the building. Mr. Patel said he didn't plan to do anything on the left side of the building because it had nice landscaping but that he could also do landscaping on the right side instead of the fence. He said the dumpster could also be enclosed if the Commission requested it.

Vice-Chair Doering suggested continuing the application so that the applicant could return with the site plan and information about who owned the metal fence. Chair Ruedig said it could also be approved with the stipulation that the applicant return with a site plan.

**Note:** at this point in the meeting, Mr. Booz arrived.

Chair Ruedig opened the public hearing.

### **SPEAKING TO, FOR, OR AGAINST THE PETITION**

No one spoke, and Chair Ruedig closed the public hearing.

### **DECISION OF THE COMMISSION**

*Mr. Wyckoff moved to **grant** the Certificate of Approval for the petition, with the following stipulations:*

- 1. The fence shall only run along the rear and not wrap around the right side;*
- 2. If the existing metal chain-link fence is the owner's or if the fence is the neighbor's fence and they allow him to remove it, the owner shall remove it;*
- 3. The owner shall return with a site plan showing exactly where the fence will go.*

*Dr. Brown seconded the motion.*

Mr. Wyckoff said the project would conserve and enhance property values and would have compatibility of design with surrounding properties.

*The motion **passed** unanimously.*

## **VI. PUBLIC HEARINGS (NEW BUSINESS)**

**1.** Petition of **Sarah Jane Fodero and Joseph Crawford Wolfkill III, owners**, for property located at **192 New Castle Avenue** wherein permission is requested to allow exterior renovations to an existing structure (replacement windows) as per plans on file in the Planning Department. Said property is shown on Assessor Map 207 as Lot 51-1 and lies within the Single Residence B (SRB) and Historic Districts.

### **SPEAKING TO THE PETITION**

[Timestamp 1:06:10] The owner/applicants Sarah Jane Fodero and Joseph Wolfkill were present, along with their contractor Tom Entolino. Ms. Fodero said the windows were in rough shape and that they wanted to replace them with Andersen 400 Series windows to match the neighbor's windows. She said they would paint and keep as much molding as possible and would not touch the frame or casing, and would remove the existing storms.

[Timestamp 1:08:39] Mr. Wyckoff said the Andersen windows would be a good replacement and match the ones next to it. He noted that the Commission should have previously insisted on 6/6 windows instead of the 2/2 windows because they would be more appropriate for the 1740s house. Dr. Brown asked when the neighbor's windows were put in. Mr. Wolfkill said he thought it was 10-15 years ago. Mr. Ryan confirmed that the 2/2 windows would be replaced with Andersen 2/2 windows. Vice-Chair Ruedig asked if the standard white aluminum screens would

be inside or outside. Mr. Entolino said they would be outside and that the screens could be painted to match the ones on the left side so that they didn't stand out. Mr. Adams said the left-side windows had an inappropriate paint. Mr. Wolfkill said the paint he would use would be better. Mr. Booz said the Andersen product was a premium one that he had used. Mr. Wyckoff suggested using the Andersen 400 Series stone or bronze color because it would accept the darker color better than white. Chair Ruedig said she was sad to see historic windows removed because their repair would make the windows last longer than expensive replacement windows, but she thought it made a good case for the rest of the house becoming consistent.

Chair Ruedig opened the public hearing.

### **SPEAKING TO, FOR, OR AGAINST THE PETITION**

No one spoke, and Chair Ruedig closed the public hearing.

### **DECISION OF THE COMMISSION**

*Councilor Blalock moved to **grant** the Certificate of Approval for the petition as presented, seconded by Mr. Wyckoff.*

Councilor Blalock said the project would conserve and enhance property values and would be consistent with the special and defining character of the surrounding properties.

*The motion **passed** unanimously.*

### **VII. ELECTION OF OFFICERS**

- 1. Chair**
- 2. Vice-Chair**

*Mr. Adams nominated Ms. Ruedig to remain as Chair and Ms. Doering to remain as Vice-Chair. Mr. Ryan seconded. The motion **passed** unanimously.*

[Timestamp 1:19:27] Chair Ruedig said the Commission would work on redefining the Historic District boundaries and getting that extra chapter into their guidelines. She said she would present a draft to the Commission to make sure everyone agreed. It was further discussed.

### **VIII. ADJOURNMENT**

The meeting adjourned at 7:55 p.m.

Submitted,

Joann Breault  
HDC Meeting Minutes Taker

# **HDC**

## **ADMINISTRATIVE**

### **APPROVALS**

**February 05, 2025**

- |           |                              |                              |
|-----------|------------------------------|------------------------------|
| <b>1.</b> | <b>93 Pleasant Street</b>    | <b>-Recommended Approval</b> |
| <b>2.</b> | <b>40 Pleasant Street</b>    | <b>-Recommended Approval</b> |
| <b>3.</b> | <b>15 Pleasant Street</b>    | <b>-Recommended Approval</b> |
| <b>4.</b> | <b>442-444 Middle Street</b> | <b>-Recommended Approval</b> |
| <b>5.</b> | <b>1 Walton Alley</b>        | <b>-Recommended Approval</b> |
| <b>6.</b> | <b>100 High Street</b>       | <b>-Recommended Approval</b> |
| <b>7.</b> | <b>50 Austin Street</b>      | <b>-Recommended Approval</b> |
| <b>8.</b> | <b>87 Market Street</b>      | <b>-Recommended Approval</b> |

**1. 93 Pleasant Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval for changes to a previously approved design (shutter design, building signage and landscaping).

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

# 93 PLEASANT STREET RENOVATIONS & ADDITION



## DRAWING LIST

P0.0 COVER  
P1.0 LANDSCAPE PLAN  
P1.1 TREADWELL MANSION SIGN  
P1.2 SHUTTERS, PREVIOUSLY APPROVED  
P1.3 SHUTTERS, PROPOSED

### HDC ADMINISTRATIVE APPROVAL: REVISIONS TO PREVIOUSLY APPROVED APPLICATION:

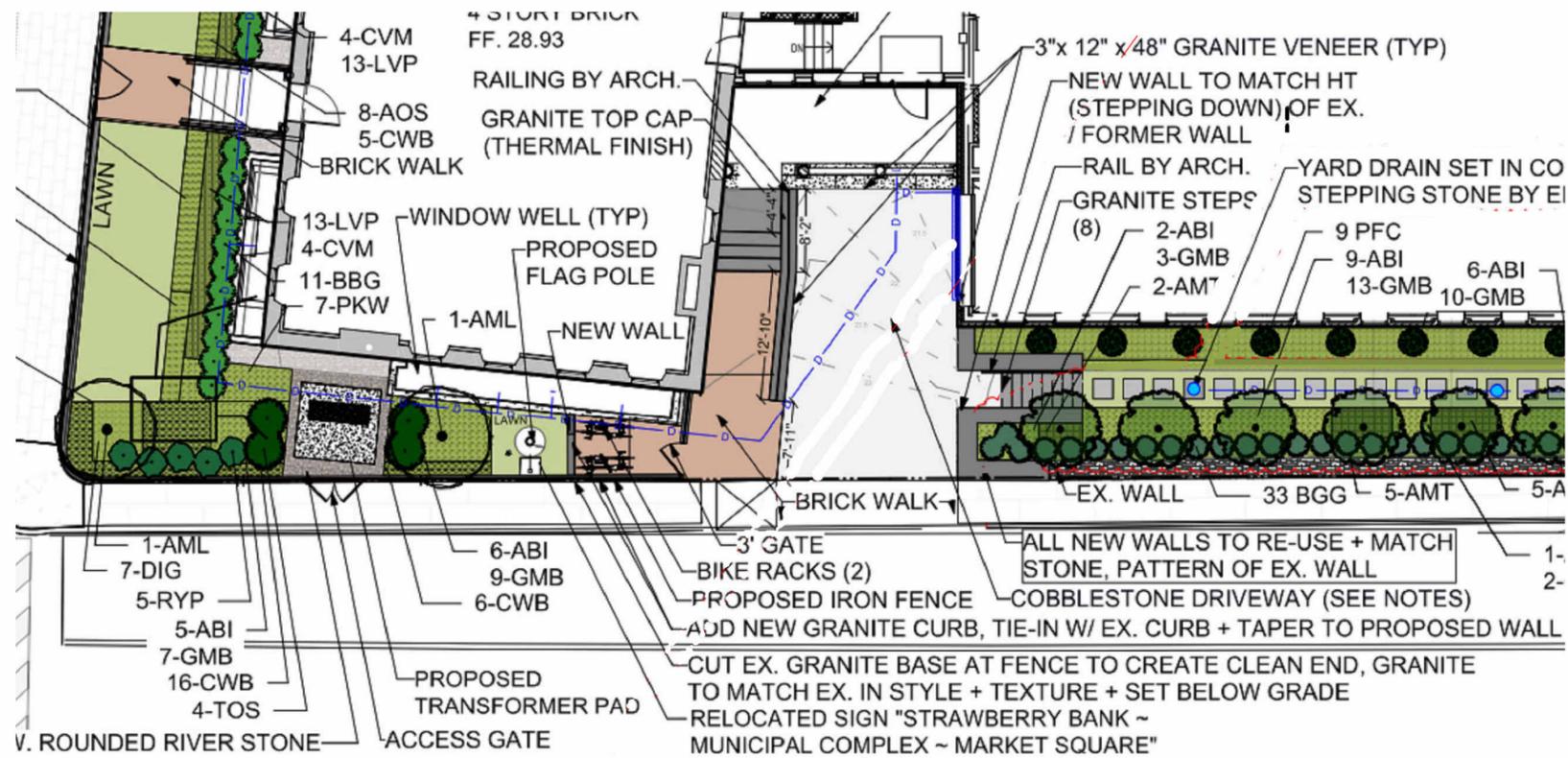
- SHUTTERS
- BUILDING SIGN
- LANDSCAPING

**P0.0** COVER  
93 PLEASANT STREET

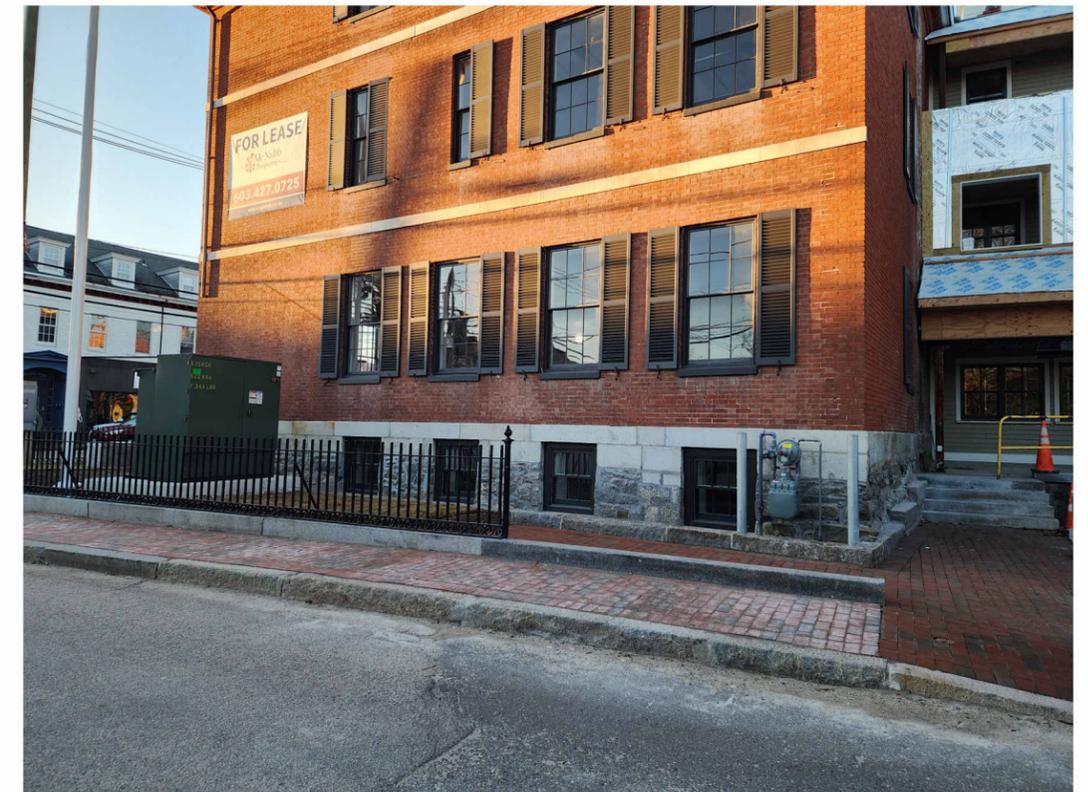
01/17/2025



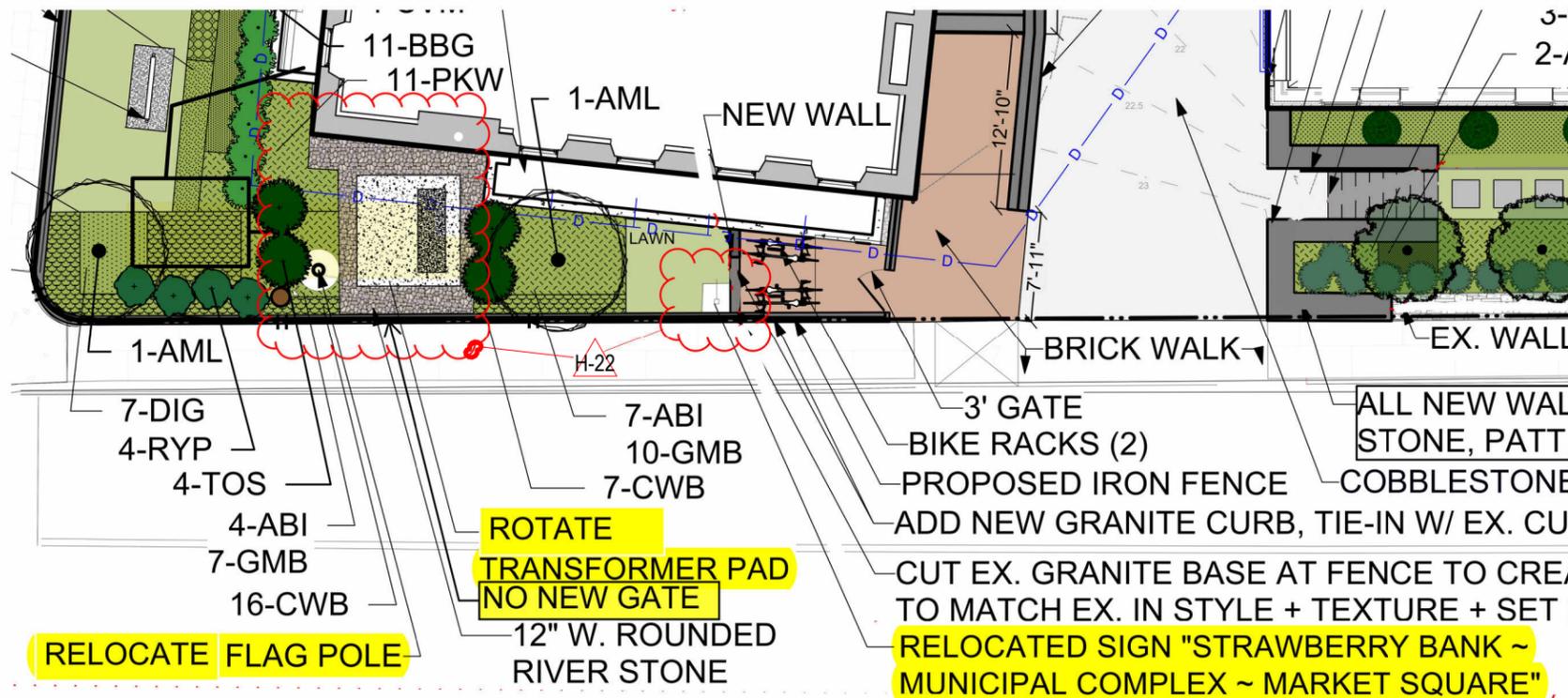
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**PREVIOUSLY APPROVED**



**CURRENT PROGRESS**



**PROPOSED**

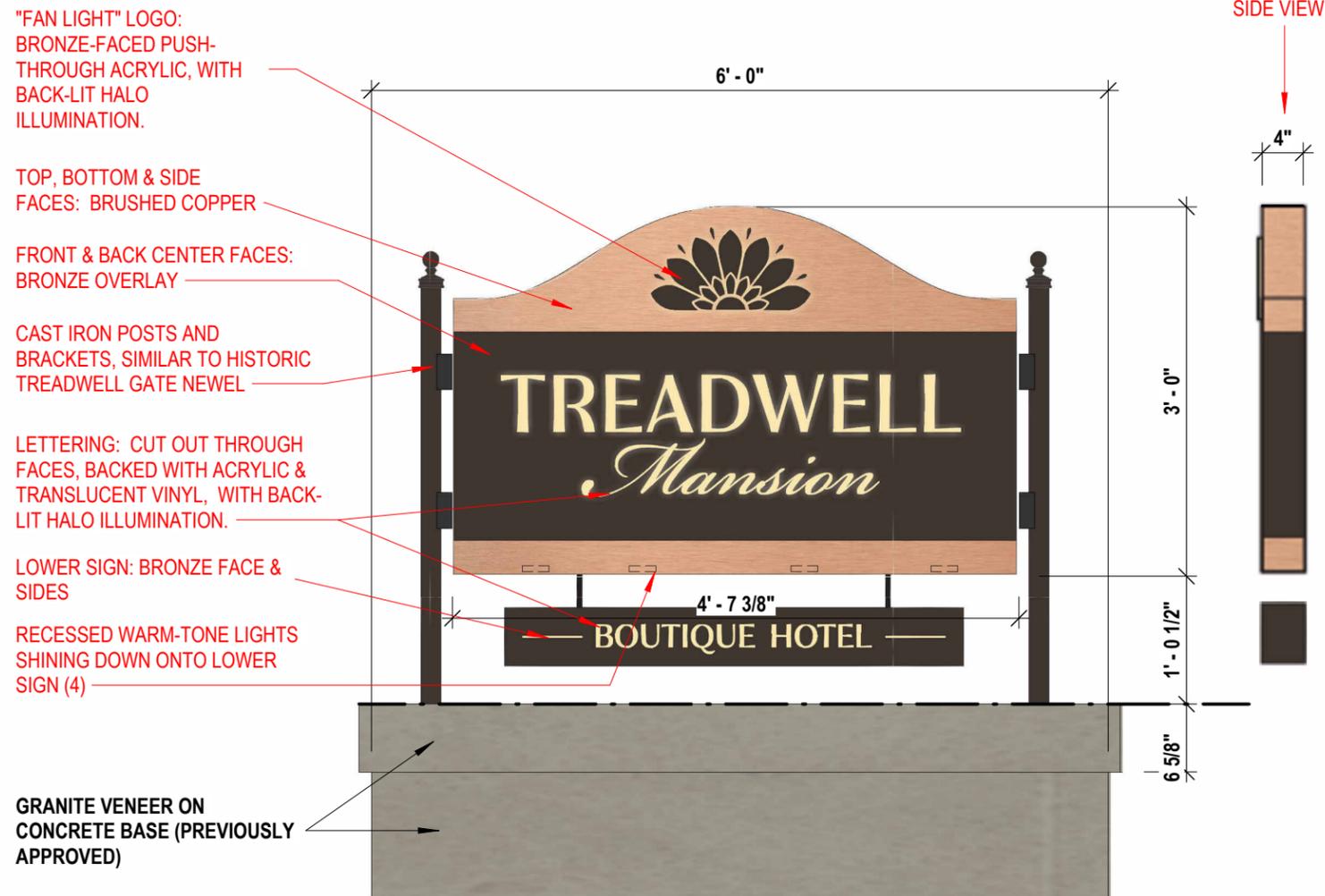
P1.0

**LANDSCAPE PLAN  
 93 PLEASANT STREET**

01/17/2025



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1 SIGN ELEVATION  
3/4" = 1'-0"



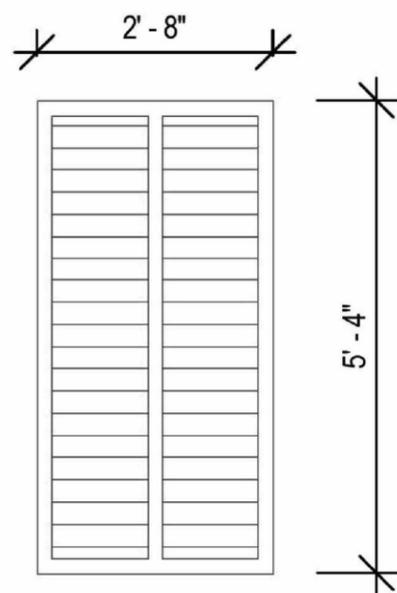
2 SIGN PERSPECTIVE  
NTS

P1.1 BUILDING SIGN  
93 PLEASANT STREET

01/17/2025



SLIDING ALUMINUM SHUTTERS



S1 SHUTTER



1 SLIDING SHUTTER DETAIL  
NTS



INNOVATE YOUR SPACE  
WITH WEATHERWELL ALUMINUM SHUTTERS

**Accuride**  
Always Moving Forward

## Corrosion-Resistant Movement Solutions

Accuride corrosion-resistant slides deliver unmatched performance no matter the environment. Super heavy-duty, over-travel, stainless steel, or **aluminum**. Whatever the challenge, we have the movement solution.

Premium options for:

- Outdoor kitchens
- **Marine cabinetry**
- Industrial manufacturing



**P1.2 SHUTTERS, PREVIOUSLY APPROVED**  
**93 PLEASANT STREET**

01/17/2025

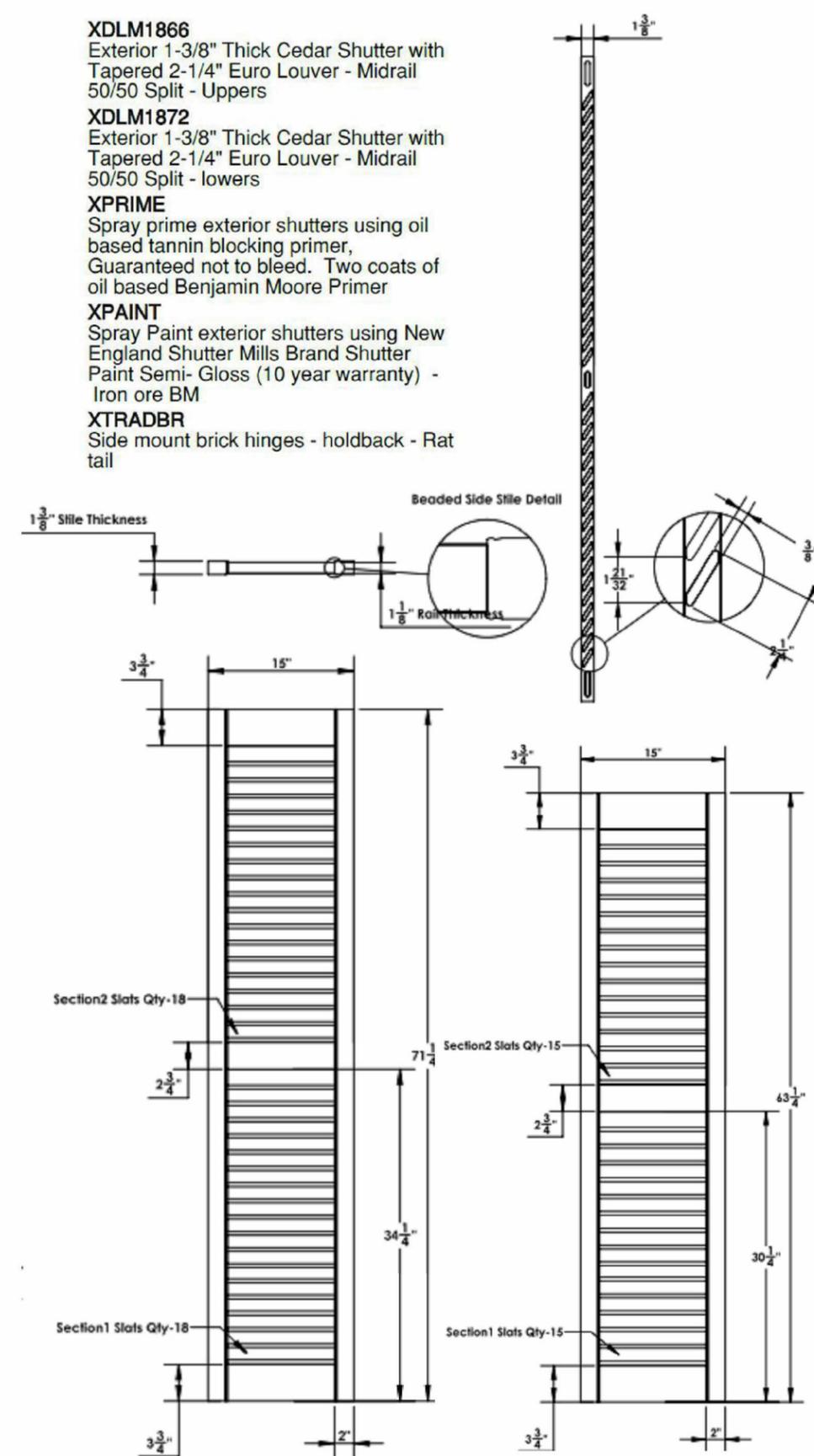
GRAPHIC SCALE: 1/16" = 1'-0"



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- XDLM1866**  
Exterior 1-3/8" Thick Cedar Shutter with Tapered 2-1/4" Euro Louver - Midrail 50/50 Split - Uppers
- XDLM1872**  
Exterior 1-3/8" Thick Cedar Shutter with Tapered 2-1/4" Euro Louver - Midrail 50/50 Split - lowers
- XPRIME**  
Spray prime exterior shutters using oil based tannin blocking primer, Guaranteed not to bleed. Two coats of oil based Benjamin Moore Primer
- XPAIN**  
Spray Paint exterior shutters using New England Shutter Mills Brand Shutter Paint Semi- Gloss (10 year warranty) - Iron ore BM
- XTRADBR**  
Side mount brick hinges - holdback - Rat tail

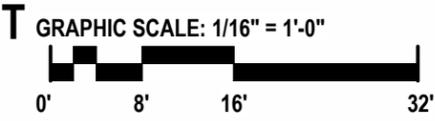


1 3D View from Pleasant @ Court HDC



**P1.3 SHUTTERS, PROPOSED**  
**93 PLEASANT STREET**

01/17/2025



**2. 40 Pleasant Street**

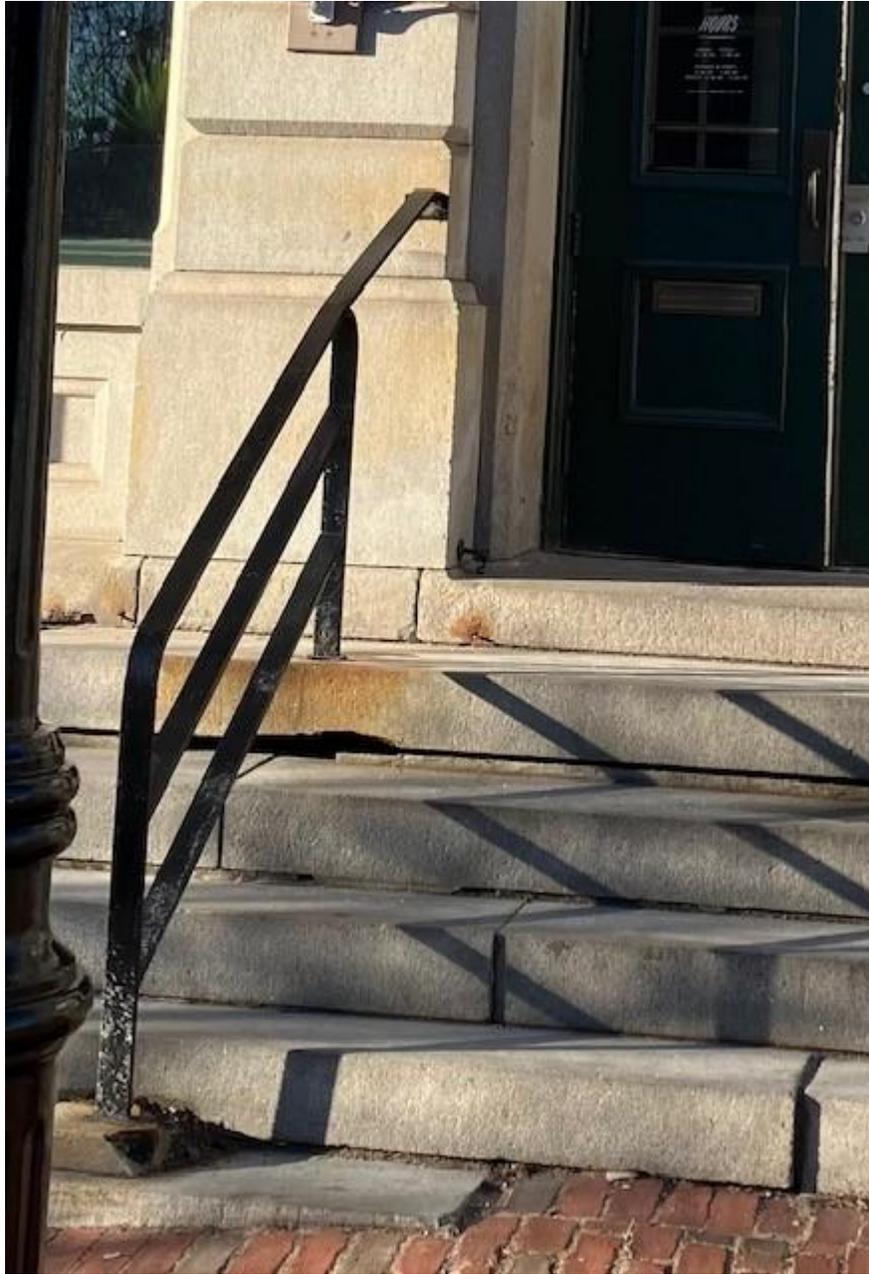
**-Recommended Approval**

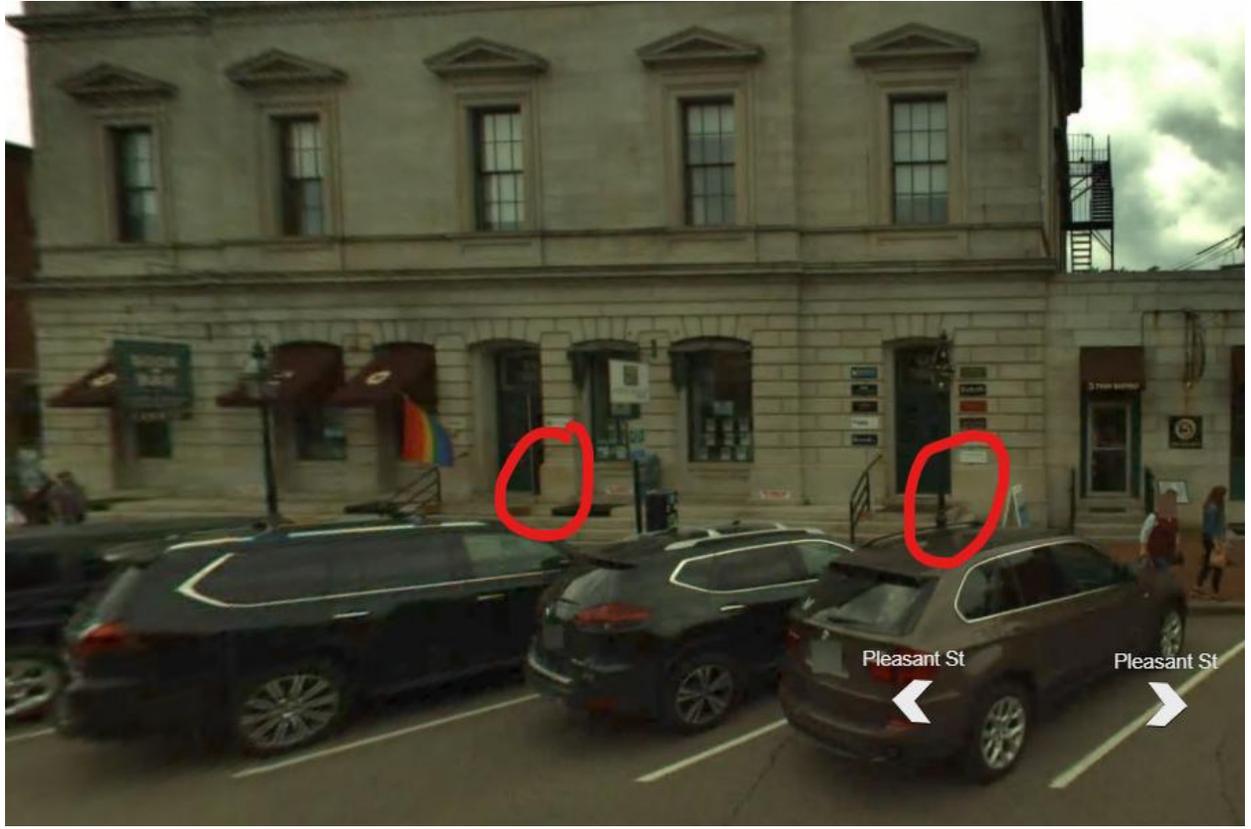
**Background:** The applicant is seeking approval for exterior railings to match those already installed and signage.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_





Dear Members of the Historical District Commission,

We recently took over the Book and Bar space at 40 Pleasant Street and opened Howling Wolf Taqueria. We are seeking a variance to allow use a sign that is 60"x48".

With signage, our objective was to keep all the existing infrastructure in place, simply replacing their signage with updated signs of the same size. This would allow us to utilize all the current hardware, so we did not have to make any more changes than necessary as we know this is in a historic district. After submitting the initial application, we were notified that signage that had been in place for at least the last 6 years (most likely longer, we just do not have any dated pictures of the sign prior to that) was a non-conforming sign.

As a restaurant owner, I am not as versed in responding to specifics in codes, so I will defer to the enclosed letter from Portsmouth Sign company for more details.

Thank you very much for your time and consideration.

Eric Holstein

Howling Wolf Taqueria



Variance Planning Department  
Town of Portsmouth  
1 Junkins Avenue  
Portsmouth, NH 03801

Subject: Request for Variance for Projecting Sign at 40 Pleasant Street (Howling Wolf)

Dear Members of the Planning Board,

I am writing on behalf of Portsmouth Sign, representing the Howling Wolf, which recently relocated to 40 Pleasant Street in Portsmouth. We are requesting a variance to hang a projecting sign of the same size as the previous sign that was located at this space for Book & Bar. This new sign is intended to be an exact replacement, both in size and design, to the original sign that was previously permitted and installed.

We were informed that, under the current interpretation of the ordinance, the new sign would only be allowed to be half the size of the original sign, which we respectfully feel would be detrimental to the visibility of the business. We are therefore seeking a variance to install the same size sign (approximately [insert dimensions]) in the same exact location, utilizing the same bracket that supported the previous sign.

In accordance with Section 10.233.20 of the Portsmouth Zoning Ordinance, we believe that our request meets all of the criteria for a variance, as outlined below:

- 1. 10.233.21 - The variance will not be contrary to the public interest:**  
The new sign for Howling Wolf will not alter the character of the neighborhood. The sign is an exact replica of the previous sign that was in place for several years, and it will not affect public health, safety, or welfare. The proposed sign will continue to serve as a clear, attractive marker for the business without causing any disruption or concern to the public.
- 2. 10.233.22 - The spirit of the Ordinance will be observed:**  
The spirit of the ordinance is intended to maintain the aesthetic and functional integrity of signage within the city. The new sign maintains this intent, as it mirrors the size and design of the previous sign, and its installation will not negatively impact the visual quality or safety of the surrounding area.
- 3. 10.233.23 - Substantial justice will be done:**  
Allowing the new sign to be installed in the same size and location as the previous sign ensures that no injustice will be done to the property owner or the business. The new sign was specifically produced to match the previous sign, and altering its size would create unnecessary inconvenience and additional costs for the business. The surrounding public will not be impacted by this change.
- 4. 10.233.24 - The values of surrounding properties will not be diminished:**  
The proposed sign is consistent with the previous sign that has been in place for several years. It has not caused any reduction in the value of surrounding properties, and we do not foresee any negative impact from reinstalling a sign of the same size. In fact, this type of consistent signage contributes positively to the character of the neighborhood.
- 5. 10.233.25 - Literal enforcement of the provisions of the Ordinance would result in an unnecessary hardship:**  
The sign for Howling Wolf has already been produced, and the installation of the sign in its original size and location is ready to proceed. Any further delays or changes to the sign would cause unnecessary hardship, as the new design and permitting process would take months to complete. This delay would create a financial burden on the business and impact its ability to effectively communicate with potential customers.

For these reasons, we respectfully request that the Planning Board grant a variance to allow Howling Wolf to install the same size projecting sign that was previously permitted for Book & Bar. We believe this request aligns with the intent of the ordinance, respects the surrounding community, and will not negatively impact public safety or property values.

Thank you for your time and consideration. We are happy to provide any additional information or attend the upcoming meeting to further discuss this request.

**Michelle Gilmore**

Chief Operating Officer  
**Mobile** 603-866-1167

**Web** [northsouthnh.com](http://northsouthnh.com)

**Email** [michelle@northsouthnh.com](mailto:michelle@northsouthnh.com)

19 Nimble Hill Road, Suite 2, Newington NH 03801



---

*A family of companies*



**City of Portsmouth**  
**Sign Permit**  
 Inspection Department  
 1 Junkins Avenue  
 Portsmouth, NH 03801  
 603-610-7243

**Permit Number:**  
SIGN-24-70  
**Date of Issue:**  
October 16, 2024  
**Expires:**  
October 16, 2025

**Owner:** CUSTOM HOUSE LLC  
**Applicant:** Marc Gagnon  
**Contractor:** , Portland Sign Company **Phone #:** (603) 436-0047  
**Location:** 40 PLEASANT ST ,,  
**Description of Project:** Signage for the Howling Wolf Taqueria located at 40 Pleasant Street  
 NOTE: Separate Permit Approval Required for Projecting Sign  
 Signage to Include:  
Projecting Sign A- NOT APPROVED UNDER THIS PERMIT APPLICATION

**WALL SIGNS- (26.28 SF Total)**

**Wall Sign B:**  
 Remove Existing Book & Bar Signage and install One (1) New Non-Illuminated 144.75" (W) x 24.5" (H) Wall Sign. No Change to Existing External Lighting Authorized. **(24.62 SF)**

**Wall Sign C:**  
 Remove Existing Book & Bar Signage and Install One (1) New Non-Illuminated 24" (W) x 10" (H) Wall Sign **(1.66 SF)**

Signage as per rendering by Portsmouth Sign Company, labelled Howling Wolf Taqueria, dated 07/30/2024.  
 No Exterior Changes Authorized without prior Historic Commission Written Authorization

**Sign Type(s):**

- Wall / Attached  
 Wall / Attached

**Total Sign Area:** 27  
**Total Number of New Signs:** 2

**Remarks:**

•

The PERMIT HOLDER has read this permit, the permit application, and the Building Official's marked-up plans and agrees to perform the work authorized including any conditions or requirements indicated thereon; and any stipulations imposed by a Land Use Board in conjunction with the project.

**Code Official:**

*Paul Garand*

This is an e-permit. To learn more, scan this barcode or visit [portsmouthnh.viewpointcloud.com/#/records/85608](https://portsmouthnh.viewpointcloud.com/#/records/85608)



# HOWLING WOLF

t a q u e r i a

**NAME:**  
Howling Wolf  
Exterior Signage\_Portsmouth

**ADDRESS:**  
40 Pleasant Street  
Portsmouth, NH 03801 United States

**SALES PERSON:**  
Carrie Vaughn

**DESIGNER:**  
SS

**DATE:**  
07.30.2024

**CONTACT PRIOR TO ARRIVAL:**  
Eric Holstein  
914-484-2853  
eric@streetlightventures.com

**REQUESTED COMPLETION DATE:**  
Opening 1st Week of September 2024

Survey for measurements and to confirm access to  
State St. Wall Mounted sign completed on 7/22/24

PG	ITEM	REV	DATE
1.0	A HANGING SIGN - OPT 1	6	10.17.24
1.1	ITEM REMOVED	10.17.24	ITEM REMOVED
2.0	ITEM REMOVED	10.17.24	ITEM REMOVED
3.0	ITEM REMOVED	10.17.24	ITEM REMOVED
4.0	ITEM REMOVED	10.17.24	ITEM REMOVED



PortsmouthSign.com  
603-436-0047

**REVISION:**

All orders under \$250 include 1 revision only.  
All orders over \$250 include 2 revisions only.  
Additional revisions will be charged at \$25 per revision.

**PLEASE NOTE:**

Designs are NOT actual size and color may vary depending on printer and/or monitor.

**RETURN SIGNED TO: service@portsmouthsign.com**

I understand this design is the final production order and replaces all previous drawings, notes and verbal instructions to this job. Standard vinyl & paint colors will be unless otherwise specified. I have carefully reviewed this proof and verify that it contains all necessary specifications and represents my order. I authorize fabrication according to this approval.

**SIGNATURE:** \_\_\_\_\_ **Date:** \_\_\_\_\_

© COPYRIGHT 2023, BY PORTSMOUTH SIGN COMPANY. All designs and custom artwork remain the property of Portsmouth Sign Company until the order is complete and paid in full.

**MEMBER**



*The Chamber*

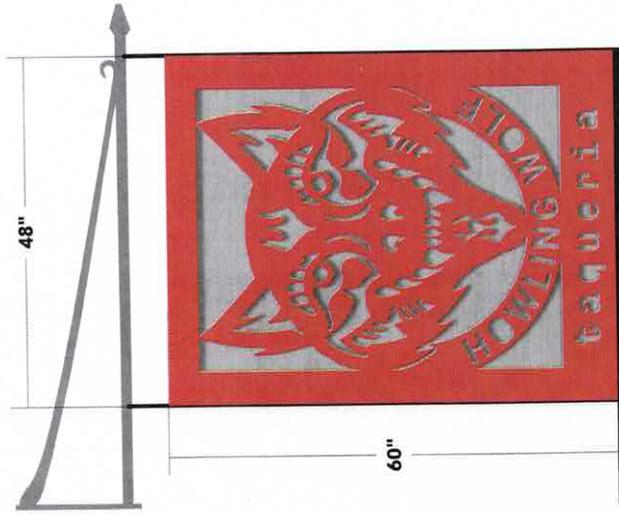
**COLLABORATIVE**  
of Greater Portsmouth

**A**

SCALE: 1/2"=1'

REQUESTED COMPLETION DATE:

Opening 1st Week of September 2024



3/4" PVC

1/2" FRAMING/SPACERS

ROUTED 080 ALUMINUM PANELS

60"

ADD BOTTOM ANTI-SWING BRACKET

### HANGING SIGN:

SIGN TYPE: using existing bracket, add bottom anti-swing bracket, existing 48" x 48" with 48" x 14" drop sign

SIZE (Width x Height x Depth): 48" x 60"

QUANTITY: 1

VINYL TYPE: n/a

SUBSTRATE: 3/4" PVC, routed 080 aluminum panels to each side with 1/2" framing/spacers to give the shadow effect

DOUBLE SIDED

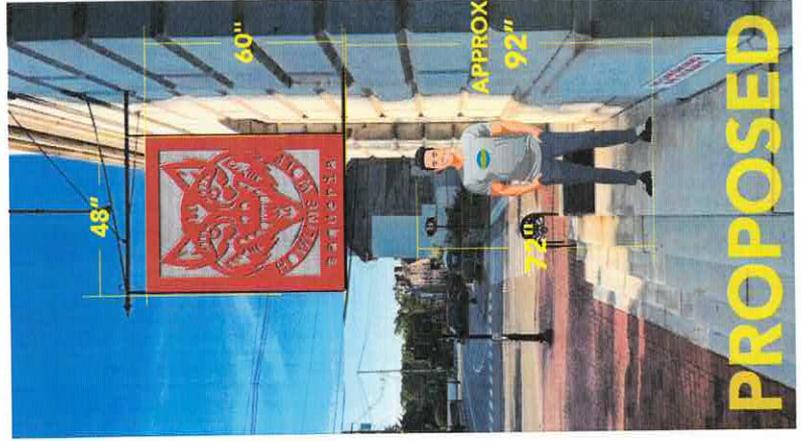
CONTENT: wolf logo, Howling Wolf Taqueria

GRAPHIC/TEXT COLOR: Red (PMS 7621), Grey (PMS Cool Gray 3)

FABRICATION NEEDED: CNC Router, welding, paint

SIGN MOUNTING: side straps and bottom anti-swing bracket

POSTS & HARDWARE: existing bracket, hooks at 48"



COLOR SCHEDULE (CLIENT TO VERIFY)

PMS 7621 C

PMS COOL GRAY 3 C

BLACK

### INSTALLATION:

INSTALL MAX. HEIGHT: approx. 16' to above door panel

REPLACING EXISTING OR NEW: replacing existing

EXISTING SIGN REMOVAL AND DISPOSAL: removal and disposal of all except going over existing for above door panel

SITE SURVEY NEEDED: completed on 7/22

PERMITS NEEDED: Customer to acquire

INSPECTION NEEDED: no

DIG SAFE: n/a

SUBCONTRACTORS NEEDED: n/a

CONTACT PRIOR TO ARRIVAL:

Eric Holstein

914-484-2853

eric@streetlightventures.com

### Projecting Sign Location



**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 09/26/2024

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.



Eric Holstein &lt;eric@streetlightventures.com&gt;

---

## Sign Authorization

5 messages

---

**Eric Holstein** <eric@streetlightventures.com>  
To: Dave Schleyer <dschleyer@chinburg.com>

Tue, Aug 27, 2024 at 12:06 PM

Hey Dave,

We finally have sign designs. Hoping we can get a written authorization from you.

Let me know if you have any questions happy to review.

Best,  
Eric

---

 **240915-03 Proposal Howling Wolf - Exterior.pdf**  
102K

---

**David Schleyer** <dschleyer@chinburg.com>  
To: Eric Holstein <eric@streetlightventures.com>

Tue, Aug 27, 2024 at 12:11 PM

Hey Eric,  
Did they give you renderings? Owner typically asks for it.

Dave Schleyer

Chinburg Properties

**Phone:** (603) 502-5987

**Email:** [dschleyer@chinburg.com](mailto:dschleyer@chinburg.com)

Sent from mobile device.

---

**From:** Eric Holstein <eric@streetlightventures.com>  
**Sent:** Tuesday, August 27, 2024 12:06:34 PM  
**To:** David Schleyer <dschleyer@Chinburg.com>  
**Subject:** Sign Authorization

[Quoted text hidden]

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This email has been scanned for spam and viruses by Proofpoint Essentials. Click [here](#) to report this email as spam.

---

**Eric Holstein** <eric@streetlightventures.com>  
To: David Schleyer <dschleyer@chinburg.com>

Tue, Aug 27, 2024 at 12:30 PM

That would help, sorry, I attached the wrong file.

See Attached



**STREETLIGHT**

VENTURES



[www.streetlightventures.com](http://www.streetlightventures.com)

+1 (914) 484-2853

[Quoted text hidden]

 **240915 - Howling Wolf - Exterior Signage\_Portsmouth-Rev2.pdf**  
5297K

**Eric Holstein** <eric@streetlightventures.com>  
To: David Schleyer <dschleyer@chinburg.com>

Tue, Aug 27, 2024 at 12:31 PM

Sorry, I meant to attach the simpler file with the specific signs. Please use this.

Eric



**STREETLIGHT**

VENTURES



[www.streetlightventures.com](http://www.streetlightventures.com)

+1 (914) 484-2853

[Quoted text hidden]

 **Howling Wolf Portsmouth Signage.pdf**  
1243K

**David Schleyer** <dschleyer@chinburg.com>  
To: Eric Holstein <eric@streetlightventures.com>

Tue, Aug 27, 2024 at 1:14 PM

Approved.

Thanks

**Dave Schleyer**

Commercial Operations and Leasing

Chinburg Properties

**Phone:** (603) 502-5987

Email: [dschleyer@chinburg.com](mailto:dschleyer@chinburg.com)

---

**From:** Eric Holstein <[eric@streetlightventures.com](mailto:eric@streetlightventures.com)>

**Sent:** Tuesday, August 27, 2024 12:31 PM

**To:** David Schleyer <[dschleyer@Chinburg.com](mailto:dschleyer@Chinburg.com)>

**Subject:** Re: Sign Authorization

Sorry, I meant to attach the simpler file with the specific signs. Please use this.

Eric



[www.streetlightventures.com](http://www.streetlightventures.com)

+1 (914) 484-2853

On Tue, Aug 27, 2024 at 12:30 PM Eric Holstein <[eric@streetlightventures.com](mailto:eric@streetlightventures.com)> wrote:

That would help, sorry, I attached the wrong file.

See Attached



[www.streetlightventures.com](http://www.streetlightventures.com)

11/21/24, 10:17 PM

Streetlight Ventures Mail - Sign Authorization  
+1 (914) 484-2853

[Quoted text hidden]



# PROPOSAL

240915-03

Date: 08/26/2024

Expires: 09/10/2024

Drawing Numbers: 240915-05

19 Nimble Hill Rd, Newington, NH 03801

**Project:** Howling Wolf - Exterior Signage\_Portsmouth  
40 Pleasant Street  
Portsmouth, NH 03801

**Client:** Howling Wolf  
40 Pleasant Street  
Portsmouth, NH 03801

**Contact:** Eric Holstein 914 484 2853 eric@streetlightventures.com

repairs are not included unless specifically stated.

**TERMS:** The terms of this contract shall be subject to and enforceable under the laws of the state of New Hampshire. The parties expressly waive their rights to enforce their rights hereunder in any jurisdiction other than New Hampshire and agree and consent that any dispute arising out of this contract shall be decided by a New Hampshire Court and that trial by jury is specifically waived by each party hereto for themselves or their assigns. In the event a lawsuit for collection of funds unpaid is filed, the debtor agrees that the contract interest rate of 18% shall prevail over any statutory interest rate. The debtor agrees to pay all costs of collection, including reasonable attorneys' fees.

**UTILITY/DIG SAFE SERVICES:** If Dig Safe is required customer can arrange or request Portsmouth Sign to coordinate. Any costs incurred for services provided to cover overhead lines or verify location of underground utility/sewer/water/phone/gas or other obstructions will be an additional charge at time of billing.

**WARRANTY:** Signage furnished is warranted to be free of manufacturing defects for 1 year, effective from the date of installation. The warranty does not apply due to damage caused by power failure, surges, or lightning strikes. Warranty is VOID if account is delinquent.

**Salesperson: Michelle Gilmore**

Buyer's Acceptance \_\_\_\_\_ Title \_\_\_\_\_ Date \_\_\_\_\_

Seller's Acceptance \_\_\_\_\_ Title \_\_\_\_\_ Date \_\_\_\_\_

**3. 15 Pleasant Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval for the installation of an EV charging station.

**Staff Comment:** Recommend Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

# PISCATAQUA SAVINGS BANK EV CHARGING SYSTEM

## PROJECT SUMMARY

SERVICE SUMMARY		
TRANSFORMER SPECS	133 kVA TRANSFORMER ON EXISTING SERVICE	
SERVICE SECONDARY WIRING	SIZED FOR UP TO 200A 480V 3Φ*	
MAIN PANEL RATING	200A 480Y/277Vac	
EXPANSION CAPACITY	ENTIRE SYSTEM IS SIZED FOR EXPANSION/UPGRADE	
CHARGER(S) SUMMARY		
ITEM	DESCRIPTION	QTY
CHARGEPOINT CPE250	480V STANDALONE DCFC	1

## SHEET LIST

SHEET	TITLE
G001	TITLE SHEET
AI00	SITE PLAN
E300	DETAILS & ELEVATIONS

## REVISION LIST

REV	BY	DATE	STATUS	CHANGES MADE
000	CNH	11/25/2024	PRE-APP	NA

## AUTHORITIES HAVING JURISDICTION

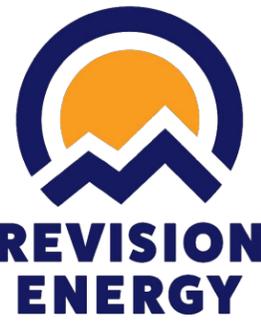
BUILDING AUTHORITY	PORTSMOUTH, NH
ELECTRICAL AUTHORITY	PORTSMOUTH, NH
ZONING/PLANNING AUTHORITY	PORTSMOUTH, NH
ELECTRICAL UTILITY	EVERSOURCE
APPLICABLE CODES	NATIONAL ELECTRICAL CODE 2023

## CONTACT INFORMATION

PROJECT MANAGER:  
 JOSH BASTON  
 758 WESTBROOK STREET  
 SOUTH PORTLAND, ME 04106  
 PHONE: 207-595-2445  
 EMAIL: JOSHB@REVISIONENERGY.COM

PROJECT DESIGNER:  
 CHUCK HAYWARD  
 758 WESTBROOK STREET  
 SOUTH PORTLAND, ME 04106  
 PHONE: 207-805-4070  
 EMAIL: CHAYWARD@REVISIONENERGY.COM

ENGINEER OF RECORD:  
 HANS ALBEE  
 PO BOX 6  
 LIBERTY, ME 04949  
 PHONE: 207-322-4106  
 EMAIL: HANS@REVISIONENERGY.COM



758 WESTBROOK STREET  
 SOUTH PORTLAND, ME  
 04106  
 (207)-221-6342

### CLIENT:

PISCATAQUA SAVINGS  
 BANK  
 15 PLEASANT ST  
 PORTSMOUTH NH, 03801

### SYSTEM TYPE:

NEW ELECTRICAL VEHICLE  
 CHARGING STATIONS



A  
 N.T.S. SITE LOCATION

### NOT FOR CONSTRUCTION

DESIGNED BY: CNH  
 REVISION: 000  
 PRINT SIZE: 11" X 17"  
 DATE: 11/25/2024  
 DWG TITLE:

### TITLE SHEET

DWG NUMBER:  
 G001

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 EDITION OF THE NATIONAL  
 ELECTRIC CODE, AND LOCAL  
 GOVERNMENTAL AUTHORITIES.



# REVISION ENERGY

758 WESTBROOK STREET  
SOUTH PORTLAND, ME  
04106  
(207)-221-6342

CLIENT:

PISCATAQUA SAVINGS  
BANK  
15 PLEASANT ST  
PORTSMOUTH NH, 03801

SYSTEM TYPE:

NEW ELECTRICAL VEHICLE  
CHARGING STATIONS

NOT FOR CONSTRUCTION

DESIGNED BY: CNH  
REVISION: 000  
PRINT SIZE: 11" X 17"  
DATE: 11/25/2024  
DWG TITLE:

SITE PLAN

DWG NUMBER:  
A100

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GOVERNMENTAL AUTHORITIES.



