

**MEETING OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom
(See below for more details) **

6:30 p.m.

January 08, 2025

AGENDA(revised on January 03, 2025)

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

I. APPROVAL OF MINUTES

1. December 04, 2024

II. ADMINISTRATIVE APPROVALS

1. 33 Jewell Court
2. 93 Pleasant Street
3. 50 South School Street, Unit #4
4. 254 South Street
5. 2 Russell Street

III. CITY COUNCIL REFFERAL

1. Request from Scott and Jessie Rafferty, owners, for property located at 185 Orchard Street wherein permission is requested for the removal of 185 Orchard Street from The Historic District. The City Council voted to request a vote from the Historic District Commission and Planning Board at the October 07, 2024 meeting. Said property is located on Assessor Map152 Lot 2-1 and lies within the General Residence A (GRA) and Historic Districts.

IV. REQUEST FOR REHEARING

1. Request from Glen Brown, owner, for property located at 50 Maplewood Avenue, Unit #305 for a rehearing of the Administrative Approval that was granted for property located at 238 Deer Street on November 06, 2024. Said property is shown on Assessor Map 125 as Lot 3 and lies within the Character District 4 (CD4) and Historic Districts.

V. PUBLIC HEARINGS (OLD BUSINESS)

- A. Petition of Jay Ganesh, LLC, owner, for property located at 201 Islington Street, wherein permission is requested to remove and replace fencing as per plans on file in the Planning

Department. Said property is shown on Assessor Map 138 as Lot 33 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts.

VI. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of Sarah Jane Fodero and Joseph Crawford Wolfkill III, owners, for property located at 192 New Castle Avenue, wherein permission is requested to allow exterior renovations to an existing structure (replacement windows) as per plans on file in the Planning Department. Said property is shown on Assessor Map 207 as Lot 51-1 and lies within the Single Residence B (SRB) and Historic Districts.

VII. ADJOURNMENT

**Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

https://us06web.zoom.us/webinar/register/WN_atfUrDWbSs2B3Mg4rLhzxw

**MINUTES OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

December 04, 2024

MEMBERS PRESENT: Chair Reagan Ruedig; Vice-Chair Margot Doering; City Council Representative Rich Blalock; Members Jon Wyckoff, Martin Ryan, Dr. Dan Brown, Dave Adams, and Alternate Larry Booz

MEMBERS EXCUSED: None.

ALSO PRESENT: Izak Gilbo, Planner 1, Planning Department

.....

Chair Ruedig read the requests for postponements into the record. Mr. Gilbo noted that all the requests for postponements except for Petition B, 201 Islington Street, had been postponed many times. Chair Ruedig said it might be time to deny those postponements.

*Vice-Chair Doering moved to **deny** the requests for postponements for Petition A, 195 Washington Street, Petition C, 342 Islington Street, Work Session A, 377 Maplewood Avenue, and Work Session B, 266-278 State Street. Dr. Brown seconded.*

Mr. Ryan suggested that the items be voted upon individually.

*Vice-Chair Doering **amended** her motion. She moved to **deny** the request to postpone Petition A, 195 Washington Street. Dr. Brown seconded. The motion **passed** with all in favor, 7-0.*

*Vice-Chair Doering moved to **approve** the request to postpone Petition B, 201 Islington Street. Dr. Brown seconded. The motion **passed** with all in favor, 7-0.*

*Vice-Chair Doering moved to **deny** the request to postpone Petition C, 342 Islington Street. Dr. Brown seconded. The motion **passed** with all in favor, 7-0.*

*Vice-Chair Doering moved to **deny** the request to postpone Work Session A, 377 Maplewood Avenue. Dr. Brown seconded. The motion **passed** with all in favor, 7-0.*

*Vice-Chair Doering moved to **deny** the request to postpone Work Session B, 266-278 State Street. Dr. Brown seconded. The motion **passed** with all in favor, 7-0.*

I. APPROVAL OF MINUTES

1. November 06, 2024

Councilor Blalock recused himself from the vote.

*Mr. Ryan moved to **approve** the November 6 minutes as submitted, seconded by Mr. Wyckoff. The motion **passed** with all in favor, 6-0.*

II. ADMINISTRATIVE APPROVALS

Note: Item 4, 33 Jewel Court, and Item 5, 24 Market Street, were pulled for separate review and approvals and were reviewed before the other items.

1. 93 Pleasant Street

[Timestamp 37:40] The request was to shift a door and add a window on the Court Street third-floor west porch, change a louver to a window and shutter at the central addition's first floor, raise the first-floor windows and brick band at the southeast addition by five inches, change the painted metal fascia to zinc-coated copper, move the rooftop generator farther back from the roof edge, align the parking garage door at the exterior wall opening as originally approved, relocate the proposed wrought iron fence from Court Street stone wall to the rear retaining wall, and add a wood fence, trees and plantings along the east property line.

2. 111 State Street

The request was for two minor changes: infill the opening on the southwest gabled porch so that the recessed porch would become a double hung window, and change the double hung window on the west gable to a stained glass fixed sash window.

3. 179 Pleasant Street

The request was to remove the existing chain link fence and add a wood and metal fence. Mr. Gilbo noted that originally Panels B and C on the fence were going to be replaced with the same panels as Panel A, but the applicant wanted to remove them instead and connect Panel A to the rear of the structure. Mr. Gilbo said there would be an iron fence from the corner of Panel D to another corner. He said the neighboring property owners approved of the project. Vice-Chair Doering asked if the gate across the driveway would be wood or wrought iron. Mr. Gilbo said it would be iron and the old fence sections would be removed.

4. 33 Jewell Court

[Timestamp 7:44] The request was approval for the replacement of two windows with mechanical louvers and approval for bathroom exhaust vents that would be concealed in the building's eave. Mr. Gilbo said the applicant also needed to replace the front stairs and railings to meet code. He said the rails were wooden and the applicant wanted metal ones to match other parts of the building. He said the louvers would be painted black to make it appear that there were still windows there. Mr. Adams suggested retaining the window frames that are in the openings. He said it seemed like the louvers were installed from brick to brick and had some thickness, indicating that the applicant planned to remove the window frame.

[Timestamp 10:08] Architect Richard Desjardins was present on behalf of the applicant and explained that the louver system had to go from brick to brick to get the surface area for intake and exhaust for the mechanical systems, otherwise the brick opening would have to be carved into and the frame would have to be modified. Mr. Adams asked if the air could be forced through one of the louvers. Mr. Desjardins said he would ask the mechanical engineer but assumed that it could not be done because it was mostly about the free area of the louver itself. Mr. Wyckoff asked where the information for all that was. Mr. Desjardins said the engineer did all the calculations and said that those two window openings were close to the exact percent area needed. Mr. Wyckoff said the item should come back with the necessary information. Mr. Desjardins said the plan was to turn the second floor into a wedding venue, and one louver was for intake air to refresh the air in the building and the other louver was to provide a way to exhaust the air from the actual unit. Mr. Adams said the Commission didn't know which louver was for intake and which one was for exhaust and that they needed more information. It was further discussed. Mr. Ryan said the louver had a bit of a frame to it so there wasn't much difference from what was being proposed. Mr. Wyckoff said more detail was needed on the louver itself. Mr. Adams said the louvers were straight rectangular pieces of metal and the window opening was arched, and he thought the plan was more destructive than it needed to be. Chair Ruedig asked Mr. Desjardins if it was possible to get more information from the mechanical engineer and to keep the frame in there and if not, to get a more detailed drawing. Mr. Desjardins said he would do that. Mr. Booz asked if there was an alternative venting system, and Mr. Desjardins said there was not.

*Councilor Blalock moved to **approve** everything requested except for the two windows. Mr. Wyckoff seconded. The motion **passed** with all in favor, 7-0.*

5. 24 Market Street

[Timestamp 22:05] The request was to remove the existing wood trim and paneling on the Market Street elevation and replace them with an ACRE system. Mr. Gilbo said the existing storefront doors and windows would remain and the existing transom would be replaced with a panel detail. On the Ladd Street elevation, the proposal was to remove an obsolete fire alarm, remove the thru-wall AC unit and fill the space in with waterstruck brick, remove the side entry door with the glass transom, and modify the wood transom over the second door to contain a louver that would support an interior HVAC system for the new commercial space. He reviewed photos of the existing conditions and proposed changes. Councilor Blalock asked if the granite that went around the corner would remain.

[Timestamp 24:52] The applicant's representative architect Carla Goodknight was present and said the granite would stay intact as part of the building. She said something was done there earlier on, and the new storefront assembly could cover it and finish it off. She said it would be a paneled system. Mr. Adams said the PVC material seemed to have a different core from the surface. Ms. Goodknight said it did not and that it was a compressed PVC piece that would be sanded. She showed a sample of it. In response to more questions from Mr. Adams, Ms. Goodknight said she would not put the material in direct contact with the sidewalk. She said they had trim profiles easing the storefront edges and that they would cover all the granite because she thought it was best to get to the top of it instead of flashing it in under the granite. Mr. Booz

noted that the proposed design did not have the vertical pieces shown on the original design, and he asked how the material would hold up with repeated paintings vs. wood. Ms. Goodknight said it would hold up. She said there was no vertical divider on the front window, so they opted to eliminate it in the panel and would make the panel match the window above. Vice-Chair Doering asked how old the current materials were. Ms. Goodknight said a few permits were pulled in the late 80s and early 90s. Vice-Chair Doering said the building was right on Market Street and thought the street and the Historic District deserved a nicely done 100 percent wood storefront. She said she was disappointed in the granite banding. Mr. Wyckoff agreed. He said a lot was proposed above the windows than what existed and wished a drawing had been provided of what all the trim and signage covering over the granite would look like on the building. He said he was concerned about the granite being covered up because it was an important feature of the building. Chair Ruedig said it was complicated and had too many pieces and thought it should come back as a public hearing, along with a sample of the material.

*Mr. Adams moved to **deny** the item and have it return as a public hearing at the January meeting. Dr. Brown seconded. The motion **passed** by a vote of 6-1, with Mr. Ryan opposed.*

6. 213 Pleasant Street

The request was to install a generator. Mr. Gilbo said the current one would be relocated due to a code issue and the new generator would be located at the side and corner of the house's elevation facing Richmond Street. He noted that the applicant would agree to a wood screening if asked. Mr. Adams said he saw two levels of shrubs that would not be improved by wood fencing.

7. 765 Middle Street

The request was for a bracket design change for the small overhang on the garage. Mr. Gilbo said the other bracket at the half wall at the deck had also changed.

8. 137 New Castle Avenue

The request was for two AC condensers. Mr. Gilbo said one would be located at the rear corner of the property behind an existing fence, and the second unit would be visible from New Castle Avenue. He suggested stipulating that the applicant install a wood screening. Vice-Chair Doering agreed. Dr. Brown said the pipes going up along the corner board should be painted to match.

Stipulations: 1) The AC condenser on the New Castle Avenue facade shall be screened with a wood screening, and 2) any and all of line sets shall be painted to match the trim (if running along corner boards) or shall be painted to match the siding if they do not run along the trim.

9. 99 Daniel Street

The request was for copper gutters instead of the previously-approved aluminum ones.

*Councilor Blalock moved to **approve** Items 1, 2, 3, 6, 7, 8, and 9. Vice-Chair Doering seconded. The motion **passed** with all in favor, 7-0.*

III. PUBLIC HEARINGS (OLD BUSINESS)

A. REQUEST TO POSTPONE - Petition of **Jane Vanni Meyers, owner**, for property located at **195 Washington Street**, wherein permission is requested to allow exterior renovations to an existing structure (renovate front entrance and door) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 78 and lies within the General Residence B (GRB) and Historic Districts.

DECISION OF THE COMMISSION

The request to postpone was **denied**.

B. REQUEST TO POSTPONE- Petition of **Jay Ganesh, LLC, owner**, for property located at **201 Islington Street**, wherein permission is requested to allow exterior renovations to an existing structure (installation of new siding to cover the existing brick, remove and replace fencing, and associated site improvements) as per plans on file in the Planning Department. Said property is shown on Assessor Map 138 as Lot 33 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts.

DECISION OF THE COMMISSION

The petition was **postponed**.

C. REQUEST TO POSTPONE- Petition of **RGA Investments, LLC, owner**, for property located at **342 Islington Street**, wherein permission is requested to allow exterior renovations to an existing structure (re-roof the entire structure and replace all roof trim/detailing on the mansard portion of the roof) as per plans on file in the Planning Department. Said property is shown on Assessor Map 145 as Lot 15 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

DECISION OF THE COMMISSION

The request to postpone was **denied**.

D. Petition of **Islington Street Properties, LLC, owner**, for property located at **369-373 Islington Street**, wherein permission is requested to allow exterior renovations to an existing structure (replace the siding and windows on the structure) and the installation of HVAC equipment (AC condensers) as per plans on file in the Planning Department. Said property is shown on Assessor Map as Lot and lies within the Character District 4-L2 (CD4-L2) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 54:59] Chair Ruedig noted that the HVAC equipment portion of the petition was done. Mr. Gilbo said the Commission previously approved the windows on the sides and rear

and had to let the applicant do a vinyl siding with AZEK trim on the sides and rear and do a wood siding on the front with wood trim and wood corner boards.

[Timestamp 57:02] Alex Gialluca, the owner of Unit 1, 373 Islington Street, was present. He said he had a few samples and supplemental information about the product. He described the LP engineered wood siding, noting that it was 100 percent wood and that there were two options but that he preferred the one with the smooth finish. He asked why Islington Street did not have a historic significance rating. Chair Ruedig said it was because the street was the most recent addition to the Historic District and had not been formally assessed.

[Timestamp 1:09:03] Mr. Wyckoff noted that LP Siding had a class action lawsuit 30 years before due to all their siding getting water into it and swelling up, but he thought the option with the smooth side could be discussed. Mr. Booz said there was no taper on the side profile of the LP siding and that there was be a greater air pocket between the siding and the house, so he recommended that the applicant consider another product or think about repairing the siding on the front. Councilor Blalock said the applicant had worked with the Commission during several meetings and had already spent a lot of money removing all the asbestos, per the Commission's request. Dr. Brown said the Commission was being faced with new products more often and would have to test them out. He said the applicant did his due diligence and thought the product might be a good test case. Mr. Ryan asked what the cost breakdown was, and Mr. Gialluca said what the estimates were. Mr. Ryan asked how one of the higher costs could be to leave what was there and repair it. Mr. Gialluca said it was the labor. Mr. Ryan said he wasn't totally against the new product because the applicant removed an asbestos panel. He said he could not approve vinyl, so he was open to the wood product. Mr. Adams asked about the historic corner boards, the water table and its cap and molding, and the other historic pieces snapped off the building, and also what would be done to the edges of the roof trim, the panels under the front bay windows, and the storefront. He said the product was not an appropriate material for the Historic District and that the historic building's identity would be lost in the process. He said the applicant didn't describe anything on the building other than the clapboards. He said he had approved vinyl siding because a lot of the building would not be lost by using vinyl. Mr. Ryan said the applicant would remove the clapboards to install the new product and there would be room for butting into the trim and so on. Mr. Gialluca said AZEK and PVC were previously proposed and that they could do the LP product line the same way. He said it wasn't the cheapest option. Mr. Wyckoff agreed with Mr. Adams and said several details were uncovered by removing the asbestos siding. He said the application was not complete because there were not enough details provided. Chair Ruedig agreed that more details were needed regarding everything that was uncovered that should remain, and it was further discussed. Mr. Wyckoff asked if the pedimented gable end between the second and third floors would be removed. Mr. Gialluca said it was metal and rotted underneath. Vice-Chair Doering said putting vinyl on the other sides would mean having a vinyl-clad house for a long time, but she thought it would do the least damage to the important parts of the building and would allow the owner to bring the rest of the building back up in the future to the way the Commission wanted it. She said the front façade was a better approach due to the cost and keeping the building's materials intact until the applicant was able to do the building the justice it deserved. She said she would hate to lose some of the important features of the building just because the Commission did not want to put up with a little bit of vinyl. Chair Ruedig asked if there was a solution for the front window. Mr.

Gilbo said the intent was to replace the double hung windows with a single double hung 2/2 window that would match the previously-approved windows on the side.

Chair Ruedig suggested that the Commission vote on the LP siding. She said she was hesitant to use that for the trim work because it was not as smooth as what trim should be, but at least it was flat, smooth, and paintable. She said she was also hesitant about the LP siding because it had trouble in the past, but she hoped the manufacturer had figured out how to fix the problems. She said it was still a new product and there were issues that the Commission didn't know about and that it had not been tested over time. She asked if it came finished. Mr. Gialluca said it did. Chair Ruedig said she hoped it would get smoother over time with more paint added to it because it looked fake. She said she would prefer to have AZEK for any trim that needed to be replaced and preserve the panels under the windows. She said the water table needed to be redone. Mr. Adams asked what roofing material on the two bay windows was proposed, and Mr. Gialluca said they proposed asphalt. Mr. Adams asked if there was an edging material on the asphalt. Mr. Gialluca said it had already been roofed and the roof on the header of the center double door had been done. Mr. Adams asked if the applicant intended to do any work on the doorway, the brackets, and so on. Mr. Gialluca said only the portions that had rotted would be done and the front steps and railings would be left the same. Mr. Adams asked about the storefront. Mr. Gialluca said the storefront wasn't part of the project. He said the addition on the back of the building would remain and would be painted to match the new siding and that a heating unit would be installed on the side of it.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

[Timestamp 1:47:20]

*Councilor Blalock moved to **grant** the Certificate of Approval for the petition as presented, with the following **stipulations**:*

- 1. Any trim that needs to be replaced, may be replaced with AZEK;*
- 2. All original features shall be saved; except where repair is needed.*
- 3. The paneling under the window shall be recreated with the new material;*
- 4. The window facing Islington Street shall become a single double hung 2/2 lite window.*
- 5. If the applicant wished to install screens, they shall be half-screens; and*
- 6. The shelf that makes the pediment on the gable ends shall be kept and repaired or replaced in kind.*

Dr. Brown seconded the motion.

[Timestamp 1:48:49] Mr. Ryan asked if the features would be saved or replaced with the new materials. Mr. Gialluca said all the features that were intact would be saved.

Councilor Blalock said the project would conserve and enhance property values and would have compatibility of design with surrounding properties. He noted that the property was not in Market Square and did not have heavy foot traffic and was also part of the new Historic District. He said it might be a good opportunity to see if the material truly worked and that he had confidence that the applicant would do what he said he would do.

Mr. Wyckoff said the Commission did not mention that the 6-inch material would be used instead of the 8-inch material and that the smooth surface would be used instead of the wood grain surface.

Vice-Chair Doering said she could not support the motion because she thought too much of the structure was at risk of being replaced in a way that was not true to the nature of the building. She said the Commission offered options that would allow the applicant to live in the building yet still meet some of the Commission's important criteria. She said she could not see changing the building as proposed and using the proposed material at this time. Chair Ruedig said the change meant the removal of the painted sign on the side of the building, which was also historic. She said she would mourn its loss, which was why she would prefer to see it covered in vinyl to preserve it. She said she also hoped there would be documentation of the sign given to the Portsmouth Athenaeum before it was removed. Mr. Adams noted that the faux window on the right-hand side of the building that was closed during construction had not been mentioned.

*The motion **passed** by a roll call vote of 4-3, with Vice-Chair Doering, Mr. Adams, and Chair Ruedig voting in opposition.*

IV. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **Frederick and Sandra Wiese Revocable Trust, owners**, for property located at **138 Gates Street**, wherein permission is requested to allow exterior renovations to an existing structure (modifications to an originally approved design -- changes to the siding and the omission of water table trim) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 54 and lies within the General Residence B (GRB) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 1:57:47] Project architect Anne Whitney was present on behalf of the applicant. She said the owners would like to keep the building as it was now, but if the Commission preferred, the owners could reinstate the mud sill by removing the lower two clapboards and putting in a 5/4" flashed mud sill on the front and right sides.

Chair Ruedig said the quality of the work was not the issue because it was well done. She said the issue was that there was a change to the design and to the approval that was not the intention of the approval. Mr. Wyckoff said he was glad a compromise was decided on, but one of the

problems he had with the way the project had been done was that it looked brand new sitting on an old foundation. He said the mud sill would not have a cap or anything, so any references to older ways of doing things would be forgotten. Ms. Whitney said they would be recreating something that they didn't know was there and that the mud sills that were there were different sizes and flat stock. Mr. Ryan said the project was closer to what the Commission originally approved, so he thought it was appropriate. He asked that the sills be installed. Vice-Chair Doering said what the contractor did could not be undone, but she objected to the fact that the contractor made decisions without coming back before the Commission. Ms. Whitney said the installation was just slightly bigger than the varied siding that was already there and that she thought the contractor was doing what he thought was best for the building. Vice-Chair Doering said contractors that work in the Historic District should be aware that when the Commission approved a project, it was because of the way it was drawn and described and that it should be done that way, otherwise the applicant should return for approval if a change was necessary.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

*Vice-Chair Doering moved to **grant** the Certificate of Approval for the petition as presented, seconded by Mr. Wyckoff.*

Vice-Chair Doering said the project would conserve and enhance property values and would have compatibility of design with other surrounding properties, just not the applicant's property

Mr. Ryan said he agreed with Vice-Chair Doering's comments. He said the applicant's proposal was to replace with the exposure in kind and that he did not think the Commission would have objected if the applicant said the exposure was going to be straightened out. He said there had to be some accounting for the applicant not following the Commission's decision. Councilor Blalock thanked the applicant for coming back when they didn't have to.

*The motion **passed** by a vote of 6-1, with Mr. Adams opposed.*

Mr. Adams said he remained opposed to people erasing pieces of Portsmouth's history and thought the building's clapboards were probably the original ones.

V. WORK SESSIONS (OLD BUSINESS)

A. REQUEST TO POSTPONE- Work Session requested by **Kevin Shitan Zeng Revocable Trust of 2017, owner**, for property located at **377 Maplewood Avenue**, wherein permission is requested to allow the demolition of the rear structure on the lot and the new construction of a detached accessory dwelling unit as per plans on file in the Planning

Department. Said property is shown on Assessor Map 141 as Lot 22 and lies within the General Residence A (GRA) and Historic Districts.

DECISION OF THE COMMISSION

The request to postpone was **denied**.

B. REQUEST TO POSTPONE- Work Session requested by PNF Trust of 2013, owner, for property located at 266-278 State Street, wherein permission is requested to allow the construction of a new four-story building, as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lots 78, 79, 80 and lies within Character District 4 (CD-4), Downtown Overlay and the Historic Districts.

DECISION OF THE COMMISSION

The request to postpone was **denied**.

[Timestamp 2:07:08] Other topics were discussed. Dr. Brown said there had been tough issues with solar panels and that applicants had asked for forgiveness instead of approvals. He said he drove around the south end and saw that the residents had listened to the Commission in general and had done some great things, so he thought the Commission was doing a good job. Mr. Ryan said the Commission should dismiss more incomplete applications so that the applicants could do their homework and return when they were ready. Dr. Brown said the screening of administrative approvals should be tougher and that it didn't serve the applicants well to have them return several times. Vice-Chair Doering said the City should have a list that abutters of projects could put their names on until the project was completed so that they could keep track of the project and be notified of any continuances.

VI. ADJOURNMENT

The meeting adjourned at 8:45 p.m.

Submitted,

Joann Breault
HDC Meeting Minutes Taker

HDC

ADMINISTRATIVE

APPROVALS

January 08, 2025

- | | | |
|-----------|--|------------------------------|
| 1. | 33 Jewell Court | -Recommended Approval |
| 2. | 93 Pleasant Street | -Recommended Approval |
| 3. | 50 South School Street, Unit #4 | -Recommended Approval |
| 4. | 254 South Street | -Recommended Approval |
| 5. | 2 Russell Street | -Recommended Approval |

1. 33 Jewell Court

-Recommended Approval

Background: The applicant is seeking approval for the removal of (2) windows and the installation of (2) louvers.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

December 13, 2024

Mrs. Reagan Ruedig
Chair of the Historic District Commission
City of Portsmouth, NH
1 Junkins Ave, 3rd Floor

Re: Historic District Commission Administrative Approval – LUHD-851

Dear Mrs. Ruedig and Commission Members,

On behalf of the property owner of 33 Jewell Court Unit S1 Portsmouth, New Hampshire, we would like to present the following design options in response to the request for more information regarding the replacement of two existing windows facing away from Islington Street. These windows will be replaced with two mechanical louvers appropriately sized per code requirements to provide adequate ventilation due to a change of use from office space to an event venue. The following package contains an explanation of the required free area size from the mechanical engineer, details of the replacement, and findings from further examination of the existing openings.



Exterior image of existing window (above)

After further evaluation, it has been identified that the existing windows are not original to the building. The original windows were replaced in 1997 with 6 over 6 Harvey Wood Double Hung windows. These windows, as they currently exist, do not have any curved frame elements. The arched portion of the window is wood infilled and not apart of the frame. The louvers proposed within the package will be custom sized to fit within the openings as detailed. Within the louver cut sheet portion of the package, the "Free Area Chart" illustrates standard sized louvers and their corresponding free areas. The free area correlates to the amount of area within the louver that is "open" for ventilation. This

number is less than the overall area of the louver because it removes the amount of square footage that is solid not allowing any air to “flow”. A 30” Wide by 48” Tall louver is the most similar in size to the proposed louvers within all of the options. After this assessment and coordination with the mechanical engineer we are presenting the following four options.

Option 01: Design team preferred option for weather tightness and aesthetics. The existing window sashes and frames would be removed as previously proposed on December 4th. The existing infilled arched head element would remain in place and the opening would be filled with the proposed louver with an attached flange. The exterior face of the louver will align in the same plane as the removed top sash of the window. This louver provides slightly more free area than required but was selected to fit more appropriately into the existing opening without providing excess infill or requiring the enlargement of the masonry opening. Sheet A4 provides details regarding this approach.

Option 02: The existing sashes of the windows will be removed. The existing infilled arched portion of the opening and window frame will remain in place. The clear dimension of the existing window frame is 29 ¼” wide by 49 ¾” tall. The louver for this option would be custom sized to fit within this frame. To avoid exposing the interior portion of the window frame to exterior elements (rain and snow), the exterior face of the louver will align in the same plane as the removed bottom sash of the window. Portsmouth Architects is concerned with weather tightness with this approach due to fact this is an unusual construction detail. Below is a rendering done by the contractor illustrating the louver. This rendering illustrates only 1 of the openings being replaced to be compared to the adjacent existing opening, it is still our intention to replace both windows. Sheet A5 provides details regarding this approach.



Option 03: The contractor has proposed this third approach, only if the board requires it. The goal is to replicate the top and bottom sashes of the window in aluminum without any glass panes to provide the illusion of a double hung window with the louver located

directly behind the replicated bottom sash. Below is a rendering done by the contractor illustrating this approach. Details for this option would be similar to Option 02 with the replicated sashes at the exterior of the louver. Portsmouth Architects has the same weather tightness concerns as Option 02 with this approach. This rendering illustrates only 1 of the openings being replaced to be compared to the adjacent existing opening, it is still our intention to replace both windows.



On Sheet A2 of the package you will find images of the adjacent 110 Brewery Lane project, also known as the Frank Jones Brewery. These images illustrate an approach we are attempting to avoid by reusing the existing window openings. You will see in these images openings that have been cut into the existing masonry for a flush louver finish and the immediate brick was repointed clearly identifying these openings as non-original. The approach we are taking would allow, if there is any change to the buildings use in the future, to revert the openings back to windows without harming the existing masonry. While this is an example of the precedent of louvers being installed in the immediate area, it is also a valuable image representing what we are trying to avoid.

Option 04: This option would keep the two existing windows in place and align two new masonry openings for the louvers directly below them. This particular option allows for the smallest standard sized louver that meets the ventilation requirements laid out by the mechanical engineer. Sheet A6 illustrates the locations and sizes of these louvers. This option would allow for more interior light into the space and would keep the existing windows in place, however, it is the most destructive to the building and is not recommended by the design team.

Our goal is to provide the least impactful proposal for approval. We define this as limiting visual impacts to the public and avoiding significant changes to the building's character such as roof top mounted equipment, goose neck duct penetrations, or large vents, new masonry openings, modifications to the existing cupolas, etc. Options 01-03 achieve this while Option 04 maintains the windows with two new louver openings. Portsmouth

Architects and ownership believe that this is the most appropriate path to provide the required ventilation louvers.

Thank you for your consideration and input on which option the team should move forward with.

Best Regards,
Richard Desjardins, AIA

A handwritten signature in black ink, appearing to read 'RD Desjardins', with a long horizontal flourish extending to the right.

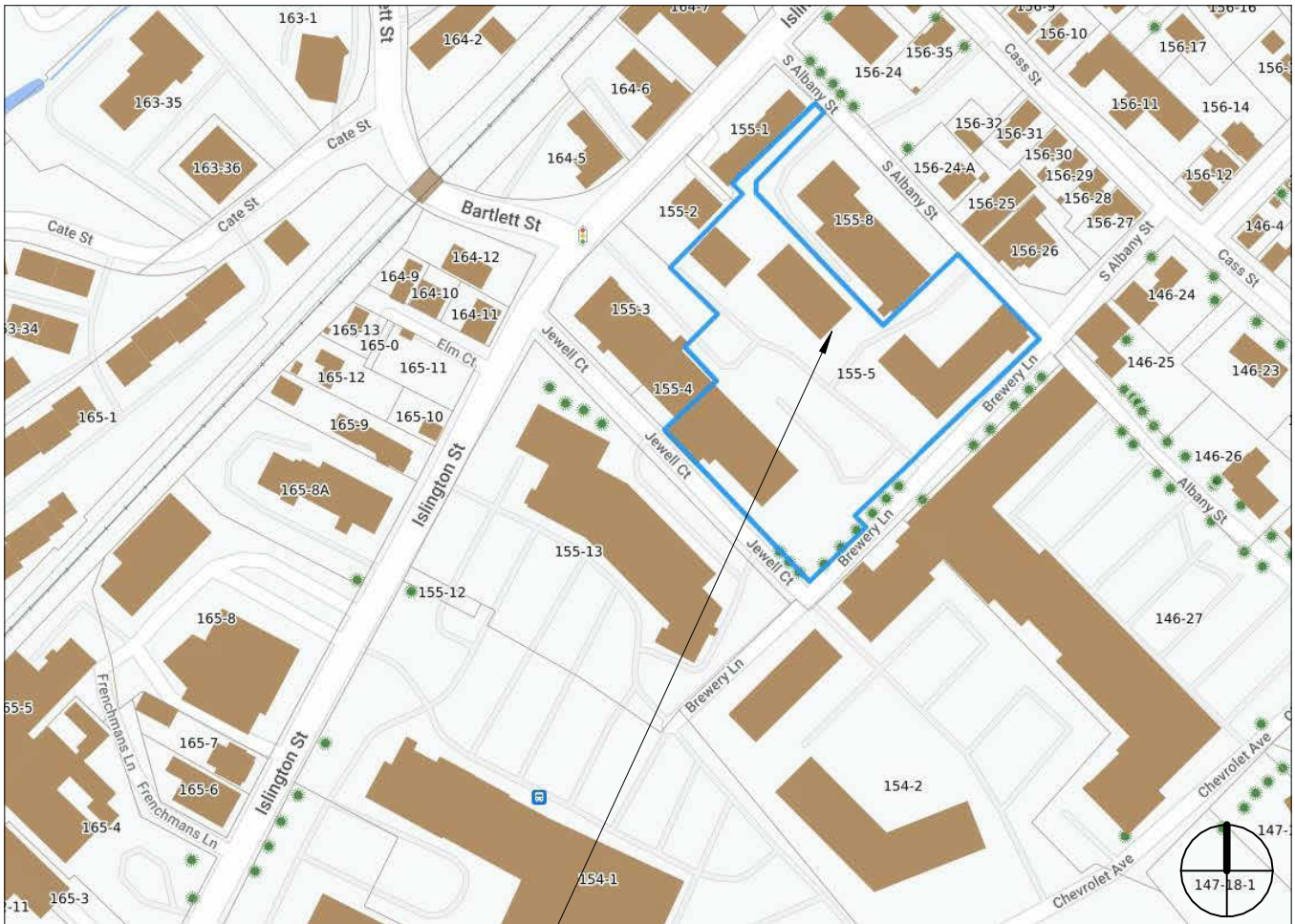
Architect | Portsmouth Architects
(603) 430-0274

FUNCTION HALL RENOVATION

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL -
JANUARY 2025 PORTSMOUTH, NEW HAMPSHIRE

GENERAL PROJECT DESCRIPTION:

- TWO EXISTING WINDOWS ON THE SOUTH-EAST ELEVATION ARE TO BE REMOVED AND REPLACED WITH TWO MECHANICAL LOUVERS, PAINTED BLACK TO MATCH THE EXISTING WINDOWS. THESE ARE REQUIRED FOR THE UPGRADED MECHANICAL SYSTEM DUE TO THE CHANGE OF USE.



