

**MEETING OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom
(See below for more details) **

6:30 p.m.

June 04, 2025

AGENDA (revised on May 30, 2025)

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

I. APPROVAL OF MINUTES

1. May 07, 2025

II. ADMINISTRATIVE APPROVALS

1. 95 Daniel Street
2. 44 Pickering Street
3. 93 Pleasant Street
4. 238 Marcy Street

III. PUBLIC HEARINGS (OLD BUSINESS)

A. Petition of Paul R. Delisle Revocable Trust and Rosa Z. Delisle Revocable Trust, owners, for property located at 408 The Hill, Unit #6-17, wherein permission is requested to allow exterior renovations to an existing structure to include replacement windows as per plans on file in the Planning Department. Said property is shown on Assessor Map 118 as Lot 26-5 and lies within the Character District 4-L1 (CD4-L1), Downtown Overlay and Historic Districts.

B. Petition of Black Heritage Trail of New Hampshire, Inc, owner, for property located at 222 Court Street, wherein permission is requested to allow the installation of a mural affixed to the side of the structure on removable panels as per plans on file in the Planning Department. Said property is shown on Assessor Map 116 as Lot 33 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

IV. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of Frank V. and Regina Azzolino, owners, for property located at 11 Sheafe Street, wherein permission is requested to allow exterior renovations to an existing structure (replace windows) and new construction to an existing structure (construct a new rear garage and

covered entry) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 14 and lies within the Character District 4 (CD4) and Historic Districts.

2. Petition of St. John's Church, owner, for property located at 101 Chapel Street, wherein permission is requested to allow exterior modifications to an existing structure (installation of rooftop mounted solar panels) as per plans on file in the Planning Department. Said property is shown on Assessor Map 106 as Lot 62 and lies within the Civic, Downtown Overlay, and Historic Districts.

3. Petition of 445 Marcy Street, LLC, owner, for property located at 445 Marcy Street, wherein permission is requested to allow renovations to an existing structure (relocate and renovate the existing Candy Cottage structure on site) as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 3 and lies within the General Residence B (GRB) and Historic Districts.

4. Petition of Brian O'Neill, owner, for property located at 6 Dearborn Street, wherein permission is requested to allow exterior renovations to an existing structure (replace all siding and all windows) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 as Lot 4 and lies within the General Residence A (GRA) and Historic Districts.

V. WORK SESSIONS (OLD BUSINESS)

A. Work Session requested by PNF Trust of 2013, owner, for property located at 266-278 State Street and 84 Pleasant Street, wherein permission is requested to allow the construction of a new 4-Story mixed-use building (266-278 State Street and the renovations of an existing structure (84 Pleasant Street) as per plans in file in the Planning Department. Said property is shown on Assessor Map 107 as Lots 77, 78, 79, and 80 and lie within Character District 4 (CD4), Downtown Overlay, and Historic Districts.

B. REQUEST TO POSTPONE-Work Session requested by Lorencic Revocable Trust, owner, for property located at 209 Marcy Street, wherein permission is requested to allow new construction to an existing structure (construct full 2nd floor addition with new 1-story front and side additions) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 2 and lies within the General Residence B (GRB) and Historic Districts.

VI. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by 420 Pleasant Street, LLC, owner, for property located at 420 Pleasant Street, wherein permission is requested to allow new construction to an existing structure (reconstruct rear portion of structure after fire damage) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102 as Lot 56 and lies within the General Residence B (GRB) and Historic Districts.

2. Work Session requested by Greg and Laura Ludes, owners, for property located at 124 State Street, wherein permission is requested to allow the new construction of a detached garage as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 56 and lies within the Character District 4 (CD4), Character District 4-L1, and Historic Districts.

VII. OTHER BUSINESS

1. Review draft Historic District boundary line revisions.

VIII. ADJOURNMENT

**Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

https://us06web.zoom.us/webinar/register/WN_6EDldM0qToG6xhg5oRx_ug

**MINUTES OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

May 7, 2025

MEMBERS PRESENT: Chair Reagan Ruedig; Vice-Chair Margot Doering; City Council Representative Rich Blalock; Members Jon Wyckoff, Martin Ryan, Dr. Dan Brown, Dave Adams, and Alternate Larry Booz

MEMBERS EXCUSED: None.

ALSO PRESENT: Izak Gilbo, Planner 1, Planning Department

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Chair Ruedig called the meeting to order at 6:30 p.m. Councilor Blalock was delayed, and Alternate Larry Booz took his voting seat until he arrived.

I. APPROVAL OF MINUTES

1. April 02, 2025

Mr. Gilbo noted that the vote for Administrative Item No. 13, 408 The Hill, Unit #6-17, was 5-2 and not 5-3.

*Vice-Chair Doering moved to **approve** the minutes as amended, seconded by Mr. Ryan. The motion **passed** unanimously, 7-0.*

II. ADMINISTRATIVE APPROVALS

Note: Item 2, 180 Middle Street, was pulled for separate discussion and vote. The Commission discussed that item first.

1. 2 Congress Street

[Timestamp 29:30] Mr. Gilbo said the item was before the Commission the previous month for the removal of the electric meters on the North Church and a panel system. He said the Commission asked for more information on the panel materials, size, and trim, and that the applicant submitted a schematic of how the panel would be built and what materials would be used. He said the panel would be a Lifespan trim board with Lifespan molding and Azek posts. Mr. Ryan said he thought something neutral should go there instead of something someone was reading through an iron fence. He said it was not a good design and thought the applicant should reconsider it. It was further discussed and the item was pulled for a separate vote.

Architect Clay Hale representing the North Church was present and said they could eliminate the signage element but there were not a lot of options for where the electrical could go. He said

they could have a paneled piece with a plaque in the middle. Mr. Adams asked if the front face of it could be on the other side of the fence and if a 3" block could be placed on the face of the sign and then place a new face on the street side of the fence so that someone would not be looking through the fence bars. Mr. Hale said he was concerned about that as a long-term strategy due to water penetration, maintenance, and so on. Mr. Ryan suggested putting the plaque on the face of the iron fence. Mr. Hale agreed. The Commission agreed that the Black Heritage plaque could be mounted to the fence and that the applicant could do what they wanted in terms of painting or designing the board and could modify it if they wanted to.

*At this time in the meeting, Mr. Adams moved to **pull the item** for separate review and vote. Vice-Chair Doering seconded. The motion **passed** unanimously, 7-0.*

*Vice-Chair Doering moved to **approve** the item as presented. There was no second. Vice-Chair Doering then **withdrew** her motion.*

*Mr. Adams moved that the applicant **continue** the project as presented, with the exception of moving the Black Heritage sign to the face of the fence. Mr. Ryan seconded. The motion **passed** by a vote of 6-1, with Vice-Chair Doering opposed.*

2. 180 Middle Street

[Timestamp 8:00] The request was approval to replace a damaged portion of the wood fence that Azek vertical board posts and cedar posts and top rails. Chair Ruedig said it was confusing as to which material was going where. The owner Jonathan Hickock was present and said the intention was to replicate the existing design, look, and feel of the fence using the Azek product except for the back posts, which would wrap around a steel rod. He said the molding at the top rail would also be Azek. Mr. Wyckoff asked if the fence would be built using Azek board or fence panels and if they came in sections. Mr. Hickock said they would be boards and panels. Dr. Brown asked if the top molding detail would be Azek, and Mr. Hickock agreed. Mr. Brown said it was in a prominent place. Mr. Hickock said the plan was to do it in three phases due to the cost. Vice-Chair Doering said what the Commission would approve that evening would be the mold for the next time, so it was important to decide what the fence design and material would be. Mr. Wyckoff said he could not support a plastic fence for the second oldest brick building in Portsmouth. He suggested using tongue and groove pine boards. Mr. Ryan said if the Azek material was painted, one could not tell if it was wood or a composite, and that the material lasted longer than wood. He said he could approve the Azek if it was done exactly the way it currently appeared and was configured. Mr. Adams explained why he was not convinced that the plastic board would work or support the fence. Mr. Booz asked if the applicant had considered doing the whole fence in wood all at once. Mr. Hitchcock said it would be costlier to maintain a wood fence. Vice-Chair Doering said she could support Azek for the trim at the bottom and on other places but could not support the full panels being made out of Azek. Chair Ruedig agreed. It was further discussed and agreed that the fence should be all wood except for some of the trim.

*Vice-Chair Doring moved that the applicant replace the fence using a wood product in all places except for the trim where it meets the ground and as it goes up the interior side against the hillside. Mr. Wyckoff seconded. The motion **passed** unanimously, 7-0.*

3. 11 Meeting House Hill Road

[Timestamp 44:31] The request was approval for the installation of solar panels on the garage and rear roof of the home. Mr. Gilbo said the original display had panels going all the way to the edge of the garage roof, which raised concerns with visibility, so the owner had a revised design that eliminated a few panels toward the edge. He said the panels on the rear roof were nearly invisible. Mr. Wyckoff asked that a conduit coming down from the panels be painted.

Stipulation: Any conduits lines coming down from the panels shall be painted to match the siding of the house.

4. 21 South Street, Unit 4

The request was approval to install an EV charger. Mr. Gilbo said the owner's vehicle would hide most of the charger and that the charger would be tucked up and installed on the side of the structure. Vice-Chair Doering asked that the conduit be painted yellow to match.

Stipulation: The conduit line from the EV charger shall be painted yellow to match the siding of the house.

5. 121 Mechanic Street

Mr. Gilbo said the existing rooftop sign that said Bait & Ice was flagged as being one that did not meet the zoning ordinance, so the applicant went before the Board of Adjustment for a size variance. Mr. Adams said the signage was appropriate for a bait shack.

6. 48 South Street

Mr. Gilbo said the applicant was before the Commission a year ago for approval for window and siding replacements. He said the contractor started the work but then the applicant realized that a large portion of it was being re-sided incorrectly from what was approved. Project designer Jen Ramsey was present and explained what the contractor had done and said she proposed to let the left-hand side stay as it was and replace all the windows. She said the owner would do general upgrades and complete what was started last summer. Dr. Brown said the problem was not so much the diminishing size but the actual reveal of the new shingling, which was larger than most houses around it. It was further discussed. Ms. Ramsey said they could make the right side match the left and that the reveal size on the front would match what was there. She said it would be a 4" reveal on the sides and a 3" reveal on the front.

7. 375 Middle Street

The request was to install a HVAC condenser on the side of the property. Mr. Gilbo said it would be slightly visible to someone walking by the house and that the owner did not propose to run any vertical conduit lines. He suggested stipulating a screening option.

Stipulation: A wood screening option shall be presented by the applicant.

8. 40-42 Market Street

The request was to do a single panel door on the storefront instead of a double panel one. Mr. Gilbo said the applicant had a few options, including a 12 light or a basic single-paned glass window. Chair Ruedig said the Commission would want to see trim details on the new door and how it would be installed in the opening, so the applicant would have to return. Mr. Adams asked if a swinging door would be allowed on the sidewalk. Chair Ruedig said it might be an issue with the Inspection Department. Mr. Ryan said the existing doors were beautiful and unusual and thought the owner could clean them up and paint them. Mr. Wyckoff agreed.

*Mr. Adams moved to **continue** the item, seconded by Dr. Brown. The motion **passed** unanimously, 7-0.*

Mr. Gilbo reviewed the administrative items that needed approval.

*Vice-Chair Doering moved to **approve** Items 3, 4, 5, 6 and 8 with their respective stipulations. Dr. Brown seconded. The motion **passed** unanimously, 7-0.*

Chair Ruedig noted that the applicant for Work Session A requested a postponement.

*Vice-Chair Doering moved to **postpone** Section V, Old Business, Work Session A, 266-278 State Street and 84 Pleasant Street, to the June 4 meeting, seconded by Dr. Brown. The motion **passed** unanimously, 7-0.*

III. PUBLIC HEARINGS (OLD BUSINESS)

A. Petition of Paul R. Delisle Revocable Trust and Rosa Z. Delisle Revocable Trust, owners, for property located at **408 The Hill, Unit #6-17**, wherein permission is requested to allow exterior renovations to an existing structure to include replacement windows as per plans on file in the Planning Department. Said property is shown on Assessor Map 118 as Lot 26-5 and lies within the Character District 4-L1 (CD4-L1), Downtown Overlay and Historic Districts.

The applicant was not present.

DECISION OF THE COMMISSION

*Mr. Adams moved to hear the item at the end of the agenda, seconded by Vice-Chair Doering. The motion **passed** unanimously, 7-0.*

When the applicant still did not appear to present the petition, the following decision was made:

*Mr. Adams moved to **postpone** the petition, seconded by Councilor Blalock. The motion **passed** unanimously, 7-0.*

B. Petition of Black Heritage Trail of New Hampshire, Inc, owner, for property located at **222 Court Street**, wherein permission is requested to allow the installation of a mural affixed to

the side of the structure on removable panels as per plans on file in the Planning Department. Said property is shown on Assessor Map 116 as Lot 33 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 1:08:12] Barbara Ward representing the Black Heritage Trail of New Hampshire was present. She said the artist Manny Ramirez was on Zoom as well as mason John Walstrom and Mike Leary of Sundance Signs. She gave a sample of the material to the Commission. She said the mural image was approved by the Park Committee for a larger space on the wall. She explained how the mural would be recessed from the sides and would go slightly up into the eave. She said their mural was a much lighter weight than what they first thought. She discussed the dimensions and said the mural might only be able to go up 16 feet, in which case they would cut down the 12-ft panel and rotate it. She said field measuring still had to be done.

[Timestamp 1:15:26] Mr. Wyckoff asked why the mural had to be so big, noting that if it weren't, there could be a sign explaining why it was on the building. Ms. Ward said the sign had to have an impact and that they received a variance to put a sign on the front of the building. Mr. Adams said the mural was so tall that it went into the triangular portion of the building's roof. He asked what Mr. Walstrom thought of the appropriateness of the steel fasteners. Mr. Walstrom (via Zoom) said they were standard masonry anchors and would be installed in the mortar joint. He said they were an acceptable use for that kind of anchor and could be removed if necessary. Ms. Ward said there would be a bracket at the top and fasteners would be used that would be more slimmer in profile. Vice-Chair Doering said she agreed that the top corners hit the slant of the roof and that the mural needed to be pulled down a bit. Mr. Leary said the panels could be cut down. Mr. Ryan said he would not crop the image but would reduce the scale and proportions slightly so that the top was even with the eave line. Mr. Ramirez said the intent was to have the mural be visible from all areas. The mural size was further discussed. Vice-Chair Doering said she would support it if the top could be brought down 3-4 courses.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION [Timestamp 1:33:22]

Verity Boyer representing the Portsmouth Advocates said they fully supported the mural.

No one else spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

*Vice-Chair Doering moved to **grant** the Certificate of Approval for the petition, with the following **stipulation**:*

- 1. The top of the mural shall be reduced 3 or 4 courses from the corner boards of the eave line.*

Mr. Ryan seconded for discussion.

Mr. Ryan said he thought the mural was larger than it needed to be and that it would have the same impact at fifty percent of the size. He said the shape of the wall and the mural should work with each other. Chair Ruedig suggested that the applicant receive a general approval from the Commission and then return with the actual proportions and a better rendering. Mr. Wyckoff said the applicant could reduce the image 80 percent and show the Commission how it looked on the building. Dr. Brown agreed, and it was further discussed. Mr. Adams said he was not qualified to determine how large the mural should be or to corner the artist into making it a proportional size. He said the artist and the applicant should work together to find a way to make it work. Chair Ruedig said she did not think the mural was too big but would be happy to see what the applicant and artist could do to make it more appropriate for the side of the building. Vice-Chair Doering noted that most of the Commission would like to see a different size option.

*Vice-Chair Doering **amended** her motion and moved to **postpone** it to the June 4 meeting to give the applicant an opportunity to present a few different sizes and proportions, with the understanding that the Commission was generally in favor of putting a mural on the side of the building. Mr. Wyckoff seconded the motion. The motion **passed** unanimously, 7-0.*

C. Work Session/Public Hearing requested by **445 Marcy Street, LLC, owner**, for properties located at **445 Marcy Street and 20 Pray Street**, wherein permission is requested to allow the demolition of the existing (candy store) structure and the new construction of a single family home with detached garage (at 445 Marcy Street) and the new construction of a single family home with a detached garage (at 20 Pray Street) as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lots 3 and 3-1 and lies within the General Residence B (GRB) and Historic Districts.

WORK SESSION

[Timestamp 1:43:40] Architect Tracy Kozak was present on behalf of the applicant, with Kayla Keeler of ARCove Architects. Ms. Kozak discussed the history of the candy shop and said they wanted to relocate it off-site. She said the parcel with the candy shop on it was very different from what was around it and that the intention was to honor the history of the entire site by having the single-car garage as an homage to the candy shop. She said they would honor the gable with the shed as a use for the garage, which would tell the story of the candy shop.

Note: At this point in the meeting, Councilor Blalock joined the meeting and Mr. Booz returned to alternate status.

[Timestamp 2:04:08] Mr. Wyckoff noted that the candy shop would be saved and moved off-site, which would be part of the program. Ms. Kozak said they wanted to keep the option to demolish it if it could not be relocated. The Commission discussed whether they could move ahead with a new design if they did not know where the existing candy shop would be. They decided to move forward and look at the proposed design.

[Timestamp 2:09:40] Ms. Kozak reviewed the site plan. She said the Marcy Street house was moved away from Pray Street to save the trees and that a corner was taken out of the southeast back porch for the driveway. She said the Pray Street garage was moved closer to save the trees

and that some steps on the west side of the Pray Street houses were removed to avoid the setback. She showed renderings of everything. She said they raised the gable of the garage to get some extra height but could bring it back down to keep the original roofline of the candy shed. She reviewed the details of the houses and the windows. Mr. Adams asked why the front entry door was eight feet tall. Ms. Kozak said it was to keep the wall-to-glazing ratio in proportion around the building. She said the houses across the street were the same height but that she had to raise the first floor above floodplain, otherwise they would not have enough head room, so they had to make the house a one-story with an attic. Mr. Adams said the header of the porch over the deck would be 10 feet, and he asked what the point was of making the features in the house so large. He noted that the whole house was above the floodplain. Ms. Kozak said they would lose the second floor, so the fenestration of a two-story house could not be put on it. Mr. Adams said he did not agree and said the doors were a foot higher than normal, which seemed to make the building even taller. It was further discussed. Mr. Booz asked what the attic's ceiling height was. Ms. Kozak said they had not designed it yet but that it would be a pitched ceiling. Mr. Wyckoff said he thought the design of the two cottages was successful but did not agree with the argument of having to have such a high ceiling. He said everything could be scaled down if the ceiling were lower. It was further discussed.

[Timestamp 2:21:40] Vice-Chair Doering said she liked what was done except for the Pray Street vignettes. She said the buildings along Pray Street were very restrained and simple, and the buildings along Marcy Street had more flavor to them. She said the Marcy Street house worked but thought the Pray Street side had too much ornamentation, which she thought made the buildings look out of place. Mr. Ryan said he thought the design worked and that the vertical elements were elegant looking. He said the total package and design looked appropriate and fit within the historic context of the area. Dr. Brown said the massing worked well with the other houses. Councilor Blalock said it respected the houses around it. Chair Ruedig said it would look more appropriate than sticking with a traditional 1-1/2 story house in that location. She said it was respectful to the surrounding neighborhood and area in size and mass and thought the houses were sensitively designed for new construction in the heart of the Historic District. Ms. Kozak said they designed the Pray Street sides as a holistic development with the two houses looking like sisters. Mr. Wyckoff said he thought the six brackets were a problem and gave the houses a fairy tale-cottage look. Ms. Kozak said they were added to soften the corner transitions. The gutter, chimneys, doors, fence, and other details were discussed.

Chair Ruedig opened public comment.

Public Comment [Timestamp 2:38:13]

Verity Boyer of the Portsmouth Advocates said the candy cottage was listed as a contributing structure on the National Register of Historic Places, and she urged the Commission to consider the impact of relocating it. She said it could set a dangerous precedent.

Barbara Ward of 15 Nixon Park said a lot of Black history had already been erased from Portsmouth and that she hoped the candy shop would be saved. She said the Commission's job was to save the history that Portsmouth had left.

Bruce Addison of 17 Pray Street said the buildings did not seem to fit into the neighborhood. He said the footprints for the two cottages were twice the footprint of his house.

Sally Elshout of 17 Pray Street read a letter from her neighbor Susan MacDougall of 39 Pray Street stating that Ms. MacDougall did not think the candy shop should be removed because saving historic buildings and neighborhoods was the City's responsibility and the sole reason for the HDC. She said if it were voted to have it removed, it must be done under a specific historic preservation organization. Ms. Elshout said one of the proposed houses would tower over her home and block her light. She said the driveway should be moved from Pray Street to Partridge Street and was concerned that an ADU was planned for the future. She said the designs of the two homes were not in keeping with the neighborhood.

No one else spoke, and Chair Ruedig closed the public comment and moved into the public hearing.

SPEAKING TO THE PETITION

[Timestamp 2:59:40] Ms. Kozak reviewed what was presented in the work session.

[Timestamp 3:02:38] Vice-Chair Doering asked if the applicant had considered moving the candy store to the southwest corner against Marcy Street, and by removing the maple tree, if they would be able to keep the candy store in a slightly different but nearby location. Ms. Kozak said the garage was just a few feet bigger than the candy shop and that the new house would go where the candy shop was now and the driveway would come off a curb cut on Pray Street, close to where it was now. She said if they kept the candy store, it would be where the one-car garage was proposed to be. She said the garage's proposed location was so that it could be accessed by the driveway on Pray Street. She said they also wanted to respect the setbacks. Vice-Chair Doering said the applicant could get a variance from the Board of Adjustment to encroach on the setbacks and would be able to keep the garage and the candy shop. Ms. Kozak said they would not do the garage in that case. Dr. Brown asked if the candy shop had always been on the huge lot by itself. Ms. Kozak said there was a large 1740s house there at one time that the owners tore down and then brought the candy shop from New Castle and built the shed addition in 1956.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION [Timestamp 3:09:41]

Michelle McLaughlin of 469 Marcy Street said the candy shop should be preserved in a context that did justice to its historical significance. She said the design for the two houses should be in keeping with the existing neighborhood's historical elements, characterized by smaller homes with simple exteriors, modest rooflines, single doors and windows, and not many garages.

Barbara Ward of 16 Nixon Park said that in 1956 banks would not give loans to certain people, especially Blacks, and that many houses were neglected because owners could not repair them.

Bruce Addison of 17 Pray Street said the project needed a resolution. He said it wasn't just about the buildings but was about the community that loved its buildings and history. He said the applicant and neighbors should discuss what could be done to benefit everyone.

Sally Elshout of 17 Pray Street said the candy shop had to stay because the Black history had to be kept, especially the Black business history. She said the proposed two homes were not in keeping with the neighborhood. She said she rejected the current plan.

No one else spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION [Timestamp 3:19:02]

*Mr. Wyckoff moved to **grant** the Certificate of Approval for the project as presented, with the following **stipulation**:*

- 1. The candy shop shall be saved.*

Councilor Blalock seconded.

The stipulation was discussed. Mr. Wyckoff said it meant preserving the structure and moving it. Mr. Adams said the history of that structure was linked to Portsmouth and the family that operated it, so it was not a New Castle structure. Mr. Wyckoff said it could be kept in Portsmouth. Mr. Adams referred to the drawings and said the applicant's two proposed houses stood out because they were large. He said the woman depicted standing outside the door of one building was tiny as well as a man who was dwarfed by the door. He said the 8-ft door was 20 percent larger than the doors on other houses, which meant the windows were also larger. He said what made the two buildings seem so huge were their elements that were larger than normal. He said the cottages were monstrous and would not fit into the neighborhood. Mr. Ryan said he did not think anyone would want another commercial candy shop on that lot. He said history did not stop in 1956 for the lot. He said the candy shop was not built by the property's owner but was shipped in and used as a commercial building. He said it was not a significant architectural piece and that he would like to see it moved elsewhere, yet it still would not be the same because it would lose its meaning by going somewhere else. He said it was reasonable that the owners would want to build what they wanted for the lot and that he thought the two buildings would fit in well. Vice-Chair Doering said she could not support the project the way it was presented. She said the design on Pray Street was not in keeping with Pray Street. She said too much reliance had been put on the Queen Anne building as a model, but it was just one building, and relying on that design to make the cottages fancy did not work. She said she did not support removing the candy store because she did not see how moving it could retain any of its history except for putting a plaque on it. She said the building was representative of the time it was built. Chair Ruedig said she was concerned about the future of the candy shop and found that the stipulation was unclear as to what the word 'saving' meant. She said there needed to be a good plan in place for the important piece of history. She said the Commission did not spend a lot of time discussing the design of the proposed cottages and asked if the applicant would want to continue the work session to adjust some of the designs and get further along with the potential for the candy shop. Ms. Kozak said her client wanted a vote that night.

*The motion **failed** by a vote of 4-3, with Dr. Brown, Vice-Chair Doering, Mr. Adams, and Chair Ruedig voting in opposition.*

IV. PUBLIC HEARINGS (NEW BUSINESS) [Timestamp 3:43:32]

1. Petition of **Coventry Realty, LLC, owner**, for property located at **111 State Street**, wherein permission is requested to allow changes to a previously-approved design (changes to windows, doors, trim, and siding) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 50 and lies within the Character District 4 (CD4) and Historic Districts.

SPEAKING TO THE PETITION

The applicant was not present.

*Councilor Blalock moved to **postpone** to the end of New Business, seconded by Vice-Chair Doering. The motion **passed** unanimously, 7-0*

The applicant then appeared later on in the meeting.

[Timestamp 4:16:26] Architect Tracy Kozak was present on behalf of the applicant. She said a lot of the concerns the Commission previously had were rectified, including removing and replacing the sliding storefront windows on State Street, correcting the transom window over the single door on State Street, fixing various trim pieces, installing a new roof, and putting back the crown moldings, frieze board and vertical trim. She said the horizontal banding was wider and the windows were a bit smaller, so they were asking that they be approved as built and that the dormers remain. She said they also wanted permission for glass sidelights for the front door to the restaurant. On the Sheafe Street side, she said the windows in the shed dormer were the same as approved but the wall was closer to the street by four inches, which gave more wall below the windows and made them look smaller. She said the two small windows between the two gables were bigger to provide more daylight. She said the service door between the dumpsters was a six panel steel door with two lights at the top. On the Chapel Street side, she said the door as approved was different than the original one but both had a four-light transom even though five lights were approved, which she thought was a mistake. She said the side porch door had two panels and the door was now 3'6" to facilitate moving restaurant equipment.

[Timestamp 4:22:58] Vice-Chair Doering asked if the exhaust over the dumpster was approved separately from the original drawings. Ms. Kozak said the exhaust was not part of the application. Vice-Chair Doering asked if the storefront windows on the right-hand side on State Street were being changed from horizontal. Ms. Kozak agreed. She said the Hardie Plank siding was installed with the wood grain facing out but was smooth. Vice-Chair Doering said she was in support of keeping the minor alterations but disappointed in the trim of the Chapel Street door because it was not previously approved and not as nice as the original. She asked if the upper trim could be changed and why the mini split condensers on the top were so visible. Ms. Kozak said they were previously approved. Mr. Ryan asked that the door on Sheafe Street be changed to something more traditional than the metal door.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

*Dr. Brown moved to **grant** the Certificate of Approval for the petition as presented, with the following **stipulations**:*

- 1. The door on Chapel Street shall be more traditional and have a thicker header;*
- 2. A more appropriate utility door shall be used for the Sheafe Street side; and*
- 3. The vent shall be further investigated.*

Councilor Blalock seconded the motion.

Dr. Brown said the project would complement and enhance the architectural and historic character of the District and would be consistent with the special and defining characters of surrounding properties.

*The motion **passed** by a vote of 6-1, with Mr. Adams voting in opposition.*

2. Petition of Richard A. and Margaret B. Palmasano, owners, for property located at **172 South Street**, wherein permission is requested to allow new construction to an existing structure (construct front screen porch, new patio and parking space and overhang for the existing garage) as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 66 and lies within the General Residence B (GRB) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 3:45:04] Project architect Anne Whitney was present on behalf of the applicant. She said it was an unusual residence because the front door was perpendicular to the street, with a steep driveway. She said they wanted to create patio parking and move the retaining wall down and add a screened porch. She said the entry porch would cover the stairway and explained how the driveway would be shifted about four feet. She reviewed the design details.

[Timestamp 3:51:33] Mr. Adams said a retaining wall would have to be built to support the patio. Ms. Whitney said she would put a frost wall under the porch and the retaining wall would wrap. Mr. Adams asked if the vertical board would be wood, and Ms. Whitney agreed. In response to further questions from Mr. Adams, she said the concrete wall would continue and there would be an ell that would be painted black so that the concrete wall behind it wasn't seen. She said the hood over the door would be eliminated so that it would be a simple shed roof line that allowed the steps to be covered. Mr. Adams said the drawing showed the shed roof and elevation as a straight line but it really was not. Ms. Whitney said it was a mistake and that it would be a bit higher on either side of the dormer. Mr. Adams asked if the shed roof could be re-pitched a bit, and it was further discussed. Chair Ruedig said she was concerned about the loss of the hood over the front door and the whole front façade of the building having a big change. She

asked if an open deck in the front was considered so that a roof didn't have to be put on. Ms. Whitney said there would not be any protection for the porch in that case. Mr. Ryan said he had a problem with everything moving to the right because it looked heavy. Ms. Whitney said there was no real outdoor space for the house, so the intent was to create the patio and possible parking space and have a better porch and a more protected entry. It was further discussed. Vice-Chair Doering said she struggled with the asymmetry and thought it threw the whole balance of the building off. Ms. Whitney said they would be about 13 feet out from the face of the existing building and that the symmetry would be more balanced. Vice-Chair Doering said the skirting made the whole thing more massive on the right-hand side than it already was, but the shed roof going partway across the building was what really concerned her. Mr. Wyckoff said installing balusters would balance out some of the problems, and if hips were placed on the ends of the shed roof at the same pitch, it would solve a lot of the awkwardness of the roof. Ms. Whitney said she felt that it needed the mass. She said the owners were amenable to hiping the roof. Chair Ruedig asked if Ms. Whitney thought about putting the porch off to the side to the rear of the property. Ms. Whitney said they considered it but the garage was there.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

The owner Richard Palmasano said they wanted to create some outdoor space for themselves but were amenable to having a hip roof. He said moving the driveway over a bit and having the front patio space and the deck would be an easier way to get up to the house and would fit in nicely.

No one else spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

*Mr. Ryan moved to **grant** the Certificate of Approval for the petition, with the following stipulation:*

- 1. The hip roof shall be changed on the roof.*

Councilor Blalock seconded.

Mr. Ryan said the project would preserve the integrity of the District and would be consistent with the special and defining character of the surrounding properties.

*The motion **passed** by a vote of 4-3, with Mr. Adams, Vice-Chair Doering, and Chair Ruedig voting in opposition.*

3. Petition of Anthony J. Scolaro Trust, owner, for property located at **279 Marcy Street, Unit #3**, wherein permission is requested to allow exterior renovations to an existing structure (replace windows on the 2nd floor of the structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 45-3 and lies within the General Residence B (GRB) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 4:09:39] The owner/applicant Anthony Scolaro was present. He said he owned the second floor of a 3-unit condo house and wanted to replace the eight windows with Marvin Elevate ones. He said the existing windows were aged and difficult to open and close.