METAL-CLAD CIRCUITS RUN  
~80' THROUGH CRAWLSPACE  
AND BASEMENT

NEW FLOOR-MOUNTED  
208V TO 480V STEP-UP  
TRANSFORMER IN NOOK

CIRCUITS IN CONDUIT RUN ~30'  
THROUGH OPEN BASEMENT

EXISTING PASS THROUGH  
OPENING IN STONE WALL

CIRCUITS IN CONDUIT RUN ~50'  
THROUGH OPEN BASEMENT

CPE250 DC FAST CHARGER  
ON CONCRETE PAD WITH 2  
BOLT-DOWN BOLLARDS

CHARGER DISCONNECT  
ON PT POST

TRENCH ~15' FROM  
MANHOLE TO  
CHARGER LOCATION

CIRCUITS RUN THROUGH EXISTING  
UNDERGROUND TUNNEL TO MANHOLE





# REVISION ENERGY

758 WESTBROOK STREET  
SOUTH PORTLAND, ME  
04106  
(207)-221-6342

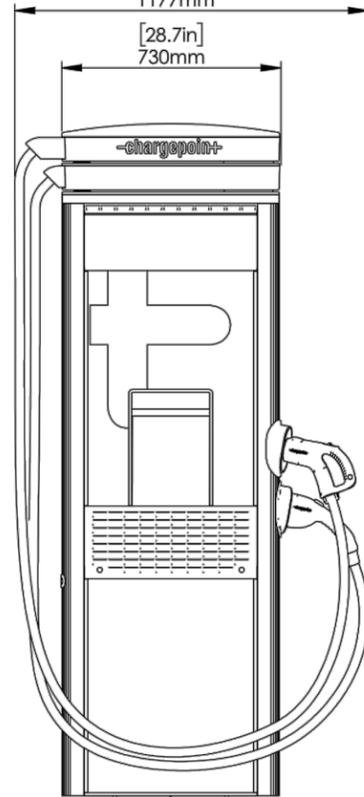
CLIENT:

PISCATAQUA SAVINGS  
BANK  
15 PLEASANT ST  
PORTSMOUTH NH, 03801

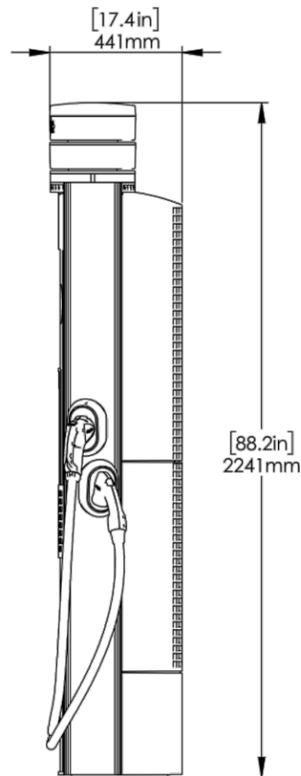
SYSTEM TYPE:

NEW ELECTRICAL VEHICLE  
CHARGING STATIONS

FRONT VIEW  
[46.3in]  
1177mm

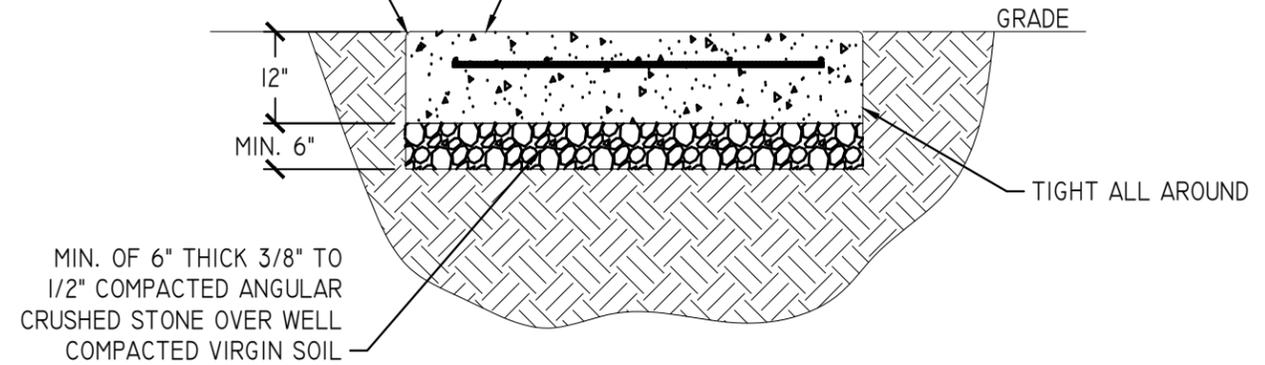


SIDE VIEW



3/4" CHAMFER  
(TYP. - ALL SIDES)

PRE-FAB CONCRETE PAD BY EZ-CRETE  
#4 REBAR 12" OC BOTH WAYS  
5000 PSI CONCRETE @ 28 DAYS



MIN. OF 6" THICK 3/8" TO  
1/2" COMPACTED ANGULAR  
CRUSHED STONE OVER WELL  
COMPACTED VIRGIN SOIL

B  
1/2" = 1'-0" CP250 CHARGER ELEVATION

C  
N.T.S. PRECAST CONCRETE PAD DETAIL

### TRENCH INSTRUCTIONS:

1. CONTRACTOR TO VERIFY LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO DIGGING.
2. EXCAVATE TO 30" DEPTH TO PROVIDE MINIMUM 24" COVER ABOVE CONDUITS/DIRECT BURY CABLE OR AS REQUIRED PER NEC 2023 300.5.
  - 2.1. UTILITY MAY REQUIRE ADDITIONAL COVER FOR PRIMARY POWER.
3. ENCASE CONDUIT IN MINIMUM 2" CONCRETE WHEN UNDER ROADWAYS OR MINIMUM COVER IS NOT POSSIBLE DUE TO LEDGE.
4. CONDUIT/CABLE SHALL BE SURROUNDED BY MINIMUM 6" CLEAN SAND ABOVE AND BELOW.
5. EXCAVATED MATERIAL MAY BE USED AS BACKFILL IF FREE OF ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIAL, SUCH AS LARGE ROCKS. IF NOT, PROVIDE CLEAN, COMPACTABLE MATERIAL.
6. COMPACT IN 8" LIFTS AND INCLUDE WARNING RIBBON IN TRENCH 12" ABOVE CONDUIT/CABLE.
7. PAVEMENT DAMAGE DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO PRE-CONSTRUCTION CONDITIONS OR BETTER.

D  
N.T.S. TRENCH INSTRUCTIONS

NOT FOR CONSTRUCTION

DESIGNED BY: CNH

REVISION: 000

PRINT SIZE: 11" X 17"

DATE: 11/25/2024

DWG TITLE:

DETAILS &  
ELEVATIONS

DWG NUMBER:

E300

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EDITION OF THE NATIONAL  
ELECTRIC CODE, AND LOCAL  
GOVERNMENTAL AUTHORITIES.



ChargePoint  
Stock Unit



Proposed Wrap  
for installation



# Current Location





# Screening

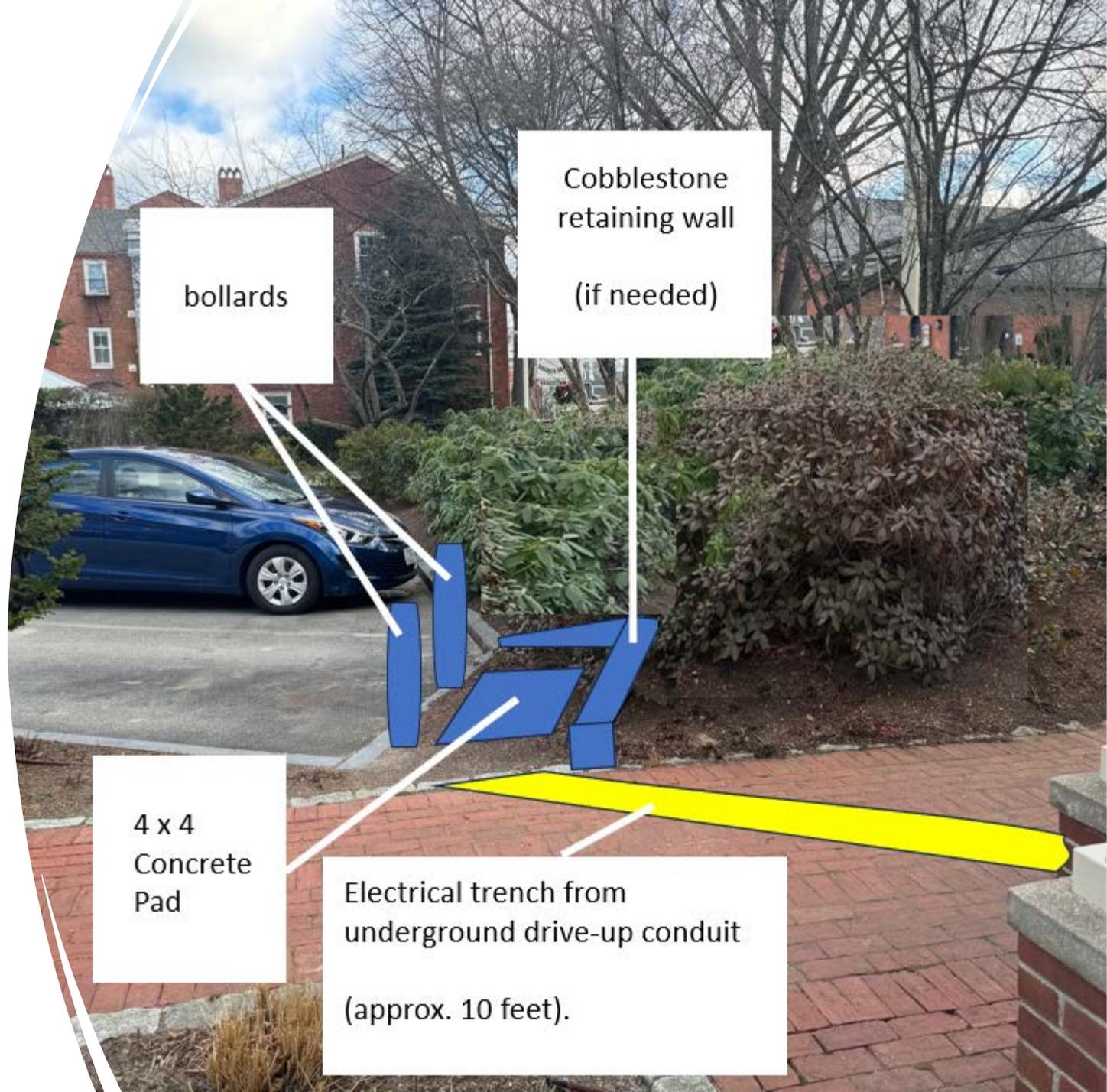
→ Both the plant relocation and hardscape will be performed by the Bank's gardener who has been tending the grounds since 1978.





# Site Work

→ Depending on the grading the cobblestone retaining wall may not be needed.



bollards

Cobblestone retaining wall  
(if needed)

4 x 4  
Concrete  
Pad

Electrical trench from  
underground drive-up conduit  
(approx. 10 feet).



# Finished Product

Certified  
**B**  
Corporation





# Actual Unit Size





# View from State Street (Parking lot Exit)





# View from State Street (Flagpole)





# View from State Street (Parking lot Entrance)



**4. 442-444 Middle Street**

**-Recommended Approval**

Background: The applicant is seeking approval for the replacement of (1) attic window. The applicant has provided (2) window options to choose from.

Staff Comment: Recommend Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



Mathews Brothers

Tel:  
Fax:  
Email:



Customer  
QUOTATION

**BILL TO:**

**SHIP TO:**

QUOTE #	STATUS	CUSTOMER PO#	DATE QUOTED
724449	None		1/6/2025 7:38:35 AM
QUOTED BY	TERMS	PROJECT NAME	QUOTE NAME
Bruce Reichard		Aaron Henderson Gen Contracting	Schwartz

LINE #	QTY	SUB-LINES
--------	-----	-----------

100

1

2



LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
--------	-------------	-----	------------	-----------	-------------

100-1

1

\$857.85

\$560.45

\$560.45

Sanford Hills Dual Pane Double Hung  
 20.5 X 48.5 Unit Size, Unfinished Interior, Extruded White  
 Exterior, Exterior Pocket Cover, Dual Pane Low E Argon,  
 PG50, 4/4 Lite 5/8" Historic Putty Muntin, Unfinished  
 Int/White Ext Simulated Divided Lite w/ Spacer Bar, No Lift  
 Rail, 15.187 X 19.25 Clear Opening, 2.03 SQFT, Hidden Tilt  
 Latch, Dual Adobe Robo-Tilt Lock, No Window Opening  
 Control Device, Fiberglass Mesh White Full Screen Shipped  
 Loose  
 w/J-Channel Cover, No Exterior Casing, w/ Nailing Fin  
 Unit 1: UFactor: 0.27, SHG: 0.27, VLT: 0.5, CR: 58



Opening: 21" X 49"

O.S.M.: 20.5" X 48.5"

Tag: Custom Size

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
--------	-------------	-----	------------	-----------	-------------

100-2 Screen1

1

\$0.00

\$0.00

\$0.00

Insert Full Screen Shipped Loose

Opening: 0" X 0"

O.S.M.:

Tag: None Assigned

QUOTE #	STATUS	CUSTOMER PO#	DATE QUOTED
724449	None		1/6/2025 7:38:35 AM
QUOTED BY	TERMS	PROJECT NAME	QUOTE NAME
Bruce Reichard		Aaron Henderson Gen Contracting	Schwartz

All Prices are net. Please review all quantities, specifications, and information for accuracy. Special orders can not be returned for credit. Signature implies acceptance of these specifications. Your order will not be processed without authorized signature.

SUB-TOTAL:	\$560.45
LABOR:	\$0.00
FREIGHT:	\$0.00
SALES TAX:	\$0.00
TOTAL:	\$560.45

**Thank you for all of your efforts!**

CUSTOMER SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

We appreciate the opportunity to provide you with this quote!

# Henderson, Aaron Schwartz

Quote #: 5AQR7Z

A Proposal for Window and Door Products prepared for:

**Job Site:**  
03801

**Shipping Address:**

ELDREDGE LBR & HDWE-PORTSMOUTH  
275 Constitution Ave  
Portsmouth, NH 03801-8600

**Featuring products from:**

**MARVIN** 

## SELECTWOOD

*The Choice For Building Professionals.*

BRUCE REICHARD  
ELDREDGE LBR & HDWE-PORTSMOUTH  
PO BOX 69  
CAPE NEDDICK, ME 03902-0069  
Phone: (603) 436-9663

Email: breichard@eldredgelumber.com

This report was generated on 1/6/2025 7:28:54 AM  
using the Marvin Order Management System,  
version 0004.13.00 (Current). Price in USD. Unit  
availability and price are subject to change. Dealer  
terms and conditions may apply.

## UNIT SUMMARY

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.

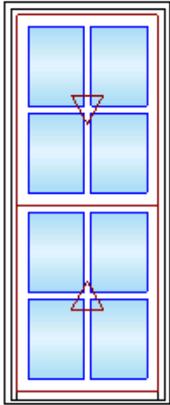
Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

NUMBER OF LINES: 2		TOTAL UNIT QTY: 2		EXT NET PRICE: USD 1,500.67		
LINE	MARK UNIT	PRODUCT LINE	ITEM	NET PRICE	QTY	EXTENDED NET PRICE
1	custom RO size	Elevate	Double Hung RO 21 1/2" X 49" Entered as RO 21 1/2" X 49"	833.62	1	833.62
2	Standard size	Elevate	Double Hung CN 2248 RO 22 1/2" X 48 1/4" Entered as CN 2248	667.05	1	667.05

## LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: custom RO size	Net Price:		833.62
Qty: 1		Ext. Net Price:	USD	833.62



As Viewed From The Exterior

**Entered As:** RO  
**FS** 20 1/2" X 48 1/2"  
**RO** 21 1/2" X 49"  
**Egress Information**  
 Width: 17 3/8" Height: 19 11/32"  
 Net Clear Opening: 2.33 SqFt  
**Performance Information**  
 U-Factor: 0.28  
 Solar Heat Gain Coefficient: 0.28  
 Visible Light Transmittance: 0.48  
 Condensation Resistance: 56  
 CPD Number: MAR-N-272-01534-00001  
**Performance Grade**  
 Licensee #783  
 AAMA/WDMA/CSA/101/ I.S.2/A440-08  
 LC-PG40 1054X1720 mm (42X67.7 in)  
 Water Resistance: 6.06 psf  
 LC-PG40 DP +40/-40  
 FL6525

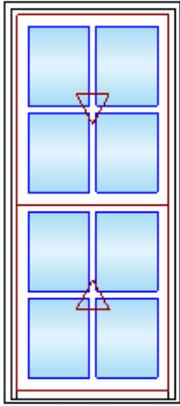
Stone White Exterior  
 Bare Pine Interior  
 Elevate Double Hung  
 Rough Opening 21 1/2" X 49"  
 Top Sash  
 Stone White Exterior  
 Bare Pine Interior  
 IG  
 Low E2 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular - Special Cut 2W2H  
 Stone White Ext - Bare Int  
 Bottom Sash  
 Stone White Exterior  
 Bare Pine Interior  
 IG  
 Low E2 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular - Special Cut 2W2H  
 Stone White Ext - Bare Int  
 Beige Weather Strip Package  
 1 Almond Frost Sash Lock  
 Exterior Aluminum Screen  
 Stone White Surround  
 Bright View Mesh  
 4 9/16" Jamb  
 Nailing Fin  
 \*\*\*Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.  
 \*\*\*Note: Unit Availability and Price is Subject to Change

Initials required  
 Seller: \_\_\_\_\_  
 Buyer: \_\_\_\_\_

Line #2	Mark Unit: Standard size	Net Price:		667.05
Qty: 1		Ext. Net Price:	USD	667.05



Stone White Exterior  
 Bare Pine Interior  
 Elevate Double Hung  
 CN 2248  
 Rough Opening 22 1/2" X 48 1/4"  
 Top Sash  
 Stone White Exterior  
 Bare Pine Interior  
 IG  
 Low E2 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular - Standard Cut 2W2H  
 Stone White Ext - Bare Int



As Viewed From The Exterior

- Bottom Sash
- Stone White Exterior
- Bare Pine Interior
- IG
- Low E2 w/Argon
- Stainless Perimeter and Spacer Bar
- 7/8" SDL - With Spacer Bar - Stainless
- Rectangular - Standard Cut 2W2H
- Stone White Ext - Bare Int
- Beige Weather Strip Package
- 1 Almond Frost Sash Lock
- Exterior Aluminum Screen
- Stone White Surround
- Bright View Mesh
- 4 9/16" Jambs
- Nailing Fin

\*\*\*Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.

\*\*\*Note: Unit Availability and Price is Subject to Change

Entered As: CN

CN 2248

FS 21 1/2" X 47 3/4"

RO 22 1/2" X 48 1/4"

**Egress Information**

Width: 18 3/8" Height: 18 31/32"

Net Clear Opening: 2.42 SqFt

**Performance Information**

U-Factor: 0.28

Solar Heat Gain Coefficient: 0.28

Visible Light Transmittance: 0.48

Condensation Resistance: 56

CPD Number: MAR-N-272-01534-00001

**Performance Grade**

Licensee #783

AAMA/WDMA/CSA/101/ I.S.2/A440-08

LC-PG40 1054X1720 mm (42X67.7 in)

Water Resistance: 6.06 psf

LC-PG40 DP +40/-40

FL6525

Initials required

Seller: \_\_\_\_\_

Buyer: \_\_\_\_\_

Project Subtotal Net Price: USD	1,500.67
0.000% Sales Tax: USD	0.00
Project Total Net Price: USD	1,500.67

## TERMS AND CONDITIONS

## PRODUCT AND PERFORMANCE INFORMATION

### NFRC Ratings:

NFRC energy ratings may vary depending on the exact configuration of glass thickness used on the unit. NFRC energy values and ratings may change over time due to ongoing product changes, updated test results or requirements. NFRC values and ratings are finalized on the date of manufacture.

The National Fenestration Rating Council (NFRC) has developed and operates a uniform rating system for the energy performance of fenestration products, including windows, doors and skylights. For additional information regarding this rating system, see [www.nfrc.org](http://www.nfrc.org).

### Code (residential, building or energy) Compliance:

Determining the suitability and compliance with state, provincial, local, or other applicable building codes or standards, including energy codes, is the responsibility of the buyer, user, architect, contractor, installer, and/or other construction professional.

## PURCHASE APPROVAL/SIGN OFF

<b>Project Subtotal Net Price: USD</b>	<b>1,500.67</b>
<b>0.000% Sales Tax: USD</b>	<b>0.00</b>
<b>Project Total Net Price: USD</b>	<b>1,500.67</b>

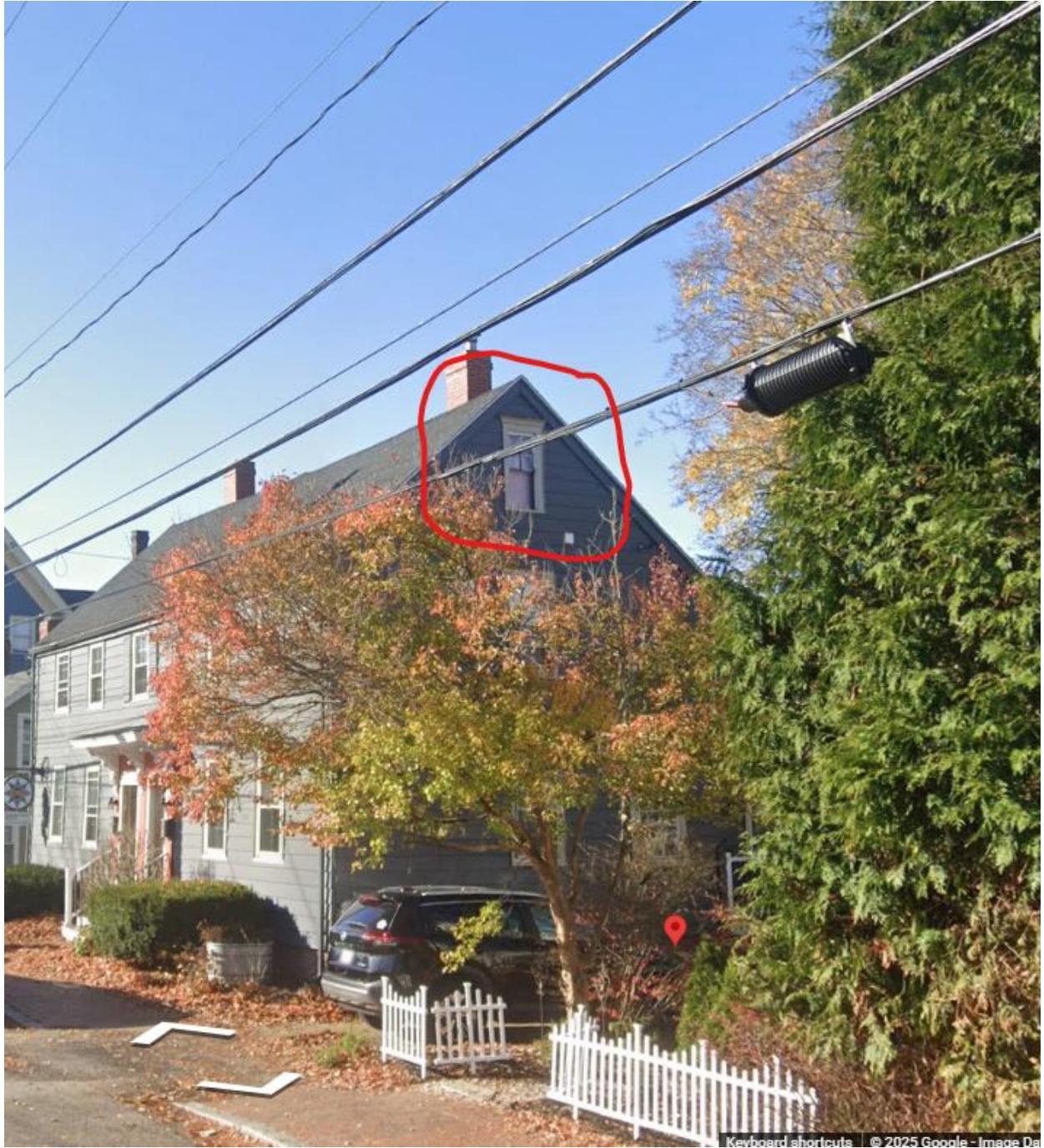
I have reviewed all line item quotes in detail and agree that the product specifications and pricing are accurate, and I approve the project for order. I acknowledge that additional charges, tax or Terms and Conditions may apply.

### BUYER:

Signature: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_



**5. 1 Walton Alley**

**-Recommended Approval**

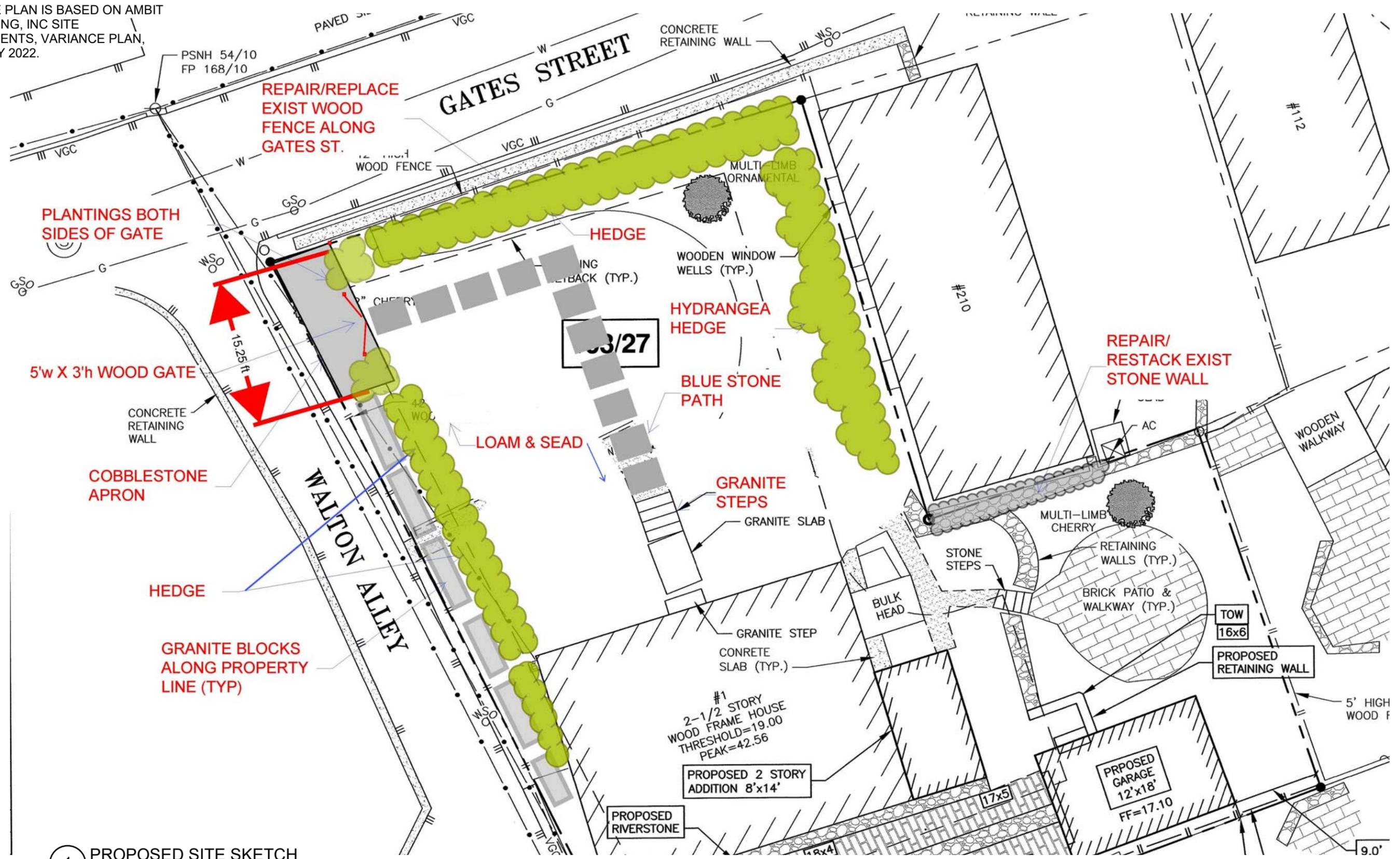
**Background:** The applicant is seeking approval for the installation of a gate and the replacement of a removed fence.

**Staff Comment:** Recommend Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

NOTE: SITE PLAN IS BASED ON AMBIT ENGINEERING, INC SITE IMPROVEMENTS, VARIANCE PLAN, DATED MAY 2022.



1 PROPOSED SITE SKETCH

© 2024 Portsmouth Architects

# WALTON ALLEY ADDITION

1 WALTON ALLEY  
PORTSMOUTH, NH 03801

# PARITAL SITE PLAN

4 Market Street  
Portsmouth, New Hampshire  
603.430.0274



brought to you by  
McHENRY ARCHITECTURE

SK-6

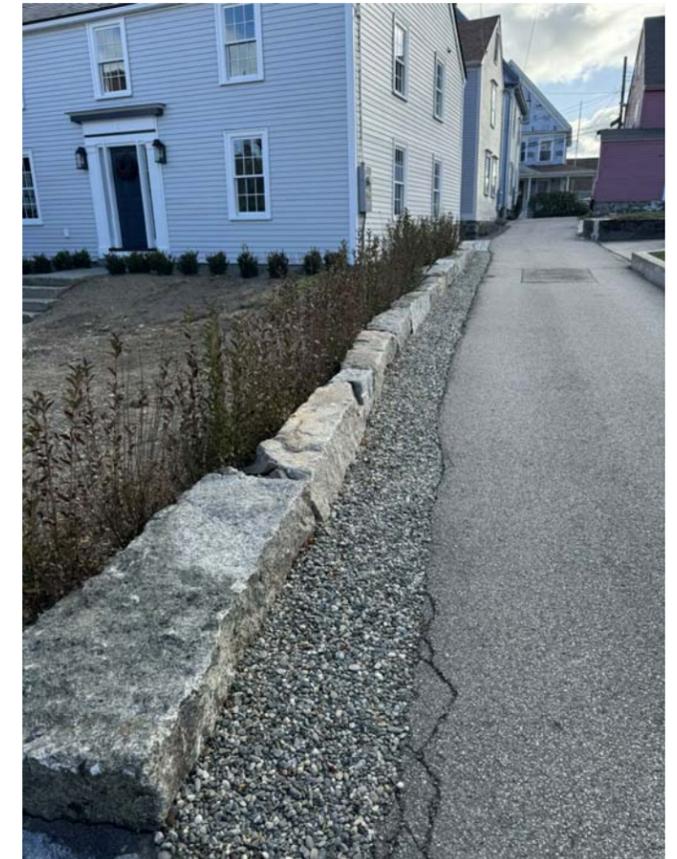
1/8/2025
McHA: MG
Project Number: 22041
<b>NOT TO SCALE</b>



GATES STREET FENCE



COBBLESTONE APRON



GRANITE BLOCK BOARD & HEDGE



PROPOSED WOODEN FIELD GATE

NOTES:

1. THE PARKING SPACE CONSTRUCTED IN THE FRONT YARD WILL BE REMOVED, INCLUDING THE CRUSHED STONE AND GRANITE BORDER AND REPLACE WITH LOAM AND SEED.
2. IT IS PROPOSED TO MAINTAINED THE COBBLESTONE APRON TO IMPROVE THE ROADWAY EDGE AS VEHICLES TYPICALLY CROSS ONTO THE PROPERTY WHEN MAKING A RIGHT TURN ONTO GATES STREET DUE TO THE NARROWNESS OF THE ROADWAYS AND INTERSECTION.
3. A 5' WIDE WOODEN FIELD GATE WILL BE PROVIDED ALONG WALTON ALLEY FOR THE PROPERTY OWNER TO HAVE ACCESS TO THEIR YARD FOR MAINTAINED.
4. THE GRANITE BLOCKS BOARDING WALTON ALLEY ARE SETBACK FROM THE PROPERTY LINE AND PROVIDE PROTECTION TO THE HOUSE AND PROPERTY DURING SNOW REMOVAL.
5. I IS OUR INTERPRETATION OF THE ZONING THAT THE REPAIR AND PLACEMENT OF THE WOODEN FENCE AND GATE FALL UNDER STAFF LEVEL EXEMPTION FROM CERTIFICATE OF APPROVAL AS LISTED IN PARAGRAPH 10.633.20 (18) *THE PLACEMENT, REMOVAL OR REPLACEMENT OF WOOD OR METAL FENCE (EXCEPT FOR CHAIN-LINK WHICH MAY ONLY BE REMOVED) PROVIDED THE REPLACEMENT FENCE IS IN SUBSTANTIALLY THE SAME LOCATION WITH SUBSTANTIALLY THE SAME HEIGHT, MATERIAL, AND DESIGN.* THE GATE WILL BE UNDER 4 FEET IN HEIGHT AND NOT CONSIDERED A STRUCTURE AS DEFINED BY ZONING.
6. OTHER PROPOSED LANDSCAPING SUCH AS GRANITE STEPS/LANDINGS AND STONE PATHS ALSO FALL UNDER THE EXEMPTIONS IN PARAGRAPH 10.633.20 (21).

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**WALTON ALLEY ADDITION**

1 WALTON ALLEY  
PORTSMOUTH, NH 03801

**IMAGES & NOTES**

4 Market Street  
Portsmouth, New Hampshire  
603.430.0274  
brought to you by  
McHENRY ARCHITECTURE



SK-7

1/8/2025
McHA: Author
Project Number: 22041
<b>NOT TO SCALE</b>

**6. 100 High Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval for changes to a previously approved design (final placement of rooftop telecommunications equipment due to building constraints).

**Staff Comment:** Recommend Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



January 21, 2025

**Dish Wireless Site ID:** BOBOS01018D

**RE: Site Address:** 100 High St, Portsmouth, NH

To Whom It May Concern:

I am seeking approval from the Historic District Commission to approve the as-built drawings from the most recent build at 100 High Street.

This site was already approved in September but we need further approval on where Beta is placed.

The General Contractor could not achieve the setback put forth on the CDs due to a roof drain that could not be covered. The Beta sector is as far back as it can go and we are looking for final approval and to close out this project.

Please feel free to call me at (339)210-9718 if you have any questions.

Sincerely,

*Meagan Beausoleil*

Meagan Beausoleil  
Site Acquisition Specialist I  
Infraservices Wireless (formally Qualtek Wireless)

Final AS BUILT CDs are below.

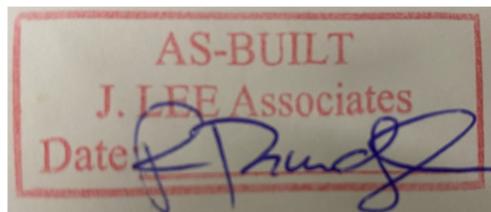


DISH Wireless L.L.C. SITE ID:

**BOBOS01018D**

DISH Wireless L.L.C. SITE ADDRESS:

**100 HIGH STREET  
PORTSMOUTH, NH 03801**



**SCOPE OF WORK**

THIS IS NOT AN ALL INCLUSIVE LIST. CONTRACTOR SHALL UTILIZE SPECIFIED EQUIPMENT PART OR ENGINEER APPROVED EQUIVALENT. CONTRACTOR SHALL VERIFY ALL NEEDED EQUIPMENT TO PROVIDE A FUNCTIONAL SITE. THE PROJECT GENERALLY CONSISTS OF THE FOLLOWING:

- SECTOR SCOPE OF WORK:**
- INSTALL (3) PROPOSED PANEL ANTENNAS PAINTED TO MATCH (1 PER SECTOR)
  - INSTALL (3) PROPOSED SLED MOUNTS
  - INSTALL PROPOSED JUMPERS
  - INSTALL (6) PROPOSED RRUs (2 PER SECTOR)
  - INSTALL (3) PROPOSED OVER VOLTAGE PROTECTION DEVICE (OVP) (1 PER SECTOR)
  - INSTALL (3) PROPOSED HYBRID CABLES (1 PER SECTOR)

- ROOFTOP SCOPE OF WORK:**
- INSTALL (1) PROPOSED METAL PLATFORM WITH H-FRAME
  - INSTALL (1) PROPOSED CABLE LADDER TRAY OR CABLE TRAY
  - INSTALL (1) PROPOSED BBU IN CABINET
  - INSTALL (1) PROPOSED EQUIPMENT CABINET
  - INSTALL (1) PROPOSED POWER CONDUIT
  - INSTALL (1) PROPOSED TELCO CONDUIT
  - INSTALL (1) PROPOSED NEMA 3 TELCO-FIBER BOX
  - INSTALL (1) PROPOSED GPS UNIT
  - INSTALL PROPOSED CONDUIT SLEEPERS

SITE INFORMATION	PROJECT DIRECTORY
PROPERTY OWNER: CHATHAM PORTSMOUTH LLC C/O CHATHAM LODGING TRUST PROPERTY OWNER ADDRESS: 222 LAKEVIEW AVE, SUITE 200 WEST PALM BE, FL 33401	APPLICANT: DISH Wireless L.L.C. 5701 SOUTH SANTA FE DRIVE LITTLETON, CO 80120
TOWER TYPE: ROOF TOP	BUILDING OWNER: CHATHAM PORTSMOUTH LLC C/O CHATHAM LODGING TRUST 222 LAKEVIEW AVE, SUITE 200 WEST PALM BE, FL 33401
TOWER CO SITE ID: N/A	SITE DESIGNER: VRG Inc 23 MIDSTATE DR., #210 AUBURN, MA 01501 508-981-9590
COUNTY: ROCKINGHAM	SITE ACQUISITION: RYAN LYNCH (781) 392-4040
LATITUDE (NAD 83): 43° 4' 40.36" N 43.077878	CONSTRUCTION MANAGER: AARON CHANDLER (508) 367-7138
LONGITUDE (NAD 83): 70° 45' 35.41" W -70.759836	RF ENGINEER: NIKITA JOSHI Nikita.Joshi@dish.com
ZONING JURISDICTION: CITY OF PORTSMOUTH	
ZONING DISTRICT: CD5	
PARCEL NUMBER: 118-0030	
OCCUPANCY GROUP: U	
CONSTRUCTION TYPE: II-B	
POWER COMPANY: EVERSOURCE	
TELEPHONE COMPANY: VERIZON	



QUALTEK WIRELESS INC  
16 ESQUIRE ROAD  
BILLERICA, MA 01821



VERTICAL RESOURCES GRP.  
23 Midstate Dr., #210  
Auburn, MA 01501  
Tel. (508) 981-9590  
Fax (508) 519-8939  
mnobre@verticalresourcesgrp.com

Michael F. Plahovinsak, P.E.  
2024.09.19  
0909.44-04'00'



Michael F. Plahovinsak, P.E.  
Sole Proprietor - Independent Engineer  
18301 SR Rd., Plain City, Ohio  
614-398-6250 / mika@mfpe.com  
MFP Project #40922-116

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

DRAWN BY: GAM	CHECKED BY: MN	APPROVED BY: MP
---------------	----------------	-----------------

RFDS REV #: 0

**CONSTRUCTION DOCUMENTS**

SUBMITTALS		
REV	DATE	DESCRIPTION
0	11/01/2022	FOR PERMITTING
1	11/29/2022	GENERAL REVISIONS
2	01/19/2023	GENERAL REVISIONS
3	09/18/2024	GENERAL REVISIONS

A&E PROJECT NUMBER  
BOBOS01018D

DISH Wireless L.L.C.  
PROJECT INFORMATION  
BOBOS01018D  
100 HIGH STREET  
PORTSMOUTH, NH 03801

SHEET TITLE  
TITLE SHEET

SHEET NUMBER  
**T-1**

**NEW HAMPSHIRE CODE OF COMPLIANCE**

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES

CODE TYPE	CODE
BUILDING	NH STATE BUILDING CODE/2015 IBC W/ BCR 300 AMENDMENTS
MECHANICAL	NH STATE BUILDING CODE/2015 IMC W/ BCR 300 AMENDMENTS
ELECTRICAL	2017 NEC W/ BCR 300 AMENDMENTS

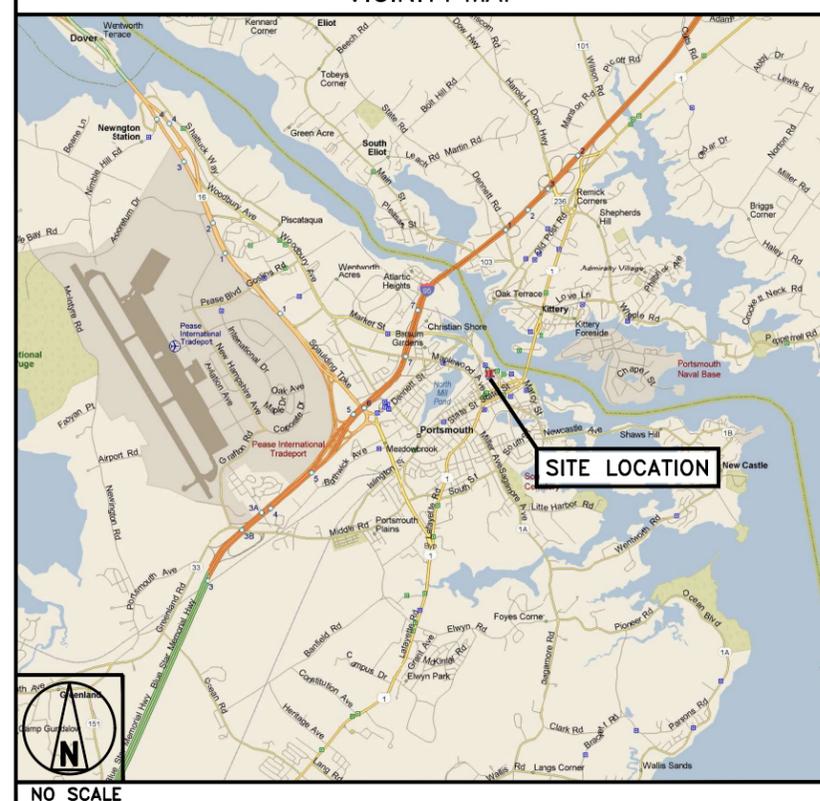
**SITE PHOTO**



**DIRECTIONS**

DIRECTIONS FROM BOSTON LOGAN AIRPORT: FROM BOSTON TAKE RT-1A NORTH. STAY STRAIGHT ONTO RT-60 NORTH. MERGE ONTO RT-1 NORTH. MERGE ONTO I-95 NORTH. TAKE I-95 NORTH EXIT FOR WOODBURY AVE. TURN RIGHT ONTO WOODBURY AVE. STAY RIGHT TOWARDS US1 BYPASS. TAKE FIRST EXIT FOR MAPLEWOOD AVE. TURN LEFT ONTO HANOVER ST. BUILDING WILL BE ON LEFT AT 100 HIGH ST.

**VICINITY MAP**



**UNDERGROUND SERVICE ALERT**  
UTILITY NOTIFICATION CENTER OF RHODE ISLAND  
(888) 344-7233  
WWW.DIGSAFE.COM

CALL 2 WORKING DAYS UTILITY NOTIFICATION PRIOR TO CONSTRUCTION

**GENERAL NOTES**

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE. NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

11"x17" PLOT WILL BE HALF SCALE UNLESS OTHERWISE NOTED

CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS, AND CONDITIONS ON THE JOB SITE, AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

**SHEET INDEX**

SHEET NO.	SHEET TITLE
T-1	TITLE SHEET
A-1	OVERALL SITE PLAN
A-2	ANTENNA PLAN LAYOUT AND SCHEDULE
A-3	SOUTH EAST BUILDING ELEVATION
A-4	EQUIPMENT PLATFORM AND H-FRAME DETAILS
A-5	EQUIPMENT DETAILS
A-6	EQUIPMENT DETAILS
A-7	EQUIPMENT DETAILS
E-1	ELECTRICAL/FIBER ROUTE PLAN AND NOTES
E-2	DETAILS
E-3	ONE-LINE DIAGRAM & PANEL SCHEDULE
G-1	GROUNDING PLANS AND NOTES
G-2	GROUNDING DETAILS
G-3	GROUNDING DETAILS
RF-1	RF CABLE COLOR CODE
GN-1	LEGEND AND ABBREVIATIONS
GN-2	RF SIGNAGE
GN-3	GENERAL NOTES
GN-4	GENERAL NOTES
GN-5	GENERAL NOTES

NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
2. CONTRACTOR SHALL MAINTAIN A 10'-0" MINIMUM SEPARATION BETWEEN THE PROPOSED GPS UNIT, TRANSMITTING ANTENNAS AND EXISTING GPS UNITS.
3. CONTRACTOR TO VERIFY WITH DISH Wireless L.L.C. C.M. THE LOCATION OF THE POWER AND FIBER SOURCE PRIOR TO CONSTRUCTION.
4. UTILITY RUBBER MAT TO BE IN STALLED UNDER ALL DISH Wireless L.L.C. EQUIPMENT THAT IS RESTING ON OR AFFIXED TO ROOF MEMBRANE



5701 SOUTH SANTA FE DRIVE  
LITTLETON, CO 80120



QUALTEK WIRELESS INC  
16 ESQUIRE ROAD  
BILLERICA, MA 01821



VERTICAL RESOURCES GRP.  
23 Midstate Dr., #210  
Auburn, MA 01501  
Tel. (508) 981-9590  
Fax (508) 519-8939  
mnobre@verticalresourcesgrp.com



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DRAWN BY: GAM CHECKED BY: MN APPROVED BY: MP

RFDS REV #: 0

CONSTRUCTION DOCUMENTS

SUBMITTALS		
REV	DATE	DESCRIPTION
0	11/01/2022	FOR PERMITTING
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2	01/19/2023	GENERAL REVISIONS
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A&E PROJECT NUMBER  
BOBOS01018D

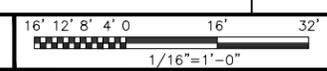
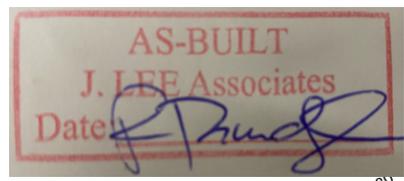
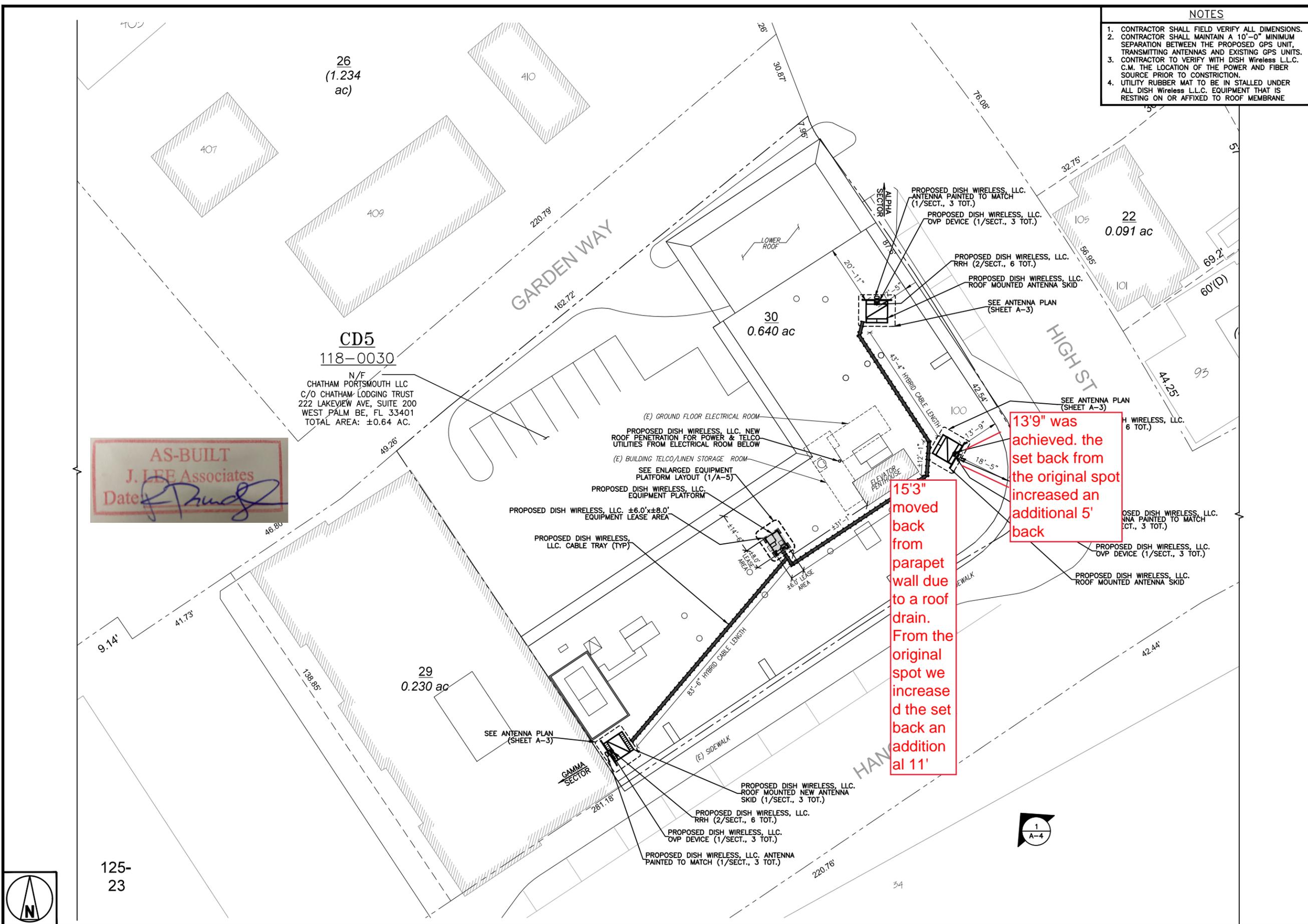
DISH Wireless L.L.C.  
PROJECT INFORMATION

BOBOS01018D  
100 HIGH STREET  
PORTSMOUTH, NH 03801

SHEET TITLE  
OVERALL  
SITE PLAN

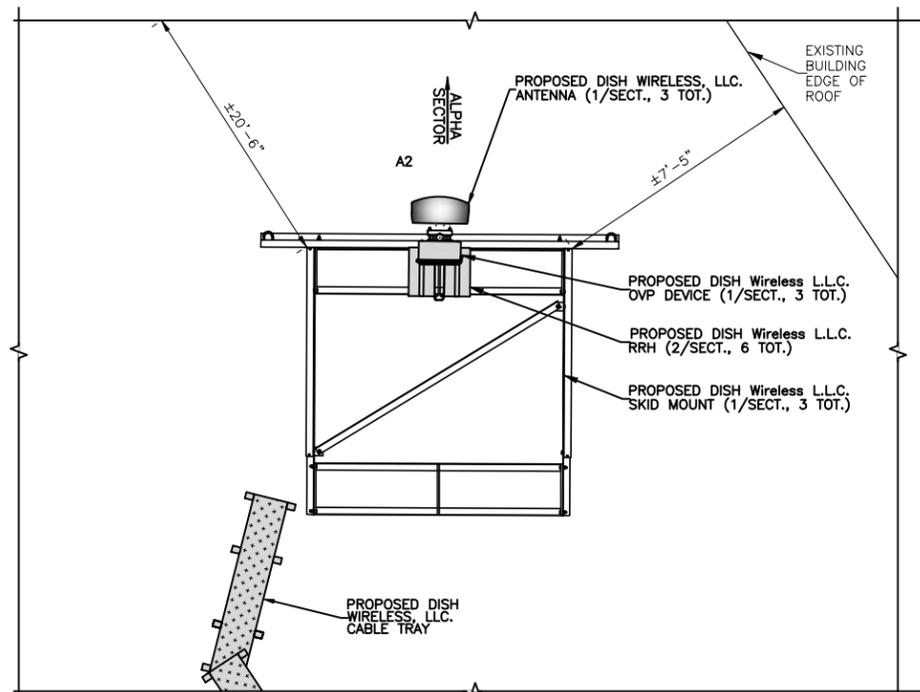
SHEET NUMBER

A-1

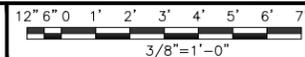


NOTES

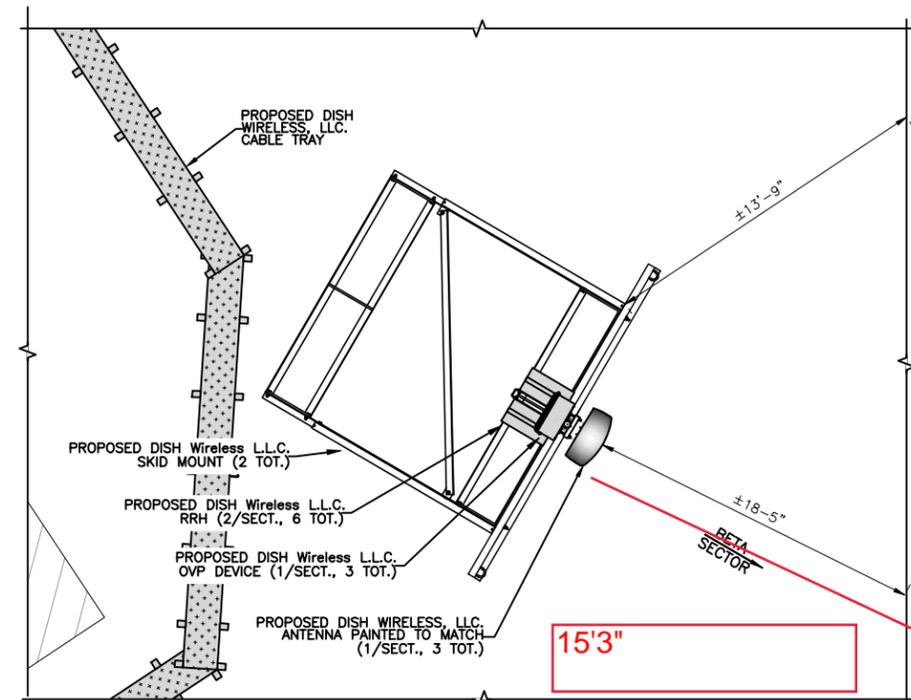
1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
2. ANTENNA AND MW DISH SPECIFICATIONS REFER TO ANTENNA SCHEDULE AND TO FINAL CONSTRUCTION RFDS FOR ALL RF DETAILS
3. EXISTING EQUIPMENT AND FENCE OMITTED FOR CLARITY.
4. ALPHA SECTOR SHOWN TYPICAL FOR BETA AND GAMMA SECTORS.



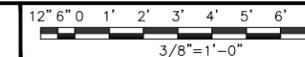
ANTENNA PLAN - ALPHA SECTOR



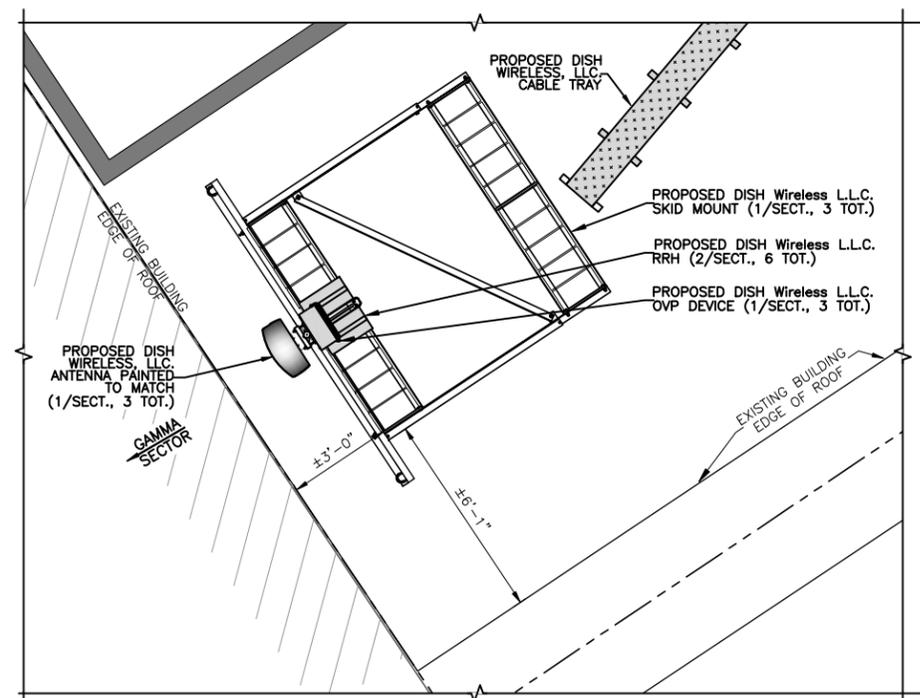
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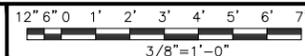
ANTENNA PLAN - BETA SECTOR



2



ANTENNA PLAN - GAMMA SECTOR

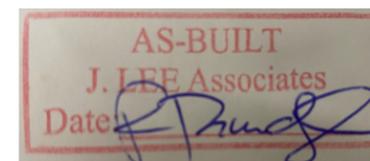


3

SECTOR POS.	ANTENNA					TRANSMISSION CABLE FEED LINE TYPE AND LENGTH	RRH			OVP MANUFACTURER MODEL
	EXISTING OR PROPOSED	MANUFACTURER - MODEL NUMBER	TECH	AZIMUTH	RAD CENTER		MANUFACTURER - MODEL NUMBER	TECH	POS.	
A1	--	--	--	--	--	(1) NWS DC CABLE (1) NWS FIBER CABLE (130' LONG)	FUJITSU - TA08025-B604	5G	A2	RAYCAP RDIDC-3045 -PF-48
A2	PROPOSED	JMA - MX08FR0665-21	5G	0°	60°-0"		FUJITSU - TA08025-B605	5G	A2	
A3	--	--	--	--	--		--	--	--	
B1	--	--	--	--	--	(1) NWS DC CABLE (1) NWS FIBER CABLE (80' LONG)	FUJITSU - TA08025-B604	5G	B2	RAYCAP RDIDC-3045 -PF-48
B2	PROPOSED	JMA - MX08FR0665-21	5G	120°	60°-0"		FUJITSU - TA08025-B605	5G	B2	
B3	--	--	--	--	--		--	--	--	
C1	--	--	--	--	--	(1) NWS DC CABLE (1) NWS FIBER CABLE (90' LONG)	FUJITSU - TA08025-B604	5G	C2	RAYCAP RDIDC-3045 -PF-48
C2	PROPOSED	JMA - MX08FR0665-21	5G	240°	60°-0"		FUJITSU - TA08025-B605	5G	C2	
C3	--	--	--	--	--		--	--	--	

NOTES

1. CONTRACTOR TO REFER TO FINAL CONSTRUCTION RFDS FOR ALL RF DETAILS.
2. ANTENNA AND RRH MODELS MAY CHANGE DUE TO EQUIPMENT AVAILABILITY. ALL EQUIPMENT CHANGES MUST BE APPROVED AND REMAIN IN COMPLIANCE WITH THE PROPOSED DESIGN AND STRUCTURAL ANALYSES.