33 JEWELL COURT
PORTSMOUTH, NEW HAMPSHIRE 03801

© 2024 Portsmouth Architects

FUNCTION HALL RENOVATION

33 JEWELL COURT
PORTSMOUTH, NH 03801

COVER

4 Market Street
Portsmouth, New Hampshire
603.430.0274

brought to you by
McHENRY ARCHITECTURE



Project Number: 24064

Date: 12/13/2024

Drawn By: RD

Checked By: MG

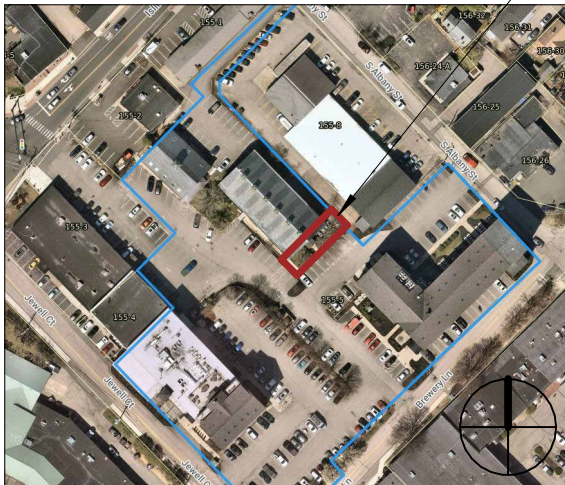
C

Scale



TWO EXISTING WINDOWS TO BE REPLACED WITH LOUVERS, PAINTED BLACK TO MATCH WINDOWS

RED RECTANGLE REPRESENTS SCOPE OF WORK AT SOUTH-EAST ELEVATION



© 2024 Portsmouth Architects

FUNCTION HALL RENOVATION
33 JEWELL COURT
PORTSMOUTH, NH 03801

EXISTING PHOTOS AND AERIAL

4 Market Street
 Portsmouth, New Hampshire
 603.430.0274

brought to you by
McHENRY ARCHITECTURE



Project Number: 24064

Date: 12/13/2024

Drawn By: RD

Checked By: MG

A1

Scale



© 2024 Portsmouth Architects

FUNCTION HALL RENOVATION

**33 JEWELL COURT
PORTSMOUTH, NH 03801**

**EXISTING LOUVERS AT 110 BREWERY LANE
(ADJACENT TO 33 JEWELL COURT)**

4 Market Street
Portsmouth, New Hampshire
603.430.0274

brought to you by
McHENRY ARCHITECTURE



Project Number: 24064

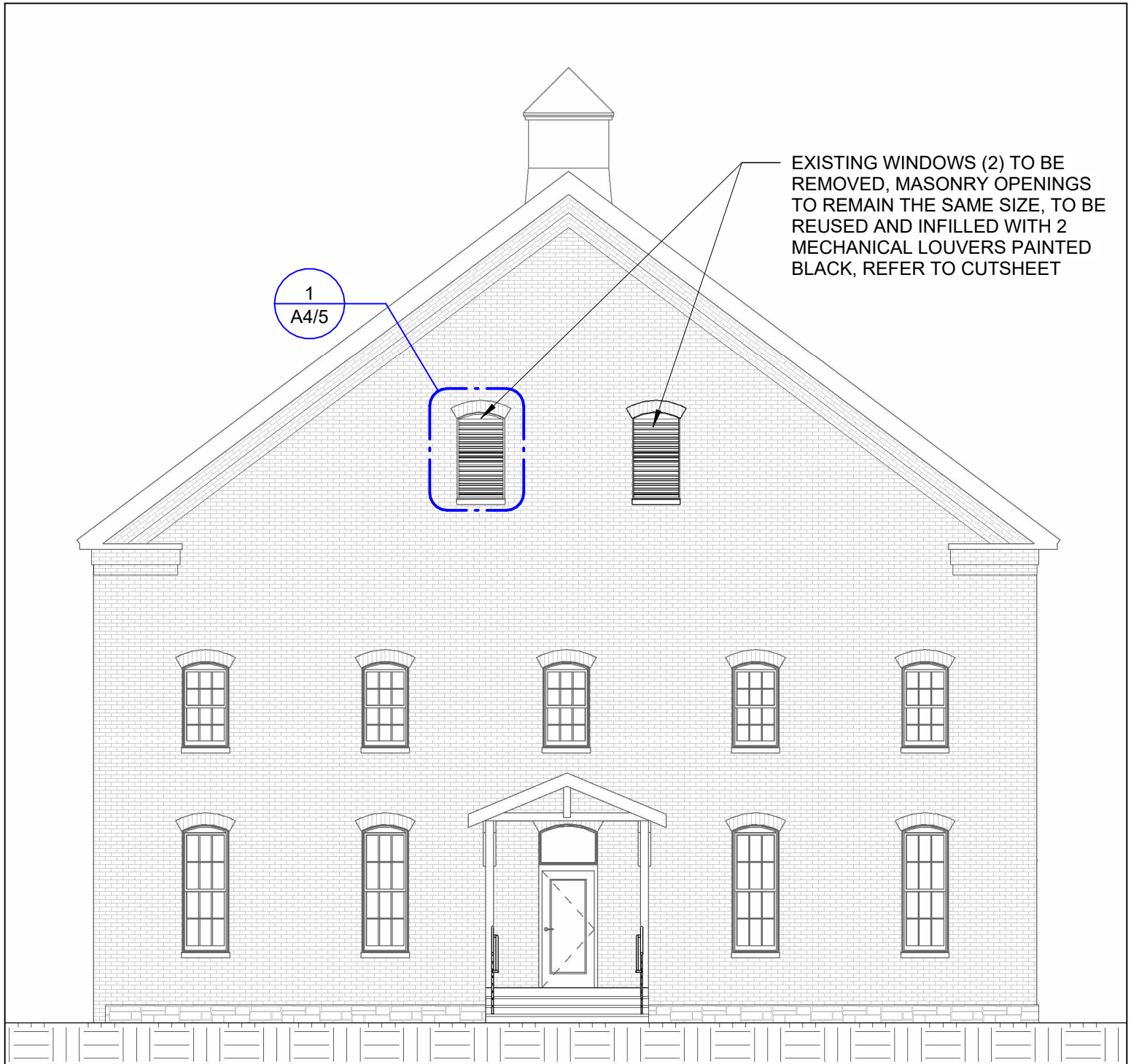
Date: 12/13/2024

Drawn By: RD

Checked By: MG

A2

Scale



EXISTING WINDOWS (2) TO BE REMOVED, MASONRY OPENINGS TO REMAIN THE SAME SIZE, TO BE REUSED AND INFILLED WITH 2 MECHANICAL LOUVERS PAINTED BLACK, REFER TO CUTSHEET

1
A4/5

© 2024 Portsmouth Architects

FUNCTION HALL RENOVATION
33 JEWELL COURT
PORTSMOUTH, NH 03801

PROPOSED SOUTH-EAST ELEVATION

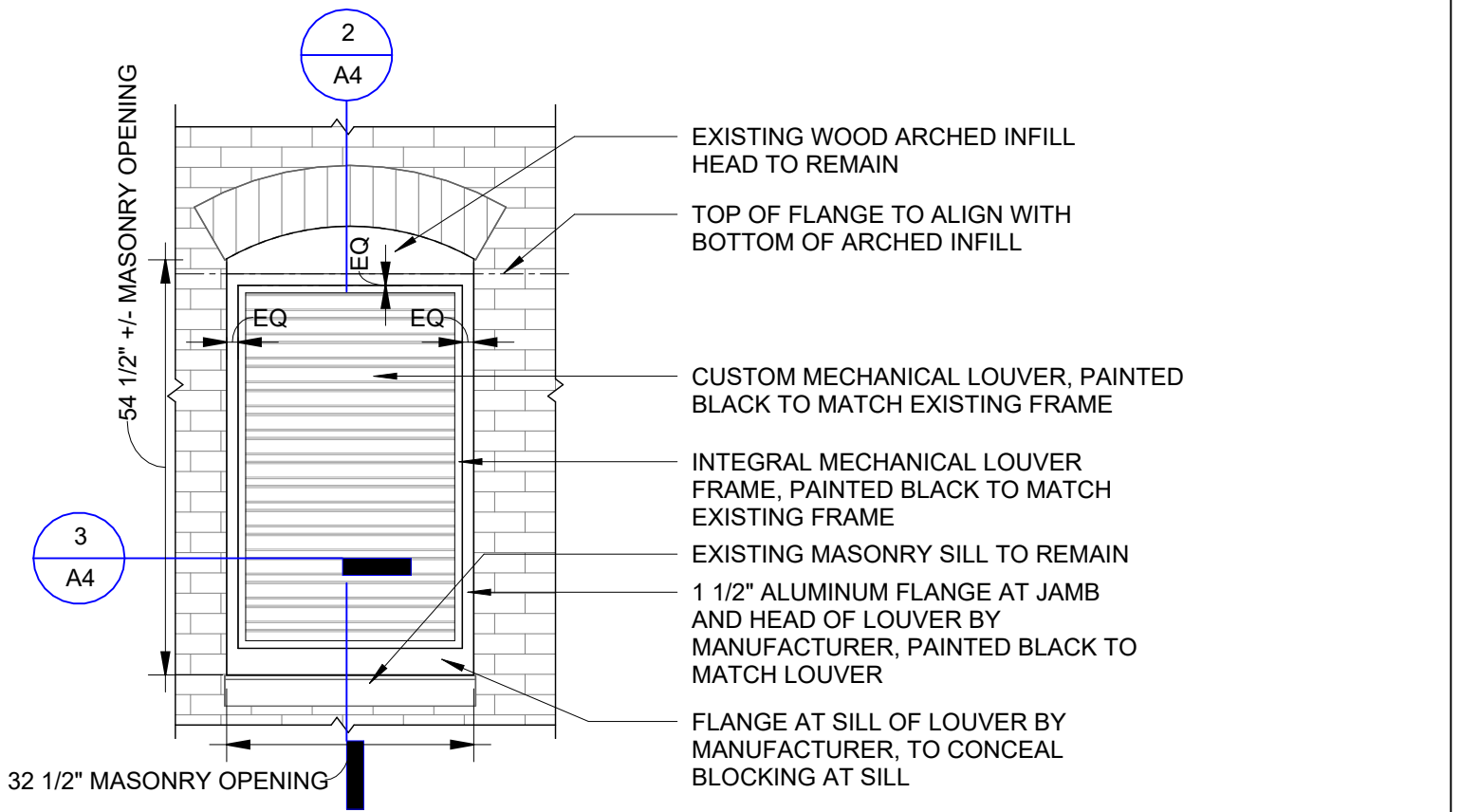
4 Market Street
Portsmouth, New Hampshire
603.430.0274

brought to you by
McHENRY ARCHITECTURE

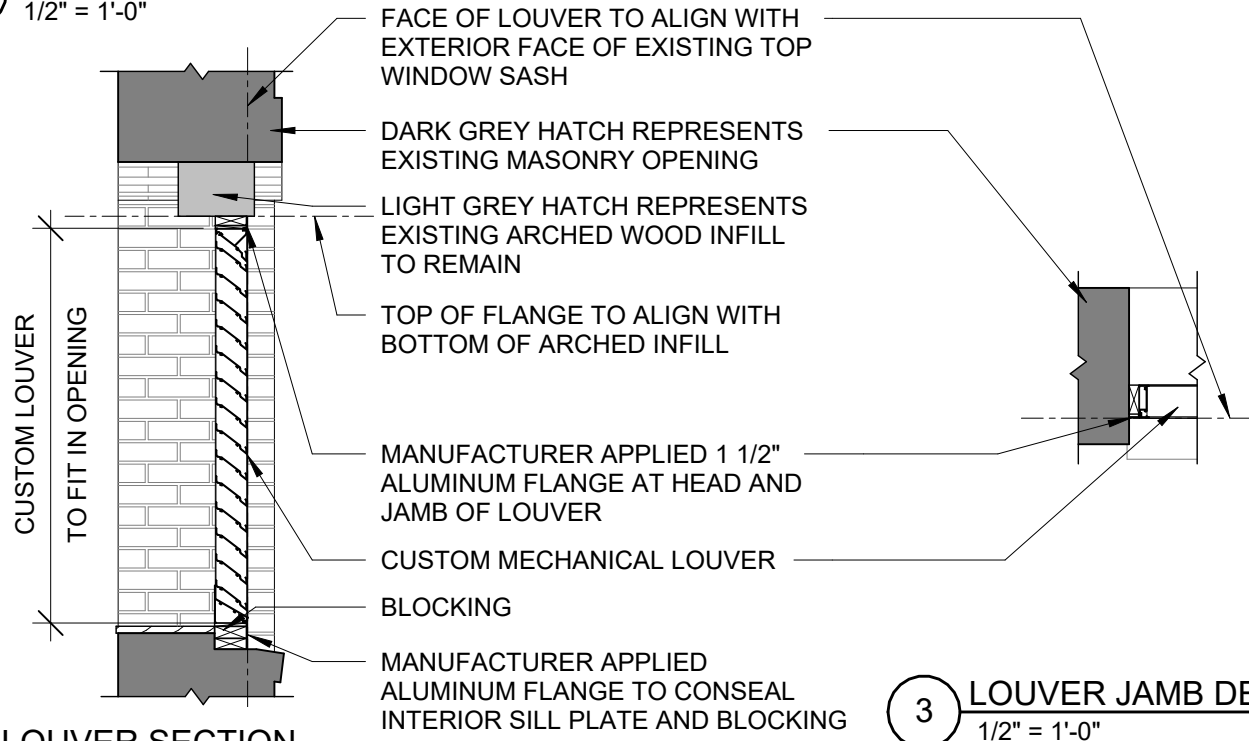


| | |
|-----------------|------------|
| Project Number: | 24064 |
| Date: | 12/13/2024 |
| Drawn By: | RD |
| Checked By: | MG |

| |
|--------------------|
| A3 |
| Scale 1/8" = 1'-0" |




1 ENLARGED ELEVATION AT LOUVER
1/2" = 1'-0"

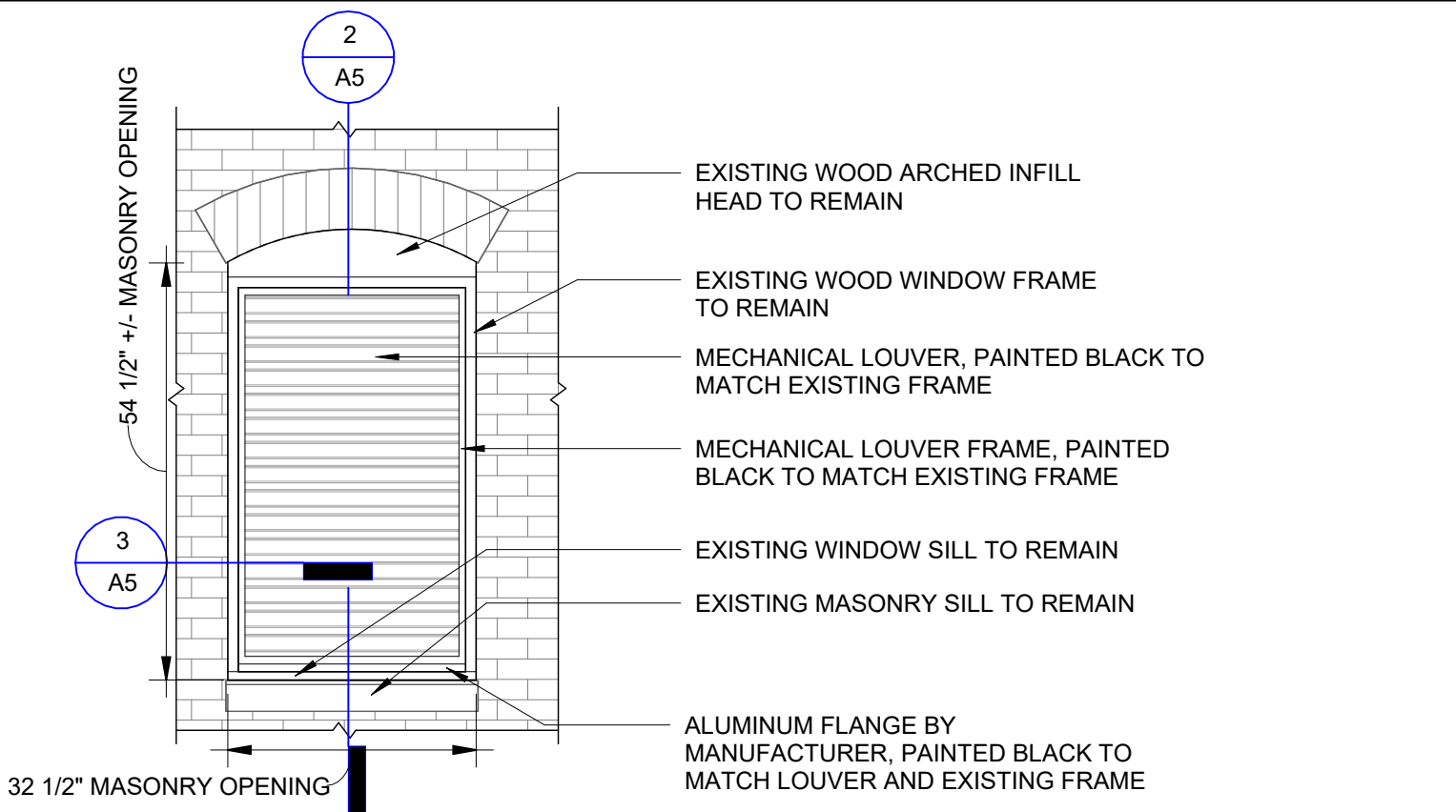


2 LOUVER SECTION
1/2" = 1'-0"

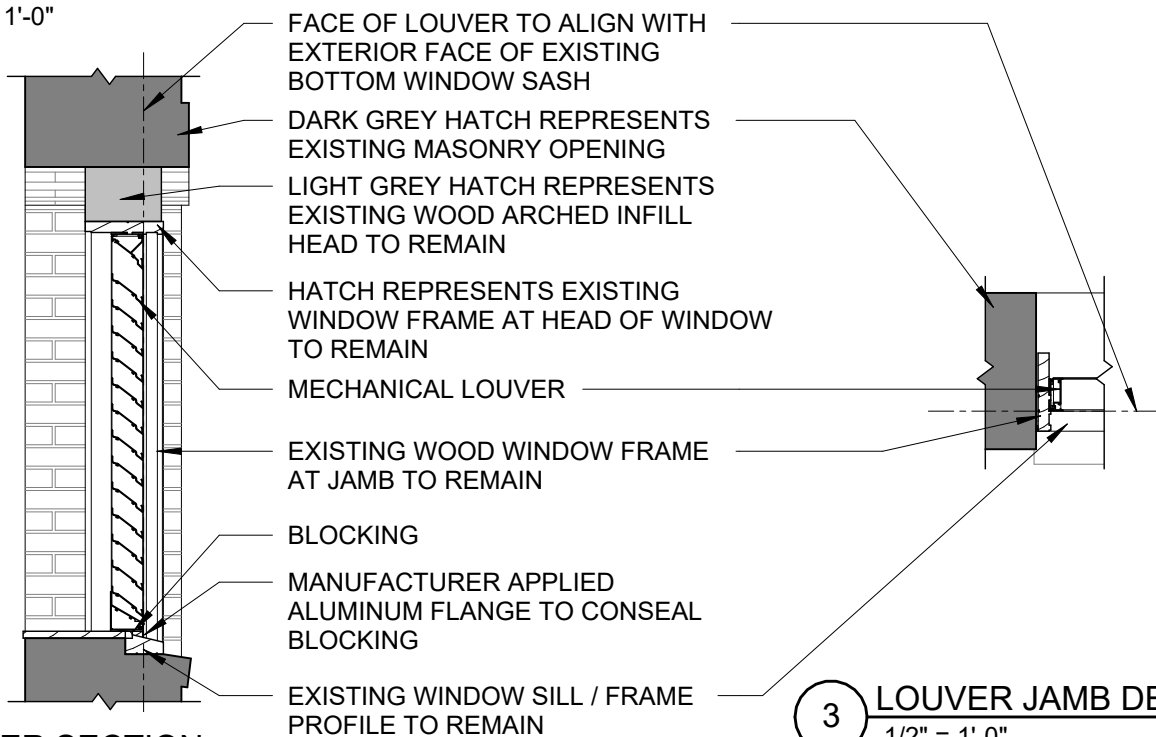
3 LOUVER JAMB DETAIL
1/2" = 1'-0"

© 2024 Portsmouth Architects

| | | |
|--|--|---|
| FUNCTION HALL RENOVATION 33 JEWELL COURT PORTSMOUTH, NH 03801 | 4 Market Street Portsmouth, New Hampshire 603.430.0274 brought to you by McHENRY ARCHITECTURE  | |
| | OPTION 01 - OPENING DETAILS | Project Number: 24064 Date: 12/13/2024 Drawn By: RD Checked By: MG |
| | | A4 Scale 1/2" = 1'-0" |



1 ENLARGED ELEVATION AT LOUVER
1/2" = 1'-0"



2 LOUVER SECTION
1/2" = 1'-0"

© 2024 Portsmouth Architects

FUNCTION HALL RENOVATION
33 JEWELL COURT
PORTSMOUTH, NH 03801

OPTION 02 - OPENING DETAILS

4 Market Street
Portsmouth, New Hampshire
603.430.0274

brought to you by
McHENRY ARCHITECTURE



Project Number: 24064

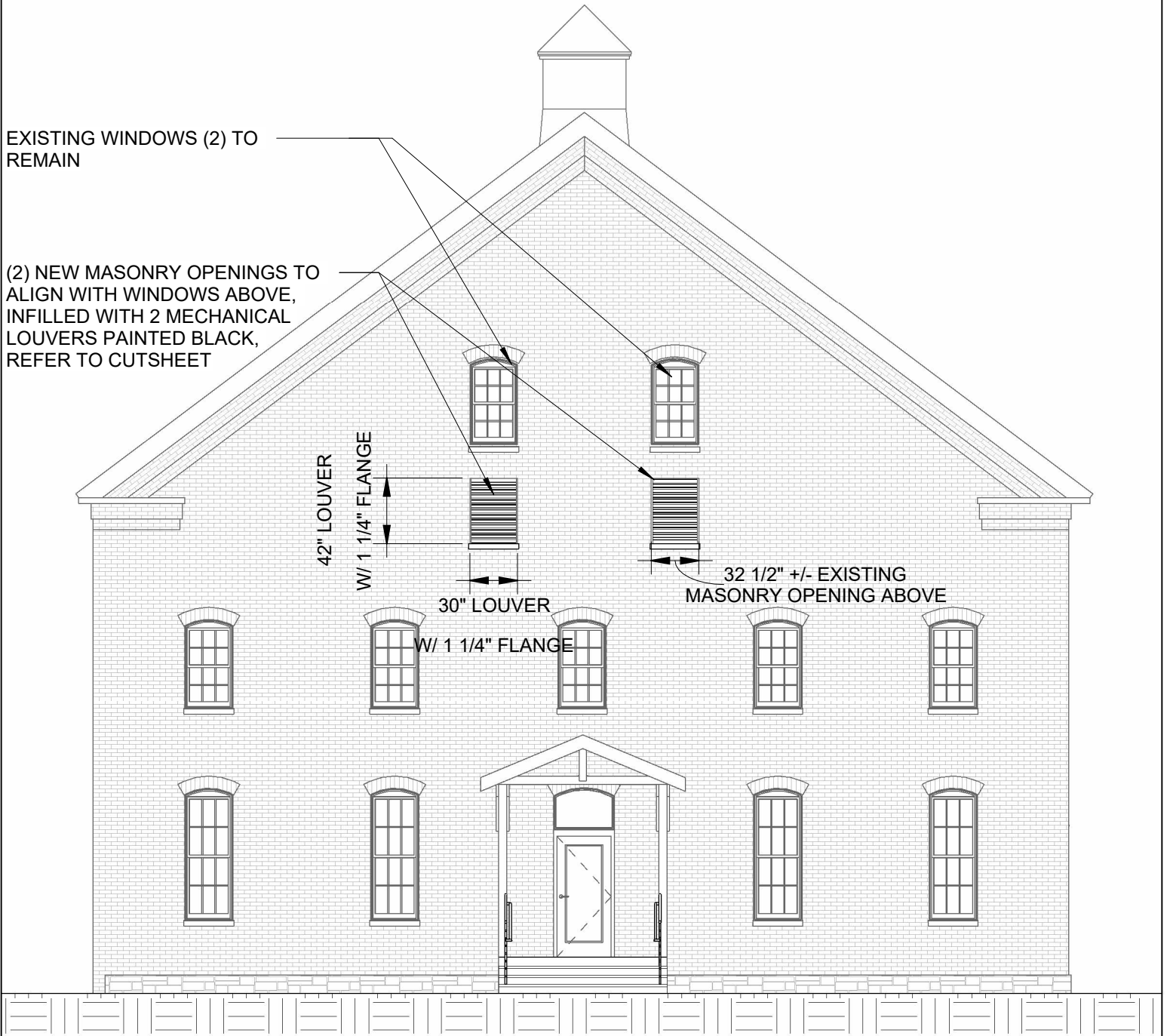
Date: 12/13/2024

Drawn By: RD

Checked By: MG

A5

Scale 1/2" = 1'-0"



© 2024 Portsmouth Architects

FUNCTION HALL RENOVATION

**33 JEWELL COURT
PORTSMOUTH, NH 03801**

OPTION 04 - SOUTH-EAST ELEVATION

4 Market Street
Portsmouth, New Hampshire
603.430.0274

brought to you by
McHENRY ARCHITECTURE



Project Number: 24064

Date: 12/13/2024

Drawn By: RD

Checked By: MG

A6

Scale 1/8" = 1'-0"



DESIGN DAY Mechanicals Inc

December 6, 2024

Richard Desjardins
Portsmouth Architects

Re: Louver Sizing
33 Jewell Court
Portsmouth, NH

To satisfy the ventilation requirements of the International Mechanical Code this facility will require 2625 CFM of fresh air during maximum occupancy. Please see the ventilation calculations provided in the Excel chart.

When this quantity of outside air is being introduced the building would develop a positive pressure which may prevent doors from closing or other undesired effects. A second relief louver is therefore added to allow this air to escape in a controlled manner

We select louvers for an air velocity of approximately 600-625 Feet Per Minute (FPM). This air velocity allows the louver to operate properly in rain and snow. If you increase the velocity beyond this point the air can draw moisture into the ductwork

The calculation for minimum louver free area is as follows:

$$2625 \text{ CFM} / 600 \text{ FPM} = 4.375 \text{ SQ FT}$$

$$2625 \text{ CFM} / 625 \text{ FPM} = 4.200 \text{ SQ FT}$$

I have provided a submittal for a Greenheck ESD-435 intake louver. There are multiple louver sizes available with a free area of 4.2 SQ FT or greater. Any of these louver sizes will be acceptable to service the HVAC system. The final louver dimensions can be chosen to fit the aesthetics of the building.

Sincerely,

A handwritten signature in black ink that reads 'Dave C. Magnuson'.

David C Magnuson
Project Manager
Email: DaveM@DesignDayMech.com
Phone: (603) 463-1086

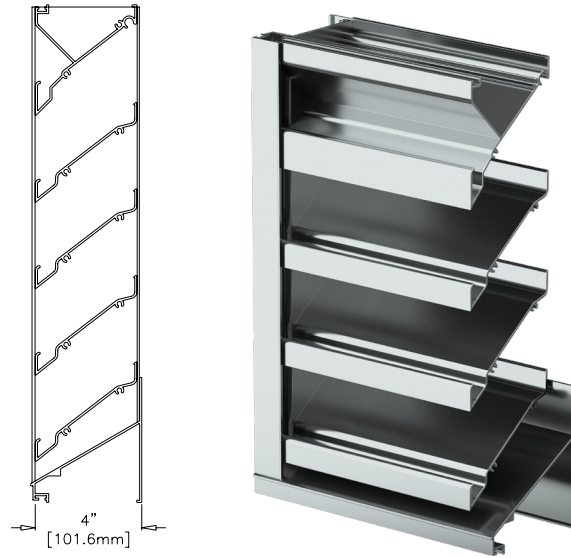
| | A | B | C | D | E |
|----|-------------------------------------|------------------|----------------------------------|--|---------------------|
| 1 | Jewell Court | | | | |
| 2 | Ventilation Calculations & Airflows | | | | |
| 3 | | | | | |
| 4 | | | | | |
| 5 | ROOM # | ROOM NAME | OCCUPANCY CLASSIFICATION | OCCUPANT DENSITY | # OF OCCUPANTS (Pz) |
| 6 | | | | [#/1000 Ft ²] | [People] |
| 7 | 200-201 | Function | DINING ROOMS | 70 | 200 |
| 8 | 203&205 | Hall | OFFICE SPACES | 5 | |
| 9 | 204 | Catering Kitchen | KITCHENS (COOKING) | 20 | 6 |
| 10 | 206 | Men | TOILET ROOMS — PUBLIC (CONSTANT) | | |
| 11 | 207 | Women | TOILET ROOMS — PUBLIC (CONSTANT) | | |
| 12 | 208 | Office | OFFICE SPACES | 5 | 2 |
| 13 | | | | | |
| 14 | | | | AHU-1 & 2 Totals | 208 |
| 15 | | | | Actual Total People At Any One Time | 208 |
| 16 | | | | | |
| 17 | | | | | |
| 18 | | | | | |

| | F | G | H | I | J | K | L | M | |
|----|---|---------------------------------|---------------------------------|----------------------------|-------------------------------|---------------------------------------|--|---|-------------|
| 1 | Per 2021 IMC Chapter 4 & ASHRAE 62.1-2016 | | | | | | | | |
| 2 | | | | | | | | | |
| 3 | | | | | | | | | |
| 4 | OUTSIDE AIR REQUIREMENTS | | | | | | | | |
| 5 | PEOPLE OA AIRFLOW RATE (Rp) | PEOPLE OA AIRFLOW (Rp*Pz) | AREA OA AIRFLOW RATE (Ra) | ZONE FLOOR AREA (Az) | AREA OA AIRFLOW (Ra*Az) | BREATHING ZONE OA AIRFLOW (Vbz) | AIR DISTRIBUTION EFFECTIVENESS (Ez) | ZONE OA AIRFLOW REQUIRED (Voz) | |
| 6 | [CFM/Person] | [CFM] | [CFM/Ft ²] | [Ft ²] | [CFM] | [CFM] | | [CFM] | |
| 7 | 7.5 | 1500 | 0.18 | 3,969 | 714 | 2214 | 0.8 | 2768 | |
| 8 | 5.0 | | 0.06 | 426 | 26 | 26 | 0.8 | 32 | |
| 9 | 7.5 | 45 | 0.12 | 289 | 35 | 80 | 0.8 | 100 | |
| 10 | | | | 149 | | | 0.8 | | |
| 11 | | | | 158 | | | 0.8 | | |
| 12 | 5.0 | 10 | 0.06 | 45 | 3 | 13 | 0.8 | 16 | |
| 13 | | | | | | | | | |
| 14 | | 1555 | | 5,036 | 777 | | 0.8 | 2915 | |
| 15 | | | | | | | | | |
| 16 | | | | | | IMC Requirements | | | |
| 17 | | | | | | EV | D | Vou | Vot |
| 18 | | | | | | 0.89 | 1.00 | 2332 | 2613 |

| | N | O | P | Q | R | S | T | U | V |
|----|----------------------|----------------|----------------------------|----------------------------|-----------------|-----------------|------------|-----------|--|
| 1 | | | | | | | | | |
| 2 | | | | | | | | | |
| 3 | | | | | | | | | |
| 4 | EXHAUST REQUIREMENTS | | | | | | | | |
| 5 | SUPPLY Vpz | ZP | AREA EA AIRFLOW RATE | FIXTURE EA AIRFLOW RATE | QTY FIXTURES | CFM REQUIRED | ACTUAL EA | ACTUAL RA | Notes |
| 6 | [CFM] | | [CFM/ft ²] | [CFM/Fixture] | [#] | [CFM] | [CFM] | [CFM] | |
| 7 | 10750 | 0.26 | | | | | | | |
| 8 | 400 | 0.08 | | | | | | | DEMAND CONTROLLED VENTILATION REQUIRED |
| 9 | 750 | 0.13 | 0.7 | | | 202 | 250 | | |
| 10 | | | | 50 | 3 | 150 | 150 | | |
| 11 | | | | 50 | 3 | 150 | 150 | | |
| 12 | 100 | 0.16 | | | | | | | |
| 13 | | | | | | | | | |
| 14 | 12000 | 0.26 | | | | | | | |
| 15 | | | | | | | | | |
| 16 | Min OA | Max OA | | | | | | | |
| 17 | | 2,625.0 | | | | | | | |
| 18 | | | | | | | | | |

Standard Construction

| | |
|------------------------------------|---|
| Frame | Heavy gauge extruded 6063-T5 aluminum, 4 in. (102 mm) x 0.081 in. (2 mm) nominal wall thickness |
| Blades | Drainable design, heavy gauge extruded 6063-T5 aluminum, 0.081 in. (2 mm) nominal wall thickness, positioned 37.5° on approximately 3-1/4 in. (83 mm) centers |
| Louver Depth | 4 in. (102 mm) |
| Construction | Mechanically fastened |
| Finish | Mill |
| Minimum Size | 12 in. W x 9 in. H (305 mm W x 229 mm H) |
| Maximum Single Section Size | 120 in. W x 120 in. H (3048 mm W x 3048 mm H) Limited to 70 sq. ft. (6.5 sq. m) |
| Wind Load | 25 PSF (1.2 kPa) |



Performance Ratings



Greenheck Fan Corporation certifies that the ESD-435 louvers shown herein are licensed to bear the AMCA Seal. The ratings shown are based on tests and procedures performed in accordance with AMCA Publication 511 and comply with the requirements of the AMCA Certified Ratings Program. The AMCA Certified Ratings Seal applies to Water Penetration and Air Performance ratings.

Louvers were tested in accordance with AMCA Standard 500-L.

Performance of 48 in. x 48 in. (1219 mm x 1219 mm) Louver

| | |
|--|-------------------------------------|
| Free Area | |
| Area | 8.92 sq. ft. (0.829 sq. m) |
| Percent | 55.8% |
| Performance at Beginning Point of Water Penetration | |
| Free Area Velocity | 989 fpm (5.024 m/s) |
| Max Intake Volume | 8,822 cfm (4.163 m ³ /s) |
| Performance at 6,000 CFM (2.832 m³/s) Intake | |
| Pressure Drop | 0.073 in. wg (0.018 kPa) |

Document Links

[Louver Finishes & Colors](#)

[Louver Product Selection Guide](#)

[Louver Products Catalog](#)

[Louver Warranty Statement](#)

Options and Accessories

- [Bird Screen](#)
- [Blank Off Panels](#)
- [Extended Sill](#)
- [Filter Rack/Filter](#)
- [Flange Frame](#)
- [Glazing Frame](#)
- [Hinged Frame](#)
- [Insect Screen](#)
- [Mounting Angles](#)
- [Security Bars](#)
- [Variety of Architectural Finishes](#)
- Welded Construction
- 0.125 in. (3 mm) Nominal Frame and/or Blade Thickness

Standard Details

[ESD-435 Standard Details](#)

Structural reinforcing members may be required to adequately support and install multiple louver sections within a large opening. Structural reinforcing members along with any associated installation hardware is not provided by Greenheck unless indicated otherwise by Greenheck. Options and accessories including, but not limited to, screens, filter racks, louver doors, and blank off panels are not subject to structural analysis unless indicated otherwise by Greenheck.

Free Area Chart

Free Area Chart shows free area in square feet and square meters.