Dr. Brown asked about the other three windows that were not outlined. Mr. Scolaro said there were five windows in the front, two on the alley, and one by the laundry room. He said the 5-6 windows on the right-hand side of the second floor were on a different unit. Chair Ruedig asked if the proposed windows would match the windows in the other units. Mr. Scolaro said he owned the third floor and thought those windows were Andersen ones, but that he didn't continue with those because the Marvin window's interior was a pre-painted black pine and was easier to open and wash. Chair Ruedig confirmed that the windows would be 6/6 to match the other windows except for the small laundry window that was 4/4.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

*Vice-Chair Doering moved to **grant** the Certificate of Approval for the petition, with the following **stipulations**:*

- 1. There shall be half screens; and*
- 2. The grid pattern shall be 6/6, except for the 4/4 windows.*

Mr. Wyckoff seconded the motion.

Vice-Chair Doering said the project would conserve and enhance property values and would have compatibility of innovative technologies with surrounding properties.

*The motion **passed** unanimously, 7-0.*

V. WORK SESSIONS (OLD BUSINESS)

A. REQUEST TO POSTPONE TO THE JUNE 04, 2025 MEETING - Work Session requested by PNF Trust of 2013, owner, for property located at **266-278 State Street and 84 Pleasant Street**, wherein permission is requested to allow the construction of a new 4-Story mixed-use building (266-278 State Street and the renovations of an existing structure (84 Pleasant Street) as per plans in file in the Planning Department. Said property is shown on Assessor Map 107 as Lots 77, 78, 79, and 80 and lie within Character District 4 (CD4), Downtown Overlay, and Historic Districts.

DECISION OF THE COMMISSION

The work session was **postponed** to the June 4 meeting.

VI. WORK SESSIONS (NEW BUSINESS)

A. Work Session requested by **Lorencic Revocable Trust, owner**, for property located at **209 Marcy Street**, wherein permission is requested to allow new construction to an existing structure (construct full 2nd floor addition with new 1-story front and side additions) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 2 and lies within the General Residence B (GRB) and Historic Districts.

Mr. Adams recused himself from the work session, and Mr. Booz took a voting seat.

WORK SESSION

[Timestamp 4:33:11] Project architect Anne Whitney was present on behalf of the applicant and said they were proposing a side and front addition to turn the one-story residence into a full two-story Colonial. She said the house was an anomaly because it was presently set back from the street and sides of the neighboring buildings. She said the peak of the existing Cape was low, so it was better to bring it up to a two-story Colonial. She discussed the porch space, the stairs and the addition. She said the large dormer on the rear elevation that currently ran the full length of the house would be removed and new windows would be added on the second floor.

[Timestamp 4:41:13] Mr. Ryan said the project was more appropriate to the neighborhood than what was there now. Vice-Chair Ruedig said the existing 1950s house was now considered historic and showed how the neighborhood had changed over time, and there were not many left in the Historic District. She said the project would change everything that was there by adding a bump out to the front, an entire second floor, an addition on the side, and rearranging the windows. She said it would look like a brand new house with nothing resembling what was there before. She said it was an important corner that deserved more than a generic colonialization of creating a two-story house that kind of fit in. She said she would like to see the Cape form brought forward and suggested raising the roof and dormering it so that it was still a Cape, but more space could be had on the second floor. Ms. Whitney said the footprint was typical for a two-story Colonial, and it was further discussed. Mr. Wyckoff said the existing house did not have much style and that he preferred a dormered Cape. It was further discussed.

DECISION OF THE COMMISSION

*Vice-Chair Doering moved to **continue** the work session, seconded by Mr. Ryan. The motion **passed** unanimously, 7-0.*

B. Work Session requested by **Frank V. and Regina Azzolino, owners**, for property located at **11 Sheafe Street**, wherein permission is requested to allow exterior renovations to an existing structure (replace windows) and new construction to an existing structure (construct new rear garage and covered entry) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 14 and lies within the Character District 4 (CD4) and Historic Districts.

Mr. Adams returned to his voting seat, and Mr. Booz returned to alternate status.

WORK SESSION

[Timestamp 5:00:22] The project contractor Niko Menchtas was present along with the owners Frank and Regina Azzolino. He said they wanted to extend the back of the building and create a one-car garage. He said the existing white structure would be turned into a mudroom and explained how they would extend the wall. Mr. Adams asked if the intent was to have a brick envelope. Mr. Azzolino agreed. Mr. Adams confirmed that the roof would be pitched toward the alleyway, footings would be put in, and the addition would be attached to the building on the left. He said something would have to be worked out with the neighbors. He said placing the AC unit on the roof seemed prominent but noted that the abutters had the same thing. Mr. Azzolino said a wooden screen would be placed around the AC. Mr. Adams questioned whether brick would be the best material. Mr. Wyckoff asked about the fire code and whether cement clapboards may have to be used. The contractor said there was a firewall on the neighbor's side and a brick veneer for the rest of it. Mr. Adams said it lacked a roof. The material was further discussed. Chair Ruedig suggested that the owner consider clapboard and a wood trim. The window replacements were discussed. Mr. Ryan suggested that the applicant consult a structural engineer for the masonry wall. He asked if the bulkhead door would be removed. Mr. Azzolino said they would flatten it. The chimneys were discussed. Mr. Azzolino said three fireplaces were removed by a previous owner and that one of the chimneys was unsound and had to be removed. He proposed a wooden structure faced with brick.

Public Comment [Timestamp 5:15:51]

John Evans of 17 Sheafe Street said the house was one of four identical historic houses known as Sheafe Row. He said the existing projection with the kitchen made an ell that matched his ell as well as the other two neighbors' ells. He said it was all very symmetrical for the four Federal houses designed as a row in 1816. He read from the Portsmouth Advocates Report that the four structures are significant as Portsmouth's only purely residential Federal brick row block and are well preserved and retain their original character. He said he objected to the removal of the chimneys and having the proposed garage up against his clapboard garage and addition. He said the project would destroy the symmetry of the ell additions of the four houses. Mr. Wyckoff asked if the other three had garages on the back. Mr. Evans said only two of them did. He said the proposed roofline that would run horizontally across the entire width of the property would not retain the symmetry and would ruin the aesthetic.

Douglas Allen of 17 Sheafe Street said the four houses were similarly situated because the back of them had an empty space and a built-up space for a garage or additional living space. He said the applicant wanted to eliminate that space and that it would deviate from the schematic.

No one else spoke, and Chair Ruedig closed the Public Comment session.

Mr. Azzolino said he would not eliminate the space. Vice-Chair Doering said the Commission would look further into it when they did their next site visit. Mr. Wyckoff suggested that the applicant return for a public hearing to get permission to remove the chimney. Chair Ruedig said the applicant could go to the Inspection Department instead. The windows were discussed. Mr.

Wyckoff recommended that the owner keep the white sashes and have half screens. Mr. Azzolino said he would return for a public hearing.

DECISION OF THE COMMISSION

*Mr. Adams moved to **close** the work session, seconded by Councilor Blalock. The motion **passed** unanimously, 7-0.*

At this point in the meeting, the Commission again addressed Public Hearings, Old Business, Petition A of Paul R. Delisle Revocable Trust and Rosa Z. Delisle Revocable Trust, owners. The applicant was still not present.

*Mr. Adams moved to **postpone** the petition, seconded by Councilor Blalock. The motion **passed** unanimously, 7-0.*

VII. OTHER BUSINESS

1. Review Draft Historic District Boundary Line Revisions.

[Timestamp 5:28:10] Chair Ruedig said the intent was to capture all the parcels that face onto and front Middle Street and not clip corners of buildings here and there. She said if there were no objections, it would move forward to the Planning Board and then to the City Council.

*Mr. Adams **moved** to refer it to the Planning Board, seconded by Councilor Blalock.*

Mr. Ryan said it looked like the small side streets were taken out. Vice-Chair Doering said something was needed to better explain the Middle Street map. It was further discussed.

*Mr. Adams **amended** his vote to say that the Commission could take a good look at it at the June 4 meeting, seconded by Mr. Ryan. The motion **passed** unanimously, 7-0.*

VIII. ADJOURMENT

The meeting **adjourned** at 12:04 a.m.

Respectfully submitted,

Joann Breault
HDC Meeting Minutes Taker

HDC

ADMINISTRATIVE APPROVALS

June 04, 2025

- | | | |
|-----------|----------------------------|------------------------------|
| 1. | 95 Daniel Street | -Recommended Approval |
| 2. | 44 Pickering Street | -Recommended Approval |
| 3. | 93 Pleasant Street | -Recommended Approval |
| 4. | 238 Marcy Street | -Recommended Approval |

1. 95 Daniel Street

-Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design:

- REMOVAL OF PREVIOUSLY APPROVED WINDOWS ON WEST ELEVATION
- CONTINUATION OF BRICK SHELF AROUND PERIMETER OF FOUNDATION WALL
- ADDITION OF GATES ON EITHER SIDE OF BUILDING TO CONCEAL ALLEY WAYS
- ADDITION OF GRANITE STEPS AT BOTH FRONT AND REAR ENTRY
- REMOVAL AND RELOCATION OF EXHAUST VENTS
- ADDITION OF PILASTERS WITH SCROLL DETAILS ON REAR ELEVATION TO MATCH EXISTING
- RELOCATION OF CONDENSER WITH SCREENING

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

95 DANIEL STREET

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL - JUNE 2025

- PROPOSED WORK CHANGES:
- REMOVAL OF PREVIOUSLY APPROVED WINDOWS ON WEST ELEVATION
 - CONTINUATION OF BRICK SHELF AROUND PERIMETER OF FOUNDATION WALL
 - ADDITION OF GATES ON EITHER SIDE OF BUILDING TO CONCEAL ALLEY WAYS
 - ADDITION OF GRANITE STEPS AT BOTH FRONT AND REAR ENTRY
 - REMOVAL AND RELOCATION OF EXHAUST VENTS
 - ADDITION OF PILASTERS WITH SCROLL DETAILS ON REAR ELEVATION TO MATCH EXISTING
 - RELOCATION OF CONDENSER WITH SCREENING

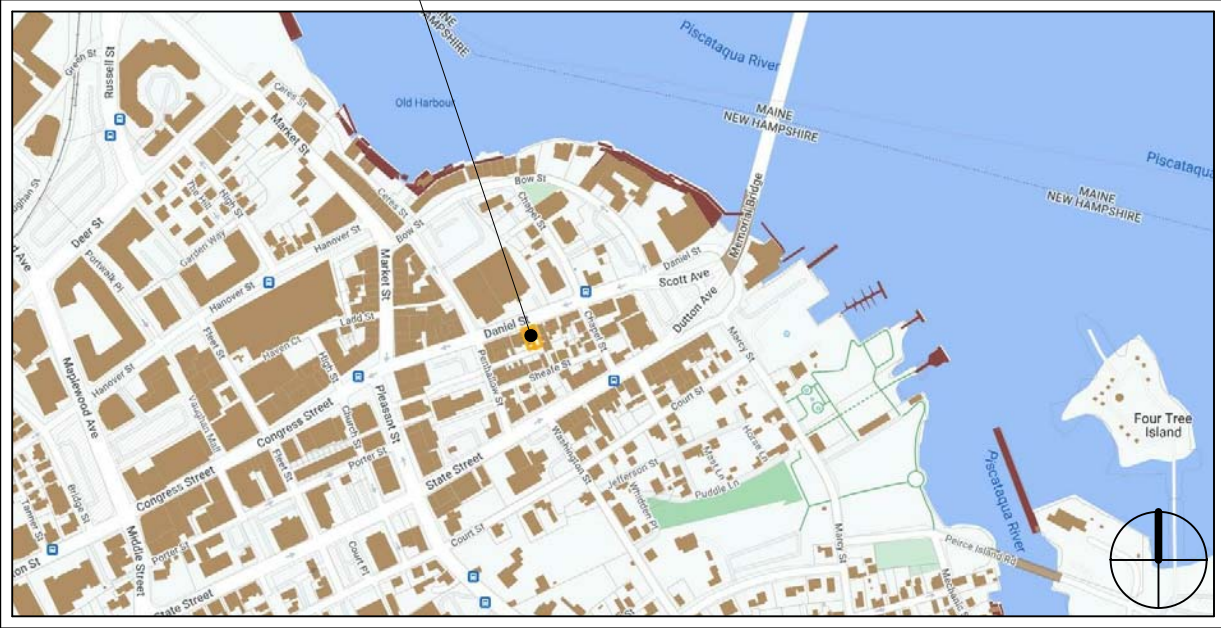


1 REAR PERSPECTIVE



95 DANIEL STREET
PORTSMOUTH, NH 03801

95(RIGHT) DANIEL STREET (ABOVE)



© 2024 Portsmouth Architects

95 DANIEL STREET

PORTSMOUTH, NH 03801

COVER

HISTORIC DISTRICT COMMISSION - ADMINISTRATIVE
APPROVAL JUNE 2025

4 Market Street
Portsmouth, New Hampshire
603.430.0274
brought to you by
McHENRY ARCHITECTURE



C

05/20/2025
McHA: EKW/MG
Project Number: 22061
NOT TO SCALE



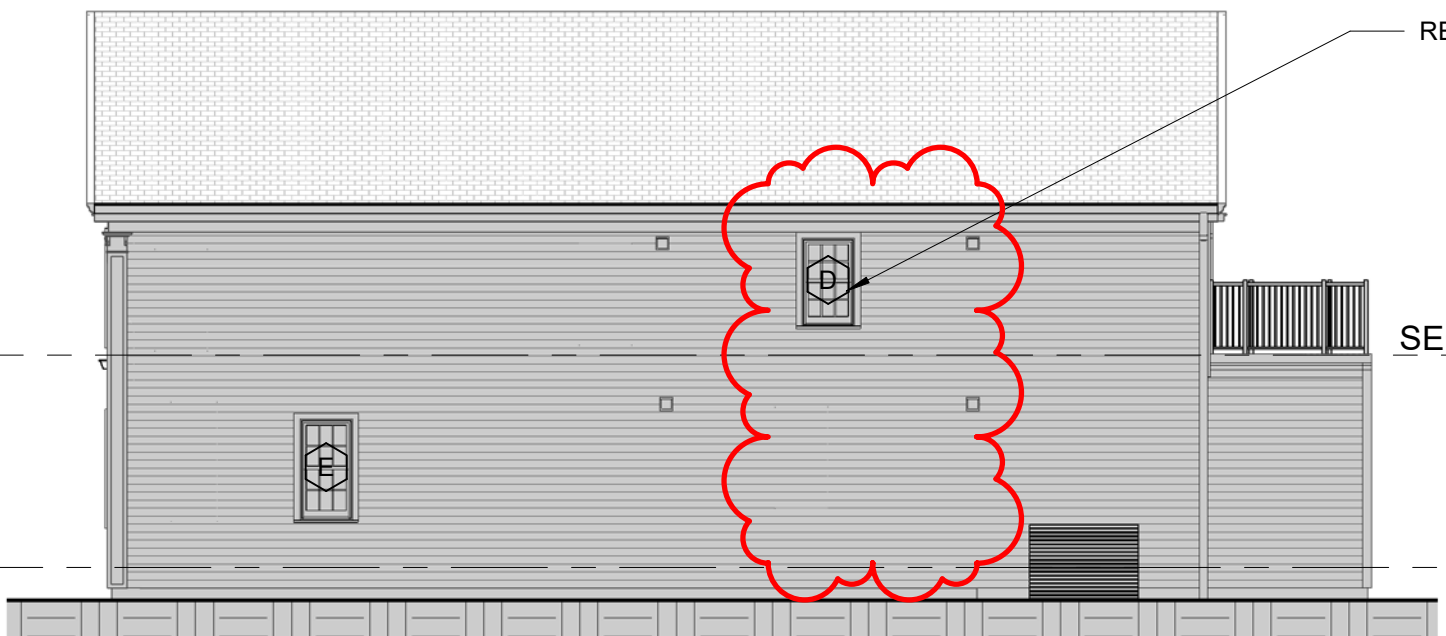
1 PROPOSED SOUTH ELEVATION
1/8" = 1'-0"



2 PROPOSED EAST ELEVATION
1/8" = 1'-0"

PROPOSED CHANGES:

- 1-STORY ADDITION ON REAR OF BUILDING TO PROVIDE ENTRY/MUDROOM SPACE.
- REMOVAL OF EXISTING REAR ENTRY DOOR AND ADJACENT "D" WINDOW.
- REMOVAL OF PREVIOUSLY APPROVED DOOR ON EAST ELEVATION
- RELOCATION OF "E" WINDOW ON WEST ELEVATION.
- RELOCATION OF LOUVERS FOR VENTILATION.
- ADDITION OF COPPER GUTTERS AND DOWNSPOUTS .



3 PROPOSED WEST ELEVATION
1/8" = 1'-0"

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95 DANIEL STREET

PORTSMOUTH, NH 03801

PROPOSED ADDITION

HISTORICAL DISTRICT COMMISSION - ADMINISTRATIVE
APPROVAL OCTOBER 2024

4 Market Street
Portsmouth, New Hampshire
603.430.0274

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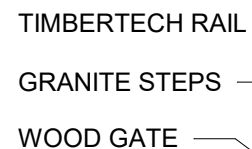
A2

09/12/2024

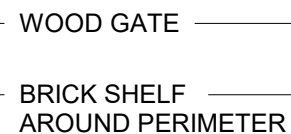
McHA: EKW/MG

Project Number: 22061

Scale: 1/8" = 1'-0"



4



3



1



2

PORTSMOUTH, NH 03801

HISTORIC DISTRICT COMMISSION - ADMINISTRATIVE
APPROVAL JUNE 2025

brought to you by
McHENRY ARCHITECTURE



A2

McHA: EKW/MG

Project Number:	22061
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Scale: $1/8" = 1'-0"$

2. 44 Pickering Street

-Recommended Approval

Background: The applicant is seeking approval for a secondary condenser unit and line sets (condenser and line sets already installed).

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



May 22nd, 2025

Historic District Commission
1 Junkins Ave. 3rd Floor
Portsmouth, NH 03801

To whom it may concern,

My name is Ethan Korpi and I am writing to highlight the challenges associated with replacing an existing HVAC system at 44 Pickering Street in Portsmouth, NH.

We are the building company that renovated the Frisk Residence back in 2014 and have stayed in contact with the owners Patrik and Carin Frisk ever since. Unfortunately this winter they experienced serious issues with the outdoor HVAC condenser used for heating/cooling. That issue was further complicated by the lack of available parts for the existing condenser and subsequent need to quickly redesign an acceptable fix moving forward.

After consulting with multiple HVAC companies for a solution, the owners settled on working with Green Home Climate Solutions to replace the existing equipment. Due to major changes in the market of air-source heat pumps it was quickly determined that we would need a second condenser to service the 3rd floor of the property. With limited time and cold temps, it was critical to move forward w/o the typical approach to working within the HDC.

Every attempt was made to keep the equipment hidden from view as much as possible and limit visible exposure from street views. We placed the 2nd condenser in close proximity to the original condenser location and behind a fence intended to help obstruct the view. One exterior line was required on the exterior of the building to avoid an interior staircase, but it was painted to match the siding and limit visible impact.

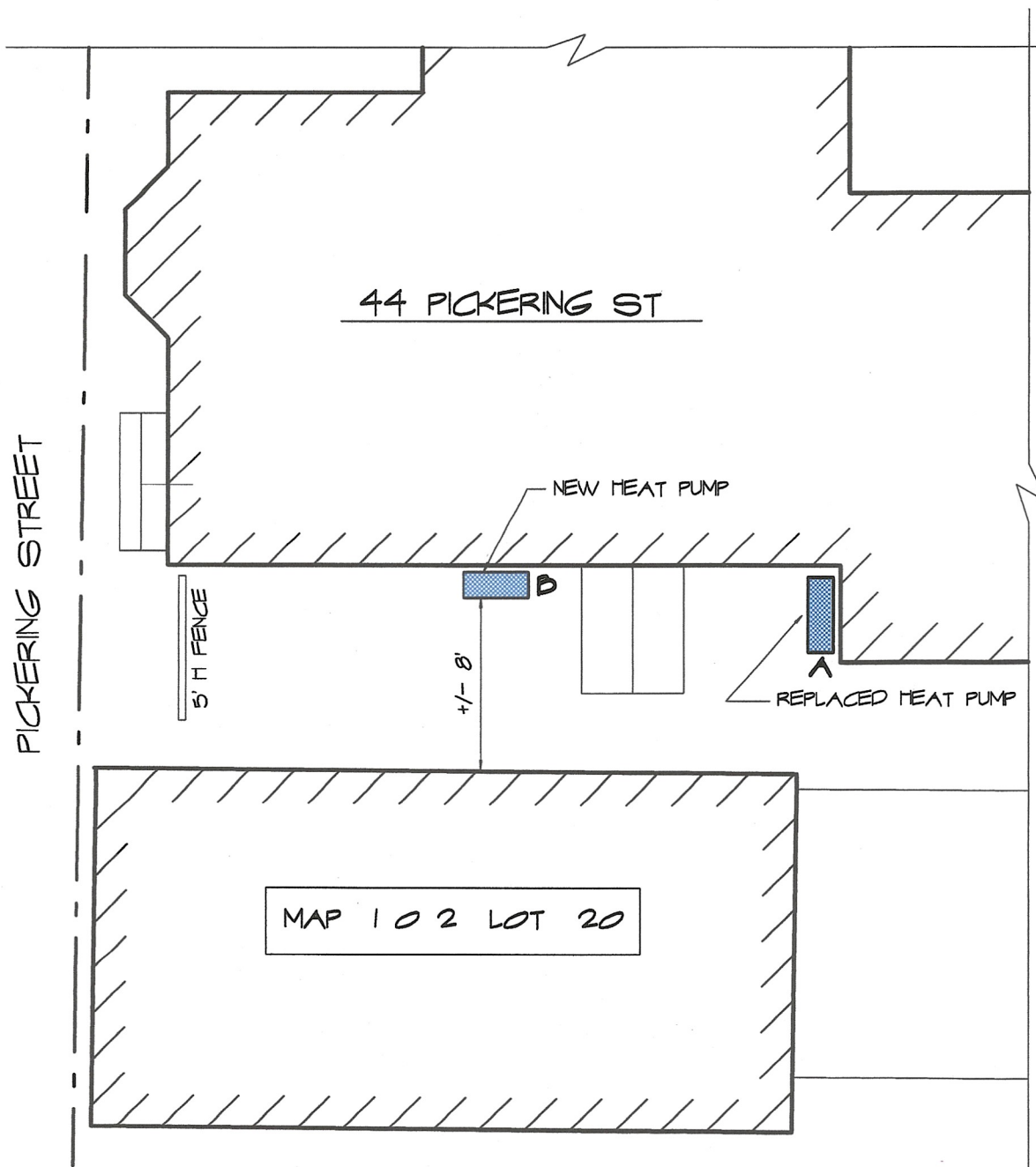
I am available to discuss the needed approach to making this required change to the HVAC system at 44 Pickering Street, if needed. Please feel free to reach to me at the email or cell number below.


Best Regards,

A handwritten signature in black ink, appearing to be "Ethan Korpi", written over a horizontal line.

Ethan Korpi
Eco Sound Builders, LLC

cell # (603) 986-8467




 HEAT PUMP LOCATIONS
 SCALE : 1/8" = 1'-0"

44 PICKERING STREET

801 Islington St, Suite 32
 Portsmouth, NH 03801
 603-502-4387
 archwhit@aol.com



ANNE WHITNEY ARCHITECT

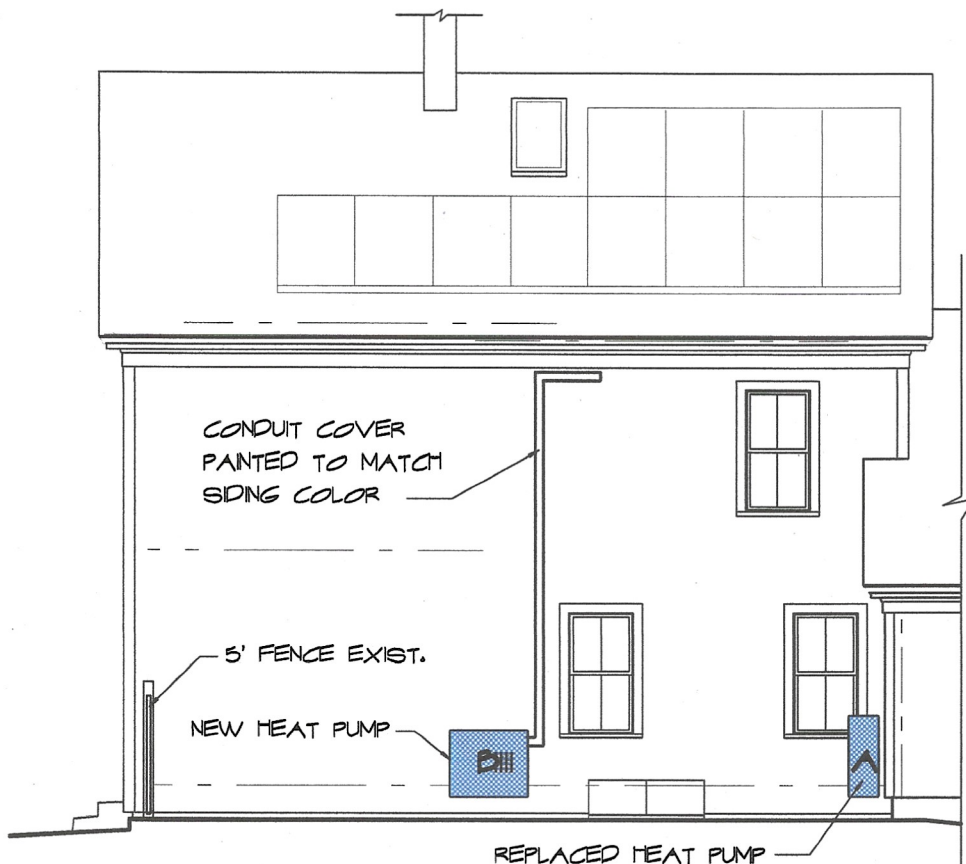
Project:	Date:	
	5 / 22 / 25	



INSTALLED VIEW FROM PICKERING STREET



AS BUILT HEAT PUMPS



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

44 PICKERING STREET

801 Islington St, Suite 32
Portsmouth, NH 03801
603-502-4387
archwhit@aol.com



ANNE WHITNEY ARCHITECT

Project:

Date:

5 / 22 / 25

CONNECTABLE INDOOR UNITS

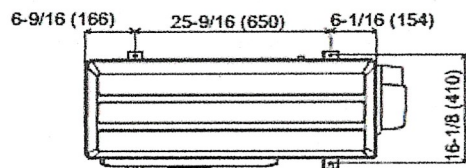
TYPE	Slim Duct (ADUH)
	Wall Mount (ASU/ASUH)
	Compact Cassette (ACUH)
	Floor Mount (AGU)
NUMBER	2 to 4

DIMENSIONS:

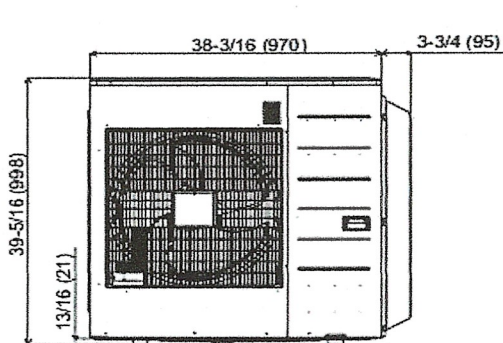
REFRIGERANT

Type	R410A
Charge	lb oz
	8 lb 13 oz
	g
	4,000
Oil Type	RB68

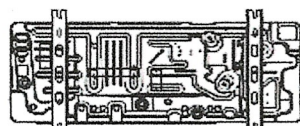
Units: In. (mm)



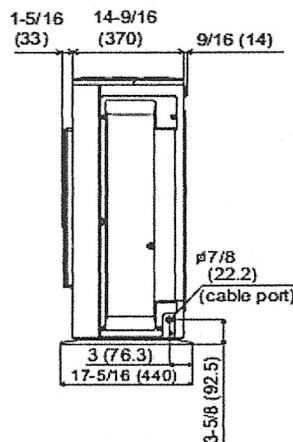
Top view



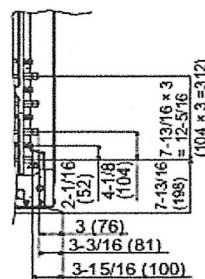
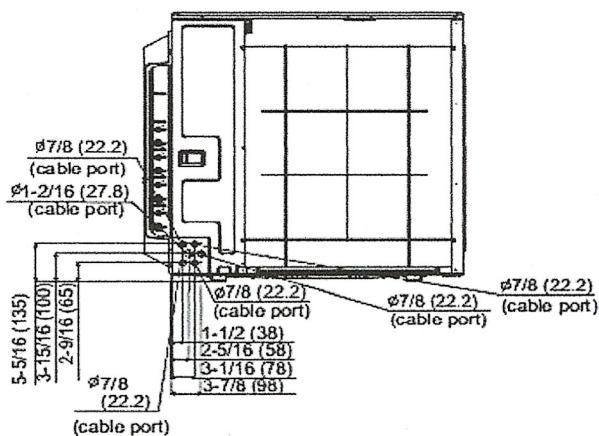
Front view



Bottom view



Side view



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Note: Specifications are based on the following conditions:
Cooling: Indoor temperature of 80°F (26.7°C) DB/67°F (19.4°C) WB, and outdoor temperature of 95°F (35°C) DB/75°F (23.9°C) WB. Heating: Indoor temperature of 70°F (21.1°C) DB/60°F (15.6°C) WB, and outdoor temperature of 47°F (8.3°C) DB/43°F (6.1°C) WB. Pipe length: 25ft. (7.5m). Height difference: 0ft. (0m) (Outdoor unit - indoor unit).

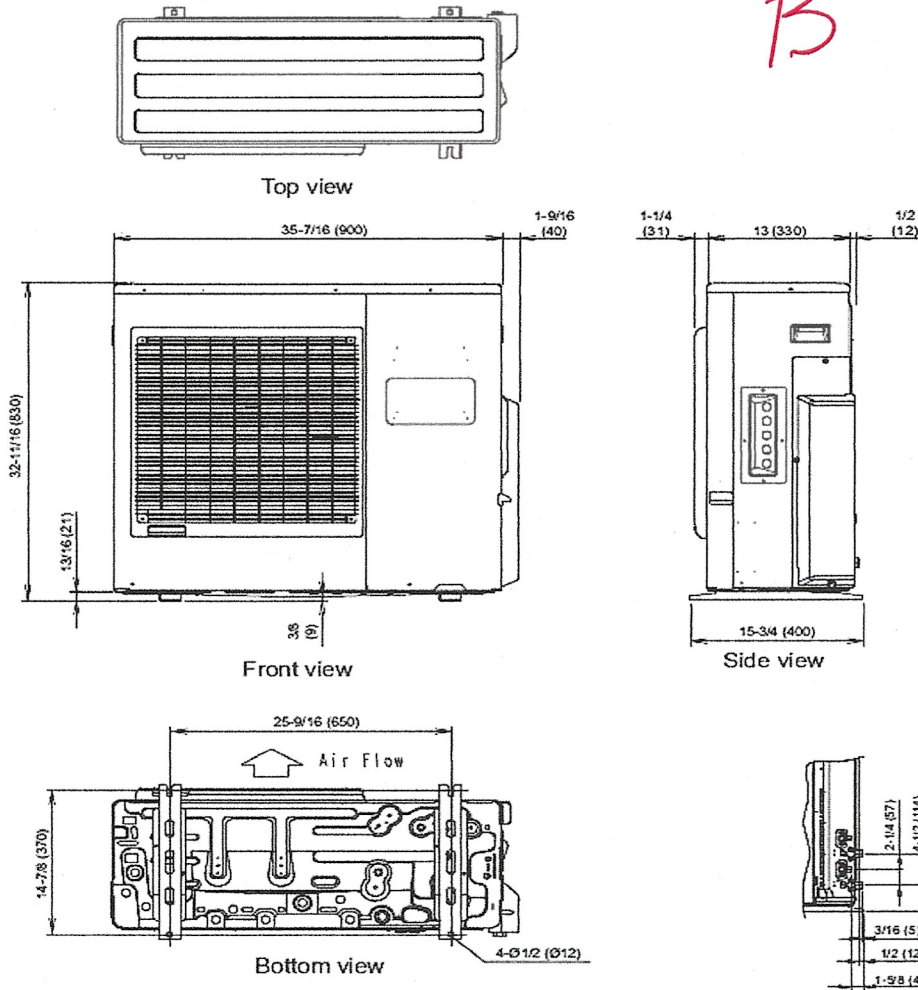
CONNECTABLE INDOOR UNITS

TYPE	Slim Duct (ADUH)
	Wall Mount (ASU/ASUH)
	Compact Cassette (ACUH)
	Floor Mount (AGU)
NUMBER	2
DIMENSIONS:	

REFRIGERANT

Type	R410A	
Charge	lb oz	4 lb 14 oz
	g	2,200
Oil Type	RB68	

Units: In. (mm)



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3. 93 Pleasant Street -Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design (Main and Side entrance changes, window changes, trim changes, etc.)