**dish**  
wireless.

5701 SOUTH SANTA FE DRIVE  
LITTLETON, CO 80120

**QUALTEK**  
WIRELESS

QUALTEK WIRELESS INC  
16 ESQUIRE ROAD  
BILLERICA, MA 01821

**VRG**

VERTICAL RESOURCES GRP.  
23 Midstate Dr., #210  
Auburn, MA 01501  
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mnobre@verticalresourcesgrp.com



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GAM MN MP

RFDS REV #: 0

CONSTRUCTION DOCUMENTS

SUBMITTALS		
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A&E PROJECT NUMBER  
BOBOS01018D

DISH Wireless L.L.C.  
PROJECT INFORMATION

BOBOS01018D  
100 HIGH STREET  
PORTSMOUTH, NH 03801

SHEET TITLE  
ANTENNA PLAN,  
ELEVATION AND SCHEDULE

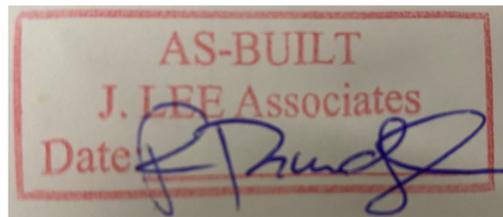
SHEET NUMBER

**A-2**

ANTENNA SCHEDULE

NO SCALE

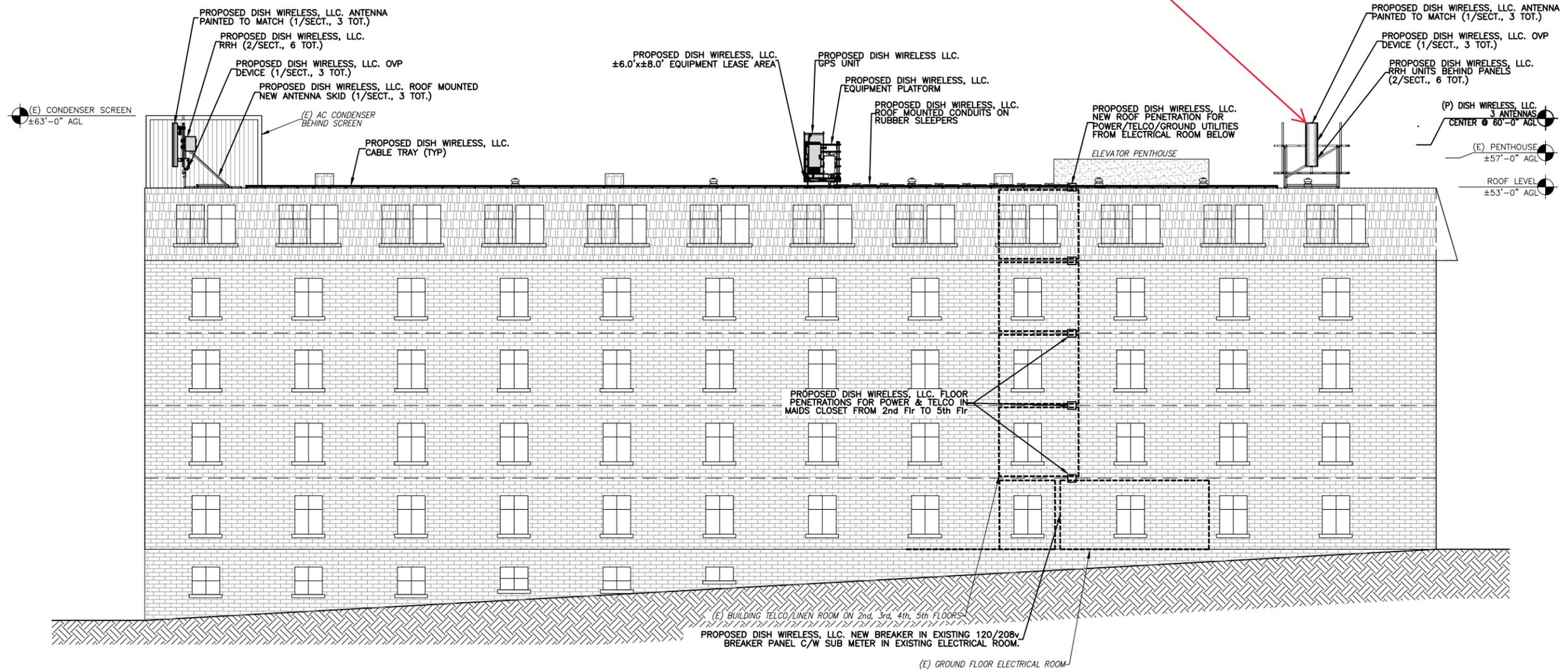
4



NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
2. CONTRACTOR SHALL MAINTAIN A 10'-0" MINIMUM SEPARATION BETWEEN THE PROPOSED GPS UNIT, TRANSMITTING ANTENNAS AND EXISTING GPS UNITS.

All three panel antennas painted to match Sherwin Williams Gauntlet gray SW-7019



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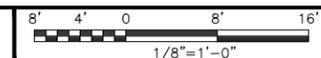
DISH Wireless L.L.C.  
PROJECT INFORMATION

BOBOS01018D  
100 HIGH STREET  
PORTSMOUTH, NH 03801

SHEET TITLE  
SOUTH EAST  
ELEVATION

SHEET NUMBER  
**A-3**

BUILDING SOUTH EAST ELEVATION





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RFDS REV #: 0

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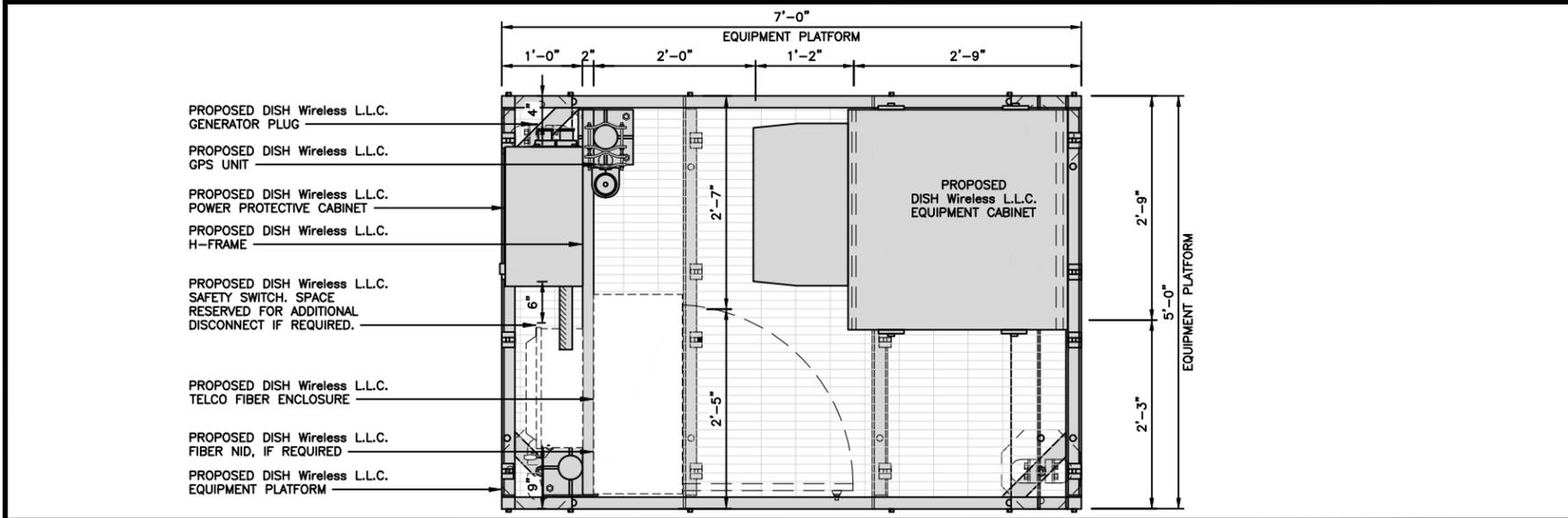
BOBOS01018D  
100 HIGH STREET  
PORTSMOUTH, NH 03801

SHEET TITLE  
EQUIPMENT PLATFORM AND  
H-FRAME DETAILS

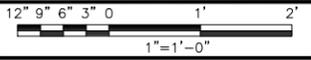
SHEET NUMBER

**A-4**

#### NOTE



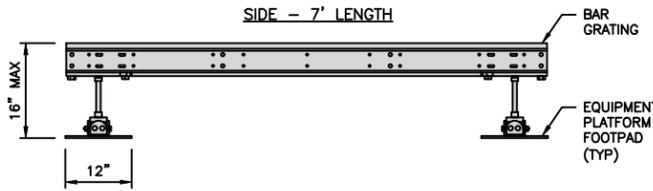
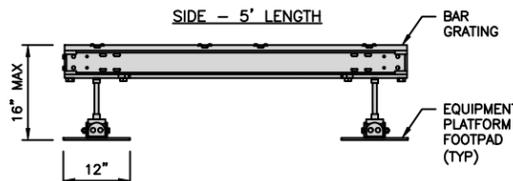
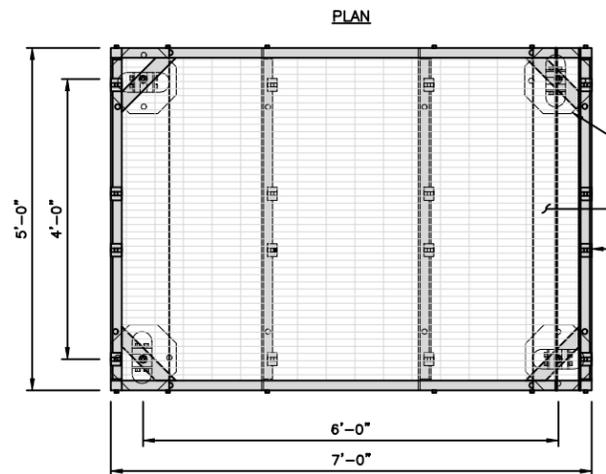
PLATFORM EQUIPMENT PLAN



1

COMMSCOPE MTC4045LP 5X7 PLATFORM	
DIMENSIONS (HxWxD)	16"x84"x60"
TOTAL WEIGHT	423 LBS

NOTE:  
GC TO PROVIDE EXTENDED  
THREAD FOR PLATFORM IF  
REQUIRED HEIGHT EXCEEDS 17"



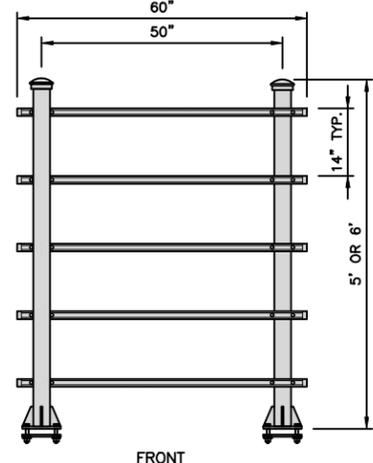
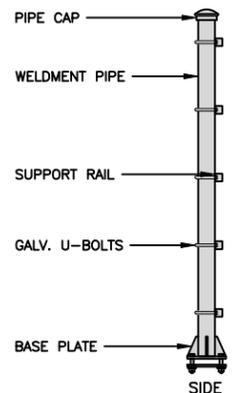
PLATFORM DETAIL

NO SCALE

2

COMMSCOPE MTC4045HFLD H-FRAME	
UNISTRUT/SUPPORT RAILS QTY	5
WEIGHT	59.74 lbs

NOTE:  
OR DISH Wireless L.L.C.  
APPROVED EQUIVALENT



H-FRAME DETAIL

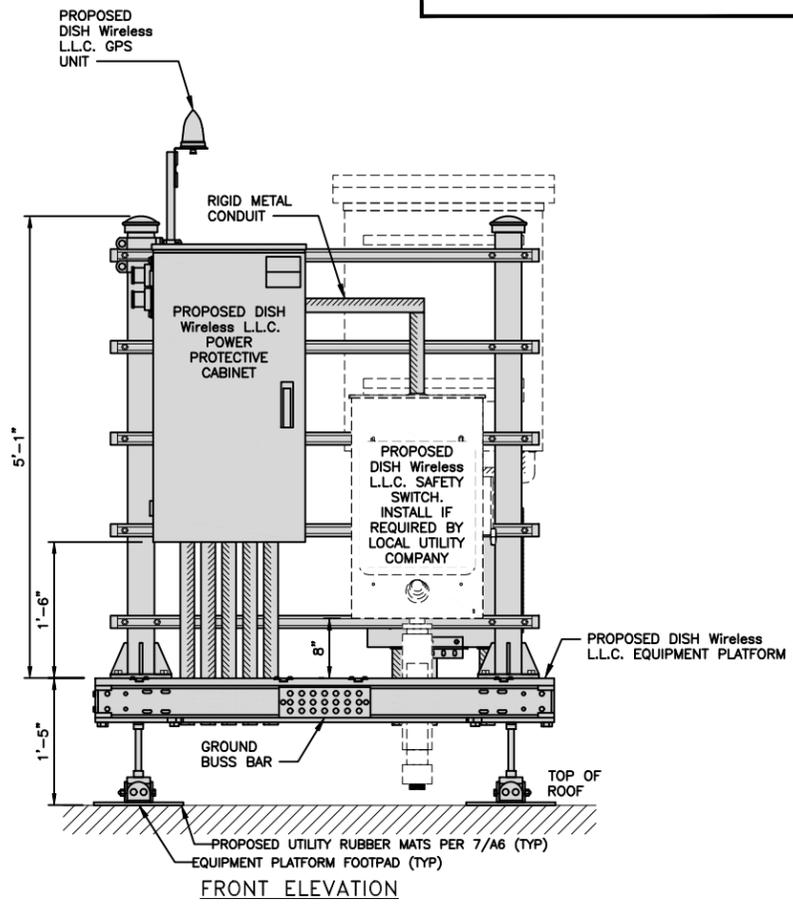
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3

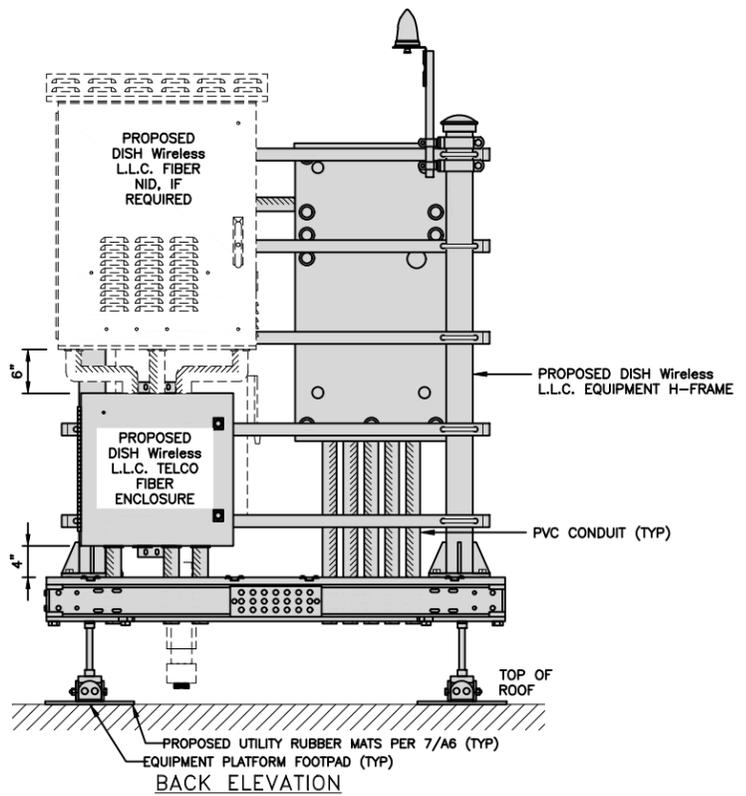
NOT USED

NO SCALE

4

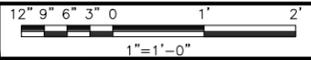


FRONT ELEVATION



BACK ELEVATION

H-FRAME EQUIPMENT ELEVATION



5

CHARLES INDUSTRY HEX CUBE-PM628155N4	
DIMENSIONS (HxWxD):	54.8"x32"x32"
POWER PLANT:	-48VDC ABB/600W
TOTAL WEIGHT (EMPTY)	366 lbs

CABINET DETAIL NO SCALE 1

GE BREAKER PANEL TLM1220RUCP	
ENCLOSURE DIM (HxWxD)	29"x13"x5"
TOTAL WEIGHT (EMPTY)	26 LBS
MAX VOLTAGE/MAX AMPS	240V/200A
ENCLOSURE RATING	OUTDOOR NEMA 3R

BREAKER PANEL DETAIL NO SCALE 2

SQUARE D SAFETY SWITCHES D224NRB	
ENCLOSURE DIM (HxWxD)	29.25"x19.00"x8.50"
ENCLOSURE TYPE	NEMA 3R RAINPROOF
UL LISTED	FILE E-2875

SAFETY SWITCH DETAIL NO SCALE 3

LEVITON 1N240-21 SUBMETER	
WATTAGE	3
AMPS	200
VOLTS AC	120, 208, 240
PHASE	1

E-MON D-MON DETAIL NO SCALE 4

ZAYO 5RU (LEFT SWING DOOR) FIBER NID ENCLOSURE	
DIMENSIONS (HxWxD)	36.1"x29"x12.9"
WEIGHT	85 lbs

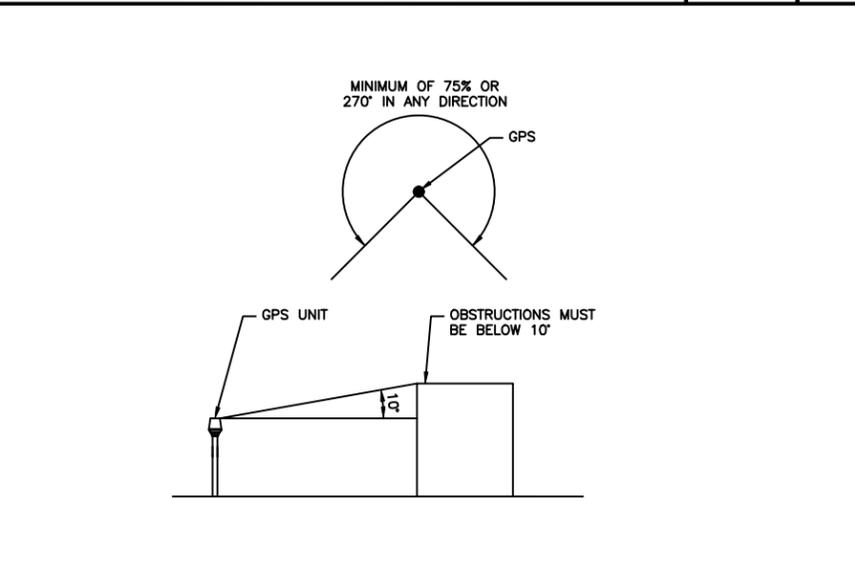
FIBER NID ENCLOSURE DETAIL NO SCALE 5

CHARLES CFIT-PF2020DSH1 FIBER TELCO ENCLOSURE	
ENCLOSURE DIMS (HxWxD)	20"x20"x9"
ENCLOSURE WEIGHT	20 lbs
MOUNTING	WALL
COMPLIANCE	TYPE 4

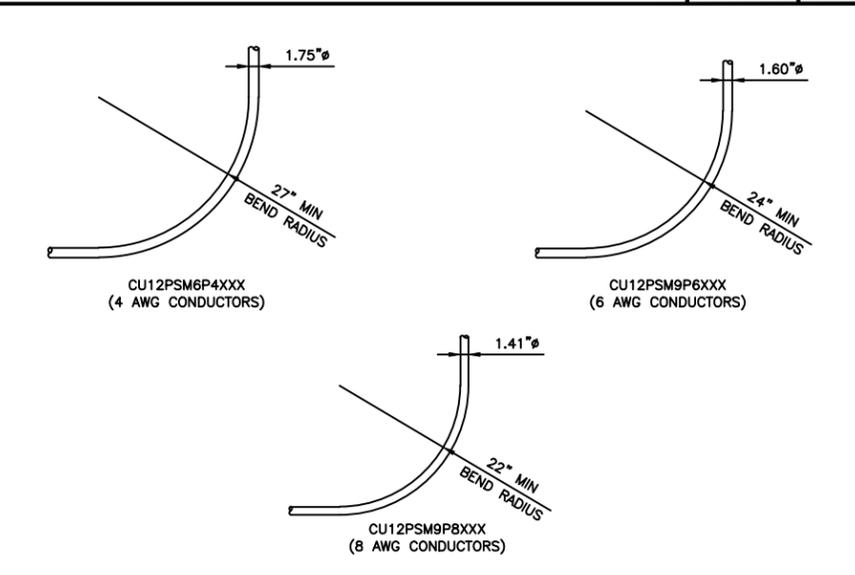
FIBER TELCO ENCLOSURE DETAIL NO SCALE 6

PCTEL GPSGL-TMG-SPI-40NCB	
DIMENSIONS (DIAxH) MM/INCH	81x184mm 3.2"x7.25"
WEIGHT W/ACCESSORIES	075 lbs
CONNECTOR	N-FEMALE
FREQUENCY RANGE	1590 ± 30MHz

GPS DETAIL NO SCALE 7



GPS MINIMUM SKY VIEW REQUIREMENTS NO SCALE 8



CABLES UNLIMITED HYBRID CABLE MINIMUM BEND RADIUS NO SCALE 9

5701 SOUTH SANTA FE DRIVE  
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QUALTEK WIRELESS INC  
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RFDS REV #:	0	

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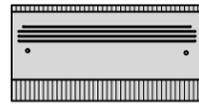
A&E PROJECT NUMBER  
BOBOS01018D

DISH Wireless L.L.C.  
PROJECT INFORMATION  
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PORTSMOUTH, NH 03801

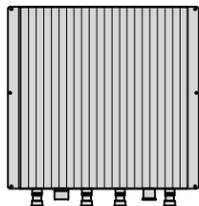
SHEET TITLE  
EQUIPMENT DETAILS

SHEET NUMBER  
**A-5**

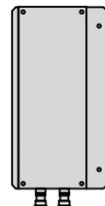
FUJITSU DUAL BAND TA08025-B604	
DIMENSIONS (HxWxD)	14.9"x15.7"x7.8"
WEIGHT	63.9 lbs
CONNECTOR TYPE	4.3-10 RF CONNECTOR
POWER SUPPLY	DC -58~-36V



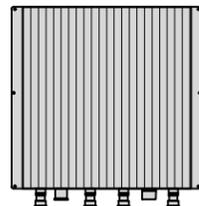
PLAN



BACK



SIDE



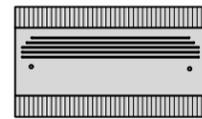
FRONT

RRH DETAIL

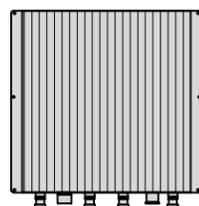
NO SCALE

1

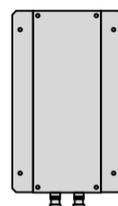
FUJITSU TRIPLE BAND TA08025-B605	
DIMENSIONS (HxWxD)	14.9"x15.7"x9"
WEIGHT	74.95 lbs
CONNECTOR TYPE	4.3-10 RF CONNECTOR
POWER SUPPLY	DC -58~-36V



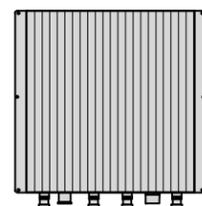
PLAN



BACK



SIDE



FRONT

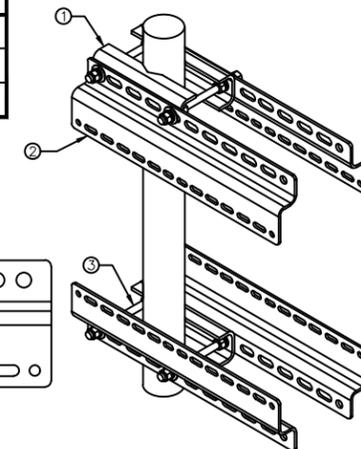
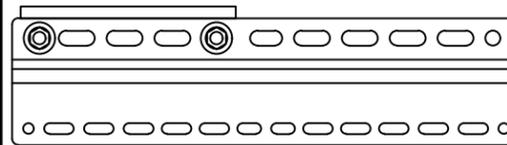
RRH DETAIL

NO SCALE

2

SABRE DOUBLE Z-BRACKET C10123155	
DIMENSIONS (HxWxD) (1 BRACKET)	5"x20"x1-13/16"
WEIGHT (FULL ASSEMBLY)	35.79 lbs
PACKAGE QUANTITY	4

#	DESCRIPTION
1	PLATE, CHANNEL BRACKET
2	RRH Z BRACKET, 3/16"
3	THREADED ROD ASSEMBLY 1/2"x12"



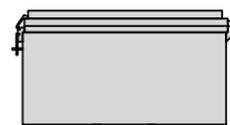
NOTE:  
OR DISH Wireless L.L.C.  
APPROVED EQUIVALENT

RRH MOUNT DETAIL

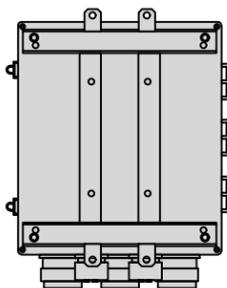
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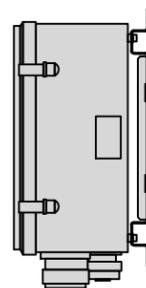
RAYCAP RDIDC-3045-PF-48 SURGE PROTECTION DEVICE (OVP)	
DIMENSIONS (HxWxD)	19"x16.21"x9.64"
WEIGHT	21 lbs



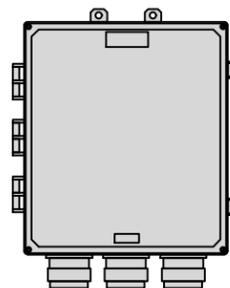
PLAN



BACK



SIDE



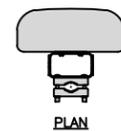
FRONT

SURGE PROTECTION DEVICE (OVP) DETAIL

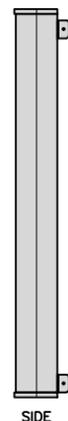
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4

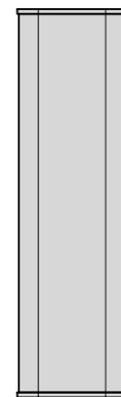
JMA MX08FRO665-21	
DIMENSIONS (HxWxD)	72"x20.0"x8.0"
RF PORTS, CONNECTOR TYPE	8 x 4.3-10 FEMALE
WEIGHT	64.5 lbs
WEIGHT WITH BRACKETS	82.5 lbs



PLAN



SIDE



FRONT

ANTENNA DETAIL

NO SCALE

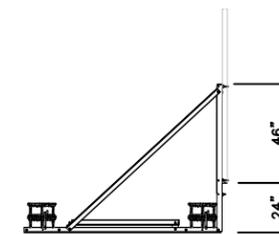
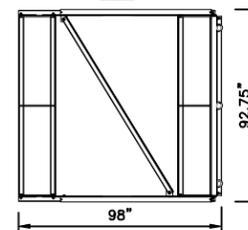
5

SITEPRO1 RTW-7 NON-PENETRATING SLED MOUNT	
FACE SIZE	7'-0"
WEIGHT	389 lbs

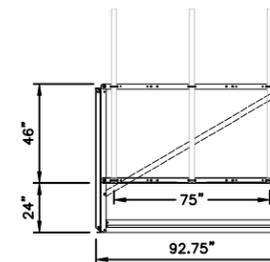
NOTE:  
(15) 4"x8"x16" SOLID CORE BLOCKS PER TRAY (CMU)  
MUST BE PURCHASED SEPARATELY

NOTE:  
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APPROVED EQUIVALENT

PLAN



SIDE



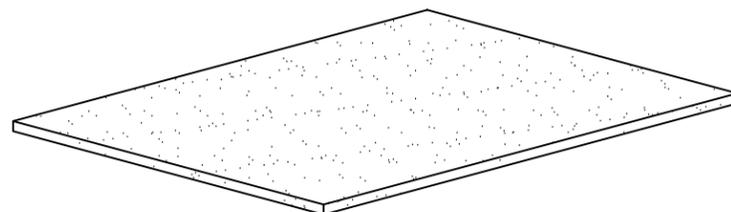
FRONT

SLED DETAIL

NO SCALE

6

UTILITY RUBBER MAT, BLACK	
DIMENSIONS	4'x 3'x 1/2"
WEIGHT/ VOLUME	36.5 LB AVERAGE
MATERIAL	100% RECYCLE RUBBER



UTILITY RUBBER MAT DETAIL

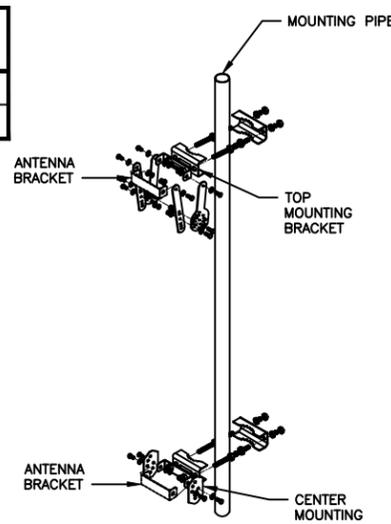
NO SCALE

7

JMA ANTENNA MOUNT BRACKET #91900318	
TOTAL WEIGHT (WITH BRACKETS)	18 lbs (8.18 Kg)
POLE DIAMETER RANGE	2.5" TO 4.5"

NOTE:  
KIT #91900318: TOP AND BOTTOM BRACKETS  
FOR 4-, 6-, AND 8-FOOT ANTENNAS  
ANTENNA BRACKET NOT PART OF KIT

NOTE:  
OR DISH Wireless L.L.C.  
APPROVED EQUIVALENT



ANTENNA BRACKET DETAIL

NO SCALE

8



NO SCALE

9

**dish**  
wireless.

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LITTLETON, CO 80120

**QUALTEK**  
WIRELESS

QUALTEK WIRELESS INC  
16 ESQUIRE ROAD  
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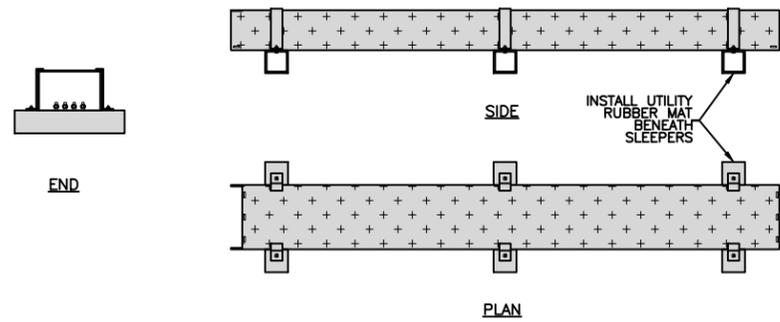
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100 HIGH STREET  
PORTSMOUTH, NH 03801

SHEET TITLE  
EQUIPMENT DETAILS

SHEET NUMBER

A-6

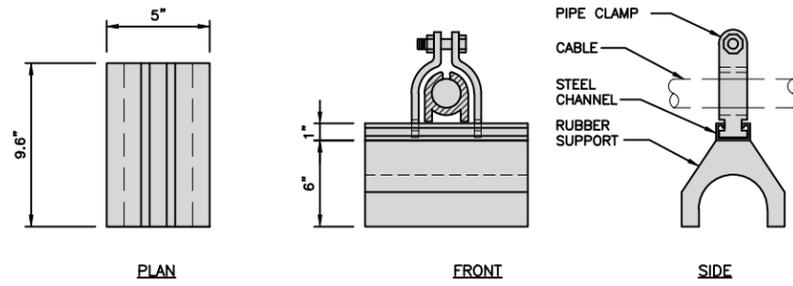
COMMSCOPE RT-CB4D ROOFTOP COVER KIT		MOUNTING	NON-PENETRATING
DIMENSIONS (HxWxL)	7"x 11.25"x 96"	INCLUDED PRODUCTS:	RTCB4D.01 CHANNEL (1) MT-F1598 SLEEPERS (3) RTCUH HARDWARE RTHC.01 HOLD-DOWN CLAMPS (6)
WEIGHT/ VOLUME	85.98 LBS		
CABLE RUN (QTY)	4		



ROOFTOP CABLE TRAY DETAIL NO SCALE 1

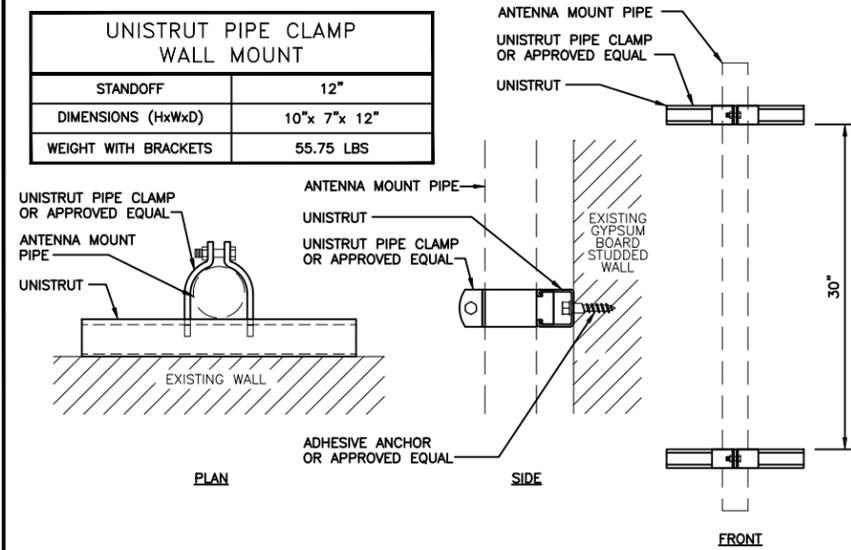
DURA-BLOK DB10 ROOFTOP CABLE SUPPORT	
DIMENSIONS (HxWxL)	5"x6"x9.6"
WEIGHT/ VOLUME	5.28 LBS
ULTIMATE LOAD CAPACITY	500 LBS

NOTE: NON-PENETRATING



ROOFTOP CABLE SUPPORT DETAIL NO SCALE 2

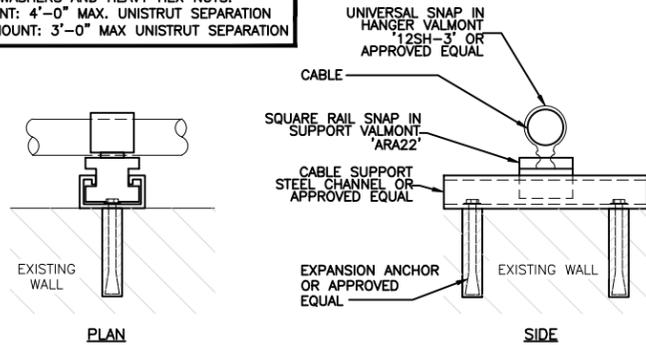
UNISTRUT PIPE CLAMP WALL MOUNT	
STANDOFF	12"
DIMENSIONS (HxWxD)	10"x 7"x 12"
WEIGHT WITH BRACKETS	55.75 LBS



UNISTRUT WALL MOUNT DETAIL NO SCALE 3

CABLE/CONDUIT WALL MOUNT SUPPORT	
UNISTRUT TYPE	GRAINGER P1000T
UNISTRUT DIMENSIONS (HxWxL)	1 5/8"x 1 5/8"x 12"
WEIGHT/ VOLUME	1.85 LB PER FOOT
ULTIMATE LOAD CAPACITY	718.5 LB

NOTES:  
1. ALL HARDWARE AND PARTS SHALL BE HOT DIPPED GALVANIZED WITH LOCK WASHERS AND HEAVY HEX NUTS.  
2. VERTICAL CABLE MOUNT: 4'-0" MAX. UNISTRUT SEPARATION  
3. HORIZONTAL CABLE MOUNT: 3'-0" MAX UNISTRUT SEPARATION



CABLE WALL MOUNT SUPPORT DETAIL NO SCALE 4

**PACKING MATERIAL:** MIN. 1 in. THICKNESS OF MIN. 3.5 pcf FIBERGLASS INSULATION SHALL BE WRAPPED AROUND THE THROUGH-PENETRANT AND SECURED TOGETHER BY MEANS OF NO. 24 AWG STEEL TIE WIRE. PACKING MATERIAL SHALL BE CENTERED AT MID-DEPTH OF OPENING AND RECESSED FROM BOTH SURFACES OF WALL ASSEMBLY REQUIRED TO ACCOMMODATE THE REQUIRED THICKNESS OF FILL MATERIAL.

**FILL, VOID OR CAVITY MATERIAL - CAULK OR PUTTY:** IN 2 HR FIRE RATED ASSEMBLIES MIN 3/4 IN. THICKNESS FILL MATERIAL APPLIED WITHIN THE ANNULUS, FLUSH BOTH SURFACES OF WALL. ADDITIONAL FILL MATERIAL TO BE INSTALLED SUCH THAT A MIN 1/4 in. CROWN IS FORMED AROUND THE PENETRATING ITEM. IN 1 HR FIRE RATED ASSEMBLIES, MIN 5/8 in. THICKNESS OF FILL MATERIAL APPLIED WITHIN ANNULUS ON BOTH SURFACES OF WALL. ADDITIONAL FILL MATERIAL TO BE INSTALLED SUCH THAT A MIN 3/8 in. CROWN IS FORMED AROUND THE PENETRATING ITEM AND LAPPING 1 in. BEYOND THE PERIPHERY OF THE OPENING.

**SPECIFIED TECHNOLOGIES INC.:** SPECSEAL SERIES SSS SEALANT, SPECSEAL LCI SEALANT OR SPECSEAL PUTTY.

ONE 4"Ø OR SMALLER METALLIC PIPE OR CONDUIT TO BE CENTERED WITHIN FIRESTOP SYSTEM. PIPE SHALL BE RIGIDLY SUPPORTED ON BOTH SIDES OF WALL/FLOOR ASSEMBLY AND HAVE AN ANNULAR SPACE OF 3/4"

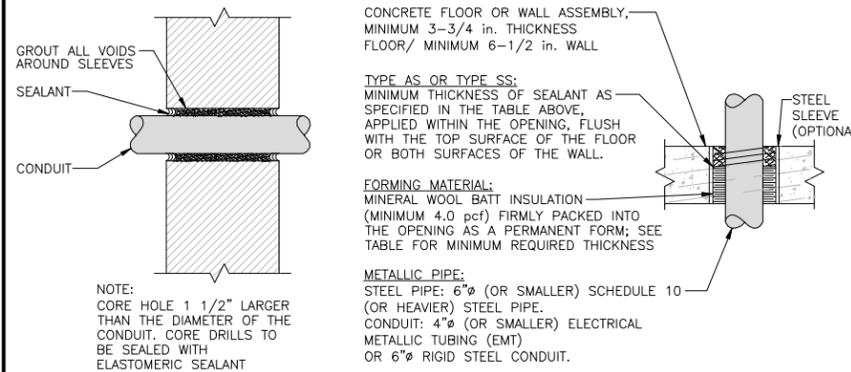
LAYERS OF 5/8" THICK GYPSUM WALL BOARD

WOOD OR METAL STUDS

UL SYSTEM NUMBER: W-L-1029 F RATING - 1 & 2 HR.

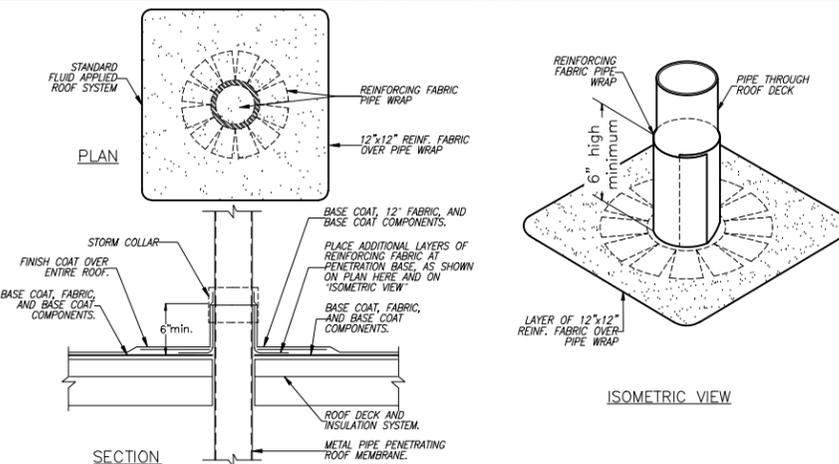
**ALL CORES THROUGH ELECTRIC ROOMS TO BE FIRE-STOPPED.**  
**USE FULL CONDUIT RUNS THROUGH PENETRATIONS**

PIPE AND CONDUIT PENETRATION DETAIL IN GYPSUM WALLBOARD



PIPE AND CONDUIT PENETRATION DETAIL IN NON-RATED PARTITION PIPE AND CONDUIT PENETRATION DETAIL IN CONCRETE OR MASONRY

PENETRATION DETAILS NO SCALE 6



NOTES:  
1. THIS DETAIL IS A TYPICAL PENETRATION DETAIL APPLICABLE FOR PIPE PENETRATIONS.  
2. FOR PIPE PENETRATIONS THAT EXCEED 18" ABOVE THE ROOF SURFACE A STORM COLLAR SHALL BE USED WITH A DRAW BAND AND CAULKING. THE ROOF COATING SHALL EXTEND 8" (MIN) UP PENETRATION SURFACE.  
3. FLUID APPLIED RESTORATION COATING SYSTEM - BASE COAT, REINFORCED FABRIC, BASE COAT 2, AND FINISH COAT COMPONENTS.  
4. PRIMING - REFER TO TROPICAL ROOFING PRODUCTS SPECIFICATIONS FOR DECK PRIMING REQUIREMENTS.

PIPE FLASHING DETAIL NO SCALE 7

— MOUNTING BOLT MOUNTED IN MOUNTING PLATE OF RRR

NO SCALE 8



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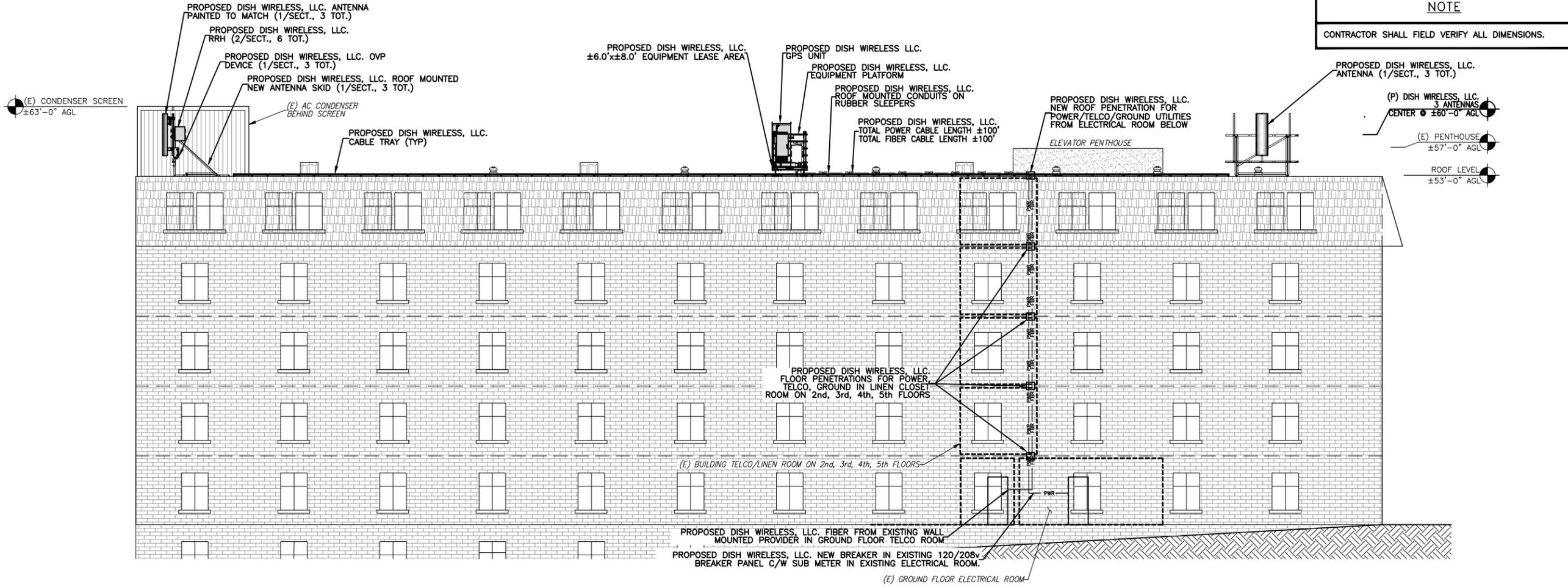
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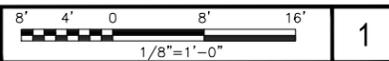
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PROJECT INFORMATION  
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SHEET TITLE  
EQUIPMENT DETAILS

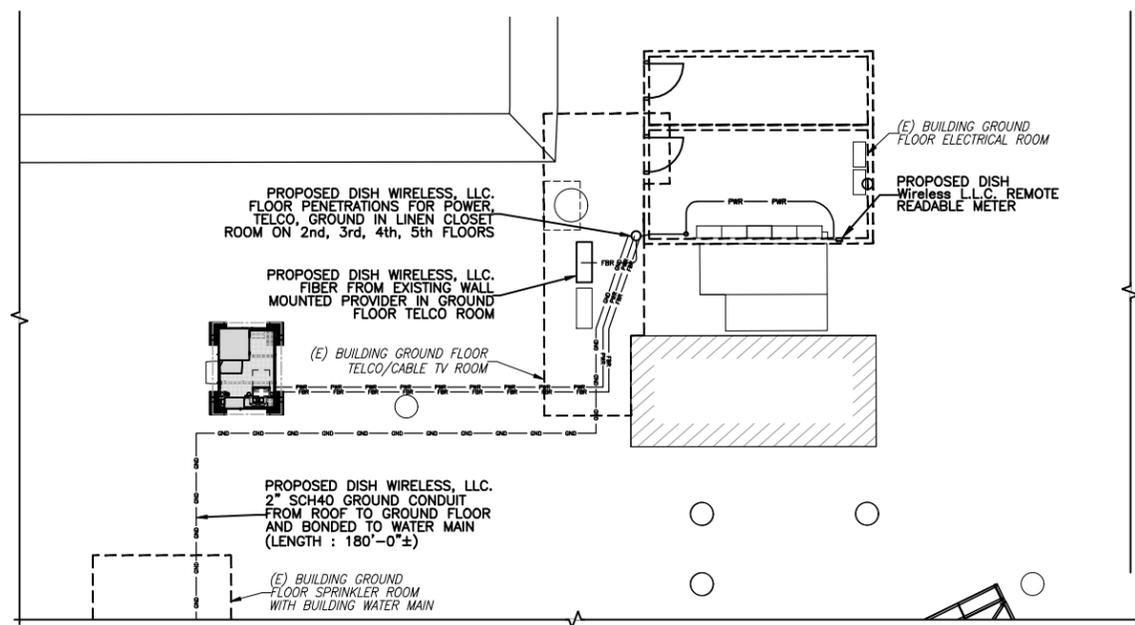
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**A-7**



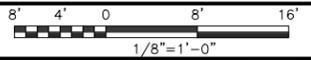
UTILITY ROUTE ELEVATION



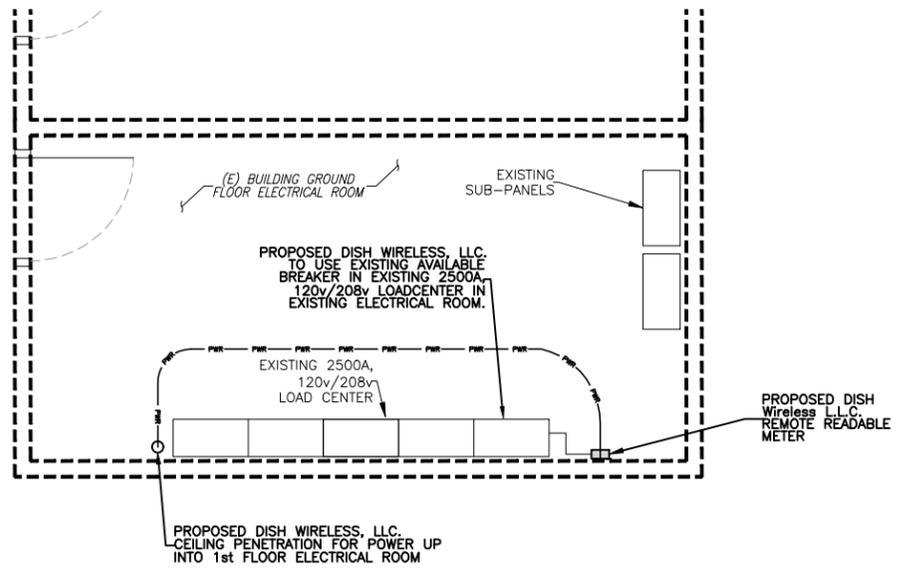
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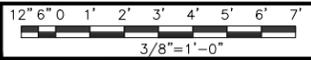
UTILITY ROUTE PLAN



3



GROUND FLOOR ELECTRICAL ROOM PLAN



4

- NOTES
1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
  2. REMOTE READABLE METER IN THE ELECTRICAL ROOM LOCATED ON WALL WILL NEED BUILDING MAINTENANCE FOR ROOM ACCESS

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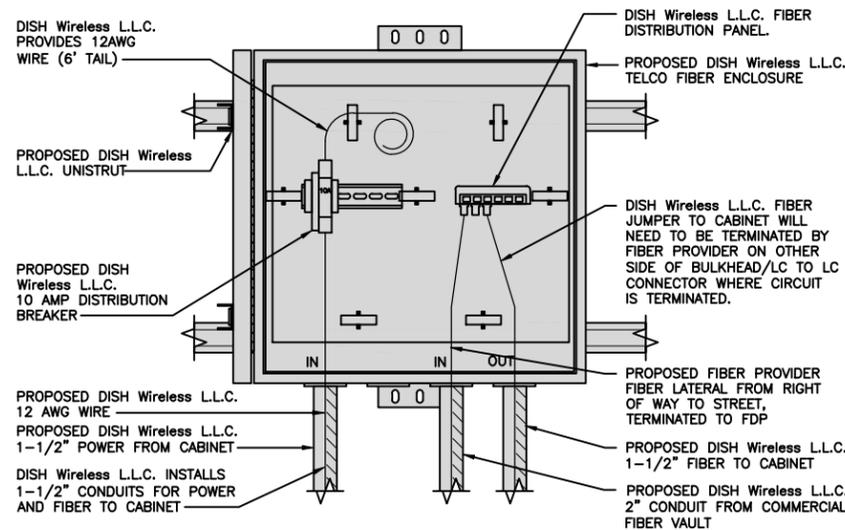
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SHEET TITLE  
ELECTRICAL/FIBER ROUTE  
PLAN AND NOTES

SHEET NUMBER  
**E-1**

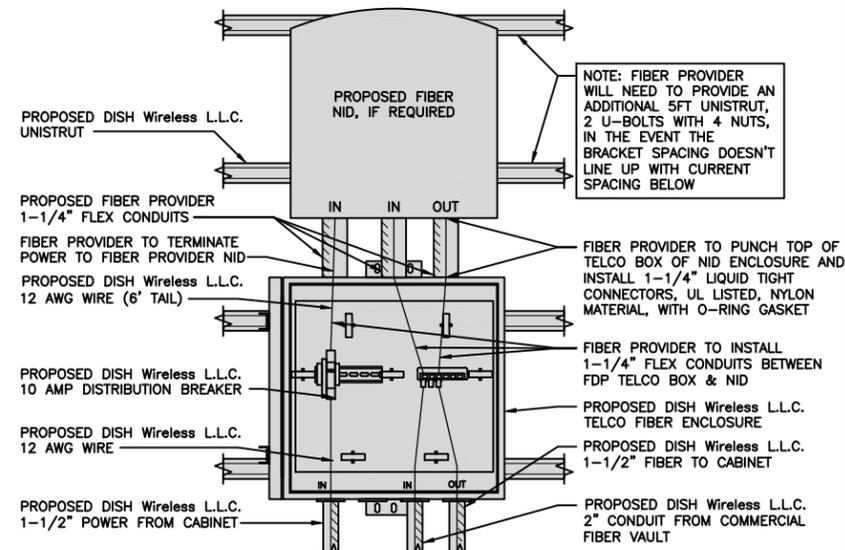
DC POWER WIRING SHALL BE COLOR CODED AT EACH END FOR IDENTIFYING +24V AND -48V CONDUCTORS. RED MARKINGS SHALL IDENTIFY +24V AND BLUE MARKINGS SHALL IDENTIFY -48V.

- CONTRACTOR SHALL INSPECT THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID. ANY QUESTIONS ARISING DURING THE BID PERIOD IN REGARDS TO THE CONTRACTOR'S FUNCTIONS, THE SCOPE OF WORK, OR ANY OTHER ISSUE RELATED TO THIS PROJECT SHALL BE BROUGHT UP DURING THE BID PERIOD WITH THE PROJECT MANAGER FOR CLARIFICATION, NOT AFTER THE CONTRACT HAS BEEN AWARDED.
- ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT NATIONAL ELECTRICAL CODES AND ALL STATE AND LOCAL CODES, LAWS, AND ORDINANCES. PROVIDE ALL COMPONENTS AND WIRING SIZES AS REQUIRED TO MEET NEC STANDARDS.
- LOCATION OF EQUIPMENT, CONDUIT AND DEVICES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND SHALL BE COORDINATED WITH FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- CONDUIT ROUGH-IN SHALL BE COORDINATED WITH THE MECHANICAL EQUIPMENT TO AVOID LOCATION CONFLICTS. VERIFY WITH THE MECHANICAL EQUIPMENT CONTRACTOR AND COMPLY AS REQUIRED.
- CONTRACTOR SHALL PROVIDE ALL BREAKERS, CONDUITS AND CIRCUITS AS REQUIRED FOR A COMPLETE SYSTEM.
- CONTRACTOR SHALL PROVIDE PULL BOXES AND JUNCTION BOXES AS REQUIRED BY THE NEC ARTICLE 314.
- CONTRACTOR SHALL PROVIDE ALL STRAIN RELIEF AND CABLE SUPPORTS FOR ALL CABLE ASSEMBLIES. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- ALL DISCONNECTS AND CONTROLLING DEVICES SHALL BE PROVIDED WITH ENGRAVED PHENOLIC NAMEPLATES INDICATING EQUIPMENT CONTROLLED, BRANCH CIRCUITS INSTALLED ON, AND PANEL FIELD LOCATIONS FED FROM.
- INSTALL AN EQUIPMENT GROUNDING CONDUCTOR IN ALL CONDUITS PER THE SPECIFICATIONS AND NEC 250. THE EQUIPMENT GROUNDING CONDUCTORS SHALL BE BONDED AT ALL JUNCTION BOXES, PULL BOXES, AND ALL DISCONNECT SWITCHES, AND EQUIPMENT CABINETS.
- ALL NEW MATERIAL SHALL HAVE A U.L. LABEL.
- PANEL SCHEDULE LOADING AND CIRCUIT ARRANGEMENTS REFLECT POST-CONSTRUCTION EQUIPMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR AS-BUILT PANEL SCHEDULE AND SITE DRAWINGS.