LOUVERS LOCATED IN PURPLE AREA WOULD REQUIRE EXCESS OPENING INFILL

| Louver Height Inches (Meters) | Louver Width in Inches (Meters) | | | | | | | | | | | | | | | | | | |
|-------------------------------|---------------------------------|------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|
| | 12 | 18 | 24 | 30 | 36 | 42 | 48 | 54 | 60 | 66 | 72 | 78 | 84 | 90 | 96 | 102 | 108 | 114 | 120 |
| 0.30 | 0.30 | 0.49 | 0.68 | 0.87 | 1.07 | 1.26 | 1.45 | 1.59 | 1.79 | 1.98 | 2.17 | 2.36 | 2.56 | 2.70 | 2.89 | 3.08 | 3.28 | 3.47 | 3.66 |
| 0.46 | 0.54 | 0.88 | 1.23 | 1.58 | 1.93 | 2.28 | 2.62 | 2.88 | 3.23 | 3.58 | 3.93 | 4.28 | 4.62 | 4.88 | 5.23 | 5.58 | 5.93 | 6.28 | 6.62 |
| 0.61 | 0.79 | 1.30 | 1.81 | 2.32 | 2.83 | 3.33 | 3.84 | 4.23 | 4.74 | 5.25 | 5.76 | 6.27 | 6.78 | 7.16 | 7.67 | 8.18 | 8.69 | 9.20 | 9.71 |
| 0.76 | 1.04 | 1.71 | 2.38 | 3.06 | 3.73 | 4.40 | 5.08 | 5.58 | 6.26 | 6.93 | 7.60 | 8.28 | 8.95 | 9.45 | 10.13 | 10.80 | 11.47 | 12.15 | 12.82 |
| 0.91 | 1.29 | 2.13 | 2.97 | 3.81 | 4.65 | 5.49 | 6.33 | 6.96 | 7.80 | 8.64 | 9.48 | 10.31 | 11.15 | 11.78 | 12.62 | 13.46 | 14.30 | 15.14 | 15.98 |
| 1.07 | 1.55 | 2.55 | 3.55 | 4.56 | 5.56 | 6.56 | 7.57 | 8.32 | 9.32 | 10.32 | 11.33 | 12.33 | 13.33 | 14.09 | 15.09 | 16.09 | 17.10 | 18.10 | 19.10 |
| 1.22 | 1.82 | 3.01 | 4.19 | 5.37 | 6.55 | 7.74 | 8.92 | 9.81 | 10.99 | 12.17 | 13.35 | 14.54 | 15.72 | 16.61 | 17.79 | 18.97 | 20.16 | 21.34 | 22.52 |
| 1.37 | 2.08 | 3.44 | 4.79 | 6.14 | 7.49 | 8.85 | 10.20 | 11.21 | 12.56 | 13.92 | 15.27 | 16.62 | 17.97 | 18.99 | 20.34 | 21.69 | 23.04 | 24.40 | 25.75 |
| 1.52 | 2.33 | 3.85 | 5.36 | 6.87 | 8.39 | 9.90 | 11.42 | 12.55 | 14.06 | 15.58 | 17.09 | 18.61 | 20.12 | 21.26 | 22.77 | 24.28 | 25.80 | 27.31 | 28.82 |
| 1.68 | 2.58 | 4.26 | 5.94 | 7.61 | 9.29 | 10.97 | 12.64 | 13.90 | 15.58 | 17.25 | 18.93 | 20.60 | 22.28 | 23.54 | 25.21 | 26.89 | 28.57 | 30.24 | 31.92 |
| 1.83 | 2.84 | 4.68 | 6.52 | 8.36 | 10.20 | 12.05 | 13.89 | 15.27 | 17.11 | 18.95 | 20.79 | 22.64 | 24.48 | 25.86 | 27.70 | 29.54 | 31.38 | 33.22 | 35.07 |
| 1.98 | 3.09 | 5.10 | 7.10 | 9.11 | 11.11 | 13.12 | 15.12 | 16.63 | 18.63 | 20.64 | 22.65 | 24.65 | 26.66 | 28.16 | 30.17 | 32.17 | 34.18 | 36.18 | 38.19 |
| 2.13 | 3.35 | 5.53 | 7.70 | 9.88 | 12.05 | 14.23 | 16.40 | 18.03 | 20.21 | 22.38 | 24.56 | 26.73 | 28.91 | 30.54 | 32.71 | 34.89 | 37.06 | 39.23 | 41.41 |
| 2.29 | 3.64 | 6.00 | 8.37 | 10.73 | 13.09 | 15.45 | 17.82 | 19.59 | 21.95 | 24.31 | 26.67 | 29.04 | 31.40 | 2.92 | 3.11 | 3.31 | 3.51 | 3.71 | 3.91 |
| 2.44 | 3.88 | 6.40 | 8.92 | 11.44 | 13.95 | 16.47 | 18.99 | 20.88 | 23.40 | 25.91 | 28.43 | 30.95 | 33.47 | 3.11 | 3.31 | 3.51 | 3.71 | 3.91 | 4.11 |
| 2.59 | 4.13 | 6.81 | 9.49 | 12.17 | 14.85 | 17.53 | 20.21 | 22.22 | 24.90 | 27.58 | 30.26 | 32.94 | 35.62 | 3.31 | 3.51 | 3.71 | 3.91 | 4.11 | 4.31 |
| 2.74 | 4.38 | 7.23 | 10.07 | 12.91 | 15.76 | 18.60 | 21.44 | 23.58 | 26.42 | 29.26 | 32.11 | 34.95 | 37.79 | 3.51 | 3.71 | 3.91 | 4.11 | 4.31 | 4.51 |
| 2.90 | 4.64 | 7.65 | 10.66 | 13.67 | 16.68 | 19.68 | 22.69 | 24.95 | 27.96 | 30.97 | 33.98 | 36.99 | 40.00 | 3.71 | 3.91 | 4.11 | 4.31 | 4.51 | 4.71 |
| 3.05 | 4.89 | 8.07 | 11.24 | 14.41 | 17.58 | 20.76 | 23.93 | 26.31 | 29.48 | 32.66 | 35.83 | 39.00 | 42.18 | 3.91 | 4.11 | 4.31 | 4.51 | 4.71 | 4.91 |

LOUVERS LOCATED IN GREEN AREA WOULD REQUIRE MASONRY OPENING MODIFICATIONS

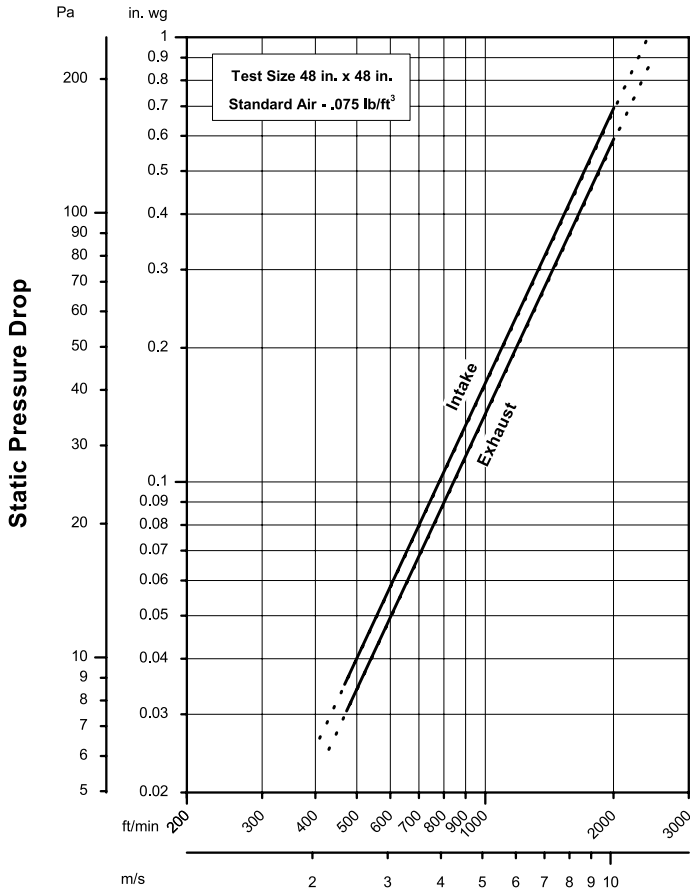
MOST APPROPRIATE STANDARD LOUVER SIZE FOR OPENING

LOUVERS ABOVE AND TO THE LEFT OF THE YELLOW LINE DO NOT MEET FREE AREA REQUIREMENTS

Airflow Resistance

Standard Air - 0.075 lb/ft³ (1.2 kg/m³)

Test size 48 in. x 48 in. (1219 mm x 1219 mm)



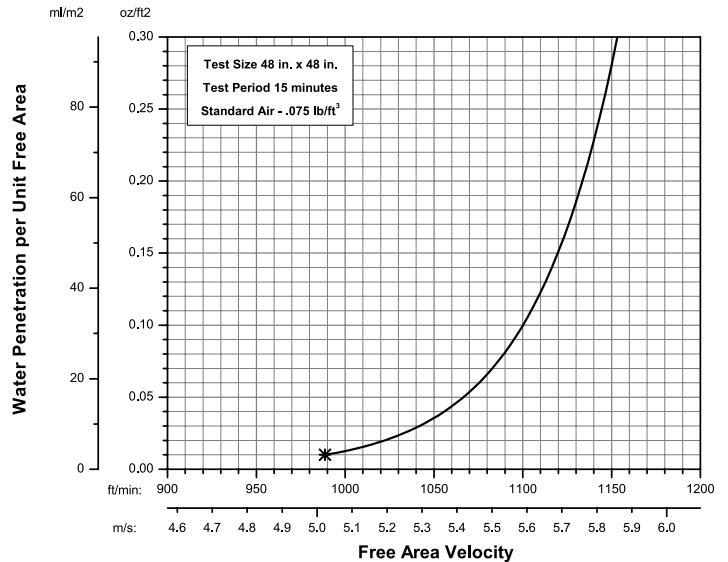
Free Air Velocity

Model ESD-435 resistance to airflow (pressure drop) varies depending on louver application (air intake or air exhaust). Free area velocities (shown) are higher than average velocity through the overall louver size. See louver selection information. (Test Figure 5.5-6.5)

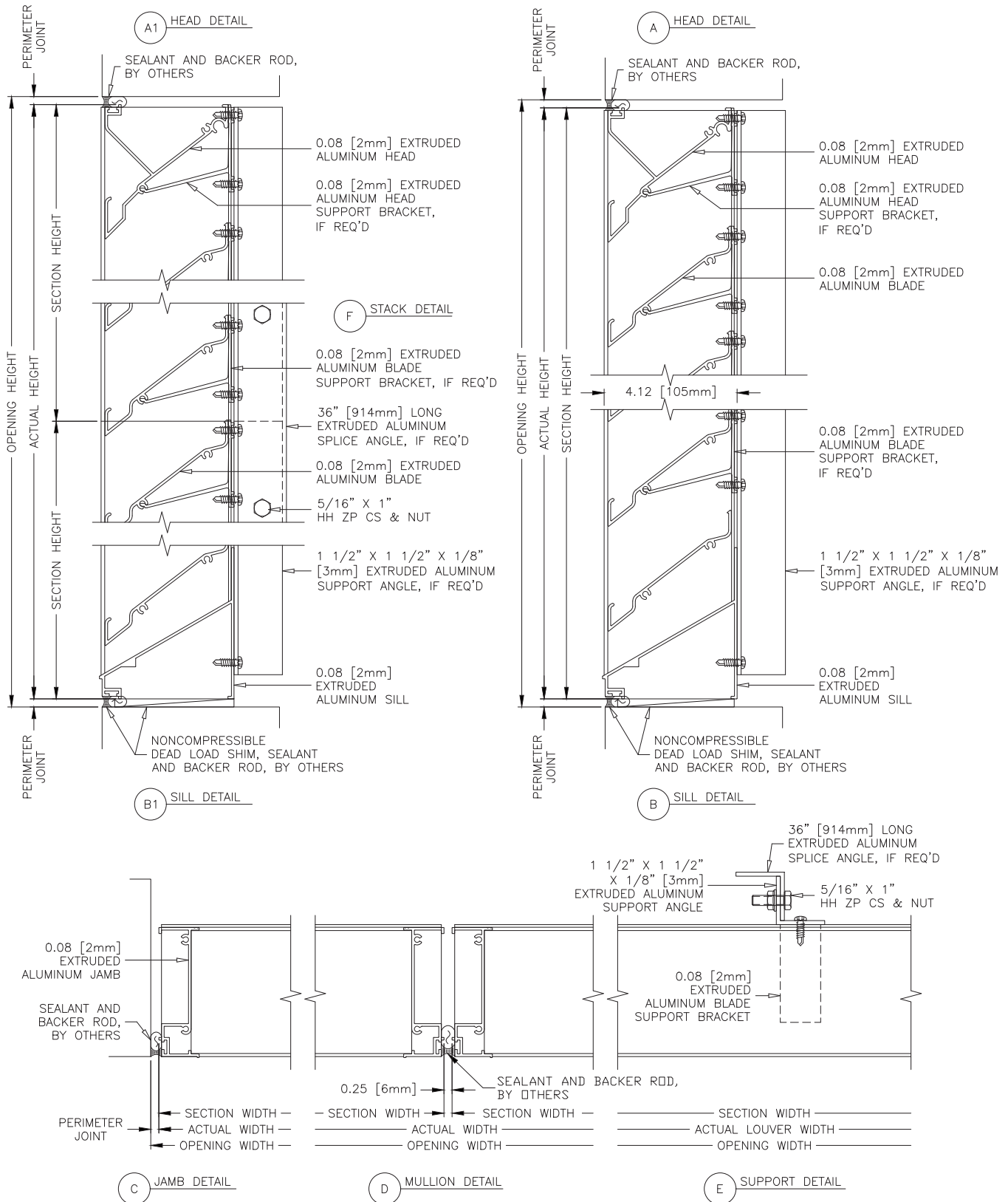
Water Penetration

Standard Air - 0.075 lb/ft³ (1.2 kg/m³)

Test size 48 in. x 48 in. (1219 mm x 1219 mm) Test duration of 15 min.



The AMCA Water Penetration Test provides a method for comparing various louver models and designs as to their efficiency in resisting the penetration of rainfall under specific laboratory test conditions. The beginning point of water penetration is defined as that velocity where the water penetration curve projects through 0.01 oz. (3 g) of water (penetration) per sq. ft. (m²) of louver free area. ***The beginning point of water penetration for Model ESD-435 is 989 fpm (5.024 m/s) free area velocity.** These performance ratings do not guarantee a louver to be weatherproof or stormproof and should be used in combination with other factors including good engineering judgement in selecting louvers.



2. 93 Pleasant Street

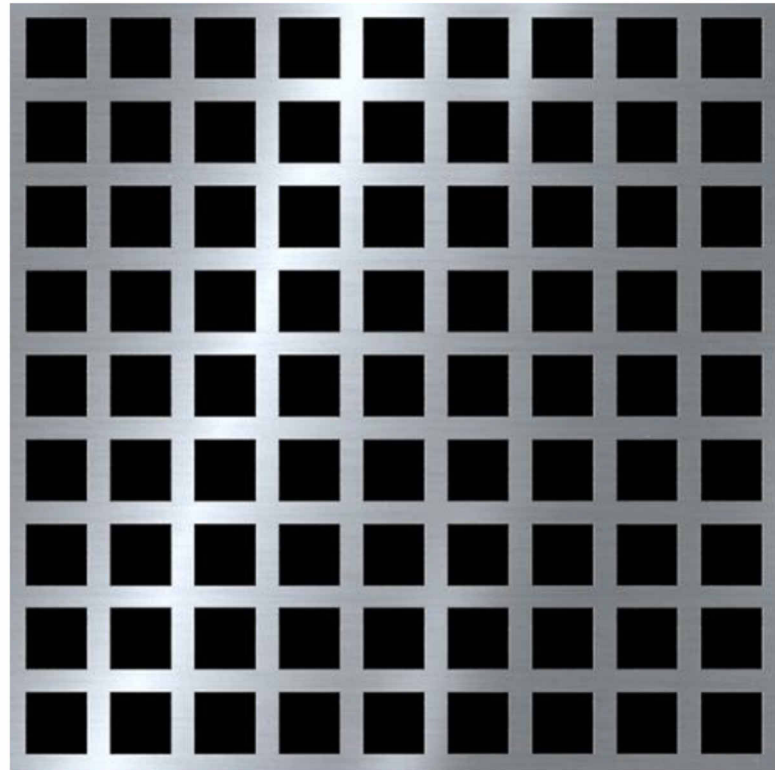
-Recommended Approval

Background: The applicant is seeking approval for the proposed awnings for the building.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



McNICHOLS® Perforated Metal

Designer Perforated, Square, LATTICE 0853, Aluminum, Alloy 3003-H14, .1250" Thick (8 Gauge), 1/2" Square on 11/16" Straight Centers, 53% Open Area

McNICHOLS® Perforated Metal, Designer Perforated, Square, LATTICE 0853, Aluminum, Alloy 3003-H14, Mill Finish, .1250" Thick (8 Gauge), 1/2" Square on 11/16" Straight Centers, 3/16" Bar Width, 2.12 Holes Per Square Inch (HPSI), Minimum Solid Margins Both Sides of Sheet Parallel to Length of Sheet, Holes Sheared Through Both Ends of Sheet Parallel to Width of Sheet, 53% Open Area

ITEM 17870012M7 - 48" x 24" - In-Stock!

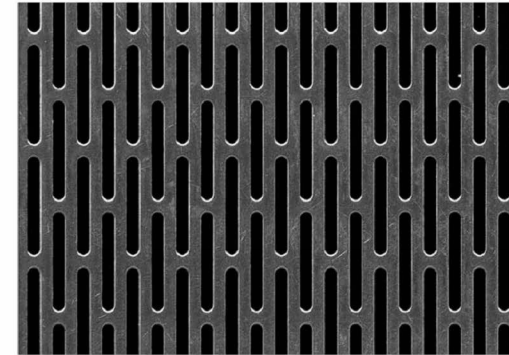


[BUY THIS SIZE ONLINE](#)

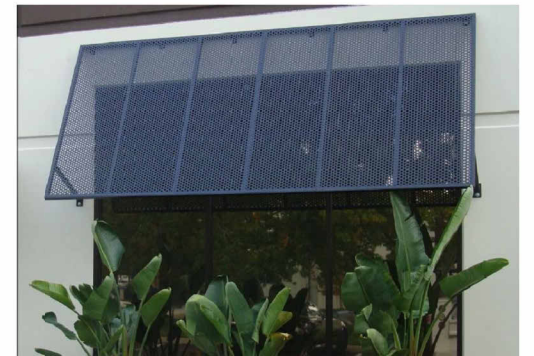
[Request a Sample](#)

| Product Size(s) | Qty | Subtotal |
|---|-----|----------|
| <input checked="" type="checkbox"/> 48" x 24" ▼ | 1 | \$-- |

MOCK-UP, AS BUILT



CUSTOM AWNINGS - SLOTTED ALUMINUM PANELS ON EXTRUDED ALUMINUM FRAME; BLACK FINISH. SEE DRAWINGS FOR DETAILS.



AS PREVIOUSLY APPROVED

A1.20

**SUNSHADES
93 PLEASANT STREET**

01/02/2025



COPYRIGHT © 2022

3. 50 South School Street, Unit #4-Recommended Approval

Background: The applicant is seeking approval for the installation of a mechanical vent.

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

Portsmouth Historic District Commission
December 9, 2024

RE: Owner Authorization for Application Submission – Unit 4, 50 South School St

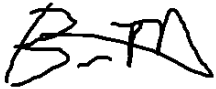
Dear Members of the Historic District Commission,

I, Brian Manougian, the owner of Unit 4 at 50 South School St, hereby authorize this application to the Portsmouth Historic District Commission. This application seeks approval for the installation of an exterior exhaust vent as part of the permitted interior renovation of Unit 4.

The proposed work includes the addition of a vent on the side of the building facing the parking lot, located on the second floor and positioned beneath the roofline. The renovation and associated work have been planned with careful attention to maintain the building's historic character and aesthetic.

I understand and support the scope of the proposed work and its adherence to the city's historic preservation standards. Thank you for your consideration of this application. Should you require any additional information or clarification, please do not hesitate to contact me directly at 603-498-2231 or Brian.Manougian@gmail.com.

Sincerely,
Brian Manougian

A handwritten signature in black ink, appearing to read 'B-Manougian', with a stylized flourish at the end.

50 South School St Unit 4
603-498-2231
Brian.Manougian@gmail.com

HOA Authorization Approval

December 9, 2024
Portsmouth Historic District Commission

RE: HOA Approval for Proposed Exterior Vent Installation - Unit 4, 50 South School St Portsmouth, NH

Dear Members of the Historic District Committee,

As part of this application for the proposed exterior vent installation at Unit 4, I am submitting a letter of approval from a member of the Haven School Condo Association Board of Directors. This letter confirms the HOA Board's review and approval of the vent's placement and installation as described in the application.

We appreciate your consideration of this application and remain committed to preserving the building's historic character while addressing the functional needs of the renovation.

Sincerely,
Brian Manougian



President, Haven School Condo Association
50 South School St
603-498-2231
Brian.Manougian@gmail.com

From: Phyllis Eldridge <phyllis917@gmail.com>
Date: Mon, Dec 9, 2024 at 19:05
Subject: Re: Request for Condo Association Approval
To: Brian Manougian <brian.manougian@gmail.com>

I approve. It's a simple request.
Sent from my iPad

> On Dec 9, 2024, at 9:49 PM, Brian Manougian <brian.manougian@gmail.com> wrote:

>

>

> Hi Phyllis,

>

> I am applying for approval to the HDC for an exterior vent to be added to the parking lot side of the building (picture attached for reference). Since I am the president of the association, I want to surface this to another member of the HOA board for approval, prior to making the request to the HDC.

>

> If you approve this request, please reply to this email.

>

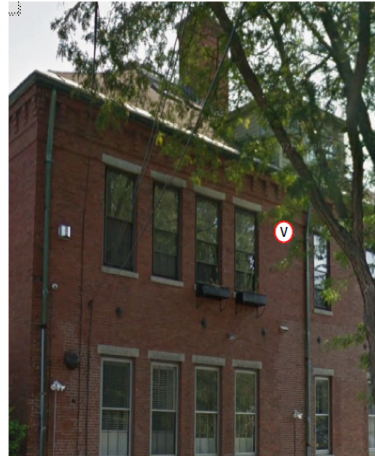
> thank you,

> Brian Manougian

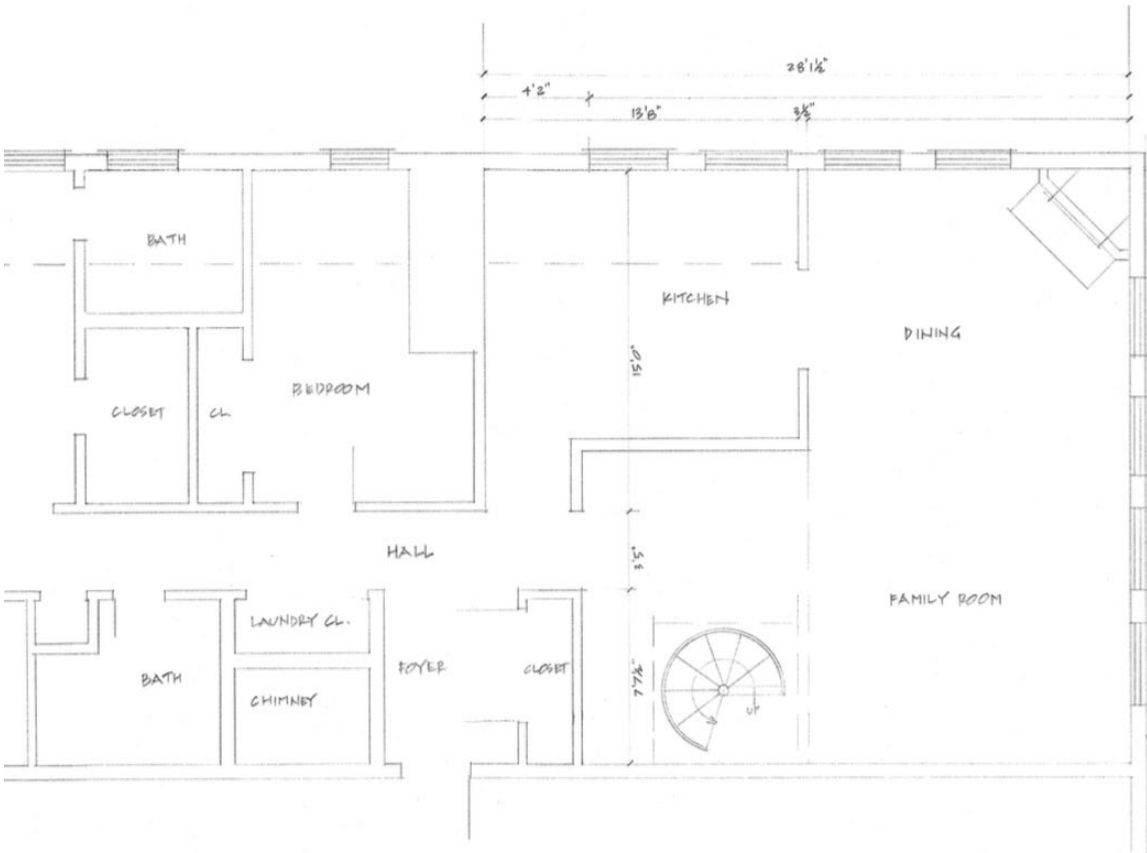
> Haven School Condo Association President

>

>

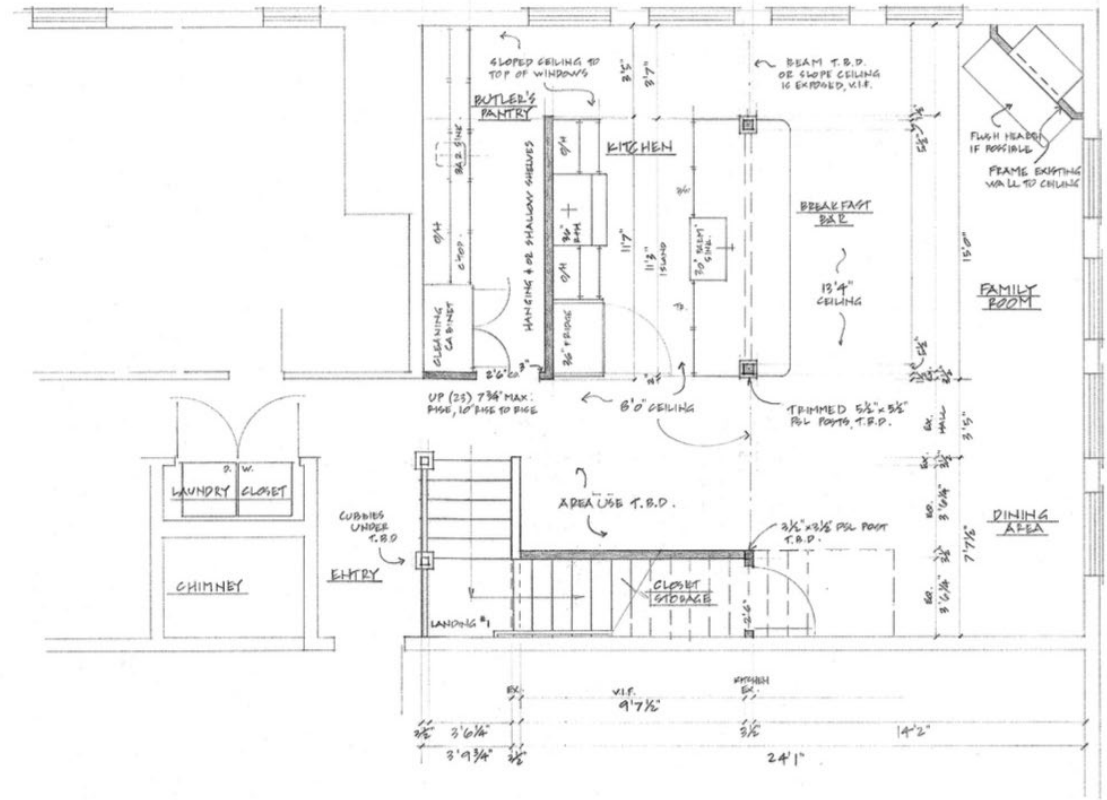


HAVEN SCHOOL CONDO PROJECT - UNIT 4 - FLOOR PLANS



EXISTING MAIN FLOOR PLAN

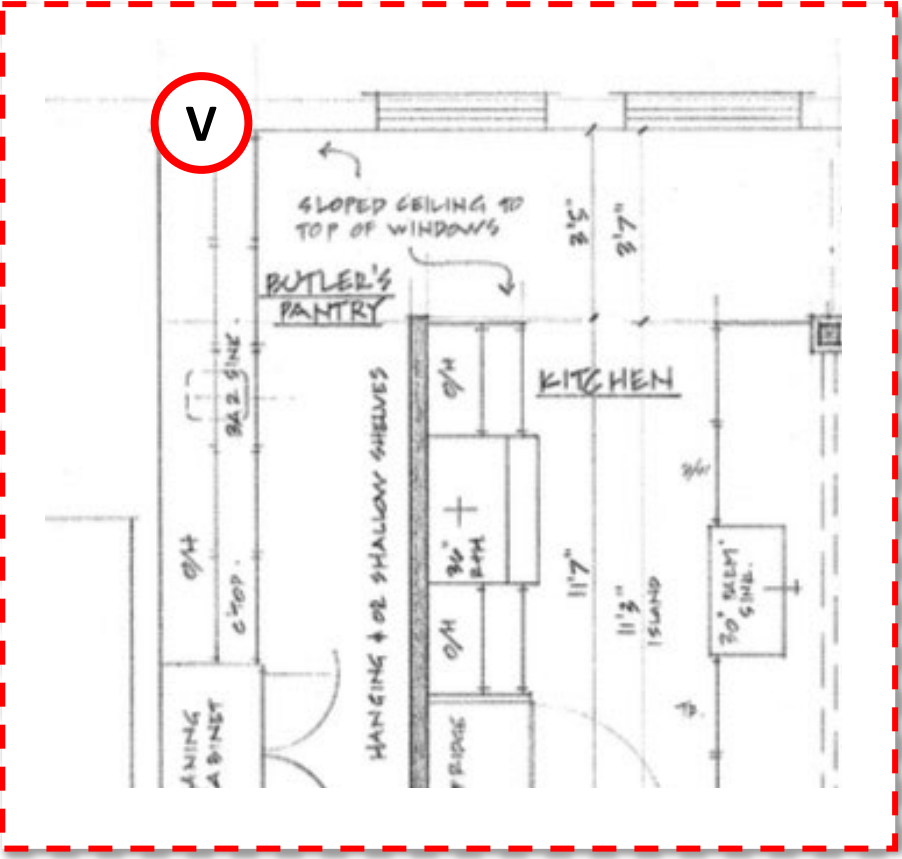
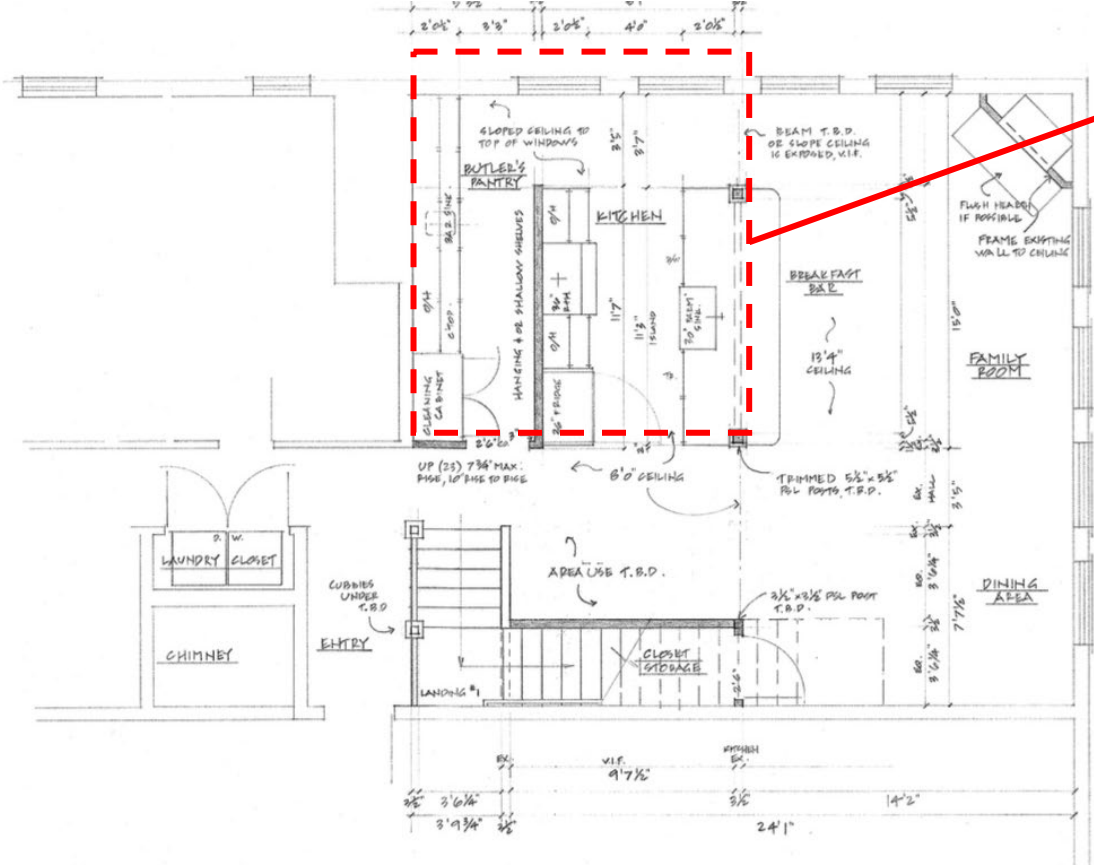
Side of building facing parking lot



PROPOSED MAIN FLOOR PLAN

Front / Street side of building facing South School Street

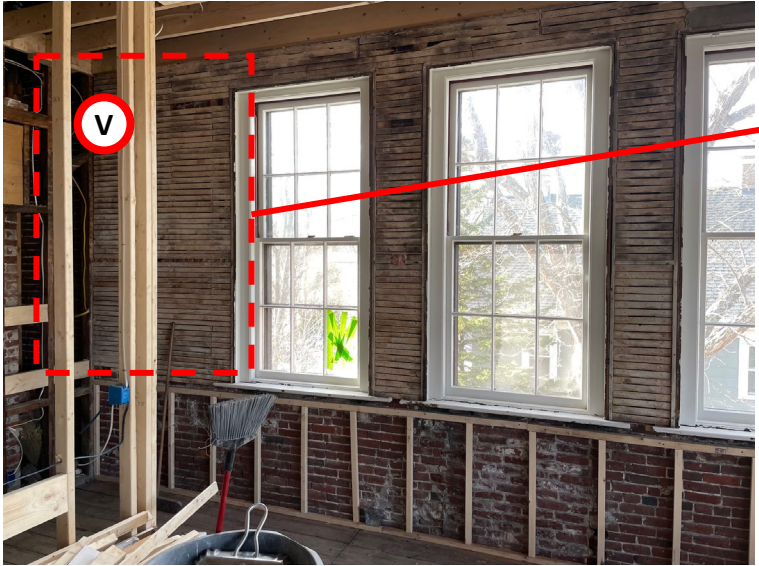
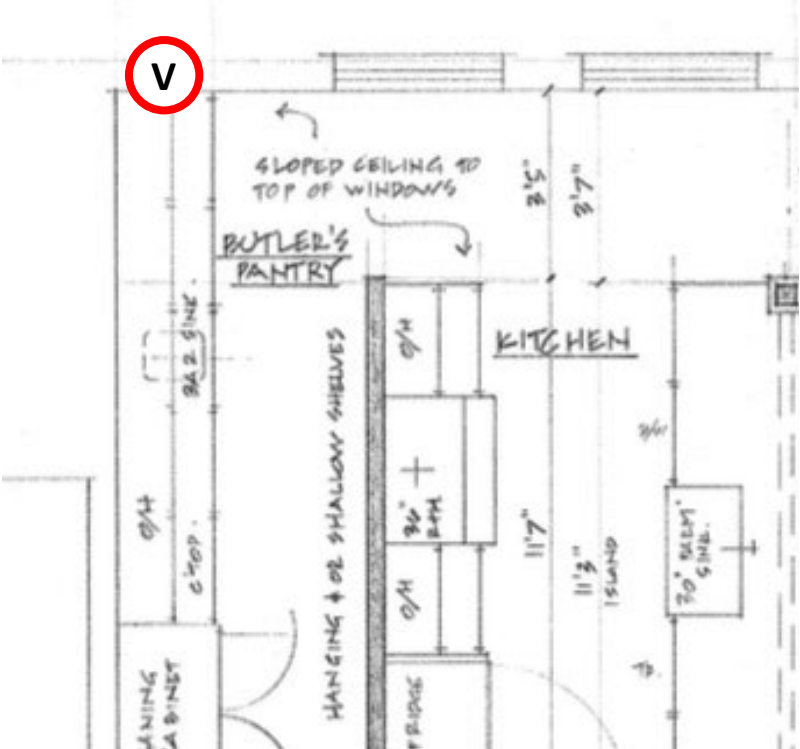
HAVEN SCHOOL CONDO PROJECT - UNIT 4 - FLOOR PLANS WITH VENT PROPOSAL



PROPOSED MAIN FLOOR PLAN

V Proposed location of vent

HAVEN SCHOOL CONDO PROJECT - UNIT 4 - INTERIOR PHOTOS



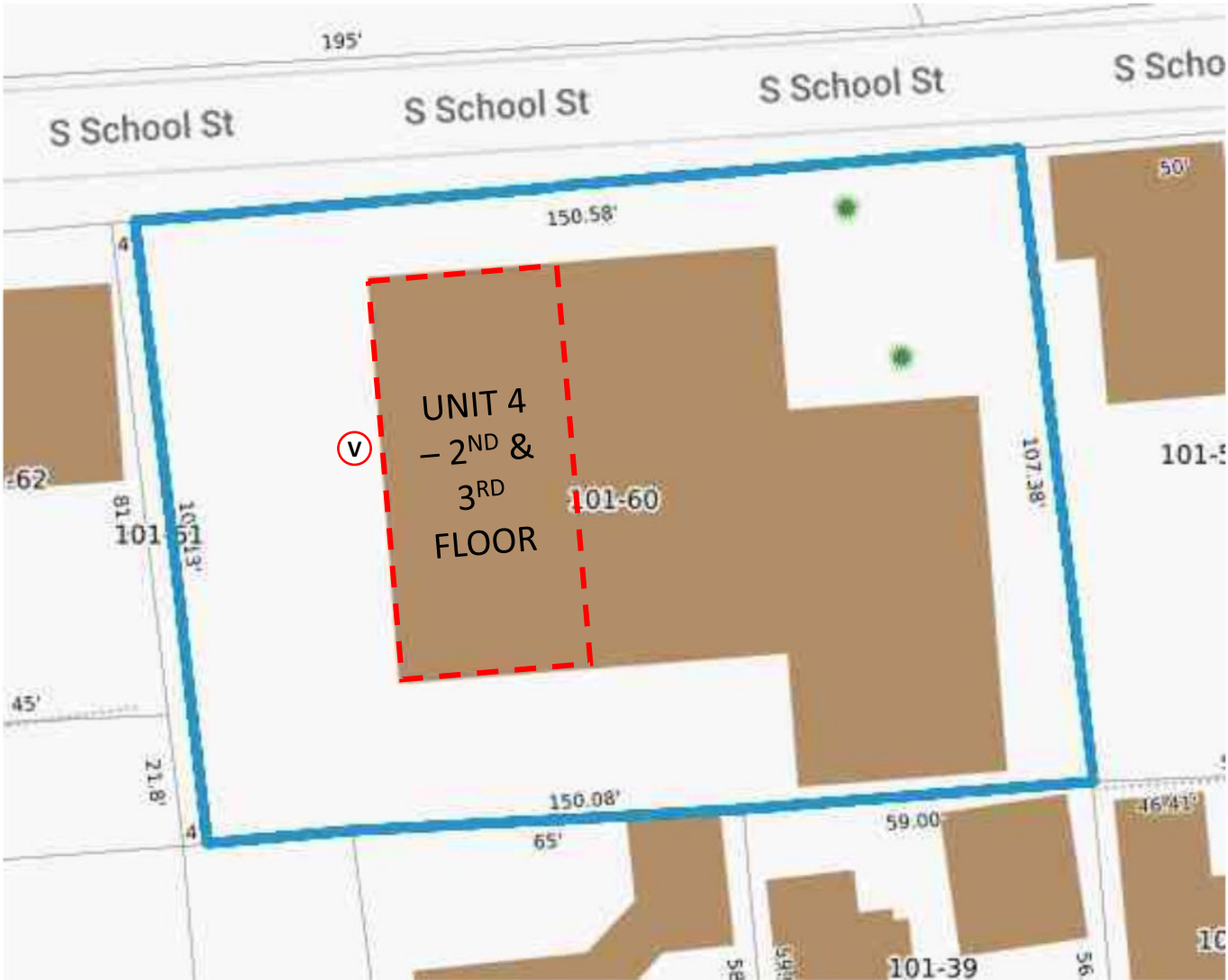
V Proposed location of vent

HAVEN SCHOOL CONDO PROJECT - UNIT 4 - EXTERIOR PHOTOS



V Proposed location of vent

HAVEN SCHOOL CONDO PROJECT - UNIT 4 - PLOT MAP



V Proposed location of vent

HAVEN SCHOOL CONDO PROJECT - UNIT 4 - EXTERIOR PHOTOS



Front



Rear



Side



Side



Street



Street



Proposed location of vent

4. 254 South Street

-Recommended Approval

Background: The applicant is seeking approval to remove (1) double hung window and install a half-hung window to the left of the previous window.