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____



93 Pleasant Street
Treadwell Mansion
HDC 5/27/2025 revised
Revision 14 - as built conditions 5.23.2025

As built variances

1. Main Entrance, Pleasant Street side annex:

- a. Entry door, sidelites & transoms are solid panel instead of glass



As approved



As built

Omit stone wall below balustrade, left column and left section of balustrade. Existing transom above and to right side of door removed. (North side of porch was pulled away from wall of abutting building to keep water run-off away from their wall. Gutter and downspout in progress)

- b.



As approved



As built



Existing condition (before construction)



As built

2. Chimney ventilator caps, for gas fireplaces – two each on existing northwest and southwest chimneys; and two on future southeast chimney.



3. Gas meter with bollards installed at southeast corner of mansion.



4. West porch: Third floor deck railing changed from glass to cable, to match approved railing style at roof deck. Added structural post at left side of 3rd floor deck (*required for seismic loads*). Replaced granite wall between sidewalk and garage ramp with metal fence on granite curb. Remaining trim work in progress.

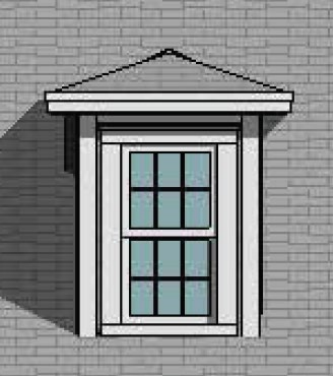


As approved



As built

5. Middle section dormers, Court Street: Dormer is 8" wider with siding between 4" instead of 6" window casing and corner trim *(for added wall insulation)*. Shadow board trim omitted *(window installed 3" higher, to accommodate flashing)*.



As approved



As built

6. East porch: Second and third floor deck railings changed from glass to cable, to match approved railing style at roof deck. Second floor windows behind deck railing installed 8" higher than approved; door head height installed 1' lower than approved. Remaining trim work in progress.



As approved



As built

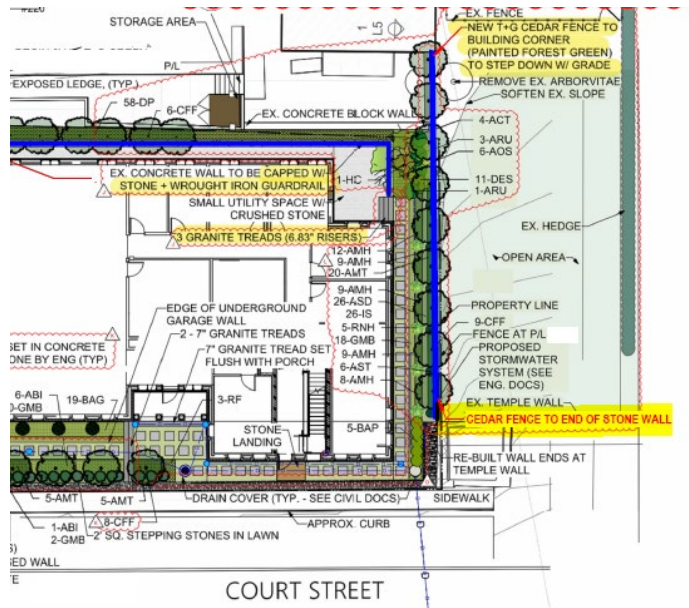
7. East façade: Granite base lowered to align with lowered grade (granite exposure unchanged). Omit wood fence along east property line.



As approved



As built



As approved

8. Rear façade: Crown moulding at window head casings omitted. Moulding and apron trim added below window sills (this façade is not visible from a public way).



Work in progress / not yet installed

1. Widow's walk balustrade around skylight
2. Temporary yellow safety railings around mechanical equipment facing Pleasant and Court Streets will be removed upon completion of construction.
3. Fourth (SE) chimney not yet built
4. Woodwork around historic mansion front entrance awaiting restoration
5. Caulking at perimeter of louvers, 1st floor Court Street.
6. West and East porches: built-up trim bands at tops of 2nd floor porch walls. Cap mouldings at window heads and crown moulding trim under first floor porch soffit.

4. 238 Marcy Street

-Recommended Approval

Background: The applicant is seeking approval for siding, trim, soffit and fascia replacements, and new patio door.

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

238 Marcy Street: Existing Conditions

Marcy Street-Side View



North-Side View: Main House



North-Side View: Extension



238 Marcy Street: Existing Conditions

West-Side View: Main House



West-Side View: Extension



South-Side View: Main House



South-Side View: Extension



Proposed Construction Actions:

Replace Exterior Cladding, Corner Trim, Eaves & Gutters



Cladding

Action: vinyl and wood siding to be replaced as required to match underlying/existing

Proposed Replacement

Material: Western Red Cedar

Profile: clapboard w/ 4"reveal

Finish: clear sealer

Corner Trim Boards

Action: corner trim boards to be replaced as required to match underlying/existing

Proposed Replacement

Material: Western Red Cedar

Dimensions: 5/4 x 5 (4 1/4 - 4 1/2)

Finish: clear sealer

Fascia

Proposed Action: Fascia board to be replaced as required to match underlying existing

Material: Western Red Cedar

Sizing: Match existing 1x6 (VIF) fascia align

Finish: clear sealer

Soffits

Proposed Action: Soffits to be replaced as required to match underlying existing

Material: Western Red Cedar

Sizing: Match existing (VIF) soffit align

Finish: clear sealer

Gutters

Proposed Action: Gutters and downspouts to be replaced as required to match existing

Material: aluminum gutters and downspouts with leaf guards

Finish: White

Proposed Construction Actions:

Add Entrance Door Trims & Replace Exterior Lights

Existing Street-Side



Existing North-Side



Comparable Example for Proposed Door Trim



West-Side View:
Main House



North-Side View: Extension



Note: Proposed trim for North-Side Extension Patio Door to be discussed in following page

Entrance Door Trim

Locations: Street-Side, North-Side & West-Side entrances

Existing: no trim w/ vinyl simple gable style pediment

Original: likely wood 2-3" butt trim w/ simple gable style pediment

Proposed Action: Add 5" flat (or butt) casing with a Rams Crown header to 3 exterior door entrances

Locations: street-, north-, & back-side entrances

Material: Western Red Cedar

Dimensions:

Side Casing: 5/4 x 5" (4 1/4" - 4 1/2")

Top casing: 5/4 x 5" (4 1/4" - 4 1/2")

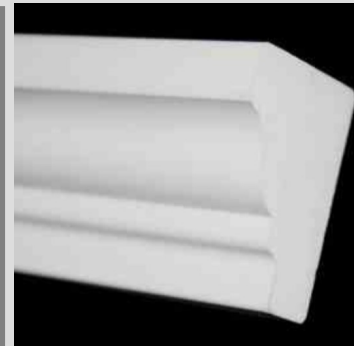
Header: length of top casing w/ 1" overhang

Rams Crown Door Header

Material: Western Red Cedar

Dimensions:

Roughly 1-3/8" x 2-1/8"



Door Lighting

Proposed Action: Replace existing above-door light fixture w/ 1 onion-style sconce light

Placement: On the latch side of each door.

Entrance Locations: All 4 exterior doors at street-, north- and west-sides

Brand: Livex Lighting

Model: 26901-04 Newburyport Series

Light Outdoor Wall Lantern in Bohemian Style

Dimensions: W:8.75" H:14.75"



Proposed Construction Actions: Add Window Trims



Window Trim:

Existing: no trim, aluminum shutters
Original: likely wood backband casing

Proposed Replacement Window Trim

Locations: all non-basement windows

Material: Western Red Cedar

Dimensions:

Siding Casing: 5/4 x 4" (3 1/4" - 3 1/2")

Molding: Backband 1" (3/4" - 1")

Top casing: same width as sides

Sill: 2" historic

Comparable Example for Proposed Window Trim

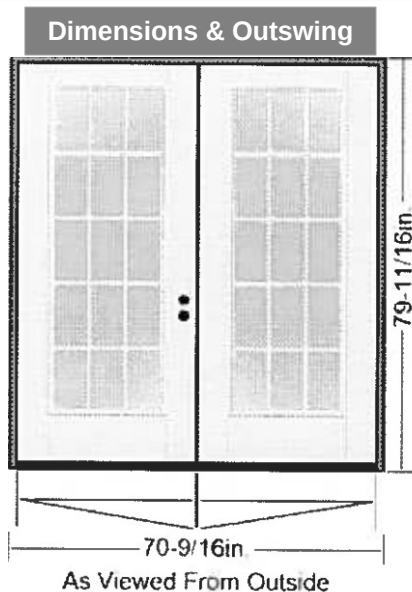


Proposed Construction Actions: Replace North-Side Patio Doors

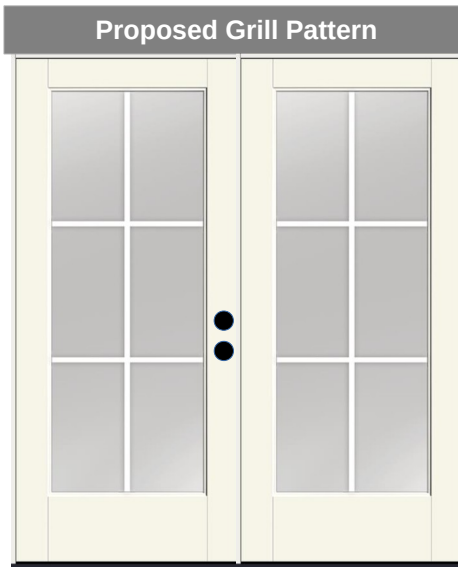
North-Side View: Extension



Proposed Therma-Tru Double Door



Proposed Grill Pattern



North-Side Patio Door Trim

Existing: 2" backband wood trim

Proposed Action: trim to be replaced as required to match existing

Location: back-side entrance

Material: Western Red Cedar

Dimensions: Match existing

Proposed Action:

Replace Existing Patio door w/ Therma-Tru Double Door

Smooth-Star® Style No. S1206 | Full Lite
Flush-Glazed | Glass Name: 6 Lite 2Wx3H
Divided Lite

Material: Fiberglass

Finish: Alpine White Exterior

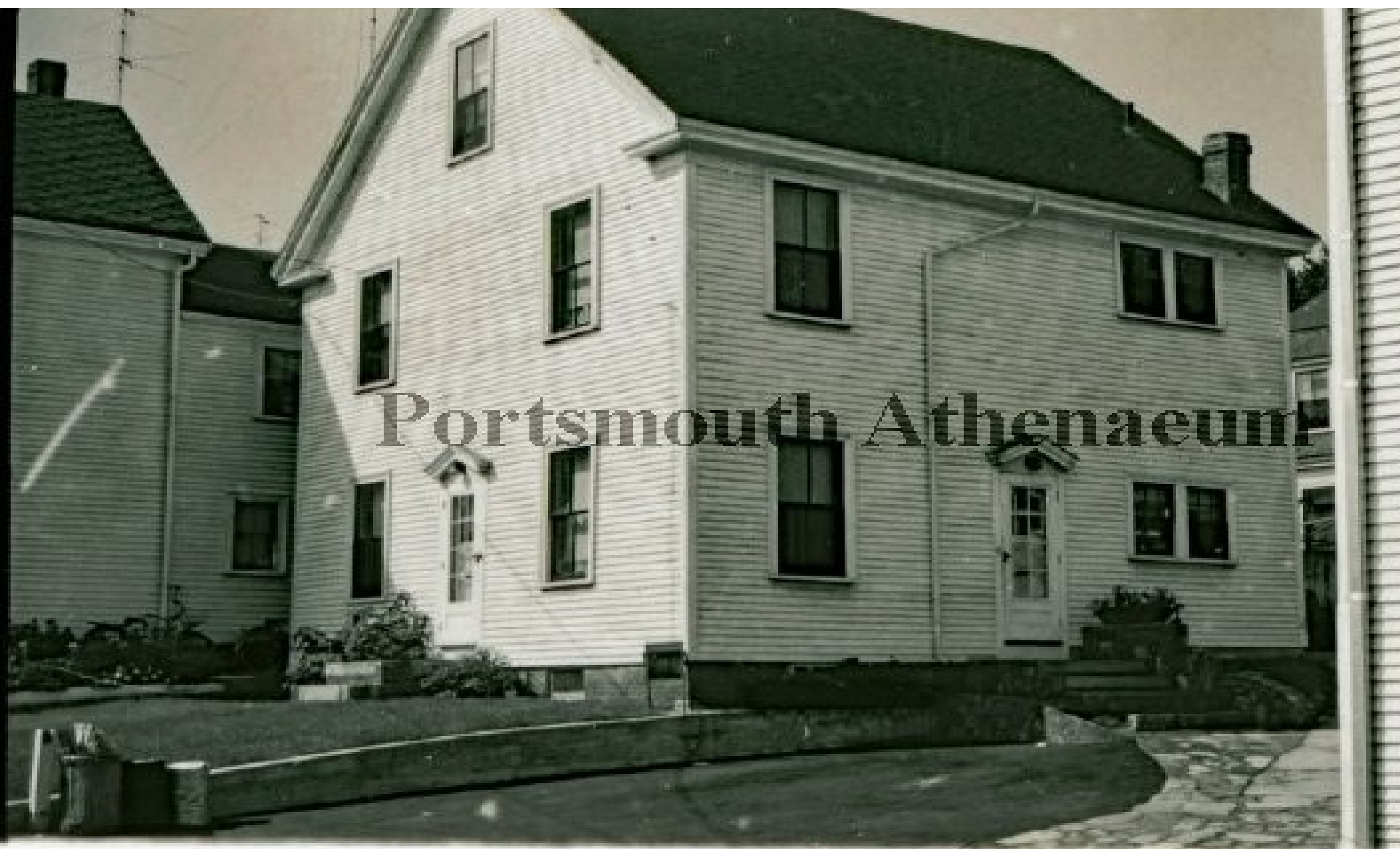
Grille: 6 stile lines

Dimensions: H: 79-11/16"; W: 70-9/16"

Detailed Specifications

- Smooth-Star
- Double Entry Door
- 5/8 x 6/8
- Cut Down Door by 1 1/2 in.
- RH Outswing Active
- 6LT with Stile Lines (S108-FXG) Fixed Grille
- Clear Glass
- Composite Edge
- DBL Bore RAD Prep 2-3/8
- No Bore on Secondary Door
- 4-5/8" Final Frame Composite Rotproof Bottom Jamb
- Bronze Weatherstrip
- Outswing Composite Sill Mill/Light Cap Finish
- O/S Kerfed BRZ
- Rotproof Bottom 5/4 x 4 Casing
- 2 Residential / 4 NRP Brush Nickel 1C Hinges
- White Alum. with F-Bolts Astragal
- Applied Casing

1955 Condition



Historic District Commission

Staff Report

Wednesday, June 04, 2025

Project Address: 408 The Hill #6-17

Permit Requested: Certificate of Approval

Application: Public Hearing A

A. Property Information - General:

Existing Conditions:

- Zoning District: Character District 4-L1 (CD4-L1) and Downtown Overlay
- Land Use: Residential
- Land Area: N/A SF +/-
- Estimated Age of Structure: c. 1750 (moved 1972)
- Building Style: Georgian
- Number of Stories: 2.5
- Historical Significance: Focal
- Public View of Proposed Work: High Street and Deer Street
- Unique Features: N/A
- Neighborhood Association: The North End



B. Proposed Work: Replacement windows

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Replacement windows



**HISTORIC
SURVEY
RATING

F**

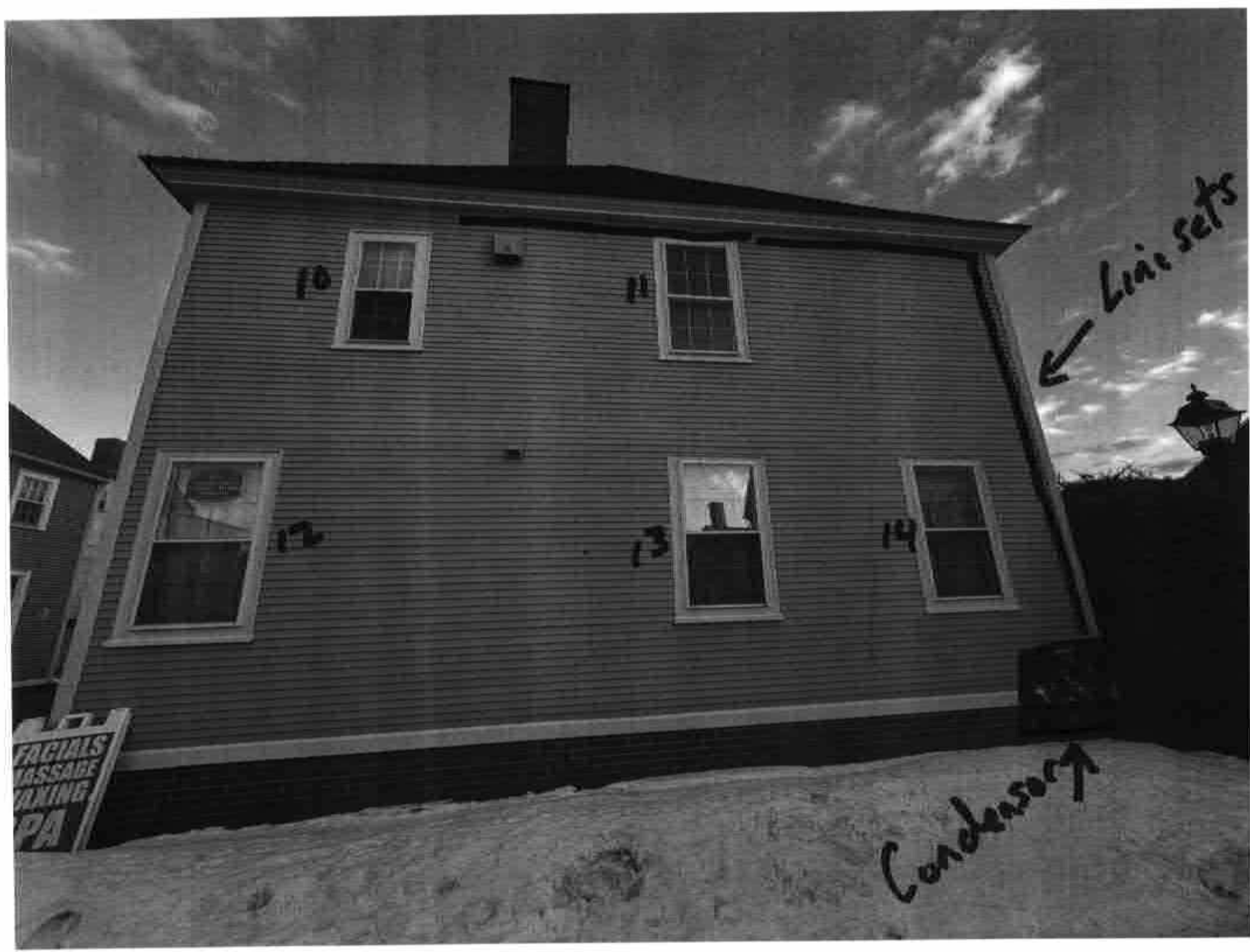
D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

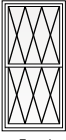
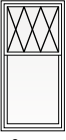
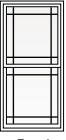
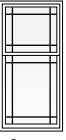
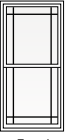
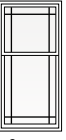
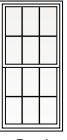
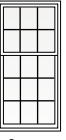

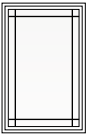
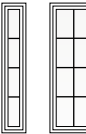
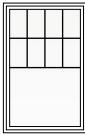
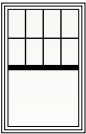
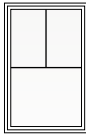
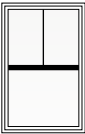
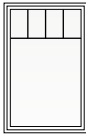
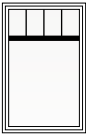
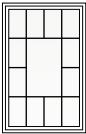


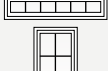






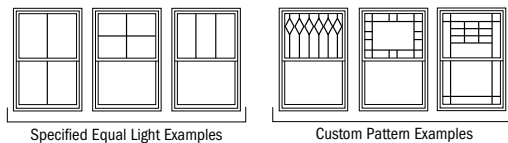


Grille Patterns

	Diamond*	Prairie A	6-Light Prairie	Colonial						
Tilt-Wash Double-Hung	 Equal	 Cottage	 Equal	 Cottage	 Equal	 Cottage	 Equal	 Cottage		
Tilt-Wash Picture										
Tilt-Wash Transom										

Patterns for double-hung windows are also available in Upper Sash Only (USO) configurations. For picture window patterns that require alignment with double-hung window patterns, identify the sash style (equal, cottage or reverse cottage) when ordering. **Number of lights and overall pattern varies with window size. Patterns not available in all configurations.**

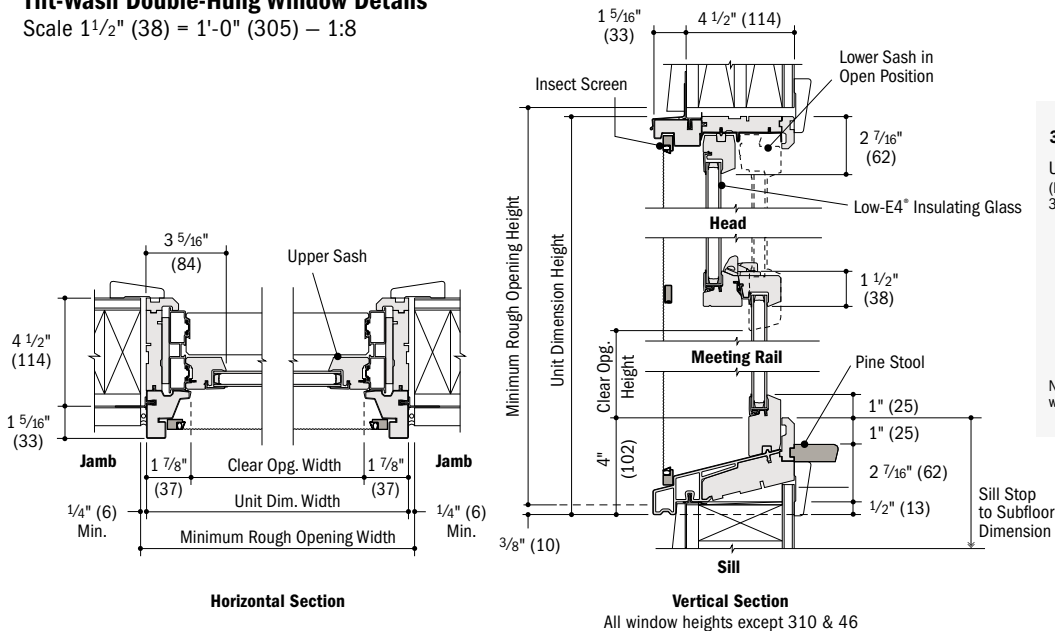
*Available only in Simulated Divided Light (SDL) configuration and only in 3/4" (19) and 7/8" (22) widths.



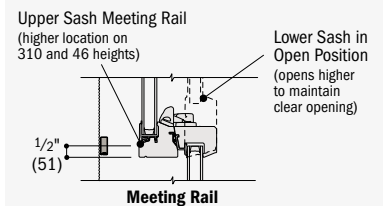
Specified equal light and custom patterns are also available. For more grille options, see page 14 or visit andersenwindows.com/grilles.

Tilt-Wash Double-Hung Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



310 and 46 Height Windows Only:



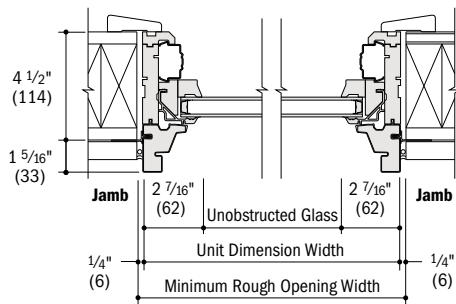
Note: Location of support bar on optional insect screen aligns with meeting rail location on 310 and 46 window heights.

- Light-colored areas are parts included with window. Dark-colored areas are additional Andersen® parts required to complete window assembly as shown.
- **Minimum rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See installation information on pages 210-211.**
- Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at andersenwindows.com.
- Dimensions in parentheses are in millimeters.

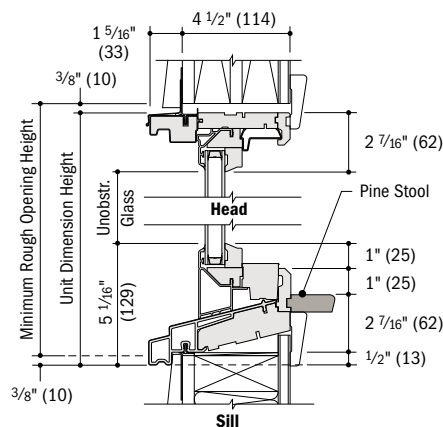
TILT-WASH DOUBLE-HUNG FULL-FRAME WINDOWS

Tilt-Wash Picture Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



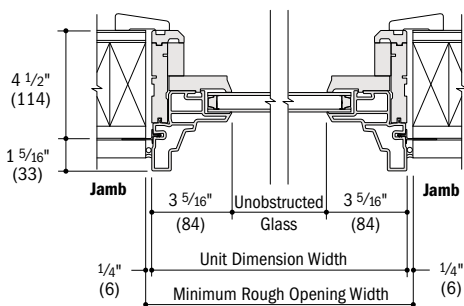
Horizontal Section



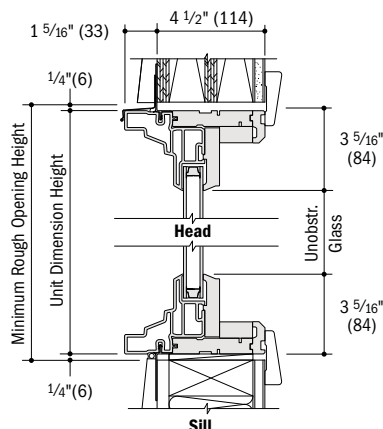
Vertical Section

Tilt-Wash Transom Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



Horizontal Section



Vertical Section

Horizontal (stack) Joining Detail

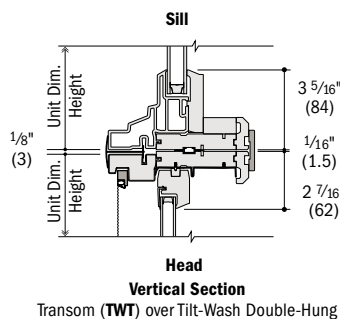
Scale 1 1/2" (38) = 1'-0" (305) – 1:8

Overall Window Dimension Height

Sum of individual window heights
plus 1/16" (1.5) for each join.

Overall Rough Opening Height

Overall window dimension height.*

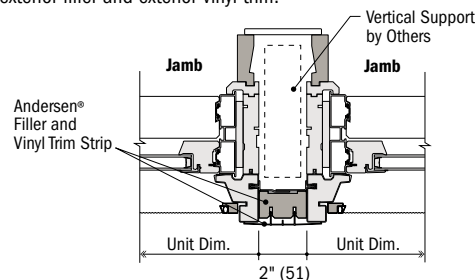


Head
Vertical Section
Transom (TWT) over Tilt-Wash Double-Hung

Separate Rough Openings Detail

Scale 1 1/2" (38) = 1'-0" (305) – 1:8

To meet structural requirements or to achieve a wider joined appearance, windows may be installed into separate rough openings having vertical support (by others) in combination with Andersen® exterior filler and exterior vinyl trim.



Horizontal Section
Tilt-Wash Double-Hung and Tilt-Wash Double-Hung

Vertical (ribbon) Joining Detail

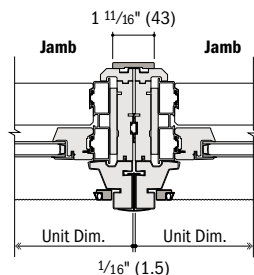
Scale 1 1/2" (38) = 1'-0" (305) – 1:8

Overall Window Dimension Width

Sum of individual window widths
plus 1/16" (1.5) for each join.

Overall Rough Opening Width

Overall window dimension width plus 1/2" (13).



Horizontal Section
Tilt-Wash Double-Hung to Tilt-Wash Double-Hung

For more joining information, see the combination designs section starting on page 181.

* Light-colored areas are parts included with window. Dark-colored areas are additional Andersen® parts required to complete window assembly as shown.
* Minimum rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See installation information on pages 210-211.
* Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at andersenwindows.com.
* Consult with an architect or structural engineer regarding minimum requirements for structural support members between adjacent rough openings.
* Dimensions in parentheses are in millimeters.
* For stacks where bottom unit in combination is a double-hung or picture window with a sloped sill. If bottom window has a flat sill add 1/2" (13) to the overall window dimension height.

400 SERIES TILT-WASH DOUBLE-HUNG WINDOW

[LEARN](#)[DESIGN IT](#)[TECH](#)

IS IT RIGHT FOR YOU?

Functionality

Slides open from the top and bottom and tilts in to make cleaning a breeze.

Material

Wood & vinyl. A vinyl exterior protects the window from weather while the interior is natural wood. This way you get the look you want without the worry of added maintenance.

[Read more →](#)

Project Address: 222 Court Street

Permit Requested: Certificate of Approval

Application: Public Hearing B

A. Property Information - General:

Existing Conditions:

- Zoning District: Character District 4-L1 (CD4-L1)
- Land Use: Commercial
- Land Area: 3,112 SF +/-
- Estimated Age of Structure: c.1800
- Building Style: Federal
- Number of Stories: 2.5
- Historical Significance: Contributing
- Public View of Proposed Work: Court Street
- Unique Features: N/A
- Neighborhood Association: Downtown



B. Proposed Work: The installation of a mural affixed to the structure on removable panels.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Mural installation



**HISTORIC
SURVEY
RATING

C**

D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



GRANITE FREEMAN

Washington's Runaway Slave.