DARK TELCO BOX - INTERIOR WIRING LAYOUT

NO SCALE 2



LIT TELCO BOX - INTERIOR WIRING LAYOUT (OPTIONAL)

NO SCALE 3

ELECTRICAL NOTES

NO SCALE 1

NOT USED

NO SCALE 4

NOT USED

NO SCALE 5

NOT USED

NO SCALE 6

NOT USED

NO SCALE 7

NOT USED

NO SCALE 8



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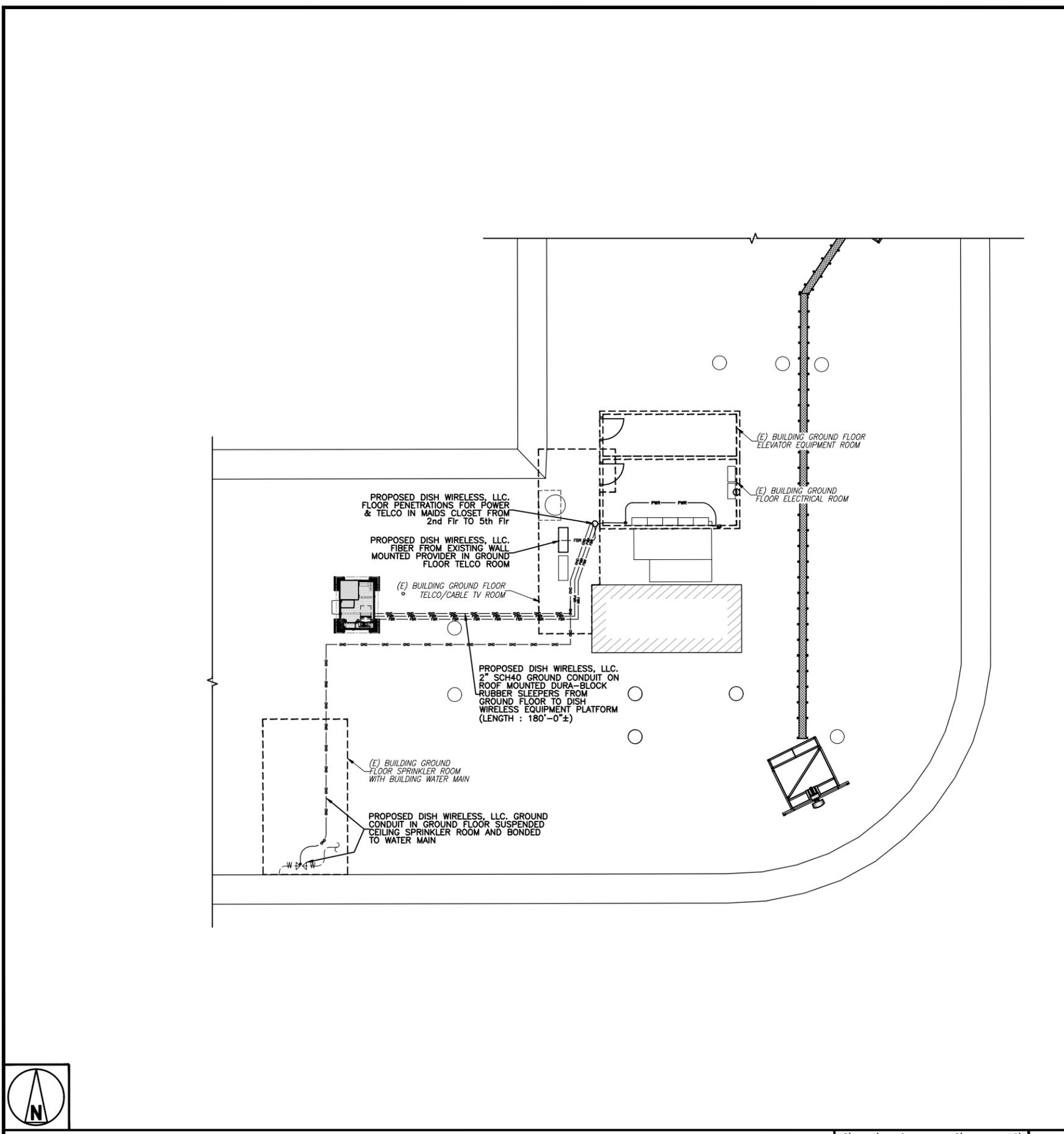
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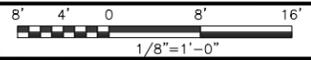
SHEET TITLE  
DETAILS

SHEET NUMBER  
E-2





GROUNDING PLAN



1

- EXOTHERMIC CONNECTION
- MECHANICAL CONNECTION
- ▬ GROUND BUS BAR
- GROUND ROD
- TEST GROUND ROD WITH INSPECTION SLEEVE
- #6 AWG STRANDED & INSULATED
- - - - - #2 AWG SOLID COPPER TINNED
- ▲ BUSS BAR INSULATOR

GROUNDING LEGEND

1. GROUNDING IS SHOWN DIAGRAMMATICALLY ONLY.
2. CONTRACTOR SHALL GROUND ALL EQUIPMENT AS A COMPLETE SYSTEM. GROUNDING SHALL BE IN COMPLIANCE WITH NEC SECTION 250 AND DISH Wireless L.L.C. GROUNDING AND BONDING REQUIREMENTS AND MANUFACTURER'S SPECIFICATIONS.
3. ALL GROUND CONDUCTORS SHALL BE COPPER; NO ALUMINUM CONDUCTORS SHALL BE USED.
4. NO EXOTHERMIC WELDING ON ROOFTOP

GROUNDING ROOFTOP KEY NOTES

- (A) **EXTERIOR GROUND RING:** #2 AWG SOLID COPPER, BURIED AT A DEPTH OF AT LEAST 30 INCHES BELOW GRADE, OR 6 INCHES BELOW THE FROST LINE AND APPROXIMATELY 24 INCHES FROM THE EXTERIOR WALL OR FOOTING.
  - (B) **ROOFTOP GROUND SYSTEM:** THE GROUND SYSTEM USING MINIMUM #2 AWG SOLID COPPER CONDUCTORS.
  - (C) **INTERIOR GROUND RING:** #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTOR EXTENDED AROUND THE PERIMETER OF THE EQUIPMENT AREA. ALL NON-TELECOMMUNICATIONS RELATED METALLIC OBJECTS FOUND WITHIN A SITE SHALL BE GROUNDED TO THE INTERIOR GROUND RING WITH #6 AWG STRANDED GREEN INSULATED CONDUCTOR.
  - (D) **BOND TO INTERIOR GROUND RING:** #2 AWG SOLID TINNED COPPER WIRE PRIMARY BONDS SHALL BE PROVIDED AT LEAST AT FOUR POINTS ON THE INTERIOR GROUND RING, LOCATED AT THE CORNERS OF THE BUILDING OR ROOM.
  - (E) **GROUND ROD:** UL LISTED COPPER CLAD STEEL. MINIMUM 1/2" DIAMETER BY EIGHT FEET LONG. GROUND RODS SHALL BE INSTALLED WITH INSPECTION SLEEVES. GROUND RODS SHALL BE DRIVEN TO THE DEPTH OF GROUND RING CONDUCTOR.
  - (F) **CELL REFERENCE GROUND BAR (CRGB):** POINT OF GROUND REFERENCE FOR ALL COMMUNICATIONS EQUIPMENT FRAMES. ALL BONDS ARE MADE WITH #2 AWG UNLESS NOTED OTHERWISE STRANDED GREEN INSULATED COPPER CONDUCTORS. BOND TO COMMON BUILDING GROUND SYSTEM WITH (2) #2 SOLID TINNED COPPER CONDUCTORS.
  - (G) **HATCH PLATE GROUND BAR:** BOND TO THE COMMON BUILDING GROUND SYSTEM WITH TWO #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTORS. WHEN A HATCH-PLATE AND A CELL REFERENCE GROUND BAR ARE BOTH PRESENT, THE CRGB MUST BE CONNECTED TO THE HATCH-PLATE AND TO THE INTERIOR GROUND RING USING (2) TWO #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTORS EACH.
  - (H) **EXTERIOR CABLE ENTRY PORT GROUND BARS:** LOCATED AT THE ENTRANCE TO THE CELL SITE ROOM. BOND TO GROUND RING WITH A #2 AWG SOLID TINNED COPPER CONDUCTORS WITH MECHANICAL CONNECTIONS.
  - (I) **TELCO GROUND BAR:** BOND TO BOTH CELL REFERENCE GROUND BAR OR EXTERIOR GROUND RING.
  - (J) **FRAME BONDING:** THE BONDING POINT FOR TELECOM EQUIPMENT FRAMES SHALL BE THE GROUND BUS THAT IS NOT ISOLATED FROM THE EQUIPMENTS METAL FRAMEWORK.
  - (K) **INTERIOR UNIT BONDS:** METAL FRAMES, CABINETS AND INDIVIDUAL METALLIC UNITS LOCATED WITH THE AREA OF THE INTERIOR GROUND RING REQUIRE A #6 AWG STRANDED GREEN INSULATED COPPER BOND TO THE INTERIOR GROUND RING.
  - (L) **FENCE AND GATE GROUNDING:** METAL FENCES SHALL BE BONDED TO THE COMMON BUILDING GROUND SYSTEM WITH A #2 AWG SOLID TINNED COPPER CONDUCTOR AT AN INTERVAL NOT EXCEEDING 25 FEET. BONDS SHALL BE MADE AT EACH GATE POST AND ACROSS GATE OPENINGS.
  - (M) **EXTERIOR UNIT BONDS:** METALLIC OBJECTS, EXTERNAL TO OR MOUNTED TO THE BUILDING, SHALL BE BONDED TO THE COMMON BUILDING GROUND SYSTEM. USING #2 TINNED SOLID COPPER WIRE
  - (N) **ICE BRIDGE SUPPORTS:** EACH ICE BRIDGE LEG SHALL BE BONDED TO THE GROUND RING WITH #2 AWG BARE TINNED COPPER CONDUCTOR. PROVIDE EXOTHERMIC WELDS AT BOTH THE ICE BRIDGE LEG AND BURIED GROUND RING.
  - (O) **DURING ALL DC POWER SYSTEM CHANGES INCLUDING DC SYSTEM CHANGE OUTS, RECTIFIER REPLACEMENTS OR ADDITIONS, BREAKER DISTRIBUTION CHANGES, BATTERY ADDITIONS, BATTERY REPLACEMENTS AND INSTALLATIONS OR CHANGES TO DC CONVERTER SYSTEMS IT SHALL BE REQUIRED THAT SERVICE CONTRACTORS VERIFY ALL DC POWER SYSTEMS ARE EQUIPPED WITH A MASTER DC SYSTEM RETURN GROUND CONDUCTOR FROM THE DC POWER SYSTEM COMMON RETURN BUS DIRECTLY CONNECTED TO THE CELL SITE REFERENCE GROUND BAR**
  - (P) **ROOFTOP COLLECTOR BUSS BAR IS TO BE MECHANICALLY BONDED TO COMMON BUILDING GROUND SYSTEM.**
- REFER TO DISH Wireless L.L.C. GROUNDING NOTES.

GROUNDING KEY NOTES

NO SCALE

2

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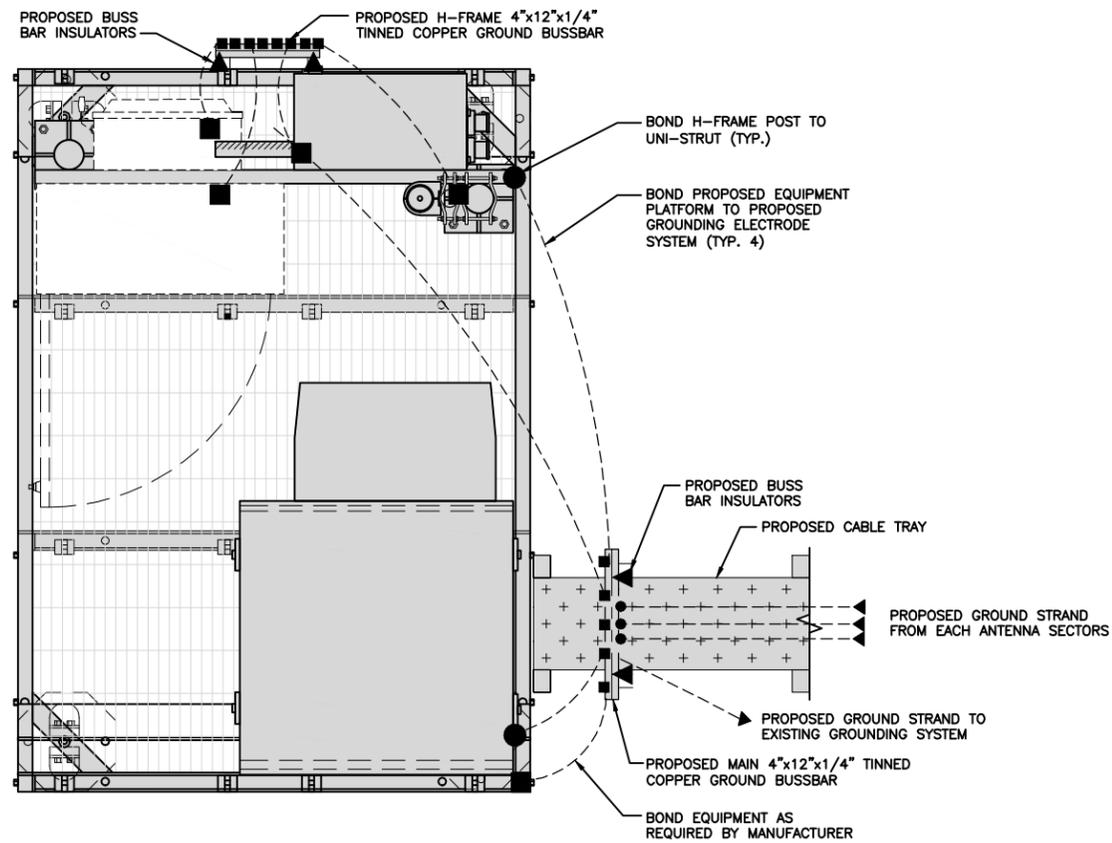
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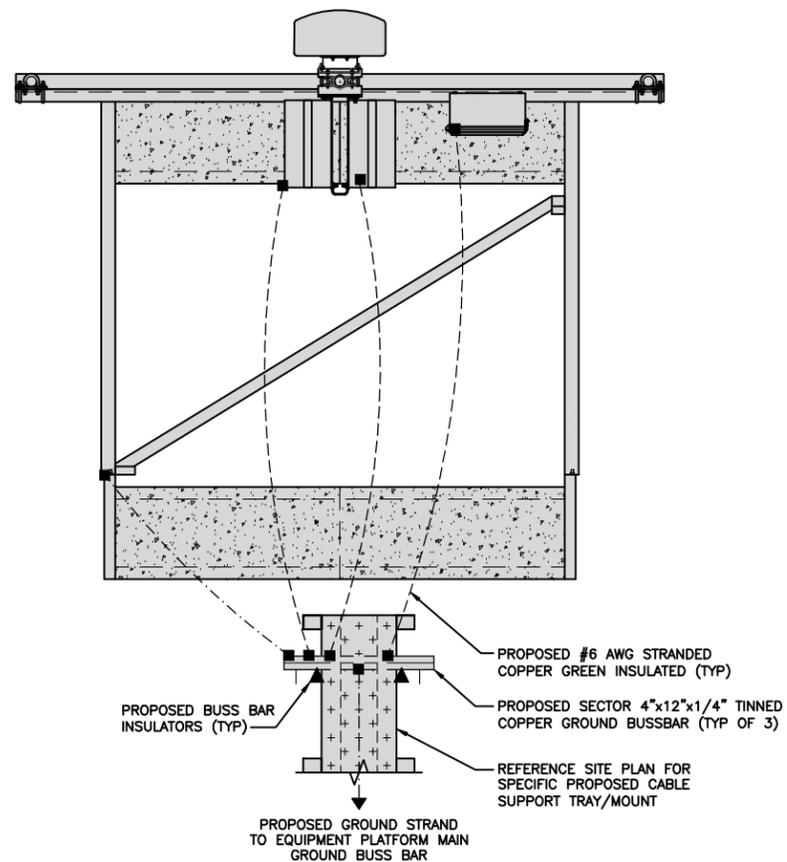
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AND NOTES

SHEET NUMBER  
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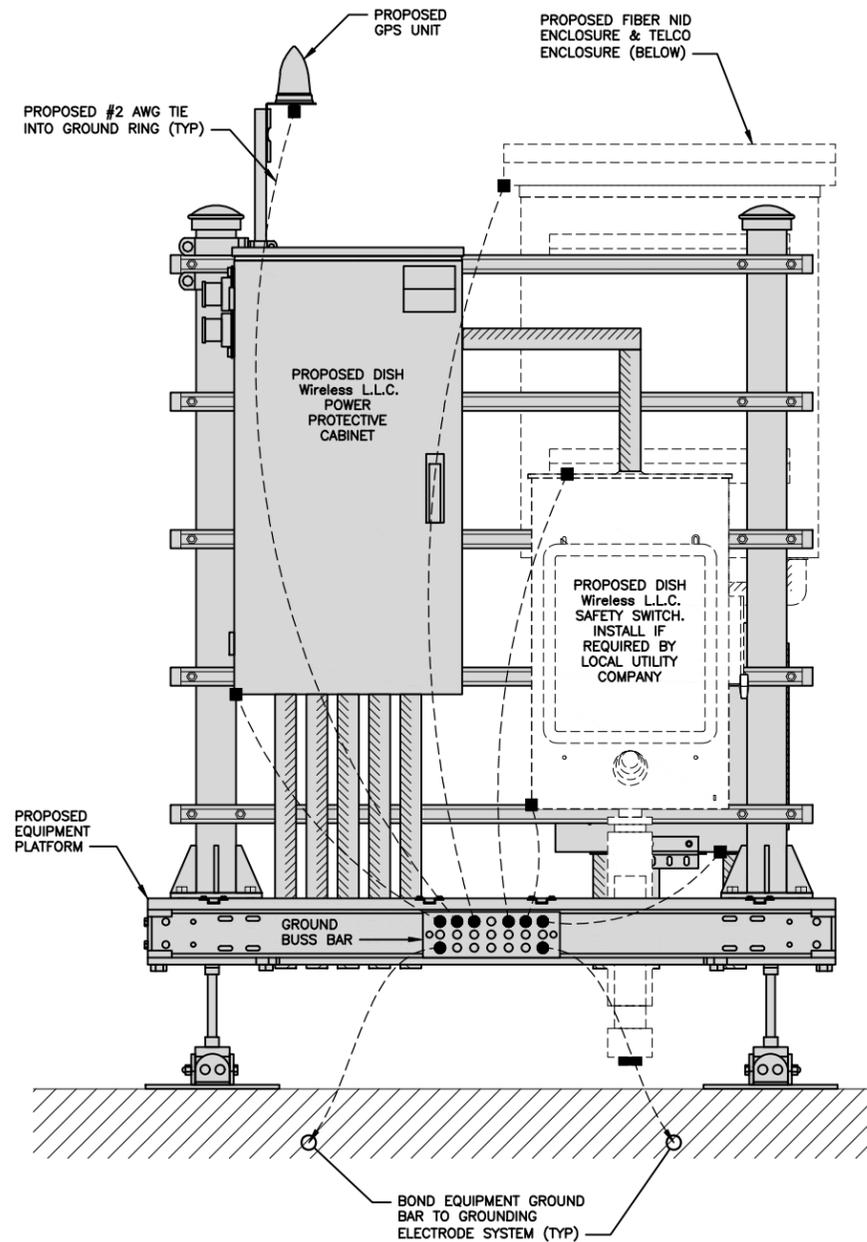
TYPICAL ROOFTOP EQUIPMENT GROUNDING PLAN

NO SCALE 1



TYPICAL ROOFTOP ANTENNA GROUNDING PLAN

NO SCALE 2



H-FRAME GROUNDING DETAIL

NOTE

EQUIPMENT CABINET OMITTED FOR CLARITY



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GROUNDING DETAILS

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G-2

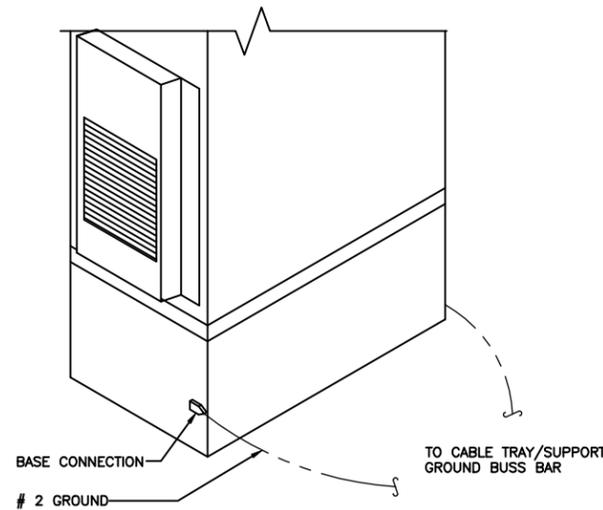
NO SCALE 3

1. EXOTHERMIC WELD (2) TWO, #2 AWG BARE TINNED SOLID COPPER CONDUCTORS TO GROUND BAR. ROUTE CONDUCTORS TO BURIED GROUND RING AND PROVIDE PARALLEL EXOTHERMIC WELD.
2. ALL EXTERIOR GROUNDING HARDWARE SHALL BE STAINLESS STEEL 3/8" DIAMETER OR LARGER. ALL HARDWARE 18-8 STAINLESS STEEL INCLUDING LOCK WASHERS, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
3. FOR GROUND BOND TO STEEL ONLY: COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
4. DO NOT INSTALL CABLE GROUNDING KIT AT A BEND AND ALWAYS DIRECT GROUND CONDUCTOR DOWN TO GROUNDING BUS.
5. NUT & WASHER SHALL BE PLACED ON THE FRONT SIDE OF THE GROUND BAR AND BOLTED ON THE BACK SIDE.
6. ALL GROUNDING PARTS AND EQUIPMENT TO BE SUPPLIED AND INSTALLED BY CONTRACTOR.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ADDITIONAL GROUND BAR AS REQUIRED.
8. ENSURE THE WIRE INSULATION TERMINATION IS WITHIN 1/8" OF THE BARREL (NO SHINERS).

TYPICAL GROUNDING NOTES

NO SCALE

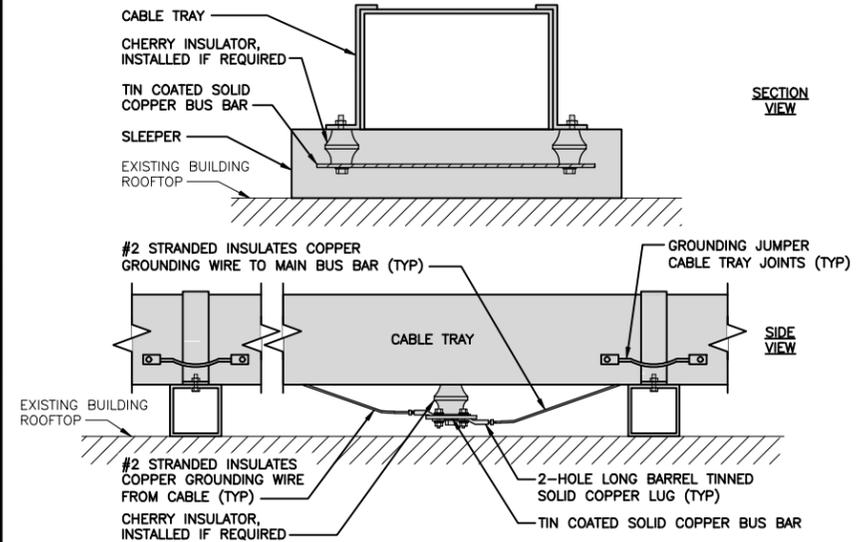
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OUTDOOR CABINET GROUNDING

NO SCALE

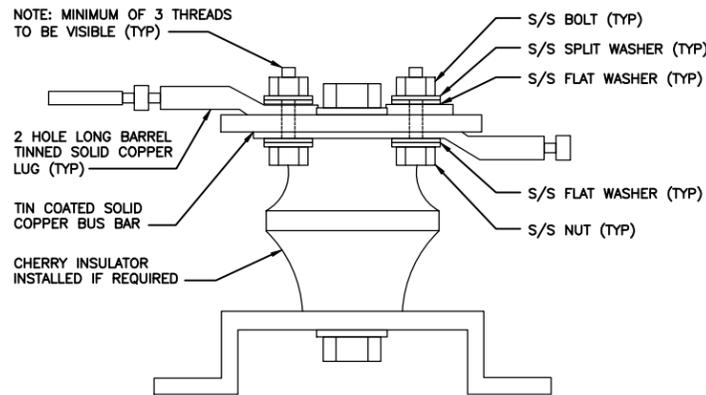
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TYPICAL CABLE TRAY GROUND BUSS BAR

NO SCALE

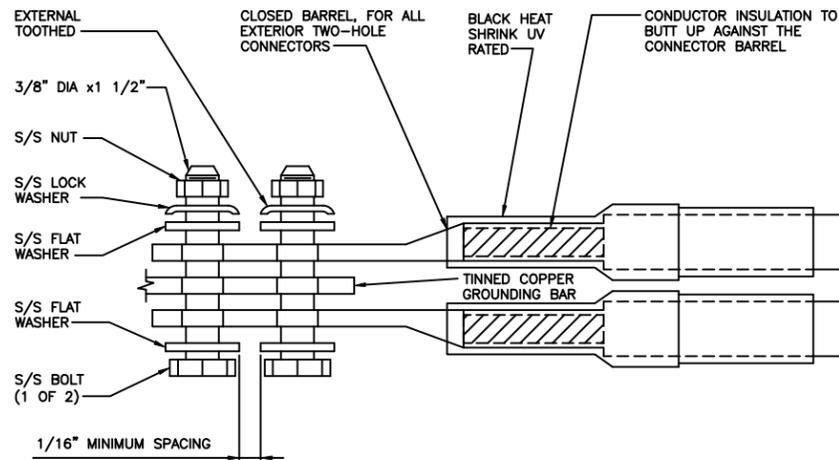
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LUG DETAIL

NO SCALE

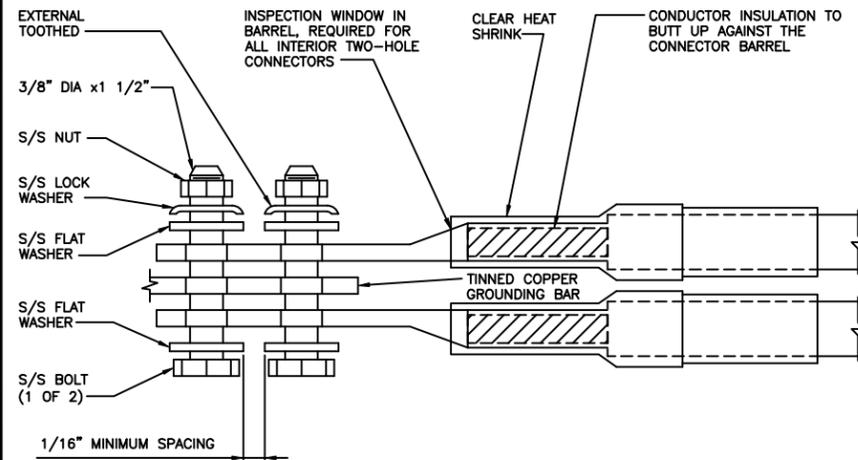
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TYPICAL EXTERIOR TWO HOLE LUG

NO SCALE

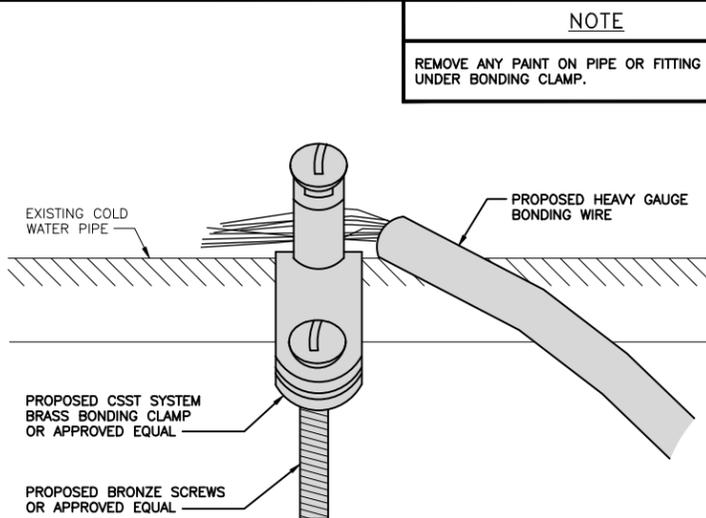
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TYPICAL INTERIOR TWO HOLE LUG

NO SCALE

6



TYPICAL COLD WATER CONDUIT GROUNDING DETAIL

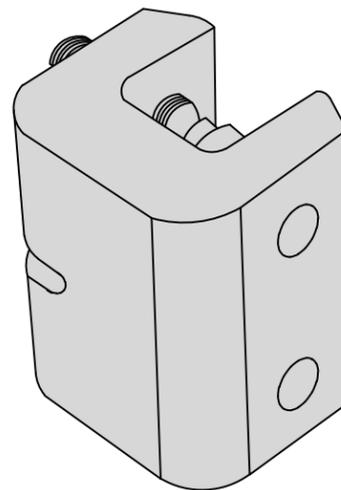
NO SCALE

7

PANDUIT GUBC500-6 UNIVERSAL BEAM GROUNDING, CLAMP

COPPER CONDUCTOR SIZE RANGE AWG	#6-500
FLANGE THICKNESS INCHES	0.250-0.675
STUD SIZE INCHES	1/2"
THREAD SIZE	1/2"-13
DIMENSIONS (LxWxH)	3.15" x 2.13" x 2.50"

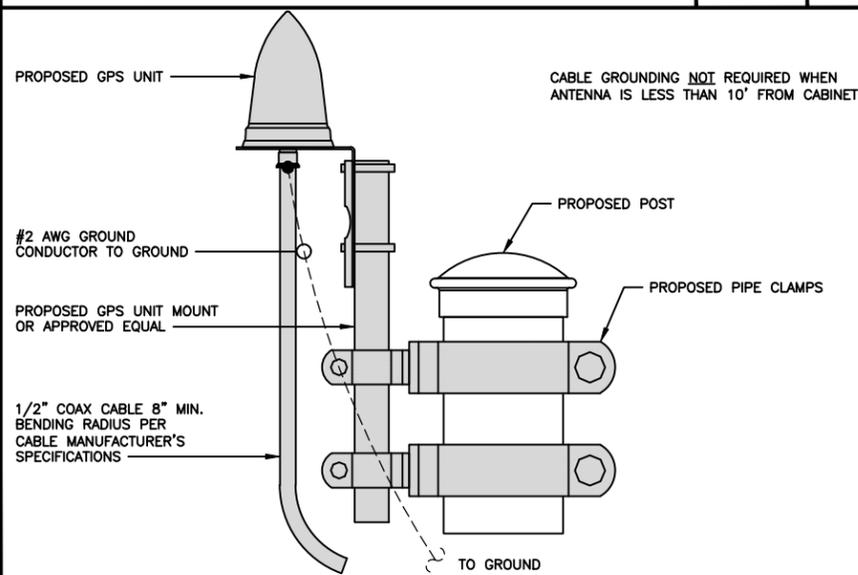
- NOTE:
1. UNIVERSAL, FITS ON A WIDE RANGE OF STANDARD (ANGLED) AND WIDE FLANGE (PARALLEL) STRUCTURAL STEEL BEAMS.
  2. UL 467 LISTED FOR GROUNDING AND BONDING ONLY



BUILDING STEEL GROUNDING DETAIL

NO SCALE

8



TYPICAL GPS UNIT GROUNDING

NO SCALE

9

**dish**  
wireless.

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WIRELESS

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BOBOS01018D

DISH Wireless L.L.C.  
PROJECT INFORMATION

BOBOS01018D  
100 HIGH STREET  
PORTSMOUTH, NH 03801

SHEET TITLE  
GROUNDING DETAILS

SHEET NUMBER

**G-3**

**RF Jumper Color Coding**

3/4" tape widths with 3/4" spacing

	ALPHA RRH				BETA RRH				GAMMA RRH			
	Port 1 + slant	Port 2 - slant	Port 3 + slant	Port 4 - slant	Port 1 + slant	Port 2 - slant	Port 3 + slant	Port 4 - slant	Port 1 + slant	Port 2 - slant	Port 3 + slant	Port 4 - slant
Low-Band RRH - (600MHz N71 baseband) + (850MHz N26 band) + (700MHz N29 band) - optional per market	RED	RED	RED	RED	BLUE	BLUE	BLUE	BLUE	GREEN	GREEN	GREEN	GREEN
Add Frequency Color to Sector Band (CBRS will use Yellow bands)	ORANGE	ORANGE	RED	RED	ORANGE	ORANGE	BLUE	BLUE	ORANGE	ORANGE	GREEN	GREEN
		WHITE (-) Port	ORANGE	ORANGE		WHITE (-) Port	ORANGE	ORANGE		WHITE (-) Port	ORANGE	ORANGE
			WHITE (-) Port				WHITE (-) Port	WHITE (-) Port			WHITE (-) Port	WHITE (-) Port

Mid-band RRH - (AWS bands N66+N70)	RED	RED	RED	RED	BLUE	BLUE	BLUE	BLUE	GREEN	GREEN	GREEN	GREEN
Add Frequency Color to Sector Band (CBRS will use Yellow bands)	PURPLE	PURPLE	RED	RED	PURPLE	PURPLE	BLUE	BLUE	PURPLE	PURPLE	GREEN	GREEN
		WHITE (-) Port	PURPLE	PURPLE		WHITE (-) Port	PURPLE	PURPLE		WHITE (-) Port	PURPLE	PURPLE
			WHITE (-) Port				WHITE (-) Port	WHITE (-) Port			WHITE (-) Port	WHITE (-) Port

Hybrid/Discreet Cables	Example 1	Example 2 (3rd Tech added)	Example 3 COAX #1 (Alpha)	(canister) COAX #2 (Alpha)
Include sector bands being supported along with frequency bands	RED BLUE GREEN	RED BLUE GREEN	RED	RED
Example 1 - Hybrid, or discreet, supports all sectors, both low-bands and mid-bands	ORANGE PURPLE	YELLOW		RED
Example 2 - Hybrid, or discreet, supports CBRS only, all sectors				
Example 3 - Main Coax with ground mounted RRUs				

Fiber Jumpers to RRHs	Low Band RRH	Mid Band RRH	Low Band RRH	Mid Band RRH	Low Band RRH	Mid Band RRH
Low Band RRH fiber cables have sector stripe only	RED ORANGE	RED PURPLE	BLUE ORANGE	BLUE PURPLE	GREEN ORANGE	GREEN PURPLE

Power Cables to RRHs	Low Band RRH	Mid Band RRH	Low Band RRH	Mid Band RRH	Low Band RRH	Mid Band RRH
Low Band RRH power cables have sector stripe only	RED ORANGE	RED PURPLE	BLUE ORANGE	BLUE PURPLE	GREEN ORANGE	GREEN PURPLE

RET motors at Antennas	Antenna 1 Mid Band / IN	Antenna 1 Low Band / IN	Antenna 1 Mid Band / IN	Antenna 1 Low Band / IN	Antenna 1 Mid Band / IN	Antenna 1 Low Band / IN
RET control is handled by the MID-band RRU when one set of RET ports exist on antenna.	RED	RED	BLUE	BLUE	GREEN	GREEN
Separate RET cables are used when antenna ports provide inputs for both LOW and MID bands.	PURPLE	ORANGE	PURPLE	ORANGE	PURPLE	ORANGE

Microwave Radio Links	Forward azimuth of 0-120 degrees		Forward azimuth of 120-240 degrees		Forward azimuth of 240-359 degrees	
	Primary	Secondary	Primary	Secondary	Primary	Secondary
Links will have a 1.5-2 inch white wrap with the azimuth color overlapping in the middle. Add additional sector color bands for each additional MW radio.	WHITE RED WHITE	WHITE RED WHITE	WHITE BLUE WHITE	WHITE BLUE WHITE	WHITE GREEN WHITE	WHITE GREEN WHITE
Microwave cables will require P-touch labels inside the cabinet to identify the local and remote Site ID's.						

Low Bands (N71+N26) Optional - (N29)	AWS (N66+N70+H-block)	CBRS Tech (3 GHz)	Negative Slant Port on Ant/RRH
ORANGE	PURPLE	YELLOW	WHITE

COLOR IDENTIFIER	NO SCALE	2
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NOT USED	NO SCALE	3
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DRAWN BY:	CHECKED BY:	APPROVED BY:
GAM	MN	MP

RFDS REV #: 0

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100 HIGH STREET  
PORTSMOUTH, NH 03801

SHEET TITLE  
RF  
CABLE COLOR CODE

SHEET NUMBER  
**RF-1**

RF CABLE COLOR CODES

NO SCALE

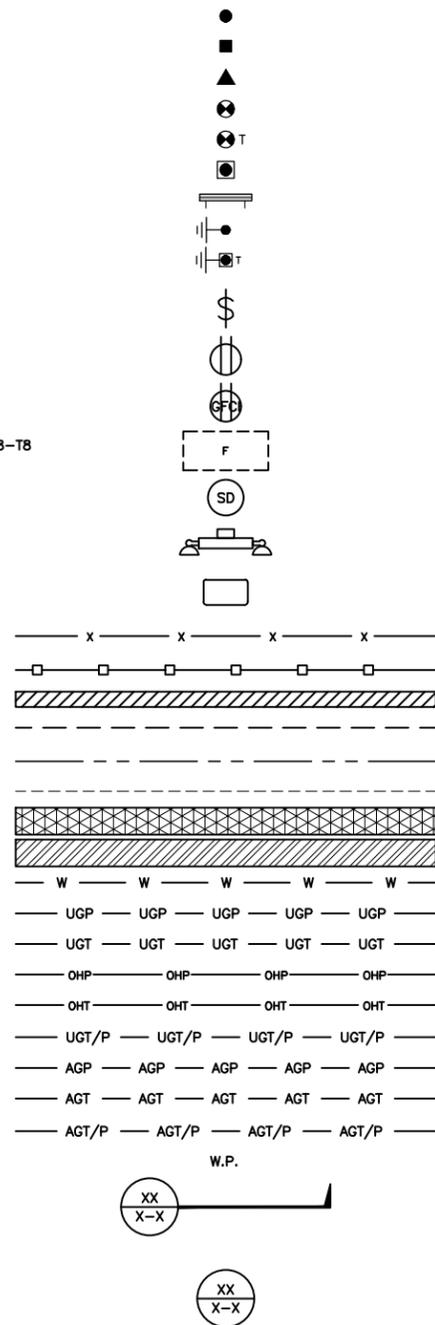
1

NOT USED

NO SCALE

4

EXOTHERMIC CONNECTION  
 MECHANICAL CONNECTION  
 BUSS BAR INSULATOR  
 CHEMICAL ELECTROLYTIC GROUNDING SYSTEM  
 TEST CHEMICAL ELECTROLYTIC GROUNDING SYSTEM  
 EXOTHERMIC WITH INSPECTION SLEEVE  
 GROUNDING BAR  
 GROUND ROD  
 TEST GROUND ROD WITH INSPECTION SLEEVE  
 SINGLE POLE SWITCH  
 DUPLEX RECEPTACLE  
 DUPLEX GFCI RECEPTACLE  
 FLUORESCENT LIGHTING FIXTURE (2) TWO LAMPS 48-T8  
 SMOKE DETECTION (DC)  
 EMERGENCY LIGHTING (DC)  
 SECURITY LIGHT W/PHOTOCELL LITHONIA ALXW  
 LED-1-25A400/51K-SR4-120-PE-DBBTD  
 CHAIN LINK FENCE  
 WOOD/WROUGHT IRON FENCE  
 WALL STRUCTURE  
 LEASE AREA  
 PROPERTY LINE (PL)  
 SETBACKS  
 ICE BRIDGE  
 CABLE TRAY  
 WATER LINE  
 UNDERGROUND POWER  
 UNDERGROUND TELCO  
 OVERHEAD POWER  
 OVERHEAD TELCO  
 UNDERGROUND TELCO/POWER  
 ABOVE GROUND POWER  
 ABOVE GROUND TELCO  
 ABOVE GROUND TELCO/POWER  
 WORKPOINT  
 SECTION REFERENCE  
 DETAIL REFERENCE



LEGEND

AB ANCHOR BOLT  
 ABV ABOVE  
 AC ALTERNATING CURRENT  
 ADDL ADDITIONAL  
 AFF ABOVE FINISHED FLOOR  
 AFG ABOVE FINISHED GRADE  
 AGL ABOVE GROUND LEVEL  
 AIC AMPERAGE INTERRUPTION CAPACITY  
 ALUM ALUMINUM  
 ALT ALTERNATE  
 ANT ANTENNA  
 APPROX APPROXIMATE  
 ARCH ARCHITECTURAL  
 ATS AUTOMATIC TRANSFER SWITCH  
 AWG AMERICAN WIRE GAUGE  
 BATT BATTERY  
 BLDG BUILDING  
 BLK BLOCK  
 BLKG BLOCKING  
 BM BEAM  
 BTC BARE TINNED COPPER CONDUCTOR  
 BOF BOTTOM OF FOOTING  
 CAB CABINET  
 CANT CANTILEVERED  
 CHG CHARGING  
 CLG CEILING  
 CLR CLEAR  
 COL COLUMN  
 COMM COMMON  
 CONC CONCRETE  
 CONSTR CONSTRUCTION  
 DBL DOUBLE  
 DC DIRECT CURRENT  
 DEPT DEPARTMENT  
 DF DOUGLAS FIR  
 DIA DIAMETER  
 DIAG DIAGONAL  
 DIM DIMENSION  
 DWG DRAWING  
 DWL DOWEL  
 EA EACH  
 EC ELECTRICAL CONDUCTOR  
 EL ELEVATION  
 ELEC ELECTRICAL  
 EMT ELECTRICAL METALLIC TUBING  
 ENG ENGINEER  
 EQ EQUAL  
 EXP EXPANSION  
 EXT EXTERIOR  
 EW EACH WAY  
 FAB FABRICATION  
 FF FINISH FLOOR  
 FG FINISH GRADE  
 FIF FACILITY INTERFACE FRAME  
 FIN FINISH(ED)  
 FLR FLOOR  
 FDN FOUNDATION  
 FOC FACE OF CONCRETE  
 FOM FACE OF MASONRY  
 FOS FACE OF STUD  
 FOW FACE OF WALL  
 FS FINISH SURFACE  
 FT FOOT  
 FTG FOOTING  
 GA GAUGE  
 GEN GENERATOR  
 GFCI GROUND FAULT CIRCUIT INTERRUPTER  
 GLB GLUE LAMINATED BEAM  
 GLV GALVANIZED  
 GPS GLOBAL POSITIONING SYSTEM  
 GND GROUND  
 GSM GLOBAL SYSTEM FOR MOBILE  
 HDG HOT DIPPED GALVANIZED  
 HDR HEADER  
 HGR HANGER  
 HVAC HEAT/VENTILATION/AIR CONDITIONING  
 HT HEIGHT  
 IGR INTERIOR GROUND RING  
 IN INCH  
 INT INTERIOR  
 LB(S) POUND(S)  
 LF LINEAR FEET  
 LTE LONG TERM EVOLUTION  
 MAS MASONRY  
 MAX MAXIMUM  
 MB MACHINE BOLT  
 MECH MECHANICAL  
 MFR MANUFACTURER  
 MGB MASTER GROUND BAR  
 MIN MINIMUM  
 MISC MISCELLANEOUS  
 MTL METAL  
 MTS MANUAL TRANSFER SWITCH  
 MW MICROWAVE  
 NEC NATIONAL ELECTRIC CODE  
 NM NEWTON METERS  
 NO. NUMBER  
 # NUMBER  
 NTS NOT TO SCALE  
 OC ON-CENTER  
 OSHA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION  
 OPNG OPENING  
 P/C PRECAST CONCRETE  
 PCS PERSONAL COMMUNICATION SERVICES  
 PCU PRIMARY CONTROL UNIT  
 PRC PRIMARY RADIO CABINET  
 PP POLARIZING PRESERVING  
 PSF POUNDS PER SQUARE FOOT  
 PSI POUNDS PER SQUARE INCH  
 PT PRESSURE TREATED  
 PWR POWER CABINET  
 QTY QUANTITY  
 RAD RADIUS  
 RECT RECTIFIER  
 REF REFERENCE  
 REINF REINFORCEMENT  
 REQ'D REQUIRED  
 RET REMOTE ELECTRIC TILT  
 RF RADIO FREQUENCY  
 RMC RIGID METALLIC CONDUIT  
 RRH REMOTE RADIO HEAD  
 RRU REMOTE RADIO UNIT  
 RWY RACEWAY  
 SCH SCHEDULE  
 SHT SHEET  
 SIAD SMART INTEGRATED ACCESS DEVICE  
 SIM SIMILAR  
 SPEC SPECIFICATION  
 SQ SQUARE  
 SS STAINLESS STEEL  
 STD STANDARD  
 STL STEEL  
 TEMP TEMPORARY  
 THK THICKNESS  
 TMA TOWER MOUNTED AMPLIFIER  
 TN TOE NAIL  
 TOA TOP OF ANTENNA  
 TOC TOP OF CURB  
 TOF TOP OF FOUNDATION  
 TOP TOP OF PLATE (PARAPET)  
 TOS TOP OF STEEL  
 TOW TOP OF WALL  
 TVSS TRANSIENT VOLTAGE SURGE SUPPRESSION  
 TYP TYPICAL  
 UG UNDERGROUND  
 UL UNDERWRITERS LABORATORY  
 UNO UNLESS NOTED OTHERWISE  
 UMTS UNIVERSAL MOBILE TELECOMMUNICATIONS SYSTEM  
 UPS UNINTERRUPTIBLE POWER SYSTEM (DC POWER PLANT)  
 VIF VERIFIED IN FIELD  
 W WIDE  
 W/ WITH  
 WD WOOD  
 WP WEATHERPROOF  
 WT WEIGHT

ABBREVIATIONS



5701 SOUTH SANTA FE DRIVE  
 LITTLETON, CO 80120



QUALTEK WIRELESS INC  
 16 ESQUIRE ROAD  
 BILLERICA, MA 01821



VERTICAL RESOURCES GRP.  
 23 Midstate Dr., #210  
 Auburn, MA 01501  
 Tel. (508) 981-9590  
 Fax (508) 519-8939  
 mnobre@verticalresourcesgrp.com



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 PROJECT INFORMATION  
 BOBOS01018D  
 100 HIGH STREET  
 PORTSMOUTH, NH 03801

SHEET TITLE  
 LEGEND AND ABBREVIATIONS

SHEET NUMBER  
 GN-1

SIGN TYPES		
TYPE	COLOR	COLOR CODE PURPOSE
INFORMATION	GREEN	"INFORMATIONAL SIGN" TO NOTIFY OTHERS OF SITE OWNERSHIP & CONTACT NUMBER AND POTENTIAL RF EXPOSURE.
NOTICE	BLUE	"NOTICE BEYOND THIS POINT" RF FIELDS BEYOND THIS POINT MAY EXCEED THE FCC GENERAL PUBLIC EXPOSURE LIMIT. OBEY ALL POSTED SIGNS AND SITE GUIDELINES FOR WORKING IN RF ENVIRONMENTS. IN ACCORDANCE WITH FEDERAL COMMUNICATIONS COMMISSION RULES ON RADIO FREQUENCY EMISSIONS 47 CFR-1.1307(b)
CAUTION	YELLOW	"CAUTION BEYOND THIS POINT" RF FIELDS BEYOND THIS POINT MAY EXCEED THE FCC GENERAL PUBLIC EXPOSURE LIMIT. OBEY ALL POSTED SIGNS AND SITE GUIDELINES FOR WORKING IN RF ENVIRONMENTS. IN ACCORDANCE WITH FEDERAL COMMUNICATIONS COMMISSION RULES ON RADIO FREQUENCY EMISSIONS 47 CFR-1.1307(b)
WARNING	ORANGE/RED	"WARNING BEYOND THIS POINT" RF FIELDS AT THIS SITE EXCEED FCC RULES FOR HUMAN EXPOSURE. FAILURE TO OBEY ALL POSTED SIGNS AND SITE GUIDELINES FOR WORKING IN RF ENVIRONMENTS COULD RESULT IN SERIOUS INJURY. IN ACCORDANCE WITH FEDERAL COMMUNICATIONS COMMISSION RULES ON RADIO FREQUENCY EMISSIONS 47 CFR-1.1307(b)

**SIGN PLACEMENT:**

- RF SIGNAGE PLACEMENT SHALL FOLLOW THE RECOMMENDATIONS OF AN EXISTING EME REPORT, CREATED BY A THIRD PARTY PREVIOUSLY AUTHORIZED BY DISH Wireless L.L.C.
- INFORMATION SIGN (GREEN) SHALL BE LOCATED ON EXISTING DISH Wireless L.L.C. EQUIPMENT.
  - A) IF THE INFORMATION SIGN IS A STICKER, IT SHALL BE PLACED ON EXISTING DISH Wireless L.L.C. EQUIPMENT CABINET.
  - B) IF THE INFORMATION SIGN IS A METAL SIGN IT SHALL BE PLACED ON EXISTING DISH Wireless L.L.C. H-FRAME WITH A SECURE ATTACH METHOD.
- IF EME REPORT IS NOT AVAILABLE AT THE TIME OF CREATION OF CONSTRUCTION DOCUMENTS; PLEASE CONTACT DISH Wireless L.L.C. CONSTRUCTION MANAGER FOR FURTHER INSTRUCTION ON HOW TO PROCEED.

**NOTES:**

1. FOR DISH Wireless L.L.C. LOGO, SEE DISH Wireless L.L.C. DESIGN SPECIFICATIONS (PROVIDED BY DISH Wireless L.L.C.)
2. SITE ID SHALL BE APPLIED TO SIGNS USING "LASER ENGRAVING" OR ANY OTHER WEATHER RESISTANT METHOD (DISH Wireless L.L.C. APPROVAL REQUIRED)
3. TEXT FOR SIGNAGE SHALL INDICATE CORRECT SITE NAME AND NUMBER AS PER DISH Wireless L.L.C. CONSTRUCTION MANAGER RECOMMENDATIONS.
4. CABINET/SHELTER MOUNTING APPLICATION REQUIRES ANOTHER PLATE APPLIED TO THE FACE OF THE CABINET WITH WATER PROOF POLYURETHANE ADHESIVE
5. ALL SIGNS WILL BE SECURED WITH EITHER STAINLESS STEEL ZIP TIES OR STAINLESS STEEL TECH SCREWS
6. ALL SIGNS TO BE 8.5"x11" AND MADE WITH 0.04" OF ALUMINUM MATERIAL

# INFORMATION

This is an access point to an area with transmitting antennas.

Obey all signs and barriers beyond this point.  
Call the DISH Wireless L.L.C. NOC at 1-866-624-6874

Site ID: \_\_\_\_\_



THIS SIGN IS FOR REFERENCE PURPOSES ONLY



5701 SOUTH SANTA FE DRIVE  
LITTLETON, CO 80120



QUALTEK WIRELESS INC  
16 ESQUIRE ROAD  
BILLERICA, MA 01821



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RFDS REV #: \_\_\_\_\_ 0

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100 HIGH STREET  
PORTSMOUTH, NH 03801

SHEET TITLE

RF  
SIGNAGE

SHEET NUMBER

GN-2

# NOTICE



Transmitting Antenna(s)

Radio frequency fields beyond this point **MAY EXCEED** the FCC Occupational exposure limit.

Obey all posted signs and site guidelines for working in radio frequency environments.

Call the DISH Wireless L.L.C. NOC at 1-866-624-6874 prior to working beyond this point.

Site ID: \_\_\_\_\_



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# CAUTION



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Site ID: \_\_\_\_\_



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# WARNING



Transmitting Antenna(s)

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Site ID: \_\_\_\_\_



THIS SIGN IS FOR REFERENCE PURPOSES ONLY

RF SIGNAGE

**SITE ACTIVITY REQUIREMENTS:**

1. NOTICE TO PROCEED – NO WORK SHALL COMMENCE PRIOR TO CONTRACTOR RECEIVING A WRITTEN NOTICE TO PROCEED (NTP) AND THE ISSUANCE OF A PURCHASE ORDER. PRIOR TO ACCESSING/ENTERING THE SITE YOU MUST CONTACT THE DISH Wireless L.L.C. AND TOWER OWNER NOC & THE DISH Wireless L.L.C. AND TOWER OWNER CONSTRUCTION MANAGER.
2. "LOOK UP" – DISH Wireless L.L.C. AND TOWER OWNER SAFETY CLIMB REQUIREMENT:  
THE INTEGRITY OF THE SAFETY CLIMB AND ALL COMPONENTS OF THE CLIMBING FACILITY SHALL BE CONSIDERED DURING ALL STAGES OF DESIGN, INSTALLATION, AND INSPECTION. TOWER MODIFICATION, MOUNT REINFORCEMENTS, AND/OR EQUIPMENT INSTALLATIONS SHALL NOT COMPROMISE THE INTEGRITY OR FUNCTIONAL USE OF THE SAFETY CLIMB OR ANY COMPONENTS OF THE CLIMBING FACILITY ON THE STRUCTURE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: PINCHING OF THE WIRE ROPE, BENDING OF THE WIRE ROPE FROM ITS SUPPORTS, DIRECT CONTACT OR CLOSE PROXIMITY TO THE WIRE ROPE WHICH MAY CAUSE FRICTIONAL WEAR, IMPACT TO THE ANCHORAGE POINTS IN ANY WAY, OR TO IMPEDE/BLOCK ITS INTENDED USE. ANY COMPROMISED SAFETY CLIMB, INCLUDING EXISTING CONDITIONS MUST BE TAGGED OUT AND REPORTED TO YOUR DISH Wireless L.L.C. AND DISH Wireless L.L.C. AND TOWER OWNER POC OR CALL THE NOC TO GENERATE A SAFETY CLIMB MAINTENANCE AND CONTRACTOR NOTICE TICKET.
3. PRIOR TO THE START OF CONSTRUCTION, ALL REQUIRED JURISDICTIONAL PERMITS SHALL BE OBTAINED. THIS INCLUDES, BUT IS NOT LIMITED TO, BUILDING, ELECTRICAL, MECHANICAL, FIRE, FLOOD ZONE, ENVIRONMENTAL, AND ZONING. AFTER ONSITE ACTIVITIES AND CONSTRUCTION ARE COMPLETED, ALL REQUIRED PERMITS SHALL BE SATISFIED AND CLOSED OUT ACCORDING TO LOCAL JURISDICTIONAL REQUIREMENTS.
4. ALL CONSTRUCTION MEANS AND METHODS; INCLUDING BUT NOT LIMITED TO, ERECTION PLANS, RIGGING PLANS, CLIMBING PLANS, AND RESCUE PLANS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR RESPONSIBLE FOR THE EXECUTION OF THE WORK CONTAINED HEREIN, AND SHALL MEET ANSI/ASSE A10.48 (LATEST EDITION); FEDERAL, STATE, AND LOCAL REGULATIONS; AND ANY APPLICABLE INDUSTRY CONSENSUS STANDARDS RELATED TO THE CONSTRUCTION ACTIVITIES BEING PERFORMED. ALL RIGGING PLANS SHALL ADHERE TO ANSI/ASSE A10.48 (LATEST EDITION) AND DISH Wireless L.L.C. AND TOWER OWNER STANDARDS, INCLUDING THE REQUIRED INVOLVEMENT OF A QUALIFIED ENGINEER FOR CLASS IV CONSTRUCTION, TO CERTIFY THE SUPPORTING STRUCTURE(S) IN ACCORDANCE WITH ANSI/TIA-322 (LATEST EDITION).
5. ALL SITE WORK TO COMPLY WITH DISH Wireless L.L.C. AND TOWER OWNER INSTALLATION STANDARDS FOR CONSTRUCTION ACTIVITIES ON DISH Wireless L.L.C. AND TOWER OWNER TOWER SITE AND LATEST VERSION OF ANSI/TIA-1019-A-2012 "STANDARD FOR INSTALLATION, ALTERATION, AND MAINTENANCE OF ANTENNA SUPPORTING STRUCTURES AND ANTENNAS."
6. IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY DISH Wireless L.L.C. AND TOWER OWNER PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
7. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
8. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
9. THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES INCLUDING PRIVATE LOCATES SERVICES PRIOR TO THE START OF CONSTRUCTION.
10. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING AND EXCAVATION E) CONSTRUCTION SAFETY PROCEDURES.
11. ALL SITE WORK SHALL BE AS INDICATED ON THE STAMPED CONSTRUCTION DRAWINGS AND DISH PROJECT SPECIFICATIONS, LATEST APPROVED REVISION.
12. CONTRACTOR SHALL KEEP THE SITE FREE FROM ACCUMULATING WASTE MATERIAL, DEBRIS, AND TRASH AT THE COMPLETION OF THE WORK. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
13. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF DISH Wireless L.L.C. AND TOWER OWNER, AND/OR LOCAL UTILITIES.
14. THE CONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATION FOR SITE SIGNAGE REQUIRED BY LOCAL JURISDICTION AND SIGNAGE REQUIRED ON INDIVIDUAL PIECES OF EQUIPMENT, ROOMS, AND SHELTERS.
15. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE CARRIER'S EQUIPMENT AND TOWER AREAS.
16. THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
17. THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION AS SPECIFIED ON THE CONSTRUCTION DRAWINGS AND/OR PROJECT SPECIFICATIONS.
18. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
19. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
20. CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS AND RADIOS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
21. CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.
22. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.

**GENERAL NOTES:**

1. FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:  
CONTRACTOR: GENERAL CONTRACTOR RESPONSIBLE FOR CONSTRUCTION  
CARRIER: DISH Wireless L.L.C.  
TOWER OWNER: TOWER OWNER
2. THESE DRAWINGS HAVE BEEN PREPARED USING STANDARDS OF PROFESSIONAL CARE AND COMPLETENESS NORMALLY EXERCISED UNDER SIMILAR CIRCUMSTANCES BY REPUTABLE ENGINEERS IN THIS OR SIMILAR LOCALITIES. IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKPEOPLE WHO HAVE A WORKING KNOWLEDGE OF THE APPLICABLE CODE STANDARDS AND REQUIREMENTS AND OF INDUSTRY ACCEPTED STANDARD GOOD PRACTICE. AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL USE INDUSTRY ACCEPTED STANDARD GOOD PRACTICE FOR MISCELLANEOUS WORK NOT EXPLICITLY SHOWN.
3. THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE MEANS OR METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY FOR PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, FORMWORK, SHORING, ETC. SITE VISITS BY THE ENGINEER OR HIS REPRESENTATIVE WILL NOT INCLUDE INSPECTION OF THESE ITEMS AND IS FOR STRUCTURAL OBSERVATION OF THE FINISHED STRUCTURE ONLY.
4. NOTES AND DETAILS IN THE CONSTRUCTION DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT, AND/OR AS PROVIDED FOR IN THE CONTRACT DOCUMENTS. WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL NOTES, AND SPECIFICATIONS, THE GREATER, MORE STRICT REQUIREMENTS, SHALL GOVERN. IF FURTHER CLARIFICATION IS REQUIRED CONTACT THE ENGINEER OF RECORD.
5. SUBSTANTIAL EFFORT HAS BEEN MADE TO PROVIDE ACCURATE DIMENSIONS AND MEASUREMENTS ON THE DRAWINGS TO ASSIST IN THE FABRICATION AND/OR PLACEMENT OF CONSTRUCTION ELEMENTS BUT IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE DIMENSIONS, MEASUREMENTS, AND/OR CLEARANCES SHOWN IN THE CONSTRUCTION DRAWINGS PRIOR TO FABRICATION OR CUTTING OF ANY NEW OR EXISTING CONSTRUCTION ELEMENTS. IF IT IS DETERMINED THAT THERE ARE DISCREPANCIES AND/OR CONFLICTS WITH THE CONSTRUCTION DRAWINGS THE ENGINEER OF RECORD IS TO BE NOTIFIED AS SOON AS POSSIBLE.
6. PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING CONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CARRIER POC AND TOWER OWNER.
7. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
8. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
9. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
10. IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CARRIER AND TOWER OWNER PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
11. CONTRACTOR IS TO PERFORM A SITE INVESTIGATION, BEFORE SUBMITTING BIDS, TO DETERMINE THE BEST ROUTING OF ALL CONDUITS FOR POWER, AND TELCO AND FOR GROUNDING CABLES AS SHOWN IN THE POWER, TELCO, AND GROUNDING PLAN DRAWINGS.
12. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF DISH Wireless L.L.C. AND TOWER OWNER
13. CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
14. CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.