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____



PROPOSED REMODEL & ADDITION
AT 254 SOUTH ST., PORTSMOUTH, NH.

PROPOSED NORTH-EAST ELEVATION
(LEFT SIDE)

1/4"=1'-0"

1.31.2012 REVISIONS BY OWNER 11/24/2024





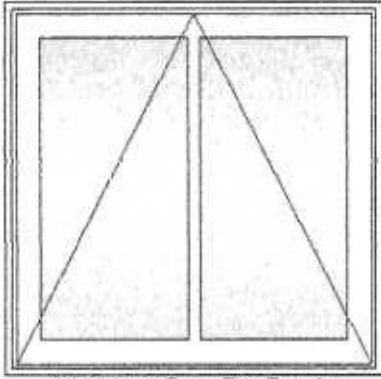


LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

| | | | | |
|---------|------------|--|--|--|
| Line #1 | Mark Unit: | | | |
| Qty: 1 | | | | |

MARVIN 



As Viewed From The Exterior

Entered As: CN
 CN 2927
 FS 28" X 27 1/8"
 RO 29" X 27 5/8"
Egress Information
 No Egress Information available.

Stone White Exterior
 White Interior
 Elevate Awning - Roto Operating
 CN 2927
 Rough Opening 29" X 27 5/8"
 Stone White Exterior
 White Interior
 IG
 Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless
 Rectangular - Special Cut 2W1H
 Stone White Ext - White Int
 White Folding Handle with Coastal Hardware
 Interior Aluminum Screen
 Bright View Mesh
 White Surround
 4 9/16" Jamb
 Nailing Fin
 ***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
 ***Note: Unit Availability and Price is Subject to Change

Unit Features

Elevate Casement: ELCA

Elevate Awning: ELAWN

Elevate Casement Picture: ELCA P

Elevate Casement Transom: ELCA TR

Elevate Casement IZ3: ELCA IZ3

Elevate Casement Picture IZ3: ELCA P IZ3

Elevate Awning IZ3: ELAWN IZ3

For applicable Certification and Code information, refer to the Introduction and Product Performance chapter.

Frame and Sash:

- The frame and sash exteriors are made of Ultrex®, an advanced fiber reinforced material that is resistant to thermal conductance.
- Exterior colors: Stone White, Pebble Gray, Bronze, Cashmere, Gunmetal, or Ebony. Frame and sash color may be selected independently.
- The interior is non finger-jointed pine, kiln dried to a moisture content of 6-12% at time of fabrication.
- Interior wood is available as Pine bare wood or factory applied white, clear, or designer black interior finishes. Frame and sash color may be selected independently.

Frame:

- Composite frame thickness is 1 5/16" (33). Frame width is 4 9/16" (116). 4/4 non finger-jointed pine interior stop is applied to all units. Ultrex frame is .080" (2) thick.

Sash:

- Composite sash thickness is 1 9/16" (40) with standard glass. Tripane sash are 1 31/32" (50) thick. Sash is .070" (2) thick.

Jamb Extension:

- Extension Thickness: 9/16" (14)
- Multiple depths available from 1/8" (3), 1/4" (6), and depths varying between 1/2" (13) and 4" (102) at 1/16" (2) increments
- Maximum jamb depth is 8 9/16". (217)
- 6 9/16" (167) or 6 13/16" (173) jamb extension - factory-applied
- All other jamb depth options are available shipped loose.
- Material: Bare Pine
- Option: factory applied white, designer black and clear lacquer interior finish

Casement Hardware:

- Dual arm roto hardware factory installed on casement units
 - Roto gear hardware is an E-coated, high strength, low alloy steel
 - Call number 17 and 21 widths up to RO 25" (635) require dyad operators.
- The hinge track is stainless steel
 - Hinge arm is E-coated high strength, low alloy steel
 - Hinge shoe is injection molded with a stainless steel insert.
- Egress hinge is required on units with an R.O. from 27.125" to 29.984" including CN 29 to meet egress code. This hinge does not allow for cleaning of the exterior of sash from the inside.
- Folding handle with removable snap fit covers are available in Almond Frost or White color finish.
 - Optional Brass, Satin Nickel, Oil Rubbed Bronze, and Matte Black hardware available.
- Sequential locks are used on all heights, with removable escutcheon and handle.
 - Optional coastal hardware is available.
- Optional factory applied Window Opening Control Device is available (min size: 17 27/32" (453) x 31 1/8" (791) - max size: 36" (914) x 71 1/8" (1807))
 - Available in almond frost, white, and matte black finishes.
- Optional field or factory applied Sash Limiter - 3" Travel is available (min size: 23" (584) x 31 1/8" (791) - max size: 36" (914) x 71 1/8" (1807))
 - Custodial and Non-Custodial options are available. Units with sash limiters do not meet egress criteria.

Unit Features Continued**Awning Hardware:**

- Scissors arm roto hardware factory installed on all awning units.
 - Roto hardware is an E-coated high strength, low alloy steel.
- The hinge track is stainless steel
 - hinge arm is E-coated high strength, low alloy steel
 - hinge shoe is injection molded with a stainless steel insert.
- Folding handle with removable snap fit covers are available in Almond Frost, White, or Matte Black color finish.
 - Optional Brass, Satin Nickel, and Oil Rubbed Bronze hardware available.
- A single point lock on each jamb/stile, with a removable escutcheon and handle
 - Optional coastal hardware is available
- Optional field or factory applied Sash Limiter - 3" Travel is available (min size: 24" (610) x 23" (584) - max size: 48" (1219) x 47 1/8" (1197)). Custodial and Non-Custodial options are available.

Glazing:

- Dual-pane units are manufactured with an 11/16" (17) IG with Low E1, E2, E3, or E3/ERS or no coating including argon gas or air fill.
- Tripane units are manufactured with a 1 1/8" (29) IG with a combination coating consisting of Low E2 on surface 2 and Low E1 on surface 5 including argon gas fill.
- Tempered glass and/or obscure glass, and California Fire glass (annealed exterior and tempered interior glazing configuration) are available as an option.
- The glazing seal is a silicone bedding on both interior and exterior surfaces utilized in a sandwich style sash.
- STC/OITC values are available for 3.1 mm thickness glass.
 - Optional 3.1/4.7 STC/OITC Upgrade glass is available. See the Product Performance chapter for STC and OITC ratings.
- Decorative glass options include glue chip, rain, reed, narrow reed, frost, and tinted (bronze, gray or green), Decorative glass is not available with Low E1, Low E3/ERS, tripane, or STC/OITC Upgrade options.

IZ3 Glazing:

- Optional IZ3 available on selected sizes.
 - IZ3 for winds up to 140 miles per hour.
- Glass is laminated Insulated Low E2 or E3 Argon, consisting of annealed or tempered glass exterior and laminated glass interior.
- The laminated glass is comprised of two pieces of glass with either a SGP or PVB laminate layer between.
 - Interior and exterior glazing compound is silicone, in a sandwich style glazing system.

Installation:

- Factory applied folding nailing fin and drip cap system
 - Optional installation brackets for masonry available
 - Optional through jamb installation method available
- Factory mullions available up to 4W or 113" (2870) not to exceed 71 5/8" (1819) height or 2W2H with 94 3/4" (2407) height not to exceed 73" (1854) in width
- Factory supplied field mulling kits are available for standard assemblies, or 30°, 45° Bay, and Bow assemblies
- Picture units may require both nailing fin and installation brackets
- IZ3 glazed units require installation clip with nailing fin on all sizes for installation unless another installation method is selected (masonry installation brackets or through jamb installation).



The window in red is to be removed. The new window would be placed just to the left of the existing window closer to the rear corner of the home.

5. 2 Russell Street

-Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

BUILDING 1 | ELEVATIONS (APPROVED)



1 B1-West Elevation
1/8" = 1'-0"



1 B1 - East Elevation
1/8" = 1'-0"



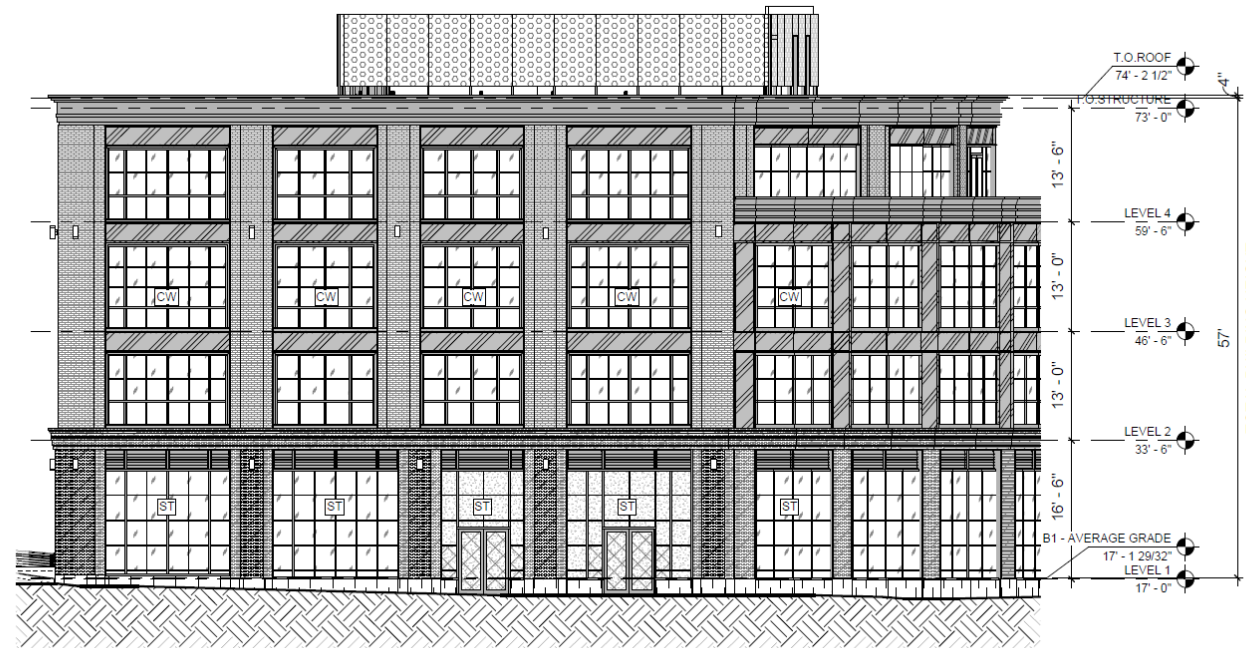
2 B1- North Elevation
1/8" = 1'-0"



2 B1- South Elevation
1/8" = 1'-0"

| MATERIAL LEGEND | |
|-----------------|-----------|
| | BRICK |
| | LIMESTONE |
| | GRANITE |
| | METAL |

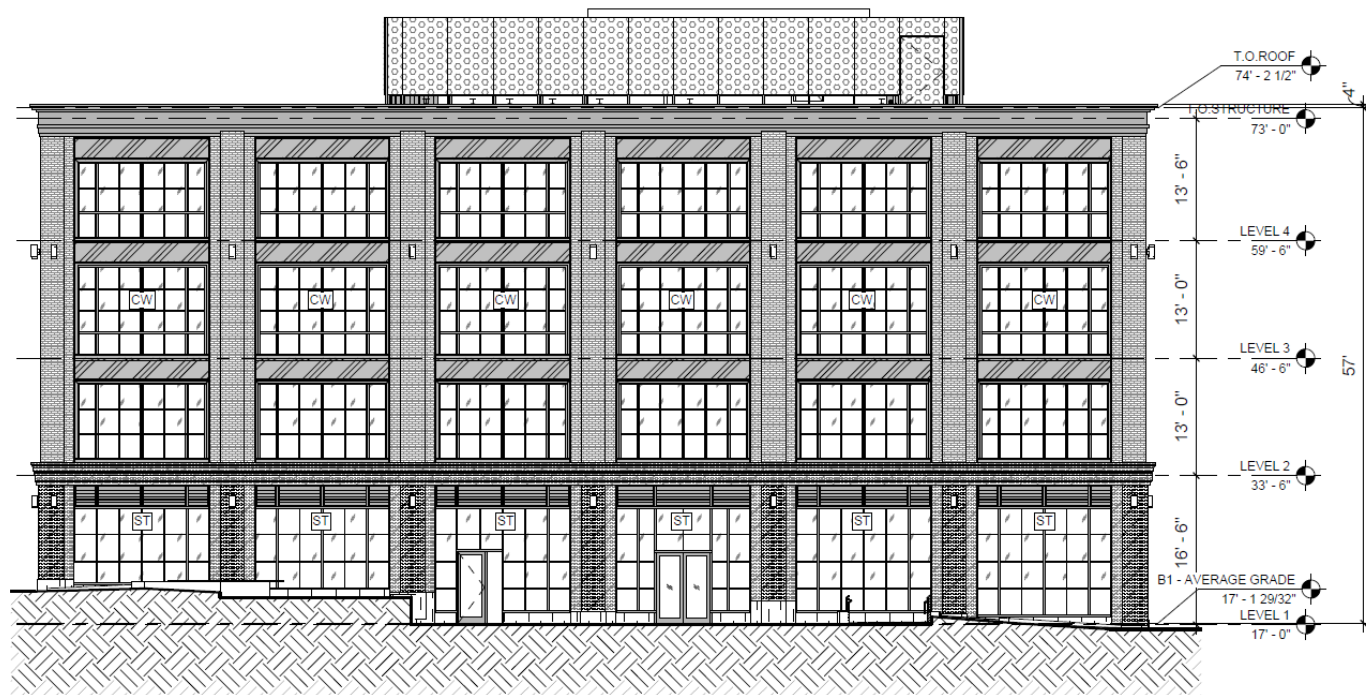
BUILDING 1 | ELEVATIONS (FINAL PLAN)



1 B1-West Elevation
3/32" = 1'-0"



1 B1 - East Elevation
3/32" = 1'-0"



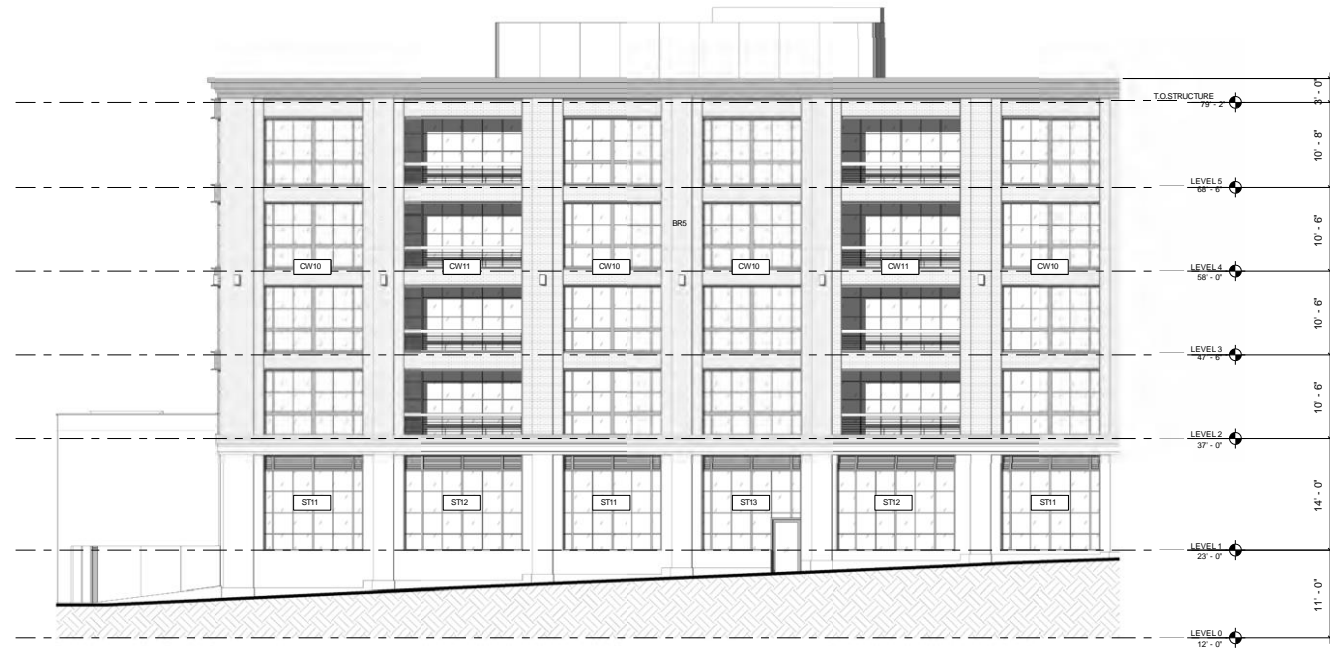
2 B1- North Elevation
3/32" = 1'-0"



1 - South Elevation
1/2" = 1'-0"

| MATERIAL LEGEND | |
|-----------------|-----------|
| | BRICK |
| | LIMESTONE |
| | GRANITE |
| | METAL |
| | GLAZING |

BUILDING 2 | ELEVATIONS (APPROVED)



1 B2 - South Elevation
1/8" = 1'-0"



1 B2 - West Elevation 1
1/8" = 1'-0"



2 B2 - South-East Elevation 2
1/8" = 1'-0"



2 B2 - North-West Elevation 2
1/8" = 1'-0"

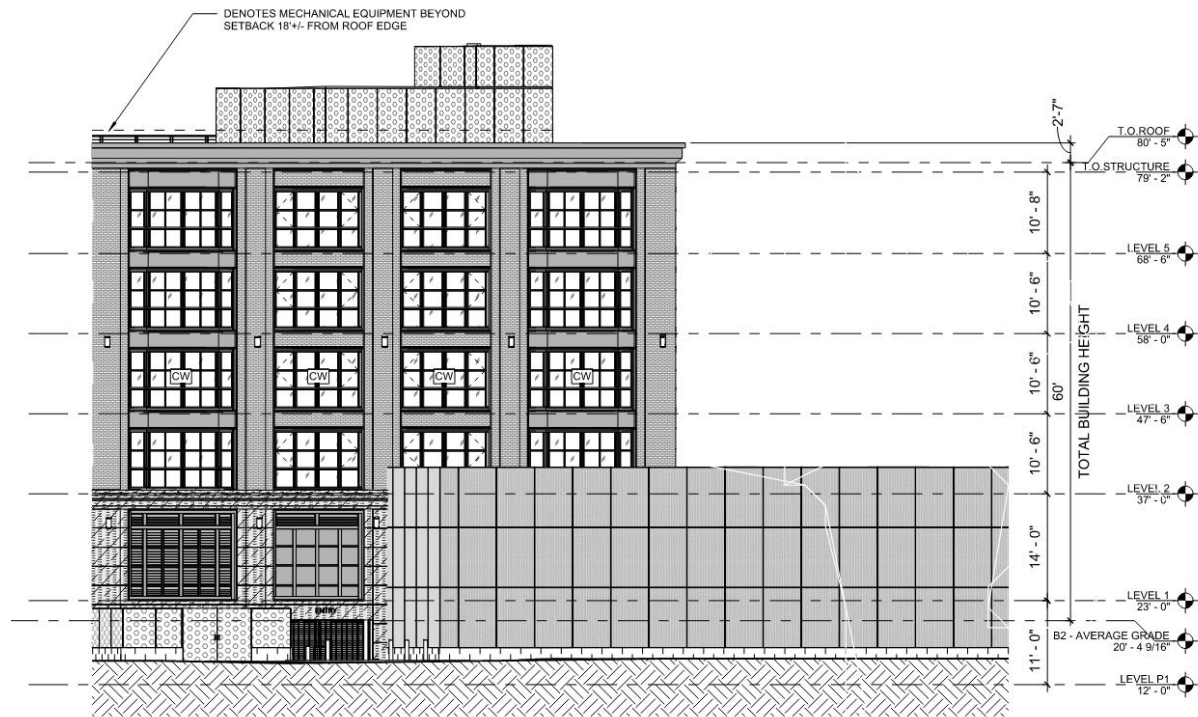
| MATERIAL LEGEND | |
|-----------------|-----------|
| | BRICK |
| | LIMESTONE |
| | GRANITE |
| | METAL |



BUILDING 2 | ELEVATIONS (FINAL PLAN)



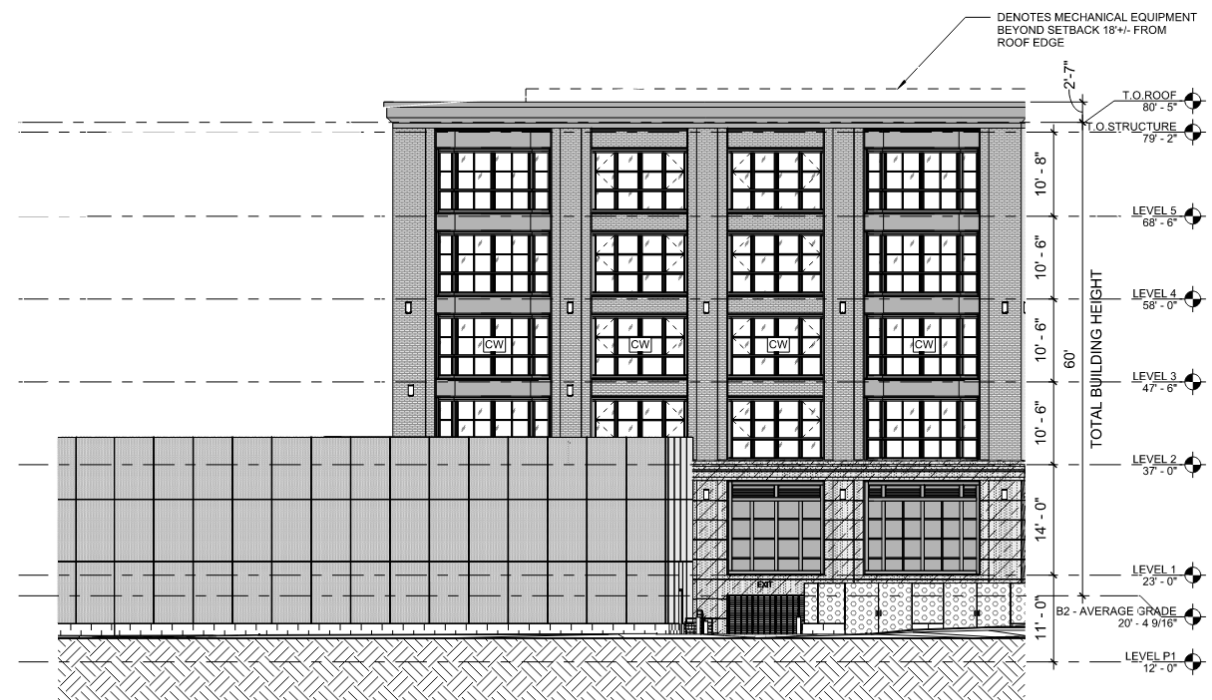
2 B2 - South Elevation
3/32" = 1'-0"



1 B2 - West Elevation 1
3/32" = 1'-0"



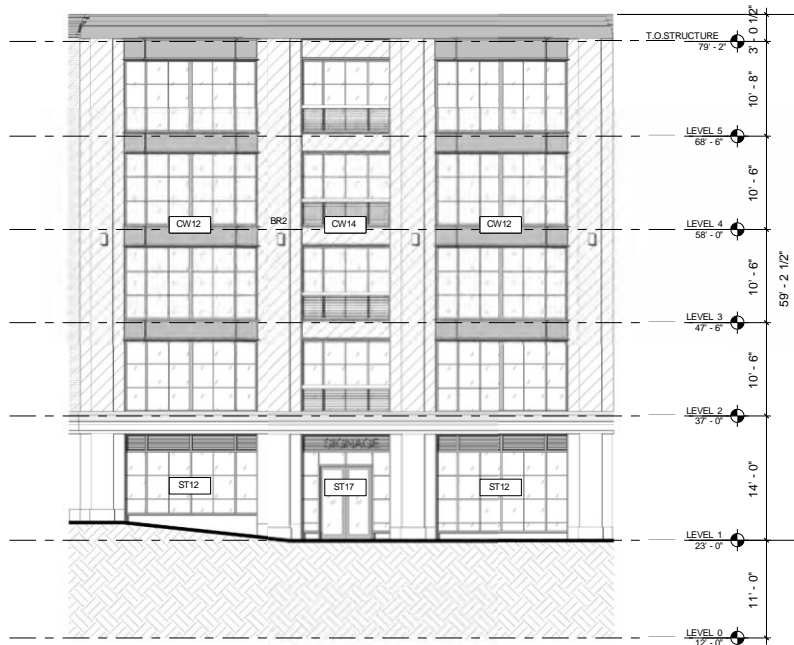
1 B2 - South-East Elevation 2
3/32" = 1'-0"



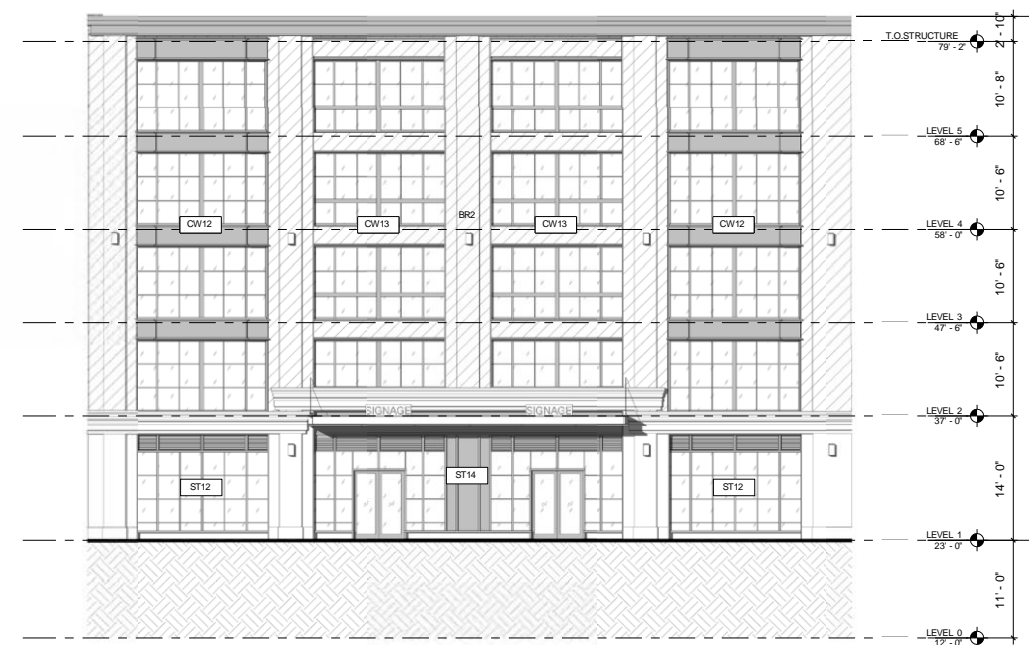
5 B2 - North-West Elevation
3/32" = 1'-0"

| MATERIAL LEGEND | |
|-----------------|-----------|
| | BRICK |
| | LIMESTONE |
| | GRANITE |
| | METAL |
| | GLAZING |

BUILDING 2 | ELEVATIONS (APPROVED)



1 B2 - South-East Elevation 1
1/8" = 1'-0"



3 B2 - East Elevation 2
1/8" = 1'-0"



2 B2 - East Elevation 2
1/8" = 1'-0"

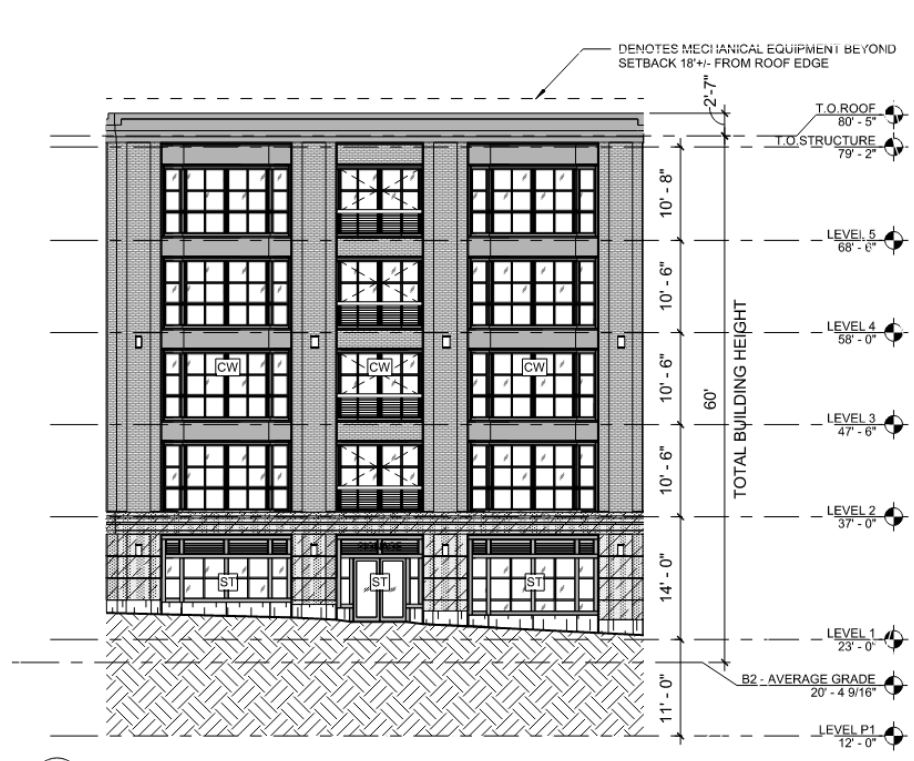


4 B2 - North Elevation
1/8" = 1'-0"

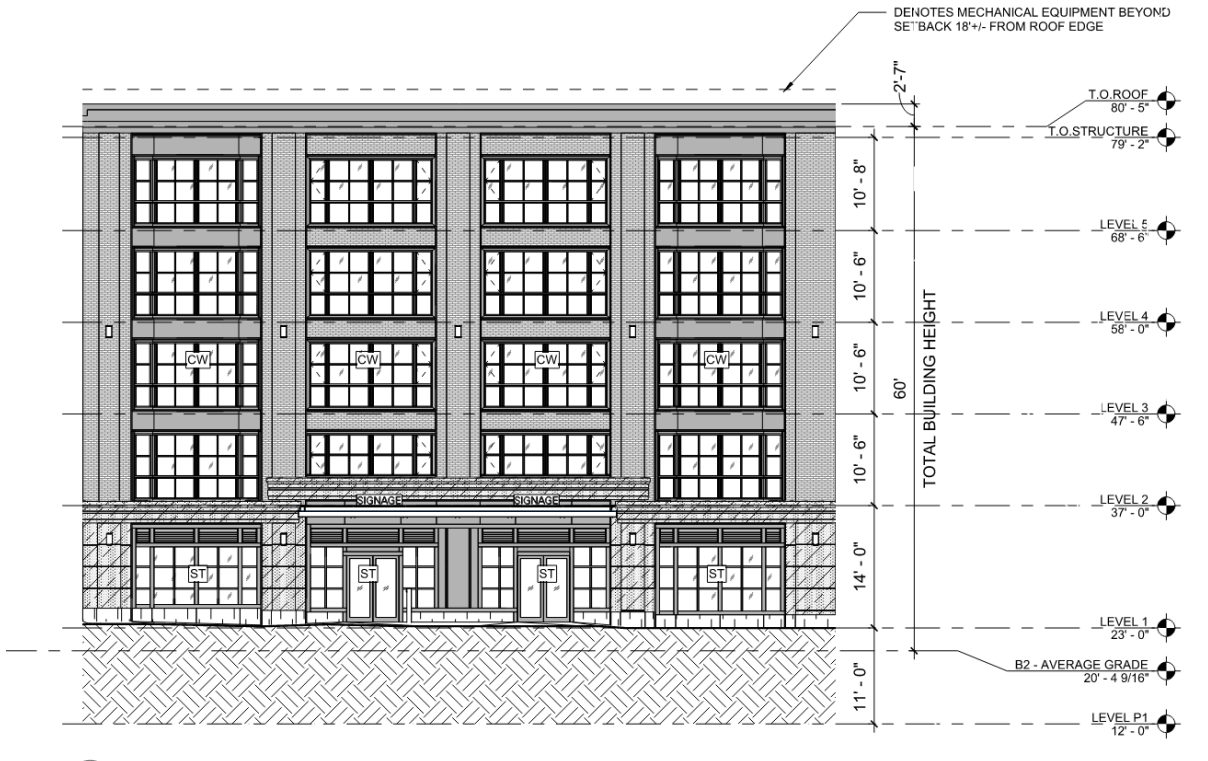
| MATERIAL LEGEND | |
|-----------------|-----------|
| | BRICK |
| | LIMESTONE |
| | GRANITE |
| | METAL |