There is now living, in the borders of the town of Greenland N. H., a runaway slave of GEN. WASHINGTON, at present supported by the County of Rockingham. Her name, at the time of her elopement was ONA MARIA JUDGE. She is not able to give the year of her escape but says that she came from Philadelphia, just after the close of Washington's second term of the Presidency, which must fix it somewhere in the first part of the year 1797. Being a waiting maid of Mrs. Washington, she was not exposed to any peculiar hardships. If asked why she did not remain in his service, she gives two reasons, first, that she wanted to be free, secondly, that she understood that after the decease of her master and mistress, she was to become the property of a granddaughter of theirs, by the name of Custis, and that she was determined never to be her slave.

She came on board a ship commanded by CAPT. JOHN BOLLES, and bound to Portsmouth N. H. In relating it, she added "I never told his name till after he died, a few years since, lest they should punish him for bringing me away." Had she disclosed it, he might have shared the fate of Jonathan Walker, in our own day.

Some time after she arrived at Portsmouth, she married a colored sailor, by the name of STAINES, and had a family of several children, but they, together with her husband have all been dead for several years.

Washington made two attempts to recover her. First, he sent a man by the name of Bassett to persuade her to return; but she resisted all the arguments he employed for this end. He told her, they would set her free when she arrived at Mount Vernon, to

which she replied, "I am free now and choose to remain so."

Finding all attempts to seduce her to slavery again in this manner useless, Bassett was sent once more by Washington, with orders to bring her and her infant child by force. The messenger, being acquainted with Gov. LANGDON, then of Portsmouth, took up lodgings with him, and disclosed to him the object of his mission. The good old Governor, (to his honor be it spoken,) must have possessed something of the spirit of modern anti-slavery. He entertained Bassett very handsomely, and in the mean time sent word to Mrs. Staines, to leave town before twelve o'clock at night, which she did, retired to a place of concealment, and escaped the clutches of the oppressor. Shortly after this, Washington died, and, said she, "they never troubled me any more after he was gone."

Being asked how she escaped, she replied substantially as follows, "Whilst they were packing up to go to Virginia, I was packing to go, I did not know where; for I knew that if I went back to Virginia, I never should get my liberty. I had friends among the colored people of Philadelphia, had my things carried there before hand and left while they were eating dinner."

Mrs. Staines does not know her age, but is probably not far from eighty. She is a light mulatto, so light that she might easily pass for a white woman, small of stature, and, although disabled by two successive attacks of palsy, remarkably erect and elegant in her form.

The facts here related, are known through this region, and may be relied on as substantially correct. Probably they were not for years given to the public, through fear of her recapture; but this reason no longer exists, since she is too old and infirm to be of sufficient value to repay the expense of search.

Though a house servant she had no education, nor any valuable religious instruction; says she never heard Washington pray, and does not believe that he was accustomed to. "Mrs. Washington used to read prayers but I don't call that praying." Since her escape she has learned to read, trusts she has been made "wise unto salvation," and is, I think, connected with a church in Portsmouth.

When asked if she is not sorry she left Washington, as she has labored so much harder since, than before, her reply is "No, I am free, and have, I trust, been made a child of God by the means."

Never shall I forget the fire that kindled in her age-bedimmed eye, or the smile that played upon her withered countenance, as I spake of that Redeemer in whom there is neither "bond nor free," who loves his people to the end, and as I bowed with her at the mercy seat and commended her to Him "who heareth prayer" and who regards "the poor and needy when they cry," I felt that were it mine to choose, I would not exchange her possessions, "rich in faith," and sustained, while tottering over the grave, by "a hope full of immortality," for all the glory and renown of him, whose slave she was.

Stratham, May, 1845.

T. H. A.

Ten Dollars Reward.

ABSCONDED from the household of the President of the United States, on Saturday afternoon, ONEY JUDGE, a light Mulatto girl, much freckled, with very black eyes, and bushy black hair—She is of middle stature, but slender and delicately made, about 20 years of age. She has many changes of very good clothes of all sorts, but they are not sufficiently recollected to describe.

As there was no suspicion of her going off, and it happened without the least provocation, it is not easy to conjecture whether she is gone—or fully, what her design is; but as she may attempt to escape by water, all masters of vessels and others are cautioned against receiving her on board, altho' she may, and probably will endeavour to pass for a free woman, and it is said has, wherewithal to pay her passage.

Ten dollars will be paid to any person, (white or black) who will bring her home, if taken in the city, or on board any vessel in the harbour; and a further reasonable sum if apprehended and brought home, from a greater distance, and in proportion to the distance.

FRED. KITT, Steward.

May 24

HONORING ONA JUDGE STAINES



Ona Judge (who later married Jack Staines) walked away from her enslavement in the household of George and Martha Washington in Philadelphia on May 21, 1796, at the age of 20. With the help of the free Black community, she made her way north aboard the coastal sloop *Diana*, arriving in Portsmouth in early to mid-June. Pursued by the president's agents for the next three years, she was never caught but nonetheless was never entirely safe from capture. She lived the remainder of her life in Portsmouth and Greenland, NH. This exhibition takes visitors through our process in working with artist Manuel Ramirez of Positive Street Art in Nashua, NH, to produce a mural that will be mounted on the east side of our building as a lasting memorial to honor Ona Judge's courage and resolve.

THE SETTING

We provided period images, and the artist created a first sketch, then another, and then finally three options from which we could make our final choice.



The background for the final three working sketches is taken from Thomas Birch's ca. 1795–97 print of Arch Street Wharf, Philadelphia, published by William Birch in 1800. This image accords closely with the appearance of portions of Portsmouth's waterfront at the same time, and accurately depicts ships, clothing, and dockside storage buildings of the period. Notice the diverse workforce and passengers ready to board a ferry similar to the one that connected Portsmouth to Kittery in the late 1700s.

The print at the right is of Portsmouth Harbor in 1776 and was engraved by J.F.W. Des Barres after a drawing by Samuel Holland. Note that the wharves were spread out across the waterfront with one concentration in the South End on the left, and additional wharves in the more newly developed North End on the right. The port grew steadily in the late 1780s and 1790s as commerce recovered after the Revolution.



ARRIVING AT THE FINAL IMAGE



After our photo session at the Strawberry Banke Museum, the artist Manuel Ramirez created this image for our consideration. We requested corrections to the background as his draft included buildings and wharf details that were not appropriate to 1796. It was important that the smaller wharf buildings that were characteristic of Portsmouth at that time, and a single-masted coastal sloop of the type from which Ona Judge disembarked. The final background was derived from a print of one of Philadelphia's smaller wharves—one similar to those in Portsmouth at the same point in time.



In response to our comments, the artist sent three new concepts. We chose the center image above for several reasons. The advertisement seeking her return mentioned that Ona Judge had “many changes of good clothes of all sorts,” and added that she would “endeavor to pass for a free woman.” Here she wears a stylish but simple dress. In the 1700s, women did not travel or go out in public without their heads covered. We therefore chose the version in which she is wearing a bonnet with trailing ribbons and a matching bag: appropriate accessories for a free woman. The image was approved by the City’s Public Art Review Committee in February 2025. The final mural will be painted onto aluminum-clad panels using sprayed-on acrylic and sealed to protect it against weather damage.

DEPICTING ONA JUDGE STAINES

There are no life portraits or daguerreotypes of Ona Judge Staines (1773-1748). We have only the description of her that was printed in *Claypoole's American Daily Advertiser* on May 25, 1796: "Absconded ... on Saturday afternoon, Oney Judge, a light Mulatto girl, much freckled, with very black eyes, and bushy black hair—She is of middle stature, but slender and delicately made, about 20 years of age." Many artists have imagined what she might have looked like, and ours is yet another interpretation. The first image generated was done using AI prompts for the figure and her clothing. The artist, Manuel Ramirez, then did a line drawing of how the image would appear on the building, filling in the background to show Ona Judge on the Portsmouth waterfront immediately after her arrival.



Original draft.



Manuel Ramirez, Concept Sketch on Building, 2023.

In February 2023, the Zoning Board of Adjustment approved our request to install the mural on the east façade of our building.

The historical details of setting and clothing had to be refined, and we asked one of our staff members, Dariya Steele, to be the model for the final image. Strawberry Banke Museum worked with us to adapt their reproduction clothing to dress Dariya for a photo session in the museum's hands-on immersive experience exhibition in the Walsh House. The photo shoot took place on a relatively warm day in late February 2025.



Dressing the part, assisted by Katie Raynes of Strawberry Banke Museum.



Posing in the Parlor for artist Manuel Ramirez and photographer Krystal Thompson.



Last photograph in the Kitchen.

THE CLOTHING

Putting together a project like this, when accuracy of historical details is paramount, demands extensive research. The team traveled to Historic New England's storage facility in Haverhill, MA, shortly after we obtained our zoning variance in February 2023. We looked at clothing, shoes, and portraits of the period, and combined that experience with photo research and consultation with historic costume expert Astrida Schaeffer. From the advertisement seeking Ona Judge's return, posted by the Washingtons, we know that Ona Judge, an accomplished seamstress, owned "many changes of very good clothes of all sorts," and would have been well and stylishly dressed when she arrived in Portsmouth.



Jacques Louis David, *Madame Pierre Seriziat, France, ca. 1795*. Detail.



Edward Savage, *The Washington Family*, 1789-1796. As seamstress to Martha Washington, Ona Judge would have been familiar with the latest styles. Savage painted this group portrait initially in 1789, but added the figure of Christopher Steels, enslaved servant to the President at the far right, and updated the children's clothing in 1796. National Gallery of Art, Washington, D.C.



Round Gown, ca. 1795-96, owned by the National Museum of the Daughters of the American Revolution, Washington, D.C.



The visit to Historic New England's Collections Storage facility allowed artist Manuel Ramirez to better understand the period clothing he would be depicting. Model Dariya Steele is shown with Ramirez viewing a portrait, and holding a dress of the period to show its proportions. Also pictured: Erica Lome of Historic New England, and Cecelia Ulibarri and Christian Bancoddo of Positive Street Art.

CITY OF PORTSMOUTH, NH

Public Art Review Committee

March 27, 2025

Memorandum

To: Peter Britz, Director of Planning and Sustainability

From: Public Art Review Committee (PARC)

Subject: Review of Proposed Mural for 222 Court Street, *Ona Judge Mural*

On March 26, 2025, PARC reviewed a proposed public art project from the Black Heritage Trail of New Hampshire for their building at 222 Court Street. The project is a large mural (approximately 28' x 24') to be created on proposed cementitious cladding panels affixed to the building's brick wall which faces east. The Black Heritage Trail has received a variance from the Board of Adjustment for the mural which will depict Ona Judge, who escaped to Portsmouth while enslaved by Martha Washington. The mural will be created by Manuel Ramirez from [Positive Street Art](#).

PARC members were very enthusiastic about the plans for the mural and see it as a distinctive contribution to Portsmouth's growing collection of public art.

Site/location/safety. PARC noted that the mural is ideally located at the Black Heritage Trail headquarters where residents and visitors to the City will be able to learn more information about Ona Judge and her important role in local and national history. From the location, the Langdon House which played an important role in the Ona Judge story, is visible. Further, the site is only a few blocks from the African Burying Ground which receives many visitors to Portsmouth.

In terms of accessibility, the mural will be highly visible to pedestrians walking down the busy Pleasant Street corridor. The four-way stop signs at the corner of Court and Pleasant as well as crosswalks support traffic and pedestrian safety; given the four-way stop, the mural should not cause a distraction for drivers.

Recognizing that there is very little clearance between the wall and the adjacent driveway (shared by two condos), the Black Heritage Trail has worked closely with the neighbors to ensure their cooperation. The mural will be positioned approximately 4 feet off the ground to avoid contact with vehicles in the driveway and improve visibility. Explanatory signage for the mural will be placed on the wall facing Court Street to avoid drawing pedestrians onto the neighbors' driveway.

Scale. PARC believes the large scale of the mural (covering most of the brick wall) is appropriate given the proximity of the wall to other properties. The mural will optimally be viewed at a distance which will discourage viewers from encroaching on private property. The scale and the amount of building coverage (on a relatively small building) create contrasts with the aesthetics of the image (see more below) which PARC believes add to the uniqueness of this particular work.

Wall preparation. PARC appreciated the groundwork that the Black Heritage Trail has undertaken to avoid damaging the brick wall that will support the mural. Paint will be applied to panels which

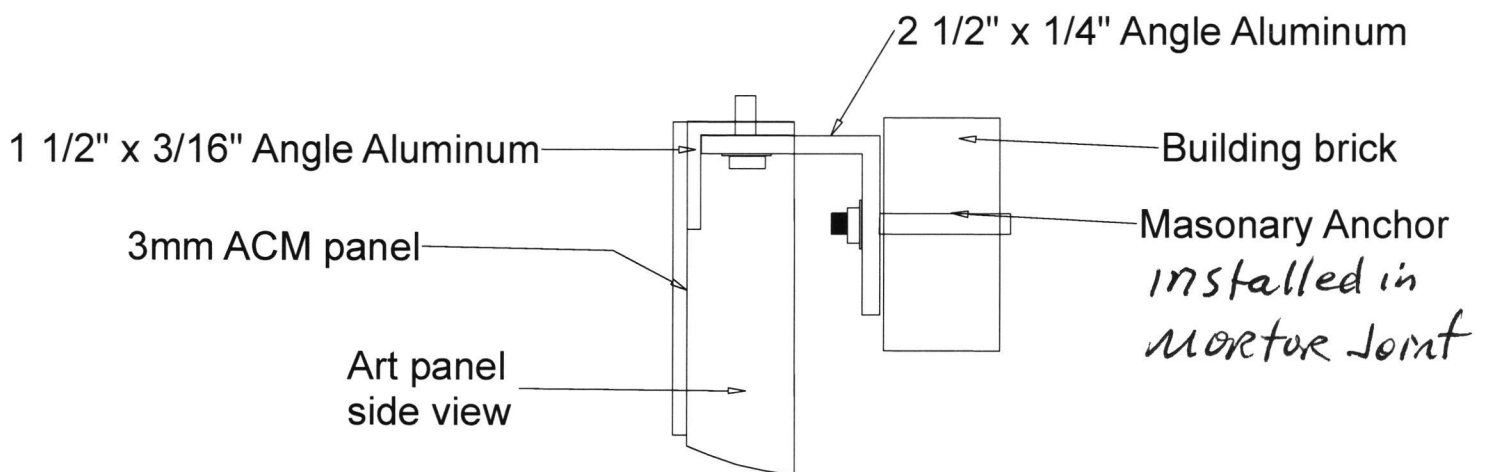
will be affixed to the wall with a small space between the panels and the brick. We understand that there are several types of panels under consideration, including one that simulates the texture of a brick wall. The artist has successful experience using such panels for murals in other locations, including those with harsh weather conditions like Portsmouth. PARC recommends that the Black Heritage Trail consider a non-textured panel flat panel.

Materials/durability/maintenance. The artist will use spray paint over an acrylic or latex masonry paint finished by a clear coat seal—similar to the material used in other murals with a life before “touch up” of approximately 10 years. The Black Heritage Trail and the artist take responsibility for arranging for “touch ups” that may become necessary with wear. PARC recommends considering an anti-graffiti coating of the artist’s choosing.

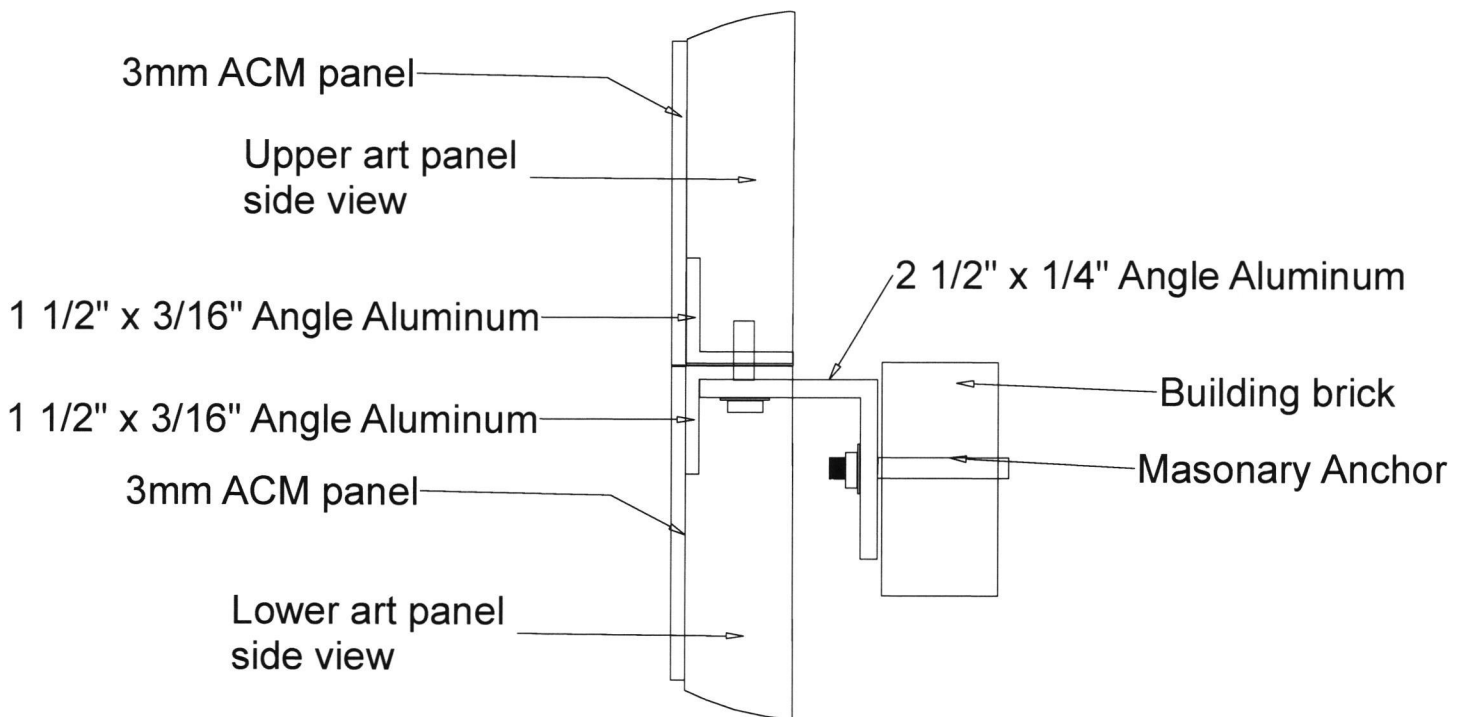
Aesthetics/design. PARC has been able to review the image from which the artist will develop the mural; it is as historically accurate as possible given what is known about Ona Judge’s arrival in Portsmouth. The image depicts a confident and well-dressed Ona Judge with a backdrop based on the Philadelphia waterfront from which she sailed to Portsmouth in 1796. The Black Heritage Trail has consulted with historians on appropriate appearance and dress. PARC members highlighted the cohesiveness of the artwork, noting that the beauty and muted/soft colors of the image are especially appropriate given the scale of the work, its placement in context, the importance of Ona Judge’s story in the context of Black history and the history of Portsmouth, and the subject—the total effect is expressive of the era and Judge’s character and story.

Artist. Through Positive Street Art based in Nashua, Manuel Ramirez has created approximately 100 murals in NH and other locales over the past twelve years, including in Nashua, Manchester, Lancaster, Hudson, and Salem. He is experienced in working in urban environments, in the New England climate, and with the types of materials proposed for the Ona Judge mural.

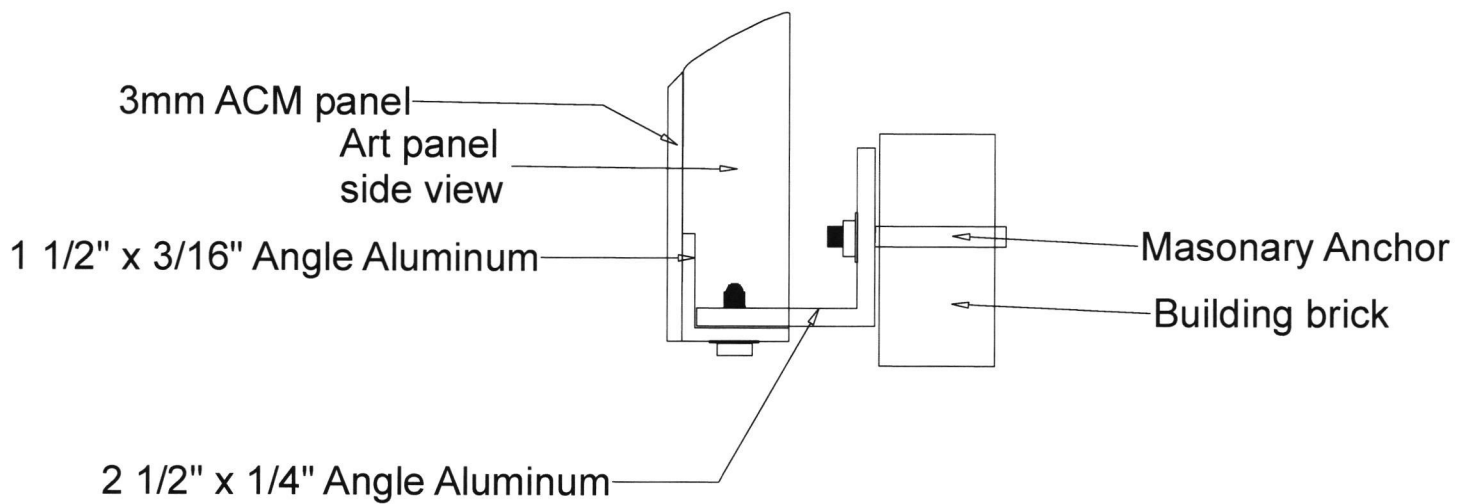
TOP FRAME ATTACHMENT EXPANDED




CENTER UNION-EXPANDED



BOTTOM FRAME ATTACHMENT EXPANDED



6061 Aluminum Angle:

- **Density:** 0.1 lb/in^3
- **Ultimate Tensile Strength:** 45,000 psi
- **Yield Tensile Strength:** 40,000 psi
- **Fatigue Strength:** 14,000 psi
- **Modulus of Elasticity:** 10,000 ksi
- **Shear Modulus:** 3,800 ksi
- **Shear Strength:** 30,000 psi
- **Melting Point:** 1,080–1,205 °F 



What are you looking for?

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Aluminum Composite Panels

ACM, A LIGHTWEIGHT, DURABLE, AND CORROSION-RESISTANT MATERIAL.

Aluminum composite materials (ACM) are a three-layer sandwich panel comprising two pre-painted aluminum sheets bonded to a polyethylene (PE) core for durability and good dimensional stability. Both sides, and the ornamental surface of the product, is covered with decorative and protective coating. In recent years, ACM building materials have grown in popularity. ACM panels, are commonly used for architectural cladding, facades, **aluminum composite panel signs**. They are also used in interior design applications such as wall partitions, ceiling panels, and decorative signage. The panels are popular due to their lightweight, durability, and versatility in design.

When compared to a single-layer aluminum plate, an aluminum-plastic composite panel has a higher elastic limit, is less likely to bend, and maintains good flatness in its natural state for a long time without excessive external force. The aluminum-plastic composite panel is produced of aluminum and a light-density plastic core material. Since it weighs less than a comparable aluminum panel or other metals, ACM has the same rigidity and thickness as those materials but is smaller and less weighty. **Fabricating ACM panels involves** working with specialized tools and equipment to shape, cut, and bond the panels according to specific design requirements. ACM panels can be cut to size using appropriate cutting tools. The cutting method and tools used will depend on the thickness and type of panel being cut. For example, a circular saw with a fine-toothed blade can be used to cut thinner ACM panels, while thicker panels may require a specialized cutting tool, such as a panel saw or a CNC router. ACM continues to be a popular product due to its versatility. To learn more about the specifications and benefits of aluminum composite panel details for signage and other applications, contact your local Laird Plastics sales rep today! [Click Here](#) for more information on ACM Material.



Product Specification Data

maxmetal™

Description

MAXMETAL is an aluminum composite material comprised of two, pre-painted .15mm aluminum panels bonded to a solid polyethylene core. It's lighter in weight and more durable than both MDO and aluminum, plus it resists scratching and denting better than wood panels. The finish is ready for vinyl, screen print inks, paint, cutting, or routing.

Product Properties

Weight (Kg/m ²)	3.55
Sound Absorption NRC	0.05
Sound Attenuation Rw db	24
Water Absorption % by volume	0.01
Thermal Performance R Values	0.0057
Core Composition	Polyethylene
Flammability BS476	Part 6: Class 0, Part 7: Class 1

Panel Dimensions

Panel Thickness (mm)	3
Aluminum Thickness (mm)	0.15
Standard Sizes:	4' x 8', 4' x 10', 5' x 10'

Product Code

MM843MW
MM843MW1S

Dimensional Tolerances

Thickness (mm)	-0 + 0.2
Width (mm)	±2
Length (mm)	±3
Diagonal (mm)	±5
Thermal Expansion	2.4mm/m @ 100°C Temp Difference
Aluminum Thickness (mm)	±0.02

Surface Properties

Paint Thickness (micron)	20
Pencil Hardness	>HB
Toughness of Coating	3T
Temperature Resistance	-50°C to +90°C
Impact Strength (kg cm ²)	42
Boiling Water Resistance	Boiling for 2 hours without change
Acid Resistance	Immersed surface in 2% HCl for 24hrs without change
Alkali Resistance	Immersed surface in 2% NaOH for 24hrs without change
Oil Resistance	Immersed surface in 20# engine oil for 24hrs without change
Solvent Resistance	Cleaned 100 times with Dimethylbenzene without change
Cleaning Resistance	>1000 times without change
Peel Strength	>5 Newton/mm



Statement of Practical Use

We believe the information on this product to be accurate. However, since we cannot anticipate or control the conditions under which this information or our products may be used, we cannot guarantee results obtained through their use. Tests of our products should be made by users to determine the suitability of these products for a specific purpose. The products are sold without warranty, either express or implied. The purchaser should refer to Grimco, Inc's price list for terms and conditions or sale, including disclaimer of warranties and limitation of liability.



Strike-It™ Center Pin Drive Anchors



Description

The Strike-It™ Center Pin Drive Anchor is an impact expansion anchor designed for medium and heavy duty anchoring into concrete and grout-filled block. With its unique **all-in-one serrated nut and washer**, the Strike-It offers superior holding and vibration resistance.



Key Features & Benefits

- ▶ Easy to install
 - Just hammer the center pin and it's set
 - Anchor tensions itself automatically, no wrench needed
- ▶ The integrated nut and washer can be pre-set for the optimal embedment - flush at the top or screwed to the bottom for a stud-type application
- ▶ Easy to inspect
 - Anchor is set when center pin is hammered down to meet the threads and is flush with top of the bolt.
- ▶ Depth of hole not critical
 - No depth gauge required
- ▶ Actual diameter of the anchor is the same as its nominal diameter
 - No templates required
- ▶ Serrations on nut/washer provide vibration resistance
- ▶ Yellow dichromate finish provides superior corrosion resistance

Applications

- ▶ Steel & Wood Plates
- ▶ Machine Anchoring
- ▶ Water & Gas Meters
- ▶ Conveyor Belt Mounts
- ▶ Bracing
- ▶ Hand & Guard Rails



Specifications, Listings and Approvals

Diameters: 1/4" – 3/4"

Materials:

Anchor Body: Hot Rolled Steel

Pin: Hot Wrought Iron

Finish: Yellow Dichromate Coating

Federal Specifications:

– QQZ-325Z, Type II Class 3 (yellow dichromate added)

– GSA FFS-325 Group II Type 4 Class I

Project Address: 11 Sheafe Street

Permit Requested: Certificate of Approval

Application: Public Hearing #1

A. Property Information - General:

Existing Conditions:

- Zoning District: Character District (CD4)
- Land Use: Residential
- Land Area: 0 SF +/-
- Estimated Age of Structure: c.1820
- Building Style: Federal
- Number of Stories: 3
- Historical Significance: Focal
- Public View of Proposed Work: State Street & Downtown
- Unique Features: N/A
- Neighborhood Association: Downtown

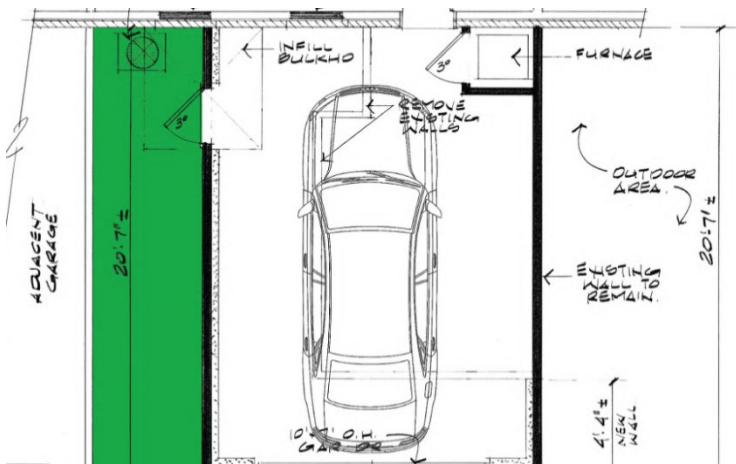


B. Proposed Work: Replacement windows and the construction of a rear 1-story garage and entry.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Replacement windows
- Construct new rear attached garage and entry.



**HISTORIC
SURVEY
RATING

F**

D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



EXISTING CONDITIONS



THIS PLAN DESIGNED IN ACCORDANCE WITH 2021 IRC.

Builder's Plan Service is a drafting service and not an architectural or engineering firm. These plans are intended for dimensional and conceptual use and should be reviewed by a structural engineer for compliance to local building codes. These plans are not specific to any particular site and may require soil tests.