5701 SOUTH SANTA FE DRIVE  
LITTLETON, CO 80120



QUALTEK WIRELESS INC  
16 ESQUIRE ROAD  
BILLERICA, MA 01821



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DRAWN BY:	CHECKED BY:	APPROVED BY:
GAM	MN	MP

RFDS REV #: 0

**CONSTRUCTION DOCUMENTS**

SUBMITTALS		
REV	DATE	DESCRIPTION
0	11/01/2022	FOR PERMITTING
1	11/29/2022	GENERAL REVISIONS
2	01/19/2023	GENERAL REVISIONS
3	09/18/2024	GENERAL REVISIONS

A&E PROJECT NUMBER  
BOBOS01018D

DISH Wireless L.L.C.  
PROJECT INFORMATION  
BOBOS01018D  
100 HIGH STREET  
PORTSMOUTH, NH 03801

SHEET TITLE  
GENERAL NOTES

SHEET NUMBER  
**GN-3**

**CONCRETE, FOUNDATIONS, AND REINFORCING STEEL:**

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
- UNLESS NOTED OTHERWISE, SOIL BEARING PRESSURE USED FOR DESIGN OF SLABS AND FOUNDATIONS IS ASSUMED TO BE 1000 psf.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (f'c) OF 3000 psi AT 28 DAYS, UNLESS NOTED OTHERWISE. NO MORE THAN 90 MINUTES SHALL ELAPSE FROM BATCH TIME TO TIME OF PLACEMENT UNLESS APPROVED BY THE ENGINEER OF RECORD. TEMPERATURE OF CONCRETE SHALL NOT EXCEED 90°f AT TIME OF PLACEMENT.
- CONCRETE EXPOSED TO FREEZE-THAW CYCLES SHALL CONTAIN AIR ENTRAINING ADMIXTURES. AMOUNT OF AIR ENTRAINMENT TO BE BASED ON SIZE OF AGGREGATE AND F3 CLASS EXPOSURE (VERY SEVERE). CEMENT USED TO BE TYPE II PORTLAND CEMENT WITH A MAXIMUM WATER-TO-CEMENT RATIO (W/C) OF 0.45.
- ALL STEEL REINFORCING SHALL CONFORM TO ASTM A615. ALL WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A185. ALL SPLICES SHALL BE CLASS "B" TENSION SPLICES, UNLESS NOTED OTHERWISE. ALL HOOKS SHALL BE STANDARD 90 DEGREE HOOKS, UNLESS NOTED OTHERWISE. YIELD STRENGTH (Fy) OF STANDARD DEFORMED BARS ARE AS FOLLOWS:  
 #4 BARS AND SMALLER 40 ksi  
 #5 BARS AND LARGER 60 ksi
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:
  - CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3"
  - CONCRETE EXPOSED TO EARTH OR WEATHER:
    - #6 BARS AND LARGER 2"
    - #5 BARS AND SMALLER 1-1/2"
  - CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
    - SLAB AND WALLS 3/4"
    - BEAMS AND COLUMNS 1-1/2"
- A TOOLED EDGE OR A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNLESS NOTED OTHERWISE, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.

**ELECTRICAL INSTALLATION NOTES:**

- ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES/ORDINANCES.
- CONDUIT ROUTINGS ARE SCHEMATIC. CONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED AND TRIP HAZARDS ARE ELIMINATED.
- WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC.
- ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC.
  - ALL EQUIPMENT SHALL BEAR THE UNDERWRITERS LABORATORIES LABEL OF APPROVAL, AND SHALL CONFORM TO REQUIREMENT OF THE NATIONAL ELECTRICAL CODE.
  - ALL OVERCURRENT DEVICES SHALL HAVE AN INTERRUPTING CURRENT RATING THAT SHALL BE GREATER THAN THE SHORT CIRCUIT CURRENT TO WHICH THEY ARE SUBJECTED, 22,000 AIC MINIMUM. VERIFY AVAILABLE SHORT CIRCUIT CURRENT DOES NOT EXCEED THE RATING OF ELECTRICAL EQUIPMENT IN ACCORDANCE WITH ARTICLE 110.24 NEC OR THE MOST CURRENT ADOPTED CODE PRE THE GOVERNING JURISDICTION.
- EACH END OF EVERY POWER PHASE CONDUCTOR, GROUNDING CONDUCTOR, AND TELCO CONDUCTOR OR CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2" PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC AND OSHA.
- ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH LAMICOID TAGS SHOWING THEIR RATED VOLTAGE, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING AND BRANCH CIRCUIT ID NUMBERS (i.e. PANEL BOARD AND CIRCUIT ID'S).
- PANEL BOARDS (ID NUMBERS) SHALL BE CLEARLY LABELED WITH PLASTIC LABELS.
- TIE WRAPS ARE NOT ALLOWED.
- ALL POWER AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE COPPER CONDUCTOR (#14 OR LARGER) WITH TYPE THHW, THWN, THWN-2, XHHW, XHHW-2, THW, THW-2, RHW, OR RHW-2 INSULATION UNLESS OTHERWISE SPECIFIED.
- SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE COPPER CONDUCTOR (#6 OR LARGER) WITH TYPE THHW, THWN, THWN-2, XHHW, XHHW-2, THW, THW-2, RHW, OR RHW-2 INSULATION UNLESS OTHERWISE SPECIFIED.
- POWER AND CONTROL WIRING IN FLEXIBLE CORD SHALL BE MULTI-CONDUCTOR, TYPE SOOW CORD (#14 OR LARGER) UNLESS OTHERWISE SPECIFIED.
- POWER AND CONTROL WIRING FOR USE IN CABLE TRAY SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (#14 OR LARGER), WITH TYPE THHW, THWN, THWN-2, XHHW, XHHW-2, THW, THW-2, RHW, OR RHW-2 INSULATION UNLESS OTHERWISE SPECIFIED.
- ALL POWER AND GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRE NUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRE NUTS SHALL BE RATED FOR OPERATION NOT LESS THAN 75° C (90° C IF AVAILABLE).
- RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND NEC.
- ELECTRICAL METALLIC TUBING (EMT), INTERMEDIATE METAL CONDUIT (IMC), OR RIGID METAL CONDUIT (RMC) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.

- ELECTRICAL METALLIC TUBING (EMT) OR METAL-CLAD CABLE (MC) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
- SCHEDULE 40 PVC UNDERGROUND ON STRAIGHTS AND SCHEDULE 80 PVC FOR ALL ELBOWS/90s AND ALL APPROVED ABOVE GRADE PVC CONDUIT.
- LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
- CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SET SCREW FITTINGS ARE NOT ACCEPTABLE.
- CABINETS, BOXES AND WIRE WAYS SHALL BE LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND THE NEC.
- WIREWAYS SHALL BE METAL WITH AN ENAMEL FINISH AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARDS (WIREMOLD SPECMATE WIREWAY).
- SLOTTED WIRING DUCT SHALL BE PVC AND INCLUDE COVER (PANDUIT TYPE E OR EQUAL).
- CONDUITS SHALL BE FASTENED SECURELY IN PLACE WITH APPROVED NON-PERFORATED STRAPS AND HANGERS. EXPLOSIVE DEVICES (i.e. POWDER-ACTUATED) FOR ATTACHING HANGERS TO STRUCTURE WILL NOT BE PERMITTED. CLOSELY FOLLOW THE LINES OF THE STRUCTURE, MAINTAIN CLOSE PROXIMITY TO THE STRUCTURE AND KEEP CONDUITS IN TIGHT ENVELOPES. CHANGES IN DIRECTION TO ROUTE AROUND OBSTACLES SHALL BE MADE WITH CONDUIT OUTLET BODIES. CONDUIT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. PARALLEL AND PERPENDICULAR TO STRUCTURE WALL AND CEILING LINES. ALL CONDUIT SHALL BE FISHED TO CLEAR OBSTRUCTIONS. ENDS OF CONDUITS SHALL BE TEMPORARILY CAPPED FLUSH TO FINISH GRADE TO PREVENT CONCRETE, PLASTER OR DIRT FROM ENTERING. CONDUITS SHALL BE RIGIDLY CLAMPED TO BOXES BY GALVANIZED MALLEABLE IRON BUSHING ON INSIDE AND GALVANIZED MALLEABLE IRON LOCKNUT ON OUTSIDE AND INSIDE.
- EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL. SHALL MEET OR EXCEED UL 50 AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND NEMA 3 (OR BETTER) FOR EXTERIOR LOCATIONS.
- METAL RECEPTACLE, SWITCH AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1 AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND WEATHER PROTECTED (WP OR BETTER) FOR EXTERIOR LOCATIONS.
- NONMETALLIC RECEPTACLE, SWITCH AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2 (NEWEST REVISION) AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND WEATHER PROTECTED (WP OR BETTER) FOR EXTERIOR LOCATIONS.
- THE CONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CARRIER AND/OR DISH Wireless L.L.C. AND TOWER OWNER BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
- THE CONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD LIFE AND PROPERTY.
- INSTALL LAMICOID LABEL ON THE METER CENTER TO SHOW "DISH Wireless L.L.C.".
- ALL EMPTY/SPARE CONDUITS THAT ARE INSTALLED ARE TO HAVE A METERED MULE TAPE PULL CORD INSTALLED.



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GAM	MN	MP

RFDS REV #: 0

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A&E PROJECT NUMBER  
BOBOS01018D

DISH Wireless L.L.C.  
PROJECT INFORMATION  
BOBOS01018D  
100 HIGH STREET  
PORTSMOUTH, NH 03801

SHEET TITLE  
GENERAL NOTES

SHEET NUMBER  
**GN-4**

**GROUNDING NOTES:**

1. ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION AND AC POWER GES'S) SHALL BE BONDED TOGETHER AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.
2. THE CONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) FOR GROUND ELECTRODE SYSTEMS, THE CONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT AND PROVIDE TESTING RESULTS.
4. METAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH #6 COPPER WIRE UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
5. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BTS EQUIPMENT.
6. EACH CABINET FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES, #6 STRANDED COPPER OR LARGER FOR INDOOR BTS; #2 BARE SOLID TINNED COPPER FOR OUTDOOR BTS.
7. CONNECTIONS TO THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED BACK TO BACK CONNECTIONS ON OPPOSITE SIDE OF THE GROUND BUS ARE PERMITTED.
8. ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING SHALL BE #2 SOLID TINNED COPPER UNLESS OTHERWISE INDICATED.
9. ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
10. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED.
11. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
12. ALL GROUND CONNECTIONS ABOVE GRADE (INTERIOR AND EXTERIOR) SHALL BE FORMED USING HIGH PRESS CRIMPS.
13. COMPRESSION GROUND CONNECTIONS MAY BE REPLACED BY EXOTHERMIC WELD CONNECTIONS.
14. ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR.
15. APPROVED ANTIOXIDANT COATINGS (i.e. CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
16. ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
17. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
18. BOND ALL METALLIC OBJECTS WITHIN 6 ft OF MAIN GROUND RING WITH (1) #2 BARE SOLID TINNED COPPER GROUND CONDUCTOR.
19. GROUND CONDUCTORS USED FOR THE FACILITY GROUNDING AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR FLOORS. WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON-METALLIC MATERIAL SUCH AS PVC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (i.e., NONMETALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT.
20. ALL GROUNDS THAT TRANSITION FROM BELOW GRADE TO ABOVE GRADE MUST BE #2 BARE SOLID TINNED COPPER IN 3/4" NON-METALLIC, FLEXIBLE CONDUIT FROM 24" BELOW GRADE TO WITHIN 3" TO 6" OF CAD-WELD TERMINATION POINT. THE EXPOSED END OF THE CONDUIT MUST BE SEALED WITH SILICONE CAULK. (ADD TRANSITIONING GROUND STANDARD DETAIL AS WELL).
21. BUILDINGS WHERE THE MAIN GROUNDING CONDUCTORS ARE REQUIRED TO BE ROUTED TO GRADE, THE CONTRACTOR SHALL ROUTE TWO GROUNDING CONDUCTORS FROM THE ROOFTOP, TOWERS, AND WATER TOWERS GROUNDING RING, TO THE EXISTING GROUNDING SYSTEM, THE GROUNDING CONDUCTORS SHALL NOT BE SMALLER THAN 2/0 COPPER. ROOFTOP GROUNDING RING SHALL BE BONDED TO THE EXISTING GROUNDING SYSTEM, THE BUILDING STEEL COLUMNS, LIGHTNING PROTECTION SYSTEM, AND BUILDING MAIN WATER LINE (FERROUS OR NONFERROUS METAL PIPING ONLY). DO NOT ATTACH GROUNDING TO FIRE SPRINKLER SYSTEM PIPES.



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DISH Wireless L.L.C.  
PROJECT INFORMATION  
BOBOS01018D  
100 HIGH STREET  
PORTSMOUTH, NH 03801

SHEET TITLE  
GENERAL NOTES

SHEET NUMBER  
**GN-5**

**7. 50 Austin Street**

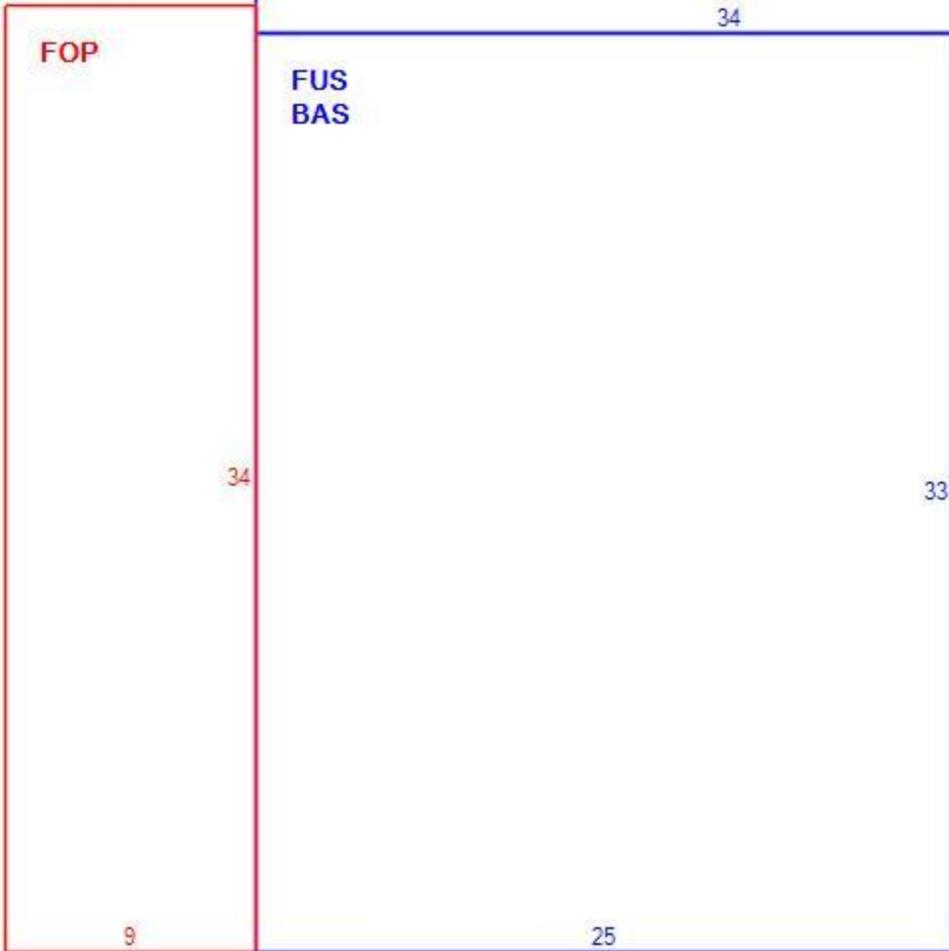
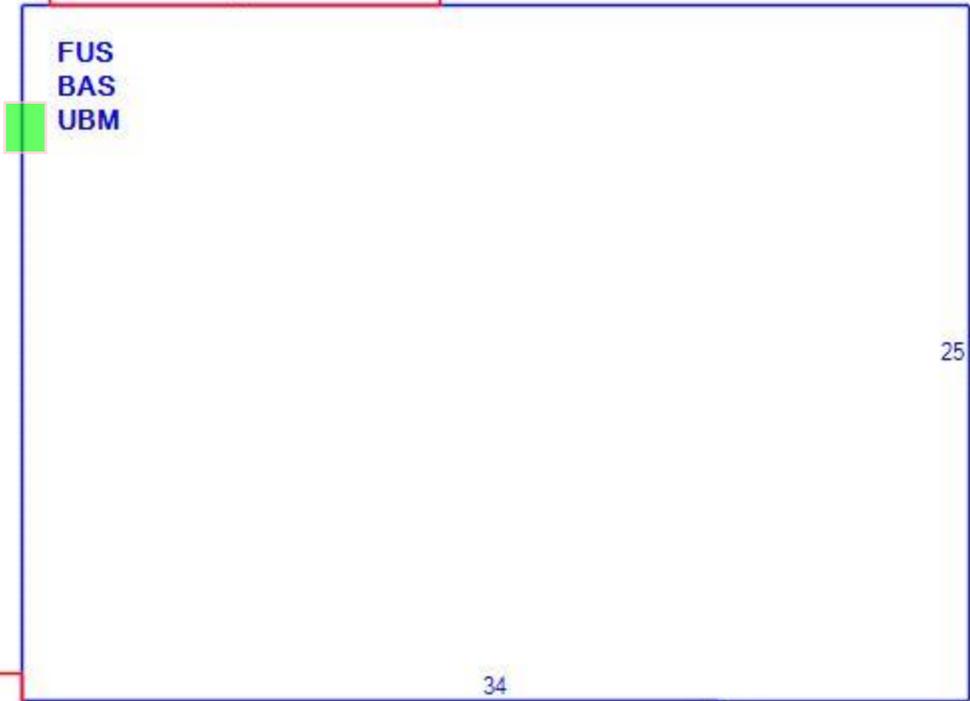
**-Recommended Approval**

**Background:** The applicant is seeking approval for the installation of venting.

**Staff Comment:** Recommend Approval

**Stipulations:**

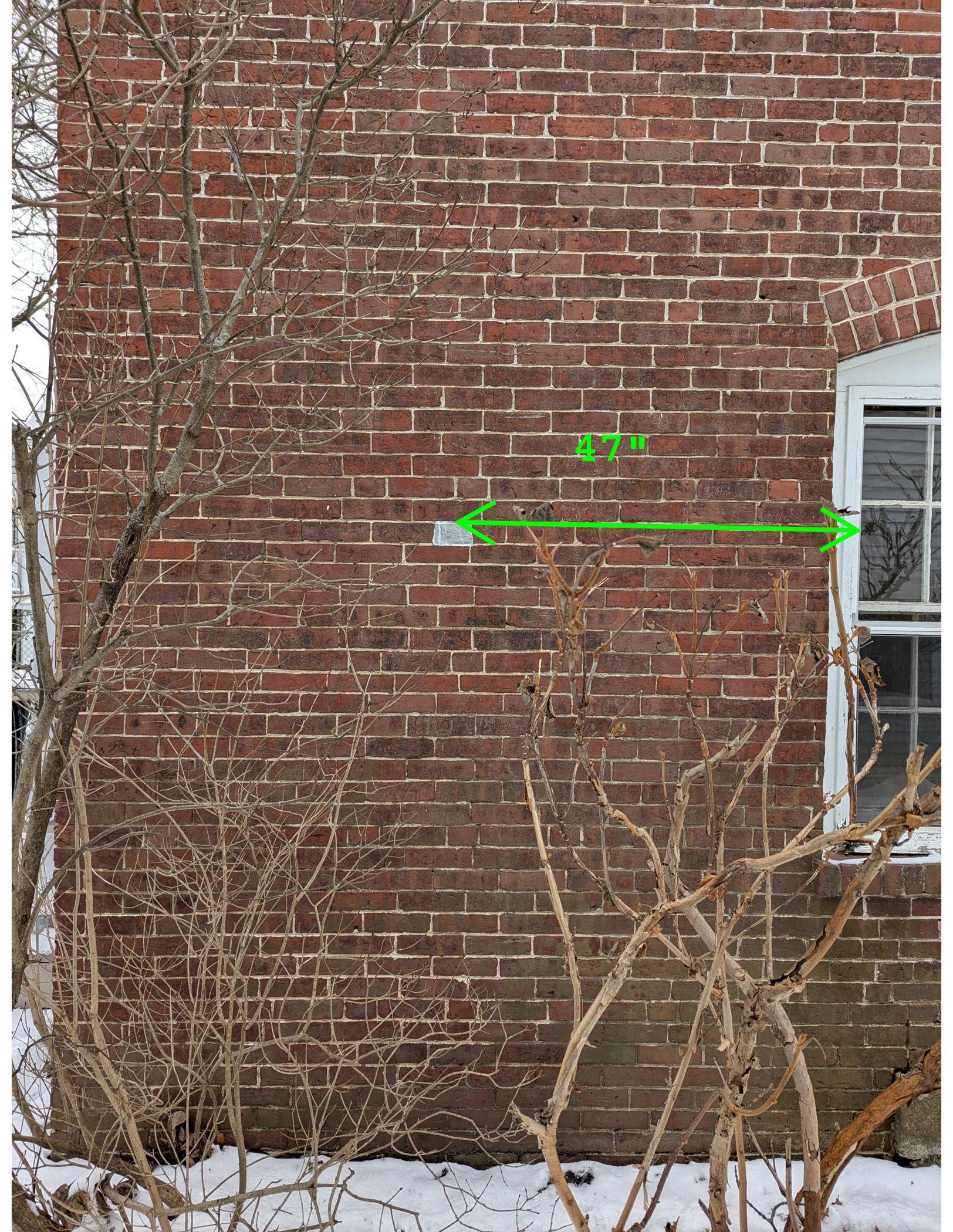
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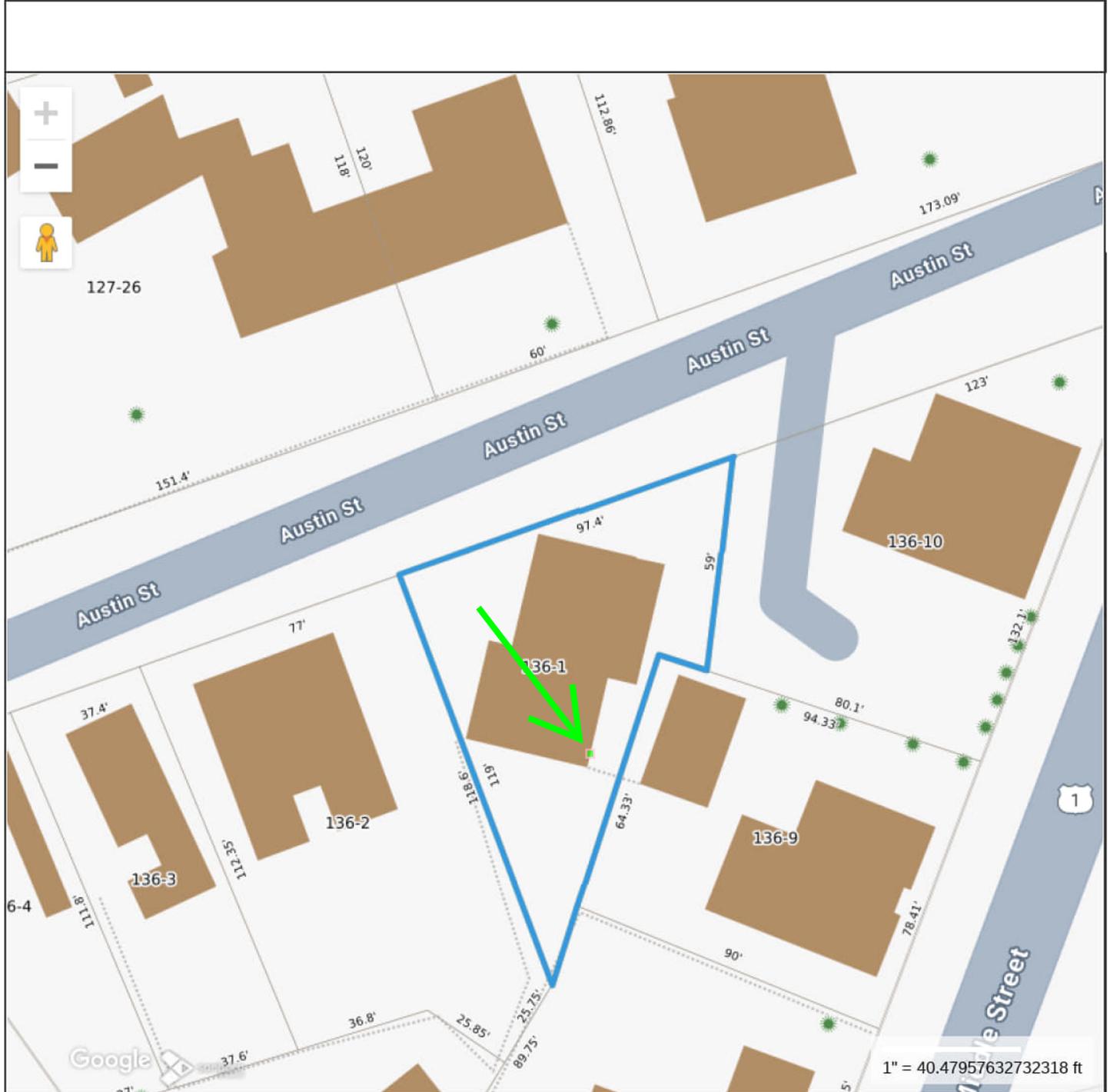
34084



47"







**Property Information**

**Property ID** 0136-0001-0000  
**Location** 50 AUSTIN ST  
**Owner** MAHER FAMILY REVOCABLE TRUST OF 2018



**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

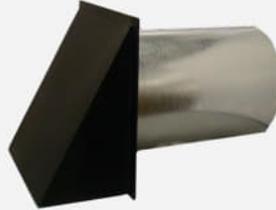
City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 09/26/2024

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

- WALL CAP — POWDER COATED
- WALL CAP — REVERSIBLE DAMPER FOR INTAKE OF EXHAUST

## WALL CAP — POWDER COATED



DAMPER ONLY		SCREEN ONLY		DAMPER & SCREEN	
SIZE	ITEM #	SIZE	ITEM #	SIZE	ITEM #
4"	PDWV 4	4"	PSWV 4	4"	PSDWV 4
5"	PDWV 5	5"	PSWV 5	5"	PSDWV 5
6"	PDWV 6	6"	PSWV 6	6"	PSDWV 6
7"	PDWV 7	7"	PSWV 7	7"	PSDWV 7
8"	PDWV 8	8"	PSWV 8	8"	PSDWV 8
10"	PDWV 10	10"	PSWV 10	10"	PSDWV 10

(BL—Black, BR—Brown, WH—White)\*

The Artis Wall Cap is ideal for use as fresh air intake, kitchen fan exhaust, whole house ventilation and HRVs. Powder coated\* (Hood, Flange, Damper & Screen Only)

- \*Specify color by placing BL, BR, or WH at the end of the part number.
- Screen is 1/4" galvanized standard.
- 1/8" galvanized screen is available upon request.
- Hood, flange and damper are powdercoated.
- Tubes will be galvanized.

## WALL CAP — REVERSIBLE DAMPER FOR INTAKE OR EXHAUST

GALVANIZED		ALUMINUM	
SIZE	ITEM #	SIZE	ITEM #
4"	RDWVG 4	4"	RDWVA 4
5"	RDWVG 5	5"	RDWVA 5
6"	RDWVG 6	6"	RDWVA 6
7"	RDWVG 7	7"	RDWVA 7
8"	RDWVG 8	8"	RDWVA 8
10"	RDWVG 10	10"	RDWVA 10
12"	RDWVG 12	12"	RDWVA 12

The Artis Reversible Damper Wall Cap is ideal for use as fresh air intake, kitchen fan exhaust, whole house ventilation and HRVs.



- All screened wall vents come with 1/4" screen standard. 1/8" screen is available upon request.
- Two-piece throat has reversible butterfly damper attached.

See [www.artiscaps.com](http://www.artiscaps.com) or call us for specialty powder coating options and other customizations available.

**8. 87 Market Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval for the reconfiguration/installation of wall mounted and roof mounted HVAC condensers with screening.

**Staff Comment:** Recommend Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

# 87 Market Street

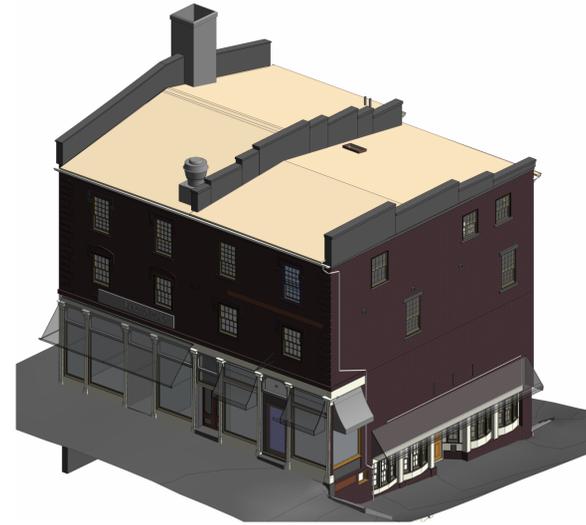
87 Market Street  
Portsmouth, NH

HDC Submission  
01/17/2025

## Sheet List

Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date
Architecture				
A010	Existing Basement Plan	01/17/2025		
A011	Existing Bow Street Entrance Level	01/17/2025		
A020	Existing Market Street Elevation	01/17/2025		
A021	Existing Bow Street Elevation	01/17/2025		
A022	Existing Ceres Street Elevation	01/17/2025		
A023	Existing Building Massing Views	01/17/2025		

## LOCUS MAP



**3D MASSING / CONCEPTUAL RENDERING NOTE: NOT FOR CONSTRUCTION USE**  
CONCEPTUAL RENDERINGS AND MASSING MODELS SHOWN ARE FOR GRAPHICAL AND SPATIAL REPRESENTATION ONLY AND DO NOT ALWAYS MATCH THE CURRENT ARCHITECTURAL DRAWINGS AND DETAILS WITHIN THE DRAWING PACKAGE. CONCEPTUAL IMAGES NOT TO BE BUILT FROM. ALL ELEVATIONS, DETAILS, SCHEDULES AND OTHER SHEETS WITHIN THE ARCHITECTURAL DRAWINGS TAKE PRECEDENT. NOTIFY ARCHITECT OF DISCREPANCIES FOR CLARIFICATION.

## GENERAL NOTES

- ALL CONTRACTORS AND SUBCONTRACTORS ARE REQUIRED TO HAVE COMPLETE CONTRACT DOCUMENT PACKAGES AS DESCRIBED IN THE "SHEET LIST" AND PROJECT MANUAL "TABLE OF CONTENTS".
- CONTRACTOR REQUIRED TO FOLLOW ALL LOCAL, STATE AND FEDERAL BUILDING AND LIFE SAFETY CODES AS LISTED ON THE "PROJECT CODE REVIEW". THE PROJECT CONTRACT DOCUMENTS ARE PRESUMED TO BE IN COMPLIANCE WITH THESE CODES. DEVIATION FROM THE CONTRACT DOCUMENTS IS PROHIBITED AND THE CONTRACTOR WILL ASSUME ALL LIABILITY FOR SUCH ACTIONS.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, WHAT IS REQUIRED BY ONE IS AS BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS. NOTIFY THE ARCHITECT OF RECORD FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
- REPETITIVE ELEMENTS MAY NOT BE DRAWN IN THEIR ENTIRETY AT EACH INSTANCE. REFER TO TYPICAL DETAILS AND CONSTRUCT EACH INSTANCE AS IF DRAWN IN FULL.
- THE EXISTING CONDITIONS DESCRIBED WITHIN THE PROJECT DOCUMENTS ARE GRAPHICAL REPRESENTATIONS OF THE CURRENT FIELD CONDITIONS. ACTUAL FIELD CONDITIONS MAY VARY AND ALL CONTRACTORS ARE REQUIRED TO BE FAMILIAR AND VERIFY ALL DIMENSIONS, SIZES AND LOCATIONS OF EXISTING STRUCTURE, BUILDING ELEMENTS AND EQUIPMENT PRIOR TO BEGINNING WORK. ALL DIMENSIONS NOTED ON PLANS ARE TO FACE OF STUD FOR NEW WALLS OR FACE OF FINISH FOR EXISTING WALLS UNLESS NOTED OTHERWISE. VERTICAL DIMENSIONS IN ELEVATION, SECTION AND DETAILS ARE FROM TOP OF CONCRETE SLAB/DECK FOR NEW FLOORS OR TOP OF FINISH FLOOR AT EXISTING FLOORS.
- ALL GRADE LINES, BOTH NEW AND EXISTING, SHOWN ON ARCHITECTURAL PLANS ARE APPROXIMATE ONLY. FINAL GRADES TO BE COORDINATED WITH CIVIL ENGINEERING DRAWINGS.
- CONTRACTOR TO VERIFY ALL ROUGH OPENING REQUIREMENTS WITH ACTUAL PRODUCT SUBMITTALS.
- WALLS WITH UL DESIGN NUMBERS SHALL BE CONSTRUCTED TO UL STANDARDS. PRODUCTS USED SHALL BEAR UL CLASSIFICATION WHERE REQUIRED BY THE UL DESIGN.
- DRAWINGS AND SPECIFICATIONS UTILIZE REFERENCES TO INDUSTRY DESIGN, CONSTRUCTION, AND PROCESS STANDARDS BY APPLICABLE TRADE AND MATERIAL ORGANIZATIONS. THESE DOCUMENTS SHALL BE INCORPORATED INTO THE CONTRACT DOCUMENTS BY SUCH REFERENCES. ALL CONTRACTORS AND SUBCONTRACTORS ARE REQUIRED TO FOLLOW THE STANDARD PRACTICES CONTAINED WITHIN.
- ALL PENETRATIONS OF FIRE RATED CONSTRUCTION ARE REQUIRED TO MEET THE ASSEMBLY RATING REQUIREMENT.
- ALL NON-BEARING METAL STUD WALLS SHALL BE CONSTRUCTED WITH DEFLECTION TRACK AND MINIMUM DEFLECTION DISTANCE OF 3/4" FROM THE STRUCTURE ABOVE IF NOT DETAILED ELSEWHERE.
- SEE STRUCTURAL DRAWINGS FOR SIZES OF STRUCTURAL MEMBERS, DESIGN LOADS AND MINIMUM REQUIREMENTS.
- ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DESIGN/BUILD CONTRACTORS ARE REQUIRED TO SUBMIT A COORDINATION BUILDING INFORMATION MODEL IN A REVIT COMPATIBLE FORMAT PRIOR TO FINALIZING DESIGN AND CONSTRUCTION DOCUMENTS.
- CONTRACTOR TO REVIEW MANUFACTURER OF SUBMITTED PRODUCTS INSTALLATION RECOMMENDATIONS AND COORDINATE WITH DESIGN DETAILS. UNLESS OTHERWISE NOTED OR SPECIFIED, THESE DRAWINGS AND NOTES REPRESENT UTILITIES AND COORDINATION WITHIN THE BUILDING AND TO THE EXTERIOR WITHIN A DISTANCE OF 5'-0" FROM THE EXTERIOR FOOTPRINT OF THE BUILDING. CONTRACTOR TO COORDINATE UTILITY CONNECTIONS AND IS RESPONSIBLE FOR ALL OVERHEAD AND UNDERGROUND UTILITY RUNS AND CONNECTIONS.
  - CONTRACTOR SHALL PERFORM ALL NECESSARY LEAKAGE AND PRESSURIZATION TESTS PRIOR TO ENCLOSING UNDERGROUND PIPING.
  - OVERHEAD UTILITIES SHALL BE COORDINATED WITH UTILITY COMPANY AND LANDSCAPE DRAWINGS FOR POTENTIAL CONFLICTS.

## PROJECT TEAM

**TMS**  
architects  
interiors

**Client**  
Maine Coast Builders / Jeff Jones  
jjones.mcb@gmail.com

23A Witchtrot Road  
York, ME 03909  
P: 207.752.0809

**Architect**  
Tim Giguere  
tim@tms-architects.com

**Project Manager - Dan Santacroce**  
dans@tms-architects.com

One Cate Street  
Portsmouth, NH 03801  
P: 603.436.4274  
www.tmsarchitects.com

**McBrie, LLC**  
Structural Design & Sales

**Structural Engineer**  
Michael Perham, Structural Engineer  
mperham@mcbr.ie.com

797 Turnpike Street, 2nd Floor  
North Andover, MA 01845  
P: 978.646.0097  
www.mcbr.ie.com

**MCB**  
Maine Coast Builders

**General Contractor**  
Maine Coast Builders  
jjones.mcb@gmail.com

23A Witchtrot Road  
York, ME 03909  
P: 207.752.0809  
mainecoastbuilders.com













January 15, 2025

Izak Gilbo  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, NH 03801

RE: LU-24-21 99 Bow Street,  
Portsmouth, NH  
HDC One Year Extension Request

Dear Mr. Gilbo:

In reference to the project above, Martingale, LLC requests to be placed on the next Historic District Commission agenda, to request a one (1) year extension of its April 3, 2024 approval.

As previously submitted, there will be no construction on real property in the City of Portsmouth. All proposed work will be "free supported structure" from within the Piscataqua River. The project has final approval from NHDES and the State of New Hampshire, as referenced in the attached NHDES permit. Please note this permit restricts construction activity to occur during the months of November through March.

The contract to provide the marine engineering, Collins Engineering, and barge construction is in place with Riverside Pickering Marine Builders with work slated to commence on or about February 1, 2025. This work is subject to finalization of Easement and/or Licensing documents (in process) with the City of Portsmouth Legal Department for ultimate recording with the Rockingham Registry of Deeds and concurrent issuance of the Building Permit.

While it is our intent to proceed forward within the constraints of the NHDES permit for construction this Spring, we hereby request a one (1) year extension of our permit should there be any unintended delays. Please confirm your receipt and placement of this item on the February 5<sup>th</sup> agenda.

Thank you kindly,

Sincerely,



Marie J. Bodi, CEO  
McNabb Properties, Ltd.  
As agent for Martingale, LLC

cc: Mark A. McNabb  
Peter Britz  
Trevor McCourt

10 Pleasant Street | Suite 300  
Portsmouth, NH 03801

603.427.0725  
mcnabbgroup.com

# **Historic District Commission**

## **Staff Report**

**Wednesday, February 05, 2025**

**Project Address:** 24 Market Street

**Permit Requested:** Certificate of Approval

**Application:** Public Hearing #1

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: Character District 5
- Land Use: Mixed-Use
- Land Area: 1,013 SF +/-
- Estimated Age of Structure: c. 1803
- Building Style: Federal Greek Revival
- Number of Stories: 3
- Historical Significance: Contributing
- Public View of Proposed Work: Market Street/Ceres Street
- Unique Features: N/A
- Neighborhood Association: Downtown



**B. Proposed Work:** Replace existing storefront.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Replace the existing storefront



**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

## 24 MARKET STREET - HDC APPLICATION FOR APPROVAL

We respectfully submit this application for approval for removal of existing wood paneled storefront to be replaced with new solid wood Sapele (Mahogany) paneled storefront assembly, brick repairs, HVAC upgrade:

### 1. MARKET STREET STOREFRONT ELEVATION

- Much of the existing storefront wood paneling is rotting and has been created by several repairs over time.
- The historic Granite header over the storefront stops short of the side window below with timber exposed to the elements.
- The original iron corner detail and copper downspout will remain.

We propose to remove the existing wood trim & paneling and replace it with a solid wood Sapele (Mahogany) system. The existing granite, storefront windows and door will remain. The existing transom over the door will be replaced with a panel detail.

### 2. LADD STREET ELEVATION

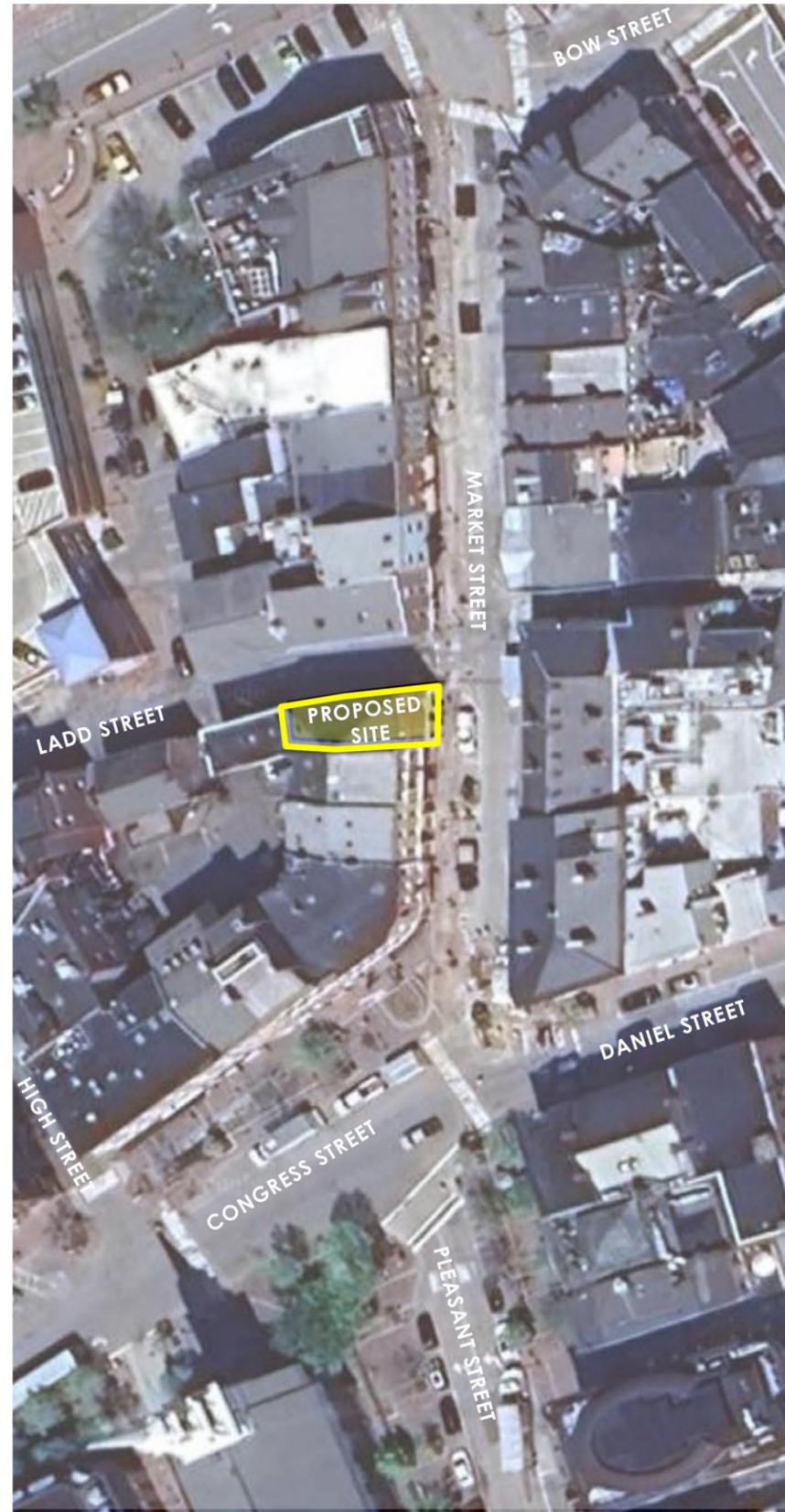
- This elevation contains an obsolete fire alarm, and a through wall AC unit that extends over the sidewalk.
- There are also two entry doors with transoms.

We propose to remove the obsolete fire alarm, remove the through wall AC unit, and repair the waterstruck brick wall with new waterstruck brick. The side entry door with the glass transom will remain, and the wood transom over the second door will be modified to contain a louver. The louver will support a new interior HVAC system for the commercial space.

Thank you for your consideration.  
Sincerely,



Carla Goodknight, AIA  
Principal, CJ Architects LLC  
Representing owners:  
409 Franklin Pierce Highway, LLC.



24 MARKET STREET  
PORTSMOUTH, NEW HAMPSHIRE

AGENDA & AERIAL VIEW  
HDC APPLICATION FOR APPROVAL: FEBRUARY 5, 2025



1.0



VIEW FROM MARKET STREET



VIEW FROM MARKET STREET AND LADD STREET INTERSECTION



VIEW FROM LADD STREET



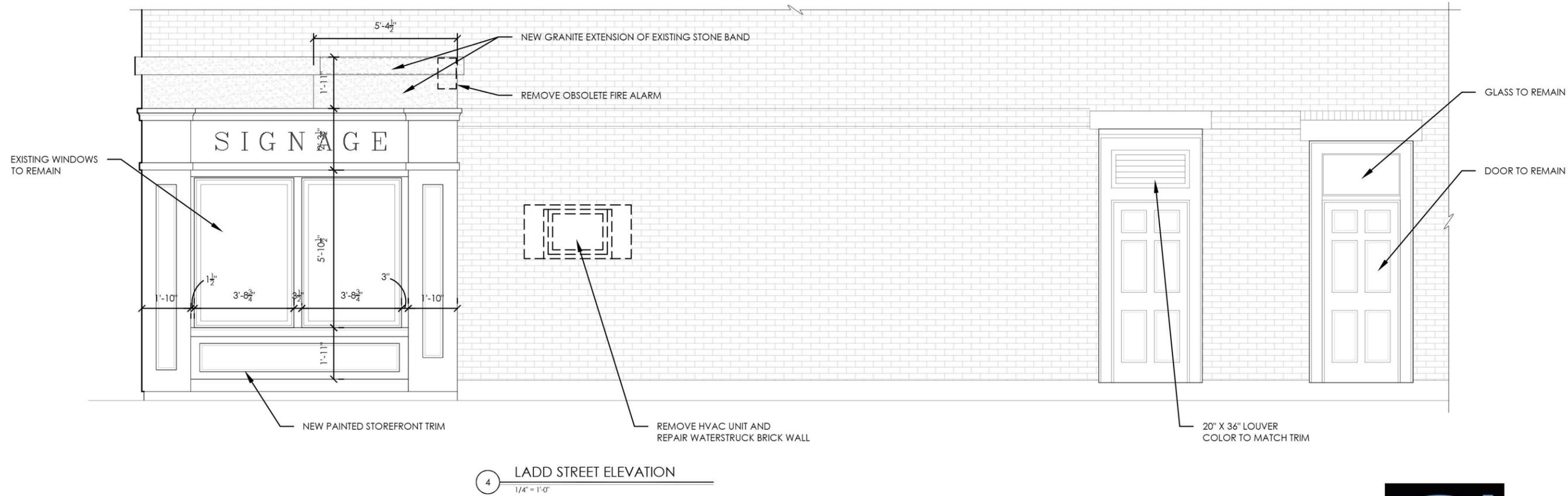
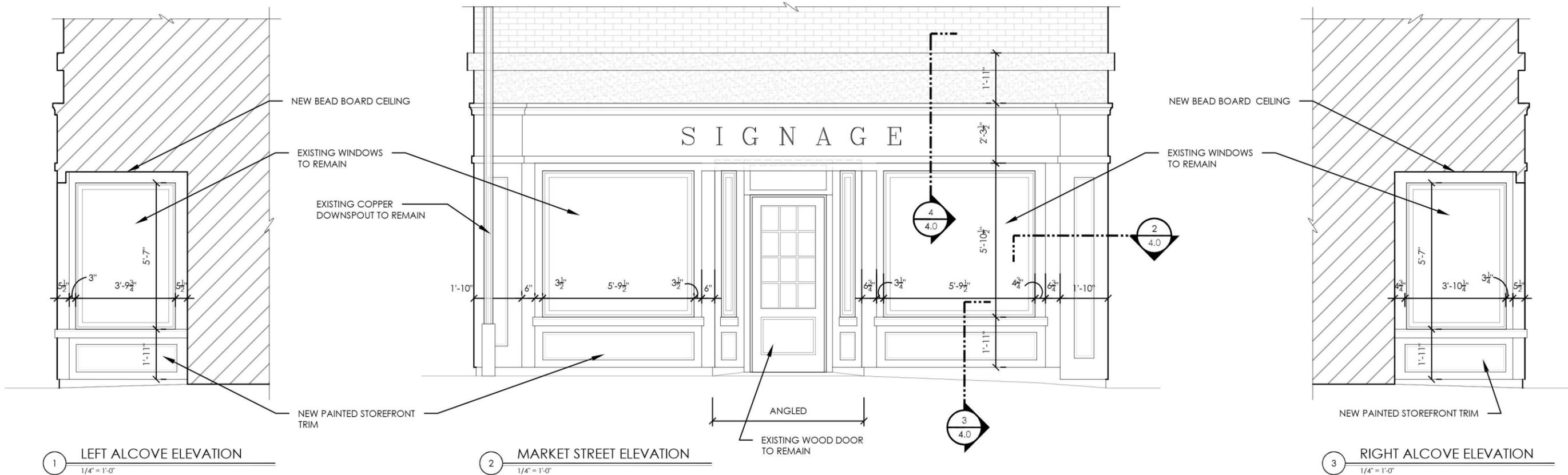
VIEW OF STOREFRONT



VIEW OF STOREFRONT FROM MARKET STREET



VIEW OF STOREFRONT



24 MARKET STREET  
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED ELEVATIONS  
HDC APPLICATION FOR APPROVAL: FEBRUARY 5, 2025

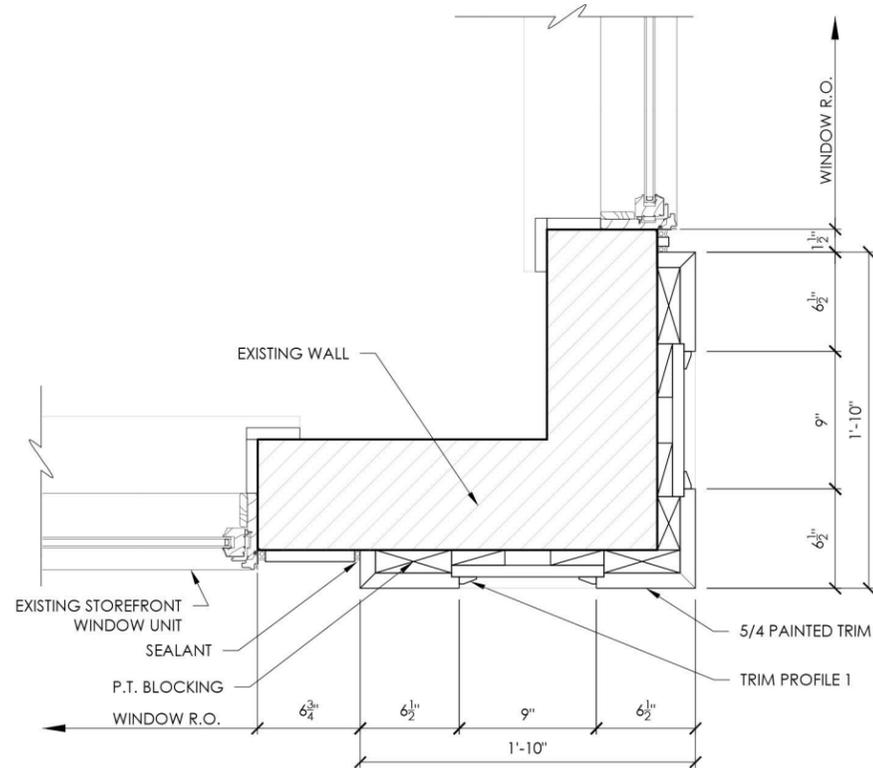


3.0



**TRIM**

**SPECIES:** SAPELE MAHOGANY  
**COLOR:** PAINTED

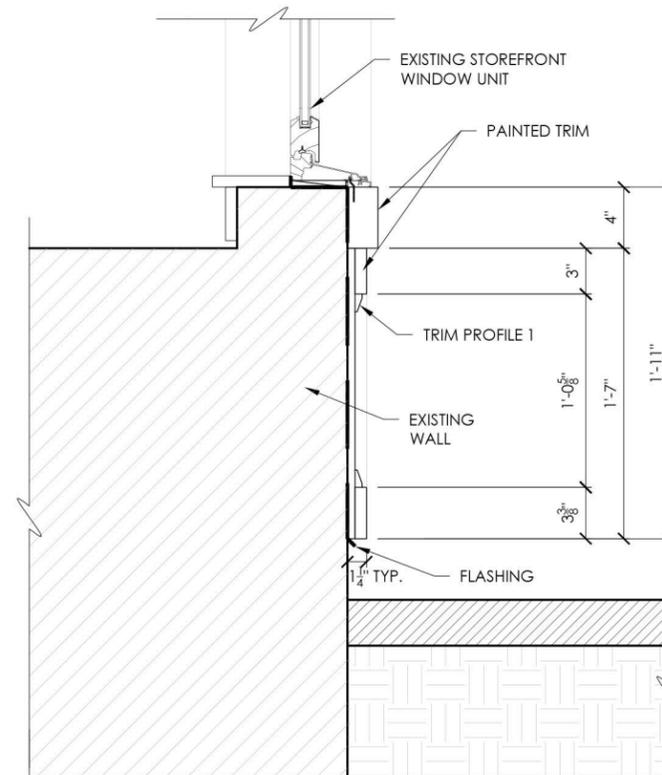


2 STOREFRONT CORNER DETAIL  
 1" = 1'-0"

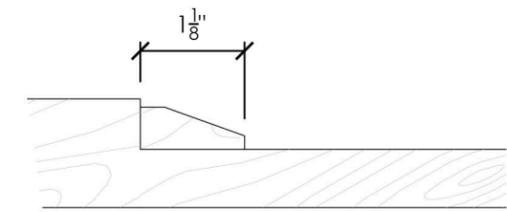


**CEILING**

**SPECIES:** SAPELE MAHOGANY  
**COLOR:** PAINTED

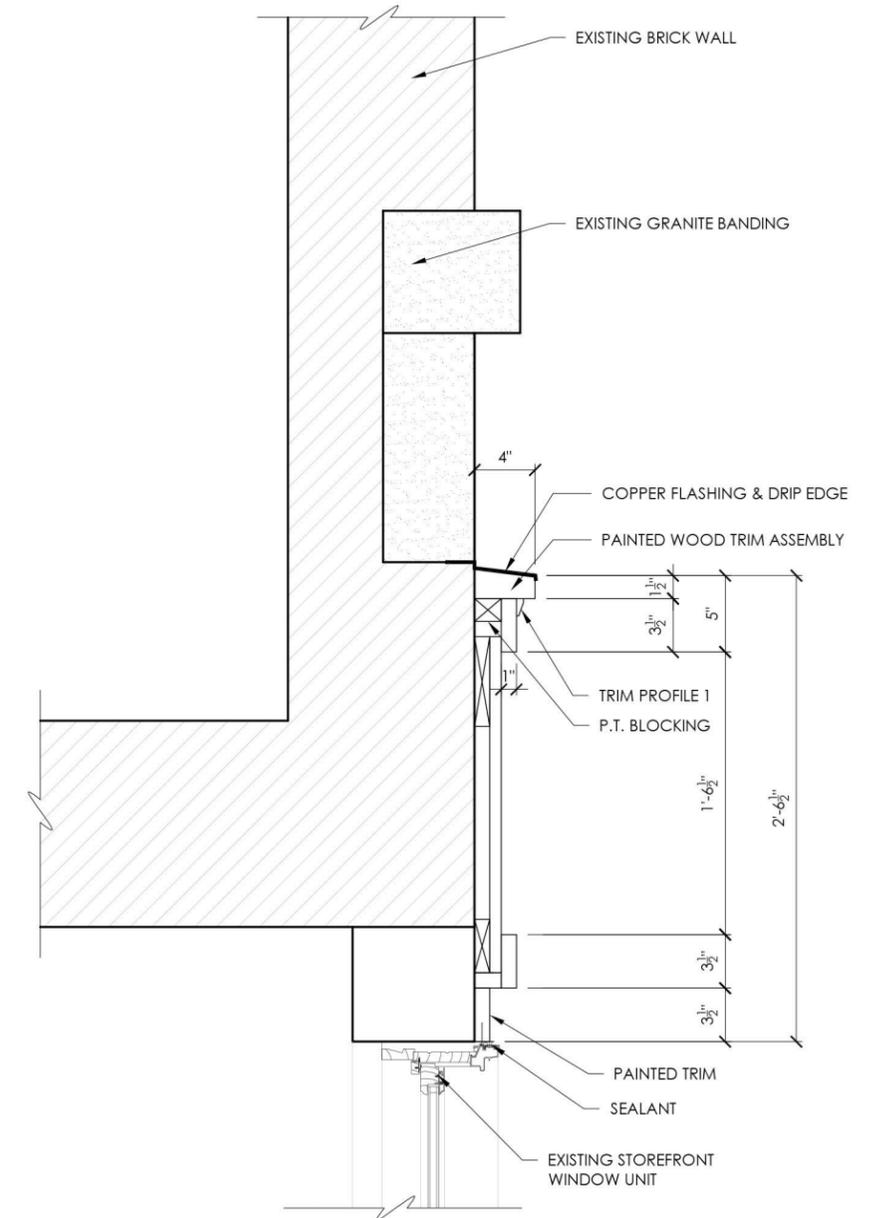


3 STOREFRONT SILL DETAIL  
 1" = 1'-0"



TRIM PROFILE 1

1 TYPICAL TRIM PROFILE  
 6" = 1'-0"



4 STOREFRONT HEAD DETAIL  
 1" = 1'-0"

24 MARKET STREET  
 PORTSMOUTH, NEW HAMPSHIRE

**PROPOSED DETAILS**

HDC APPLICATION FOR APPROVAL: FEBRUARY 5, 2025



4.0



24 MARKET STREET  
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED VIEW  
HDC APPLICATION FOR APPROVAL: FEBRUARY 5, 2025



5.0



24 MARKET STREET  
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED VIEW  
HDC APPLICATION FOR APPROVAL: FEBRUARY 5, 2025



5.1



24 MARKET STREET  
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED VIEW  
HDC APPLICATION FOR APPROVAL: FEBRUARY 5, 2025



5.2

**Project Address:** 62 Deer Street  
**Permit Requested:** Certificate of Approval  
**Application:** Public Hearing #2



**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: Character District 4-L2
- Land Use: Residential
- Land Area: 3,340 SF +/-
- Estimated Age of Structure: c. 1800
- Building Style: Federal
- Number of Stories: 2.5
- Historical Significance: Contributing
- Public View of Proposed Work: New Castle Avenue
- Unique Features: N/A
- Neighborhood Association: South End

**B. Proposed Work:** Installation of new windows on the structure with Andersen 400 Series windows. These would match the adjacent Units windows.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Install new Andersen 400 Series windows.