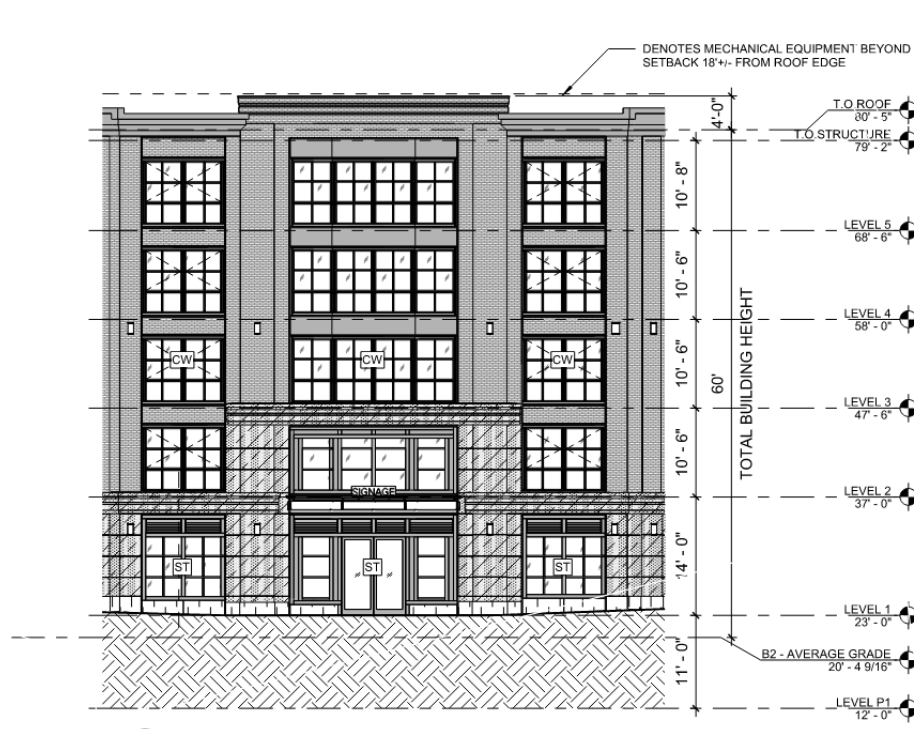
BUILDING 2 | ELEVATIONS (FINAL PLAN)



4 B2 - South-East Elevation 1
3/32" = 1'-0"



2 B2 - East Elevation 1
3/32" = 1'-0"



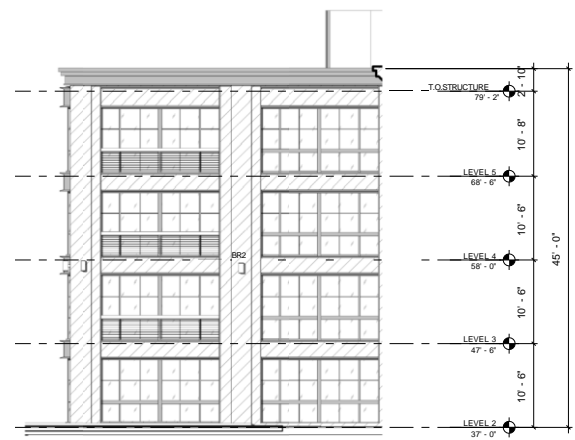
3 B2 - East Elevation 2
3/32" = 1'-0"



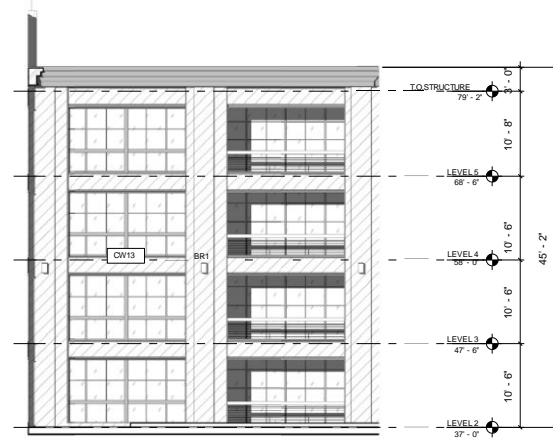
1 B2 - North Elevation
3/32" = 1'-0"

| MATERIAL LEGEND | |
|-----------------|-----------|
| | BRICK |
| | LIMESTONE |
| | GRANITE |
| | METAL |
| | GLAZING |

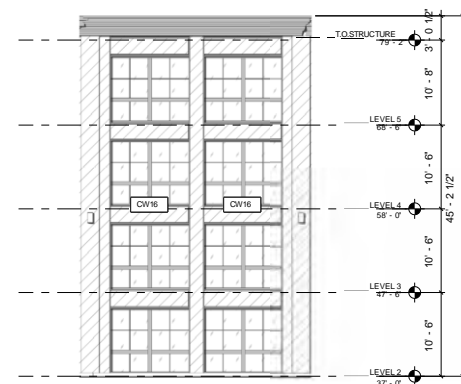
BUILDING 2 | ELEVATIONS (APPROVED)



1 B2 - South Elevation 2
1/8" = 1'-0"



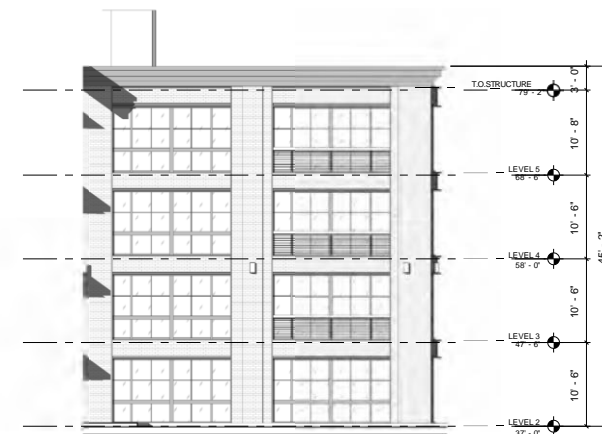
2 B2 - West Elevation 2
1/8" = 1'-0"



3 B2 - South West Elevation 1
1/8" = 1'-0"



4 B2 - South West Elevation 2
1/8" = 1'-0"

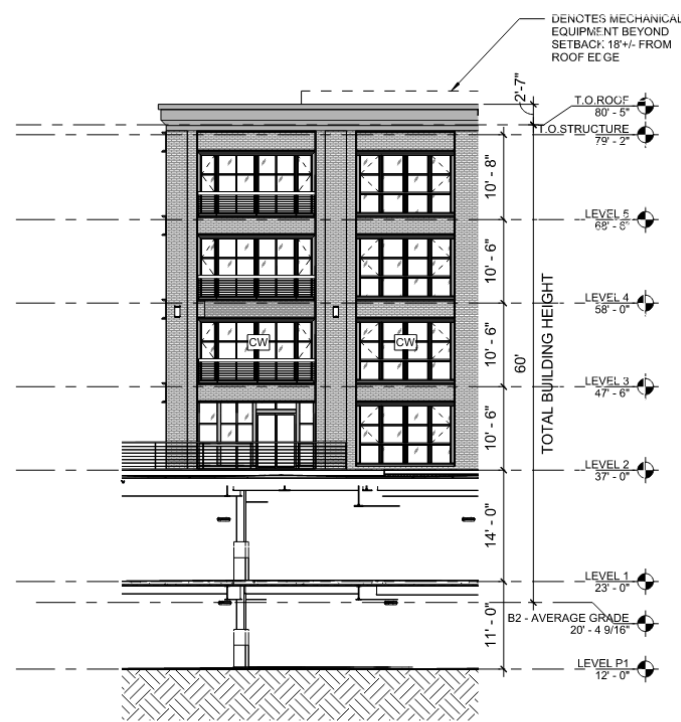


5 B2 - North Elevation 2
1/8" = 1'-0"

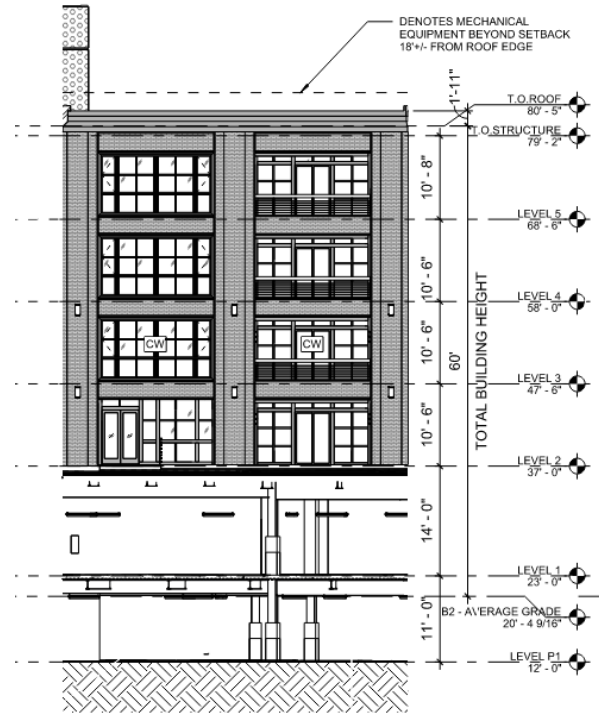
| MATERIAL LEGEND | |
|-----------------|-----------|
| | BRICK |
| | LIMESTONE |
| | GRANITE |
| | METAL |



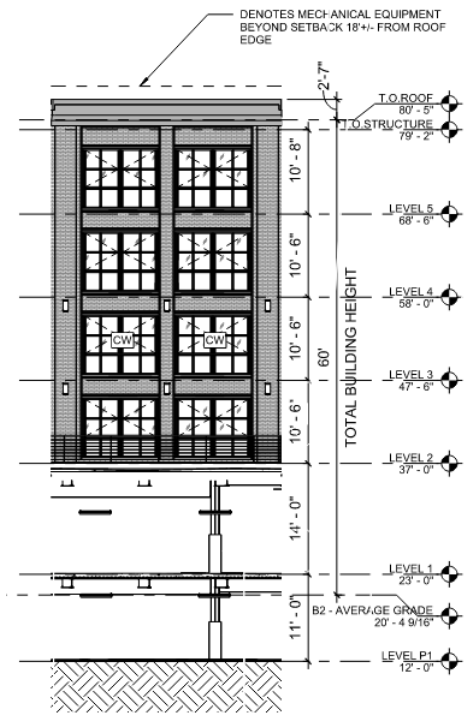
BUILDING 2 | ELEVATIONS (FINAL PLAN)



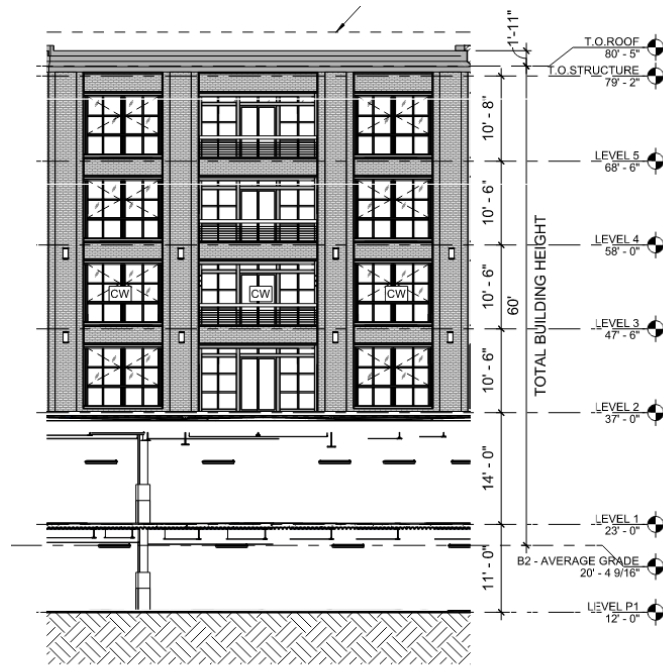
2 B2 - South Elevation 2
3/32" = 1'-0"



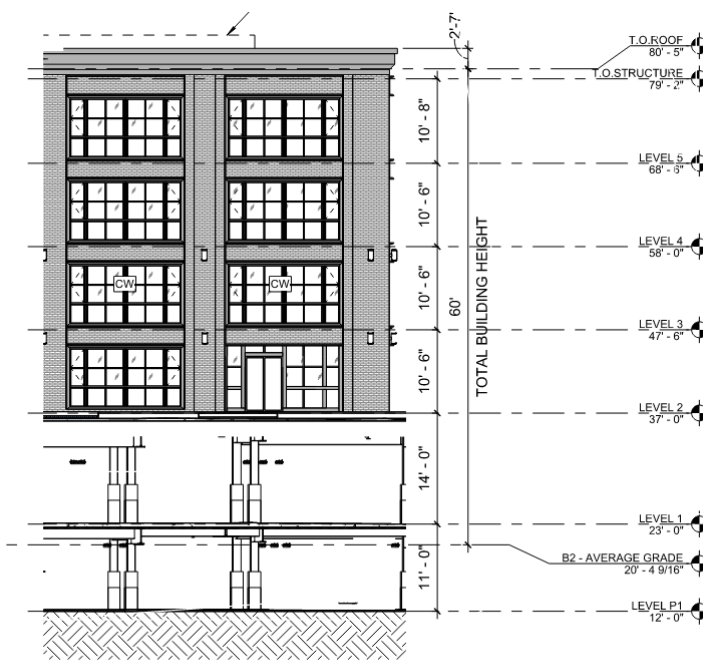
3 B2 - West Elevation 2
3/32" = 1'-0"



4 B2 - South West Elevation 1
3/32" = 1'-0"



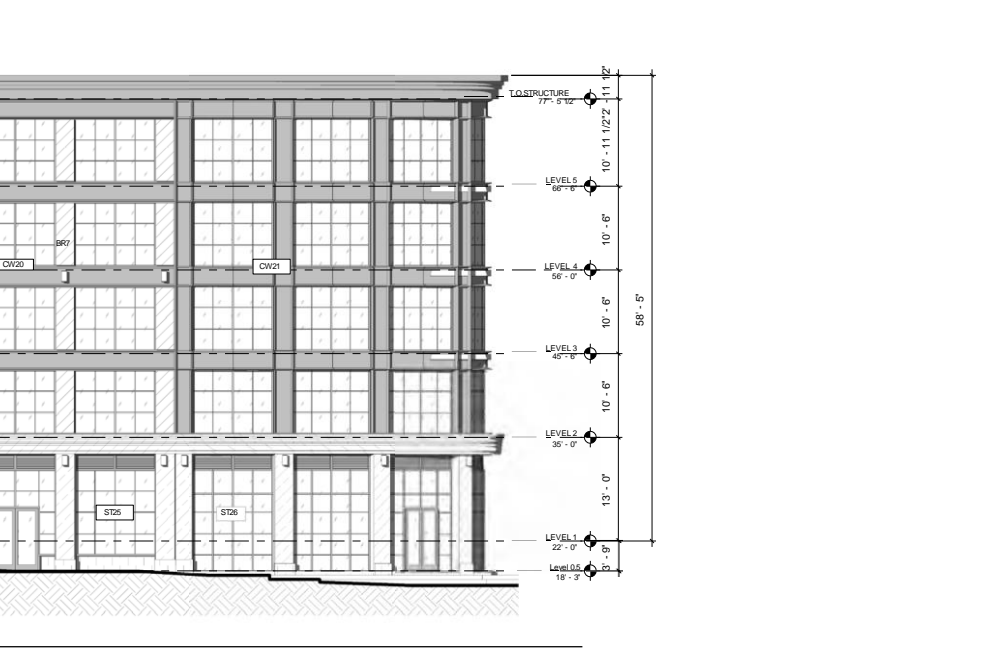
4 B2 - South-West Elevation 2
3/32" = 1'-0"



3 B2 - North Elevation 2
3/32" = 1'-0"

| MATERIAL LEGEND | |
|-----------------|-----------|
| | BRICK |
| | LIMESTONE |
| | GRANITE |
| | METAL |
| | GLAZING |

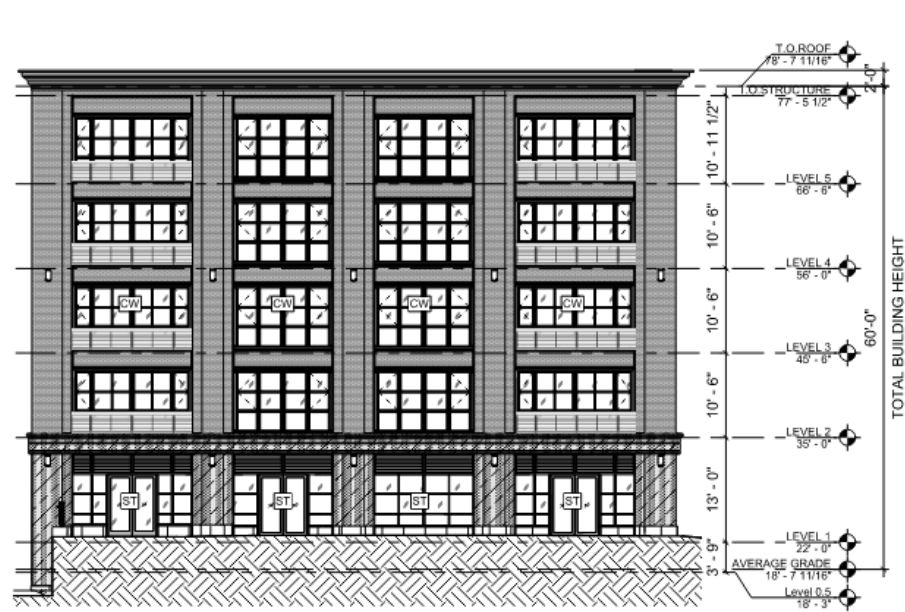
BUILDING 3 | ELEVATIONS (APPROVED)



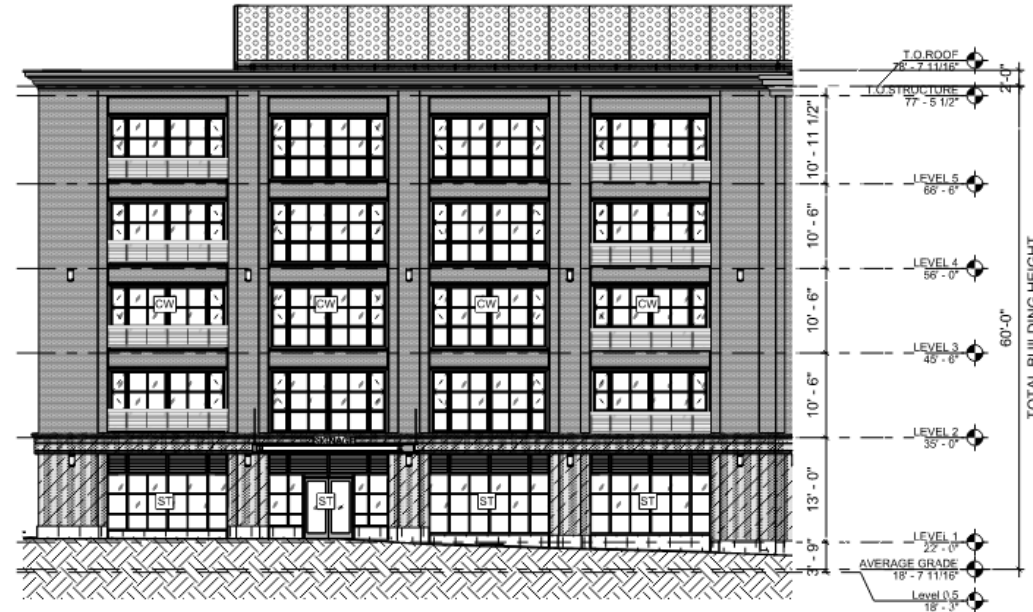
| MATERIAL LEGEND | |
|-----------------|-----------|
| | BRICK |
| | LIMESTONE |
| | GRANITE |
| | METAL |

0 4 8 12 16 24 32 48 (ft)

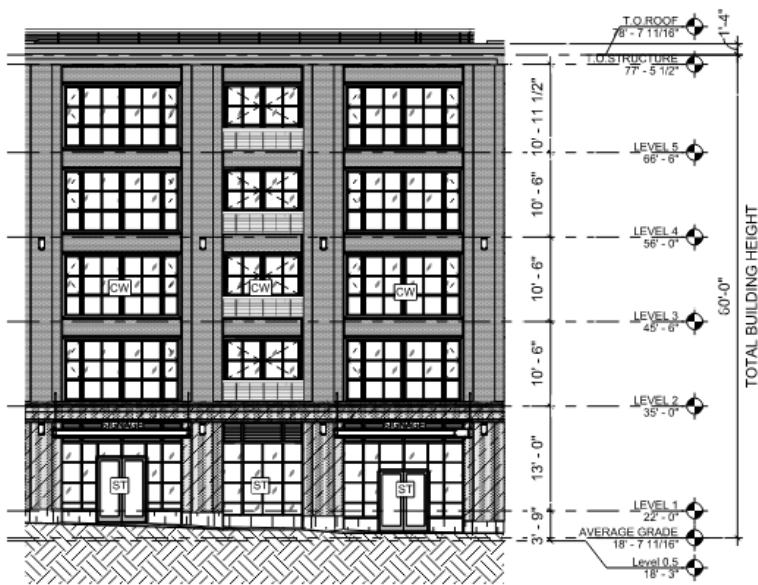
BUILDING 3 | ELEVATIONS (FINAL PLAN)



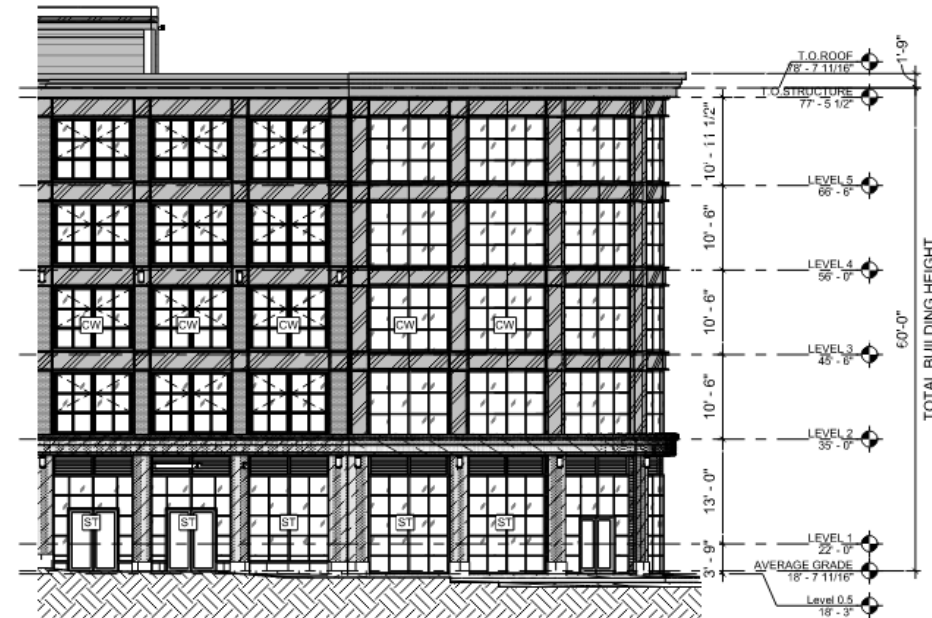
1 B3 - South Elevation
3/32" = 1'-0"



2 B3 - East Elevation 1
3/32" = 1'-0"



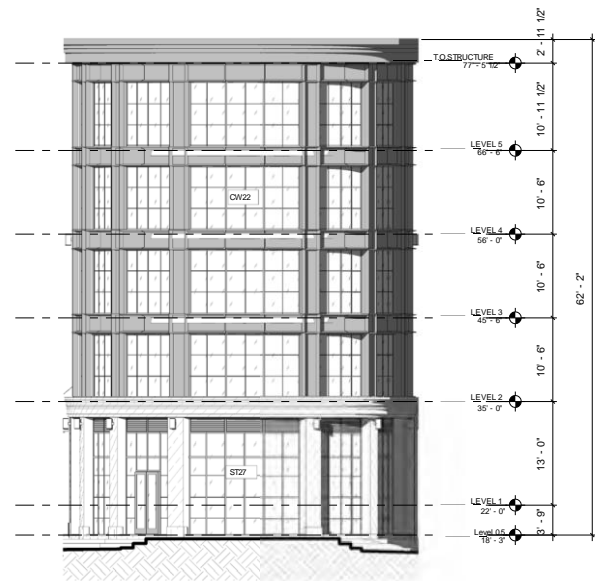
3 B3 - East Elevation 2
3/32" = 1'-0"



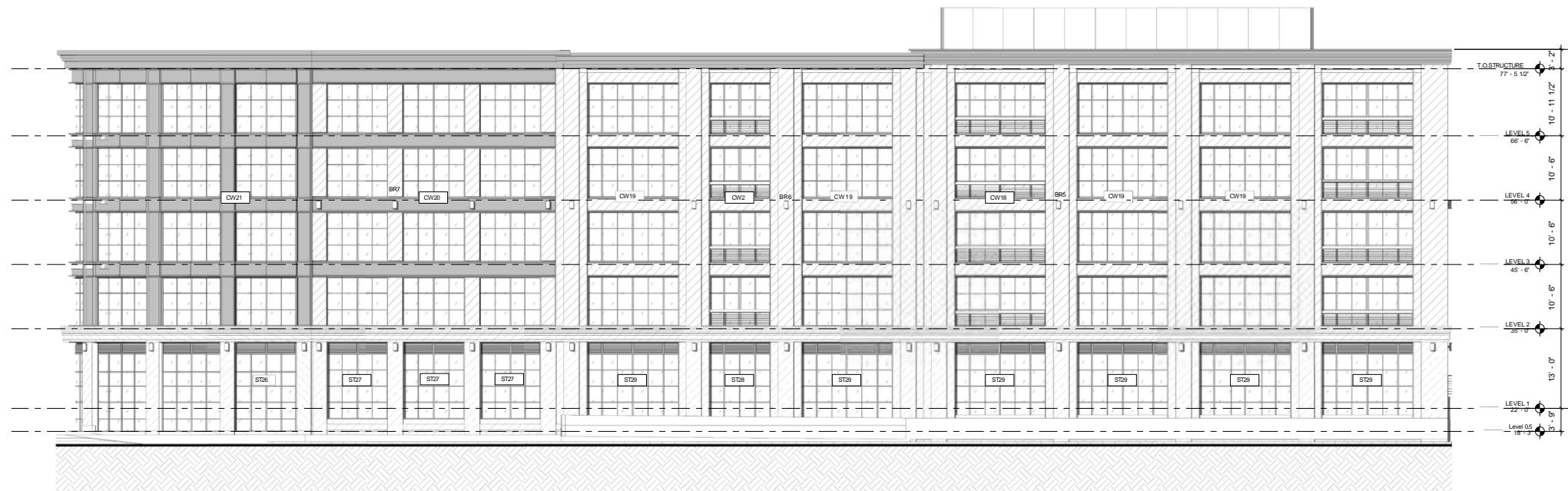
4 B3 - East Elevation 3
3/32" = 1'-0"

| MATERIAL LEGEND | |
|-----------------|-----------|
| | BRICK |
| | LIMESTONE |
| | GRANITE |
| | METAL |
| | GLAZING |

BUILDING 3 | ELEVATIONS (APPROVED)



1 B3 - North Elevation
1/8" = 1'-0"

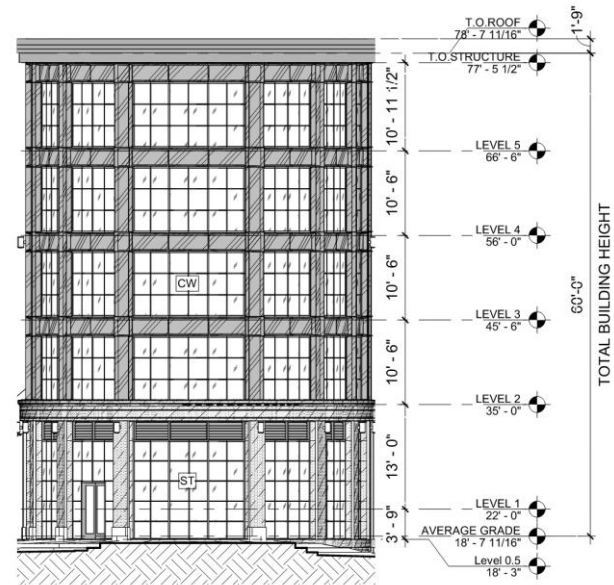


2 B3 - West Elevation
1/8" = 1'-0"

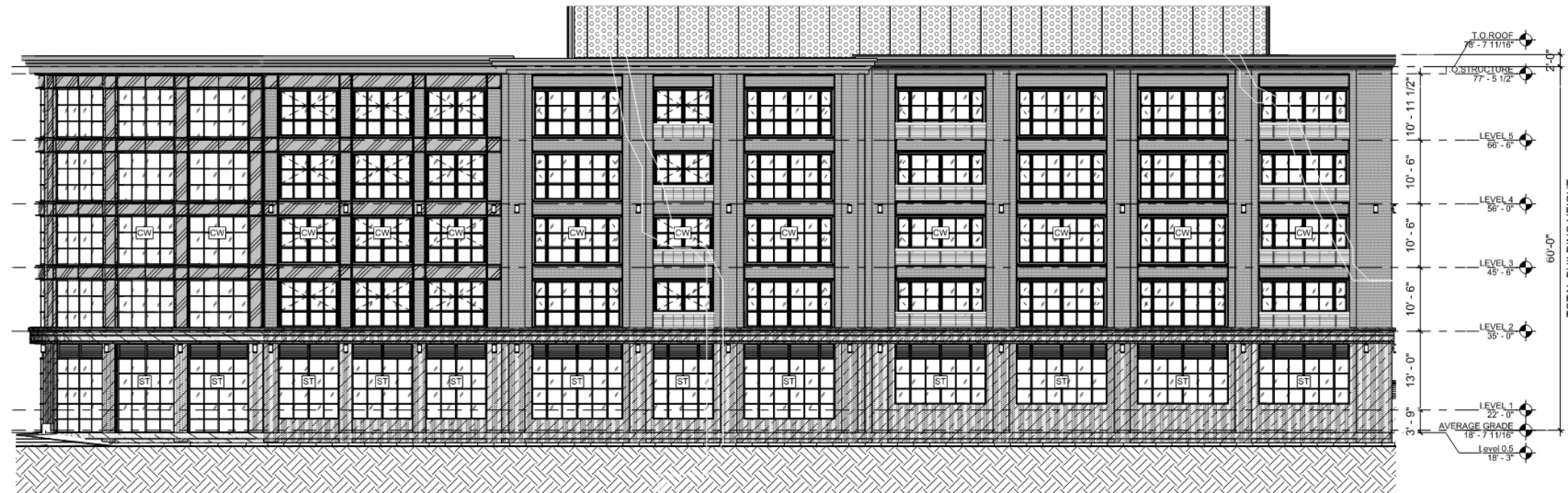
| MATERIAL LEGEND | |
|-----------------|-----------|
| | BRICK |
| | LIMESTONE |
| | GRANITE |
| | METAL |



BUILDING 3 | ELEVATIONS (FINAL PLAN)



1 B3 - North Elevation
3/32" = 1'-0"



2 B3 - West Elevation
3/32" = 1'-0"

| MATERIAL LEGEND | |
|-----------------|-----------|
| | BRICK |
| | LIMESTONE |
| | GRANITE |
| | METAL |
| | GLAZING |

September 20, 2024



Dear City Council Members,

We are reaching out as we bought a recently subdivided lot off of the back of 15 Lafayette Road, now 185 Orchard Street, to build our primary residence, a single family home. We have spent the last several months putting together the engineering and architectural plans. I am attaching the survey showing the subdivision, our architectural drawings, and some photos of existing homes in our neighborhood for comparison to this letter.

We submitted our building permit with the plans just over 2 months ago, and it has been brought to our attention that the land is in the Historic District Overlay Zone. We were never informed we would need HDC approval to build on the land and that it would remain in the Historical District once the subdivision took place, but obviously we were informed incorrectly, which is why we are writing this letter. We are asking to remove our lot from the Historical District for several reasons which we have laid out below:

- The Historic District Overlay Zone was extended down Middle Street and Lafayette Road from South Street to State Street because it is considered a "gateway" into the city. All properties with direct frontage on the stretch of Lafayette Road (from South St) and Middle Street down to State Street are considered part of the Historic District Overlay Zone. The subject property has no frontage, in fact, it does not directly abut Lafayette Road or Middle Street.
- Some properties that are located on the corner lots of Lafayette Road from South Street down to State Street are considered part of the Historical District. The subject lot is not a corner lot abutting Lafayette Road or Middle Street.
- The subject property's frontage is on Orchard Street. No properties on Orchard Street are in the Historical District.
- The structure being built coincides with the zoning requirements for GRA (plans attached)
- The character of the Historic District Overlay Zone will not be affected, as the structure will not be able to have any direct visibility from Lafayette Road or Middle Street.
- Constructing the home in its current location will not contradict with the spirit of the city's zoning of the HDC overlay district as a "gateway" into the city.