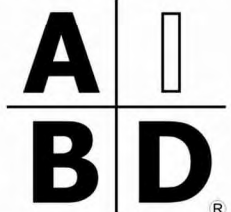
DRAWN BY: *AD*
DATE: 05-22-2025
REVISIONS:

RESIDENCE FOR:
FRANK AZZOLINO
11 SHEAFE STREET
PORTSMOUTH, NH

BUILDER'S PLAN SERVICE
 DON ANDERSON, INC., CPBD
 83 PARKHURST ROAD #14
 CHELMSFORD, MA 01824
 (978) 937-5023

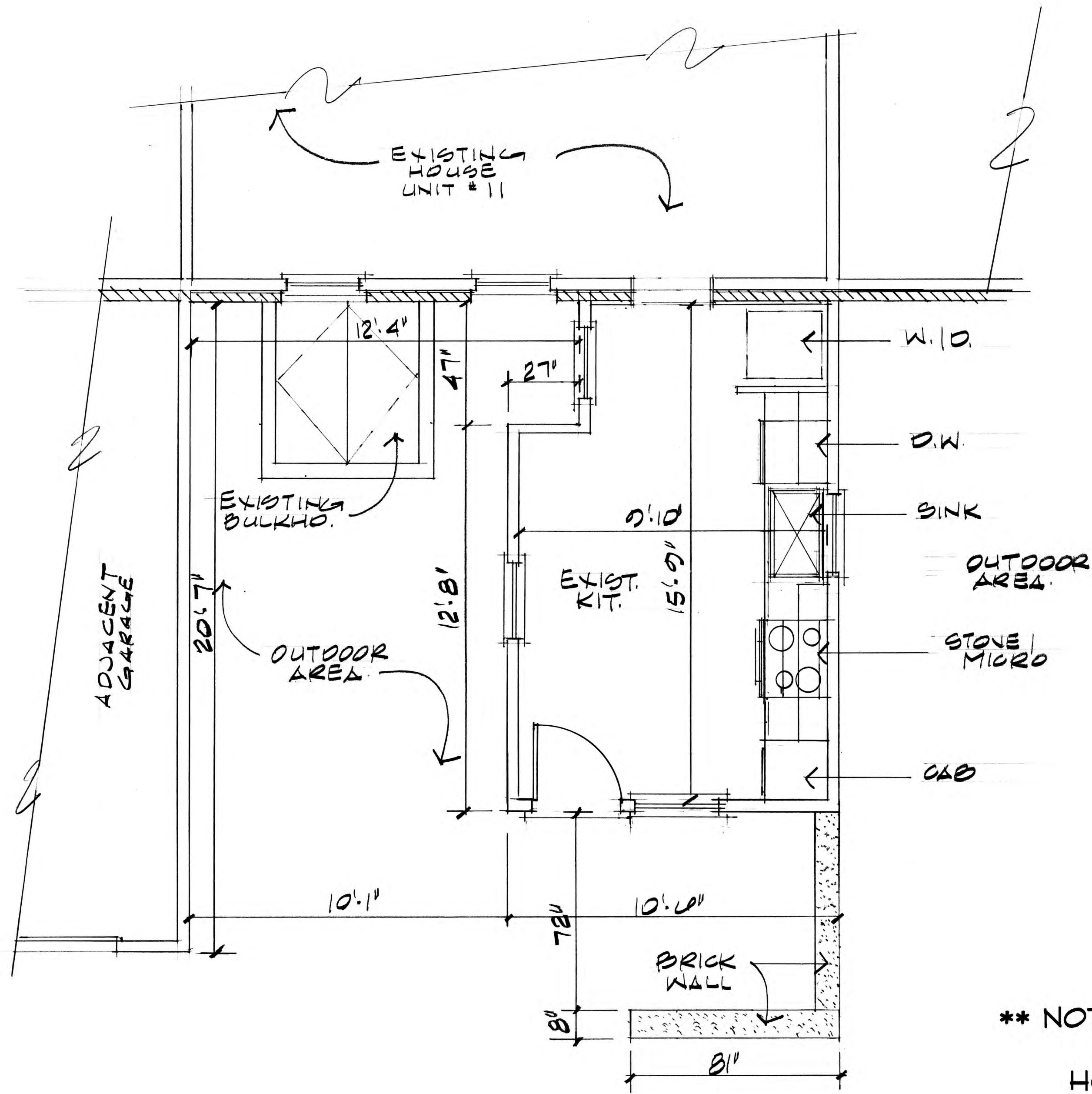


MEMBER



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SHEET 1
OF 3



CUSTOM HOUSE LANE

EXISTING FLOOR PLAN

3/8" = 1'-0"

**** NOTE: FIELD VERIFY ****
ALL EXISTING
HOUSE DIMENSIONS



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SHEET
 OF

2
 3

DRAWN BY: *RA*
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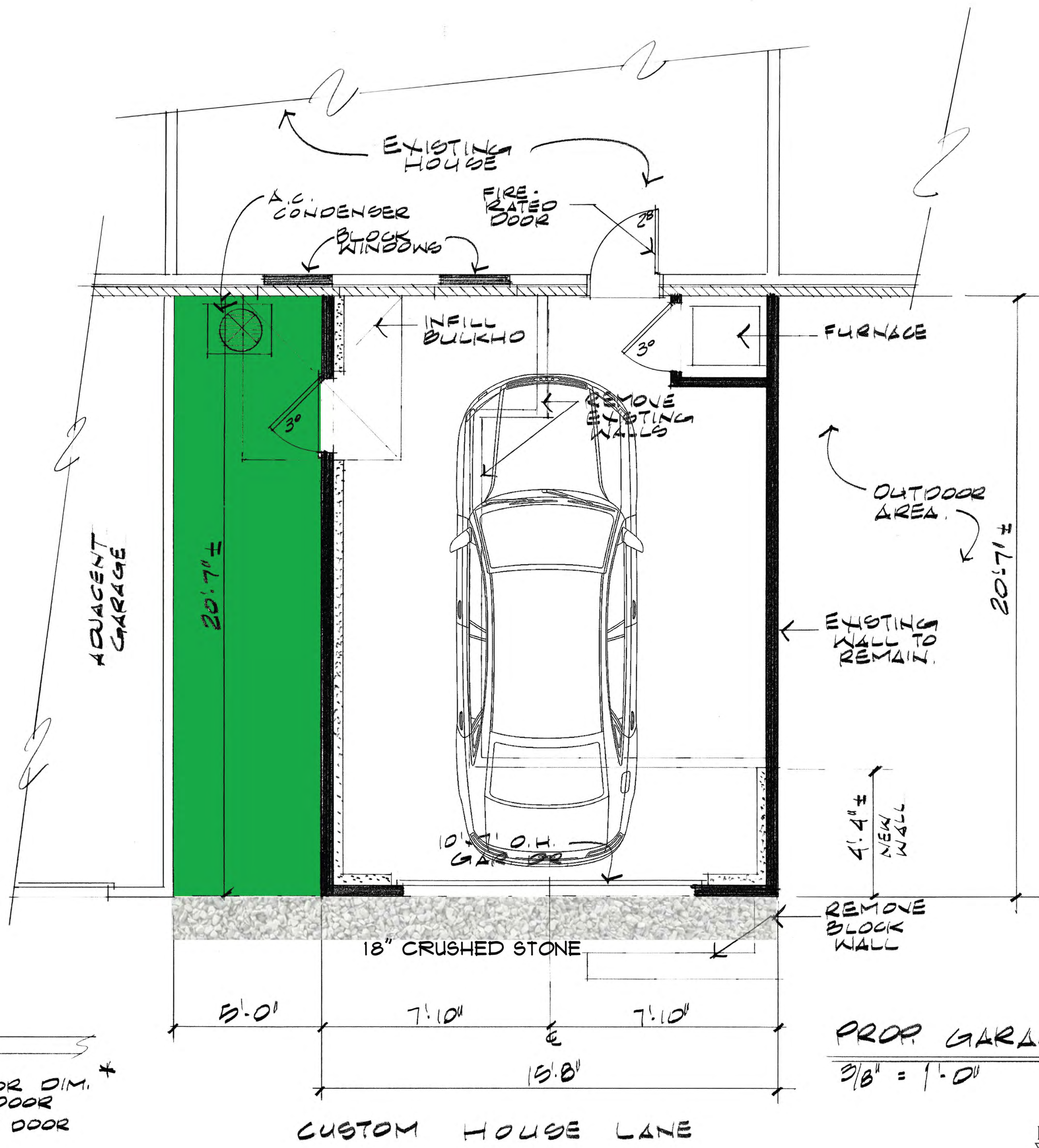
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SHEET **3**
 OF 3



PROP. GARAGE PLAN
 $\frac{3}{8}" = 1'-0"$

* NOTE: 3° DOOR DIM. *
 = 3'-0" DOOR
 2° = 2'-6" DOOR

**** NOTE: FIELD VERIFY ****
ALL EXISTING
HOUSE DIMENSIONS



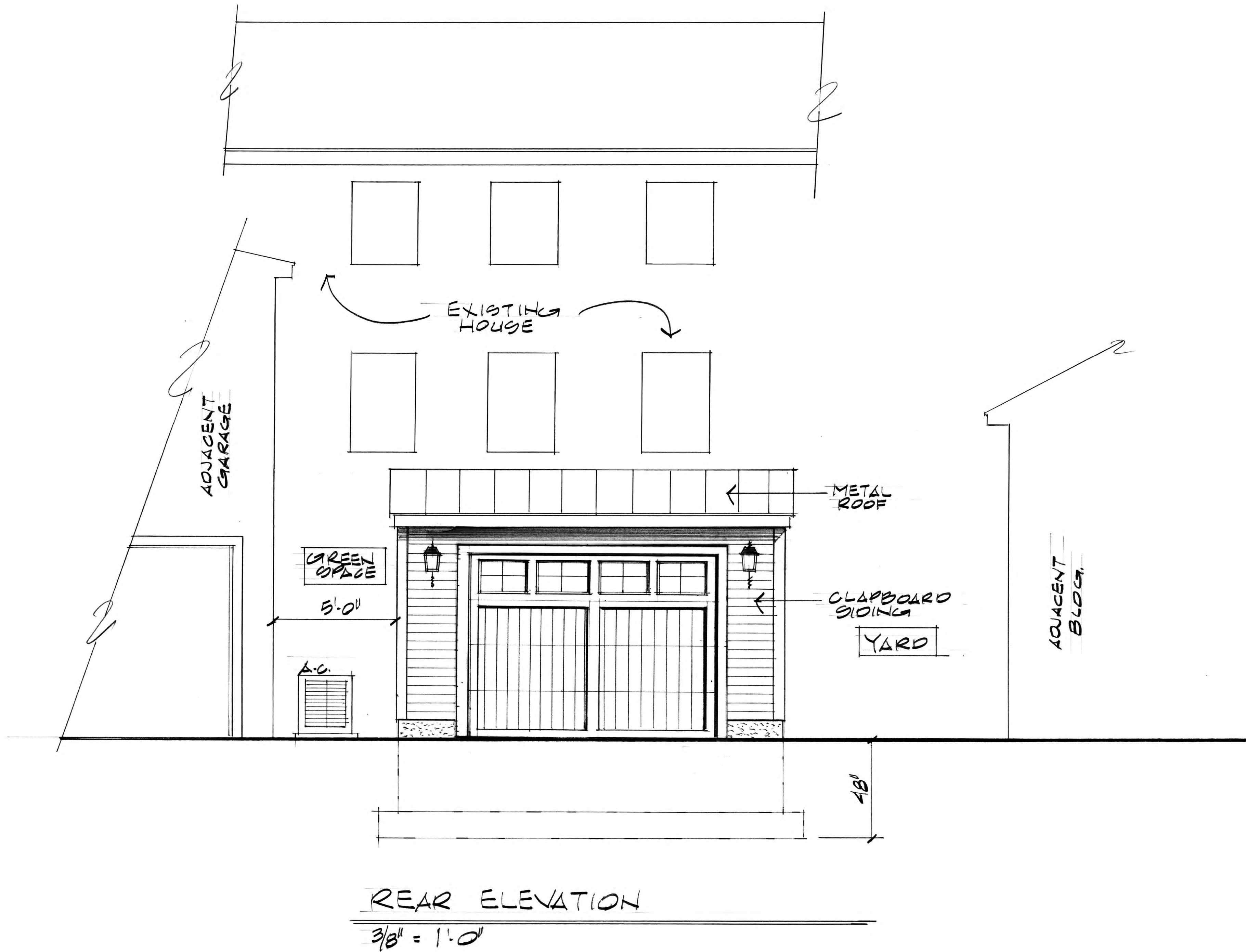
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DRAWN BY: *RA*
DATE: 06-02-2025
REVISIONS:

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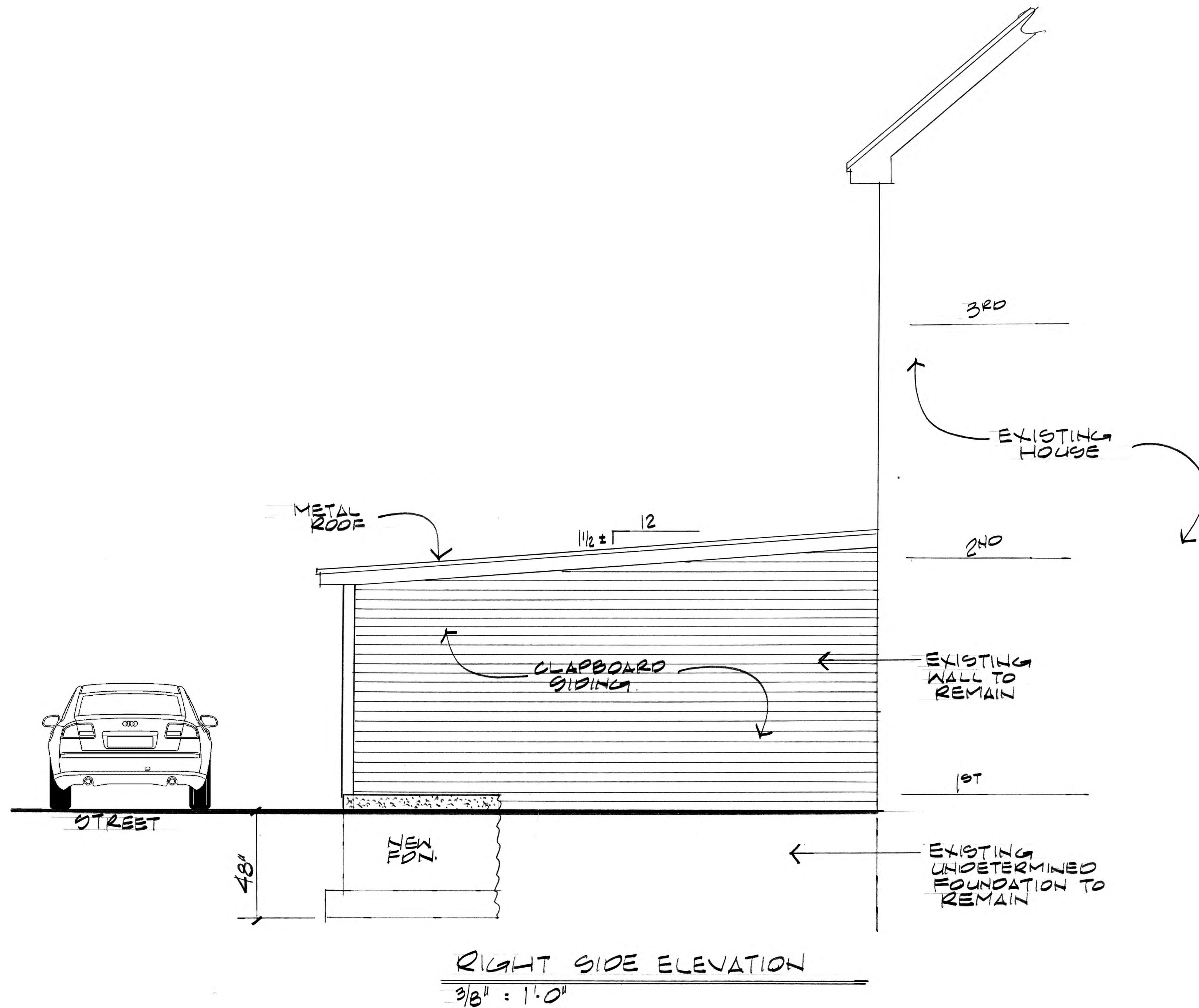
SHEET **4**
OF **6**



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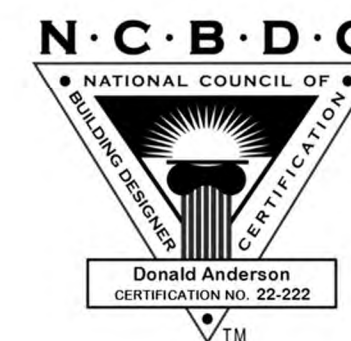
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RIGHT SIDE ELEVATION

$\frac{3}{8}'' = 1'-0''$

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PORTSMOUTH, NH

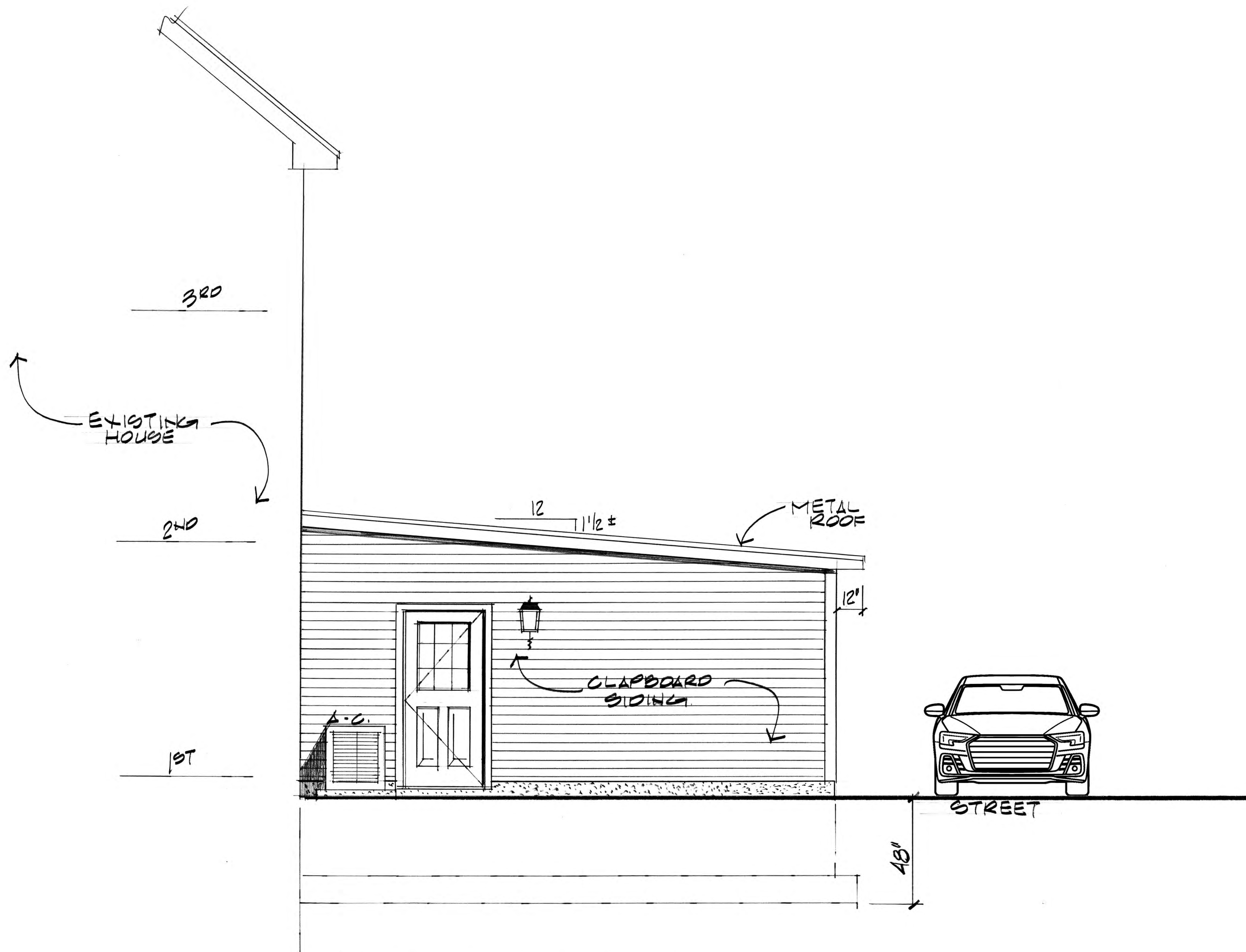
DRAWN BY: *AD*
DATE: 06-02-2025
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SHEET

OF

5
6



LEFT SIDE ELEVATION

3/8" = 1'-0"

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SHEET

OF

6
6

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DRAWN BY: *AD*

DATE: 06-02-2025

REVISIONS:

Regina & Frank Windows-REV 1

Quote #: XUJNKR7

A Proposal for Window and Door Products prepared for:

Job Site:
03909

Shipping Address:

ELDREDGE LBR & HDWE-YORK
699 US ROUTE 1
YORK, ME 03909-5833

Project Description:

Historical Society

Featuring products from:



ROB FIFIELD
ELDREDGE LBR & HDWE-YORK
PO BOX 69
CAPE NEDDICK, ME 03902-0069
Phone: (207) 363-2004 ;168

Email: rfifield@eldredgelumber.com

This report was generated on 5/27/2025 2:46:05 PM using the Marvin Order Management System, version 0004.15.00 (Current). Price in USD. Unit availability and price are subject to change. Dealer terms and conditions may apply.

UNIT SUMMARY

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.

Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

NUMBER OF LINES: 8

TOTAL UNIT QTY: 13

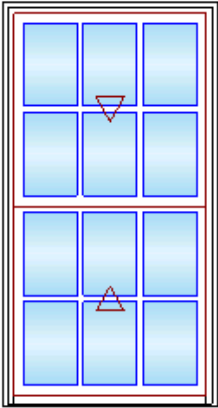
EXT NET PRICE: USD 15,730.64

LINE	MARK UNIT	PRODUCT LINE	ITEM	NET PRICE	QTY	EXTENDED NET PRICE
1	Living (2) - Bed#1 (2)	Elevate	Double Hung RO 32" X 57 1/2" Entered as FS 31" X 57"	1,333.71	4	5,334.84
2	Stair	Elevate	Double Hung RO 32" X 57 1/2" Entered as FS 31" X 57"	1,534.67	1	1,534.67
3	Bed #2	Elevate	Double Hung RO 29" X 44 1/2" Entered as FS 28" X 44"	1,205.76	1	1,205.76
4	Bath(1) -Stair (1)	Elevate	Double Hung RO 33" X 36 1/2" Entered as FS 32" X 36"	1,139.05	2	2,278.10
5	Primary Bedroom	Elevate	Double Hung RO 33" X 36 1/2" Entered as FS 32" X 36"	1,007.95	2	2,015.90
6	Bed #4	Elevate	Double Hung RO 36" X 35 1/2" Entered as FS 35" X 35"	1,026.00	1	1,026.00
7	Hall	Elevate	Double Hung RO 29" X 44 1/2" Entered as FS 28" X 44"	1,205.76	1	1,205.76
8	Bath #1	Elevate	Double Hung RO 31" X 36 1/2" Entered as FS 30" X 36"	1,129.61	1	1,129.61

LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: Living (2) - Bed#1 (2)	Net Price:		1,333.71
Qty: 4		Ext. Net Price:	USD	5,334.84



As Viewed From The Exterior

Entered As: FS

FS 31" X 57"

RO 32" X 57 1/2"

Egress Information

Width: 27 7/8" Height: 23 19/32"

Net Clear Opening: 4.57 SqFt

Performance Information

U-Factor: 0.28

Solar Heat Gain Coefficient: 0.28

Visible Light Transmittance: 0.48

Condensation Resistance: 56

CPD Number: MAR-N-272-01534-00001

Performance Grade

Licensee #783

AAMA/WDMA/CSA/101/ I.S.2/A440-08

LC-PG40 1054X1720 mm (41.5X67.75 in)

Water Resistance: 4.60 psf

LC-PG40 DP +40/-40

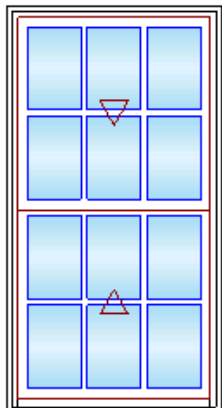
FL6525

Ebony Exterior
Painted Interior Finish - Designer Black Pine Interior
Elevate Double Hung
Frame Size 31" X 57"
Rough Opening 32" X 57 1/2"
Top Sash
Ebony Exterior
Painted Interior Finish - Designer Black Pine Interior
IG
Low E2 w/Argon
Black Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Black
Rectangular - Special Cut 3W2H
Ebony Ext - Painted Interior Finish - Designer Black Int
Bottom Sash
Ebony Exterior
Painted Interior Finish - Designer Black Pine Interior
IG
Low E2 w/Argon
Black Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Black
Rectangular - Special Cut 3W2H
Ebony Ext - Painted Interior Finish - Designer Black Int
Black Weather Strip Package
1 Matte Black Sash Lock
Exterior Aluminum Half Screen
Ebony Surround
Bright View Mesh
6 9/16" Jamb
Painted Interior Finish - Designer Black Jamb Extension from 4 9/16" to 6 9/16"
Nailing Fin
***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
***Note: Unit Availability and Price is Subject to Change

Line #2	Mark Unit: Stair	Net Price:		1,534.67
Qty: 1		Ext. Net Price:	USD	1,534.67



Ebony Exterior
Painted Interior Finish - Designer Black Pine Interior
Elevate Double Hung
Frame Size 31" X 57"
Rough Opening 32" X 57 1/2"
Glass Add For All Sash
Top Sash
Ebony Exterior
Painted Interior Finish - Designer Black Pine Interior
IG
Tempered Low E2 w/Argon
Black Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Black
Rectangular - Special Cut 3W2H

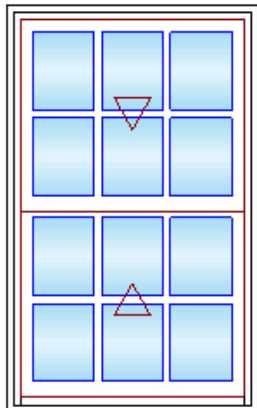


As Viewed From The Exterior

Entered As: FS
FS 31" X 57"
RO 32" X 57 1/2"
Egress Information
Width: 27 7/8" Height: 23 19/32"
Net Clear Opening: 4.57 SqFt
Performance Information
U-Factor: 0.28
Solar Heat Gain Coefficient: 0.28
Visible Light Transmittance: 0.48
Condensation Resistance: 56
CPD Number: MAR-N-272-01534-00001
Performance Grade
Licensee #783
AAMA/WDMA/CSA/101/ I.S.2/A440-08
LC-PG40 1054X1720 mm (41.5X67.75 in)
Water Resistance: 4.60 psf
LC-PG40 DP +40/-40
FL6525

Ebony Ext - Painted Interior Finish - Designer Black Int
Bottom Sash
Ebony Exterior
Painted Interior Finish - Designer Black Pine Interior
IG
Tempered Low E2 w/Argon
Black Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Black
Rectangular - Special Cut 3W2H
Ebony Ext - Painted Interior Finish - Designer Black Int
Black Weather Strip Package
1 Matte Black Sash Lock
Exterior Aluminum Half Screen
Ebony Surround
Bright View Mesh
6 9/16" Jambs
Painted Interior Finish - Designer Black Jamb Extension from 4 9/16" to 6 9/16"
Nailing Fin
***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
***Note: Unit Availability and Price is Subject to Change

Line #3	Mark Unit: Bed #2	Net Price:		1,205.76
Qty: 1		Ext. Net Price:	USD	1,205.76



As Viewed From The Exterior

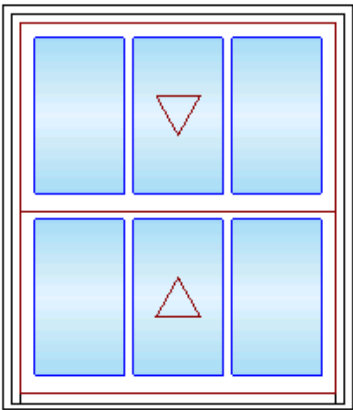
Entered As: FS
FS 28" X 44"
RO 29" X 44 1/2"
Egress Information
Width: 24 7/8" Height: 17 3/32"
Net Clear Opening: 2.95 SqFt
Performance Information
U-Factor: 0.28

Ebony Exterior
Painted Interior Finish - Designer Black Pine Interior
Elevate Double Hung
Frame Size 28" X 44"
Rough Opening 29" X 44 1/2"
Top Sash
Ebony Exterior
Painted Interior Finish - Designer Black Pine Interior
IG
Low E2 w/Argon
Black Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Black
Rectangular - Special Cut 3W2H
Ebony Ext - Painted Interior Finish - Designer Black Int
Bottom Sash
Ebony Exterior
Painted Interior Finish - Designer Black Pine Interior
IG
Low E2 w/Argon
Black Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Black
Rectangular - Special Cut 3W2H
Ebony Ext - Painted Interior Finish - Designer Black Int
Black Weather Strip Package
1 Matte Black Sash Lock
Exterior Aluminum Half Screen
Ebony Surround
Bright View Mesh

Solar Heat Gain Coefficient: 0.28
Visible Light Transmittance: 0.48
Condensation Resistance: 56
CPD Number: MAR-N-272-01534-00001
Performance Grade
Licensee #783
AAMA/WDMA/CSA/101/ I.S.2/A440-08
LC-PG40 1054X1720 mm (41.5X67.75 in)
Water Resistance: 4.60 psf
LC-PG40 DP +40/-40
FL6525

6 9/16" Jamb
Painted Interior Finish - Designer Black Jamb Extension from 4 9/16" to 6 9/16"
Nailing Fin
***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
***Note: Unit Availability and Price is Subject to Change

Line #4	Mark Unit: Bath(1) -Stair (1)	Net Price:		1,139.05
Qty: 2		Ext. Net Price:	USD	2,278.10



As Viewed From The Exterior

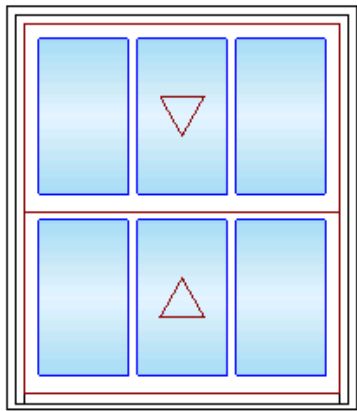
Entered As: FS
FS 32" X 36"
RO 33" X 36 1/2"
Egress Information
Width: 28 7/8" Height: 13 3/32"
Net Clear Opening: 2.63 SqFt
Performance Information
U-Factor: 0.28
Solar Heat Gain Coefficient: 0.28
Visible Light Transmittance: 0.48
Condensation Resistance: 56
CPD Number: MAR-N-272-01534-00001
Performance Grade
Licensee #783
AAMA/WDMA/CSA/101/ I.S.2/A440-08
LC-PG40 1054X1720 mm (41.5X67.75 in)
Water Resistance: 4.60 psf
LC-PG40 DP +40/-40
FL6525

Ebony Exterior
Painted Interior Finish - Designer Black Pine Interior
Elevate Double Hung
Frame Size 32" X 36"
Rough Opening 33" X 36 1/2"
Glass Add For All Sash
Top Sash
Ebony Exterior
Painted Interior Finish - Designer Black Pine Interior
IG
Tempered Low E2 w/Argon
Black Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Black
Rectangular - Special Cut 3W1H
Ebony Ext - Painted Interior Finish - Designer Black Int
Bottom Sash
Ebony Exterior
Painted Interior Finish - Designer Black Pine Interior
IG
Tempered Low E2 w/Argon
Black Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Black
Rectangular - Special Cut 3W1H
Ebony Ext - Painted Interior Finish - Designer Black Int
Black Weather Strip Package
1 Matte Black Sash Lock
Exterior Aluminum Half Screen
Ebony Surround
Bright View Mesh
6 9/16" Jamb
Painted Interior Finish - Designer Black Jamb Extension from 4 9/16" to 6 9/16"
Nailing Fin
***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
***Note: Unit Availability and Price is Subject to Change

Line #5	Mark Unit: Primary Bedroom	Net Price:		1,007.95
Qty: 2		Ext. Net Price:	USD	2,015.90



Ebony Exterior
Painted Interior Finish - Designer Black Pine Interior
Elevate Double Hung
Frame Size 32" X 36"
Rough Opening 33" X 36 1/2"
Top Sash
Ebony Exterior
Painted Interior Finish - Designer Black Pine Interior
IG

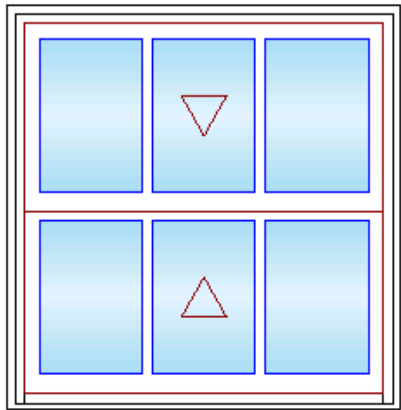


As Viewed From The Exterior

Entered As: FS
FS 32" X 36"
RO 33" X 36 1/2"
Egress Information
Width: 28 7/8" Height: 13 3/32"
Net Clear Opening: 2.63 SqFt
Performance Information
U-Factor: 0.28
Solar Heat Gain Coefficient: 0.28
Visible Light Transmittance: 0.48
Condensation Resistance: 56
CPD Number: MAR-N-272-01534-00001
Performance Grade
Licensee #783
AAMA/WDMA/CSA/101/ I.S.2/A440-08
LC-PG40 1054X1720 mm (41.5X67.75 in)
Water Resistance: 4.60 psf
LC-PG40 DP +40/-40
FL6525