**HISTORIC  
SURVEY  
RATING  
C**

**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



## Contract - Detailed

Pella Window and Door Showroom of Bedford  
 384 Route 101 Unit 2  
 Bedford, NH 03110

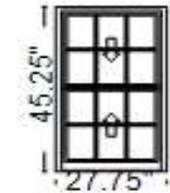
**Sales Rep Name:** Poggi, Alex  
**Sales Rep Phone:** 603-677-2946  
**Sales Rep Fax:**  
**Sales Rep E-Mail:** poggjar@pellanewengland.com

Customer Information	Project/Delivery Address	Order Information
<b>Patrick Maloney</b> 62 Deer St  Portsmouth, NH 03801-3718 <b>Primary Phone:</b> (978) 5351304 <b>Mobile Phone:</b> <b>Fax Number:</b> <b>E-Mail:</b> patrick@airgeneral.com <b>Great Plains #:</b> 1008246749 <b>Customer Number:</b> 1012002676 <b>Customer Account:</b> 1008246749	<b>Patrick Maloney - 62 Deer Street, Portsmouth, NH,</b> 62 Deer Street  <b>Lot #</b> Portsmouth, NH 03801 <b>County:</b>	<b>Quote Name:</b> Patrick Maloney - 62 Deer Street, Portsmouth,  <b>Order Number:</b> 736AP0368 <b>Quote Number:</b> <b>18835636</b> <b>Order Type:</b> Installed Sales <b>Payment Terms:</b> Deposit/C.O.D. <b>Tax Code:</b> NHTAXABLE <b>Quoted Date:</b> 10/27/2024

Line #	Location:	Attributes	Item Price	Qty	Ext'd Price
10	None Assigned	Delivery Setup - Delivery Setup	\$600.00	1	\$600.00

Line #	Location:	Attributes			
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15	Lobby	<b>Pella Reserve, Traditional Replacement Double Hung, 27.75 X 45.25, White</b>	<u>Item Price</u>	<u>Qty</u>	<u>Ext'd Price</u>
			\$3,377.85	4	\$13,511.40



Viewed From Exterior

PK #  
2180

**1: Non-Standard Size Non-Standard Size Double Hung, Equal**

**Frame Size:** 27 3/4 X 45 1/4

**General Information:** Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

**Exterior Color / Finish:** Painted, Standard EnduraClad, White

**Interior Color / Finish:** Prefinished White Paint Interior

**Sash / Panel:** Putty Glaze, Ogee, Standard, No Sash Lugs

**Glass:** Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

**Hardware Options:** Spoon-Style Lock, White, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

**Screen:** Half Screen, Standard EnduraClad, White, Premium, InView™

**Performance Information:** U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 24.375, Clear Opening Height 18.562, Clear Opening Area 3.142005, Egress Does not meet typical United States egress, but may comply with local code requirements

**Grille:** ILT, No Custom Grille, 5/8", Traditional (3W2H / 3W2H), Putty Glaze, Ogee

**Wrapping Information:** No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 146".

Frame Size: 27.75" X 45.9843"

**Pocket Install - Pocket Install**

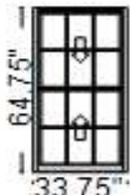
Qty 1

**Lead Safe Install - Lead Safe Install**

Qty 1

Line #	Location:	Attributes			
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20	Office 1	<b>Pella Reserve, Traditional Replacement Double Hung, 33.75 X 64.75, White</b>	<u>Item Price</u>	<u>Qty</u>	<u>Ext'd Price</u>
			\$7,751.57	2	\$7,503.14



Viewed From Exterior

PK #  
2180

**1: Non-Standard Size Non-Standard Size Double Hung, Equal**

**Frame Size:** 33 3/4 X 64 3/4

**General Information:** Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

**Exterior Color / Finish:** Painted, Standard EnduraClad, White

**Interior Color / Finish:** Prefinished White Paint Interior

**Sash / Panel:** Putty Glaze, Ogee, Standard, No Sash Lugs

**Glass:** Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

**Hardware Options:** Spoon-Style Lock, White, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

**Screen:** Half Screen, Standard EnduraClad, White, Premium, InView™

**Performance Information:** U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 30.375, Clear Opening Height 28.312, Clear Opening Area 5.972063, Egress Meets Typical 5.7 sqft (E) (United States Only)

**Grille:** ILT, No Custom Grille, 5/8", Traditional (3W2H / 3W2H), Putty Glaze, Ogee

**Wrapping Information:** No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 197".

Frame Size: 33.75" X 65.4843"

**Pocket Install - Pocket Install**

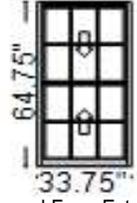
Qty 1

**Lead Safe Install - Lead Safe Install**

Qty 1

Line #	Location:	Attributes			
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25	Office 2	<b>Pella Reserve, Traditional Replacement Double Hung, 33.75 X 64.75, White</b>	<u>Item Price</u>		<u>Qty</u>	<u>Ext'd Price</u>
			\$3,751.57		3	\$11,254.71



Viewed From Exterior

PK #  
2180

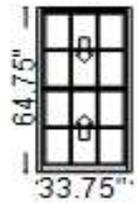
**1: Non-Standard Size Non-Standard Size Double Hung, Equal**  
**Frame Size:** 33 3/4 X 64 3/4  
**General Information:** Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"  
**Exterior Color / Finish:** Painted, Standard Enduraclad, White  
**Interior Color / Finish:** Prefinished White Paint Interior  
**Sash / Panel:** Putty Glaze, Ogee, Standard, No Sash Lugs  
**Glass:** Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude  
**Hardware Options:** Spoon-Style Lock, White, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor  
**Screen:** Half Screen, Standard EnduraClad, White, Premium, InView™  
**Performance Information:** U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 30.375, Clear Opening Height 28.312, Clear Opening Area 5.972063, Egress Meets Typical 5.7 sqft (E) (United States Only)  
**Grille:** ILT, No Custom Grille, 5/8", Traditional (3W2H / 3W2H), Putty Glaze, Ogee  
**Wrapping Information:** No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 197".

Frame Size: 33.75" X 65.4843"

Pocket Install - Pocket Install	Qty	1
Lead Safe Install - Lead Safe Install	Qty	1

Line #	Location:	Attributes			
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30	Office 3	<b>Pella Reserve, Traditional Replacement Double Hung, 33.75 X 64.75, White</b>	<u>Item Price</u>		<u>Qty</u>	<u>Ext'd Price</u>
			\$3,751.57		3	\$11,254.71



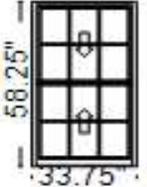
Viewed From Exterior

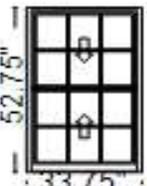
PK #  
2180

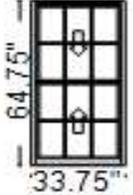
**1: Non-Standard Size Non-Standard Size Double Hung, Equal**  
**Frame Size:** 33 3/4 X 64 3/4  
**General Information:** Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"  
**Exterior Color / Finish:** Painted, Standard Enduraclad, White  
**Interior Color / Finish:** Prefinished White Paint Interior  
**Sash / Panel:** Putty Glaze, Ogee, Standard, No Sash Lugs  
**Glass:** Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude  
**Hardware Options:** Spoon-Style Lock, White, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor  
**Screen:** Half Screen, Standard EnduraClad, White, Premium, InView™  
**Performance Information:** U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 30.375, Clear Opening Height 28.312, Clear Opening Area 5.972063, Egress Meets Typical 5.7 sqft (E) (United States Only)  
**Grille:** ILT, No Custom Grille, 5/8", Traditional (3W2H / 3W2H), Putty Glaze, Ogee  
**Wrapping Information:** No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 197".

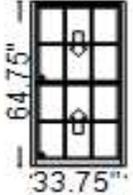
Frame Size: 33.75" X 65.4843"

Pocket Install - Pocket Install	Qty	1
Lead Safe Install - Lead Safe Install	Qty	1

Line #	Location:	Attributes			
35	Office 4	<b>Pella Reserve, Traditional Replacement Double Hung, 33.75 X 58.25, White</b>	<b>Item Price</b>	<b>Qty</b>	<b>Ext'd Price</b>
			\$3,651.29	2	\$7,302.58
	 <p>Viewed From Exterior</p>	<p>PK # 2180</p> <p><b>1: Non-Standard Size Non-Standard Size Double Hung, Equal</b>  <b>Frame Size:</b> 33 3/4 X 58 1/4  <b>General Information:</b> Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"  <b>Exterior Color / Finish:</b> Painted, Standard Enduraclad, White  <b>Interior Color / Finish:</b> Prefinished White Paint Interior  <b>Sash / Panel:</b> Putty Glaze, Ogee, Standard, No Sash Lugs  <b>Glass:</b> Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude  <b>Hardware Options:</b> Spoon-Style Lock, White, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor  <b>Screen:</b> Half Screen, Standard EnduraClad, White, Premium, InView™  <b>Performance Information:</b> U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 30.375, Clear Opening Height 25.062, Clear Opening Area 5.286516, Egress Meets Typical for ground floor 5.0 sqft (E1) (United States Only)  <b>Grille:</b> ILT, No Custom Grille, 5/8", Traditional (3W2H / 3W2H), Putty Glaze, Ogee  <b>Wrapping Information:</b> No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 184".</p>			
	<b>Frame Size: 33.75" X 58.9843"</b>				
		<b>Pocket Install - Pocket Install</b>	Qty	1	
		<b>Lead Safe Install - Lead Safe Install</b>	Qty	1	

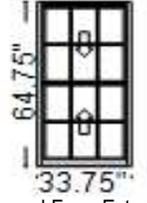
Line #	Location:	Attributes			
40	Office 5 Side	<b>Pella Reserve, Traditional Replacement Double Hung, 33.75 X 52.75, White</b>	<b>Item Price</b>	<b>Qty</b>	<b>Ext'd Price</b>
			\$3,602.88	1	\$3,602.88
	 <p>Viewed From Exterior</p>	<p>PK # 2180</p> <p><b>1: Non-Standard Size Non-Standard Size Double Hung, Equal</b>  <b>Frame Size:</b> 33 3/4 X 52 3/4  <b>General Information:</b> Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"  <b>Exterior Color / Finish:</b> Painted, Standard Enduraclad, White  <b>Interior Color / Finish:</b> Prefinished White Paint Interior  <b>Sash / Panel:</b> Putty Glaze, Ogee, Standard, No Sash Lugs  <b>Glass:</b> Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude  <b>Hardware Options:</b> Spoon-Style Lock, White, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor  <b>Screen:</b> Half Screen, Standard EnduraClad, White, Premium, InView™  <b>Performance Information:</b> U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 30.375, Clear Opening Height 22.312, Clear Opening Area 4.706438, Egress Does not meet typical United States egress, but may comply with local code requirements  <b>Grille:</b> ILT, No Custom Grille, 5/8", Traditional (3W2H / 3W2H), Putty Glaze, Ogee  <b>Wrapping Information:</b> No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 173".</p>			
	<b>Frame Size: 33.75" X 53.4843"</b>				
		<b>Pocket Install - Pocket Install</b>	Qty	1	
		<b>Lead Safe Install - Lead Safe Install</b>	Qty	1	

Line #	Location:	Attributes			
45	Office 5 Front	<b>Pella Reserve, Traditional Replacement Double Hung, 33.75 X 64.75, White</b>	<u>Item Price</u>	<u>Qty</u>	<u>Ext'd Price</u>
			\$3,751.57	2	\$7,503.14
	 <p>Viewed From Exterior</p>	<p>PK # 2180</p> <p><b>1: Non-Standard Size Non-Standard Size Double Hung, Equal</b>  <b>Frame Size:</b> 33 3/4 X 64 3/4  <b>General Information:</b> Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"  <b>Exterior Color / Finish:</b> Painted, Standard Enduraclad, White  <b>Interior Color / Finish:</b> Prefinished White Paint Interior  <b>Sash / Panel:</b> Putty Glaze, Ogee, Standard, No Sash Lugs  <b>Glass:</b> Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude  <b>Hardware Options:</b> Spoon-Style Lock, White, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor  <b>Screen:</b> Half Screen, Standard EnduraClad, White, Premium, InView™  <b>Performance Information:</b> U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 30.375, Clear Opening Height 28.312, Clear Opening Area 5.972063, Egress Meets Typical 5.7 sqft (E) (United States Only)  <b>Grille:</b> ILT, No Custom Grille, 5/8", Traditional (3W2H / 3W2H), Putty Glaze, Ogee  <b>Wrapping Information:</b> No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 197".</p>			
	<b>Frame Size: 33.75" X 65.4843"</b>				
		<b>Pocket Install - Pocket Install</b>	Qty	1	
		<b>Lead Safe Install - Lead Safe Install</b>	Qty	1	

Line #	Location:	Attributes			
50	Bath Room	<b>Pella Reserve, Traditional Replacement Double Hung, 33.75 X 64.75, White</b>	<u>Item Price</u>	<u>Qty</u>	<u>Ext'd Price</u>
			\$4,039.27	1	\$4,039.27
	 <p>Viewed From Exterior</p>	<p>PK # 2180</p> <p><b>1: Non-Standard Size Non-Standard Size Double Hung, Equal</b>  <b>Frame Size:</b> 33 3/4 X 64 3/4  <b>General Information:</b> Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"  <b>Exterior Color / Finish:</b> Painted, Standard Enduraclad, White  <b>Interior Color / Finish:</b> Prefinished White Paint Interior  <b>Sash / Panel:</b> Putty Glaze, Ogee, Standard, No Sash Lugs  <b>Glass:</b> Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude  <b>Hardware Options:</b> Spoon-Style Lock, White, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor  <b>Screen:</b> Half Screen, Standard EnduraClad, White, Premium, InView™  <b>Performance Information:</b> U-Factor 0.30, SHGC 0.26, VLT 0.47, CPD PEL-N-233-00643-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 30.375, Clear Opening Height 28.312, Clear Opening Area 5.972063, Egress Meets Typical 5.7 sqft (E) (United States Only)  <b>Grille:</b> ILT, No Custom Grille, 5/8", Traditional (3W2H / 3W2H), Putty Glaze, Ogee  <b>Wrapping Information:</b> No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 197".</p>			
	<b>Frame Size: 33.75" X 65.4843"</b>				
		<b>Pocket Install - Pocket Install</b>	Qty	1	
		<b>Lead Safe Install - Lead Safe Install</b>	Qty	1	

Line #	Location:	Attributes			
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55	Office 6	<b>Pella Reserve, Traditional Replacement Double Hung, 33.75 X 64.75, White</b>	<u>Item Price</u>		<u>Qty</u>	<u>Ext'd Price</u>
			\$3,751.57		3	\$11,254.71



Viewed From Exterior

PK #  
2180

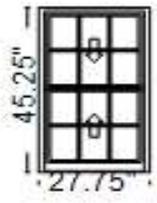
**1: Non-Standard Size Non-Standard Size Double Hung, Equal**  
**Frame Size:** 33 3/4 X 64 3/4  
**General Information:** Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"  
**Exterior Color / Finish:** Painted, Standard Enduraclad, White  
**Interior Color / Finish:** Prefinished White Paint Interior  
**Sash / Panel:** Putty Glaze, Ogee, Standard, No Sash Lugs  
**Glass:** Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude  
**Hardware Options:** Spoon-Style Lock, White, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor  
**Screen:** Half Screen, Standard EnduraClad, White, Premium, InView™  
**Performance Information:** U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 30.375, Clear Opening Height 28.312, Clear Opening Area 5.972063, Egress Meets Typical 5.7 sqft (E) (United States Only)  
**Grille:** ILT, No Custom Grille, 5/8", Traditional (3W2H / 3W2H), Putty Glaze, Ogee  
**Wrapping Information:** No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 197".

**Frame Size:** 33.75" X 65.4843"

Pocket Install - Pocket Install	Qty 1
Lead Safe Install - Lead Safe Install	Qty 1

Line #	Location:	Attributes			
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60	Main Office	<b>Pella Reserve, Traditional Replacement Double Hung, 27.75 X 45.25, White</b>	<u>Item Price</u>		<u>Qty</u>	<u>Ext'd Price</u>
			\$3,377.85		5	\$16,889.25



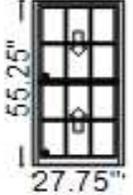
Viewed From Exterior

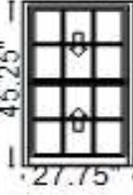
PK #  
2180

**1: Non-Standard Size Non-Standard Size Double Hung, Equal**  
**Frame Size:** 27 3/4 X 45 1/4  
**General Information:** Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"  
**Exterior Color / Finish:** Painted, Standard Enduraclad, White  
**Interior Color / Finish:** Prefinished White Paint Interior  
**Sash / Panel:** Putty Glaze, Ogee, Standard, No Sash Lugs  
**Glass:** Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude  
**Hardware Options:** Spoon-Style Lock, White, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor  
**Screen:** Half Screen, Standard EnduraClad, White, Premium, InView™  
**Performance Information:** U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 24.375, Clear Opening Height 18.562, Clear Opening Area 3.142005, Egress Does not meet typical United States egress, but may comply with local code requirements  
**Grille:** ILT, No Custom Grille, 5/8", Traditional (3W2H / 3W2H), Putty Glaze, Ogee  
**Wrapping Information:** No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 146".

**Frame Size:** 27.75" X 45.9843"

Pocket Install - Pocket Install	Qty 1
Lead Safe Install - Lead Safe Install	Qty 1

Line #	Location:	Attributes			
65	Main Office	<b>Pella Reserve, Traditional Replacement Double Hung, 27.75 X 55.25, White</b>	<b>Item Price</b>	<b>Qty</b>	<b>Ext'd Price</b>
			\$3,795.05	1	\$3,795.05
	 <p>Viewed From Exterior</p>	<p>PK # 2180</p> <p><b>1: Non-Standard Size Non-Standard Size Double Hung, Equal</b>  <b>Frame Size:</b> 27 3/4 X 55 1/4  <b>General Information:</b> Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"  <b>Exterior Color / Finish:</b> Painted, Standard Enduraclad, White  <b>Interior Color / Finish:</b> Prefinished White Paint Interior  <b>Sash / Panel:</b> Putty Glaze, Ogee, Standard, No Sash Lugs  <b>Glass:</b> Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude  <b>Hardware Options:</b> Spoon-Style Lock, White, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor  <b>Screen:</b> Half Screen, Standard EnduraClad, White, Premium, InView™  <b>Performance Information:</b> U-Factor 0.30, SHGC 0.26, VLT 0.47, CPD PEL-N-233-00643-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 24.375, Clear Opening Height 23.562, Clear Opening Area 3.988359, Egress Does not meet typical United States egress, but may comply with local code requirements  <b>Grille:</b> ILT, No Custom Grille, 5/8", Traditional (3W2H / 3W2H), Putty Glaze, Ogee  <b>Wrapping Information:</b> No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 166".</p>			
	<b>Frame Size: 27.75" X 55.9843"</b>				
		<b>Pocket Install - Pocket Install</b>	Qty	1	
		<b>Lead Safe Install - Lead Safe Install</b>	Qty	1	

Line #	Location:	Attributes			
70	3rd Floor	<b>Pella Reserve, Traditional Replacement Double Hung, 27.75 X 45.25, White</b>	<b>Item Price</b>	<b>Qty</b>	<b>Ext'd Price</b>
			\$3,377.85	1	\$3,377.85
	 <p>Viewed From Exterior</p>	<p>PK # 2180</p> <p><b>1: Non-Standard Size Non-Standard Size Double Hung, Equal</b>  <b>Frame Size:</b> 27 3/4 X 45 1/4  <b>General Information:</b> Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"  <b>Exterior Color / Finish:</b> Painted, Standard Enduraclad, White  <b>Interior Color / Finish:</b> Prefinished White Paint Interior  <b>Sash / Panel:</b> Putty Glaze, Ogee, Standard, No Sash Lugs  <b>Glass:</b> Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude  <b>Hardware Options:</b> Spoon-Style Lock, White, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor  <b>Screen:</b> Half Screen, Standard EnduraClad, White, Premium, InView™  <b>Performance Information:</b> U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 24.375, Clear Opening Height 18.562, Clear Opening Area 3.142005, Egress Does not meet typical United States egress, but may comply with local code requirements  <b>Grille:</b> ILT, No Custom Grille, 5/8", Traditional (3W2H / 3W2H), Putty Glaze, Ogee  <b>Wrapping Information:</b> No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 146".</p>			
	<b>Frame Size: 27.75" X 45.9843"</b>				
		<b>Pocket Install - Pocket Install</b>	Qty	1	
		<b>Lead Safe Install - Lead Safe Install</b>	Qty	1	

Thank You For Purchasing Pella® Products

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at [www.pella.com](http://www.pella.com)

## PELLA WARRANTY:

Pella products are covered by Pella's limited warranties in effect at the time of sale. All applicable product warranties are incorporated into and become a part of this contract. Please see the warranties for complete details, taking special note of the two important notice sections regarding installation of Pella products and proper management of moisture within the wall system. Neither Pella Corporation nor the Seller will be bound by any other warranty unless specifically set out in this contract. However, Pella Corporation will not be liable for branch warranties which create obligations in addition to or obligations which are inconsistent with Pella written warranties.

Clear opening (egress) information does not take into consideration the addition of a Rolscreen [or any other accessory] to the product. You should consult your local building code to ensure your Pella products meet local egress requirements.

Per the manufacturer's limited warranty, unfinished mahogany exterior windows and doors must be finished upon receipt prior to installing and refinished annually, thereafter. Variations in wood grain, color, texture or natural characteristics are not covered under the limited warranty.

**INSYNCTIVE PRODUCTS:** In addition, Pella Insynctive Products are covered by the Pella Insynctive Products Software License Agreement and Pella Insynctive Products Privacy Policy in effect at the time of sale, which can be found at [Insynctive.pella.com](https://www.pella.com/insynctive). By installing or using Your Insynctive Products you are acknowledging the Insynctive Software Agreement and Privacy Policy are part of the terms of sale.

**Notice of Collection of Personal Information:** We may collect your personal information when you interact with us. Under the California Consumer Privacy Act (CCPA), California residents have specific rights to request this information, request to delete this information, and opt out of the sharing or sale of this information to third parties. To learn more about our collection practices and your rights under the CCPA please visit our link <https://www.pella.com/california-rights-policy/> at [pella.com](https://www.pella.com).

## ARBITRATION AND CLASS ACTION WAIVER ("ARBITRATION AGREEMENT")

**YOU and Pella and its subsidiaries and the Pella Branded Distributor AGREE TO ARBITRATE DISPUTES ARISING OUT OF OR RELATING TO YOUR PELLA PRODUCTS (INCLUDES PELLA GOODS AND PELLA SERVICES) AND WAIVE THE RIGHT TO HAVE A COURT OR JURY DECIDE DISPUTES. YOU WAIVE ALL RIGHTS TO PROCEED AS A MEMBER OR REPRESENTATIVE OF A CLASS ACTION, INCLUDING CLASS ARBITRATION, REGARDING DISPUTES ARISING OUT OF OR RELATING TO YOUR PELLA PRODUCTS.** You may opt out of this Arbitration Agreement by providing notice to Pella no later than ninety (90) calendar days from the date You purchased or otherwise took ownership of Your Pella Goods. To opt out, You must send notice by e-mail to [pellawebsupport@pella.com](mailto:pellawebsupport@pella.com), with the subject line: "Arbitration Opt Out" or by calling (877) 473-5527. Opting out of the Arbitration Agreement will not affect the coverage provided by any applicable limited warranty pertaining to Your Pella Products. For complete information, including the full terms and conditions of this Arbitration Agreement, which are incorporated herein by reference, please visit [www.pella.com/arbitration](https://www.pella.com/arbitration) or e-mail to [pellawebsupport@pella.com](mailto:pellawebsupport@pella.com), with the subject line: "Arbitration Details" or call (877) 473-5527. D'ARBITRAGE ET RENONCIATION AU RECOURS COLLECTIF ("convention d'arbitrage") EN FRANÇAIS SEE [PELLA.COM/ARBITRATION](https://www.pella.com/arbitration). DE ARBITRAJE Y RENUNCIA COLECTIVA ("acuerdo de arbitraje") EN ESPAÑOL VER [PELLA.COM/ARBITRATION](https://www.pella.com/arbitration).

Seller shall not be held liable for failure or delay in the performance of its obligations under this Agreement, if such performance is hindered or delayed by the occurrence of an act or event beyond the Seller's reasonable control (force majeure event), including but not limited to earthquakes, unusually severe weather and other Acts of God, fire, strikes and labor unrest, epidemics, riots, war, civil unrest, and government interventions. Seller shall give timely notice of a force majeure event and take such reasonable action to mitigate the impacts of such an event.

### Product Performance Information:

U-Factor, Solar Heat Gain Coefficient (SHGC), and Visible Light Transmittance (VLT) are certified by the National Fenestration Rating Council (NFRC). Manufacturer stipulates that these ratings conform to applicable NFRC procedures for determining whole product performance. NFRC ratings are determined for a fixed set of environmental conditions and a specific product size. NFRC does not recommend any products and does not warrant the suitability of any product

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at [www.pella.com](https://www.pella.com)

for any specific use.

Design Pressure (DP), Performance Class, and Performance Grade (PG) are certified by a third party organization, in many cases the Window and Door Manufacturers Association (WDMA). The certification requires the performance of at least one product of the product line to be tested in accordance with the applicable performance standards and verified by an independent party. The certification indicates that the product(s) of the product line passed the applicable tests. The certification does not apply to mulled and/or product combinations unless noted. Actual product results will vary and change over the products life.

For more performance information along with information on Florida Product Approval System (FPAS) Number and Texas Dept. of Insurance (TDI) number go to [www.pella.com/performance](http://www.pella.com/performance).

Including during the construction period, casement windows should never be left open and unlocked for prolong periods or during high wind conditions to avoid sash detachment/damage.

Actual sizes tested for documented STC and OITC ratings may vary from the ASTM E 1425 sizes to better represent Pella product offering.

STC and OITC ratings shown may be conservatively based on products tested with thinner panes of glass.

STC and OITC ratings may be from test results from an equivalent product.

## Project Checklist Review (Installed Orders Only)

### Before the Installation the Homeowner agrees to do the following:

Obtain Condo Association Approval

Obtain Historic Approval

Remove existing shutters and awnings

Remove air conditioners

Remove existing shades, drapes, window treatments, wall hangings, and personal belongings

Move furniture at least 3 feet away from work area

Tie or cut back trees, bushes and shrubs in the work area

Arrange to have alarm system and doorbells disconnected

Arrange to have any plumbing and electrical repairs or changes made by appropriate licensed contractor

Provide a door handle and lockset for entry door if Pella handle and lockset is not purchased.

### Before the Installation Pella agrees to do the following:

Obtain Building Permit (When required)

### During the Installation the Homeowner agrees to do the following:

Keep pets safely away from work area

Keep children safely away from work area

Allow Pella Installer room to work safely within your home

During the Installation Pella agrees to do the following:

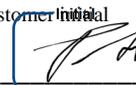
- Deliver and unload products purchased per contract
- Place and remove drop cloths in work area then vacuum, and remove all debris at end of day
- Remove existing product, including storm windows, and dispose of it unless otherwise specified
- Install all products using method specified in contract per Pella Installation Instructions
- Replace interior and/or exterior trim only if purchased
- If Purchased, install exterior primed pine wood trim or Composite. Composite will be unfinished.
- If Purchased, install interior trim matching wood window finish or White trim for Impervia and Encompass
- Install non-Pella entry door lockset provided by you. Pella is not responsible for it's quality or performance

After the Installation the Homeowner agrees to do the following:

- Be available for completion and sign off to verify all products purchased are in working order
- Reinstall existing shutters, awnings, shades, drapes, window treatments, wall hangings, and reposition furniture
- Arrange to have alarm system and doorbells reinstalled
- Reinstall air conditioners
- Remove stickers from product and save for energy rebate and tax purposes
- Wash all interior & exterior glass surfaces
- Fill nail holes and joints on interior trim if windows are to be stained (after staining)
- Clean up exterior casing issues due to storm window removal if full wrap or new exterior trim is not purchased
- Arrange to have any paint touched up around newly installed window or trim if necessary
- Arrange to have any new drywall installed, taped and mud applied if necessary

 Project Checklist has been reviewed  
Customer initial

Product Only Addendum has been reviewed

 Final payment is due upon Substantial Completion per the Terms and Conditions  
Customer Initial

 Removal and reinstallation of blinds are the responsibility of the homeowner. If for any reason blinds are not removed, you will be charged to remove the blinds and we are not responsible for any damage that might occur to the existing blinds. Pella will not reinstall blinds and does not guarantee existing blinds will fit in to the new windows.

Customer Initial 

**INITIALS**   
Pella New England Windows and Doors 2022 Supply Chain Volatility Rider - Pella New England Windows and Doors (Subcontractor) shall not be in default and shall not be held to suffer any charges or loss because of any failure to perform this proposal under its terms if the failure arises from causes beyond the reasonable control and without the fault or negligence of subcontractor ("Excusable Delay"). Examples of these causes are (1) acts of God or of the public enemy, (2) acts of the Government in either its sovereign or contractual capacity, (3) fires, (4) floods, (5) epidemics or pandemics, (6) quarantine restrictions, (7) strikes, (8) freight embargoes or supply chain disruptions (9)

unusually severe weather, and (10) unusual unavailability of materials. Without limiting the foregoing, to the extent any delay is or would be considered an excusable delay or force majeure under the Prime Contract, such delay shall be considered an excusable delay or force majeure under this proposal.

Anticipated delivery dates shall be determined upon factory lead times at time of order. Subcontractor shall make best efforts to achieve the delivery schedule set forth upon acceptance. Contractor is, however, on notice that the current supply chain environment is unusually volatile, and therefore the delivery schedule shall be subject to reasonable adjustment upon notice furnished by the Subcontractor.

The foregoing shall supersede and replace any subcontract terms or conditions that are inconsistent herewith.

INITIALS

<sup>Initial</sup>  


**A 1.5% FINANCE CHARGE PER MONTH WILL BE ASSESSED TO ALL BALANCES OLDER THAN 30 DAYS**

Credit Card Account #: Last 4 Digits \_\_\_\_\_

Expiration Date: \_\_\_\_\_ / \_\_\_\_\_

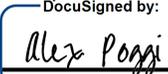
Charge final payment to same account \_\_\_\_\_  
(Upon substantial completion) Customer initial

**Project Checklist has been reviewed**

Patrick Maloney

Alex Poggi

Customer Name (Please print)  
DocuSigned by:  
  
Customer Signature  
12/31/2024  
Date

Pella Sales Rep Name (Please print)  
DocuSigned by:  
  
Pella Sales Rep Signature  
12/31/2024  
Date

Credit Card Approval Signature

Order Totals	
Taxable Subtotal	\$91,307.53
Sales Tax @ 0%	\$0.00
Non-taxable Subtotal	\$10,581.16
<b>Total</b>	<b>\$101,888.69</b>
<b>Deposit Received</b>	<b>\$50,944.35</b>
<b>Amount Due</b>	<b>\$50,944.34</b>

# Pre-Renovation Form

## Confirmation of Pamphlet Receipt

I have received a copy of the pamphlet, *Renovate Right: Important Lead Hazard Information for Families, Child Care Providers and Schools*, informing me of the potential risk of the lead hazard exposure from renovation activity to be performed in my dwelling unit. I received this pamphlet before the work began.

Patrick Maloney

Printed name of owner or occupant

DocuSigned by:  Date 12/31/2024  
Signature of owner or occupant

### Renovator's Self-Certification Option (for tenant-occupied dwellings only)

Instructions to Renovator: If the lead hazard information pamphlet was delivered but a tenant signature was not obtainable, you may check the appropriate box below.

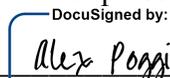
**Declined** — I certify that I have made a good faith effort to deliver the lead hazard information pamphlet to the rental dwelling unit listed below at the date and time indicated and that the occupant declined to sign the confirmation of receipt. I further certify that I have left a copy of the pamphlet at the unit with the occupant.

**Unavailable for signature** — I certify that I have made a good faith effort to deliver the lead hazard information pamphlet to the rental dwelling unit listed below and that the occupant was unavailable to sign the confirmation of receipt. I further certify that I have left a copy of the pamphlet at the unit by sliding it under the door or by

Email

(Fill in how pamphlet was delivered) 12/18/2024  
Alex Poggi 5:31 PM

Printed name of person certifying delivery Attempted delivery date and time

DocuSigned by:   
Signature of person certifying

Unit address

**Note Regarding Mailing Option** — As an alternative to delivery in person, you may mail the lead pamphlet to the owner and/or tenant. Pamphlet must be mailed at least 7 days before renovation. Mailing must be documented by a certificate of mailing from the post office.

# **PELLA WINDOWS AND DOORS CONTRACT**

## **1. TERMS AND CONDITIONS**

These Terms and Conditions are an integral part of the contract set forth on the Product Order (the "Contract") between New England Window and Door LLC dba Pella Windows & Doors, Inc. ("Pella") and the person(s) identified on the Product Order ("Owner") to supply the products (the "Products"), and perform the work (the "Work") described or referred to in such Contract. For Product Only purchases, a signed "Product Only Addendum" is a required part of the contract.

## **2. OWNER**

Pella is not responsible for any existing security systems. Owner shall remove all shades; verticals, blinds, curtains, drapes or window mounted air conditioners, prior to the installation of the Products. Pella's installers are not responsible for the removal or installation of these types of items. Pella is not responsible for pre-existing window coverings fitting on newly installed Pella windows.

The Owner shall provide complete access to the work site between the hours of 7:00 a.m. and 6:00 p.m. (Monday through Friday) for Pella's installers to deliver the Products and perform the Work.

## **3. PELLA**

Pella will be responsible for and have control over construction means, methods, techniques, sequences and procedures and for coordinating all portions of the Work. Pella will be responsible for the Work of its Pella Contractors who will install the Products.

Unless provided otherwise in the Work description, Pella will provide and pay for all labor, materials, equipment, tools and machinery, transportation, and other facilities and services necessary for the proper execution and completion of the Work.

The materials and equipment furnished under the Contract will be good quality and new unless otherwise required or permitted, the Work will be free from defects not inherent in the quality required or permitted, and the Work conform with the requirements of this Contract. Pella shall not be responsible for damages or defects caused by abuse, modifications not executed by Pella, improper or insufficient maintenance, improper operation or normal wear and tear. Pella will keep the premises and surrounding area free from accumulation of waste materials or rubbish caused by performance of the Work.

## **4. CHANGES**

The Owner may order in writing changes in the Work consisting of additions, deletions, or modifications ("Change Order"). Any Change Order shall include an adjustment to the Price and the Substantial Completion Date, as determined by Pella. Pella reserves the right to approve or disapprove any Change Order and any such Change Order must be signed by both Owner and Pella to be effective.

## **5. SUBSTANTIAL COMPLETION**

Owner understands and agrees that the Substantial Completion Date is an estimate only and that the actual date on which the Work is completed may be extended to allow for Change Orders requested by Owner or if the time to complete the Work is affected by conduct of the Owner, weather, labor disputes, availability of subcontractors, acts of God, fire or other causes reasonably beyond Pella's control. If for any reason the Work is not fully completed by the Substantial Completion Date (including any extensions contemplated above), but is substantially completed by such date, i.e., the Product has been installed, but minor parts or components are missing or need to be replaced or repaired, a hold back proportionate to the cost of remaining parts or work to be completed is acceptable. However, the holdback will not exceed the amount of the completion costs or 10 % of the remaining unpaid balance of the Price, whichever is less.

## **6. FINANCING**

If payment of the Price is financed with a financial institution through Pella, all financing paperwork must be completed upon signing of this Contract and the requisite approvals and authorizations for the full amount of the requested financing shall have been received from the financial institution.

## **7. PAYMENTS**

Pella shall be entitled to stop the Work upon written notice to Owner for any material default or failure by Owner, including but not limited to, the Owner's failure to pay Pella the amount due within seven days after the date payment is due.

## **8. CORRECTION OF WORK**

Pella shall correct installation Work not in conformance with the requirements of the Contract, if notified in writing by the Owner within two years after the Completion Date or, if earlier, the date on which the Work is substantially completed and payment of the Purchase Price made subject to a holdback as provided above. Correction of Work as herein provided shall be Owner's sole remedy for defective workmanship, and is provided in lieu of any and all other remedies. Pella's obligation to correct Work is conditioned on Pella's prior receipt of all payments then due.

## **9. LIMITED PRODUCT WARRANTY**

Pella shall warrant all Pella products, but only in accordance with the Pella Windows & Doors Limited Warranty. THIS LIMITED WARRANTY SHALL BE THE SOLE WARRANTY WITH RESPECT TO THE PRODUCTS AND PELLA SPECIFICALLY DISCLAIMS ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, WRITTEN OR ORAL (INCLUDING WITHOUT LIMITATION ANY WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE).

## **10. NO CONSEQUENTIAL DAMAGES**

UNDER NO CIRCUMSTANCES SHALL PELLA BE LIABLE FOR CONSEQUENTIAL, INCIDENTAL, INDIRECT, OR SPECIAL DAMAGES, WHETHER FORESEEN OR UNFORESEEN.

## **11. NOTICE OF CANCELLATION**

You may cancel this agreement if it has been signed by a party thereto at a place other than the address of the seller, which may be his main office or branch thereof, provided you notify the seller in writing at his main office or branch by ordinary mail posted, by telegram sent or by delivery, not later than midnight of the third business day following the signed of this agreement.

See the attached Notice of Cancellation for an explanation of this right.

**Do not sign this contract if there are any blank spaces.**

DocuSigned by:



Customer signature 12/31/2024

Date

**NOTICE OF CANCELLATION**

Date of transaction: 12/31/2024

You may cancel this transaction, without any penalty or obligation, within three business days from the above date.

If you cancel, any property traded in, any payments made by you under the agreement, and any negotiable instrument executed by you will be returned within ten business days following receipt by the seller of your cancellation notice, and any security interest arising out of the transaction will be cancelled.

If you cancel, you must make available to the seller at your residence, in substantially as good condition as when received, any goods delivered to you under this agreement; or you may if you wish, comply with the instructions of the seller regarding the return shipment of the goods at the seller's expense and risk.

If you do make the goods available to the seller and the seller does not pick them up within twenty days of the date of your notice of cancellation, you may retain or dispose of the goods without any further obligation. If you fail to make the goods available to the seller, or if you agree to return the goods to the seller and fail to do so, then you remain liable for performance of all obligations under the contract.

To cancel this transaction, mail or deliver a signed and dated copy of this cancellation notice or any other written notice, or send a telegram to

New England Window & Door at 109 Airport Dr., Rochester, N.H., 038687

not later than midnight of \_\_\_\_\_ (three business days from the date of transaction above).

I hereby cancel this transaction.

\_\_\_\_\_  
(Date)

\_\_\_\_\_  
(Buyer's signature)

**Project Address:** 113 Market Street  
**Permit Requested:** Certificate of Approval  
**Application:** Public Hearing #3



**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: Character District 5 and Downtown Overlay
- Land Use: Mixed-Use
- Land Area: 0 SF +/-
- Estimated Age of Structure: c. 1803
- Building Style: Federal
- Number of Stories: 4 Facing Market Street and 6 Facing Ceres Street
- Historical Significance: Focal
- Public View of Proposed Work: Market Street and Ceres Street
- Unique Features: N/A
- Neighborhood Association: Downtown

**B. Proposed Work:** Replacement windows

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Replacement Windows



**HISTORIC  
SURVEY  
RATING  
F**

**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



DATE: 10/12/2022

PROJECT NAME:

PROJECT ADDRESS:

REVISIONS & APPROVALS:

#	Date	Description

HDC Submission

24-021

115 Market Street

115 Market Street  
Portsmouth, NH

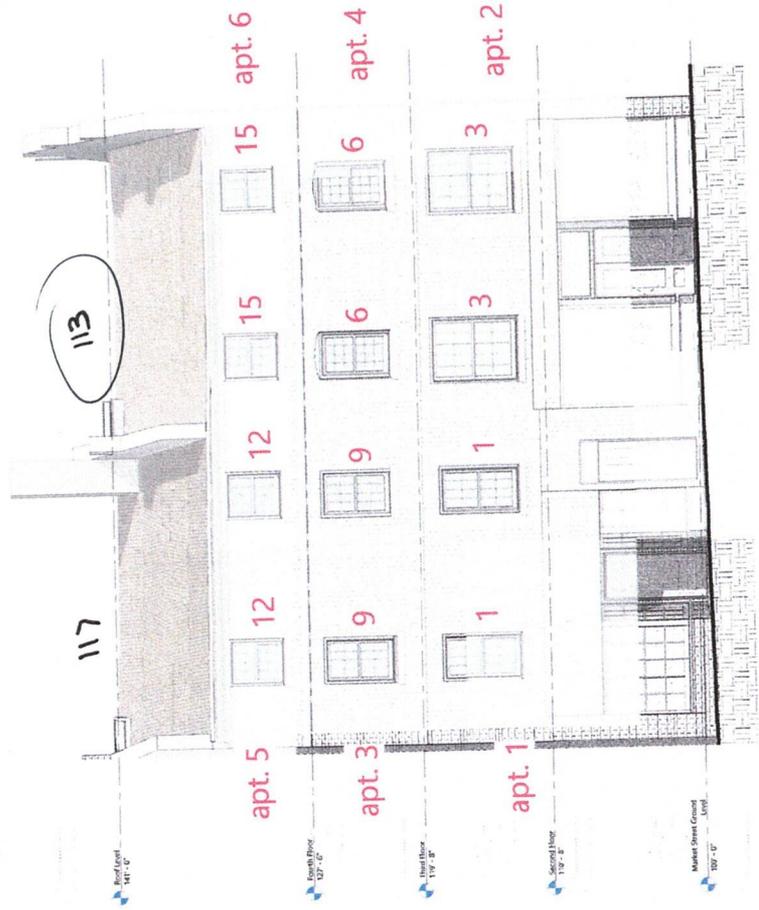
Market Street  
Elevation

A200

DATE: 10/12/2022  
SCALE: 1/4" = 1'-0"

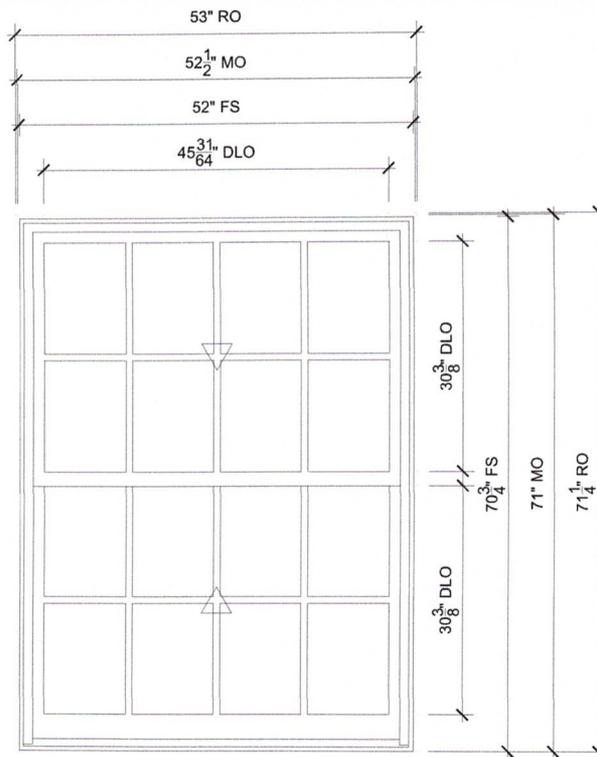


EXISTING MARKET STREET PHOTO REFERENCE IMAGE. NOT TO SCALE



1 Existing Market Street Elevation Copy 1  
A200 1/4" = 1'-0"





**115 MARKET ST APT 2 BEDS 1/2**  
 SCALE: 1/2" = 1'-0"

## SPECIFICATIONS

Line #: 3

Qty: 2

Mark Unit: 115 MARKET ST APT 2 BEDS 1/2

Product Line: Ultimate

Unit Description: Double Hung G2

Rough Opening: 53" X 71 1/4"

Frame Size: 52" X 70 3/4"

Masonry Opening: 52 1/2" X 71"

Sash Opening: 53" X 71 1/4"

Inside Opening: 53" X 71 1/4"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Double Hung G2

Call Number: None

Glass Information: IG, Low E2 w/Argon, Black

Divider Type: 7/8" Rectangular SDL W/ Spacer - Black

Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,

Bottom Sash Limiter : None, Window Opening Control Device

Screen Type: Extruded Aluminum Screen

Hardware Color: Bronze

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 4 9/16"



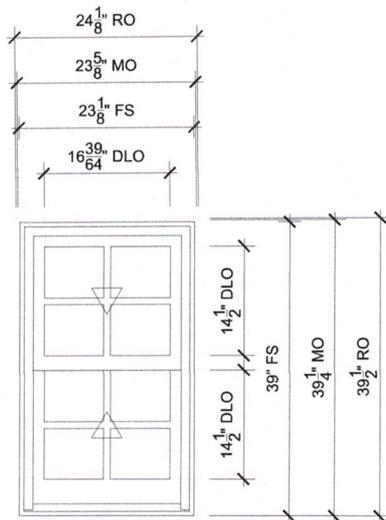
PROJ/JOB: MCB 115 MARKET ST / MCB 115 MARKET ST  
 DIST/DEALER: ELDREDGE LUMBER & HARDWARE-YORK-GO  
 DRAWN: HEATHER DITZEL  
 QUOTE#: HSPJJE5 PK VER: 0004.13.00

CREATED: 01/20/2025 REVISION:

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## 115 MARKET ST APT 1&2 KITCH

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 5

Qty: 2

Mark Unit: 115 MARKET ST APT 1&2 kitch

Product Line: Ultimate

Unit Description: Double Hung G2

Rough Opening: 24 1/8" X 39 1/2"

Frame Size: 23 1/8" X 39"

Masonry Opening: 23 5/8" X 39 1/4"

Sash Opening: 24 1/8" X 39 1/2"

Inside Opening: 24 1/8" X 39 1/2"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Double Hung G2

Call Number: None

Glass Information: IG, Low E2 w/Argon, Black

Divider Type: 7/8" Rectangular SDL W/ Spacer - Black

Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,

Bottom Sash Limiter : None

Screen Type: Aluminum Screen

Hardware Color: Bronze

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 4 9/16"



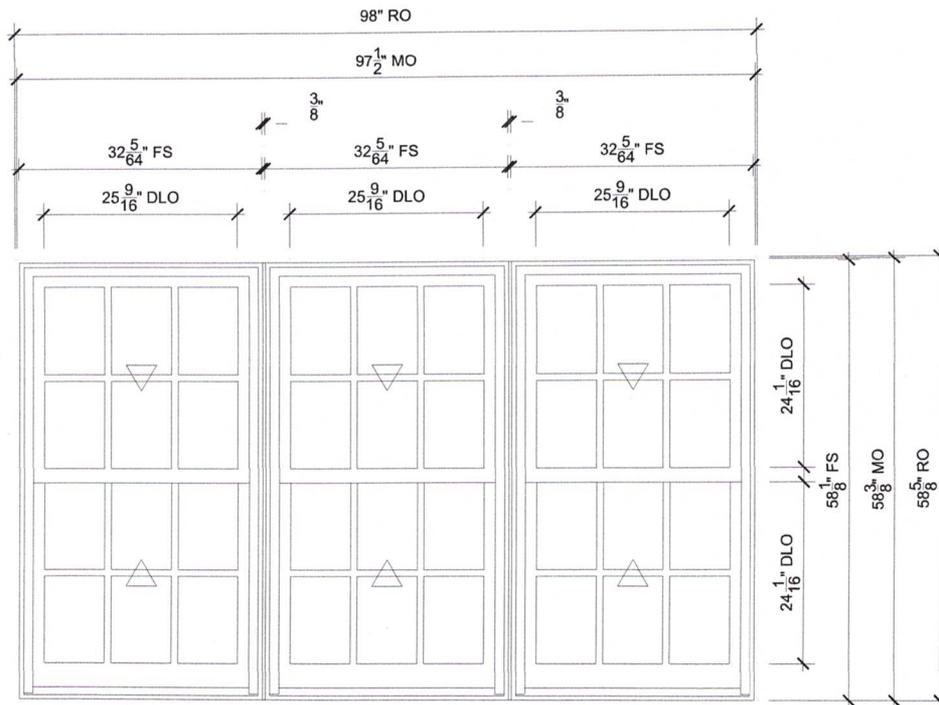
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 DRAWN: HEATHER DITZEL  
 QUOTE#: HSHPE5 PK VER: 0004.13.00

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## 115 MARKET APT 2 LIV RM CERE

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 4

Qty: 1

Mark Unit: 115 MARKET APT 2 LIV RM CERE

Product Line: Ultimate

Unit Description: Marvin Assembly

Rough Opening: 98" X 58 5/8"

Frame Size: 97" X 58 1/8"

Masonry Opening: 97 1/2" X 58 3/8"

Sash Opening: 98" X 58 5/8"

Inside Opening: 98" X 58 5/8"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Double Hung G2

Call Number: None

Glass Information: IG, Low E2 w/Argon, Black, Tempered Low E2 w/Argon

Divider Type: 7/8" Rectangular SDL W/ Spacer - Black

Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,

Bottom Sash Limiter : None, Window Opening Control Device

Screen Type: Extruded Aluminum Screen

Hardware Color: Bronze

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

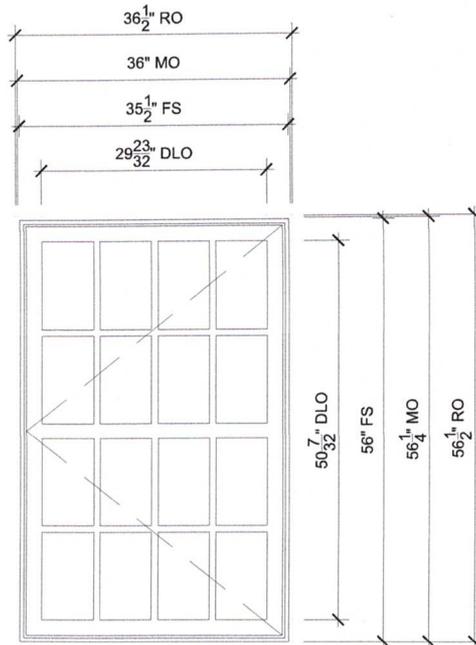
Jamb Depth: 4 9/16"



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 DIST/DEALER: ELDREDGE LUMBER & HARDWARE-YORK-GO  
 DRAWN: HEATHER DITZEL  
 QUOTE#: HSHPJE5 PK VER: 0004.13.00

CREATED: 01/20/2025 REVISION:

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## 115 MARKET ST APT 4 BEDS 1/2

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 6

Qty: 2

Mark Unit: 115 MARKET ST APT 4 BEDs 1/2

Product Line: Ultimate

Unit Description: Casement

Rough Opening: 36 1/2" X 56 1/2"

Frame Size: 35 1/2" X 56"

Masonry Opening: 36" X 56 1/4"

Sash Opening: 36 1/2" X 56 1/2"

Inside Opening: 36 1/2" X 56 1/2"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Casement, Left Hand

Call Number: None

Glass Information: IG - 3/4", Low E2 w/Argon, Black

Divider Type: 7/8" Variable Vertical Rectangle SDL W/ Spacer - Black

Hardware Type: Folding Handle, No Sash Travel Limiter, Window Opening Control Device

Screen Type: Extruded Aluminum Screen

Hardware Color: Bronze, Stainless Steel

Screen Surround Color: White

Screen Mesh Type: Bright View Mesh

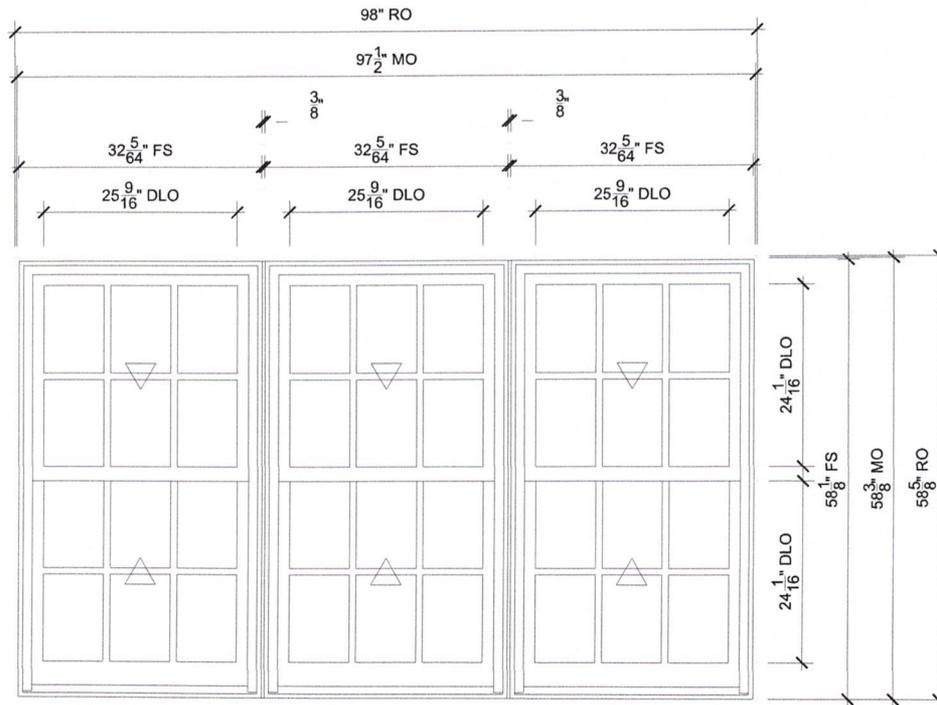
Jamb Depth: 4 9/16"



PROJ/JOB: MCB 115 MARKET ST / MCB 115 MARKET ST  
 DIST/DEALER: ELDREDGE LUMBER & HARDWARE-YORK-GO  
 DRAWN: HEATHER DITZEL  
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## 115 MARKET APT 4 LIV RM CERE

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 7

Qty: 1

Mark Unit: 115 MARKET APT 4 LIV RM CERE

Product Line: Ultimate

Unit Description: Marvin Assembly

Rough Opening: 98" X 58 5/8"

Frame Size: 97" X 58 1/8"

Masonry Opening: 97 1/2" X 58 3/8"

Sash Opening: 98" X 58 5/8"

Inside Opening: 98" X 58 5/8"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Double Hung G2

Call Number: None

Glass Information: IG, Low E2 w/Argon, Black, Tempered Low E2 w/Argon

Divider Type: 7/8" Rectangular SDL W/ Spacer - Black

Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,  
Bottom Sash Limiter : None, Window Opening Control Device

Screen Type: Extruded Aluminum Screen

Hardware Color: Bronze

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 4 9/16"



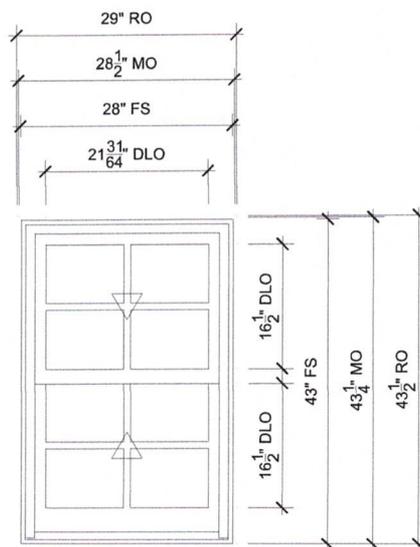
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DRAWN: HEATHER DITZEL  
QUOTE#: HSPJE5 PK VER: 0004.13.00

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## 115 MARKET ST APT 4 KITCH

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 8

Qty: 1

Mark Unit: 115 MARKET ST APT 4 kitch

Product Line: Ultimate

Unit Description: Double Hung G2

Rough Opening: 29" X 43 1/2"

Frame Size: 28" X 43"

Masonry Opening: 28 1/2" X 43 1/4"

Sash Opening: 29" X 43 1/2"

Inside Opening: 29" X 43 1/2"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Double Hung G2