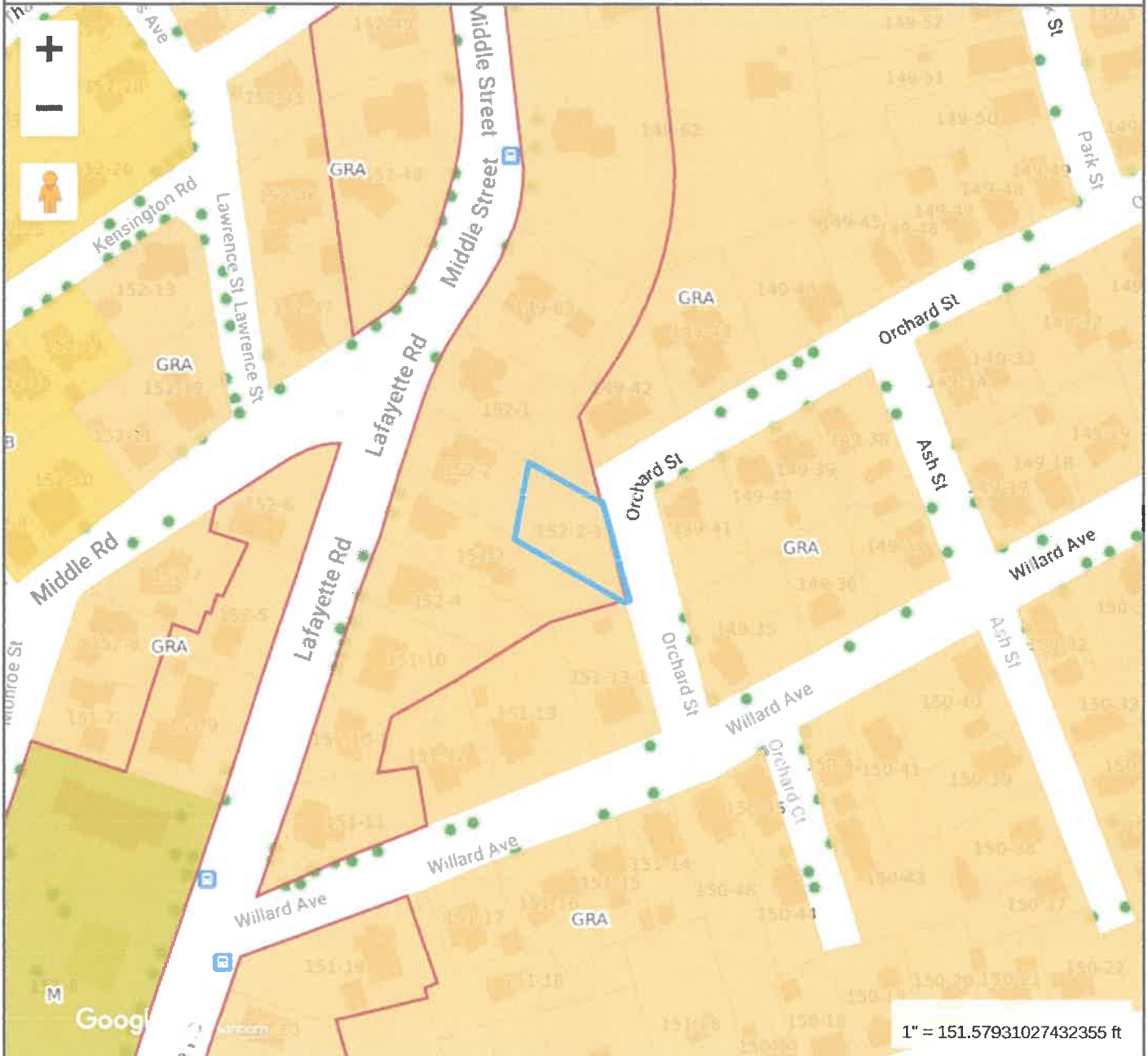
We understand that this is a rare ask, but after reviewing the HDC's guidelines and current zoning, we feel this should be granted as an exception, and we kindly ask for your help doing so. Our intentions are to in no way take away from the historical character of our City's "gateway" to downtown. Our house's characteristics fall in line with other houses on our street that are not part of the HDC jurisdiction, and we are asking to join them. Our lot was not created until after the Historic District Overlay Zone was determined, and the original lot was one undivided lot. We were trying to get the foundation in the ground prior to winter, as we have had our permit in for a couple months now, and we're trying to get our house built in a timely manner for our family to move in by this coming Spring.

Thank you for taking the time to read this and for taking our ask into consideration. If you have any questions please do not hesitate to reach out.


Jessie and Scott Rafferty

185 Orchard Street, Portsmouth, NH 03801

srafferty@ocrandco.com
603-767-8929



Property Information

Property ID 0152-0002-0000
 Location 15 LAFAYETTE RD
 Owner LOADER CHRISTOPHER J & AMY

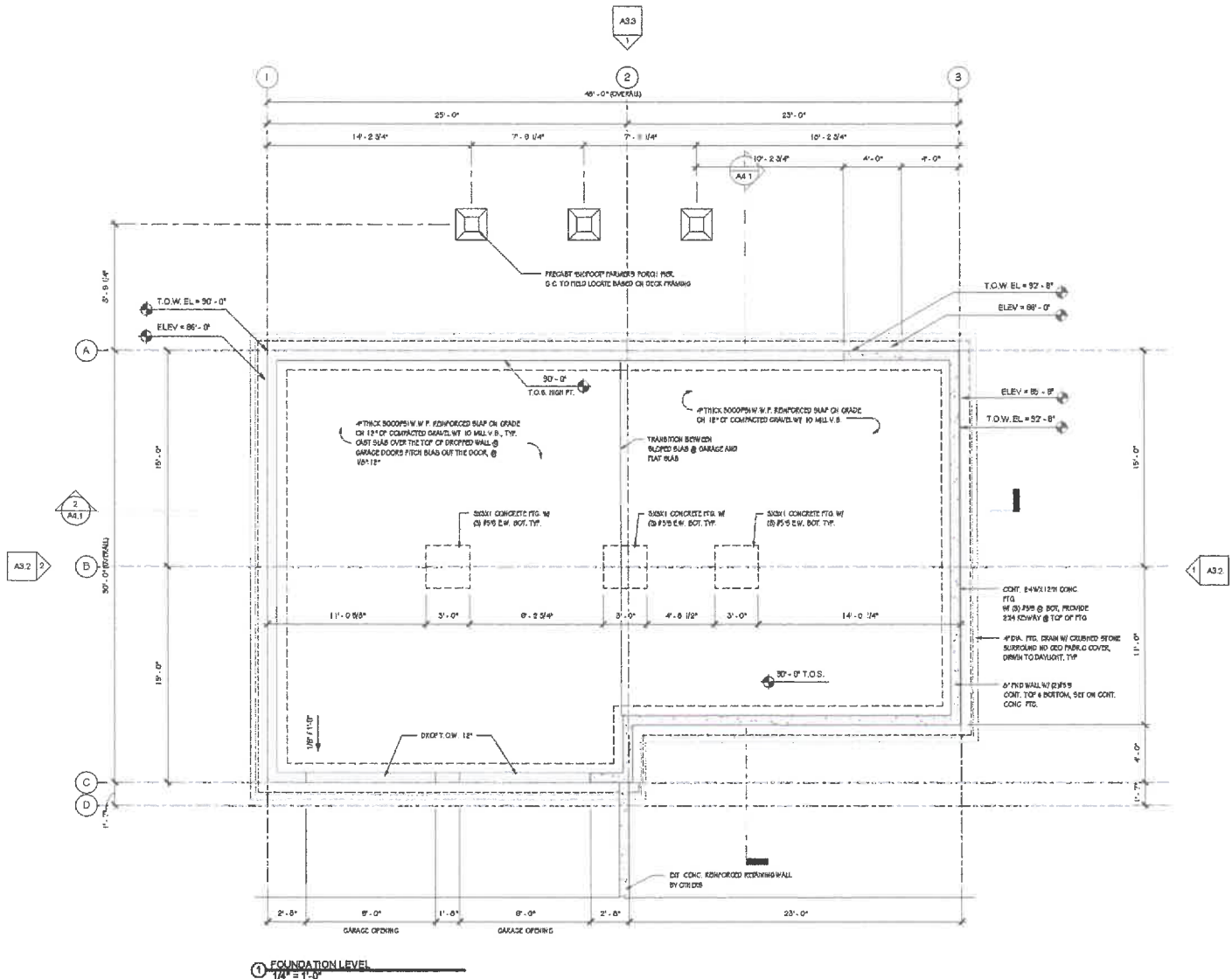


MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

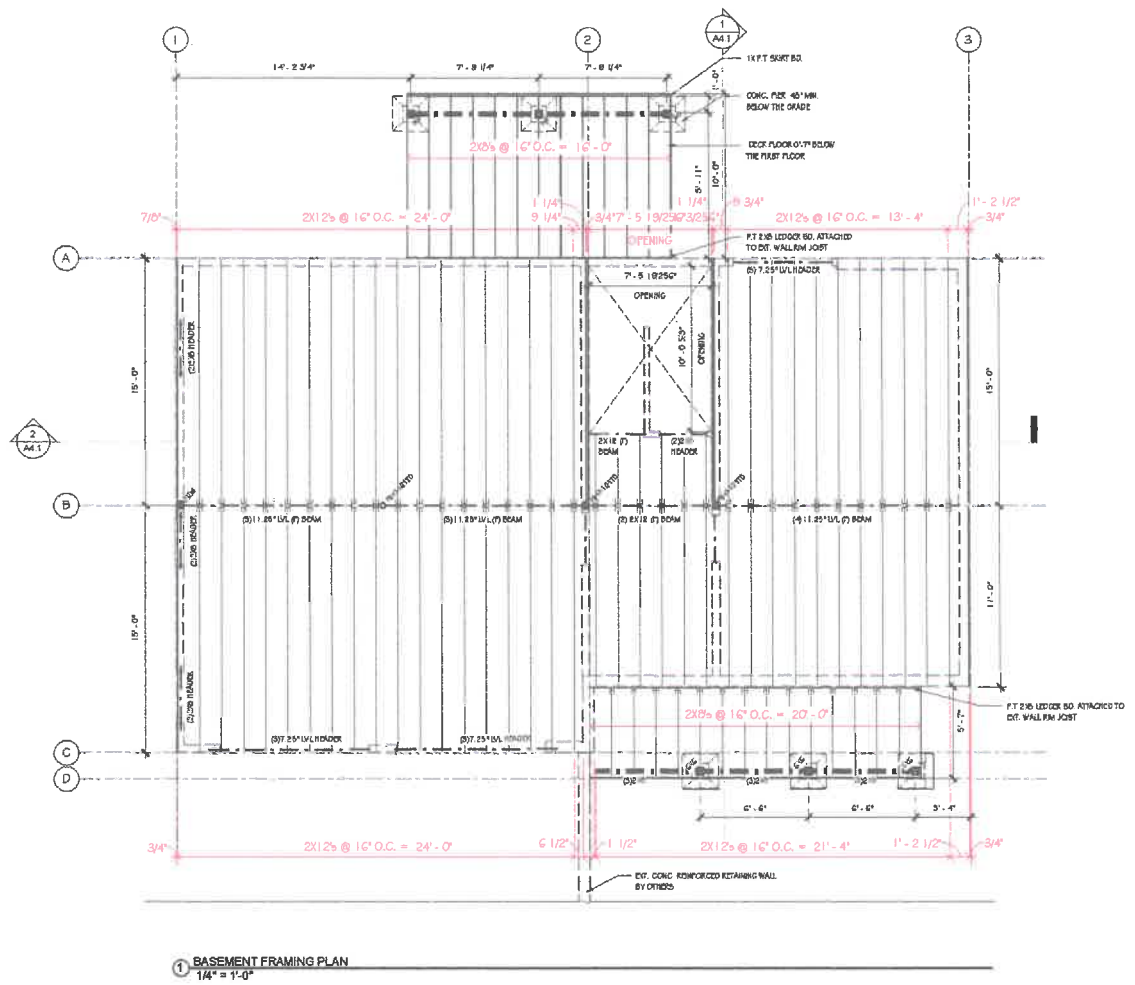
Geometry updated 09/18/2024
 Data updated 3/9/2022

Print map scale is approximate.
 Critical layout or measurement activities should not be done using this resource.



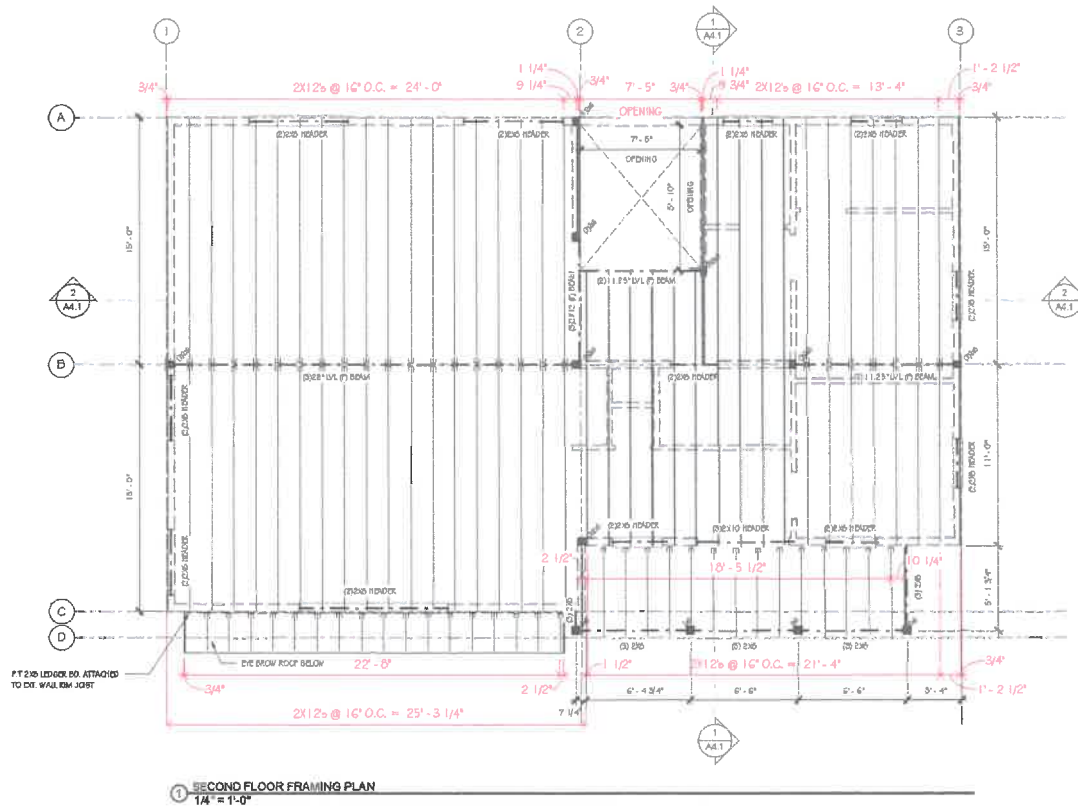
- STRUCTURAL NOTES:**
1. HOME TO HAVE #7 TAIL BASEMENT WALL & GARAGE TO HAVE #7 TAIL FROST WALLS
 2. TYPICAL BRICK CORNER FOOTING SHALL BE MINIMUM 550# W/ (3) #5 @ 2' O.C. @ BOTTOM
 3. FOUNDATION FOOTINGS TO BE CONC. 1250# W/ (3) #5 @ BOT. @ 2' O.C. @ 1" BELOW GRADE
 4. PROVIDE 234 KIBWAY @ FOOTING TO FOUNDATION WALL
 5. FOUNDATION WALLS TO BE 6" THICK W/ (2) #5 @ CONT. @ TOP, MID & BOTTOM
 6. ALL FOOTINGS & FROST FOOTINGS SHALL BE SET TO A MIN. OF 4" BELOW GRADE FOR FROST PROTECTION
 7. G.C. TO COORDINATE IN FIELD T.O.P. & STEP FTG. LOCATIONS AS REQUIRED TO MAINTAIN FROST PROTECTION
 8. ALL FOUNDATIONS SHALL RECEIVE TWO COATS OF EXTERIOR DAMP PROOFING FROM T.O.P. TO 6" BELOW FINISH GRADE
 9. DAMPROOF SHALL HAVE FOOTING PROTECTIVE DRAIN RUN TO EXIST
 10. SILL PLATE BRACKETS SHALL BE 10" LONG 1/2" GALV. BRACKETS W/ 6" EMBROIDMENT, SPACED @ 4" O.C. MAX. W/ MAX. 12" FROM CORNER, MIN. (2) BOLTS PER PLATE
 11. PROVIDE CONT. 2" WALL WITH 1" UNDER F.T. WD. SILL PLATE
 12. ALL FLOOR JOISTS SHALL BE 2" X 12" S.D. SPACED @ 12" O.C. @ 1" O.C.
 13. ALL WINDOR BEARING WALLS TO BE 2" X 12" W.D. STUDS @ 12" O.C. OR BETTER
 14. ALL FLOOR JOISTS TO BE 2" X 12" W.D. TRUSSES & 1" X 12" W.D. JOISTS
 15. INSTALL DOOR BOLD DOWN IN THE WALL CORNERS IF LESS THAN 40" OF CONT. WALL OPENING
 16. ALL WINDOW & DOOR HEADERS NOT DIMENSIONED ON PLANS SHALL BE (2) 2X6 SPP No. 1 OR BETTER
 17. PROVIDE DOUBLE JACK STUDS ON OPENINGS LARGER THAN 4'-0"

FOR CONSTRUCTION
7/26/24
11:42

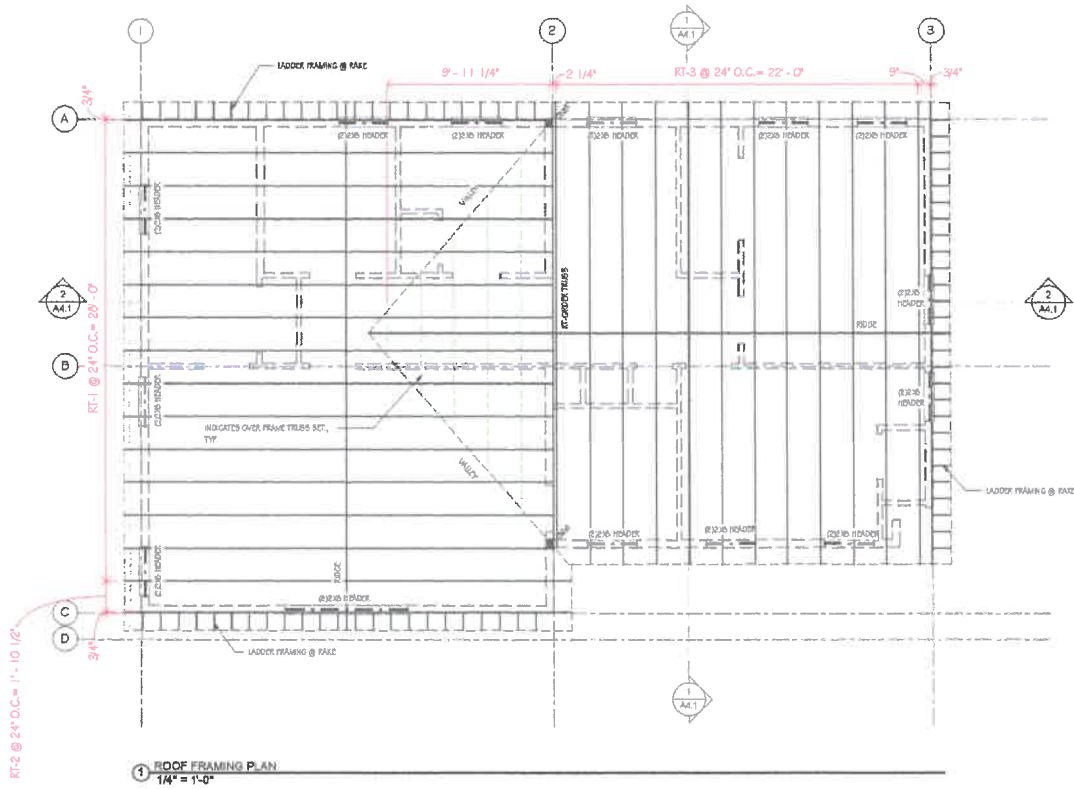


1 BASEMENT FRAMING PLAN
1/4" = 1'-0"

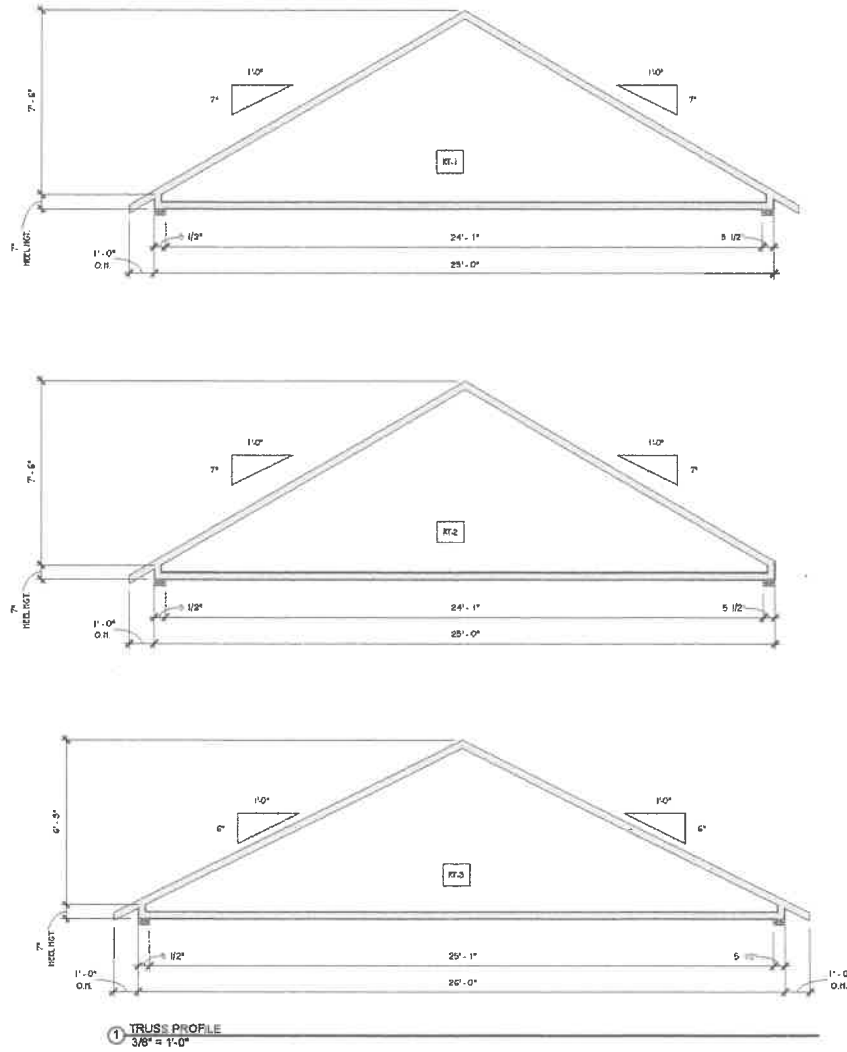
FOR CONSTRUCT
7/26/24
11:42



FOR CONSTRUCTION
7/26/24
11:42:11



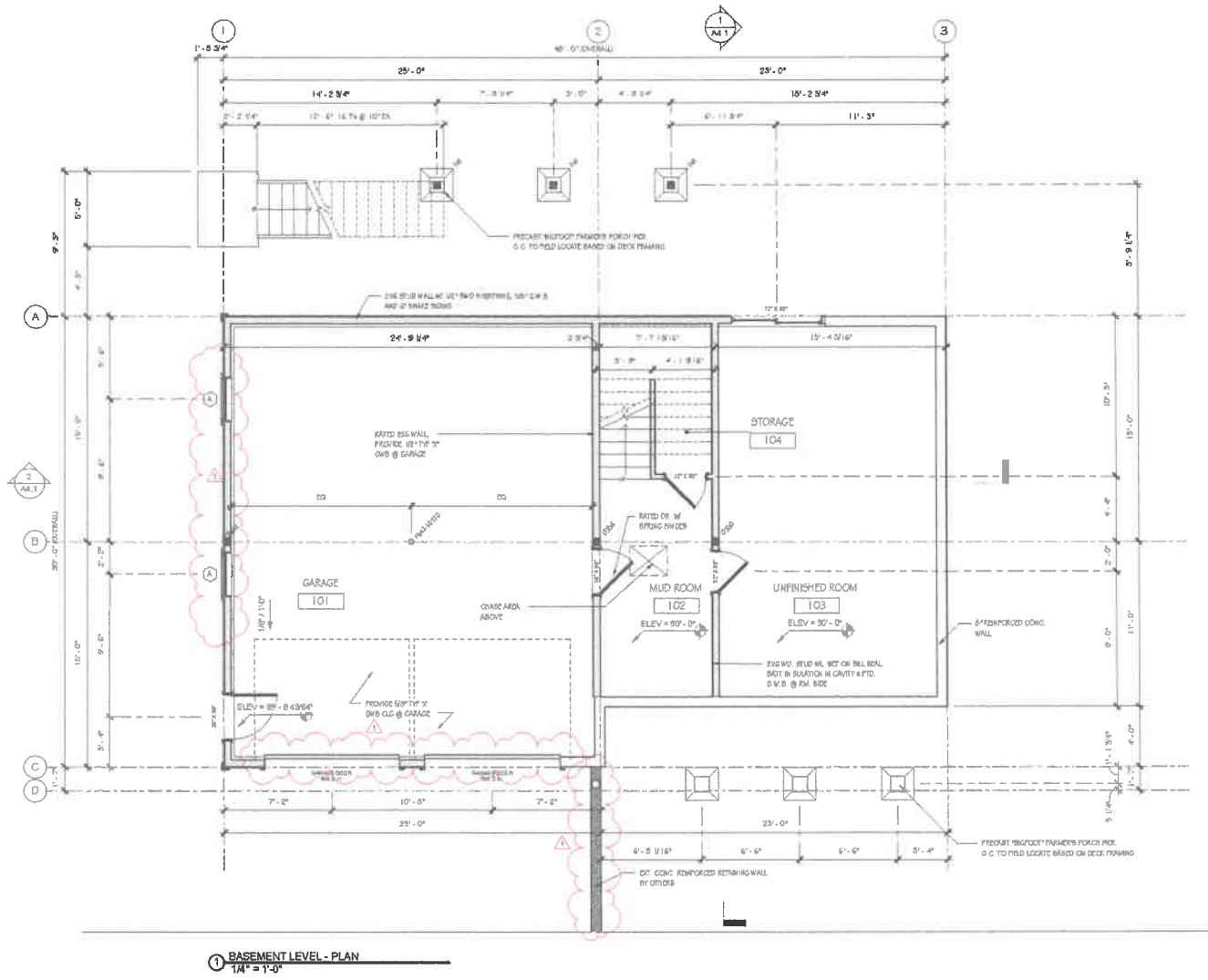
FOR CONSTRUCT
7/26/24
11:42:17



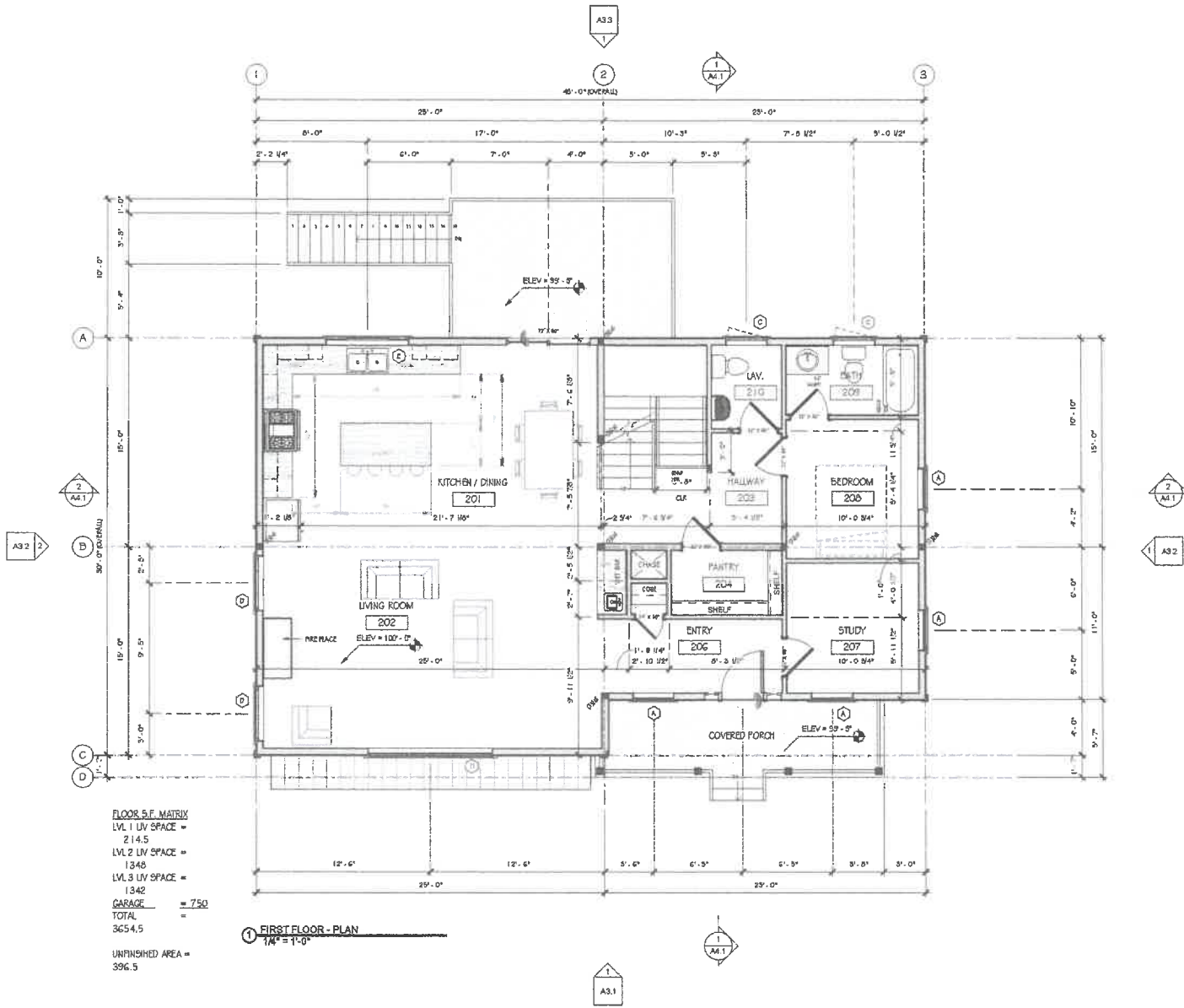
STRUCTURAL LOCAL NOTES, U.S.G.:

1. ALL WORK, MATERIALS AND INSTALLATION OF ALL ITEMS AND PRODUCTS SHALL CONFORM TO CURRENT CODE, STANDARD PRACTICE AND MANUFACTURE REQUIREMENTS.
2. ALL FOOTINGS & SLABS OR GRADES SHALL BE ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL WITH AN ALLOWABLE SOIL BEARING CAPACITY OF 1,500 PSF. THE OWNER IS ENCOURAGED TO OBTAIN GEOTECH TESTING AT THE OWNER'S COST.
3. ALL FOUNDATION, RETAINMENT WALLS, FOOTINGS, ISOLATION FOOTINGS, AND INTERIOR SLABS SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
4. ALL GARAGE SLABS AND ALL EXTERIOR SLABS SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI.
5. FOUNDATION FOOTINGS TO BE CON. 12" X 12" W/ #3 @ 18" S/CENT. @ BOTTOM. 8" DIA. @ 40" BELOW GRADE MIN. O.C. TO V.P., STOP ITD. AS REQD.
6. PROVIDE #4 @ 12" O.C. @ 40" O.C. W/ 1"4" ENDS INTO STEEL WALL. 1 STD. ROCK INTO ITD. BOT. PER IRC SECTION 600.
7. TYPICAL INTERIOR CON. FOOTINGS SHALL BE MINIMUM 300X11" W/ #3 @ 18" S/CENT. W/ 1"4" @ BOTTOM.
8. TYPICAL FOUNDATION FROSE WALLS TO BE 8" THICK W/ #1 @ 18" S/CENT. @ TOP, MID & BOTTOM.
9. PROVIDE TWO COURTS OF DRAIN FOOTING ON THE EXT. FACE OF MID WALL FOOTING.
10. FOR ALL OCCUPIED ELEMENTS OR IF BITE WATER TRAILS REQUIRED, PROVIDE 4" PVC ITD. DRAIN PIPE & GEO FABRIC PER DETAIL. RUN PIPE TO DAY LIGHT.
11. ALL FLOOR ANCHORS SHALL BE 6" DIA. 10" LONG @ 24" S/CENT. W/ #4 SUBMERGED, SET TO BE IN MID. 1/3 OF WD. FACE.
12. ANCHOR BOLT SPACING SHALL BE 4" O.C. MAX. 4" (2" FROM CORNER MAX.) (2) BOLTS PER PLATE MIN. PROVIDE STANDARD WALKER & NUT FOR DR.
13. ANY LUMBER EXPOSED TO WEATHER, OR IN CONTACT W/ CONCRETE OR STEEL SHALL BE PRESSURE TREATED (P.T.) LUMBER. ANY LUMBER IN DIRECT CONTACT W/ THE GROUND SHALL BE TREATED PER IBC.
14. PROVIDE CONT. SILL WALLS UNDER P.T. WD. SILL PLATE.
15. ALL NOMINAL STRUCTURAL LUMBER SHALL BE K.D. SPP No. 1 / No. 2, U.S.G.
16. ALL CONCRETE LUMBER AND STRUCTURAL MEMBERS SHALL BE WEATHERED FOR PRODUCTS OR APPROVED EQUAL AND SHALL BE INSTALLED PER MANUFACTURER'S LATEST REQUIREMENTS.
17. ALL FIRE ENGINEERED WOOD TRUSSES SHALL BE DESIGNED BY AN ENGINEER LICENSED IN THE STATE BEING DESIGNED IN THIS SHALL BE THE RESPONSIBILITY OF THE TRUSS PROVIDER.
18. REFER TO TYPICAL ASSEMBLY NOTES ON DWG SHEET FOR THE DESIGN INTENT OF ALL WALL SILL, RAFTERS, AND JOIST SIZES AND SPACING.
19. REFER TO FLOOR OR FRAMING PLANS FOR ALL HEADER, DIMS AND COL. SIZES.
20. ALL INTERIOR BEARING WALLS TO BE 2X6 14" O.C. OR BETTER.
21. ALL FLOOR BEARING SHALL BE 2X12 OR TAG GLEYS & WALLED TO WD. JOISTS. ADVANTAGE OR EQUAL, (NOTED ON DWGS AS FLYING)
 - ALL EXTERIOR WALL OPENING SHALL BE 10" W/ 2X6.
22. INSTALL ROOF BOLD CORN IN EXT. WALL CORNERS W/ LESS THAN 40" OF CONT. WALL BEARING. O.C. TO V.P. AND COORDINATE WITH DETAIL AS REQUIRED.
23. ALL WINDOW & DOOR HEADERS NOT DESIGNATED ON PLANS SHALL BE 2X12.
24. PROVIDE DOUBLE PILE STUDS OR OPENING LARGER THAN 4'-0". 1 STRE. JACKS OR OPENING LARGER THAN 8'-0".
25. G.C. TO PROVIDE FASTENERS FOR THE IRC PRESCRIPTIVE METH CD, U.S.G.