Low E2 w/Argon
Black Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Black
Rectangular - Special Cut 3W1H
Ebony Ext - Painted Interior Finish - Designer Black Int
Bottom Sash
Ebony Exterior
Painted Interior Finish - Designer Black Pine Interior
IG
Low E2 w/Argon
Black Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Black
Rectangular - Special Cut 3W1H
Ebony Ext - Painted Interior Finish - Designer Black Int
Black Weather Strip Package
1 Matte Black Sash Lock
Exterior Aluminum Half Screen
Ebony Surround
Bright View Mesh
6 9/16" Jambs
Painted Interior Finish - Designer Black Jamb Extension from 4 9/16" to 6 9/16"
Nailing Fin
***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
***Note: Unit Availability and Price is Subject to Change

Line #6	Mark Unit: Bed #4	Net Price:		1,026.00
Qty: 1		Ext. Net Price:	USD	1,026.00



As Viewed From The Exterior

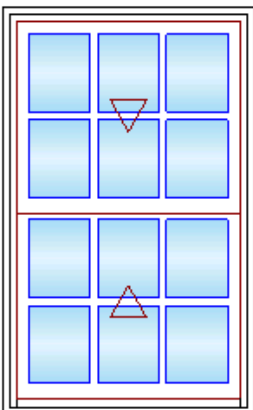
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FS 35" X 35"
RO 36" X 35 1/2"
Egress Information
Width: 31 7/8" Height: 12 19/32"
Net Clear Opening: 2.79 SqFt
Performance Information
U-Factor: 0.28

Ebony Exterior
Painted Interior Finish - Designer Black Pine Interior
Elevate Double Hung
Frame Size 35" X 35"
Rough Opening 36" X 35 1/2"
Top Sash
Ebony Exterior
Painted Interior Finish - Designer Black Pine Interior
IG
Low E2 w/Argon
Black Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Black
Rectangular - Special Cut 3W1H
Ebony Ext - Painted Interior Finish - Designer Black Int
Bottom Sash
Ebony Exterior
Painted Interior Finish - Designer Black Pine Interior
IG
Low E2 w/Argon
Black Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Black
Rectangular - Special Cut 3W1H
Ebony Ext - Painted Interior Finish - Designer Black Int
Black Weather Strip Package
1 Matte Black Sash Lock
Exterior Aluminum Half Screen
Ebony Surround
Bright View Mesh

Solar Heat Gain Coefficient: 0.28
Visible Light Transmittance: 0.48
Condensation Resistance: 56
CPD Number: MAR-N-272-01534-00001
Performance Grade
Licensee #783
AAMA/WDMA/CSA/101/ I.S.2/A440-08
LC-PG40 1054X1720 mm (41.5X67.75 in)
Water Resistance: 4.60 psf
LC-PG40 DP +40/-40
FL6525

6 9/16" Jamb
Painted Interior Finish - Designer Black Jamb Extension from 4 9/16" to 6 9/16"
Nailing Fin
***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
***Note: Unit Availability and Price is Subject to Change

Line #7	Mark Unit: Hall	Net Price:		1,205.76
Qty: 1		Ext. Net Price:	USD	1,205.76



As Viewed From The Exterior

Entered As: FS
FS 28" X 44"
RO 29" X 44 1/2"
Egress Information
Width: 24 7/8" Height: 17 3/32"
Net Clear Opening: 2.95 SqFt
Performance Information
U-Factor: 0.28
Solar Heat Gain Coefficient: 0.28
Visible Light Transmittance: 0.48
Condensation Resistance: 56
CPD Number: MAR-N-272-01534-00001
Performance Grade
Licensee #783
AAMA/WDMA/CSA/101/ I.S.2/A440-08
LC-PG40 1054X1720 mm (41.5X67.75 in)
Water Resistance: 4.60 psf
LC-PG40 DP +40/-40
FL6525

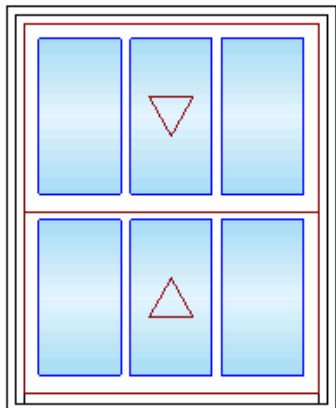
Ebony Exterior
Painted Interior Finish - Designer Black Pine Interior
Elevate Double Hung
Frame Size 28" X 44"
Rough Opening 29" X 44 1/2"
Top Sash
Ebony Exterior
Painted Interior Finish - Designer Black Pine Interior
IG
Low E2 w/Argon
Black Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Black
Rectangular - Special Cut 3W2H
Ebony Ext - Painted Interior Finish - Designer Black Int
Bottom Sash
Ebony Exterior
Painted Interior Finish - Designer Black Pine Interior
IG
Low E2 w/Argon
Black Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Black
Rectangular - Special Cut 3W2H
Ebony Ext - Painted Interior Finish - Designer Black Int
Black Weather Strip Package
1 Matte Black Sash Lock
Exterior Aluminum Half Screen
Ebony Surround
Bright View Mesh

6 9/16" Jamb
Painted Interior Finish - Designer Black Jamb Extension from 4 9/16" to 6 9/16"
Nailing Fin
***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
***Note: Unit Availability and Price is Subject to Change

Line #8	Mark Unit: Bath #1	Net Price:		1,129.61
Qty: 1		Ext. Net Price:	USD	1,129.61



Ebony Exterior
Painted Interior Finish - Designer Black Pine Interior
Elevate Double Hung
Frame Size 30" X 36"
Rough Opening 31" X 36 1/2"
Glass Add For All Sash
Top Sash
Ebony Exterior
Painted Interior Finish - Designer Black Pine Interior



As Viewed From The Exterior

Entered As: FS
FS 30" X 36"
RO 31" X 36 1/2"
Egress Information
Width: 26 7/8" Height: 13 3/32"
Net Clear Opening: 2.44 SqFt
Performance Information
U-Factor: 0.28
Solar Heat Gain Coefficient: 0.28
Visible Light Transmittance: 0.48
Condensation Resistance: 56
CPD Number: MAR-N-272-01534-00001
Performance Grade
Licensee #783
AAMA/WDMA/CSA/101/ I.S.2/A440-08
LC-PG40 1054X1720 mm (41.5X67.75 in)
Water Resistance: 4.60 psf
LC-PG40 DP +40/-40
FL6525

IG
Tempered Low E2 w/Argon
Black Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Black
Rectangular - Special Cut 3W1H
Ebony Ext - Painted Interior Finish - Designer Black Int
Bottom Sash
Ebony Exterior
Painted Interior Finish - Designer Black Pine Interior
IG
Tempered Low E2 w/Argon
Black Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Black
Rectangular - Special Cut 3W1H
Ebony Ext - Painted Interior Finish - Designer Black Int
Black Weather Strip Package
1 Matte Black Sash Lock
Exterior Aluminum Half Screen
Ebony Surround
Bright View Mesh
6 9/16" Jamb
Painted Interior Finish - Designer Black Jamb Extension from 4 9/16" to 6 9/16"
Nailing Fin
***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
***Note: Unit Availability and Price is Subject to Change

Project Subtotal Net Price: USD	15,730.64
5.500% Sales Tax: USD	865.19
Project Total Net Price: USD	16,595.83

PRODUCT AND PERFORMANCE INFORMATION

NFRC Ratings:

NFRC energy ratings may vary depending on the exact configuration of glass thickness used on the unit. NFRC energy values and ratings may change over time due to ongoing product changes, updated test results or requirements. NFRC values and ratings are finalized on the date of manufacture.

The National Fenestration Rating Council (NFRC) has developed and operates a uniform rating system for the energy performance of fenestration products, including windows, doors and skylights. For additional information regarding this rating system, see www.nfrc.org.

Code (residential, building or energy) Compliance:

Determining the suitability and compliance with state, provincial, local, or other applicable building codes or standards, including energy codes, is the responsibility of the buyer, user, architect, contractor, installer, and/or other construction professional.

PURCHASE APPROVAL/SIGN OFF

Project Subtotal Net Price: USD 15,730.64
5.500% Sales Tax: USD 865.19
Project Total Net Price: USD 16,595.83

I have reviewed all line item quotes in detail and agree that the product specifications and pricing are accurate, and I approve the project for order. I acknowledge that additional charges, tax or Terms and Conditions may apply.

Seller: _____

Buyer: _____

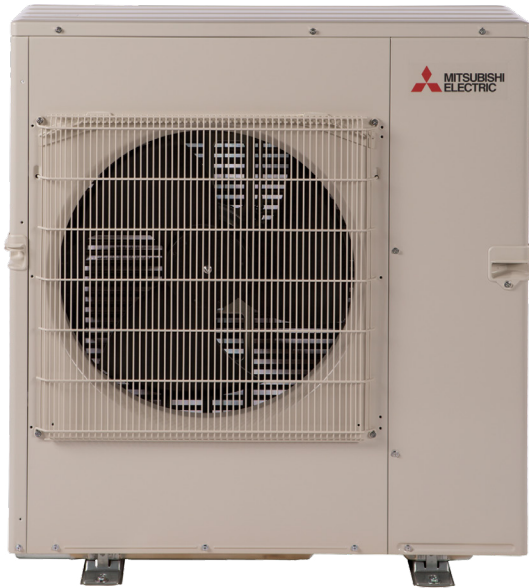
MXZ-5C42NA3 3.5-TON MULTI-ZONE INVERTER HEAT-PUMP SYSTEM



Job Name:

System Reference:

Date:



FEATURES

- Variable speed INVERTER-driven compressor
- Optional base pan heater
- Quiet outdoor unit operation as low as 56 dB(A)
- High pressure protection
- Compressor thermal protection
- Compressor overcurrent detection
- Fan motor overheating/voltage protection

SPECIFICATIONS: MXZ-5C42NA3

Cooling ¹ (Non-Ducted // Mix // Ducted)	Maximum Capacity	BTU/H	43,000 // 43,000 // 43,000
	Rated Capacity	BTU/H	40,500 // 39,000 // 37,500
	Minimum Capacity	BTU/H	12,600 // 12,600 // 12,600
	Maximum Power Input	W	4,775 // 4,775 // 4,775
	Rated Power Input	W	4,403 // 4,286 // 4,112
	Power Factor (208V, 230V)	%	98.9, 98.9 // 98.9, 98.9 // 98.9, 98.9
Heating at 47°F ² (Non-Ducted // Mix // Ducted)	Maximum Capacity	BTU/H	53,600 // 53,600 // 53,600
	Rated Capacity	BTU/H	45,000 // 43,000 // 41,000
	Minimum Capacity	BTU/H	11,400 // 11,400 // 11,400
	Maximum Power Input	W	6,160 // 6,160 // 6,160
	Rated Power Input	W	3,575 // 3,519 // 3,463
	Power Factor (208V, 230V)	%	98.1, 98.1 // 98.2, 98.2 // 98.2, 98.2
Heating at 17°F ³ (Non-Ducted // Mix // Ducted)	Maximum Capacity	BTU/H	30,500 // 29,800 // 29,100
	Rated Capacity	BTU/H	24,400 // 23,700 // 23,000
	Maximum Power Input	W	4,750 // 4,991 // 5,231
	Rated Power Input	W	2,943 // 2,906 // 2,869
Heating at 5°F ⁴ (Non-Ducted // Mix // Ducted)	Maximum Capacity	BTU/H	25,000 // 25,000 // 25,000
	Maximum Power Input	W	5,000 // 5,200 // 5,400
Efficiency (Non-Ducted // Mix // Ducted)	SEER		19.7 // 17.4 // 15.2
	EER ¹		9.2 // 9.1 // 9.0
	HSPF (IV)		10.3 // 9.7 // 9.1
	COP at 47°F ²		3.69 // 3.58 // 3.47
	COP at 17°F at Maximum Capacity ³		1.88 // 1.75 // 1.63
	COP at 5°F at Maximum Capacity ⁴		1.47 // 1.42 // 1.36
Electrical	ENERGY STAR® Certified		No // No // No
	Electrical Power Requirements	Voltage, Phase, Frequency	208/230, 1, 60
	Guaranteed Voltage Range	V AC	187-253
	Voltage: Indoor - Outdoor, S1-S2	V AC	208/230
	Voltage: Indoor - Outdoor, S2-S3	V DC	24
	Short-circuit Current Rating (SCCR)	kA	5
	Recommended Fuse/Breaker Size	A	40
	Recommended Wire Size	AWG	14
	Minimum Circuit Ampacity	A	32.5
	Maximum Overcurrent Protection	A	40
Outdoor unit	Fan Motor Full Load Amperage	A	2.43
	Airflow Rate (Cooling / Heating)	CFM	2,150 / 2,550
	Refrigerant Control		LEV
	Defrost Method		Reverse Cycle
	Heat Exchanger Type		Plate fin coil
	Sound Pressure Level, Cooling ¹	dB(A)	56
	Sound Pressure Level, Heating ²	dB(A)	58
	Compressor Type		DC INVERTER-driven Twin Rotary
	Compressor Model		MNB33FBTMC-L
	Compressor Rated Load Amps	A	20
	Compressor Locked Rotor Amps	A	28.8
	Compressor Oil Type // Charge	oz.	FV50S // 37.2
	Base Pan Heater		Optional
	Unit Dimensions	W: In. [mm]	37-13/32 [950]
		D: In. [mm]	13 [330]
		H: In. [mm]	41-17/64 [1,048]
	Package Dimensions	W: In. [mm]	41-3/8 [1,050]
		D: In. [mm]	17-3/8 [440]
		H: In. [mm]	46-3/4 [1,190]
	Unit Weight	Lbs.[kg]	189 [86]
	Package Weight	Lbs.[kg]	214 [97]
Outdoor unit operating temperature range	Cooling Intake Air Temp (Maximum / Minimum [^])	°FDB	115 / 14
	Cooling Thermal Lock-out / Re-start Temperatures	°FDB	10.4 / 14
	Heating Intake Air Temp (Maximum / Minimum)	°FWB	65 / 5
	Heating Thermal Lock-out / Re-start Temperatures	°FDB	1.4 / 5
Refrigerant	Charge	Lbs, oz	8.0, 13.0
	Chargeless Piping Length	Ft. [m]	98.0 [30.0]
	Additional Refrigerant Charge Per Additional Piping Length	oz./Ft. [g/m]	0.216 [20]

NOTES:

AHRI Rated Conditions

(Rated data is determined at a fixed compressor speed)

¹Cooling (Indoor // Outdoor)

²Heating at 47°F (Indoor // Outdoor)

³Heating at 17°F (Indoor // Outdoor)

°F 80 DB, 67 WB // 95 DB, 75 WB

°F 70 DB, 60 WB // 47 DB, 43 WB

°F 70 DB, 60 WB // 17 DB, 15 WB

Conditions

⁴Heating at 5°F (Indoor // Outdoor)

°F 70 DB, 60 WB // 5 DB, 4 WB

*Applications should be restricted to comfort cooling only; equipment cooling applications are not recommended for low ambient temperature conditions.

[^] 5°F DB - 115°F DB when optional wind baffles are installed

For actual capacity performance based on indoor unit type and number of indoor units connected, please refer to MXZ Operational Performance.

Although the maximum connectable capacity is 130%, the outdoor unit cannot provide more than 100% of the rated capacity. Please utilize this over capacity capability for load shedding or applications where it is known that all connected units will NOT be operating at the same time.

SPECIFICATIONS: MXZ-5C42NA3

Indoor unit connection	Maximum Number of Connected IDU		5
	Minimum Number of Connected IDU		2
	Minimum connected capacity	BTU/H	12,000
	Maximum connected capacity	BTU/H	51,000
Piping	Liquid Pipe Size O.D. (Flared)	In.[mm]	A,B,C,D,E: 1/4 [A,B,C,D,E: 6.35]
	Gas Pipe Size O.D. (Flared)	In.[mm]	A: 1/2; B,C,D,E: 3/8 [A: 12.72; B,C,D,E: 9.52]
	Total Piping Length	Ft. [m]	262 [80]
	Maximum Height Difference, ODU above IDU	Ft. [m]	49 [15]
	Maximum Height Difference, ODU below IDU	Ft. [m]	49 [15]
	Farthest Piping Length from ODU to IDU	Ft. [m]	82 [25]
	Maximum Number of Bends for IDU		80

NOTES:

AHRI Rated Conditions

(Rated data is determined at a fixed compressor speed)

¹Cooling (Indoor // Outdoor)

°F 80 DB, 67 WB // 95 DB, 75 WB

²Heating at 47°F (Indoor // Outdoor)

°F 70 DB, 60 WB // 47 DB, 43 WB

³Heating at 17°F (Indoor // Outdoor)

°F 70 DB, 60 WB // 17 DB, 15 WB

Conditions

⁴Heating at 5°F (Indoor // Outdoor)

°F 70 DB, 60 WB // 5 DB, 4 WB

*Applications should be restricted to comfort cooling only; equipment cooling applications are not recommended for low ambient temperature conditions.

*^ 5°F DB - 115°F DB when optional wind baffles are installed

For actual capacity performance based on indoor unit type and number of indoor units connected, please refer to MXZ Operational Performance.

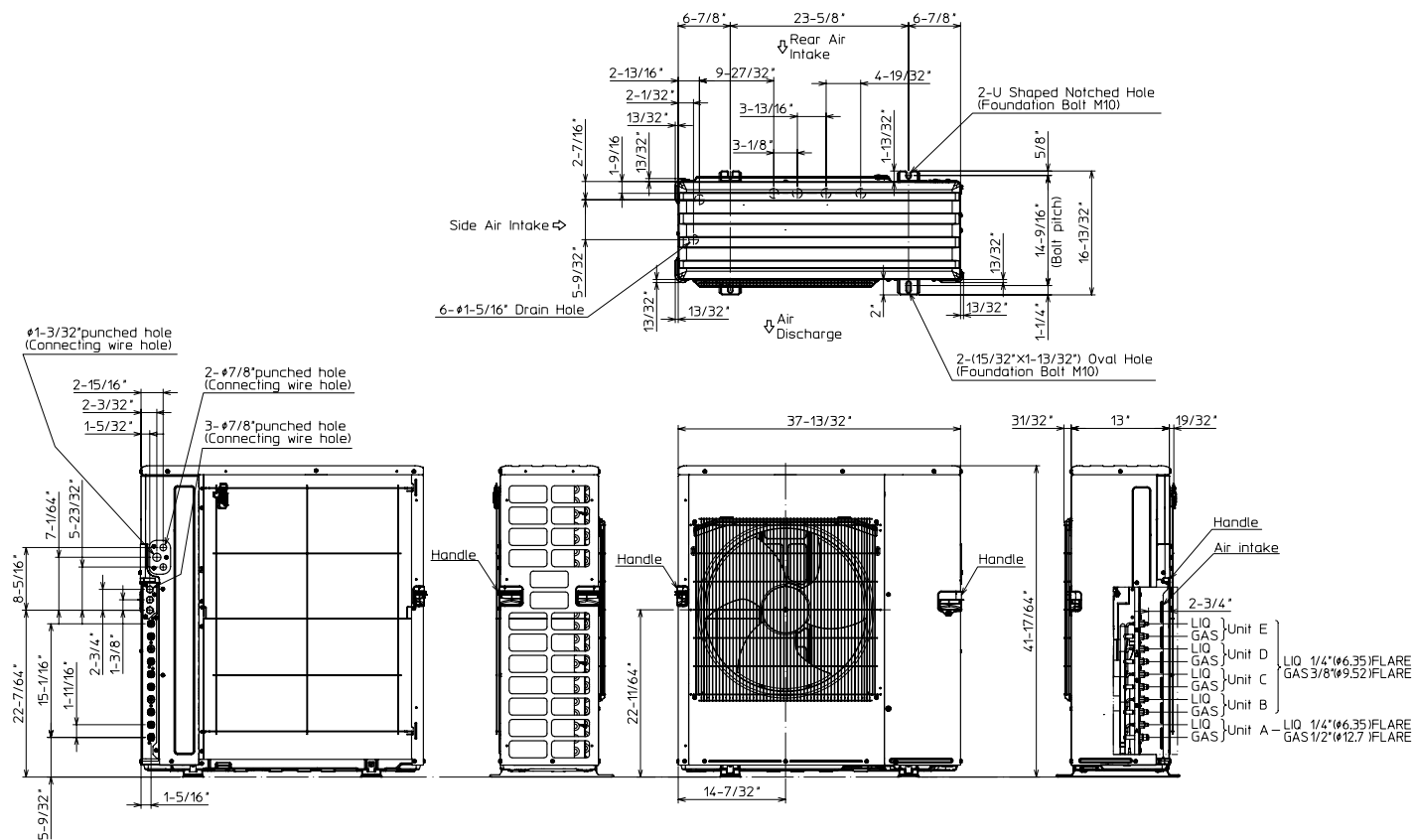
Although the maximum connectable capacity is 130%, the outdoor unit cannot provide more than 100% of the rated capacity. Please utilize this over capacity capability for load shedding or applications where it is known that all connected units will NOT be operating at the same time.

OUTDOOR UNIT ACCESSORIES: MXZ-5C42NA3

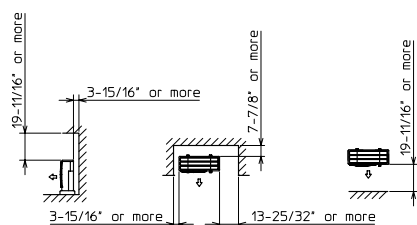
Air Outlet Guide	Air Outlet Guide (1 Piece)	PAC-SH96SG-E
Ball Valve	Refrigeration Ball Valve - 1/2"	BV12FFSI2
	Refrigeration Ball Valve - 1/4"	BV14FFSI2
	Refrigeration Ball Valve - 3/8"	BV38FFSI2
	Refrigeration Ball Valve - 5/8"	BV58FFSI2
Control Wire	M-Net Control Wire, 1,000' Roll (16-AWG, Standard, Twisted Pair, Shielded, Jacketed- Plenum rated)	CW162S-1000
	M-Net Control Wire, 250' Roll (16-AWG, Standard, Twisted Pair, Shielded, Jacketed- Plenum rated)	CW162S-250
Drain Socket	Drain Socket	PAC-SG60DS-E
Hail Guards	Hail Guard	HG-A1
M-NET Converter	M-NET Converter	PAC-IF01MNT-E
Mini-Split Wire	14 Gauge, 4 wire MiniSplit Cable—250 ft. roll	S144-250
	14 Gauge, 4 wire MiniSplit Cable—250 ft. roll	SW144-250
	14 Gauge, 4 wire MiniSplit Cable—50 ft. roll	S144-50
	14 Gauge, 4 wire MiniSplit Cable—50 ft. roll	SW144-50
	16 Gauge, 4 wire MiniSplit Cable—250 ft. roll	S164-250
	16 Gauge, 4 wire MiniSplit Cable—250 ft. roll	SW164-250
	16 Gauge, 4 wire MiniSplit Cable—50 ft. roll	S164-50
	16 Gauge, 4 wire MiniSplit Cable—50 ft. roll	SW164-50
Mounting Pad	Condensing Unit Mounting Pad: 16" x 36" x 3"	ULTRILITE1
	Outdoor Unit 3-1/4 inch Mounting Base (Pair) - Plastic	DSD-400P
Optional Defrost Heater	Optional Defrost Heater	PAC-645BH-E
Port Adapter	Adaptor: 1/2" x 3/8"	MAC-A455JP-E
	Adaptor: 1/2" x 5/8"	MAC-A456JP-E
	Adaptor: 3/8" x 1/2"	MAC-A454JP-E
	Adaptor: 3/8" x 5/8"	PAC-SG76RJ-E
Stand	18" Single Fan Stand	QSMS1801M
	24" Single Fan Stand	QSMS2401M
	Condenser Wall Bracket	QSWB2000M-1
	Condenser Wall Bracket - Stainless Steel Finish	QSWBSS
	Outdoor Unit Stand — 12" High	QSMS1201M

OUTDOOR UNIT DIMENSIONS: MXZ-5C42NA3

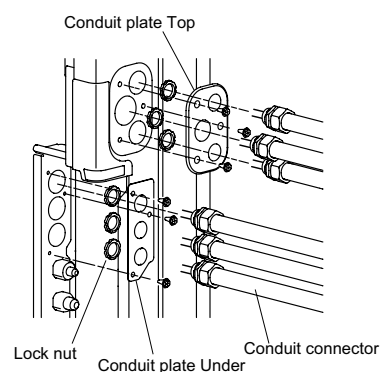
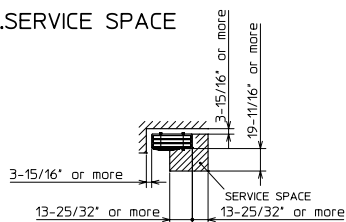
Unit: inch (mm)



1.FREE SPACE



2.SERVICE SPACE



1340 Satellite Boulevard Suwanee, GA 30024
Toll Free: 800-433-4822 www.mehvac.com

FORM# MXZ-5C42NA3 - 202206

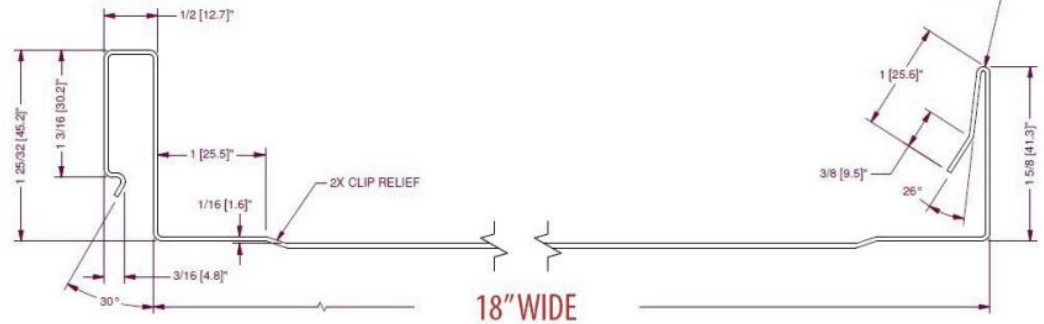


1. Standing Seam Metal Roof – Black Kynar Finish

ADDITIONAL PRODUCT OPTIONS:

- Striations
- Stiffening Ribs/Beads

PROFILE:



Also available are custom panel widths of: 12", 14", 16", 18", 20" and 24"

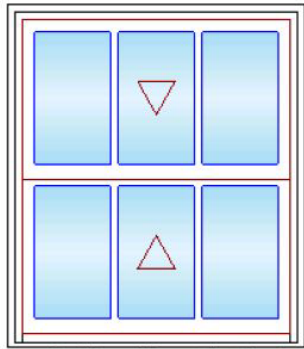
Colors represented on this profile sheet may not match actual material. All colors should be verified using an actual metal color sample.

4127-22 Rev. 06.27.24



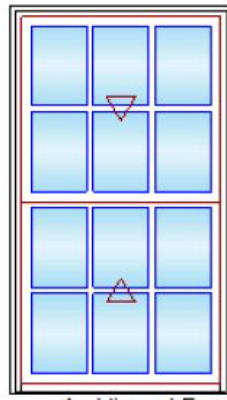
2. Marvin Elevate Double Hung Windows – Ebony Exterior

MARVIN 



As Viewed From The Exterior

MARVIN 



As Viewed From The Exterior



3. Clapboard Siding – 4" Exposure



4. Primed Pine Flat Stock Trim – 1x6

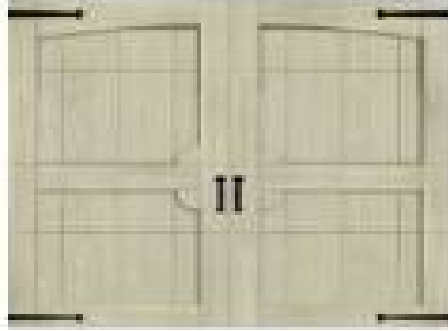


5. White Aluminum K-Style Gutters



6. Clopay Canyon Ridge Carriage House Garage Door – Model CAN237

1. Garage Door



7. Therma-Tru Half-Glass 6 over 6 Entry Door



8. A/C Condenser. Mitsubishi



Size Width 37 13/32 x Height 41 7/16

Project Address: 101 Chapel Street

Permit Requested: Certificate of Approval

Application: Public Hearing #2

A. Property Information - General:

Existing Conditions:

- Zoning District: Civic and Downtown Overlay
- Land Use: Religious
- Land Area: 26,737 SF +/-
- Estimated Age of Structure: c.1807
- Building Style: Federal
- Number of Stories: 2.5
- Historical Significance: Focal
- Public View of Proposed Work: Bow Street and Downtown
- Unique Features: N/A
- Neighborhood Association: Downtown

B. Proposed Work: Add rooftop solar panels.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Rooftop solar array



View from Bow Street



**HISTORIC
SURVEY
RATING

F**

D. Purpose and Intent:

7. Preserve the integrity of the District
1. Assessment of the Historical Significance
2. Conservation and enhancement of property values
3. Maintain the special character of the District
4. Complement and enhance the architectural and historic character
5. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

SCOPE OF WORK

SYSTEM SIZE: 19.58kW DC, 14.85kW AC
MODULES: (45) HD HUNDAYI HIN-T435NF(BK) 435W
INVERTERS: (45) ENPHASE: IQ8M-72-2-US MICROINVERTERS
RACKING: IRONRIDGE AIRE RAIL A1
ATTACHMENT: IRONRIDGE AIRE DOCK, WITH L-FOOT

EXISTING SYSTEM:
SYSTEM SIZE: 22.95kW DC, 17.55kW AC
MODULES: (54) HANWHA QCELLS Q.TRON BLK M-G2+ 425W
INVERTERS: (54) ENPHASE: IQ8M-72-2-US MICROINVERTERS

ARRAY TILT: #1 - 27°
ARRAY AZIMUTH: #1 - 59°

ELECTRICAL INFORMATION
UTILITY COMPANY: EVERSOURCE
MAIN SERVICE AMPERAGE: 400A

BUILDING INFORMATION: TWO STORY HOUSE
APN #: PRSM106553
ROOF TYPE: COMP. SHINGLE
NUMBER OF LAYERS: 01
ROOF TRUSSES: 2"X8" @ 24" O.C.