Call Number: None

Glass Information: IG, Low E2 w/Argon, Black

Divider Type: 7/8" Rectangular SDL W/ Spacer - Black

Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,

Bottom Sash Limiter : None

Screen Type: Aluminum Screen

Hardware Color: Bronze

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

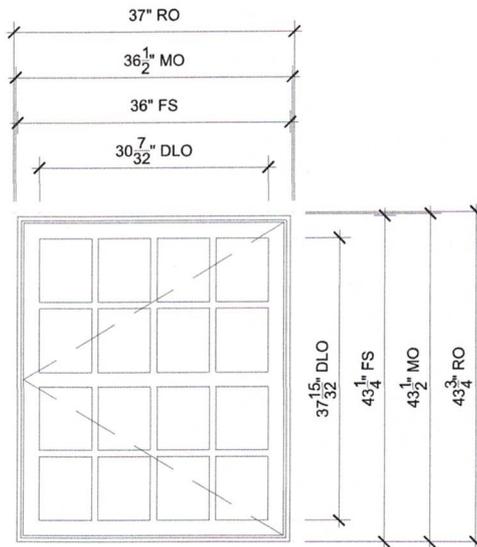
Jamb Depth: 4 9/16"



PROJ/JOB: MCB 115 MARKET ST / MCB 115 MARKET ST  
 DIST/DEALER: ELDREDGE LUMBER & HARDWARE-YORK-GO  
 DRAWN: HEATHER DITZEL  
 QUOTE#: HSHPJE5 PK VER: 0004.13.00

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## 115 MARKET ST APT 6 BEDS

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 15

Qty: 2

Mark Unit: 115 MARKET ST APT 6 BEDS

Product Line: Ultimate

Unit Description: Casement

Rough Opening: 37" X 43 3/4"

Frame Size: 36" X 43 1/4"

Masonry Opening: 36 1/2" X 43 1/2"

Sash Opening: 37" X 43 3/4"

Inside Opening: 37" X 43 3/4"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Casement, Left Hand

Call Number: None

Glass Information: IG - 3/4", Low E2 w/Argon, Black

Divider Type: 7/8" Variable Vertical Rectangle SDL W/ Spacer - Black

Hardware Type: Folding Handle, No Sash Travel Limiter, Window Opening Control Device

Screen Type: Aluminum Screen

Hardware Color: Bronze, Stainless Steel

Screen Surround Color: White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 4 9/16"



PROJ/JOB: MCB 115 MARKET ST / MCB 115 MARKET ST  
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 DRAWN: HEATHER DITZEL  
 QUOTE#: HSHPE5

PK VER: 0004.13.00

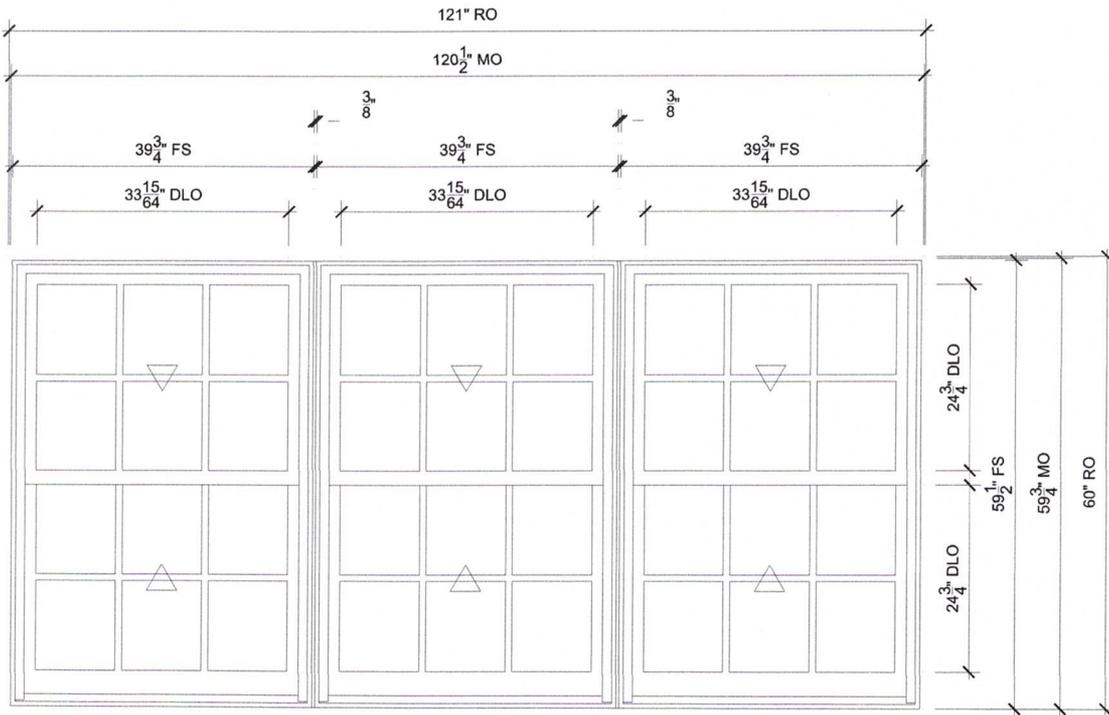
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## 115 MARKET APT 6 LIV RM CERE

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 16

Qty: 1

Mark Unit: 115 MARKET APT 6 LIV RM CERE

Product Line: Ultimate

Unit Description: Marvin Assembly

Rough Opening: 121" X 60"

Frame Size: 120" X 59 1/2"

Masonry Opening: 120 1/2" X 59 3/4"

Sash Opening: 121" X 60"

Inside Opening: 121" X 60"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Double Hung G2

Call Number: None

Glass Information: IG, Low E2 w/Argon, Black, Tempered Low E2 w/Argon

Divider Type: 7/8" Rectangular SDL W/ Spacer - Black

Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,  
Bottom Sash Limiter : None, Window Opening Control Device

Screen Type: Extruded Aluminum Screen

Hardware Color: Bronze

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 4 9/16"



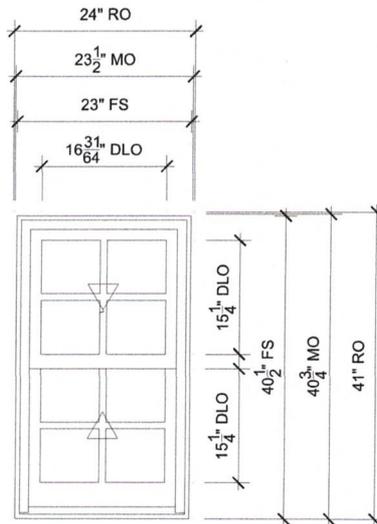
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 DRAWN: HEATHER DITZEL  
 QUOTE#: HSHPE5

PK VER: 0004.13.00

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## 115 MARKET ST APT 6 KITCH

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 17

Qty: 1

Mark Unit: 115 MARKET ST APT 6 kitch

Product Line: Ultimate

Unit Description: Double Hung G2

Rough Opening: 24" X 41"

Frame Size: 23" X 40 1/2"

Masonry Opening: 23 1/2" X 40 3/4"

Sash Opening: 24" X 41"

Inside Opening: 24" X 41"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Double Hung G2

Call Number: None

Glass Information: IG, Low E2 w/Argon, Black

Divider Type: 7/8" Rectangular SDL W/ Spacer - Black

Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,  
Bottom Sash Limiter : None

Screen Type: Aluminum Screen

Hardware Color: Bronze

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 4 9/16"



PROJ/JOB: MCB 115 MARKET ST / MCB 115 MARKET ST  
DIST/DEALER: ELDREDGE LUMBER & HARDWARE-YORK-GO  
DRAWN: HEATHER DITZEL  
QUOTE#: HSHPJE5

PK VER: 0004.13.00

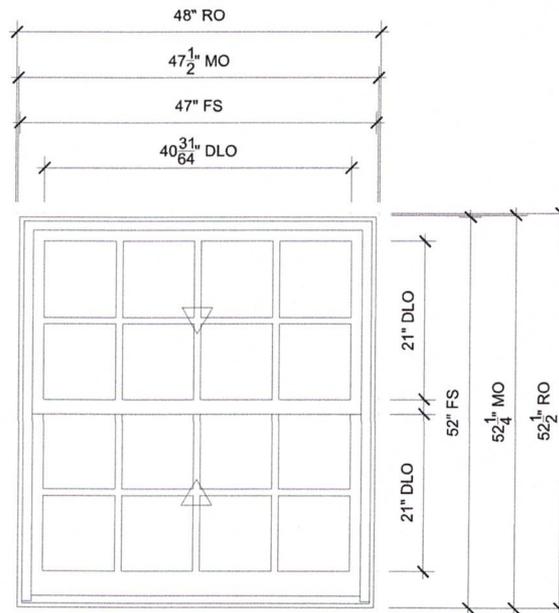
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REVISION:

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## 35 CERES ST LIV RM

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 7

Qty: 1

Mark Unit: 35 CERES ST LIV RM

Product Line: Ultimate

Unit Description: Double Hung G2

Rough Opening: 48" X 52 1/2"

Frame Size: 47" X 52"

Masonry Opening: 47 1/2" X 52 1/4"

Sash Opening: 48" X 52 1/2"

Inside Opening: 48" X 52 1/2"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Double Hung G2

Call Number: None

Glass Information: IG, Low E2 w/Argon, Black

Divider Type: 7/8" Rectangular SDL W/ Spacer - Black

Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,

Bottom Sash Limiter : None, Window Opening Control Device

Screen Type: Aluminum Screen

Hardware Color: Bronze

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 4 9/16"



PROJ/JOB: MCB 95 MARKET ST / MCB 95 MARKET ST  
 DIST/DEALER: ELDREDGE LUMBER & HARDWARE-YORK-GO  
 DRAWN: HEATHER DITZEL  
 QUOTE#: S486SF8

PK VER: 0004.13.00

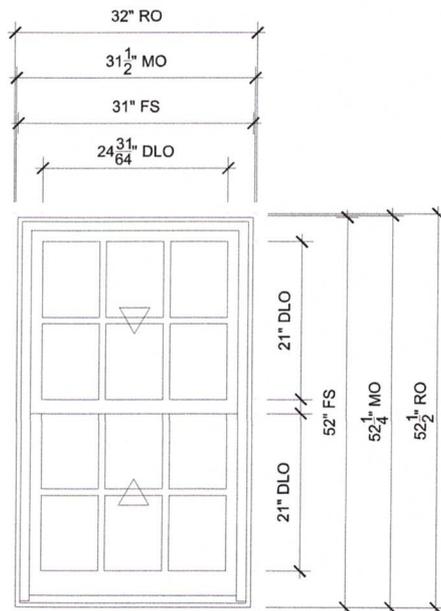
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REVISION:

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## 35 CERES ST FIRE ESCAPE

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 8

Qty: 1

Mark Unit: 35 CERES ST FIRE ESCAPE

Product Line: Ultimate

Unit Description: Double Hung G2

Rough Opening: 32" X 52 1/2"

Frame Size: 31" X 52"

Masonry Opening: 31 1/2" X 52 1/4"

Sash Opening: 32" X 52 1/2"

Inside Opening: 32" X 52 1/2"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Double Hung G2

Call Number: None

Glass Information: IG, Low E2 w/Argon, Black

Divider Type: 7/8" Rectangular SDL W/ Spacer - Black

Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,

Bottom Sash Limiter : None, Window Opening Control Device

Screen Type: Aluminum Screen

Hardware Color: Bronze

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 4 9/16"



PROJ/JOB: MCB 95 MARKET ST / MCB 95 MARKET ST  
 DIST/DEALER: ELDREDGE LUMBER & HARDWARE-YORK-GO  
 DRAWN: HEATHER DITZEL  
 QUOTE#: S486SF8

PK VER: 0004.13.00

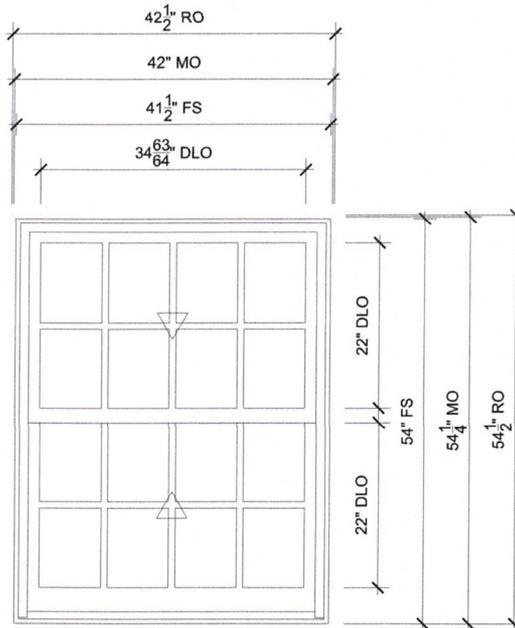
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## 33 CERES ST LEFT OF DR

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 9

Qty: 1

Mark Unit: 33 CERES ST LEFT OF DR

Product Line: Ultimate

Unit Description: Double Hung G2

Rough Opening: 42 1/2" X 54 1/2"

Frame Size: 41 1/2" X 54"

Masonry Opening: 42" X 54 1/4"

Sash Opening: 42 1/2" X 54 1/2"

Inside Opening: 42 1/2" X 54 1/2"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Double Hung G2

Call Number: None

Glass Information: IG, Tempered Low E2 w/Argon, Black

Divider Type: 7/8" Rectangular SDL W/ Spacer - Black

Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,

Bottom Sash Limiter : None, Window Opening Control Device

Screen Type: Aluminum Screen

Hardware Color: Bronze

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 4 9/16"



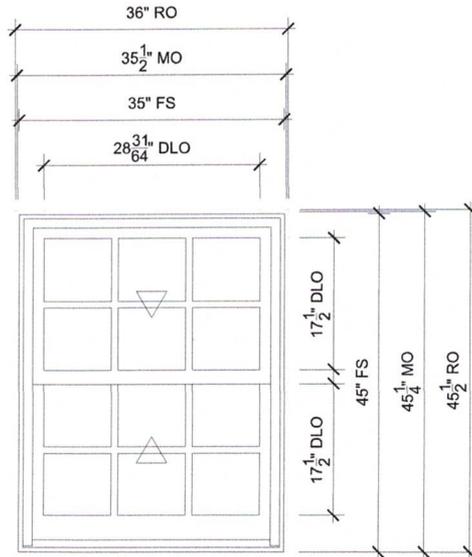
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 DRAWN: HEATHER DITZEL  
 QUOTE#: S486SF8

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## 39 CERES ST LEFT DR BONITA

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 10

Qty: 1

Mark Unit: 39 CERES ST LEFT DR BONITA

Product Line: Ultimate

Unit Description: Double Hung G2

Rough Opening: 36" X 45 1/2"

Frame Size: 35" X 45"

Masonry Opening: 35 1/2" X 45 1/4"

Sash Opening: 36" X 45 1/2"

Inside Opening: 36" X 45 1/2"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Double Hung G2

Call Number: None

Glass Information: IG, Tempered Low E2 w/Argon, Black

Divider Type: 7/8" Rectangular SDL W/ Spacer - Black

Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,

Bottom Sash Limiter : None, Window Opening Control Device

Screen Type: Aluminum Screen

Hardware Color: Bronze

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 4 9/16"



PROJ/JOB: MCB 95 MARKET ST / MCB 95 MARKET ST  
 DIST/DEALER: ELDREDGE LUMBER & HARDWARE-YORK-GO  
 DRAWN: HEATHER DITZEL  
 QUOTE#: S486SF8 PK VER: 0004.13.00

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**Project Address:** 117 Market Street

**Permit Requested:** Certificate of Approval

**Application:** Public Hearing #4



**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: Character District 5 and Downtown Overlay
- Land Use: Mixed-Use
- Land Area: 0 SF +/-
- Estimated Age of Structure: c. 1803
- Building Style: Federal
- Number of Stories: 4 Facing Market Street and 6 Facing Ceres Street
- Historical Significance: Focal
- Public View of Proposed Work: Market Street and Ceres Street
- Unique Features: N/A
- Neighborhood Association: Downtown

**B. Proposed Work:** Replacement windows

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Replacement Windows



**HISTORIC  
SURVEY  
RATING  
F**

**D. Purpose and Intent:**

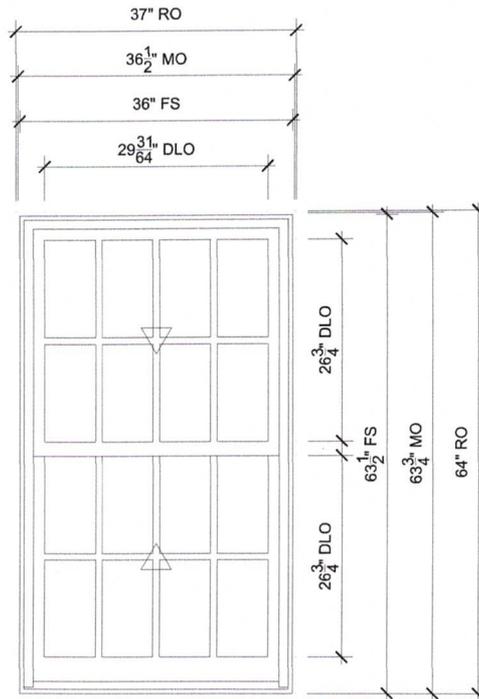
1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties







## 115 MARKET ST APT 1 BEDROOM

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 1

Qty: 2

Mark Unit: 115 MARKET ST APT 1 BEDROOM

Product Line: Ultimate

Unit Description: Double Hung G2

Rough Opening: 37" X 64"

Frame Size: 36" X 63 1/2"

Masonry Opening: 36 1/2" X 63 3/4"

Sash Opening: 37" X 64"

Inside Opening: 37" X 64"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Double Hung G2

Call Number: None

Glass Information: IG, Low E2 w/Argon, Black

Divider Type: 7/8" Rectangular SDL W/ Spacer - Black

Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,

Bottom Sash Limiter : None, Window Opening Control Device

Screen Type: Extruded Aluminum Screen

Hardware Color: Bronze

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 4 9/16"



PROJ/JOB: MCB 115 MARKET ST / MCB 115 MARKET ST  
 DIST/DEALER: ELDREDGE LUMBER & HARDWARE-YORK-GO  
 DRAWN: HEATHER DITZEL  
 QUOTE#: HSHPJE5

PK VER: 0004.13.00

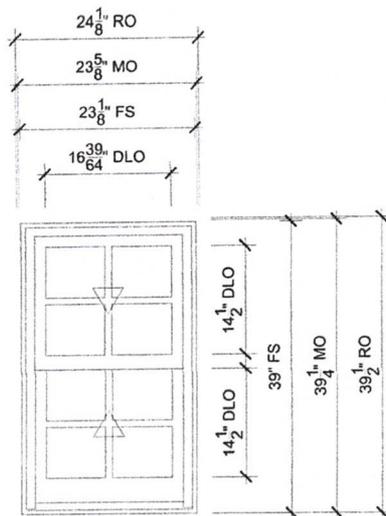
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## 115 MARKET ST APT 1&2 KITCH

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 5

Qty: 2

Mark Unit: 115 MARKET ST APT 1&2 kitch

Product Line: Ultimate

Unit Description: Double Hung G2

Rough Opening: 24 1/8" X 39 1/2"

Frame Size: 23 1/8" X 39"

Masonry Opening: 23 5/8" X 39 1/4"

Sash Opening: 24 1/8" X 39 1/2"

Inside Opening: 24 1/8" X 39 1/2"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Double Hung G2

Call Number: None

Glass Information: IG, Low E2 w/Argon, Black

Divider Type: 7/8" Rectangular SDL W/ Spacer - Black

Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,

Bottom Sash Limiter : None

Screen Type: Aluminum Screen

Hardware Color: Bronze

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

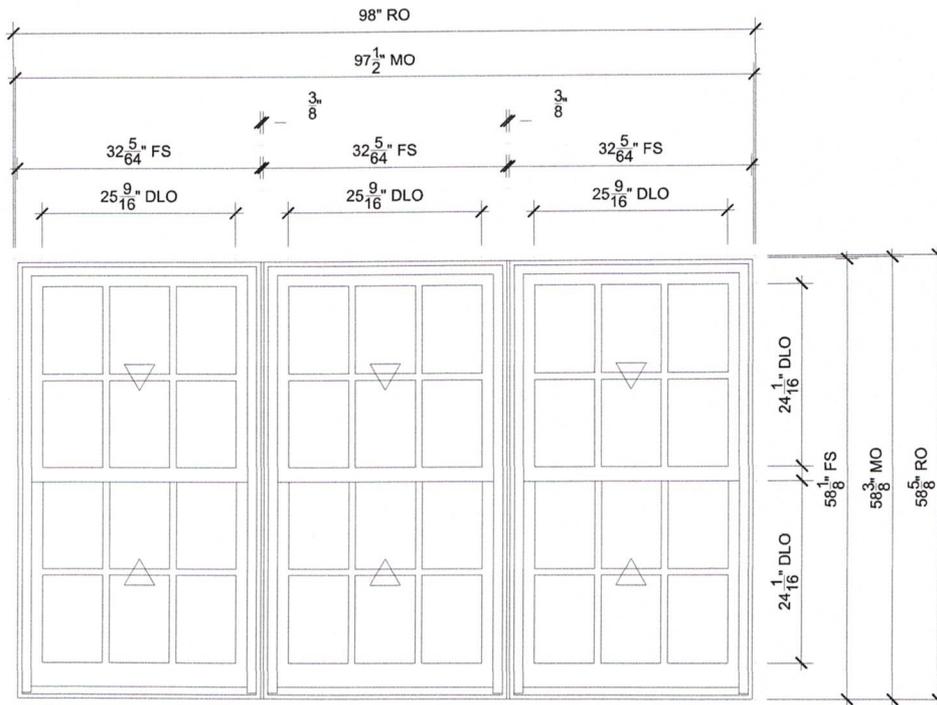
Jamb Depth: 4 9/16"



PROJ/JOB: MCB 115 MARKET ST / MCB 115 MARKET ST  
 DIST/DEALER: ELDREDGE LUMBER & HARDWARE-YORK-GO  
 DRAWN: HEATHER DITZEL  
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## 115 MARKET APT 1 LIV RM CERE

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 2

Qty: 1

Mark Unit: 115 MARKET APT 1 LIV RM CERE

Product Line: Ultimate

Unit Description: Marvin Assembly

Rough Opening: 98" X 58 5/8"

Frame Size: 97" X 58 1/8"

Masonry Opening: 97 1/2" X 58 3/8"

Sash Opening: 98" X 58 5/8"

Inside Opening: 98" X 58 5/8"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Double Hung G2

Call Number: None

Glass Information: IG, Low E2 w/Argon, Black, Tempered Low E2 w/Argon

Divider Type: 7/8" Rectangular SDL W/ Spacer - Black

Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,

Bottom Sash Limiter : None, Window Opening Control Device

Screen Type: Extruded Aluminum Screen

Hardware Color: Bronze

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

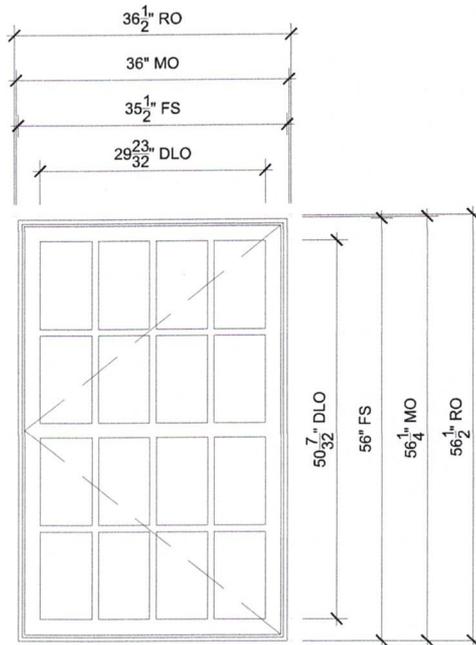
Jamb Depth: 4 9/16"



PROJ/JOB: MCB 115 MARKET ST / MCB 115 MARKET ST  
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 DRAWN: HEATHER DITZEL  
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## 115 MARKET ST APT 3 BEDS

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 9

Qty: 2

Mark Unit: 115 MARKET ST APT 3 BEDS

Product Line: Ultimate

Unit Description: Casement

Rough Opening: 36 1/2" X 56 1/2"

Frame Size: 35 1/2" X 56"

Masonry Opening: 36" X 56 1/4"

Sash Opening: 36 1/2" X 56 1/2"

Inside Opening: 36 1/2" X 56 1/2"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Casement, Left Hand

Call Number: None

Glass Information: IG - 3/4", Low E2 w/Argon, Black

Divider Type: 7/8" Variable Vertical Rectangle SDL W/ Spacer - Black

Hardware Type: Folding Handle, No Sash Travel Limiter, Window Opening Control Device

Screen Type: Extruded Aluminum Screen

Hardware Color: Bronze, Stainless Steel

Screen Surround Color: White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 4 9/16"



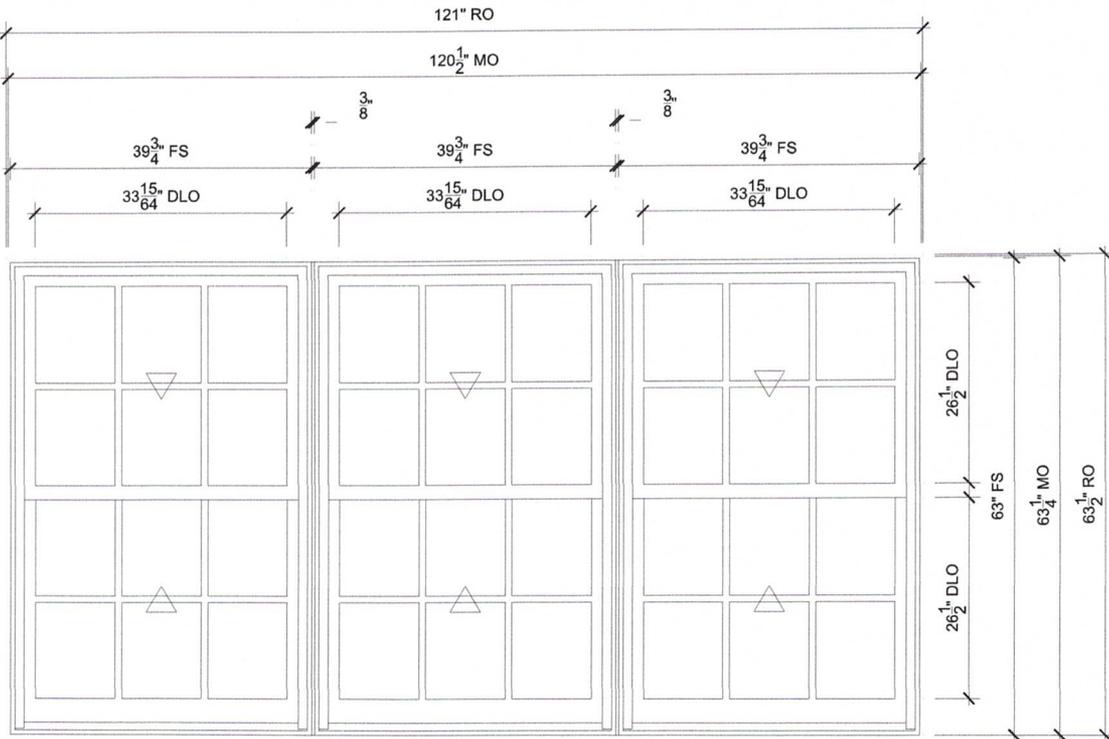
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 DRAWN: HEATHER DITZEL  
 QUOTE#: HSHPJE5 PK VER: 0004.13.00

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## 115 MARKET APT 3 LIV RM CERE

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 10

Qty: 1

Mark Unit: 115 MARKET APT 3 LIV RM CERE

Product Line: Ultimate

Unit Description: Marvin Assembly

Rough Opening: 121" X 63 1/2"

Frame Size: 120" X 63"

Masonry Opening: 120 1/2" X 63 1/4"

Sash Opening: 121" X 63 1/2"

Inside Opening: 121" X 63 1/2"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Double Hung G2

Call Number: None

Glass Information: IG, Low E2 w/Argon, Black, Tempered Low E2 w/Argon

Divider Type: 7/8" Rectangular SDL W/ Spacer - Black

Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,

Bottom Sash Limiter : None, Window Opening Control Device

Screen Type: Extruded Aluminum Screen

Hardware Color: Bronze

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

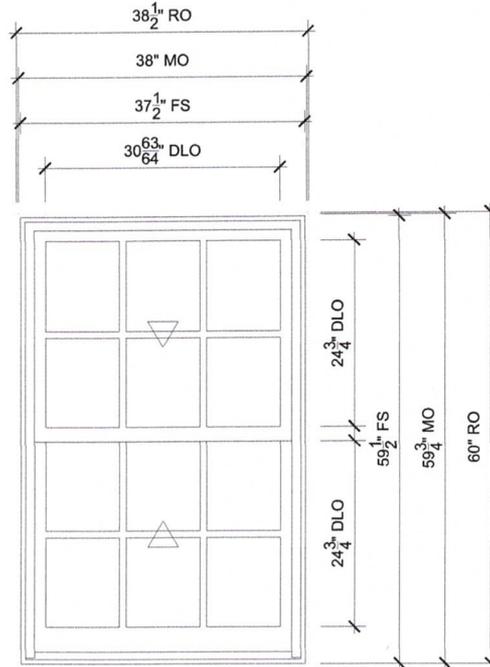
Jamb Depth: 4 9/16"



PROJ/JOB: MCB 115 MARKET ST / MCB 115 MARKET ST  
 DIST/DEALER: ELDREDGE LUMBER & HARDWARE-YORK-GO  
 DRAWN: HEATHER DITZEL  
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## 115 MARKET ST APT 3 KITCH

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 11

Qty: 1

Mark Unit: 115 MARKET ST APT 3 kitch

Product Line: Ultimate

Unit Description: Double Hung G2

Rough Opening: 38 1/2" X 60"

Frame Size: 37 1/2" X 59 1/2"

Masonry Opening: 38" X 59 3/4"

Sash Opening: 38 1/2" X 60"

Inside Opening: 38 1/2" X 60"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Double Hung G2

Call Number: None

Glass Information: IG, Low E2 w/Argon, Black

Divider Type: 7/8" Rectangular SDL W/ Spacer - Black

Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,

Bottom Sash Limiter : None, Window Opening Control Device

Screen Type: Extruded Aluminum Screen

Hardware Color: Bronze

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 4 9/16"



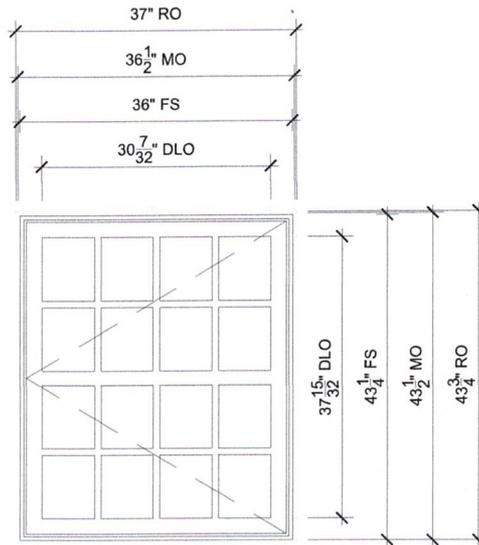
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 DRAWN: HEATHER DITZEL  
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## 115 MARKET ST APT 5 BEDS

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 12

Qty: 2

Mark Unit: 115 MARKET ST APT 5 BEDS

Product Line: Ultimate

Unit Description: Casement

Rough Opening: 37" X 43 3/4"

Frame Size: 36" X 43 1/4"

Masonry Opening: 36 1/2" X 43 1/2"

Sash Opening: 37" X 43 3/4"

Inside Opening: 37" X 43 3/4"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Casement, Left Hand

Call Number: None

Glass Information: IG - 3/4", Low E2 w/Argon, Black

Divider Type: 7/8" Variable Vertical Rectangle SDL W/ Spacer - Black

Hardware Type: Folding Handle, No Sash Travel Limiter, Window Opening Control Device

Screen Type: Aluminum Screen

Hardware Color: Bronze, Stainless Steel

Screen Surround Color: White

Screen Mesh Type: Bright View Mesh

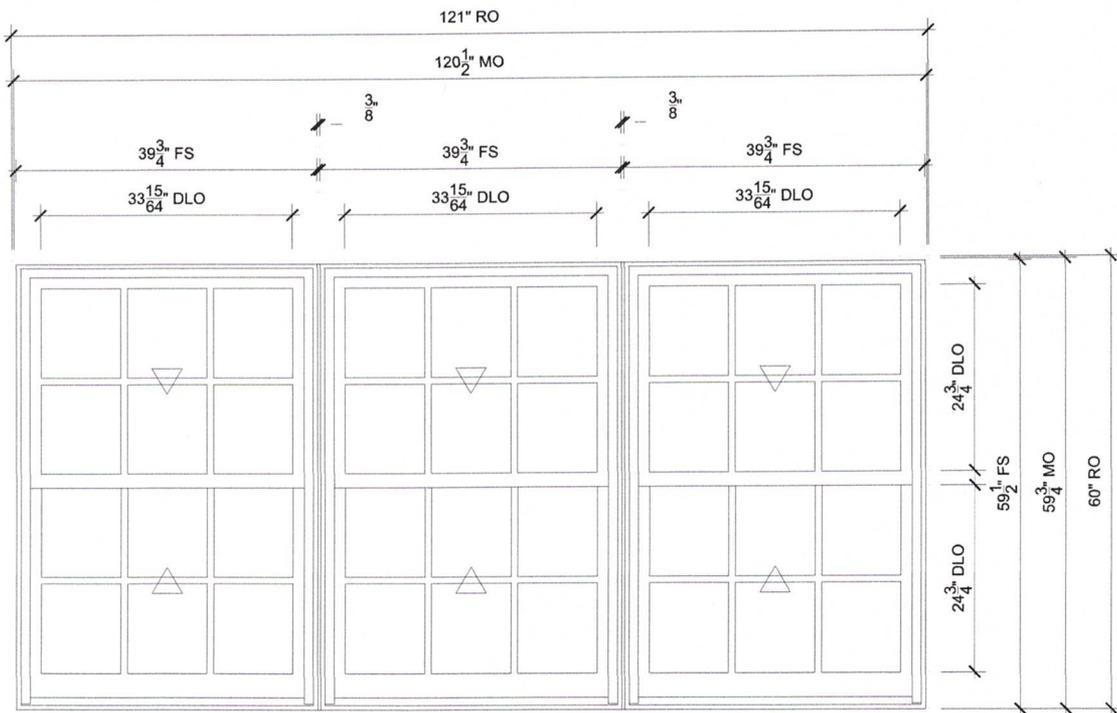
Jamb Depth: 4 9/16"



PROJ/JOB: MCB 115 MARKET ST / MCB 115 MARKET ST  
 DIST/DEALER: ELDREDGE LUMBER & HARDWARE-YORK-GO  
 DRAWN: HEATHER DITZEL  
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## 115 MARKET APT 5 LIV ROOM

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 13

Qty: 1

Mark Unit: 115 MARKET APT 5 LIV ROOM

Product Line: Ultimate

Unit Description: Marvin Assembly

Rough Opening: 121" X 60"

Frame Size: 120" X 59 1/2"

Masonry Opening: 120 1/2" X 59 3/4"

Sash Opening: 121" X 60"

Inside Opening: 121" X 60"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Double Hung G2

Call Number: None

Glass Information: IG, Low E2 w/Argon, Black, Tempered Low E2 w/Argon

Divider Type: 7/8" Rectangular SDL W/ Spacer - Black

Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,  
Bottom Sash Limiter : None, Window Opening Control Device

Screen Type: Extruded Aluminum Screen

Hardware Color: Bronze

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

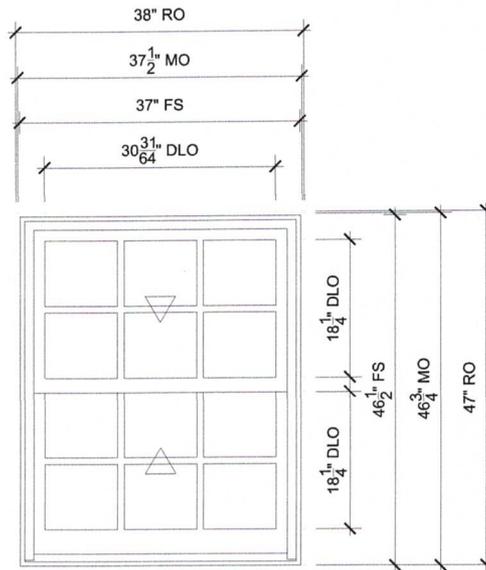
Jamb Depth: 4 9/16"



PROJ/JOB: MCB 115 MARKET ST / MCB 115 MARKET ST  
DIST/DEALER: ELDRIDGE LUMBER & HARDWARE-YORK-GO  
DRAWN: HEATHER DITZEL  
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## 115 MARKET ST APT 5 KITCH

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 14

Qty: 1

Mark Unit: 115 MARKET ST APT 5 kitch

Product Line: Ultimate

Unit Description: Double Hung G2

Rough Opening: 38" X 47"

Frame Size: 37" X 46 1/2"

Masonry Opening: 37 1/2" X 46 3/4"

Sash Opening: 38" X 47"

Inside Opening: 38" X 47"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Double Hung G2

Call Number: None

Glass Information: IG, Low E2 w/Argon, Black

Divider Type: 7/8" Rectangular SDL W/ Spacer - Black

Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,

Bottom Sash Limiter : None, Window Opening Control Device

Screen Type: Aluminum Screen

Hardware Color: Bronze

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

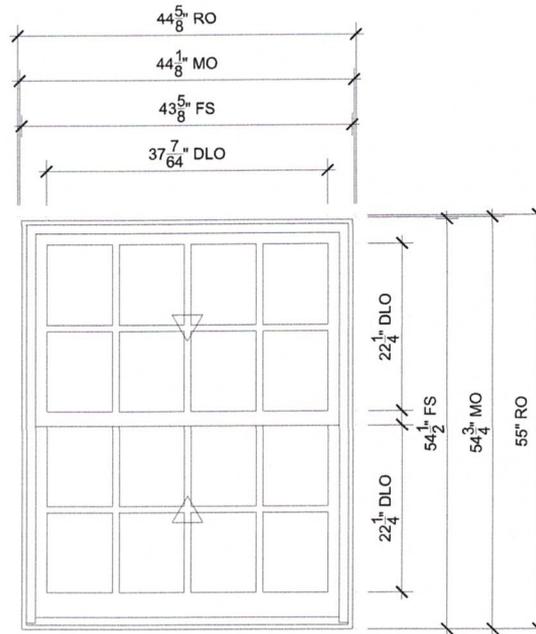
Jamb Depth: 4 9/16"



PROJ/JOB: MCB 115 MARKET ST / MCB 115 MARKET ST  
 DIST/DEALER: ELDRIDGE LUMBER & HARDWARE-YORK-GO  
 DRAWN: HEATHER DITZEL  
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## 39 CERES RHT OF DR BONITA

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 11

Qty: 1

Mark Unit: 39 CERES RHT OF DR BONITA

Product Line: Ultimate

Unit Description: Double Hung G2

Rough Opening: 44 5/8" X 55"

Frame Size: 43 5/8" X 54 1/2"

Masonry Opening: 44 1/8" X 54 3/4"

Sash Opening: 44 5/8" X 55"

Inside Opening: 44 5/8" X 55"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Double Hung G2

Call Number: None

Glass Information: IG, Tempered Low E2 w/Argon, Black

Divider Type: 7/8" Rectangular SDL W/ Spacer - Black

Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,

Bottom Sash Limiter : None, Window Opening Control Device

Screen Type: Aluminum Screen

Hardware Color: Bronze

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

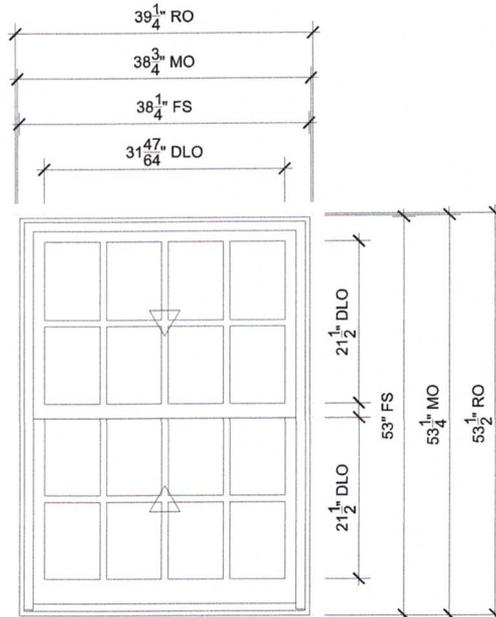
Jamb Depth: 4 9/16"



PROJ/JOB: MCB 95 MARKET ST / MCB 95 MARKET ST  
 DIST/DEALER: ELDREDGE LUMBER & HARDWARE-YORK-GO  
 DRAWN: HEATHER DITZEL  
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**41 CERES 2ND FL LEFT OF DR**  
SCALE: 1/2" = 1'-0"

## SPECIFICATIONS

Line #: 12

Qty: 1

Mark Unit: 41 CERES 2ND FL LEFT OF DR

Product Line: Ultimate

Unit Description: Double Hung G2

Rough Opening: 39 1/4" X 53 1/2"

Frame Size: 38 1/4" X 53"

Masonry Opening: 38 3/4" X 53 1/4"

Sash Opening: 39 1/4" X 53 1/2"

Inside Opening: 39 1/4" X 53 1/2"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Double Hung G2

Call Number: None

Glass Information: IG, Tempered Low E2 w/Argon, Black

Divider Type: 7/8" Rectangular SDL W/ Spacer - Black

Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,  
Bottom Sash Limiter : None, Window Opening Control Device

Screen Type: Aluminum Screen

Hardware Color: Bronze

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

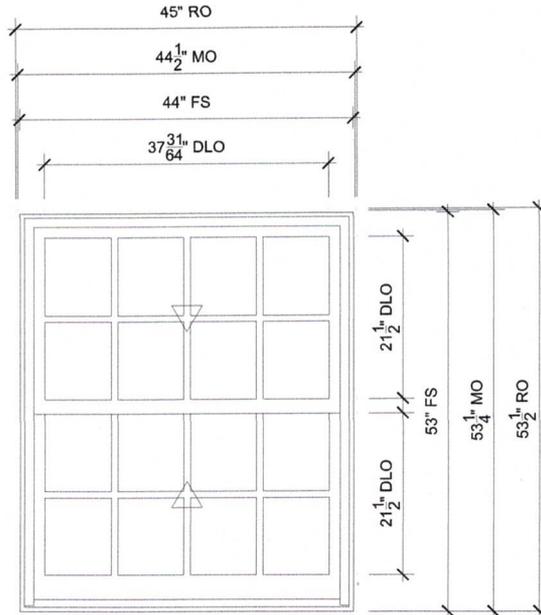
Jamb Depth: 4 9/16"



PROJ/JOB: MCB 95 MARKET ST / MCB 95 MARKET ST  
DIST/DEALER: ELDREDGE LUMBER & HARDWARE-YORK-GO  
DRAWN: HEATHER DITZEL  
QUOTE#: S486SF8 PK VER: 0004.13.00

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## 41 CERES 2ND FL RIGHT OF DR

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 13

Qty: 1

Mark Unit: 41 CERES 2ND FL RIGHT OF DR

Product Line: Ultimate

Unit Description: Double Hung G2

Rough Opening: 45" X 53 1/2"

Frame Size: 44" X 53"

Masonry Opening: 44 1/2" X 53 1/4"

Sash Opening: 45" X 53 1/2"

Inside Opening: 45" X 53 1/2"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Double Hung G2

Call Number: None

Glass Information: IG, Tempered Low E2 w/Argon, Black

Divider Type: 7/8" Rectangular SDL W/ Spacer - Black

Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,

Bottom Sash Limiter : None, Window Opening Control Device

Screen Type: Aluminum Screen

Hardware Color: Bronze

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 4 9/16"



PROJ/JOB: MCB 95 MARKET ST / MCB 95 MARKET ST  
 DIST/DEALER: ELDRIDGE LUMBER & HARDWARE-YORK-GO  
 DRAWN: HEATHER DITZEL  
 QUOTE#: S486SF8 PK VER: 0004.13.00

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**Project Address:** 93 Market Street

**Permit Requested:** Certificate of Approval

**Application:** Public Hearing #5



**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: Character District 5 and Downtown Overlay
- Land Use: Mixed-Use
- Land Area: 0 SF +/-
- Estimated Age of Structure: c. 1803
- Building Style: Federal
- Number of Stories: 4 Facing Market Street and 6 Facing Ceres Street
- Historical Significance: Focal
- Public View of Proposed Work: Market Street and Ceres Street
- Unique Features: N/A
- Neighborhood Association: Downtown

**B. Proposed Work:** Replacement windows and roofing.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Replacement windows
- Replacement roofing



**HISTORIC  
SURVEY  
RATING  
F**

**D. Purpose and Intent:**

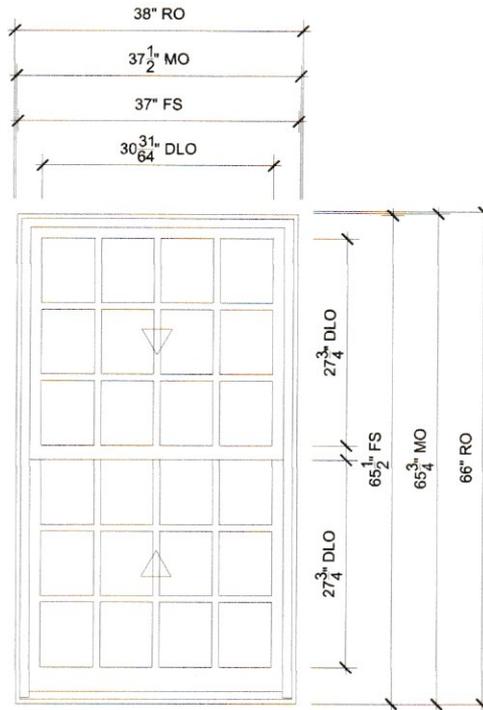
1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties







## 95 MARKET ST APT 2

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 1

Qty: 1

Mark Unit: 95 MARKET ST APT 2

Product Line: Ultimate

Unit Description: Double Hung G2

Rough Opening: 38" X 66"

Frame Size: 37" X 65 1/2"

Masonry Opening: 37 1/2" X 65 3/4"

Sash Opening: 38" X 66"

Inside Opening: 38" X 66"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Double Hung G2

Call Number: None

Glass Information: IG, Low E2 w/Argon, Black

Divider Type: 7/8" Rectangular SDL W/ Spacer - Black

Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,

Bottom Sash Limiter : None, Window Opening Control Device

Screen Type: Extruded Aluminum Screen

Hardware Color: Bronze

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 4 9/16"



PROJ/JOB: MCB 95 MARKET ST / MCB 95 MARKET ST  
 DIST/DEALER: ELDRIDGE LUMBER & HARDWARE-YORK-GO  
 DRAWN: HEATHER DITZEL  
 QUOTE#: S486SF8

PK VER: 0004.13.00

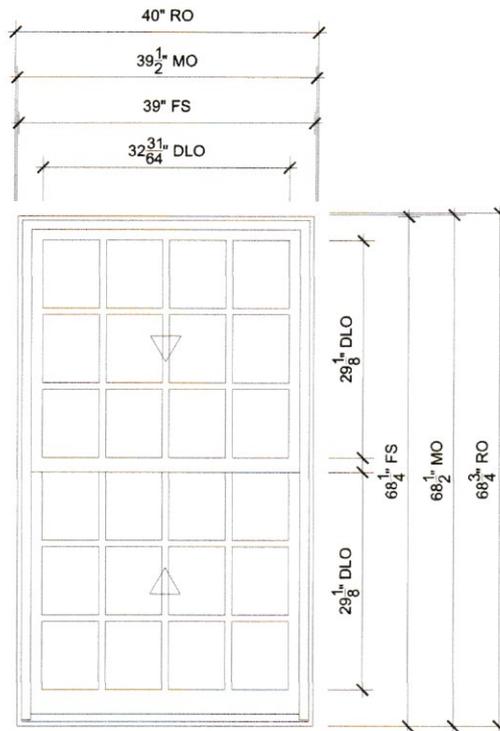
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## 95 MARKET ST APT 1 BEDS

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 2

Qty: 2

Mark Unit: 95 MARKET ST APT 1 BEDS

Product Line: Ultimate

Unit Description: Double Hung G2

Rough Opening: 40" X 68 3/4"

Frame Size: 39" X 68 1/4"

Masonry Opening: 39 1/2" X 68 1/2"

Sash Opening: 40" X 68 3/4"

Inside Opening: 40" X 68 3/4"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Double Hung G2

Call Number: None

Glass Information: IG, Low E2 w/Argon, Black, Tempered Low E2 w/Argon

Divider Type: 7/8" Rectangular SDL W/ Spacer - Black

Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,

Bottom Sash Limiter : None, Window Opening Control Device

Screen Type: Extruded Aluminum Screen

Hardware Color: Bronze

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 4 9/16"



PROJ/JOB: MCB 95 MARKET ST / MCB 95 MARKET ST  
 DIST/DEALER: ELDREDGE LUMBER & HARDWARE-YORK-GO  
 DRAWN: HEATHER DITZEL  
 QUOTE#: S486SF8

PK VER: 0004.13.00

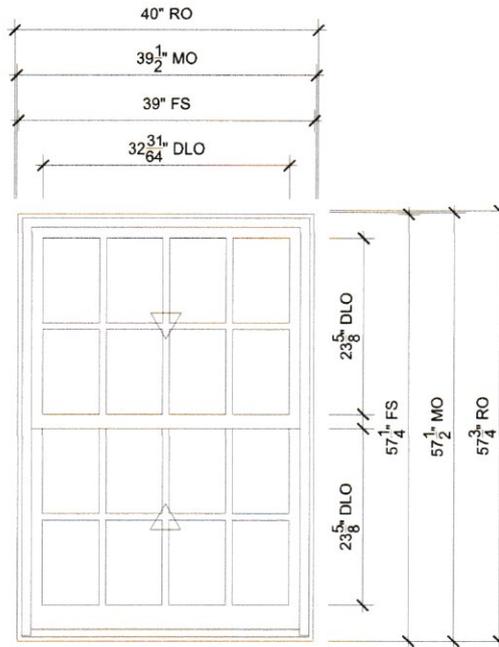
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## 95 MARKET ST APT 3 BEDS

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 3

Qty: 2

Mark Unit: 95 MARKET ST APT 3 BEDS

Product Line: Ultimate

Unit Description: Double Hung G2

Rough Opening: 40" X 57 3/4"

Frame Size: 39" X 57 1/4"

Masonry Opening: 39 1/2" X 57 1/2"

Sash Opening: 40" X 57 3/4"

Inside Opening: 40" X 57 3/4"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Double Hung G2

Call Number: None

Glass Information: IG, Low E2 w/Argon, Black

Divider Type: 7/8" Rectangular SDL W/ Spacer - Black

Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,

Bottom Sash Limiter : None, Window Opening Control Device

Screen Type: Extruded Aluminum Screen

Hardware Color: Bronze

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 4 9/16"



PROJ/JOB: MCB 95 MARKET ST / MCB 95 MARKET ST  
 DIST/DEALER: ELDRIDGE LUMBER & HARDWARE-YORK-GO  
 DRAWN: HEATHER DITZEL  
 QUOTE#: S486SF8

PK VER: 0004.13.00

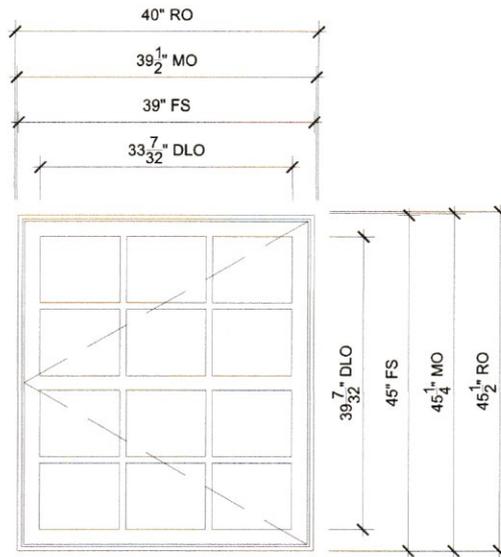
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## 95 MARKET APT 5 BEDS

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 4

Qty: 2

Mark Unit: 95 MARKET APT 5 BEDS

Product Line: Ultimate

Unit Description: Casement

Rough Opening: 40" X 45 1/2"

Frame Size: 39" X 45"

Masonry Opening: 39 1/2" X 45 1/4"

Sash Opening: 40" X 45 1/2"

Inside Opening: 40" X 45 1/2"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Casement, Left Hand

Call Number: None

Glass Information: IG - 3/4", Low E2 w/Argon, Black

Divider Type: 7/8" Variable Vertical Rectangle SDL W/ Spacer - Black

Hardware Type: Folding Handle, No Sash Travel Limiter, Window Opening Control Device

Screen Type: Aluminum Screen

Hardware Color: Bronze, Stainless Steel

Screen Surround Color: White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 4 9/16"

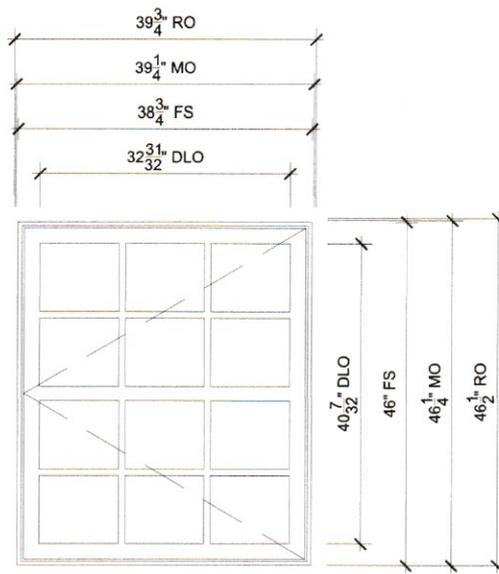


PROJ/JOB: MCB 95 MARKET ST / MCB 95 MARKET ST  
 DIST/DEALER: ELDRIDGE LUMBER & HARDWARE-YORK-GO  
 DRAWN: HEATHER DITZEL  
 QUOTE#: S486SF8 PK VER: 0004.13.00 CREATED: 01/20/2025 REVISION:

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## 95 MARKET APT 6 BEDS

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 5

Qty: 2

Mark Unit: 95 MARKET APT 6 BEDS

Product Line: Ultimate

Unit Description: Casement

Rough Opening:  $39\frac{3}{4}$ " X  $46\frac{1}{2}$ "

Frame Size:  $38\frac{3}{4}$ " X 46"

Masonry Opening:  $39\frac{1}{4}$ " X  $46\frac{1}{4}$ "

Sash Opening:  $39\frac{3}{4}$ " X  $46\frac{1}{2}$ "

Inside Opening:  $39\frac{3}{4}$ " X  $46\frac{1}{2}$ "

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Casement, Left Hand

Call Number: None

Glass Information: IG - 3/4", Tempered Low E2 w/Argon, Black

Divider Type: 7/8" Variable Vertical Rectangle SDL W/ Spacer - Black

Hardware Type: Folding Handle, No Sash Travel Limiter, Window Opening Control Device

Screen Type: Aluminum Screen

Hardware Color: Bronze, Stainless Steel

Screen Surround Color: White

Screen Mesh Type: Bright View Mesh

Jamb Depth:  $4\frac{9}{16}$ "



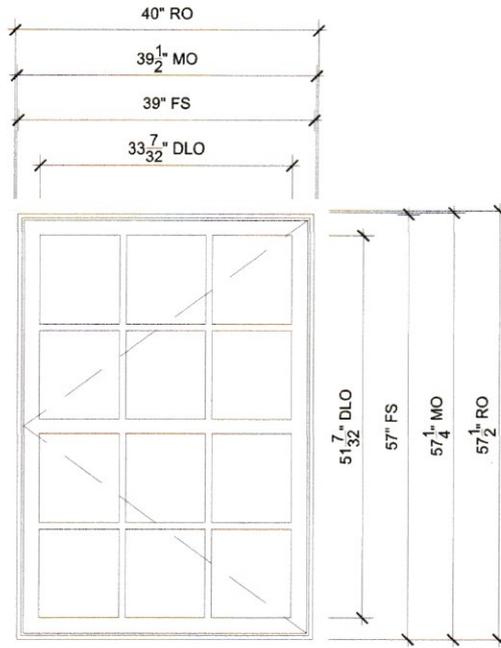
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 DIST/DEALER: ELDRIDGE LUMBER & HARDWARE-YORK-GO  
 DRAWN: HEATHER DITZEL  
 QUOTE#: S486SF8 PK VER: 0004.13.00

CREATED: 01/20/2025 REVISION:

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## 95 MARKET APT 4 BEDS

SCALE: 1/2" = 1'-0"

### SPECIFICATIONS

Line #: 6

Qty: 2

Mark Unit: 95 MARKET APT 4 BEDS

Product Line: Ultimate

Unit Description: Casement

Rough Opening: 40" X 57 1/2"

Frame Size: 39" X 57"

Masonry Opening: 39 1/2" X 57 1/4"

Sash Opening: 40" X 57 1/2"

Inside Opening: 40" X 57 1/2"