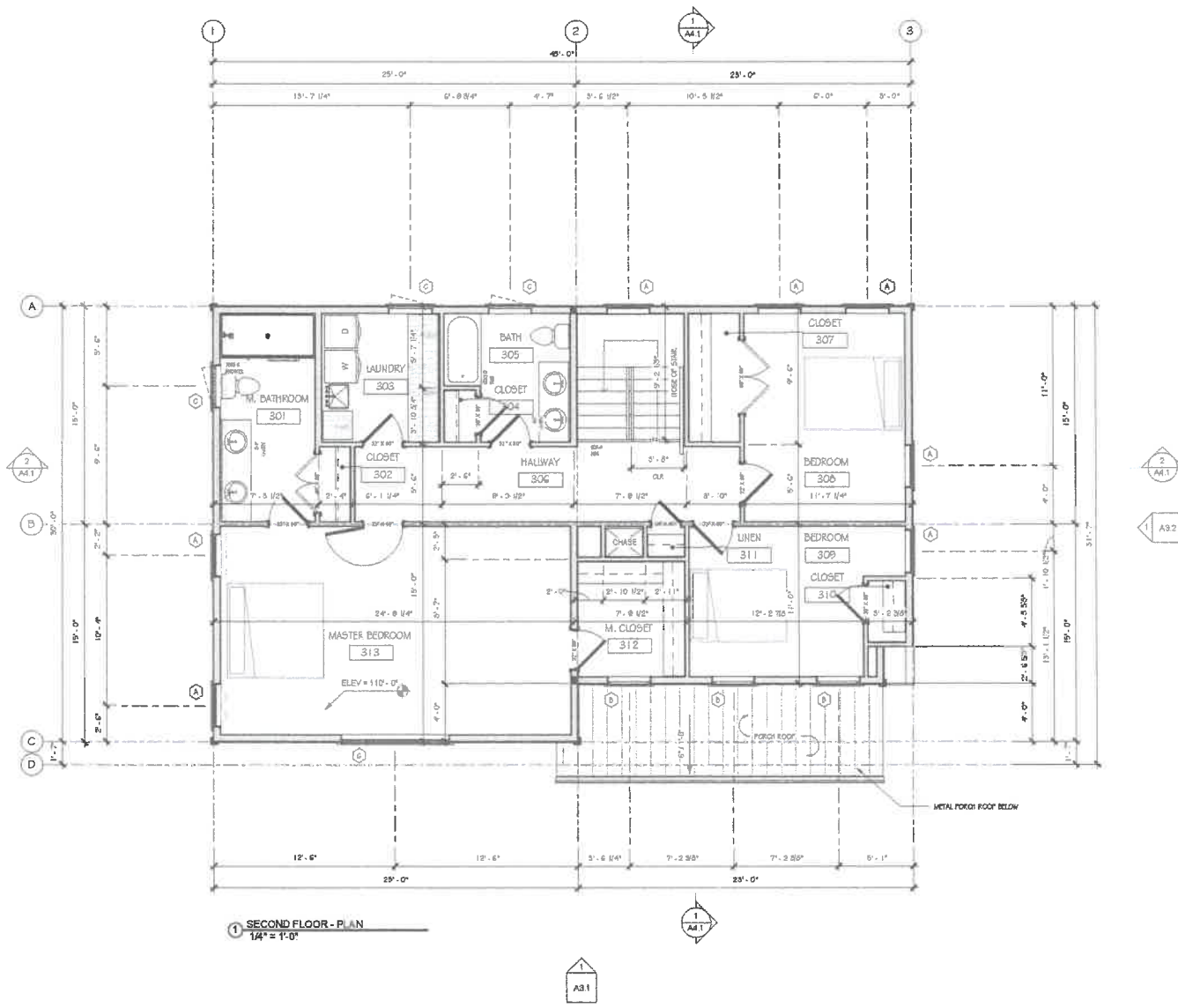
FOR CONSTRUCT
7/26/21
11:42



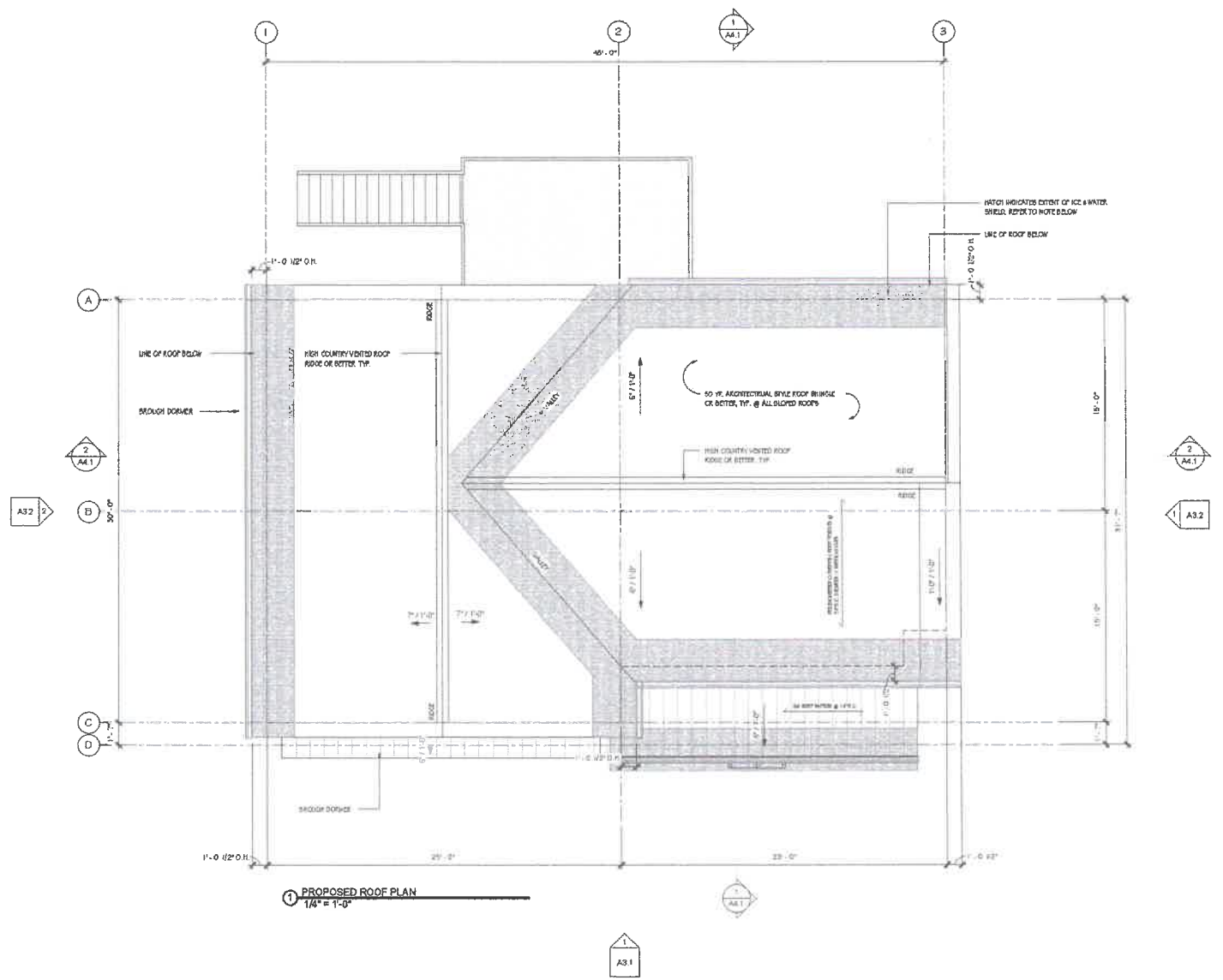
FOR CONSTRUCTION
7/26/24
11:42



FOR CONSTRUCT
7/26/21
11:42:1



FOR CONSTRUCT
 7/26/20
 11:42:1



ROOF VENTING CALCULATIONS

| ROOF | AREA | REQUIRED VENTING AREA | ADDS |
|-----------|-----------|-----------------------|--------|
| MAIN ROOF | 18,146 SF | 5.08 SF | 6.2c 5 |

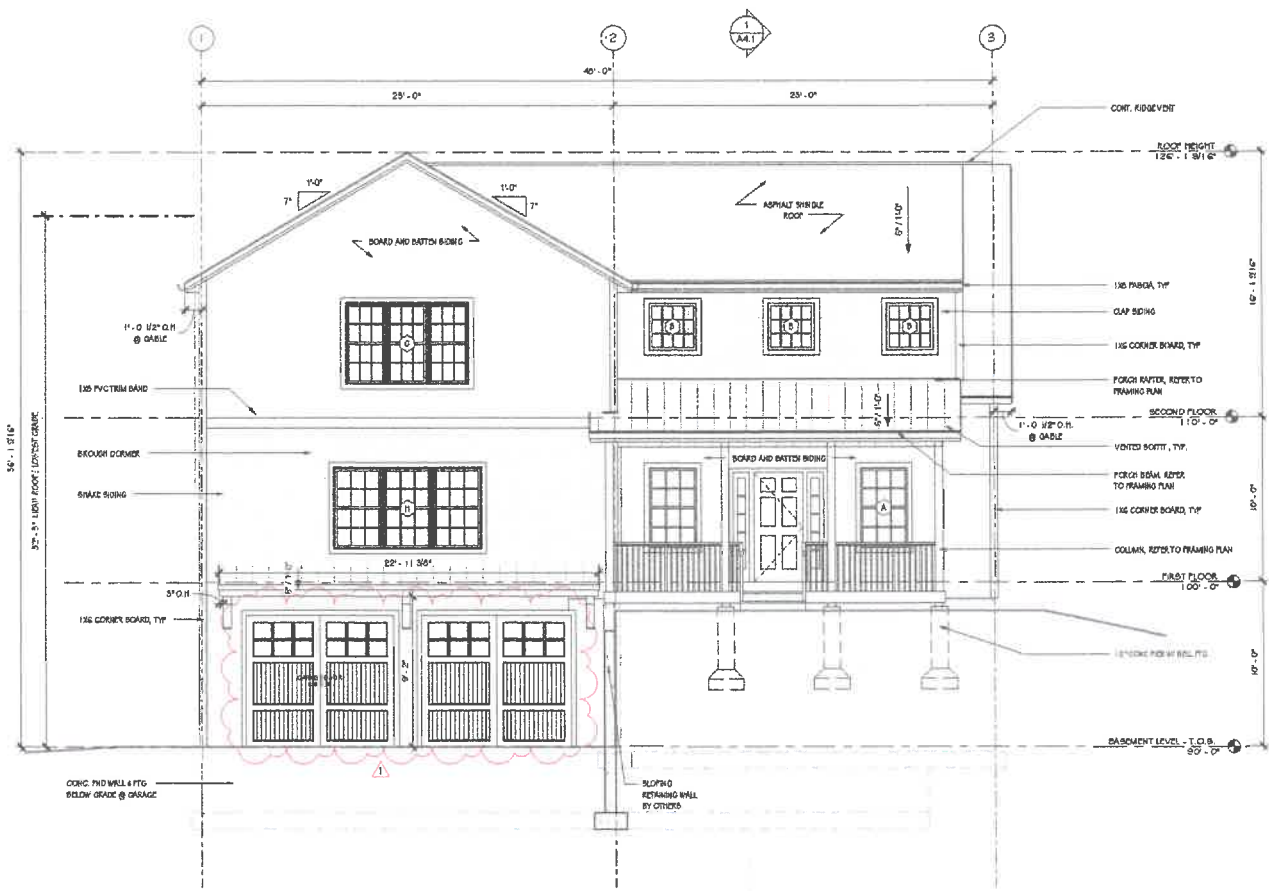
ROOF AREA / 300 = REQUIRED VENTING AREA PER IRC R010.1.2.2.6

ROOF VENTING NOTES:

1. ROOF VENT CALCULATIONS BASED ON CORRA DIA 80 FT VD
2. ONE VENTS BASED ON CERTAINTED VINYL GARMENTARY HWY NET AREA 2.00 SQ FT
3. MULTIFAMILY BUILT VENTS BASED ON AREA/VA, SEE SLANT 1
4. FOR COXITION 1) A CLASS 1 OR 2 W/ OR ESTABLER IN HWT AMOR 12) NOT LESS THAN 40% AND NOT MORE THAN 10% VENTS LOCATED IN THE UPPER PORTION OF THE ATTIC OR S.

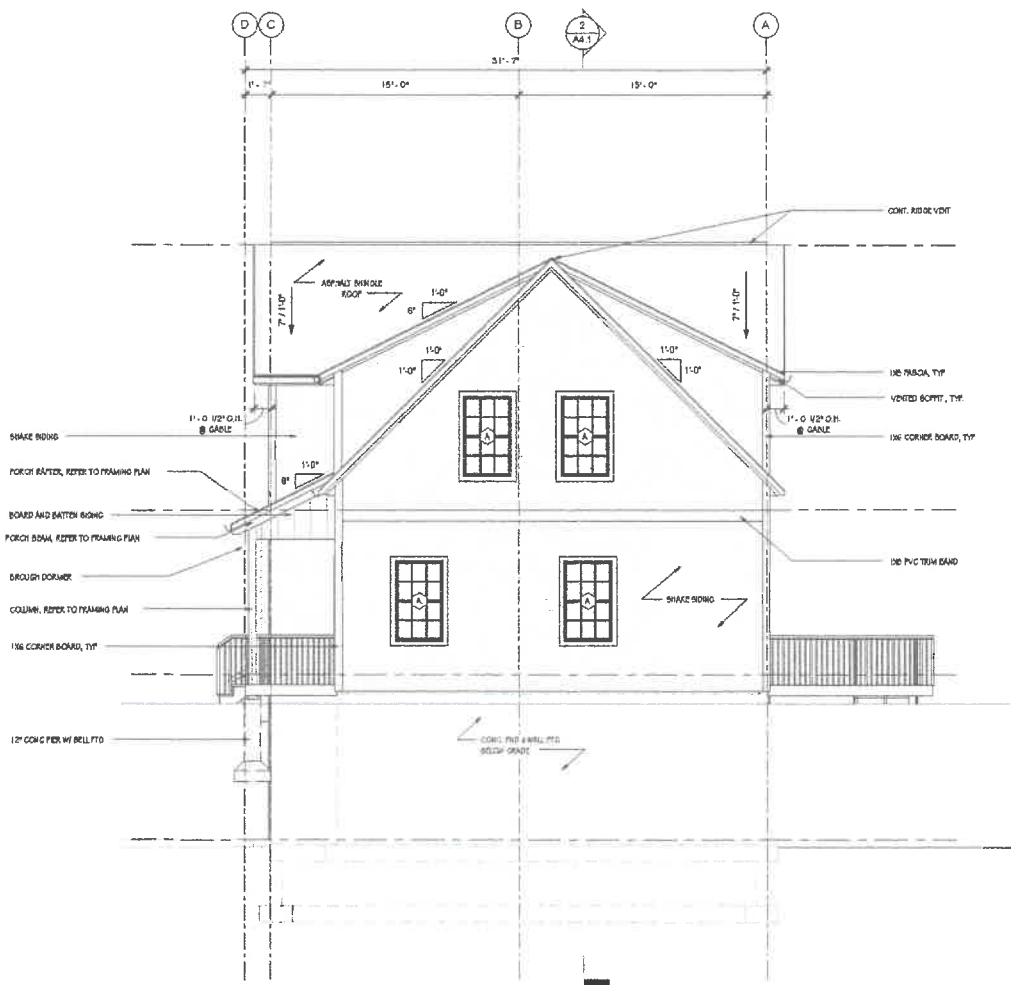
FOR CONSTRUCT
7/26/21
11:42'

C:\Users\lucm\OneDrive\Documents\Design\Drawings\Project\24205 - Refinery Residence\24205 - SD_2024_07_D1.rvt

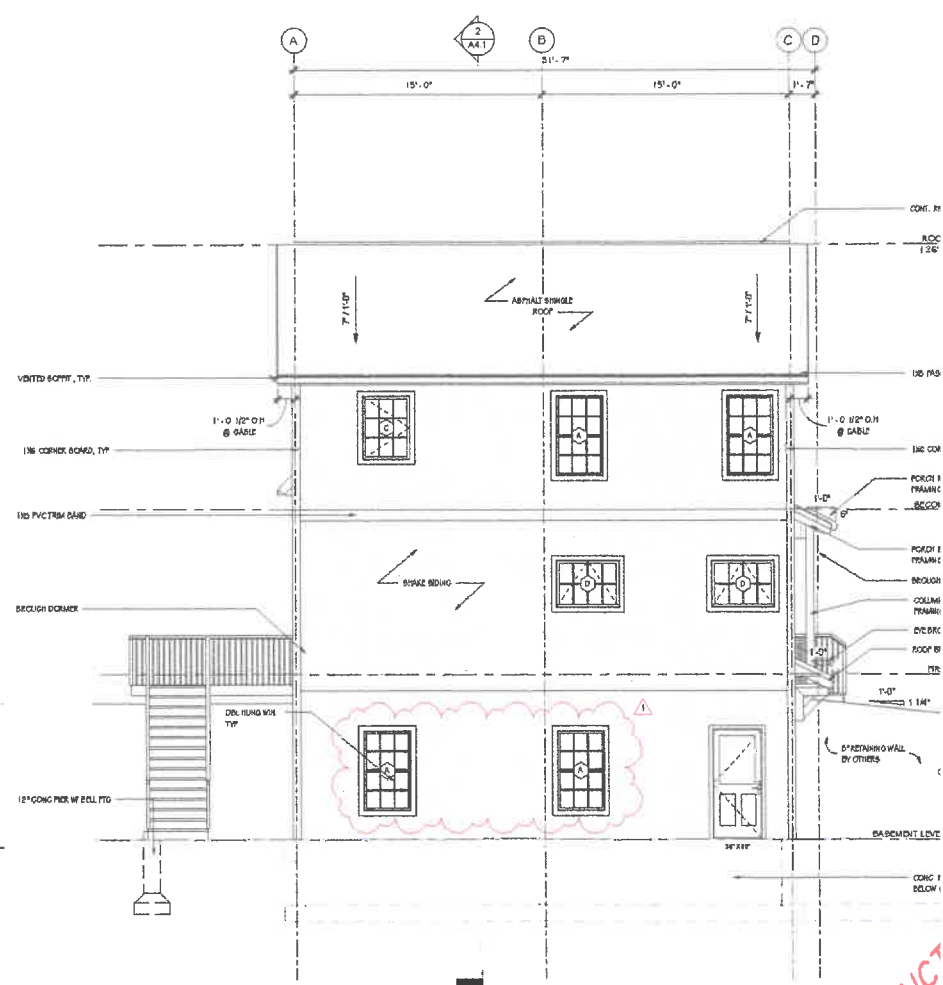


1 FRONT ELEVATION
1/4" = 1'-0"

FOR CONSTRUCTION
7/26/24
11:42



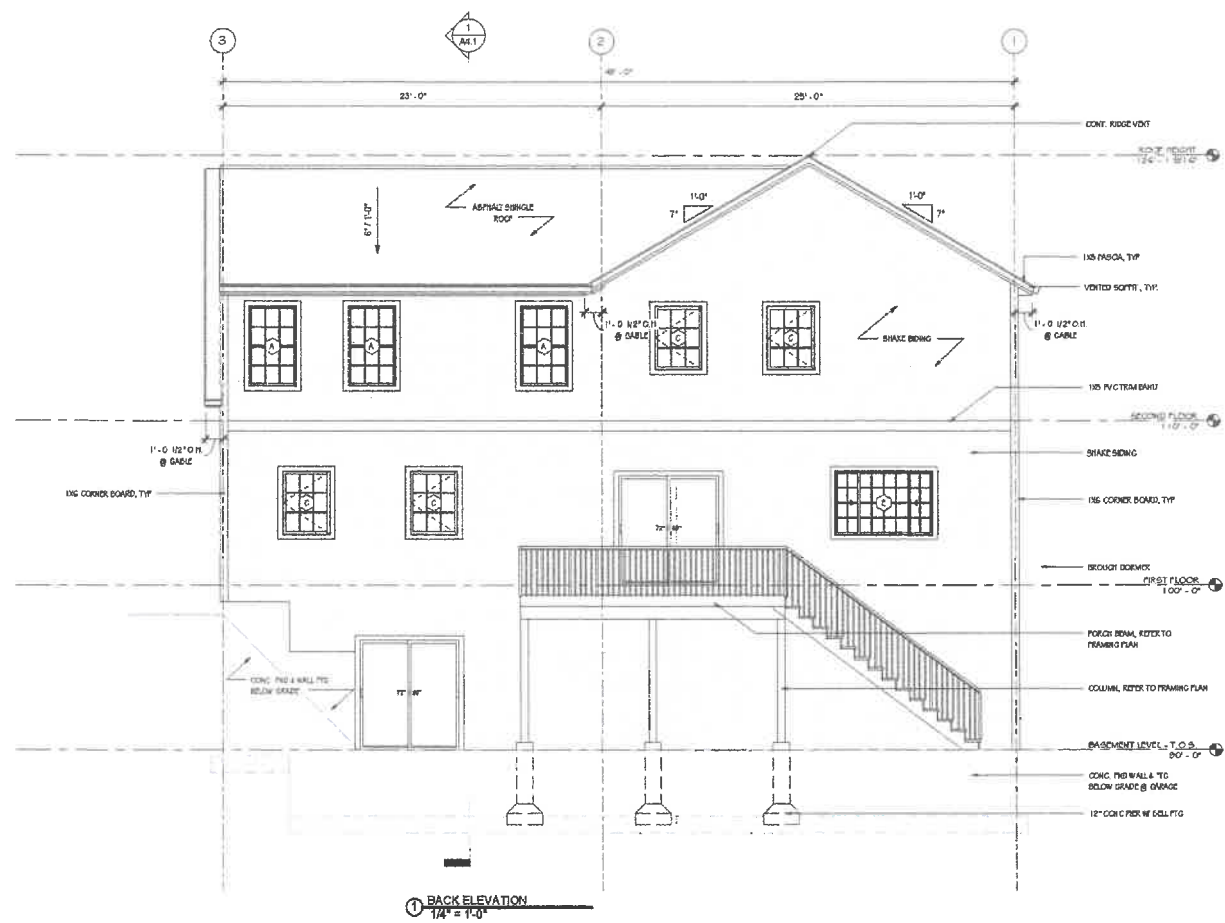
1 RIGHT ELEVATION
1/4" = 1'-0"



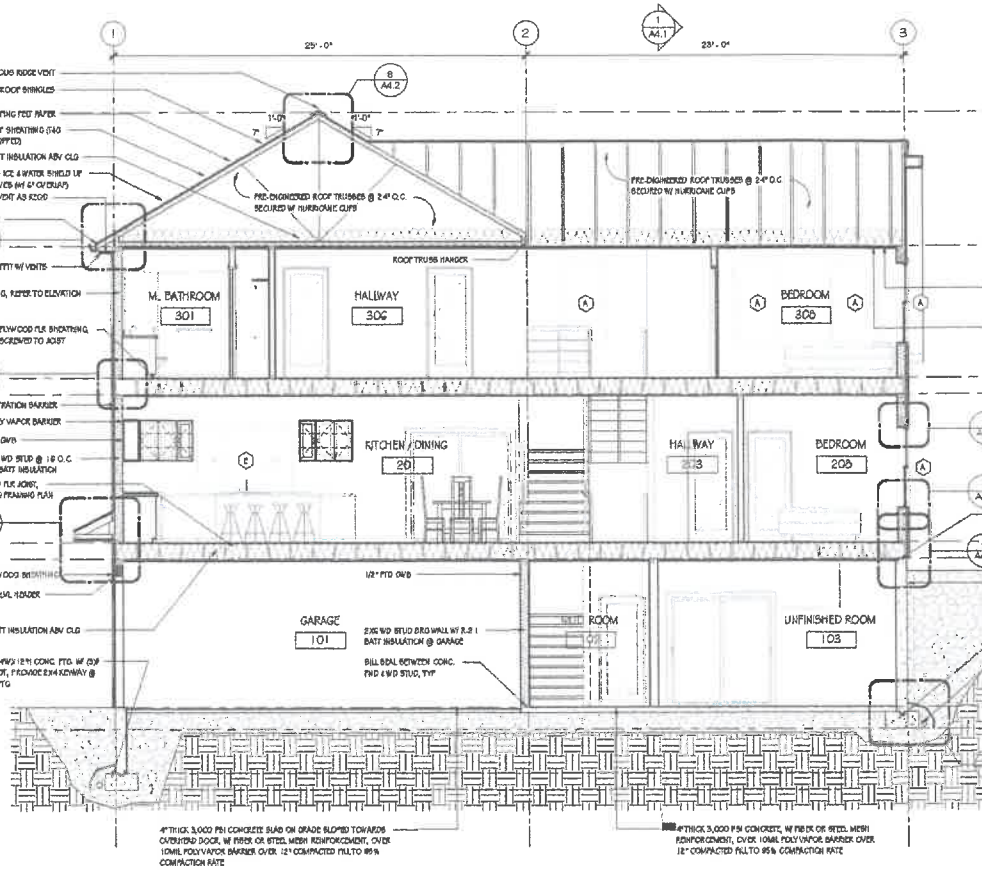
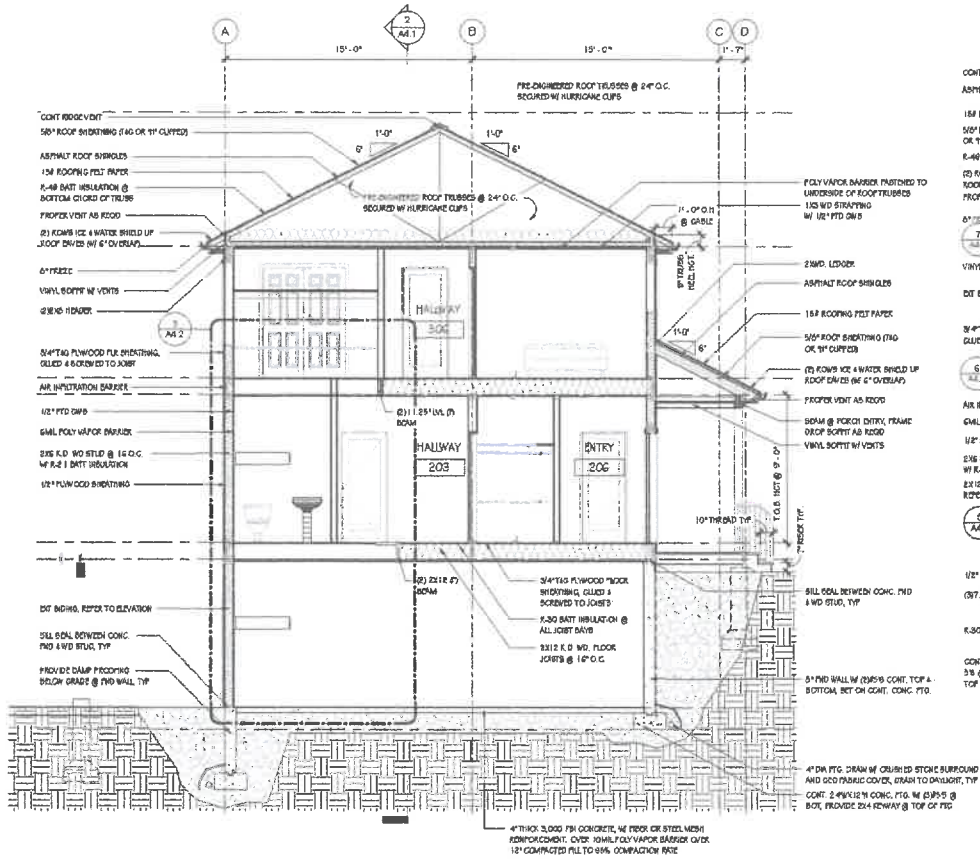
2 LEFT ELEVATION
1/4" = 1'-0"

FOR CONSTRUCTION
7/26/21
11:42

C:\Users\m\OneDrive\Documents\Projects\2025 - Refinery\Residence\01025 - SD_2025_01_01.rvt

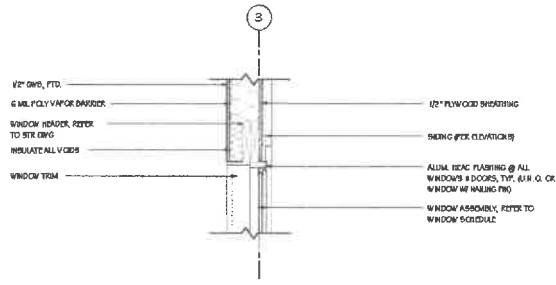


FOR CONSTRUCTION
7/26/25
11:42 AM

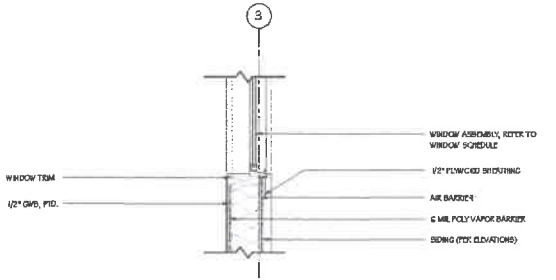


C:\Users\jamm\OneDrive\Documents\Projects\CAD\Drawings - Residential\Residence\CAD\Drawings - SD_2024_01_14.rvt

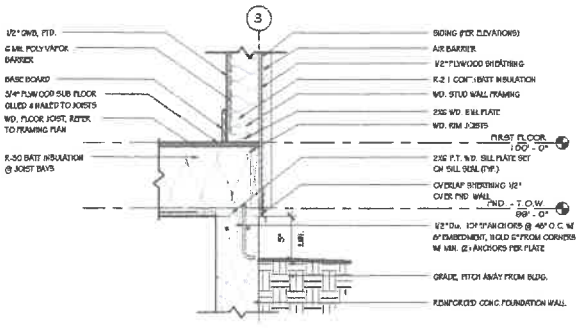
FOR CONSTRUCT
7/26/24
11:43



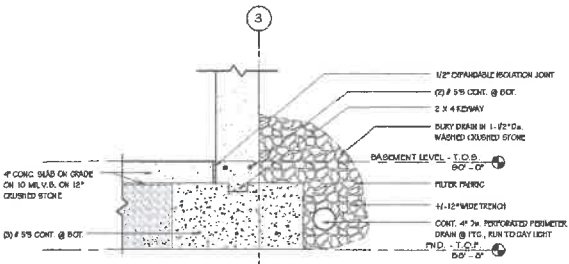
4 SEC. DTL. @ WINDOW HEADER
1" = 1'-0"



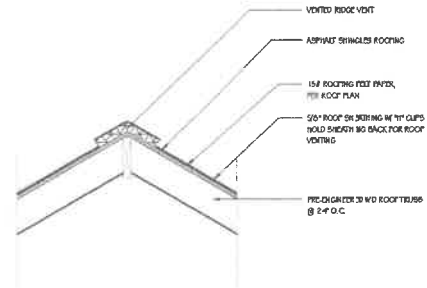
3 SEC. DTL. @ WINDOW SILL
1" = 1'-0"



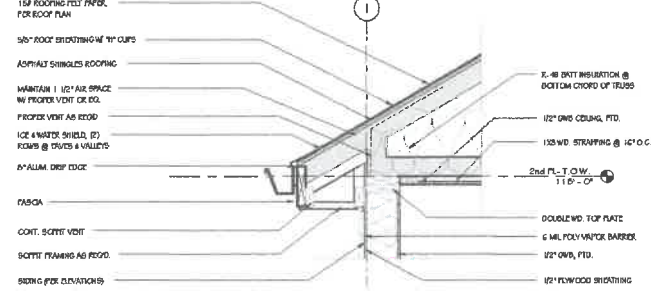
2 FIRST FLR. FLR ASSEMBLY
1" = 1'-0"



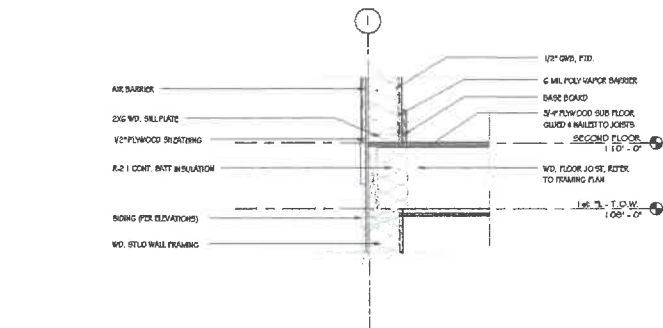
1 FND FTG DTL
1" = 1'-0"



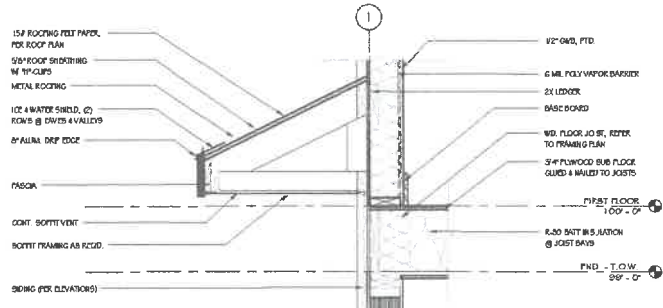
6 SEC. DTL. @ ROOF RIDGE
1" = 1'-0"



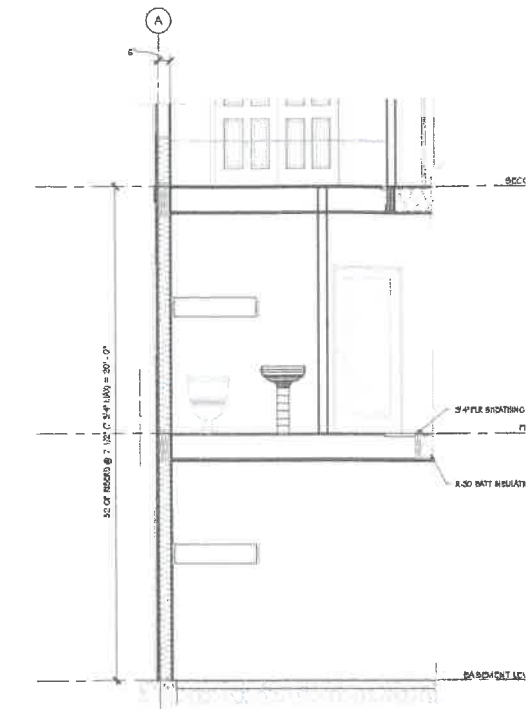
7 FIRST FLR. FLR ASSEMBLY Y
1" = 1'-0"



8 SEC. DTL. @ FLOOR DECK
1" = 1'-0"



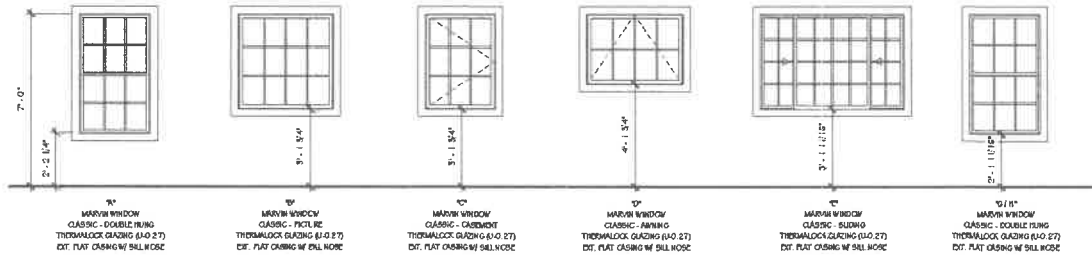
5 SEC. DTL. @ FLOOR FORMER
1" = 1'-0"



9 INTERIOR SECTION - STAIRS
3/8" = 1'-0"

FOR CONSTRUCT
7/26/21
11:43

| Window Schedule | | | | | | | |
|-----------------|--------------------------|------------|-------------|-------------|--------------|-------------|----------|
| Type Mark | Manufacturer | Model | Description | Rough Width | Rough Height | Head Height | Comments |
| A | Mervin Windows and Doors | ESDH3050 | 3660 DBHG | 3' - 0" | 5' - 0" | <varies> | |
| B | Mervin Windows and Doors | ESCAP4040 | 4848 PICT | 3' - 0" | 3' - 0" | 7' - 0" | |
| C | Mervin Windows and Doors | ESCA3040 | 3648 CSMT | 3' - 0" | 4' - 0" | 7' - 0" | |
| D | Mervin Windows and Doors | ESAWN4030 | 4836 AWNG | 4' - 0" | 3' - 0" | 7' - 0" | |
| E | Mervin Windows and Doors | ESGLTS6040 | 6040 GLDR | 6' - 0" | 4' - 0" | 7' - 0" | |
| G | Mervin Windows and Doors | ESDH3050 | 3660 DBHG | 7' - 6" | 5' - 0" | 7' - 0" | |
| H | Mervin Windows and Doors | ESDH3050 | 3660 DBHG | 9' - 0" | 5' - 0" | 7' - 0" | |