CODE SUMMARY

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODE
2021 NFPA 1 AS AMENDED BY SAF-FMO 300
2021 INTERNATIONAL BUILDING CODE (IBC)
2021 INTERNATIONAL RESIDENTIAL CODE (IRC)
2018 INTERNATIONAL ENERGY CONSERVATION CODE (IEC)
2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
2021 INTERNATIONAL MECHANICAL CODE (IMC)
2021 INTERNATIONAL PLUMBING CODE (IPC)
2020 NATIONAL ELECTRICAL CODE (NEC)
STATE FIRE CODE SAF-C 6000


SHEET INDEX


PV-0	COVER SHEET
PV-1	SITE PLAN
PV-2	ARRAY DETAIL
PV-2A	STRING LAYOUT
PV-3	ATTACHMENT DETAILS
PV-4	ELECTRICAL LINE DIAGRAM
PV-5	ELECTRICAL CALCULATION
PV-6	PLACARDS
PV-7+	MANUFACTURER SPEC SHEET


GENERAL NOTES:


- PV INSTALLATION COMPLIES WITH THE NEC 2020 ARTICLE 690.12(B)(2).
- PHOTOVOLTAIC SYSTEM IS UNGROUNDED. NO CONDUCTORS ARE SOLIDLY GROUNDED IN THE INVERTER. SYSTEM COMPLIES WITH 690.35.
- MODULES CONFORM TO AND ARE LISTED UNDER UL 1703.
- INVERTER CONFORMS TO AND IS LISTED UNDER UL 1741.
- RACKING CONFORMS TO AND IS LISTED UNDER UL 2703.
- RAPID SHUTDOWN REQUIREMENTS MET WHEN INVERTERS AND ALL CONDUCTORS ARE WITHIN ARRAY BOUNDARIES PER NEC 690.12(1).
- CONSTRUCTION FOREMAN TO PLACE CONDUIT RUN PER 690.31(G).
- ARRAY DC CONDUCTORS ARE SIZED FOR DERATED CURRENT.
- 14.32 AMPS MODULE SHORT CIRCUIT CURRENT.
- 22.34 AMPS DERATED SHORT CIRCUIT CURRENT [690.8 (a) & 690.8 (b)].


LEGEND AND ABBREVIATIONS


 UTILITY METER


 MAIN PANEL


 SUB-PANEL


 PV LOAD CENTER


 DEDICATED PV METER


 INVERTER(S) WITH INTEGRATED DC DISCONNECT AND AFCI


 AC DISCONNECT(S)

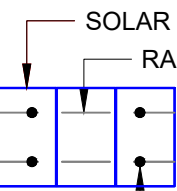
 DC DISCONNECT(S)

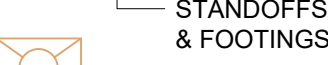
 FUSED AC DISCONNECT


 COMBINER BOX

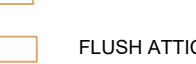
 AUTOMATIC TRANSFER SWITCH

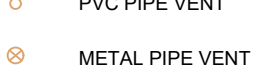
 ENPHASE MICROINVERTER


 SOLAR MODULES
RAIL


 STANDOFFS & FOOTINGS


 CHIMNEY

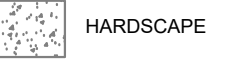
 ATTIC VENT

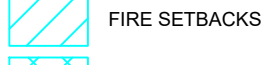
 FLUSH ATTIC VENT

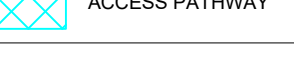
 PVC PIPE VENT


 METAL PIPE VENT


 T-VENT


 SATELLITE DISH

 PL PROPERTY LINE

 INTERIOR EQUIPMENT SHOWN AS DASHED

 HARDSCAPE

 FIRE SETBACKS

 ACCESS PATHWAY

A
AC
AFCI

AZIM
COMP
DC
(E)
EXT
FRM
INT
LBW
MAG
MSP
(N)
NTS
OC
PRE-FAB
PSF

PV
TL
TYP
V
W

AMPERE
ALTERNATING CURRENT
ARC FAULT CIRCUIT INTERRUPTER
AZIMUTH
COMPOSITION
DIRECT CURRENT
EXISTING
EXTERIOR
FRAMING
INTERIOR
LOAD BEARING WALL
MAGNETIC
MAIN SERVICE PANEL
NEW
NOT TO SCALE
ON CENTER
PRE-FABRICATED
POUNDS PER SQUARE FOOT
PHOTOVOLTAIC
TRANSFORMERLESS
TYPICAL
VOLTS
WATTS



1
PV-0
AERIAL VIEW
SCALE: NTS



2
PV-0
VICINITY MAP
SCALE: NTS



603 SOLAR
24 CHARTER ST.
EXETER, NH 03833
(603) 570-2607

REVISIONS		
DESCRIPTION	DATE	REV

PROJECT NAME & ADDRESS

ST. JOHN'S EPISCOPAL CHURCH

100 CHAPEL ST.,
PORTSMOUTH, NH 03801
PHONE #: (603) 988-8347
EMAIL: reginmny@outlook.com
19.58kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON
STEVE

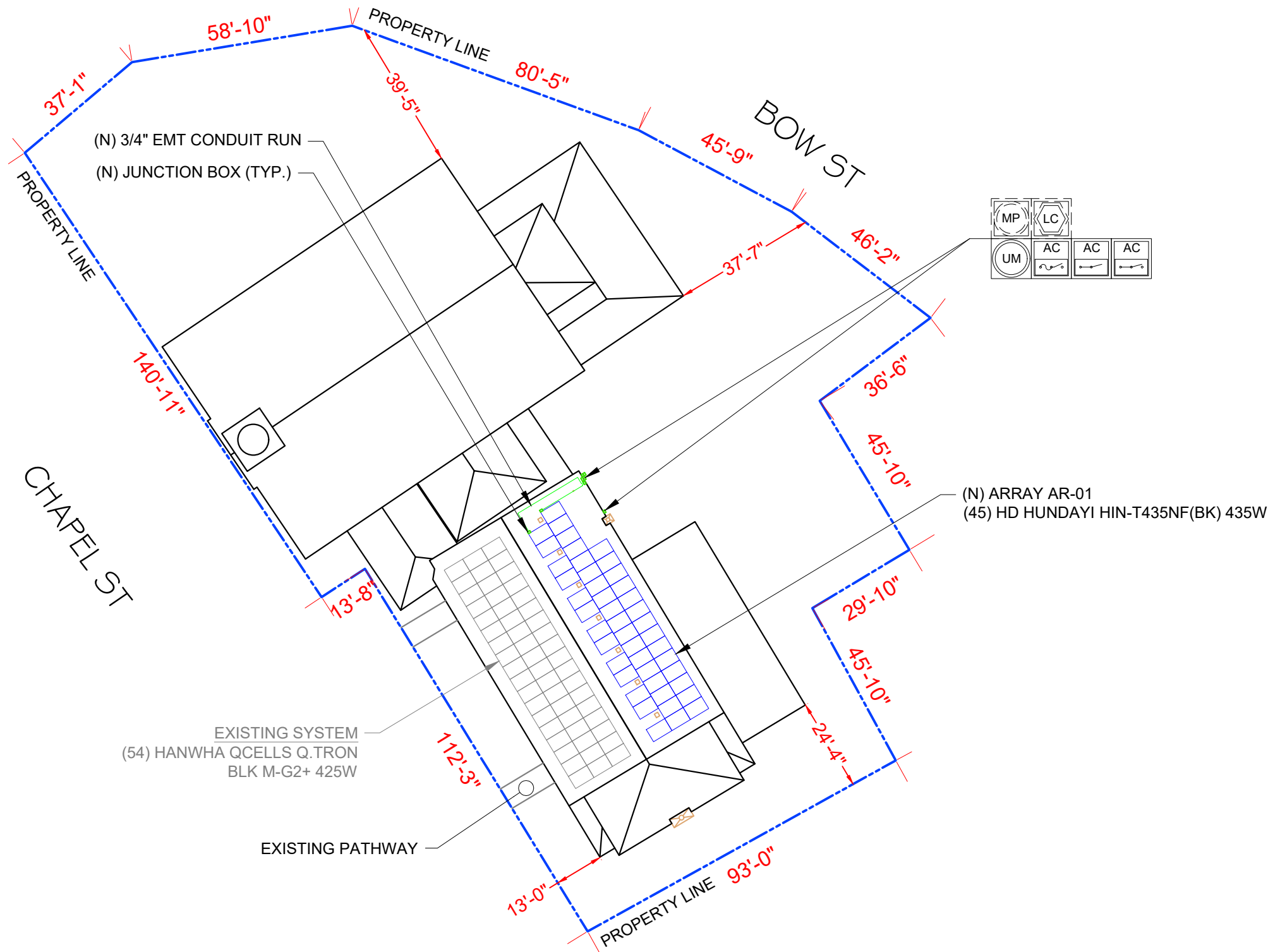
SHEET NAME
COVER SHEET

SHEET SIZE
ANSI B
11" X 17"

SHEET NUMBER
PV-0

ADDITIONAL NOTE:

- EXPANSION SYSTEM. PROJECT INCLUDES SKIRT ON THE LEFT, RIGHT, AND BOTTOM OF THE ARRAY.
- THE SREC ACCOUNT IS UNDER GERALD SIMPKINS, cunstlue1214@gmail.com
- 400AMP SINGLE PHASE SERVICE.
- LOWER EDGE OF EACH ROOF HAS A METAL SECTION, STANDING SEAM.



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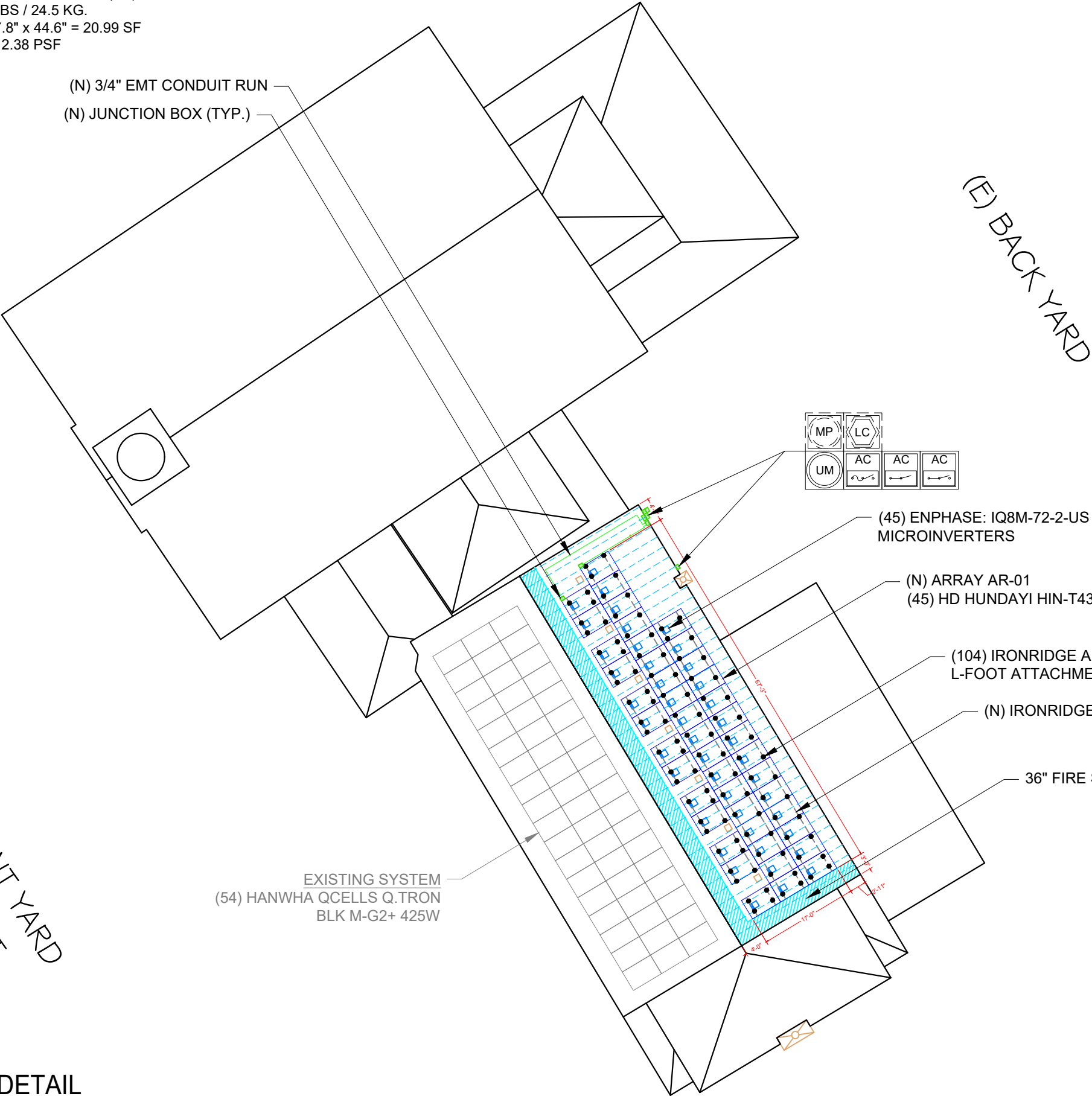
SHEET NAME
SITE PLAN

SHEET SIZE
ANSI B 11" X 17"

SHEET NUMBER
PV-1

MODULE TYPE, DIMENSIONS & WEIGHT

NUMBER OF MODULES = 45 MODULES
MODULE TYPE = HD HUNDAYI HIN-T435NF(BK) 435W
MODULE WEIGHT = 50.01 LBS / 24.5 KG.
MODULE DIMENSIONS = 67.8" x 44.6" = 20.99 SF
UNIT WEIGHT OF ARRAY = 2.38 PSF



ROOF DESCRIPTION				
ROOF TYPE			COMP. SHINGLE	
ROOF	ARRAY TILT	AZIMUTH	TRUSSES SIZE	TRUSSES SPACING
#1	27°	59°	2"X8"	24" O.C.
ARRAY AREA				
ROOF	# OF MODULES	ARRAY AREA (Sq. Ft.)	ROOF AREA (Sq. Ft.)	ROOF AREA COVERED BY ARRAY (%)
#1	45	2078.01	6677.88	31.12

603

SOLAR

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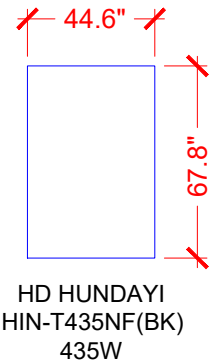
REVISIONS		
DESCRIPTION	DATE	REV

PROJECT NAME & ADDRESS

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100 CHAPEL ST,
PORTSMOUTH, NH 03801
PHONE #: (603) 988-8347
EMAIL: reginnhny@outlook.com
19.58kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON
STEVE
SHEET NAME
ARRAY DETAIL
SHEET SIZE
ANSI B 11" X 17"
SHEET NUMBER
PV-2



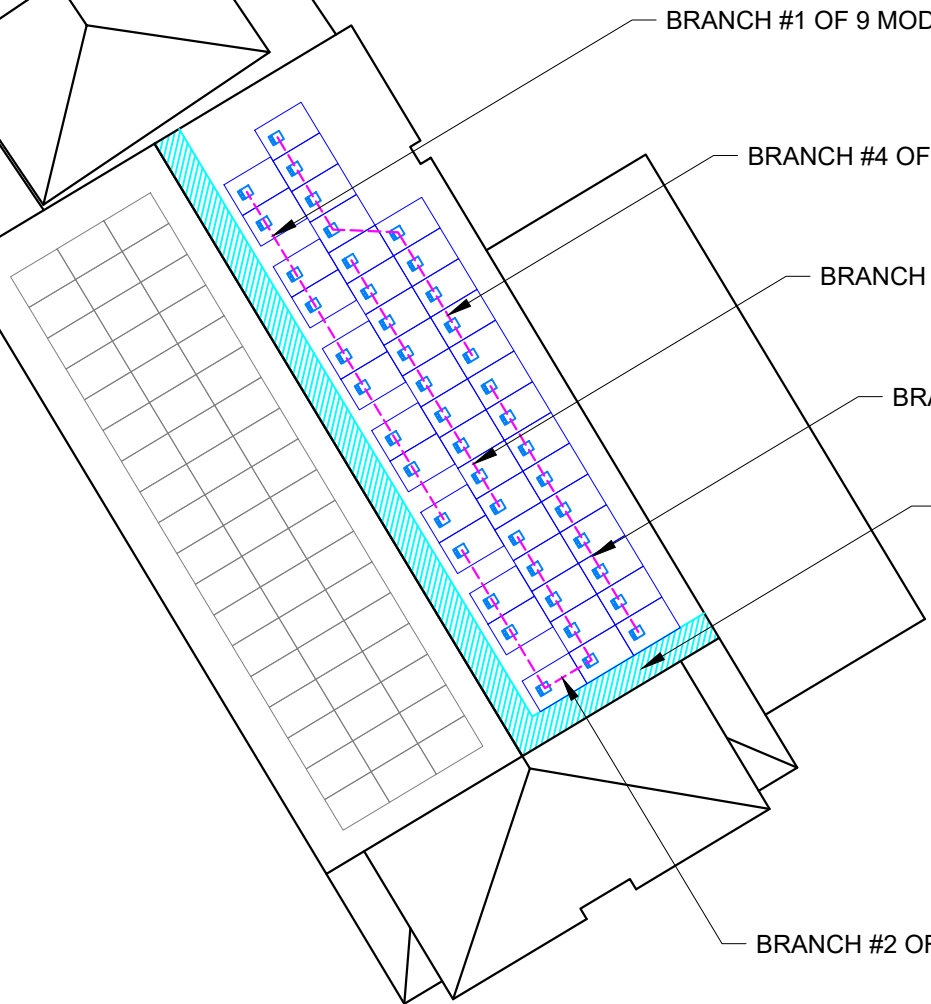
(45) HD HUNDAYI HIN-T435NF(BK) 435W MODULE

(5) BRANCH OF 9 MODULES CONNECTED IN PARALLEL



(E) FRONT YARD
CHAPEL ST

(E) BACK YARD



BRANCH #1 OF 9 MODULES

BRANCH #4 OF 9 MODULES

BRANCH #3 OF 9 MODULES

BRANCH #5 OF 9 MODULES

36" FIRE SETBACK (TYP.)

BRANCH #2 OF 9 MODULES

BILL OF MATERIALS

EQUIPMENT	QTY	DESCRIPTION
SOLAR PV MODULE	45	HD HUNDAYI HIN-T435NF(BK) 435W MODULES
INVERTER	45	ENPHASE: IQ8M-72-2-US MICROINVERTERS
AC DISCONNECT	1	AC DISCONNECT: 240V, 200AMP, NEMA 3R, UL LISTED LOCKABLE AND NON-FUSIBLE
AC DISCONNECT	1	AC DISCONNECT: 240V, 200AMP, LOCKABLE KNIFE HANDLE DISCONNECT
FUSED AC DISCONNECT	1	AC DISCONNECT: 240V, 200AMP, FUSED NEMA 3R, UL LISTED WITH 175A FUSES
PV LOAD CENTER	1	200A PV LOAD CENTER, 240V
ATTACHMENT	104	IRONRIDGE AIRE DOCK, WITH L-FOOT ATTACHMENTS
RAILS	23	IRONRIDGE AIRE RAIL A1 170"
RAIL SPLICE	14	SPLICE KIT
MID CLAMPS	72	MID CLAMP
END CLAMPS	36	END CLAMP
GROUNDING LUG	9	IRONRIDGE LUG



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19.58kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON

STEVE

SHEET NAME

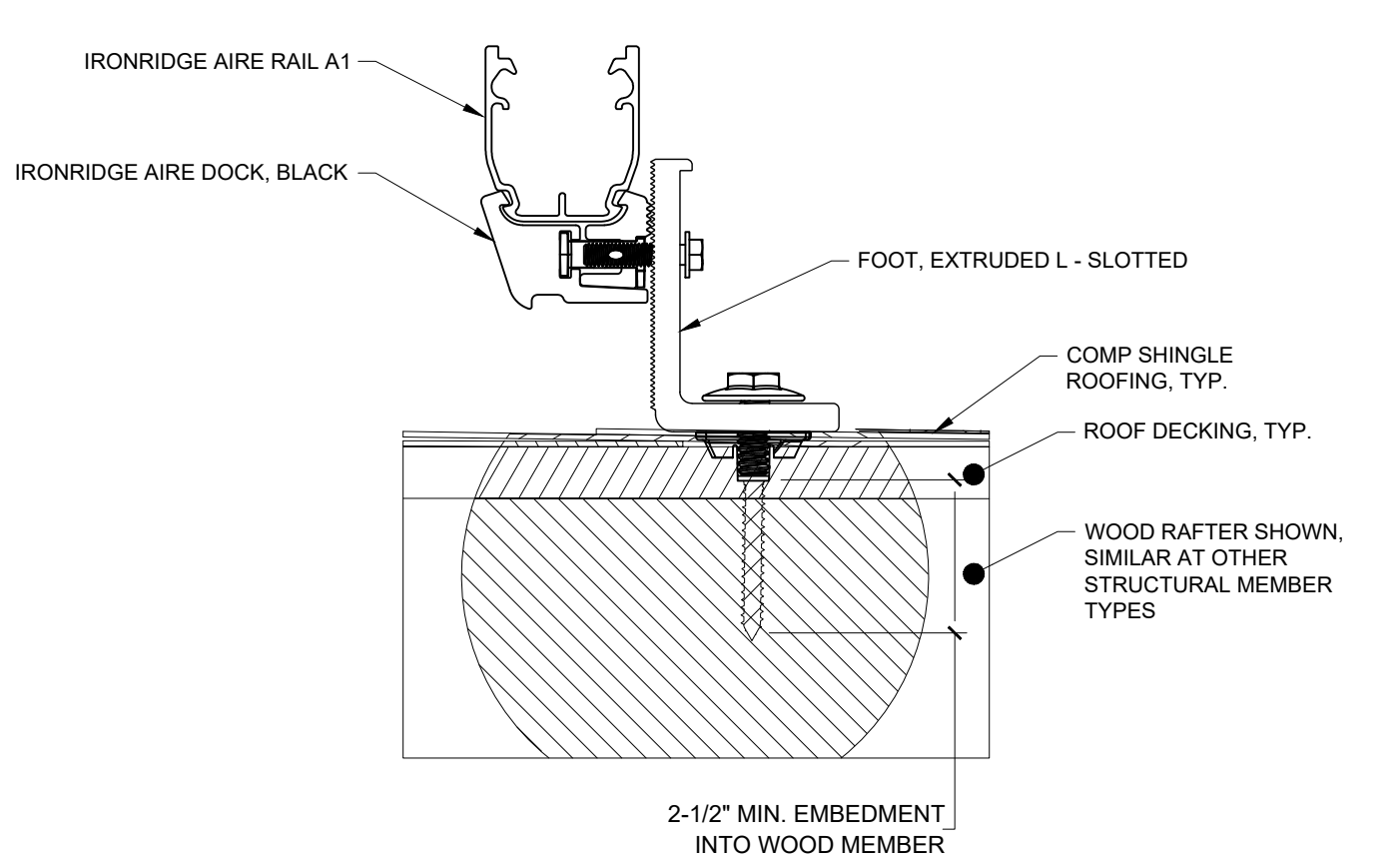
STRING LAYOUT

SHEET SIZE

ANSI B
11" X 17"

SHEET NUMBER

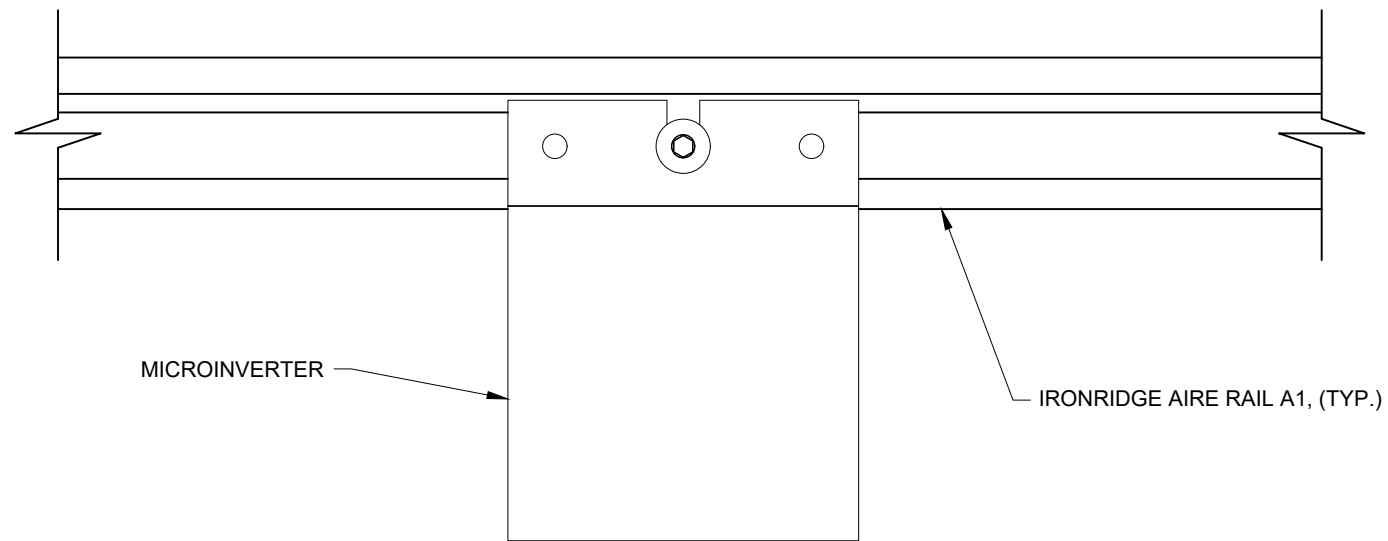
PV-2A



1 ATTACHMENT DETAIL

PV-3

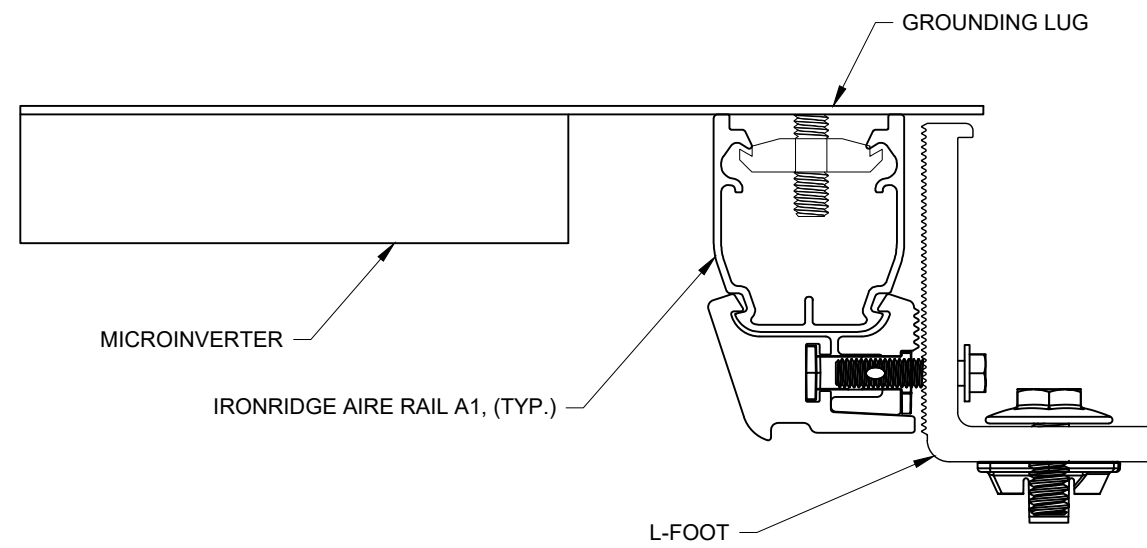
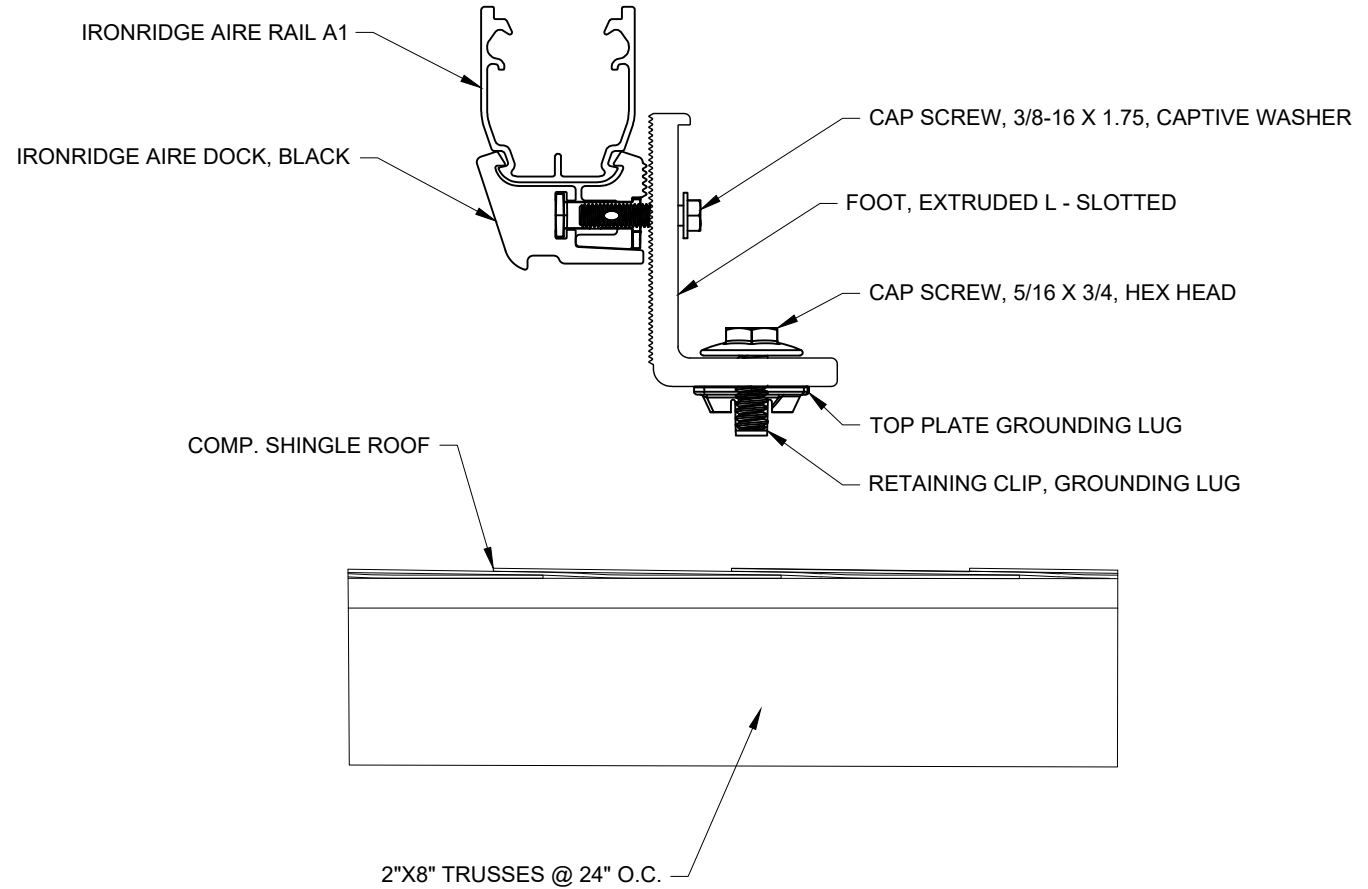
SCALE: NTS



2 MICROINVERTER DETAIL

PV-3

SCALE: NTS



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19.58kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON

STEVE

SHEET NAME

ATTACHMENT
DETAILS

SHEET SIZE

ANSI B
11" X 17"

SHEET NUMBER

PV-3

AC CONDUCTOR AMPACITY CALCULATIONS:
FROM ROOF TOP JUNCTION BOX TO PV LOAD CENTER

AMBIENT TEMPERATURE ADJUSTMENT FOR EXPOSED CONDUIT
PER NEC 310.15(B)(2)(c): + 22°
EXPECTED WIRE TEMP (°C): 33° + 22°
TEMP CORRECTION PER TABLE 310.15: 0.76
#OF CURRENT CARRYING CONDUCTORS: 6
CONDUIT FILL CORRECTION PER NEC 310.15(B)(2)(a): 0.80
CIRCUIT CONDUCTOR SIZE: 10 AWG
CIRCUIT CONDUCTOR AMPACITY: 40A

REQUIRED CIRCUIT CONDUCTOR AMPACITY PER NEC 690.8(A&B):
1.25 X MAX AC OUTPUT CURRENT X # OF INVERTERS PER STRING
BRANCH #1 TO #5 : 1.25 X 1.35 X 9 = 15.19A

DERATED AMPACITY OF CIRCUIT CONDUCTOR PER NEC TABLE 310.15
TEMP CORR. PER NEC TABLE 310.15 X
CONDUIT FILL CORR. PER NEC 310.15(B)(2)(a) X
CIRCUIT CONDUCTOR AMPACITY = 0.76 X 0.80 X 40 = 24.32A

AC CONDUCTOR AMPACITY CALCULATIONS:
FROM PV LOAD CENTER TO FUSED AC DISCONNECT

EXPECTED WIRE TEMP (°C): 33°
TEMP CORRECTION PER NEC TABLE 310.15: 0.96
CIRCUIT CONDUCTOR SIZE: 2/0 AWG
CIRCUIT CONDUCTOR AMPACITY: 195A
#OF CURRENT CARRYING CONDUCTORS: 3
CONDUIT FILL PER NEC 310.15(B)(2)(a): 1
REQUIRED CIRCUIT CONDUCTOR AMPACITY PER NEC 690.8(B):
1.25 X OUTPUT CURRENT OF LOAD CENTER
1.25 X 1.35 X 45 = 75.94A + (E) 91.13A = 167.06A

DERATED AMPACITY OF CIRCUIT CONDUCTORS PER NEC TABLE 310.15:
TEMP CORR. PER NEC 310.15 X
CONDUIT FILL CORR. PER NEC 310.15(B)(2)(a) X
CIRCUIT CONDUCTOR AMPACITY =
0.96 X 1.00 X 195 = 187.2A

ELECTRICAL NOTES

- 1. NO DC CONDUCTORS PRESENT.
- 2. ALL EQUIPMENT TO BE LISTED BY UL OR OTHER NRTL, AND LABELED FOR ITS APPLICATION.
- 3. ALL CONDUCTORS SHALL BE COPPER, RATED FOR 600 V AND 90 DEGREE C WET ENVIRONMENT.
- 4. WORKING CLEARANCES AROUND ALL NEW AND EXISTING ELECTRICAL EQUIPMENT SHALL COMPLY WITH NEC 110.26.
- 5. DRAWINGS INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS. CONTRACTOR SHALL FURNISH ALL NECESSARY OUTLETS, SUPPORTS, FITTINGS AND ACCESSORIES TO FULFILL APPLICABLE CODES AND STANDARDS.
- 6. WHERE SIZES OF JUNCTION BOXES, RACEWAYS, AND CONDUITS ARE NOT SPECIFIED, THE CONTRACTOR SHALL SIZE THEM ACCORDINGLY.
- 7. ALL WIRE TERMINATIONS SHALL BE APPROPRIATELY LABELED AND READILY VISIBLE.
- 8. MODULE GROUNDING CLIPS TO BE INSTALLED BETWEEN MODULE FRAME AND MODULE SUPPORT RAIL, PER THE GROUNDING CLIP MANUFACTURER'S INSTRUCTION AND WHERE REQUIRED.
- 9. MODULE SUPPORT RAIL TO BE BONDED TO COPPER G.E.C. VIA WEEB LUG OR ILSCO GBL-4DBT LAY-IN LUG.
- 10. THE POLARITY OF THE GROUNDED CONDUCTORS IS NEGATIVE.