Exterior Finish: Stone White

Species: Pine

Interior Finish: Painted Interior Finish - White

Unit Type: Casement, Left Hand

Call Number: None

Glass Information: IG - 3/4", Low E2 w/Argon, Black

Divider Type: 7/8" Variable Vertical Rectangle SDL W/ Spacer - Black

Hardware Type: Folding Handle, No Sash Travel Limiter, Window Opening Control Device

Screen Type: Extruded Aluminum Screen

Hardware Color: Bronze, Stainless Steel

Screen Surround Color: White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 4 9/16"



PROJ/JOB: MCB 95 MARKET ST / MCB 95 MARKET ST  
 DIST/DEALER: ELDRIDGE LUMBER & HARDWARE-YORK-GO  
 DRAWN: HEATHER DITZEL  
 QUOTE#: S486SF8

PK VER: 0004.13.00

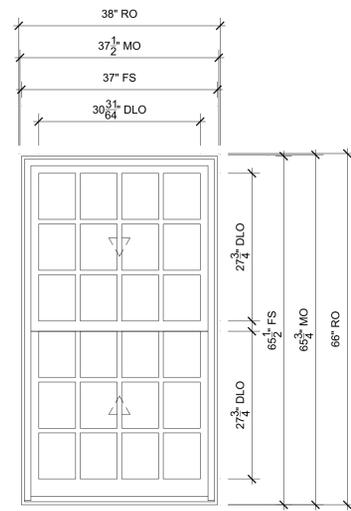
CREATED: 01/20/2025

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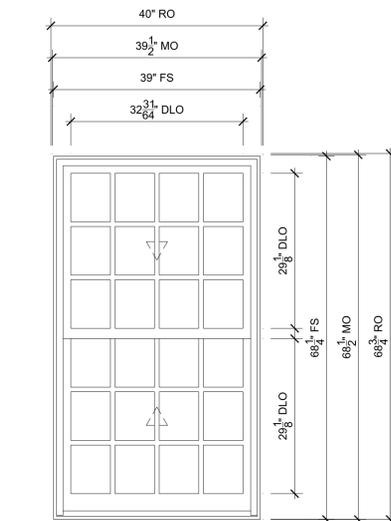
OF 13



**95 MARKET ST APT 2**  
SCALE: 3/4" = 1'-0"

**SPECIFICATIONS**

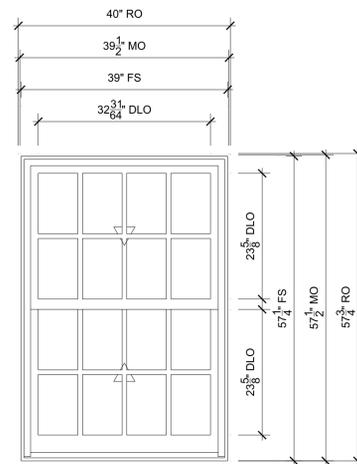
Line #: 1  
Qty: 1  
Mark Unit: 95 MARKET ST APT 2  
Product Line: Ultimate  
Unit Description: Double Hung G2  
Rough Opening: 38" X 66"  
Frame Size: 37" X 65 1/2"  
Masonry Opening: 37 1/2" X 65 3/4"  
Sash Opening: 38" X 66"  
Inside Opening: 38" X 66"  
Exterior Finish: Stone White  
Species: Pine  
Interior Finish: Painted Interior Finish - White  
Unit Type: Double Hung G2  
Call Number: None  
Glass Information: IG, Low E2 w/Argon, Black  
Divider Type: 7/8" Rectangular SDL W/ Spacer - Black  
Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,  
Bottom Sash Limiter : None, Window Opening Control Device  
Screen Type: Extruded Aluminum Screen  
Hardware Color: Bronze  
Screen Surround Color: Stone White  
Screen Mesh Type: Bright View Mesh  
Jamb Depth: 4 9/16"



**95 MARKET ST APT 1 BEDS**  
SCALE: 3/4" = 1'-0"

**SPECIFICATIONS**

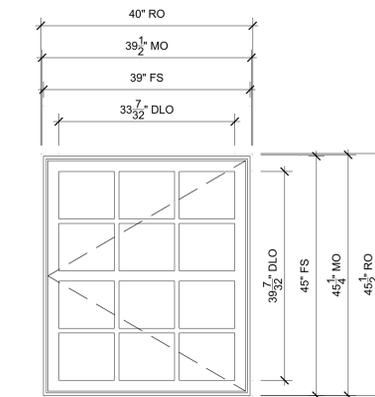
Line #: 2  
Qty: 2  
Mark Unit: 95 MARKET ST APT 1 BEDS  
Product Line: Ultimate  
Unit Description: Double Hung G2  
Rough Opening: 40" X 68 3/4"  
Frame Size: 39" X 68 1/4"  
Masonry Opening: 39 1/2" X 68 1/2"  
Sash Opening: 40" X 68 3/4"  
Inside Opening: 40" X 68 3/4"  
Exterior Finish: Stone White  
Species: Pine  
Interior Finish: Painted Interior Finish - White  
Unit Type: Double Hung G2  
Call Number: None  
Glass Information: IG, Low E2 w/Argon, Black, Tempered Low E2 w/Argon  
Divider Type: 7/8" Rectangular SDL W/ Spacer - Black  
Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,  
Bottom Sash Limiter : None, Window Opening Control Device  
Screen Type: Extruded Aluminum Screen  
Hardware Color: Bronze  
Screen Surround Color: Stone White  
Screen Mesh Type: Bright View Mesh  
Jamb Depth: 4 9/16"



**95 MARKET ST APT 3 BEDS**  
SCALE: 3/4" = 1'-0"

**SPECIFICATIONS**

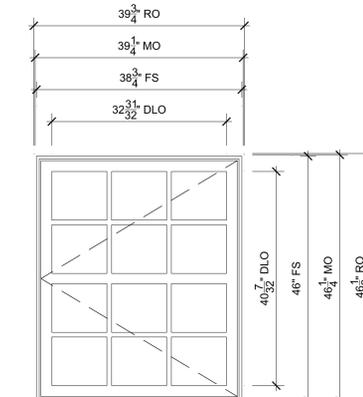
Line #: 3  
Qty: 2  
Mark Unit: 95 MARKET ST APT 3 BEDS  
Product Line: Ultimate  
Unit Description: Double Hung G2  
Rough Opening: 40" X 57 3/4"  
Frame Size: 39" X 57 1/4"  
Masonry Opening: 39 1/2" X 57 1/2"  
Sash Opening: 40" X 57 3/4"  
Inside Opening: 40" X 57 3/4"  
Exterior Finish: Stone White  
Species: Pine  
Interior Finish: Painted Interior Finish - White  
Unit Type: Double Hung G2  
Call Number: None  
Glass Information: IG, Low E2 w/Argon, Black  
Divider Type: 7/8" Rectangular SDL W/ Spacer - Black  
Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,  
Bottom Sash Limiter : None, Window Opening Control Device  
Screen Type: Extruded Aluminum Screen  
Hardware Color: Bronze  
Screen Surround Color: Stone White  
Screen Mesh Type: Bright View Mesh  
Jamb Depth: 4 9/16"



**95 MARKET APT 5 BEDS**  
SCALE: 3/4" = 1'-0"

**SPECIFICATIONS**

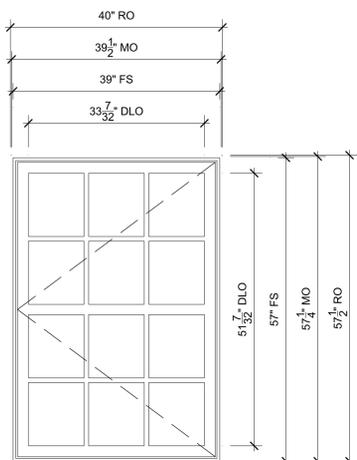
Line #: 4  
Qty: 2  
Mark Unit: 95 MARKET APT 5 BEDS  
Product Line: Ultimate  
Unit Description: Casement  
Rough Opening: 40" X 45 1/2"  
Frame Size: 39" X 45"  
Masonry Opening: 39 1/2" X 45 1/4"  
Sash Opening: 40" X 45 1/2"  
Inside Opening: 40" X 45 1/2"  
Exterior Finish: Stone White  
Species: Pine  
Interior Finish: Painted Interior Finish - White  
Unit Type: Casement, Left Hand  
Call Number: None  
Glass Information: IG - 3/4", Low E2 w/Argon, Black  
Divider Type: 7/8" Variable Vertical Rectangle SDL W/ Spacer - Black  
Hardware Type: Folding Handle, No Sash Travel Limiter, Window Opening Control Device  
Screen Type: Aluminum Screen  
Hardware Color: Bronze, Stainless Steel  
Screen Surround Color: White  
Screen Mesh Type: Bright View Mesh  
Jamb Depth: 4 9/16"



**95 MARKET APT 6 BEDS**  
SCALE: 3/4" = 1'-0"

**SPECIFICATIONS**

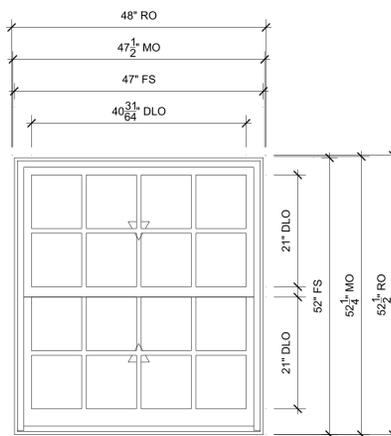
Line #: 5  
Qty: 2  
Mark Unit: 95 MARKET APT 6 BEDS  
Product Line: Ultimate  
Unit Description: Casement  
Rough Opening: 39 3/4" X 45 1/2"  
Frame Size: 38 3/4" X 46"  
Masonry Opening: 39 1/4" X 46 1/4"  
Sash Opening: 39 3/4" X 46 1/2"  
Inside Opening: 39 3/4" X 46 1/2"  
Exterior Finish: Stone White  
Species: Pine  
Interior Finish: Painted Interior Finish - White  
Unit Type: Casement, Left Hand  
Call Number: None  
Glass Information: IG - 3/4", Tempered Low E2 w/Argon, Black  
Divider Type: 7/8" Variable Vertical Rectangle SDL W/ Spacer - Black  
Hardware Type: Folding Handle, No Sash Travel Limiter, Window Opening Control Device  
Screen Type: Aluminum Screen  
Hardware Color: Bronze, Stainless Steel  
Screen Surround Color: White  
Screen Mesh Type: Bright View Mesh  
Jamb Depth: 4 9/16"



**95 MARKET APT 4 BEDS**  
SCALE: 3/4" = 1'-0"

**SPECIFICATIONS**

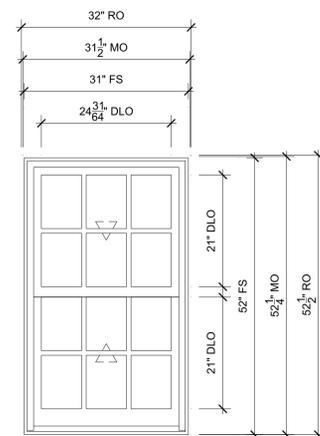
Line #: 6  
Qty: 2  
Mark Unit: 95 MARKET APT 4 BEDS  
Product Line: Ultimate  
Unit Description: Casement  
Rough Opening: 40" X 57 1/2"  
Frame Size: 39" X 57"  
Masonry Opening: 39 1/2" X 57 1/4"  
Sash Opening: 40" X 57 1/2"  
Inside Opening: 40" X 57 1/2"  
Exterior Finish: Stone White  
Species: Pine  
Interior Finish: Painted Interior Finish - White  
Unit Type: Casement, Left Hand  
Call Number: None  
Glass Information: IG - 3/4", Low E2 w/Argon, Black  
Divider Type: 7/8" Variable Vertical Rectangle SDL W/ Spacer - Black  
Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,  
Bottom Sash Limiter : None, Window Opening Control Device  
Screen Type: Aluminum Screen  
Hardware Color: Bronze  
Screen Surround Color: Stone White  
Screen Mesh Type: Bright View Mesh  
Jamb Depth: 4 9/16"



**35 CERES ST LIV RM**  
SCALE: 3/4" = 1'-0"

**SPECIFICATIONS**

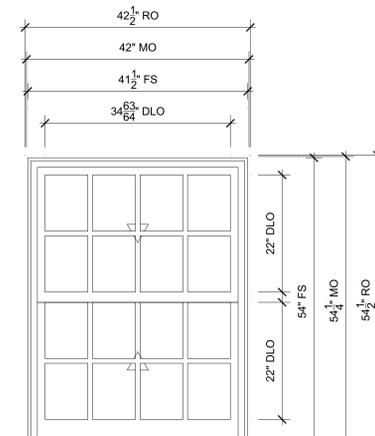
Line #: 7  
Qty: 1  
Mark Unit: 35 CERES ST LIV RM  
Product Line: Ultimate  
Unit Description: Double Hung G2  
Rough Opening: 48" X 52 1/2"  
Frame Size: 47" X 52"  
Masonry Opening: 47 1/2" X 52 1/4"  
Sash Opening: 48" X 52 1/2"  
Inside Opening: 48" X 52 1/2"  
Exterior Finish: Stone White  
Species: Pine  
Interior Finish: Painted Interior Finish - White  
Unit Type: Double Hung G2  
Call Number: None  
Glass Information: IG, Low E2 w/Argon, Black  
Divider Type: 7/8" Rectangular SDL W/ Spacer - Black  
Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,  
Bottom Sash Limiter : None, Window Opening Control Device  
Screen Type: Aluminum Screen  
Hardware Color: Bronze  
Screen Surround Color: Stone White  
Screen Mesh Type: Bright View Mesh  
Jamb Depth: 4 9/16"



**35 CERES ST FIRE ESCAPE**  
SCALE: 3/4" = 1'-0"

**SPECIFICATIONS**

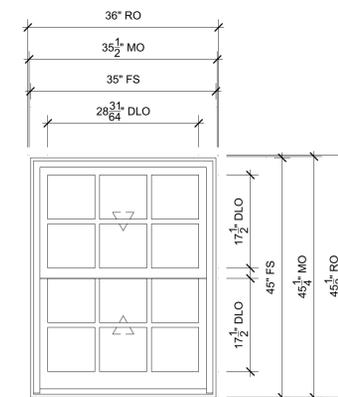
Line #: 8  
Qty: 1  
Mark Unit: 35 CERES ST FIRE ESCAPE  
Product Line: Ultimate  
Unit Description: Double Hung G2  
Rough Opening: 32" X 52 1/2"  
Frame Size: 31" X 52"  
Masonry Opening: 31 1/2" X 52 1/4"  
Sash Opening: 32" X 52 1/2"  
Inside Opening: 32" X 52 1/2"  
Exterior Finish: Stone White  
Species: Pine  
Interior Finish: Painted Interior Finish - White  
Unit Type: Double Hung G2  
Call Number: None  
Glass Information: IG, Low E2 w/Argon, Black  
Divider Type: 7/8" Rectangular SDL W/ Spacer - Black  
Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,  
Bottom Sash Limiter : None, Window Opening Control Device  
Screen Type: Aluminum Screen  
Hardware Color: Bronze  
Screen Surround Color: Stone White  
Screen Mesh Type: Bright View Mesh  
Jamb Depth: 4 9/16"



**33 CERES ST LEFT OF DR**  
SCALE: 3/4" = 1'-0"

**SPECIFICATIONS**

Line #: 9  
Qty: 1  
Mark Unit: 33 CERES ST LEFT OF DR  
Product Line: Ultimate  
Unit Description: Double Hung G2  
Rough Opening: 42 1/2" X 54 1/2"  
Frame Size: 41 1/2" X 54"  
Masonry Opening: 42" X 54 1/4"  
Sash Opening: 42 1/2" X 54 1/2"  
Inside Opening: 42 1/2" X 54 1/2"  
Exterior Finish: Stone White  
Species: Pine  
Interior Finish: Painted Interior Finish - White  
Unit Type: Double Hung G2  
Call Number: None  
Glass Information: IG, Tempered Low E2 w/Argon, Black  
Divider Type: 7/8" Rectangular SDL W/ Spacer - Black  
Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,  
Bottom Sash Limiter : None, Window Opening Control Device  
Screen Type: Aluminum Screen  
Hardware Color: Bronze  
Screen Surround Color: Stone White  
Screen Mesh Type: Bright View Mesh  
Jamb Depth: 4 9/16"



**39 CERES ST LEFT DR BONITA**  
SCALE: 3/4" = 1'-0"

**SPECIFICATIONS**

Line #: 10  
Qty: 1  
Mark Unit: 39 CERES ST LEFT DR BONITA  
Product Line: Ultimate  
Unit Description: Double Hung G2  
Rough Opening: 36" X 45 1/2"  
Frame Size: 35" X 45"  
Masonry Opening: 35 1/2" X 45 1/4"  
Sash Opening: 36" X 45 1/2"  
Inside Opening: 36" X 45 1/2"  
Exterior Finish: Stone White  
Species: Pine  
Interior Finish: Painted Interior Finish - White  
Unit Type: Double Hung G2  
Call Number: None  
Glass Information: IG, Tempered Low E2 w/Argon, Black  
Divider Type: 7/8" Rectangular SDL W/ Spacer - Black  
Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,  
Bottom Sash Limiter : None, Window Opening Control Device  
Screen Type: Aluminum Screen  
Hardware Color: Bronze  
Screen Surround Color: Stone White  
Screen Mesh Type: Bright View Mesh  
Jamb Depth: 4 9/16"



**ORDERING PRODUCTS WITH REFERENCE TO SHOP DRAWINGS:**  
Before ordering the Marvin Window and Door products illustrated within these shop drawings, a copy of these drawings accompanied by an approved signature of the purchaser must be returned to the Architectural Department at Marvin Windows & Doors, P.O. Box 100, Grand Rapids, Michigan 49501. The drawings are not to be used for any other project without the express written consent to the approved shop drawings. Marvin Windows and Doors assumes no responsibility in guaranteeing product coordination with the drawings.

REVISION:

CREATED: 01/20/2025

PK VERSION: 0004.13.00

PROJ/JOB: MCB 95 MARKET ST / MCB 95 MARKET ST

DIST/DEALER: ELDRIDGE LUMBER & HARDWARE-YORK-GO

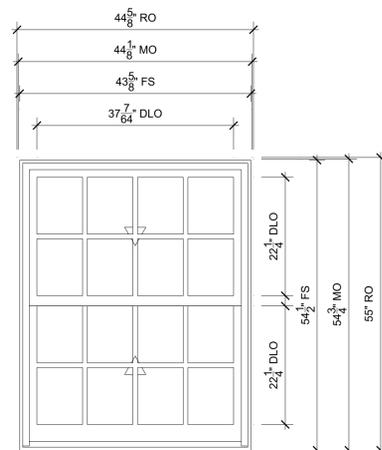
DRAWN: HEATHER DITZEL

QUOTE#: S486SFS

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OF 2

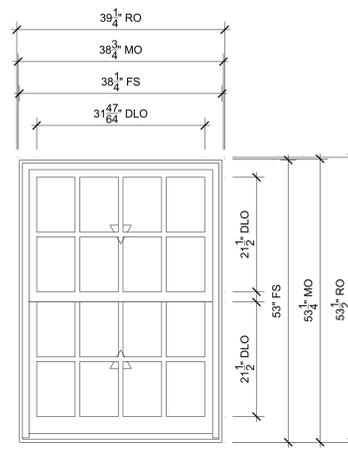
**ORDERING PRODUCTS WITH REFERENCE TO SHOP DRAWINGS:**  
 Before ordering the Marvin Window and Door products illustrated within these shop drawings, a copy of these drawings accompanied by an approved signature of the purchaser must be returned to the Architectural Department at Marvin Windows & Doors, P.O. Box 100, Grand Rapids, Michigan 49503. The purchaser must also return a copy of these drawings to the approved shop drawings. Marvin Windows and Doors assumes no responsibility in guaranteeing product coordination with the drawings.



**39 CERES RHT OF DR BONITA**  
 SCALE: 3/4" = 1'-0"

**SPECIFICATIONS**

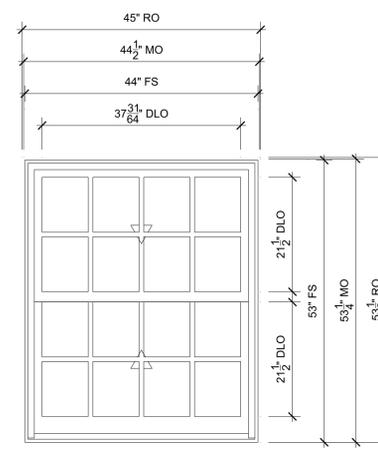
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 Qty: 1  
 Mark Unit: 39 CERES RHT OF DR BONITA  
 Product Line: Ultimate  
 Unit Description: Double Hung G2  
 Rough Opening: 44 5/8" X 55"  
 Frame Size: 43 5/8" X 54 1/2"  
 Masonry Opening: 44 1/8" X 54 3/4"  
 Sash Opening: 44 5/8" X 55"  
 Inside Opening: 44 5/8" X 55"  
 Exterior Finish: Stone White  
 Species: Pine  
 Interior Finish: Painted Interior Finish - White  
 Unit Type: Double Hung G2  
 Call Number: None  
 Glass Information: IG, Tempered Low E2 w/Argon, Black  
 Divider Type: 7/8" Rectangular SDL W/ Spacer - Black  
 Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None, Bottom Sash Limiter : None, Window Opening Control Device  
 Screen Type: Aluminum Screen  
 Hardware Color: Bronze  
 Screen Surround Color: Stone White  
 Screen Mesh Type: Bright View Mesh  
 Jamb Depth: 4 9/16"



**41 CERES 2ND FL LEFT OF DR**  
 SCALE: 3/4" = 1'-0"

**SPECIFICATIONS**

Line #: 12  
 Qty: 1  
 Mark Unit: 41 CERES 2ND FL LEFT OF DR  
 Product Line: Ultimate  
 Unit Description: Double Hung G2  
 Rough Opening: 39 1/4" X 53 1/2"  
 Frame Size: 38 1/4" X 53"  
 Masonry Opening: 38 3/4" X 53 1/4"  
 Sash Opening: 39 1/4" X 53 1/2"  
 Inside Opening: 39 1/4" X 53 1/2"  
 Exterior Finish: Stone White  
 Species: Pine  
 Interior Finish: Painted Interior Finish - White  
 Unit Type: Double Hung G2  
 Call Number: None  
 Glass Information: IG, Tempered Low E2 w/Argon, Black  
 Divider Type: 7/8" Rectangular SDL W/ Spacer - Black  
 Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None, Bottom Sash Limiter : None, Window Opening Control Device  
 Screen Type: Aluminum Screen  
 Hardware Color: Bronze  
 Screen Surround Color: Stone White  
 Screen Mesh Type: Bright View Mesh  
 Jamb Depth: 4 9/16"



**41 CERES 2ND FL RIGHT OF DR**  
 SCALE: 3/4" = 1'-0"

**SPECIFICATIONS**

Line #: 13  
 Qty: 1  
 Mark Unit: 41 CERES 2ND FL RIGHT OF DR  
 Product Line: Ultimate  
 Unit Description: Double Hung G2  
 Rough Opening: 45" X 53 1/2"  
 Frame Size: 44" X 53"  
 Masonry Opening: 44 1/2" X 53 1/4"  
 Sash Opening: 45" X 53 1/2"  
 Inside Opening: 45" X 53 1/2"  
 Exterior Finish: Stone White  
 Species: Pine  
 Interior Finish: Painted Interior Finish - White  
 Unit Type: Double Hung G2  
 Call Number: None  
 Glass Information: IG, Tempered Low E2 w/Argon, Black  
 Divider Type: 7/8" Rectangular SDL W/ Spacer - Black  
 Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None, Bottom Sash Limiter : None, Window Opening Control Device  
 Screen Type: Aluminum Screen  
 Hardware Color: Bronze  
 Screen Surround Color: Stone White  
 Screen Mesh Type: Bright View Mesh  
 Jamb Depth: 4 9/16"



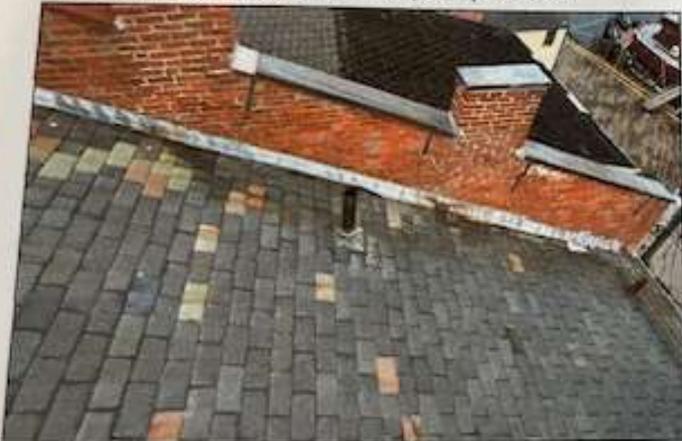




1.0 Item 21(Picture) falling parapet wall



1.0 Item 22(Picture) slate



1.0 Item 23(Picture) slate



1.0 Item 24(Picture) open chimneys



1.0 Item 11(Picture) slate



1.0 Item 12(Picture) slate

**Project Address:** 2 Market Square, Unit E

**Permit Requested:** Certificate of Approval

**Application:** Public Hearing #6

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: Character District 4 and Downtown Overlay
- Land Use: Mixed-Use
- Land Area: 3,235 SF +/-
- Estimated Age of Structure: c. 1803
- Building Style: Federal
- Number of Stories: 4
- Historical Significance: Focal
- Public View of Proposed Work: Ladd Street
- Unique Features: N/A
- Neighborhood Association: Downtown



**B. Proposed Work:** Removal of rear existing wood shed structure. Replace existing window and door.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Remove existing wood shed structure
- Replace existing window and door



**HISTORIC  
SURVEY  
RATING  
  
F**

**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

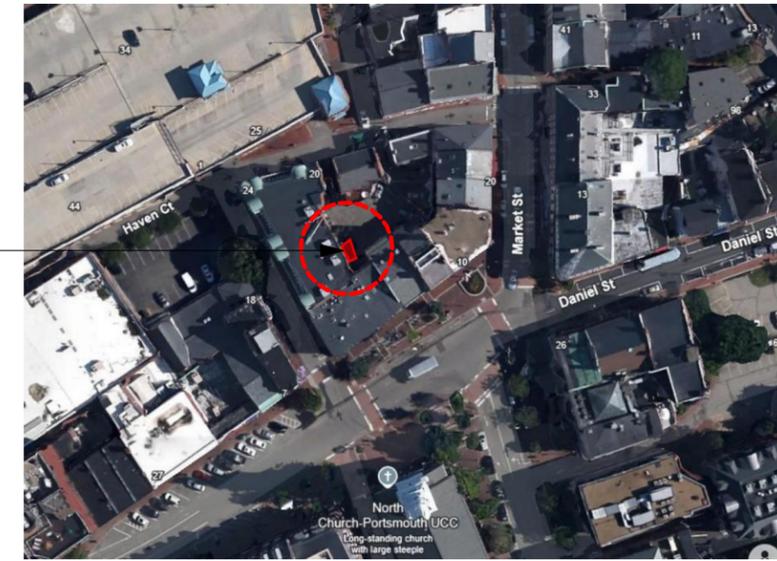


WOOD SHED TO BE REMOVED

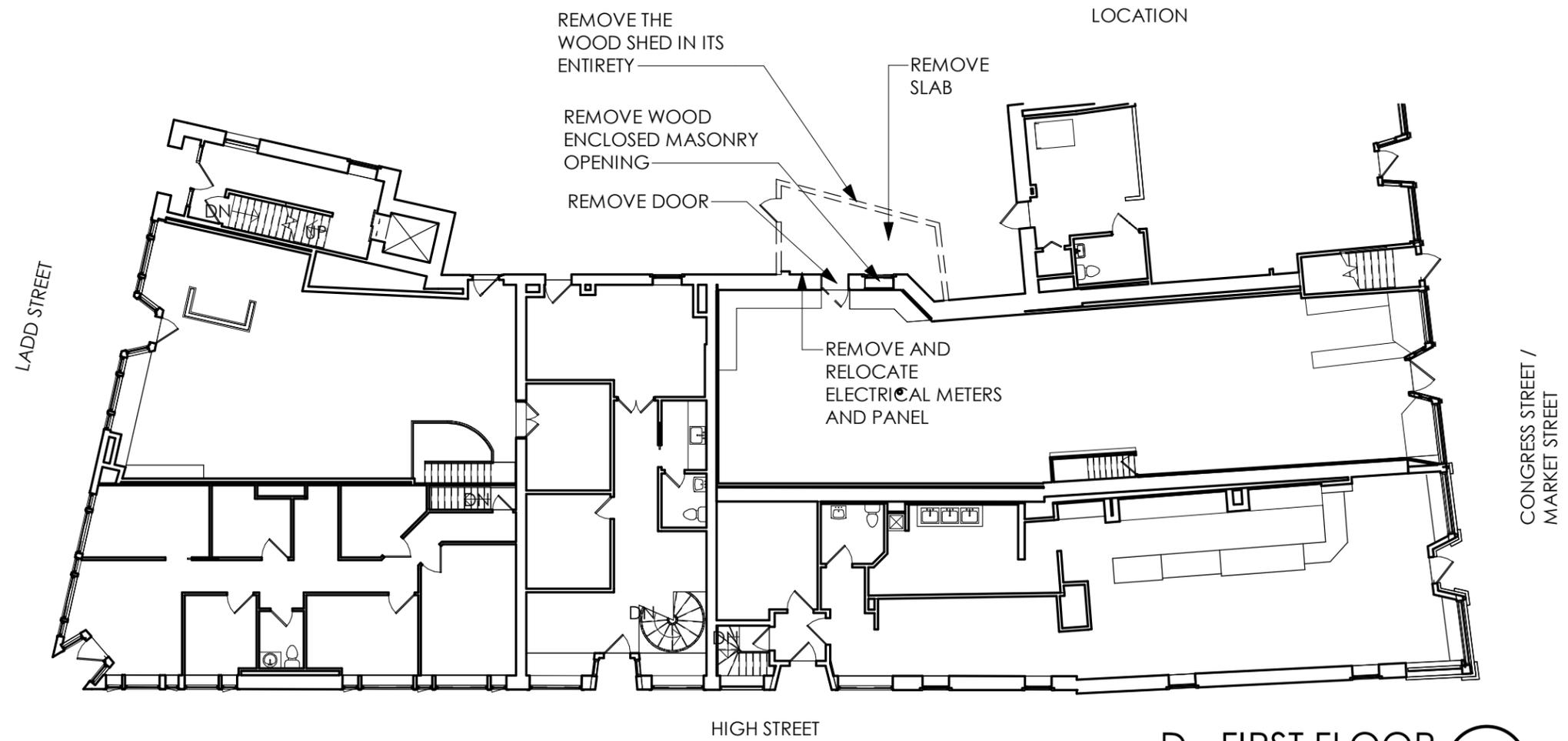
(NEW) GUARD TO BE INSTALLED ON THE INTERIOR

REMOVE THE WOOD SHED IN ITS ENTIRETY

PROJECT LOCATION



LOCATION



D - FIRST FLOOR 1  
1/16" = 1'-0"

Project Status

**UNIT E**

PORTSMOUTH, NH

PEIRCE BLOCK - UNIT E - DEMOLITION PLAN

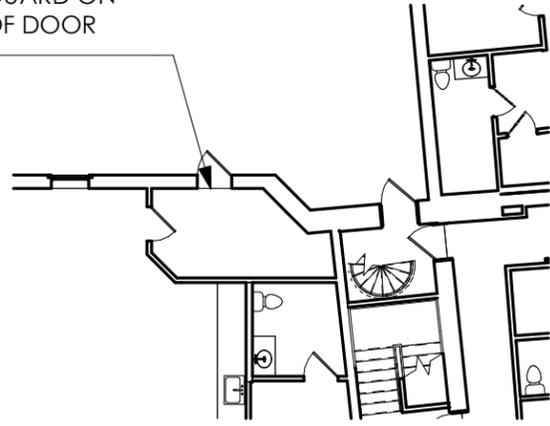
1.24.2025

201907

Shaping the Exceptional / 200 Ayer Road / Suite 200 / Harvard, MA 01451 / 978 458 2800



PROVIDE GUARD ON INTERIOR OF DOOR OPENING



**SECOND FLOOR** ②  
1/16" = 1'-0"



PROPOSED DOOR TO MATCH EXISTING DOOR



PROPOSED WINDOW TO MATCH EXISTING WINDOW

EXTERIOR WALL TO BE ICE CLEANED TO RESTORE TO NATURAL BRICK

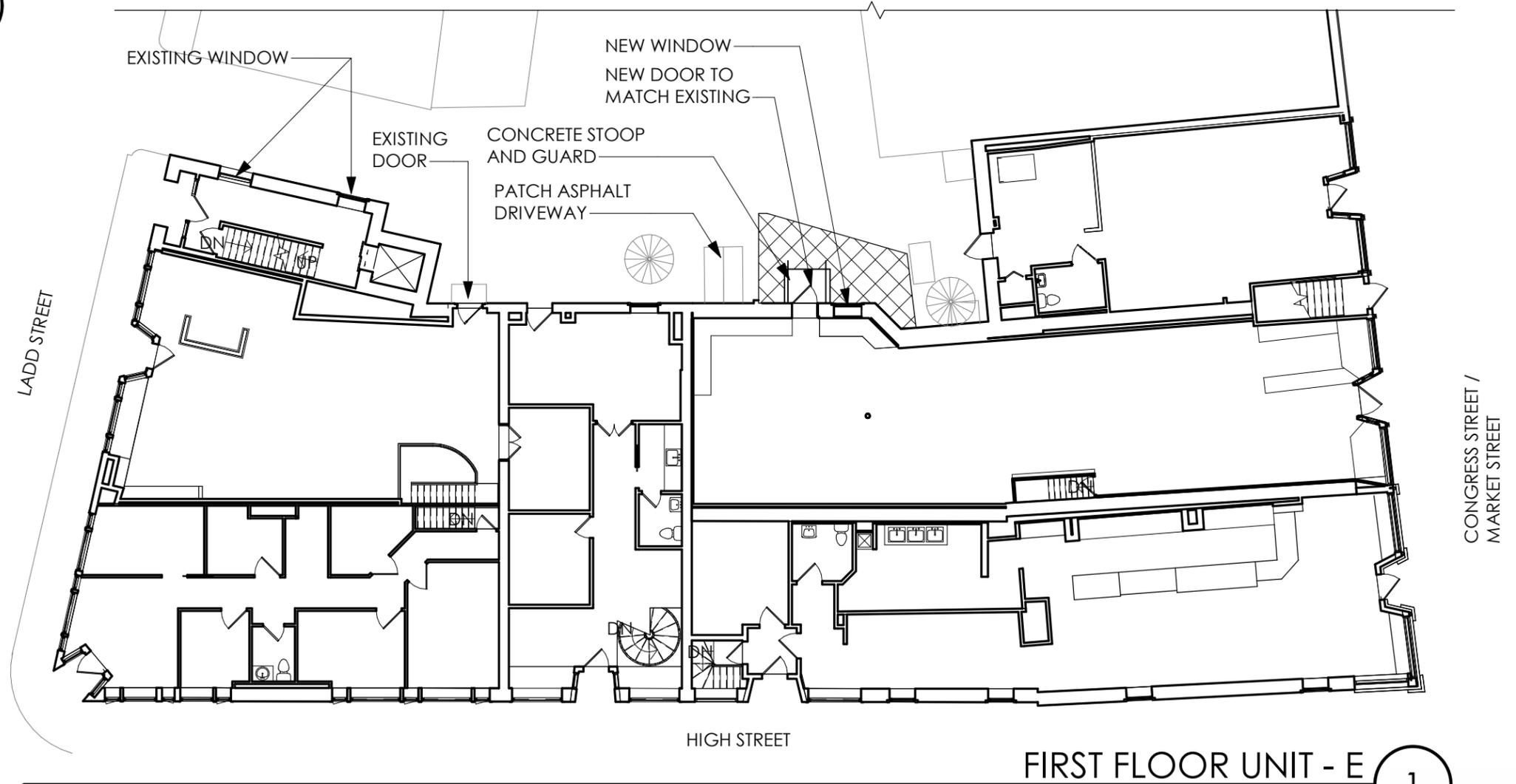
NEW WINDOW TO BE LOCATED IN EXISTING MASONRY OPENING

NEW DOOR TO BE LOCATED IN EXISTING MASONRY OPENING



EXTERIOR WALL INSIDE SHED

EXTERIOR WINDOW FRAMING & GLAZING	
<b>EXTERIOR DOOR:</b>	
1.	SMOOTH STAR 36"X84" SINGLE DOOR WITH SILL PAN KIT
2.	BY THERMA-TRU
3.	1/2 LITE
4.	CLEAR GLASS
<b>WINDOW:</b>	
•	HARVEY MAJESTY DOUBLE HUNG



**FIRST FLOOR UNIT - E** ①  
1/16" = 1'-0"

Project Status

**UNIT E**

PORTSMOUTH, NH

PEIRCE BLOCK -UNIT E - PROPOSED WORK

1.24.2025

**Project Address:** 266-278 State Street

**Permit Requested:** Work Session

**Application:** Work Session A

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: Character District 4 & Downtown Overlay
- Land Use: Mixed
- Land Area: 1,750 SF +/-
- Estimated Age of Structure: c.1870's-1900
- Building Style: Italianate/Commercial
- Number of Stories: 3-4
- Historical Significance: C
- Public View of Proposed Work: State Street & Downtown
- Unique Features: N/A
- Neighborhood Association: Downtown



**B. Proposed Work:** Construction of a new 4-story building.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Construct a new 4-story building.



**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



CELEBRATING OVER 35 YEARS OF SERVICE TO OUR CLIENTS

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SHARON CUDDY SOMERS  
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KATHERINE B. MILLER  
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CHRISTOPHER P. MULLIGAN  
ELAINA L. HOEPPNER  
WILLIAM K. WARREN  
BRIANA L. MATUSZKO  
BRANDON A. LATHAM

OF COUNSEL  
MOLLY C. FERRARA

January 16, 2025

**VIA VIEWPOINT and HAND DELIVERY**

Reagan Ruedig, Chair  
Historic District Commission  
1 Junkins Avenue  
Portsmouth, NH 03801

**Re: 266, 270, 278 State Street & 84 Pleasant Street  
Tax Map 107, Lots 77 – 80  
REQUEST FOR WORK SESSION**

Dear Ms. Ruedig:

This office represents PNF Trust of 2013, the owner of the above-referenced property. I enclose a conceptual design proposal for the redevelopment of the property with all new construction, based upon variances obtained in November of 2024. Please accept this correspondence as our request for a work session pursuant to Section 10.635.20 of the zoning ordinance to review and discuss this proposal with the Commission at its February 5, 2025 meeting. To the extent it is applicable, we hereby request a waiver from the requirements of Section 10.634.23.

Thank you for your attention and we look forward to working with the Commission on this project.

Sincerely,

*Christopher P. Mulligan*  
Christopher P. Mulligan

CPM/  
Encls.

cc: Peter Floros (w/ encls.)  
Michael Keane (w/ encls.)



**mjk**

Michael J. Keane  
Architects, PLLC

ARCHITECTURE  
PLANNING  
DESIGN

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Newmarket, NH  
03857

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mjkarchitects.com

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APPROVALS

01/14/25 FOR  
HDC WORKSESSION  
FEB 5 2025

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PROJECT

RESTORATION AND EXPANSION OF  
266, 270 278 STATE STREET  
AND 84 PLEASANT ST,  
PORTSMOUTH NH

PNF TRUST OF 2013  
282 MIDDLE STREET  
PORTSMOUTH, NH  
03801

TITLE

RENDERINGS

DRAWN BY:

CHECKED BY:

DATE: 1/14/2025

SCALE: AS NOTED

DRAWING NO.

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**HDC.1**



**mjk**

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PORTSMOUTH NH

PNF TRUST OF 2013  
282 MIDDLE STREET  
PORTSMOUTH, NH  
03801

TITLE

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DATE: 1/14/2025

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**HDC.2**

mjk

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PORTSMOUTH, NH  
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TITLE

STATE STREET ELEVATION

DRAWN BY:

CHECKED BY:

DATE: 1/14/2025

SCALE: AS NOTED

DRAWING NO.

HDC.3

ELEVATOR OVERRIDE  
EXCLUDED FROM HEIGHT  
BY ZONING 10.517.30 AND  
BY "PENTHOUSE" DEFINITION

TOP OF WALL

TOP OF FLAT ROOF

11'-0"

11'-1"

49'-11"

11'-1"

16'-9"

BUILDING HEIGHT BY ZONING [DEF. BUILDING HEIGHT (b) 2]

53'-3"

STATE STREET ELEVATION  
SCALE: 1/4" = 1'-0"

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**PLEASANT STREET ELEVATION**

SCALE: 1/4" = 1'-0"

**mjk**

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PORTSMOUTH NH

PNF TRUST OF 2013  
282 MIDDLE STREET  
PORTSMOUTH, NH  
03801

TITLE

PLEASANT ST ELEV

DRAWN BY:

CHECKED BY:

DATE: 1/14/2025

SCALE: AS NOTED

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**HDC.4**





**COURT STREET ELEVATION**  
 SCALE: 1/4" = 1'-0"

**mjk**

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 Architects, PLLC

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 AND 84 PLEASANT ST,  
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 282 MIDDLE STREET  
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TITLE

COURT STREET ELEVATION

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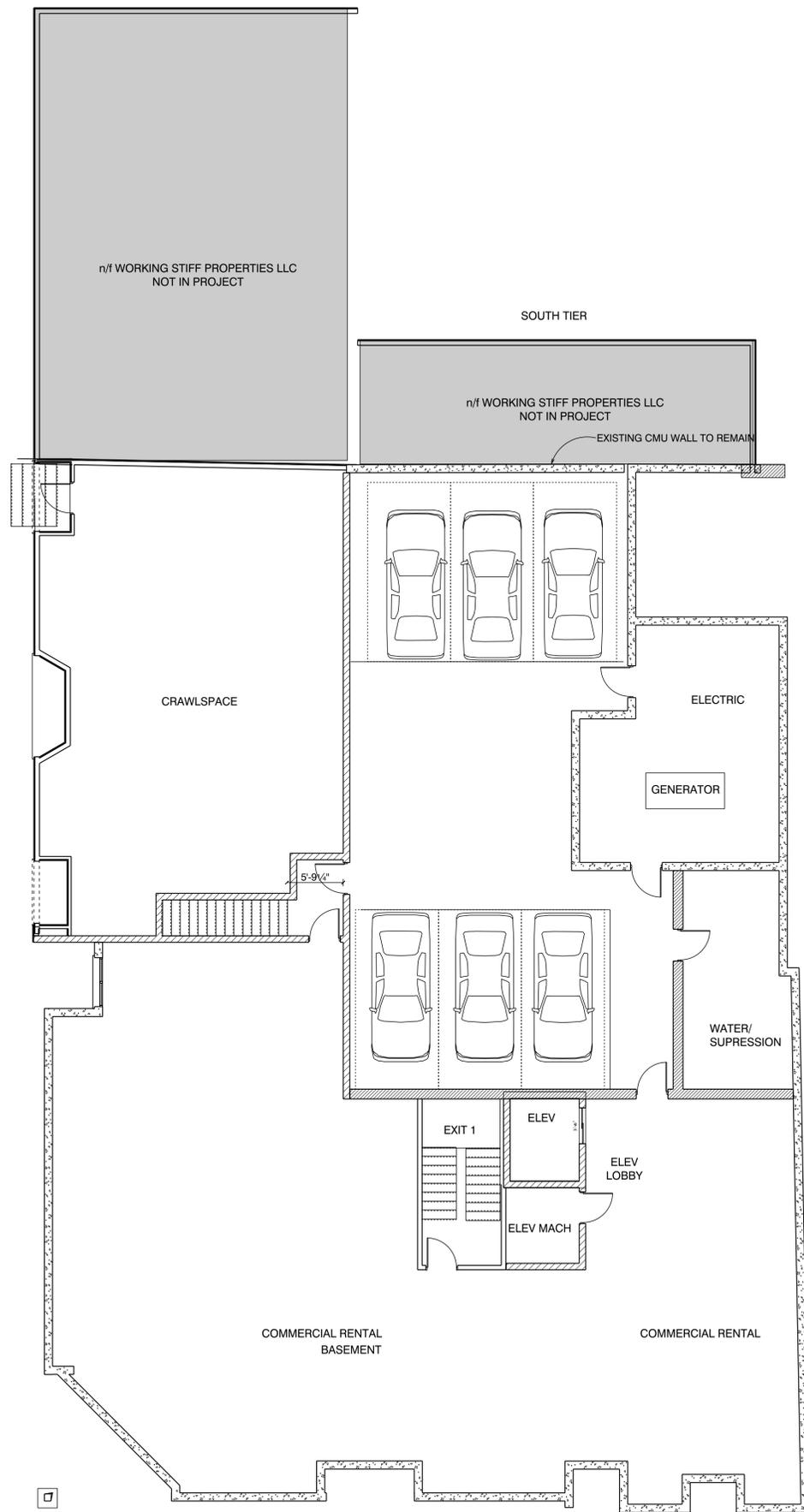
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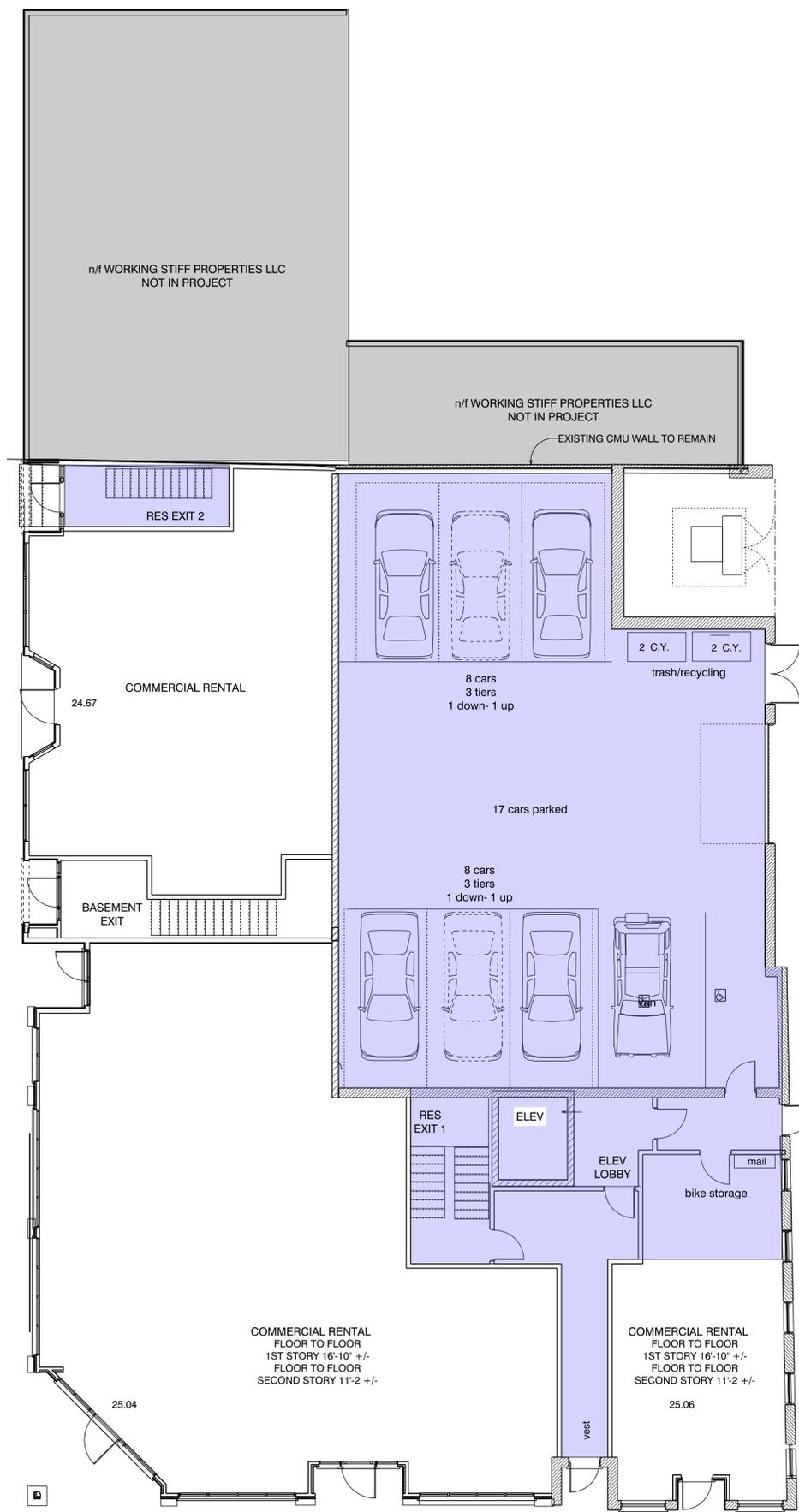
DRAWING NO.

**HDC.6**

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5 0 10  
**BASEMENT PLAN**  
 SCALE: 1/8" = 1'-0"



EXCLUSIVE RESIDENTIAL USE

7933 NET GROUND FLOOR  
 3405 RES EXCLUSIVE  
 43% +/- DEDICATED RESIDENTIAL USE

5 0 10  
**FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

**mjk**  
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RESTORATION AND EXPANSION OF  
 266, 270 278 STATE STREET  
 AND 84 PLEASANT ST,  
 PORTSMOUTH NH

PNF TRUST OF 2013  
 282 MIDDLE STREET  
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TITLE

BASEMENT & 1ST FLR PLAN

DRAWN BY:

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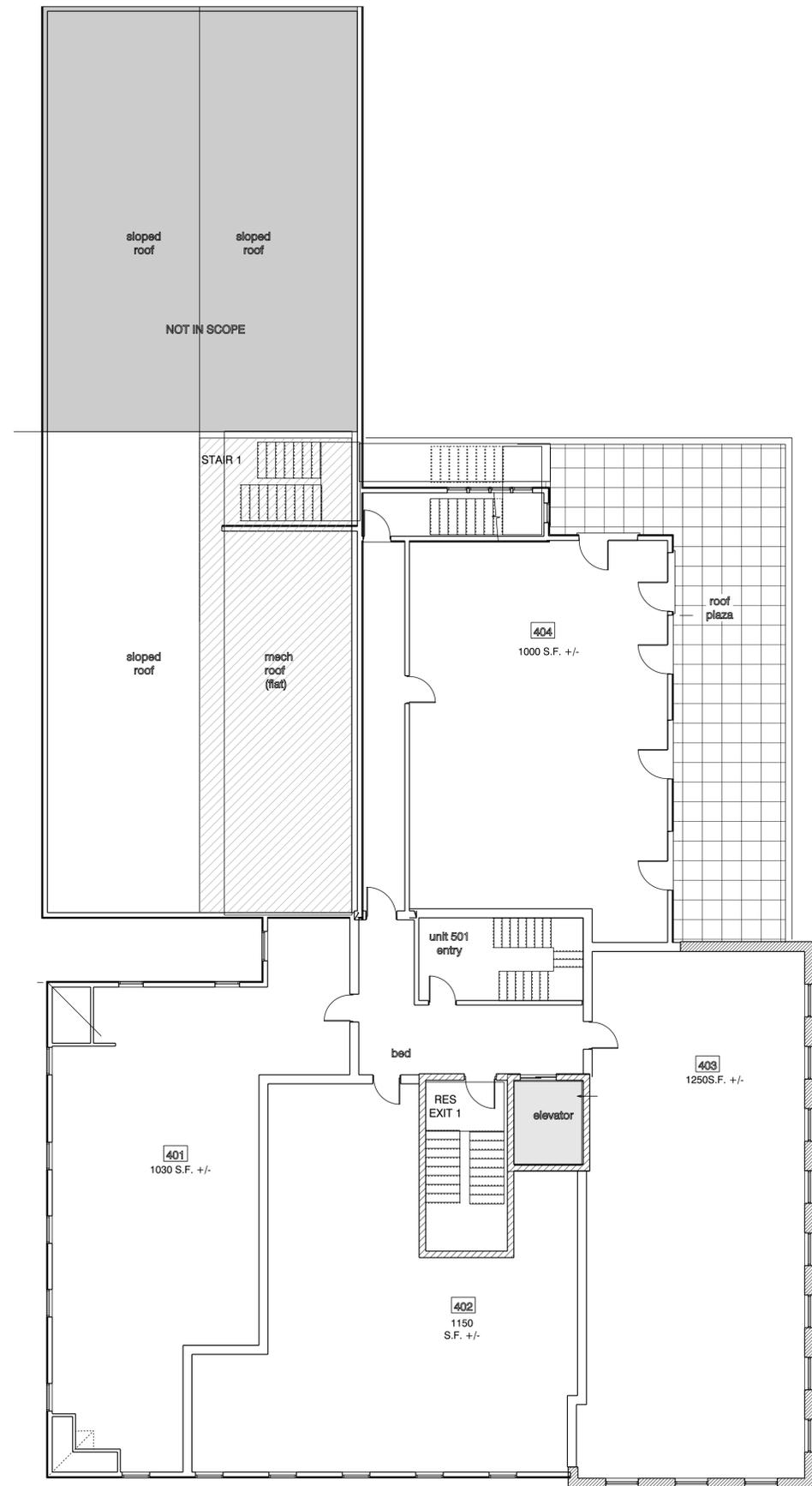
DATE: 1/14/2025

SCALE: AS NOTED

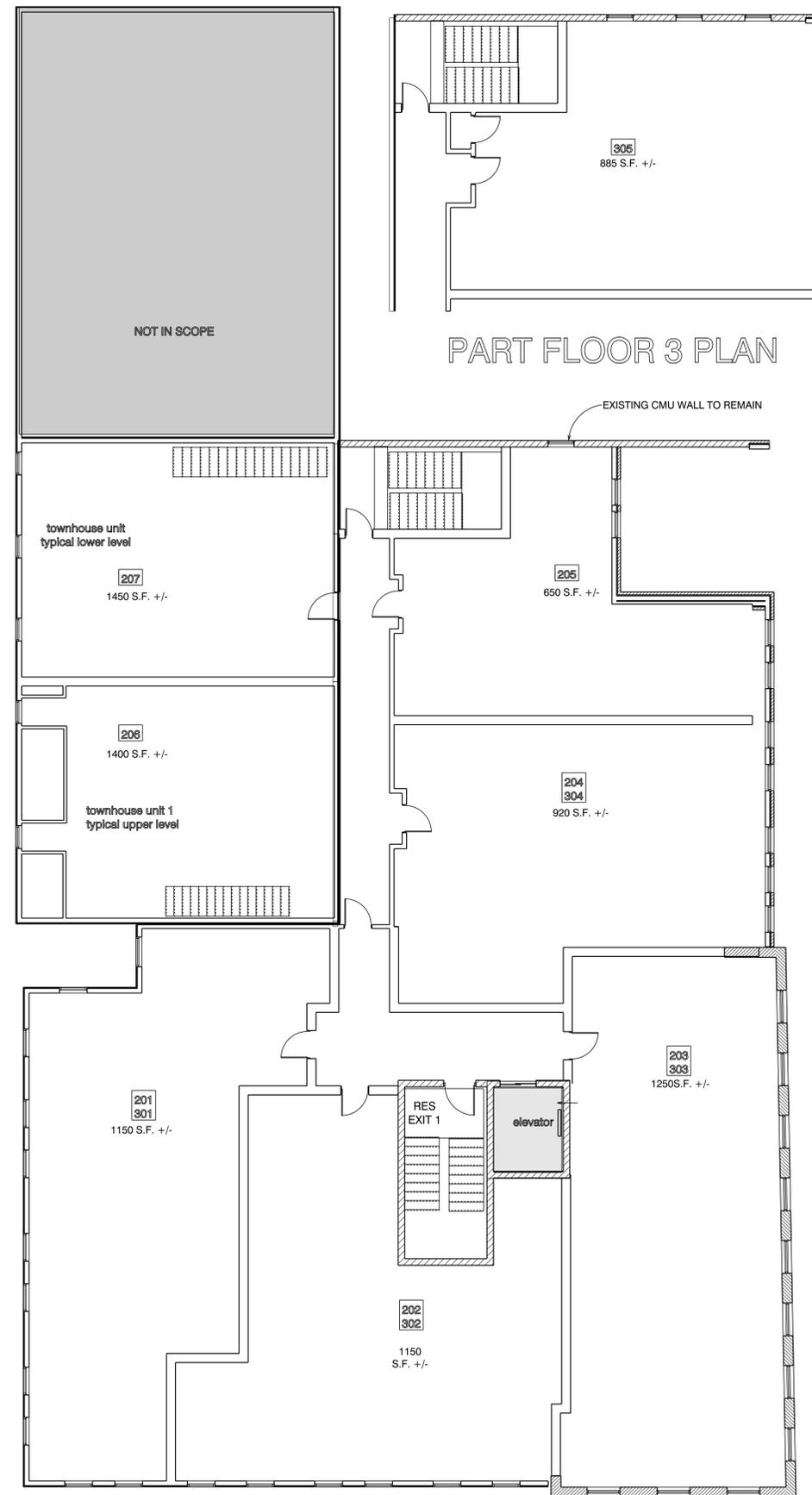
DRAWING NO.

**HDC.7**

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FLOOR 4 PLAN



TYPICAL FLOOR 2-3 PLAN

FLOOR PLANS  
SCALE: 1/8" = 1'-0"



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03801

TITLE

UPPER LEVEL PLANS

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SCALE: AS NOTED

DRAWING NO.

**HDC.8**

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