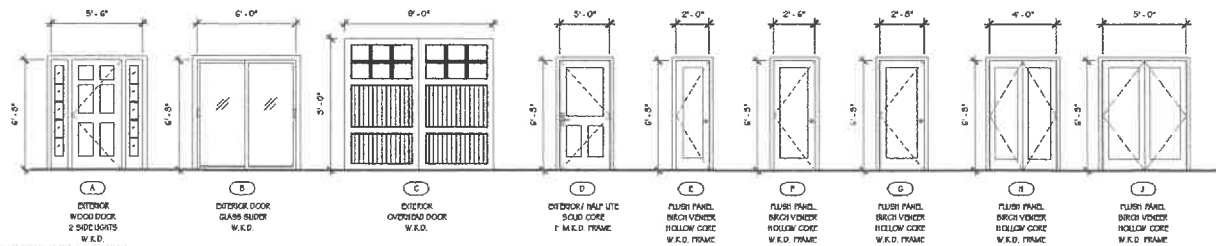


WINDOW ELEVATIONS
3/8" = 1'-0"

| Room Schedule | | | | | | | | | |
|-----------------|--------|---------------------|------------------|---------------------|--------------------|----------|--|--|--|
| Room | Number | Floor Finish | Base Finish | Wall Finish | Ceiling Finish | Openings | | | |
| PORCH | 101 | UNFINISHED CONCRETE | NONE | FTD. G.W.B. | FTD. G.W.B. (BATH) | | | | |
| MBR ROOM | 102 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| BAR | 103 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| UNFINISHED ROOM | 104 | UNFINISHED CONCRETE | NONE | UNFINISHED CONCRETE | CONCRETE | | | | |
| STORAGE | 104 | UNFINISHED CONCRETE | NONE | UNFINISHED CONCRETE | CONCRETE | | | | |
| KITCHEN | 201 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| LIVING ROOM | 202 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| HALLWAY | 203 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| PANTRY | 204 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| LOBBY | 205 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| CLOSET | 205 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| ENTRY | 206 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| STUDY | 207 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| BEDROOM | 208 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| BATH | 209 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| M.CLOSET | 210 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| LAW | 210 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| M.BATHROOM | 301 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| CLOSET | 302 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| LAUNDRY | 303 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| CLOSET | 304 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| BETH | 305 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| HALLWAY | 306 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| CLOSET | 307 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| BEDROOM | 308 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| BEDROOM | 309 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| CLOSET | 310 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| LOBBY | 311 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| M.CLOSET | 312 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |
| MASTER BEDROOM | 513 | LVT | 5.25" SPEED BASE | FTD. G.W.B. | FTD. G.W.B. | | | | |

- FINISH SCHEDULE NOTES:**
- ALL INTERIOR NON LOAD BEARING WALL SHALL BE 2x4 FD STUDS @ 16" O.C.
 - ALL OWS IN RATED ASSEMBLY SHALL BE 2x8" F.L.S. (PARALLEL TO JOIST SEPARATION WALL)
 - ALL OWS IN UNRATED ASSEMBLY SHALL BE 16" F.L.S.
 - ALL OWS IN BATH ROOMS SHALL BE INSULATED PERMITS.
 - ALL OWS SHALL BE MAILED & SCHEDULED TO RECEIVE FRAMES & PAINT, EVEN IF NOT IN OCCUPIED SPACE.
 - ALL RATED WALLS SHALL BE MAILED TO UNDER SIDE OF DECK ABOVE.
 - ALL INTERIOR WALL PAINT TO BE (1) COAT OF PRIMER & (2) COATS OF FINISH PAINT.

| Door Schedule | | | | | | | | | | | | |
|---------------|-----------|-----------|-------------|--------------|-----------|-------------|---------------|-------------|------------|--------------|----------|-----------------------------------|
| Mark | Type Mark | Operation | Rough Width | Rough Height | Thickness | Fire Rating | Door Material | Door Finish | Frame Type | Frame Finish | Lock Set | Comments |
| 101 | D | | 3'-0" | 6'-0" | 1-3/8" | | | | | | | |
| 102 | 271 | | 3'-0" | 6'-0" | 1-3/8" | | | | | | | |
| 103 | B | | 2'-0" | 6'-0" | 1-3/8" | | | | | | | |
| 104 | G | | 2'-0" | 6'-0" | 1-3/8" | | | | | | | |
| 201 | B | | 2'-0" | 6'-0" | 1-3/8" | | | | | | | |
| 204 | G | | 2'-0" | 6'-0" | 1-3/8" | | | | | | | |
| 205 | E | | 2'-0" | 6'-0" | 1-3/8" | | | | | | | |
| 207 | G | | 2'-0" | 6'-0" | 1-3/8" | | | | | | | |
| 206 | G | | 2'-0" | 6'-0" | 1-3/8" | | | | | | | |
| 209 | G | | 2'-0" | 6'-0" | 1-3/8" | | | | | | | |
| 210 | G | | 2'-0" | 6'-0" | 1-3/8" | | | | | | | |
| 301 | G | | 2'-0" | 6'-0" | 1-3/8" | | | | | | | |
| 302 | H | | 4'-0" | 6'-0" | 1-3/4" | | | | | | | |
| 303 | G | | 2'-0" | 6'-0" | 1-3/8" | | | | | | | |
| 304 | F | | 2'-0" | 6'-0" | 1-3/8" | | | | | | | |
| 305 | H | | 2'-0" | 6'-0" | 1-3/8" | | | | | | | |
| 307 | H | | 2'-0" | 6'-0" | 1-3/4" | | | | | | | |
| 306 | E | | 2'-0" | 6'-0" | 1-3/8" | | | | | | | |
| 309 | G | | 2'-0" | 6'-0" | 1-3/8" | | | | | | | |
| 310 | F | | 2'-0" | 6'-0" | 1-3/8" | | | | | | | |
| 311 | E | | 2'-0" | 6'-0" | 1-3/8" | | | | | | | |
| 312 | G | | 2'-0" | 6'-0" | 1-3/8" | | | | | | | |
| 513 | G | | 2'-0" | 6'-0" | 1-3/8" | | | | | | | |
| 310 | C | | 8'-0" | 6'-0" | 1-3/8" | | | | | | | Complies with SM Standard 12-7A.1 |
| 311 | C | | 9'-0" | 6'-0" | 1-3/8" | | | | | | | Complies with SM Standard 12-7A.1 |
| 312 | H | | 3'-0" | 6'-0" | 1-3/8" | | | | | | | |



DOOR ELEVATIONS
1/4" = 1'-0"

FOR CONSTRUCTION
7/26/21
11:43:1

Existing homes in the neighborhood 1-3



2-3



3-3



The Board voted to recommend the City Council hold second reading on the proposed GNOD zoning amendments and to recommend adding Day Care as a permitted use.

Motion: P. Giuliano, **Second:** T. Coviello
Motion passed 8-1 with Member Hewitt voting against

- D.** The request of **Scott Rafferty (Owner)**, to remove **185 Orchard Street** from The Historic District. Said property is located on Assessor Map152 Lot 2-1 and lies within the Historic and General Residence A (GRA) Districts.

Recommend the City Council remove 185 Orchard Street from the Historic District.

Motion: K. Conard, **Second:** J. Almeida
Motion passed with all in favor

V. CITY COUNCIL REFERRALS

- A. Gateway Neighborhood Overlay District (GNOD) – see above**
- B. 185 Orchard Street – see above**
- C. 165 & 177 Bartlett Street – Sidewalk & Temporary Construction Easements**

Recommend the City Council accept sidewalk and temporary construction easements from property owners at 177 and 165 Bartlett Street.

Motion: B. Moreau, **Second:** K. Conard
Motion passed with all in favor

VI. OTHER BUSINESS

- A.** Presentation from Portsmouth High School Student ACE (Architecture, Construction, Engineering) Mentorship Club
- B. 2 Russell Street –** Requesting a second one-year extension of the Site Plan Approval, through December 15, 2025.

*The Board voted to **grant** a second one-year extension of the site plan to December 15, 2025.*

Motion: K. Conard, **Second:** J. Almeida
Motion passed 8-1 with Member Hewitt voting against

17. Consent Agenda – **Voted** to adopt the Consent Agenda.

- A. Request from Nissa Bagelman, Reedmor Books & Brews, to install a Projecting Sign at 67 State Street, Unit 2 - **Voted** to approve the aforementioned Projecting Sign License as recommended by the Planning & Sustainability Director, and further, authorize the City Manager to execute the License Agreement for this request.

Planning Director's Stipulations:

- *The license shall be approved by the Legal Department as to content and form;*
- *Any removal or relocation of projecting sign, for any reason, shall be done at no cost to the City; and*
- *Any disturbance of a sidewalk, street or other public infrastructure resulting from the installation, relocation or removal of the projecting sign, for any reason shall be restored at no cost to the City and shall be subject to review and acceptance by the Department of Public Works*

18. Email Correspondence – **Voted** to accept and place on file.

19. Letter from Jessie & Scott Rafferty requesting their residence be removed from the Historic District – **Voted** to refer the amendment of the zoning map, removing 185 Orchard Street from the Historic District to the Planning Board and the Historic District Commission for reports back to the City Council.

20. Letter from Meg Gilman regarding eliminating pesticide use in our communities and State - **Voted** move to accept and place on file.

21. Letter from Abigail Gindele regarding the increasing pesticide dependency tied to an imbalance in ecosystems - **Voted** move to accept and place on file.

22. Letter from Michael Capalare requesting the city place an historical marker at The Plains to signify George Washington's arrival in Portsmouth on October 31, 1789 – **Voted** to refer to the Public Works Department for report back.

23. Letter from Bob Corash regarding the construction of the Community Policing Facility – **Voted** to accept and place on file.

24. Letter from Francis Desper, Frank E. Booma Post 6 American Legion, requesting to host the Wall of Healing during the summer of 2025 - **Voted** to refer to the School Board for its consideration.

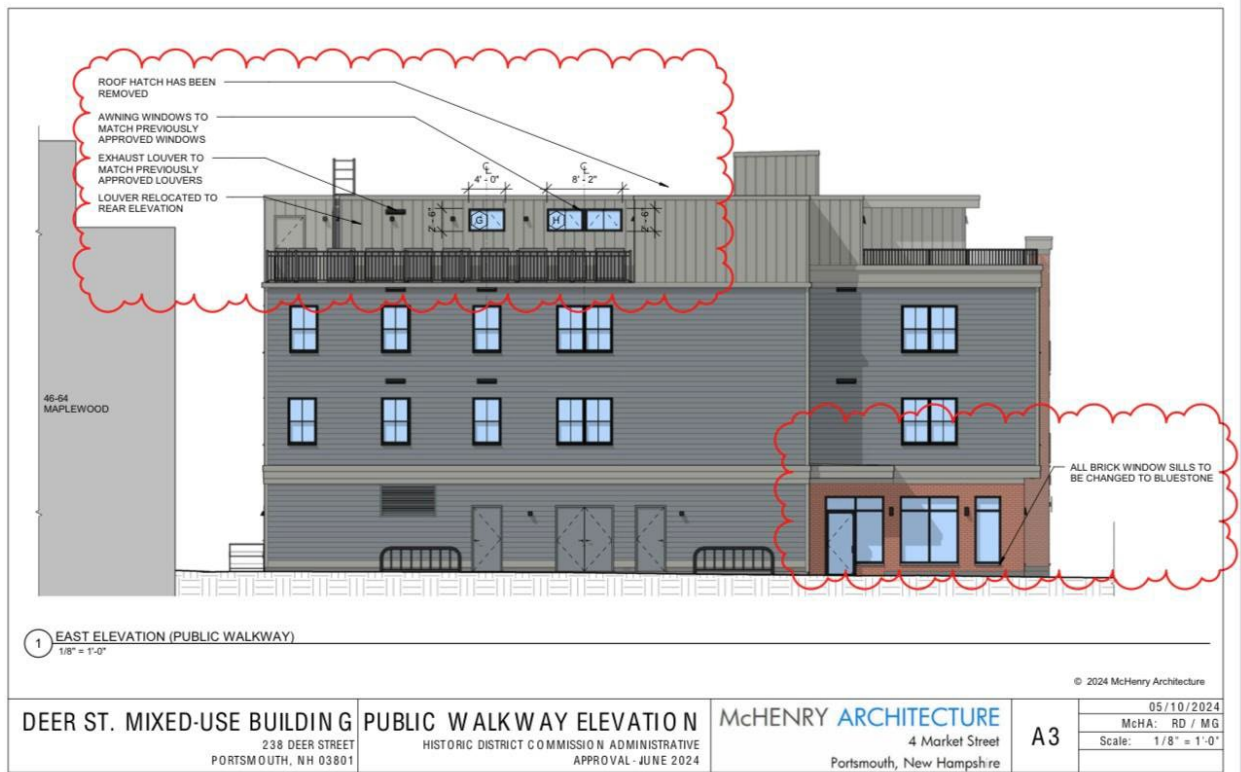
25. Letter from Coureur Portsmouth requesting permission to hold the 3rd Annual Halloween Skate Jam on Saturday, October 26, 2024, from 1:00 p.m. to 4:00 p.m. (Rain Date October 27th) at the Portsmouth Skatepark – **Voted** to refer to the City Manager with Authority to Act.

26. Letter from Christine Groleau, North Church of Portsmouth, extending heartfelt thanks to the City Council for granting a fee waiver related to their construction project that will benefit the broader Portsmouth community – **Voted** to accept and place the letter on file.

238 Deer Street appeal of HDC ruling on November 6, 2024

I am writing to request an appeal of the November 6 meeting ruling which Administratively approved “snow risers” for the heat pump units at 238 Deer St and required no stipulation to require them to now increase the height of the railing going in front of them the same height as the tallest heat pump sitting on the snow riser. Please consider on appeal making 238 Deer do one of two things since they had to change to large heat pumps and put them on snow risers:

- Ideally move these oversized units to the roof where they already have 8 Units would solve the issue and no one can see anything or hear anything from there. - or make them install a fenced enclosure that would block the sight of the bright blue units and muffle the louder sound from the units and any rattling that may occur every time the units start or stop on too of those metal risers.



1. This picture was used in the June HDC hearing showing very small air conditioning units mostly hidden behind a railing fence which was taller than the units.

Clearly, what was presented as reasonable and likely quiet being modern small air conditioning units, didn't happen. What was installed instead were very large Heat Pumps because they decided not to have natural gas service in the building.

In this picture the units are directly facing a bedroom in our Condo on the right.



11.6.2024 Historic District



View from our Bedroom window: 9 ft away



2. We had requested a taller fence or railing to be added since they changed the size and height of the heating units and were told by the buildings architect in the November 6 meeting that “ the railing is already bought to match the rest of the building, and the developers are not willing to buy a taller replacement. “. It shouldn't matter if it matches the rest of the building since it is at the back of the building facing our abutting building.

3. It was suggested by the HDC at the Nov 6 meeting that the developer should reach out to his neighbors and try and work something out. I received an email from one of the owners which said, “let’s get together after our project is completed and see what we can do about your visual problems and noise issues”. I replied, “why don’t we get together now and build it correctly the first time to address our concerns”. I haven’t heard any other response as of this submittal.

4. One of the HDC members said, “ we are only responsible for the visual two sides of the building which is the Historic look”. Further he said, “ to have to solve abutting property owners issues could open a whole new can of worms and we would never get anything done”.

5. Owners at 50 Maplewood, especially the 9 condos with 16 permanent residences that directly view the abutting property and will also have to live with the noise from those heating units, apparently have no property rights while tourists or others glancing at the front of the building do. There is also a main entrance to commercial property on the first floor of our building where 50 plus people work that doesn't seem to matter either to the HDC.

6. Administrative approval :

After having specifically asked for a public hearing so that our neighbors and we could be heard, we were denied.

We were told not to attend the meeting if wanting to speak as it was not a public hearing so I stayed home and watched via video. We had our HOA representative there and she couldn't speak to even rebut misinformation that the 238 Deer Street architect gave in answers to some of the HDC members' questions. For example, He was asked about the timing of 238 Deer Street vs 50 Maplewood. He said to both projects were simultaneous, and 50 Maplewood was being built at the same time.

50 Maplewood was built and occupied, and residents watched the 238 Deer Street demolition happen. So, the fact check failed.

7. Please consider making 238 Deer do one of two things since they had to change to large heat pumps and put them on snow risers:

- Ideally move these oversized units to the roof where they already have 8 Units would solve the issue and no one can see anything or hear anything from there. - or make them install a fenced enclosure that would block the sight of the bright blue units and muffle the louder sound from the units and any rattling that may occur every time the units start or stop on top of those metal risers.

I thank the HDC for reconsidering their Nov 6 decision and making 238 Deer adjust their unit enclosure since they changed the units' type, size, and height from what was originally approved or move them to the roof.

Respectfully submitted,

Glen Brown
50 Maplewood

View from Our living room :



Historic District Commission

Staff Report

Wednesday, January 08, 2025

Project Address: 201 Islington Street
Permit Requested: Certificate of Approval
Application: Public Hearing A



A. Property Information - General:

Existing Conditions:

- Zoning District: Character District 4-L2
- Land Use: Commercial
- Land Area: 14,375 SF +/-
- Estimated Age of Structure: c. N/A
- Building Style: N/A
- Number of Stories: 1
- Historical Significance: N/A
- Public View of Proposed Work: Islington Street
- Unique Features: N/A
- Neighborhood Association: North End

B. Proposed Work: Installation of new fencing surrounding the trash enclosures.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Install new fencing around the trash enclosures.



**HISTORIC
SURVEY
RATING
N/A**

D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

Project Address: 192 New Castle Avenue

Permit Requested: Certificate of Approval

Application: Public Hearing #1



A. Property Information - General:

Existing Conditions:

- Zoning District: Character District 4-L2
- Land Use: Residential
- Land Area: 3,340 SF +/-
- Estimated Age of Structure: c. 1800
- Building Style: Federal
- Number of Stories: 2.5
- Historical Significance: Contributing
- Public View of Proposed Work: New Castle Avenue
- Unique Features: N/A
- Neighborhood Association: South End

B. Proposed Work: Installation of new windows on the structure with Andersen 400 Series windows.
These would match the adjacent Units windows.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Install new Andersen 400 Series windows.



D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

192 New Castle Ave Window Replacement Plan

December 2024

Contractor: Thomas Antolino

Owners:

Sarah Fodero

192 Newcastle Ave #1

Portsmouth, N.H. 03801

603-502-1946

Sjfodero@gmail.com

Joseph Wolfkill

192 Newcastle Ave #1

Portsmouth, N.H. 03801

443-797-2983

Jwolfkill3@gmail.com

Detailed Description of Proposed Work

We are requesting approval to replace 15 exterior windows on our residential property. The windows to be replaced are not original to the home, and were installed at an indeterminate time since the original construction of the structure circa 1740. Storm windows (glass panes and screens) were added to the exterior by a previous owner in an effort to mitigate the poor conditions of the windows. The current state of the windows is extremely poor, with warped and splintered wood on both the windows themselves and the surrounding sills. On some windows, glass is cracked or broken. Outside air freely enters the structure through gaps in the windows and can lead to frost inside the home.

The home is believed to be constructed as a dual residence and has two different property owners. The owner of the 192 New Castle Ave Unit 2 property has replaced the Unit 2 windows with Anderson 400 Series. We are seeking to replace Unit 1's windows to match the adjacent unit's windows which, most specifically, will be Andersen 400 Series double hung sashes with interior and exterior applied mullions. The large period crown molding above each window will be retained along with the existing casing and applied large sills. The windows will be painted the same flat moss green as the other unit's windows and the overall effort will be to bring our side into balance with our neighbor.

The current state of the windows is poor. The timing of this request, winter in New Hampshire, is also critical for us as the non-historic storm windows and worn and broken panes of glass are ineffectively insulating our home, thus requiring more natural gas usage than is necessary. Our goal is to retain the historic character of the residence while increasing insulation, and thus reducing the carbon footprint of our home.

Scope and Materials

Supply and install 15 Andersen 400 series double hung windows with two over two mullion pattern. Grills will be simulated divided light with applied exterior grills. Single traditional lock mechanism. White standard full aluminum screen will replace existing storm screen and glass inserts.

- Re-use and replicate where necessary front exterior trim to match Unit 2 replacement windows and bring conformity.
- Re- use and replicate where necessary interior trim. Trim profiles to match existing period moldings throughout.
- Fill nails holes foam gaps caulk and prime coat interior and exterior trim. Paint exterior with one coat (flat moss green) to best match existing color and verify before application.
- Plaster interior wall areas where installation has caused damage, feather sand smooth and spot prime.

Miscellaneous

- All areas to be plastic sheeted isolated and vacuumed each day. There is considerable dust with this type of installation and all efforts will be made to minimize and contain the debris.
- All debris will be bagged and removed as work proceeds.
- All work will be to industry standards and will take approximately 4 weeks.
- Tool trailer to remain on site in designated area.

Window Specifications

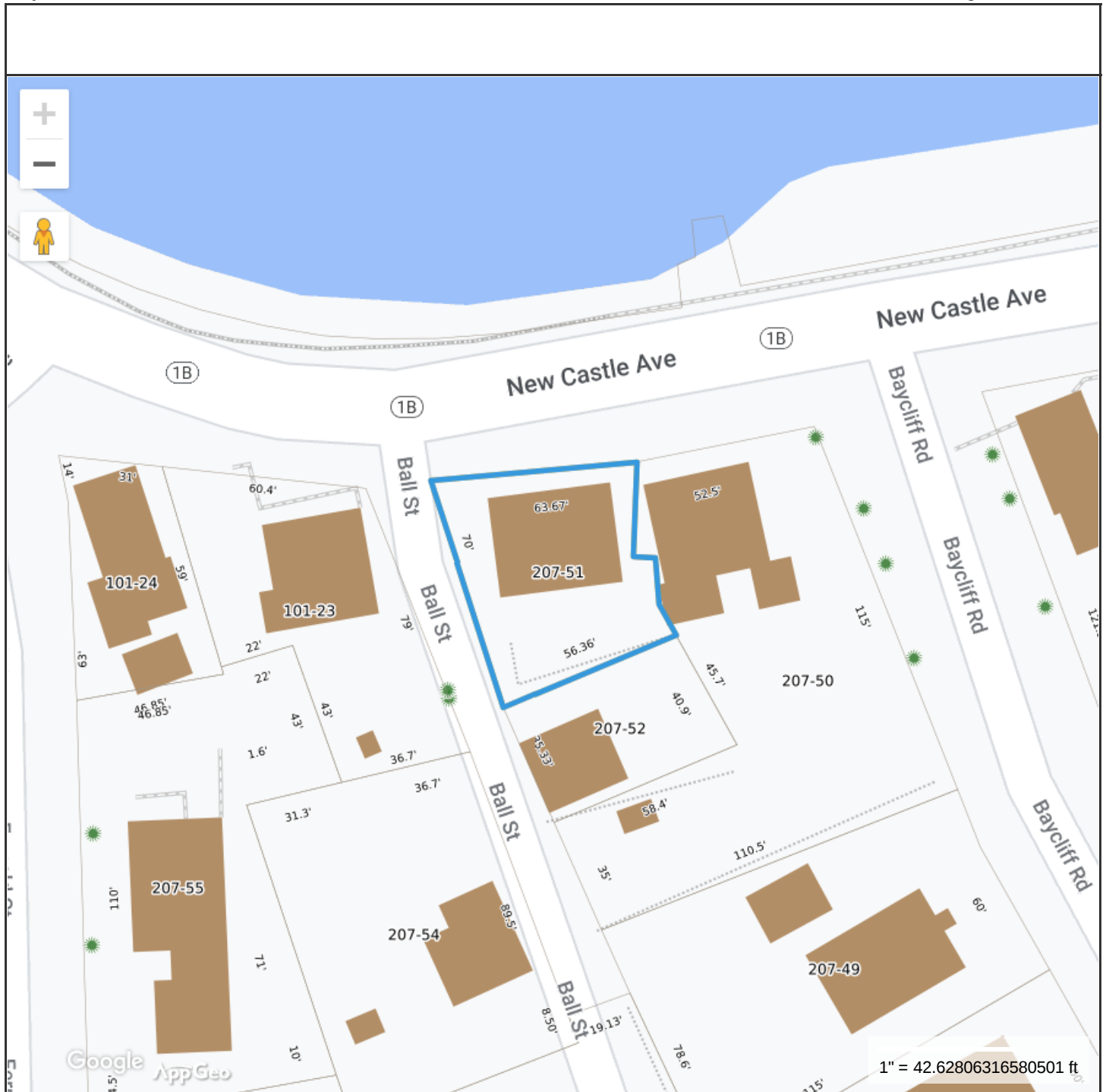
- Brand: Andersen 400 (continuity to Unit 2)
- Size: See Window Spec document attached.
- Materials: Wood and vinyl
- Type: Andersen 400 Series Tilt Wash Double Hung
- Schedules: 6-week lead time for delivery of materials. Work will commence upon receipt of windows. Work is anticipated to last approximately 3 weeks, weather permitting.

Additional Materials

Materials used to complete the work are at the contractor's discretion (e.g. flashing, tape, tools, etc.)

Condominium Approval

In 1985 the Charles Chase Condominium agreement was drafted. There is no digital record of this document. This two unit "condex" building does not require approval for window replacement.



Property Information

Property ID 0207-0051-0001
Location 192 NEW CASTLE AVE #1
Owner FARISH TERRY D



MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 3/9/2022
 Data updated 3/9/2022

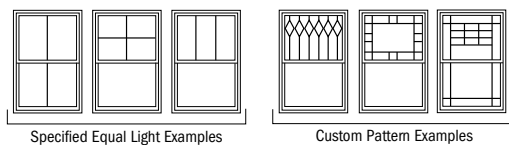
Print map scale is approximate.
 Critical layout or measurement
 activities should not be done using
 this resource.

Grille Patterns

| | Diamond* | Prairie A | 6-Light Prairie | Colonial | | | | | | |
|------------------------------|----------|-----------|-----------------|----------|--|--|--|--|--|--|
| Tilt-Wash Double-Hung | | | | | | | | | | |
| Tilt-Wash Picture | | | | | | | | | | |
| Tilt-Wash Transom | | | | | | | | | | |

Patterns for double-hung windows are also available in Upper Sash Only (USO) configurations. For picture window patterns that require alignment with double-hung window patterns, identify the sash style (equal, cottage or reverse cottage) when ordering. **Number of lights and overall pattern varies with window size. Patterns not available in all configurations.**

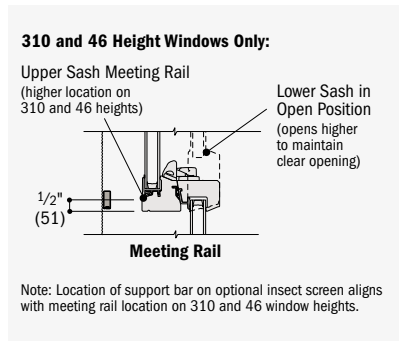
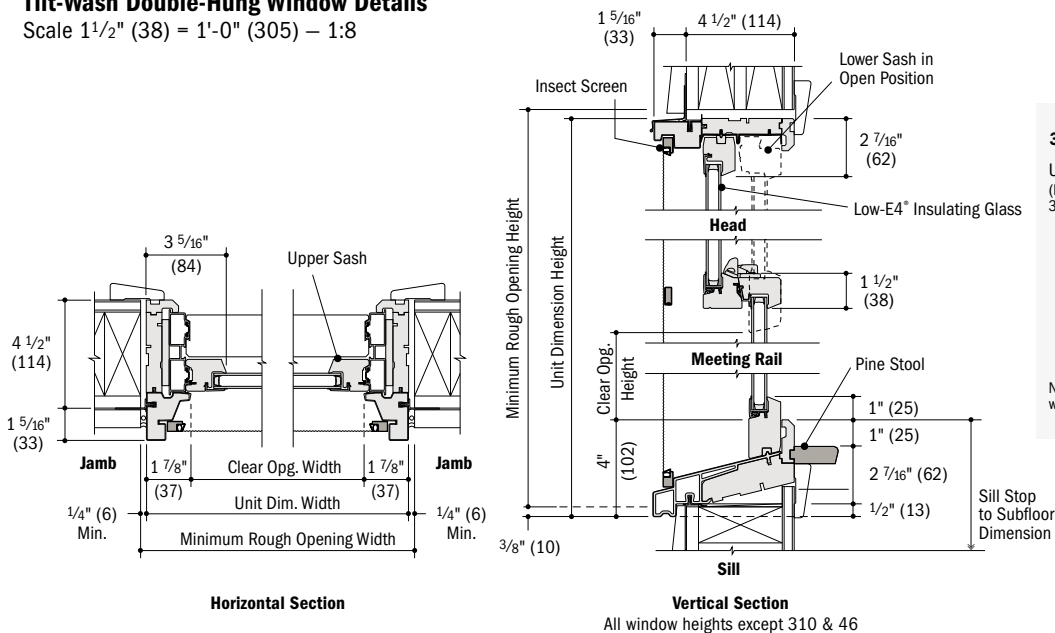
*Available only in Simulated Divided Light (SDL) configuration and only in 3/4" (19) and 7/8" (22) widths.



Specified equal light and custom patterns are also available. For more grille options, see page 14 or visit andersenwindows.com/grilles.

Tilt-Wash Double-Hung Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



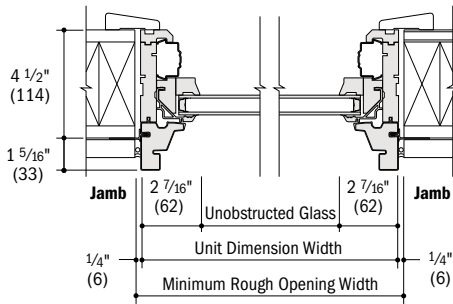
400 Series Tilt-Wash Double-Hung Full-Frame Windows

- Light-colored areas are parts included with window. Dark-colored areas are additional Andersen® parts required to complete window assembly as shown.
- **Minimum rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See installation information on pages 210-211.**
- Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at andersenwindows.com.
- Dimensions in parentheses are in millimeters.

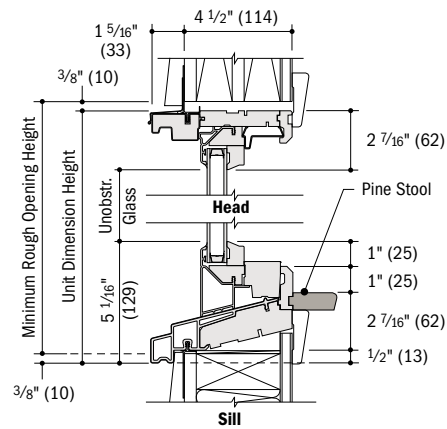
TILT-WASH DOUBLE-HUNG FULL-FRAME WINDOWS

Tilt-Wash Picture Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



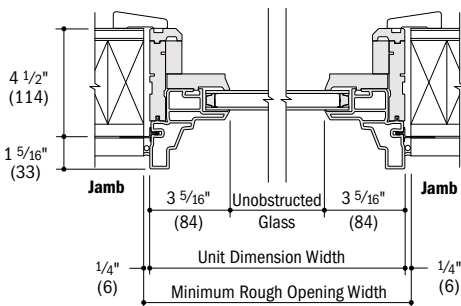
Horizontal Section



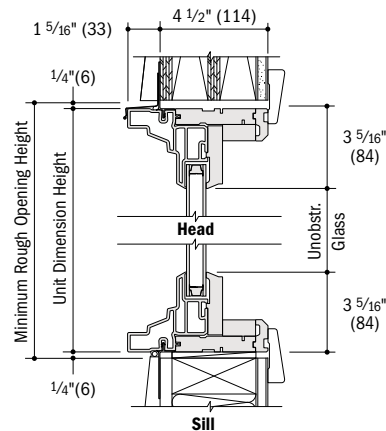
Vertical Section

Tilt-Wash Transom Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



Horizontal Section



Vertical Section

Horizontal (stack) Joining Detail

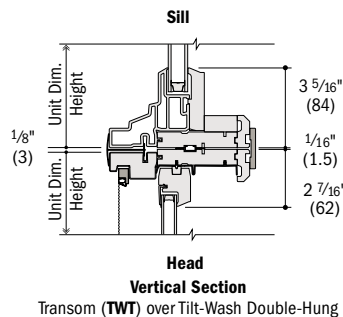
Scale 1 1/2" (38) = 1'-0" (305) – 1:8

Overall Window Dimension Height

Sum of individual window heights
plus 1/16" (1.5) for each join.

Overall Rough Opening Height

Overall window dimension height.*



Head
Vertical Section
Transom (TWT) over Tilt-Wash Double-Hung

Vertical (ribbon) Joining Detail

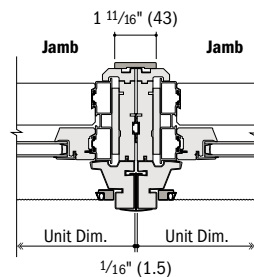
Scale 1 1/2" (38) = 1'-0" (305) – 1:8

Overall Window Dimension Width

Sum of individual window widths
plus 1/16" (1.5) for each join.

Overall Rough Opening Width

Overall window dimension width plus 1/2" (13).



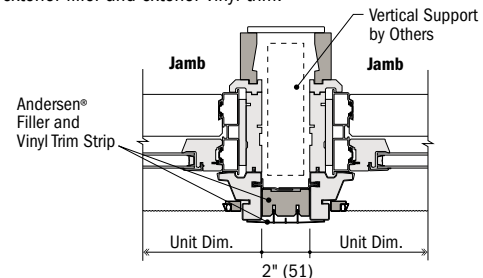
Horizontal Section
Tilt-Wash Double-Hung to Tilt-Wash Double-Hung

For more joining information, see the combination designs section starting on page 181.

Separate Rough Openings Detail

Scale 1 1/2" (38) = 1'-0" (305) – 1:8

To meet structural requirements or to achieve a wider joined appearance, windows may be installed into separate rough openings having vertical support (by others) in combination with Andersen® exterior filler and exterior vinyl trim.



Horizontal Section
Tilt-Wash Double-Hung and Tilt-Wash Double-Hung

* Light-colored areas are parts included with window. Dark-colored areas are additional Andersen® parts required to complete window assembly as shown.

* Minimum rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See installation information on pages 210-211.

* Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at andersenwindows.com.

* Consult with an architect or structural engineer regarding minimum requirements for structural support members between adjacent rough openings.

* Dimensions in parentheses are in millimeters.

* For stacks where bottom unit in combination is a double-hung or picture window with a sloped sill, if bottom window has a flat sill add 1/2" (13) to the overall window dimension height.

400 SERIES TILT-WASH DOUBLE-HUNG WINDOW

[LEARN](#)[DESIGN IT](#)[TECH](#)

IS IT RIGHT FOR YOU?

Functionality

Slides open from the top and bottom and tilts in to make cleaning a breeze.

Material

Wood & vinyl. A vinyl exterior protects the window from weather while the interior is natural wood. This way you get the look you want without the worry of added maintenance.

[Read more →](#)









192



