ENPHASE: IQ8M-72-2-US MICROINVERTERS		
Input Data (DC)		
	Recommended Input Power (STC)	260-460W +
	Maximum Input DC Voltage	60V
	Peak Power Tracking Voltage	16V-58V
	Operating Range	22V-58V
	Min. / Max. Start Voltage	60V
	Max DC Short Circuit Current	25A
Output Data (AC)		
	Peak Output Power	330W
	Nominal Output Current	1.35A
	Nominal Voltage / Range	240V/211-264V
	Nominal Frequency / Range	60 Hz
	Extended Frequency / Range	47-68 Hz
	Power Factor at rated power	1.0
	Maximum unit per 20A Branch Circuit	11 (240 VAC)

PERCENT OF VALUES	NUMBER OF CURRENT CARRYING CONDUCTORS IN EMT
.80	4-6
.70	7-9
.50	10-20

AMBIENT TEMPERATURE SPECS	
RECORD LOW TEMP	-21°
AMBIENT TEMP (HIGH TEMP 2%)	33°
CONDUIT HEIGHT	0.5"
ROOF TOP TEMP	55°
CONDUCTOR TEMPERATURE RATE	90°



603 SOLAR
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REVISIONS		
DESCRIPTION	DATE	REV

PROJECT NAME & ADDRESS

ST. JOHN'S EPISCOPAL CHURCH
100 CHAPEL ST.,
PORTSMOUTH, NH 03801
PHONE #: (603) 988-8347
EMAIL: reginnhny@outlook.com
19.58kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON
STEVE

SHEET NAME
ELECTRICAL CALCULATION

SHEET SIZE
ANSI B 11" X 17"

SHEET NUMBER
PV-5

⚠

WARNING

ELECTRICAL SHOCK HAZARD

TERMINALS ON LINE AND LOAD SIDES MAY BE ENERGIZED IN THE OPEN POSITION

LABEL LOCATION:
INVERTER(S), AC DISCONNECT(S), AC COMBINER PANEL (IF APPLICABLE).

⚠

WARNING

DUAL POWER SUPPLY

SOURCES: UTILITY GRID AND PV SOLAR ELECTRIC SYSTEM

LABEL LOCATION:
UTILITY SERVICE METER AND MAIN SERVICE PANEL.

⚠

WARNING

INVERTER OUTPUT CONNECTION

DO NOT RELOCATE THIS OVERCURRENT DEVICE

LABEL LOCATION:
ADJACENT TO PV BREAKER (IF APPLICABLE).

⚠

WARNING

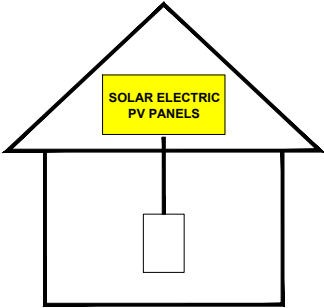
PHOTOVOLTAIC SYSTEM COMBINER PANEL

DO NOT ADD LOADS

LABEL LOCATION:
PHOTOVOLTAIC AC COMBINER (IF APPLICABLE).

SOLAR PV SYSTEM EQUIPPED WITH RAPID SHUTDOWN

TURN RAPID SHUTDOWN SWITCH TO THE "OFF" POSITION TO SHUT DOWN PV SYSTEM AND REDUCE SHOCK HAZARD IN THE ARRAY.



LABEL LOCATION:
ON OR NO MORE THAT 1 M (3 FT) FROM THE SERVICE DISCONNECTING MEANS TO WHICH THE PV SYSTEMS ARE CONNECTED.

PHOTOVOLTAIC AC DISCONNECT

MAXIMUM AC OPERATING CURRENT: 167.06 AMPS

NOMINAL OPERATING AC VOLTAGE: 240 VAC

LABEL LOCATION:
AC DISCONNECT(S), PHOTOVOLTAIC SYSTEM POINT OF INTERCONNECTION.

DATA PER PANEL

NOMINAL OPERATING AC VOLTAGE -	240	V
NOMINAL OPERATING AC FREQUENCY-	60	Hz
MAXIMUM AC POWER-	325	VA
MAXIMUM AC CURRENT-	1.35	A
MAXIMUM OVERCURRENT DEVICE RATING FOR AC MODULE PROTECTION PER CIRCUIT-	20	A

LABEL LOCATION:
COMBINER BOX

- NOTES AND SPECIFICATIONS:
- SIGNS AND LABELS SHALL MEET THE REQUIREMENTS OF THE 2020 ARTICLE 110.21(B), UNLESS SPECIFIC INSTRUCTIONS ARE REQUIRED BY SECTION 690, OR IF REQUESTED BY THE LOCAL AHJ.
 - SIGNS AND LABELS SHALL ADEQUATELY WARN OF HAZARDS USING EFFECTIVE WORDS, COLORS AND SYMBOLS.
 - LABELS SHALL BE PERMANENTLY AFFIXED TO THE EQUIPMENT OR WIRING METHOD AND SHALL NOT BE HAND WRITTEN.
 - LABEL SHALL BE OF SUFFICIENT DURABILITY TO WITHSTAND THE ENVIRONMENT INVOLVED.
 - SIGNS AND LABELS SHALL COMPLY WITH ANSI Z535.4-2011, PRODUCT SAFETY SIGNS AND LABELS, UNLESS OTHERWISE SPECIFIED.
 - DO NOT COVER EXISTING MANUFACTURER LABELS.

603 SOLAR

603 SOLAR
24 CHARTER ST.
EXETER, NH 03833
(603) 570-2607

REVISIONS

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EMAIL: regimnhny@outlook.com
19.58kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON

STEVE

SHEET NAME

PLACARDS

SHEET SIZE

ANSI B
11" X 17"

SHEET NUMBER

PV-6



DATA SHEET



IQ8M and IQ8A Microinverters

Our newest IQ8 Microinverters are the industry's first microgrid-forming, software defined microinverters with split-phase power conversion capability to convert DC power to AC power efficiently. The brain of the semiconductor-based microinverter is our proprietary application specific integrated circuit (ASIC) which enables the microinverter to operate in grid-tied or off-grid modes. This chip is built in advanced 55nm technology with high speed digital logic and has superfast response times to changing loads and grid events, alleviating constraints on battery sizing for home energy systems.



Part of the Enphase Energy System, IQ8 Series Microinverters integrate with the IQ Battery, IQ Gateway, and the Enphase App monitoring and analysis software.



IQ8 Series Microinverters redefine reliability standards with more than one million cumulative hours of power-on testing, enabling an industry-leading limited warranty of up to 25 years.



Connect PV modules quickly and easily to IQ8 Series Microinverters using the included Q-DCC-2 adapter cable with plug-n-play MC4 connectors.



IQ8 Series Microinverters are UL listed as PV Rapid Shutdown Equipment and conform with various regulations, when installed according to manufacturer's instructions.

*Only when installed with IQ System Controller 2, meets UL 1741.
**IQ8M and IQ8A support split-phase, 240V installations only.

Easy to install

- Lightweight and compact with plug-n-play connectors
- Power Line Communication (PLC) between components
- Faster installation with simple two-wire cabling

High productivity and reliability

- Produce power even when the grid is down*
- More than one million cumulative hours of testing
- Class II double-insulated enclosure
- Optimized for the latest high-powered PV modules

Microgrid-forming

- Complies with the latest advanced grid support**
- Remote automatic updates for the latest grid requirements
- Configurable to support a wide range of grid profiles
- Meets CA Rule 21 (UL 1741-SA) and IEEE 1547:2018 (UL 1741-SB 3rd Ed.)

Note:

IQ8 Microinverters cannot be mixed together with previous generations of Enphase microinverters (IQ7 Series, IQ6 Series, etc.) in the same system.

IQ8M and IQ8A Microinverters

INPUT DATA (DC)		IQ8M-72-2-US	IQ8A-72-2-US
Commonly used module pairings ¹	W	260 – 460	295 – 500
Module compatibility		54-cell / 108 half-cell, 60-cell / 120 half-cell, 66-cell / 132 half-cell and 72-cell / 144 half-cell	
MPPT voltage range	V	30 – 45	32 – 45
Operating range	V	16 – 58	
Min. / Max. start voltage	V	22 / 58	
Max. input DC voltage	V	60	
Max. continuous input DC current	A	12	
Max. input DC short-circuit current	A	25	
Max. module I _{sc}	A	20	
Overvoltage class DC port		II	
DC port backfeed current	mA	0	
PV array configuration		1x 1 Ungrounded array; No additional DC side protection required; AC side protection requires max 20A per branch circuit	
OUTPUT DATA (AC)		IQ8M-72-2-US	IQ8A-72-2-US
Peak output power	VA	330	366
Max. continuous output power	VA	325	349
Nominal (L-L) voltage / range ²	V	240 / 211 – 264	
Max. continuous output current	A	1.35	1.45
Nominal frequency	Hz	60	
Extended frequency range	Hz	47 – 68	
AC short circuit fault current over 3 cycles	Arms	2	
Max. units per 20 A (L-L) branch circuit ³		11	
Total harmonic distortion		<5%	
Overvoltage class AC port		III	
AC port backfeed current	mA	30	
Power factor setting		1.0	
Grid-tied power factor (adjustable)		0.85 leading – 0.85 lagging	
Peak efficiency	%	97.8	97.7
CEC weighted efficiency	%	97.5	97
Night-time power consumption	mW	60	
MECHANICAL DATA			
Ambient temperature range		-40°C to +60°C (-40°F to +140°F)	
Relative humidity range		4% to 100% (condensing)	
DC Connector type		MC4	
Dimensions (H x W x D)		212 mm (8.3") x 175 mm (6.9") x 30.2 mm (1.2")	
Weight		1.08 kg (2.38 lbs)	
Cooling		Natural convection – no fans	
Approved for wet locations		Yes	
Pollution degree		PD3	
Enclosure		Class II double-insulated, corrosion resistant polymeric enclosure	
Environ. category / UV exposure rating		NEMA Type 6 / outdoor	
COMPLIANCE			
Certifications	CA Rule 21 (UL 1741-SA), UL 62109-1, IEEE 1547:2018 (UL 1741-SB 3 rd Ed.), FCC Part 15 Class B, ICES-0003 Class B, CAN / CSA-C22.2 NO. 107.1-01 This product is UL Listed as PV Rapid Shutdown Equipment and conforms with NEC 2014, NEC 2017, and NEC 2020 section 690.12 and C22.1-2018 Rule 64-218 Rapid Shutdown of PV Systems, for AC and DC conductors, when installed according to manufacturer's instructions.		

(1) Pairing PV modules with wattage above the limit may result in additional clipping losses. See the compatibility calculator at <https://link.enphase.com/module-compatibility>. (2) Nominal voltage range can be extended beyond nominal if required by the utility. (3) Limits may vary. Refer to local requirements to define the number of microinverters per branch in your area.



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EMAIL: reginnhny@outlook.com

19.58kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON

STEVE

SHEET NAME

DATA SHEET

SHEET SIZE

ANSI B
11" X 17"

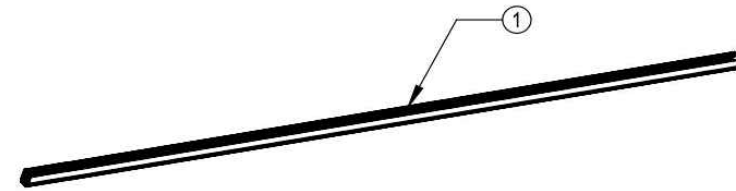
SHEET NUMBER

PV-8



AIRE RAIL A1

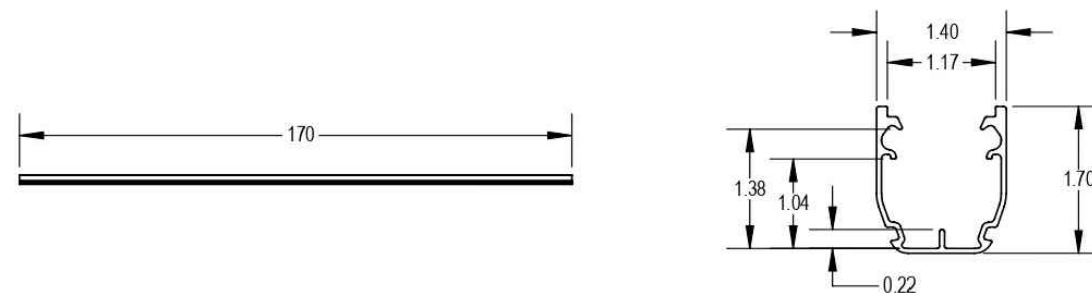
Cut Sheet



ITEM NO	DESCRIPTION	QTY IN KIT
1	Aire Rail, A1, Black(or Clear), 170	1

Part Number	Description
AE-A1-170B	AIRE RAIL, A1, BLACK, 170
AE-A1-170M	AIRE RAIL, A1, MILL, 170

1) Aire A1



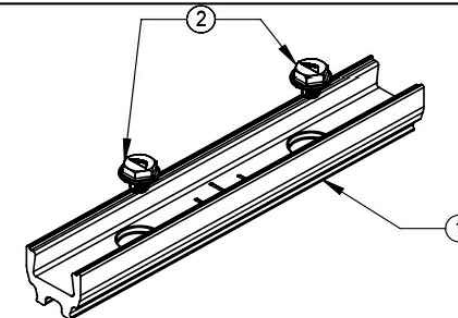
Part Number	Material	Value
AE-A1-170B	6000-Series Aluminum	Black
AE-A1-170M	6000-Series Aluminum	Clear

v1.0



AIRE TIE, A1

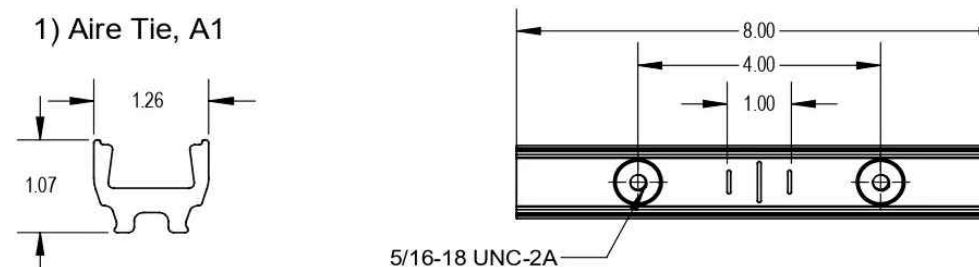
Cut Sheet



ITEM NO	DESCRIPTION	QTY IN KIT
1	Aire Tie, A1	1
2	Aire Splc Bolt, Hex	2

Part Number	Description
AE-A1TIE-01-M1	AIRE TIE, A1 (BONDED SPLICE)

1) Aire Tie, A1



Property	Value
Material	6000 Series Aluminum
Finish	Mill

2) Aire Splc Bolt, Hex



Property	Value
Material	300 Series Stainless Steel
Finish	Clear

v1.0



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SHEET NAME

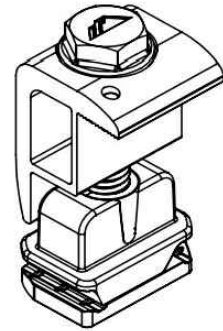
DATA SHEET

SHEET SIZE

ANSI B
11" X 17"

SHEET NUMBER

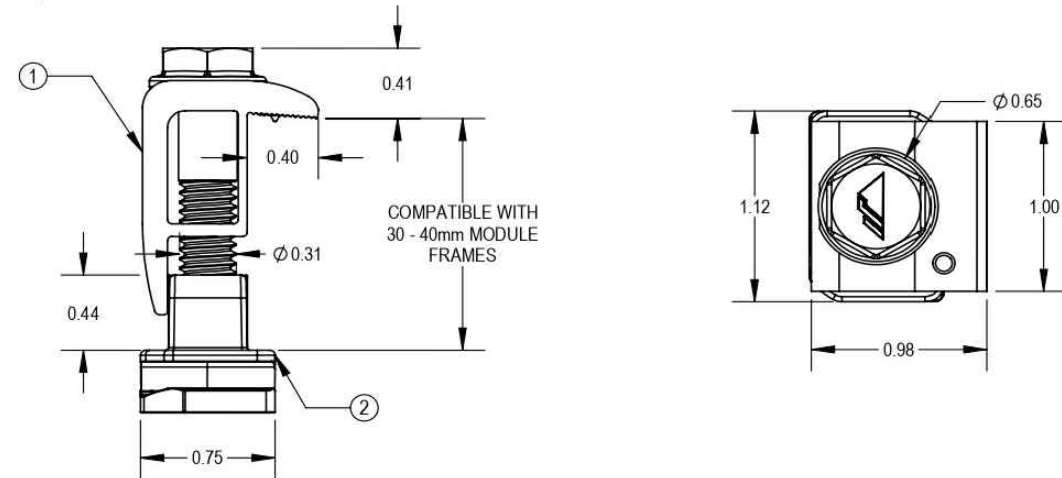
PV-9



ITEM NO	DESCRIPTION	QTY IN KIT
1	Aire Lock End, Black	1

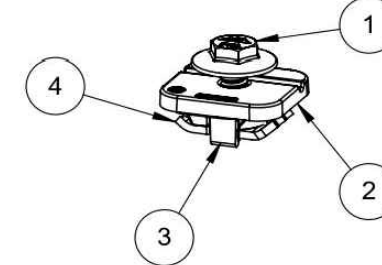
Part Number	Description
AE-END-01-B1	AIRE LOCK END, BLACK

1) Aire Lock End



Item No	Material	Value
1	300 Series Stainless Steel	Clear and Black
2	Polypropelene	Black

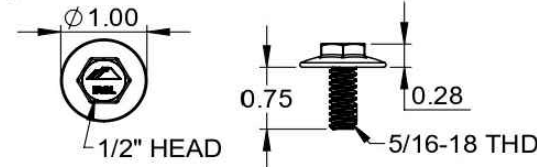
v1.0



ITEM NO.	DESCRIPTION	QTY IN KIT
1	CAP SCREW, 5/16 X 3/4, HEX HEAD	1
2	TOP PLATE GROUNDING LUG	1
3	RETAINING CLIP, GROUNDING LUG	1
4	T-NUT, SHEET METAL	1

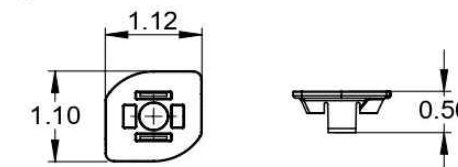
PART NUMBER	DESCRIPTION	WIRE SIZE RANGE (AWG)
AE-LUG-01-M1	AIRE LUG	6-10

1) CAP SCREW, 5/16 X 3/4



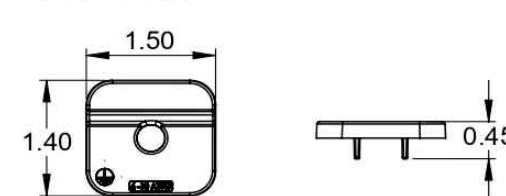
Property	Value
Material	300 Series Stainless Steel
Finish	Clear

3) RETAINING CLIP



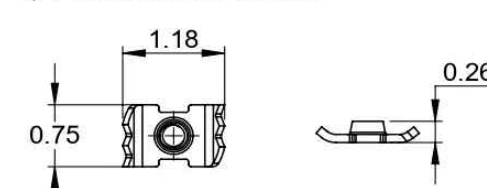
Property	Value
Material	Polypropylene
Finish	Black

2) TOP PLATE



Property	Value
Material	Tin Plated Aluminum
Finish	Clear Matte

4) T-NUT, SHEET METAL



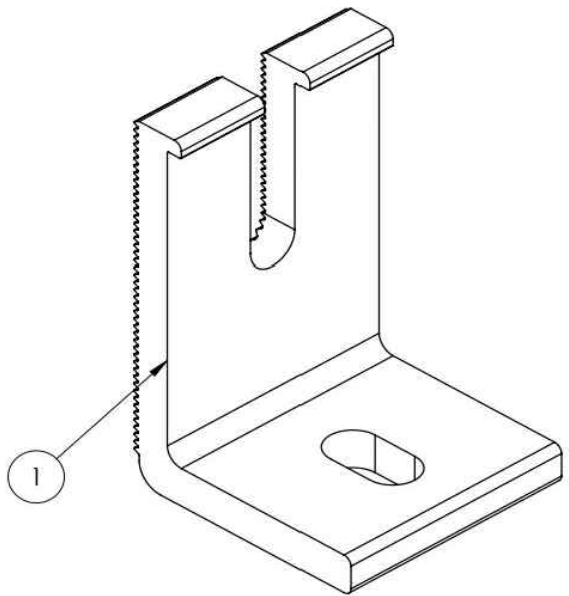
Property	Value
Material	300 Series Stainless Steel
Finish	Clear

v1.0

DESCRIPTION	DATE	REV

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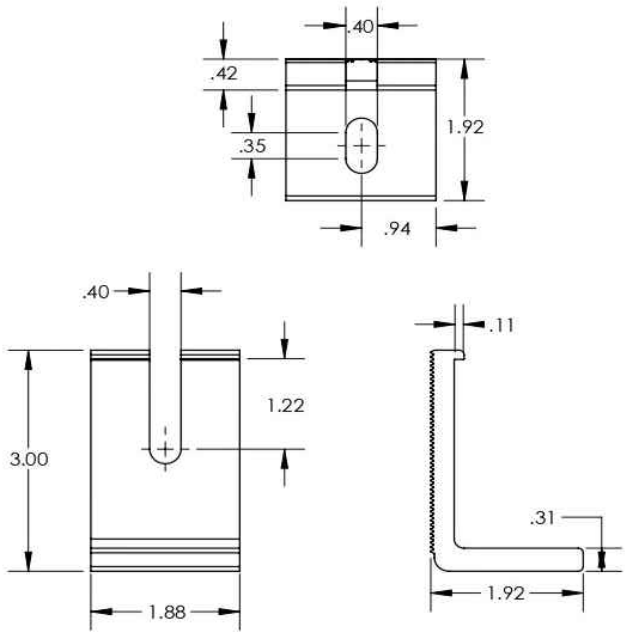
L-Foot



ITEM NO	DESCRIPTION	QTY IN KIT
1	FOOT, EXTRUDED L - SLOTTED	4

PART NUMBER	DESCRIPTION
FM-LFT-003	Kit, 4Pcs, Slotted L-Foot, Mill
FM-LFT-003-B	Kit, 4Pcs, Slotted L-Foot, Black

1) Foot, Extruded L - Slotted



v1.11

603 SOLAR
24 CHARTER ST.
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SALES PERSON

STEVE

SHEET NAME

DATA SHEET

SHEET SIZE

ANSI B
11" X 17"

SHEET NUMBER

PV-11



Existing Conditions



View from Bow Street











Project Address: 445 Marcy Street

Permit Requested: Certificate of Approval

Application: Public Hearing #3

A. Property Information - General:

Existing Conditions:

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 13,855 SF +/-
- Estimated Age of Structure: c.1920
- Building Style: Vernacular cottage
- Number of Stories: 1
- Historical Significance: C
- Public View of Proposed Work: Marcy Street, Pray Street and Partridge Street
- Unique Features: N/A
- Neighborhood Association: The South End



B. Proposed Work: The relocation of the existing cottage on the lot and renovations to the existing cottage.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Relocation of existing cottage
- Exterior renovations to the existing cottage



**HISTORIC
SURVEY
RATING

C**

D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

SUMMARY OF WORK:

REHABILITATION AND RELOCATION ON SITE

- Move existing "candy shop" structure approximately 25 feet to the south on same lot. Extend driveway to back of relocated candy shop.
- Rehabilitate existing structure (existing conditions are in various states of disrepair, with some non-compliant building code conditions):
 1. Replace siding and trim, install weather barrier and flashing on repaired sheathing as required for weather tight building envelope.
 - A. Replace wood shingles in kind.
 - B. Replace novelty dutch lap siding with wood clapboard siding.
 - C. Replace (abate hazardous material) asbestos shingle siding with wood shingle siding.
 - D. Replace wood trim in kind. Infill missing pieces.
 2. Remove aluminium triple track storm windows at gable structure.
 3. Remove plywood panel over broken attic window.
 4. Replace single-pane "brocco style" double hung windows at gable structure, and fixed storm windows at porch, with double-hung double-pane simulated divided light Marvin windows, aluminum clad wood (same sizes as existing).
 5. Respace slightly, the porch front windows and door to allow for structural reinforcement of corner studs and door jambs, to comply with structural code. Currently framed with single stud at these locations.
 6. Remove deteriorated wooden steps and hand rails, replace with granite steps.
 7. Provide new foundation compliant with structural code for foundations within flood zone: reinforced concrete, clad with brick, install crawlspace flood vents as required by code.
 8. Replace one rear double hung window with a wooden paneled carriage style lifting door.
 9. Replace gutters and downspouts in kind (aluminum, K profile)
 10. Replace roofing shingles in kind (asphalt shingle)
 11. Remove front aluminum storm door. Replace front inner wooden door with new wooden door (in kind).
 12. Replace side wooden door with new wooden door (in kind).

SHEET LIST

- A.01 COVER
- A.02 EXISTING CONDITION
- A.03 EXISTING CONDITION, DETAILS
- A.04 HISTORIC TIMELINE
- A.11 SITE PLAN
- A2.1 ELEVATIONS
- A2.2 PERSPECTIVE, MARCY ST
- A2.3 PERSPECTIVE, PARTIDGE ST
- A.31 MATERIALS
- A.32 MATERIALS - WINDOWS



445 MARCY STREET

**PUBLIC HEARING
MAY 16, 2025**

A.01 **COVER**
445 MARCY STREET
SCALE:
5/16/2025



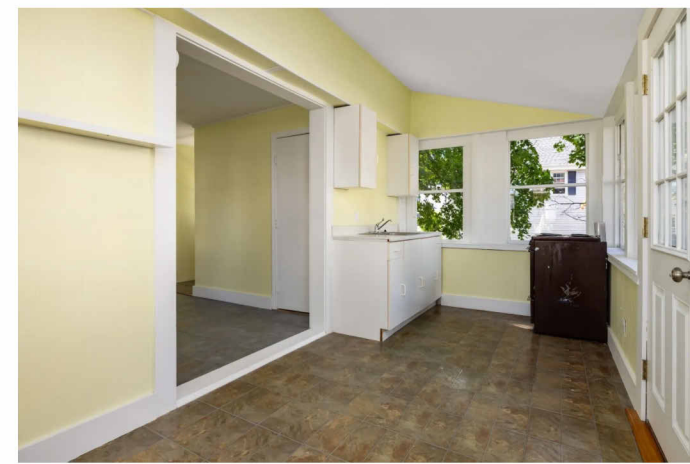
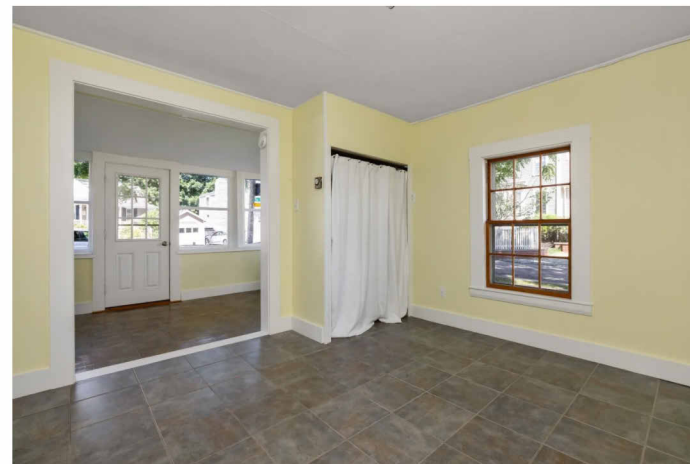


- Gable portion of structure, circa 1920
- 12' X 16'
 - Origins as an accessory building in New Castle NH.
 - Attic structure - lack of ridge beam, joist sizing, and rough hewn widely spaced roof decking indicates this was built for utilitarian use.
 - Wood siding is Dutch-lap (aka, Novelty, German, Drop) style clapboards with shingles at gable.
 - single pane wood double hung replacement windows (Brosco style) with aluminum storm windows
 - Moved to Marcy Street in Portsmouth in late 1950's.



- Shed addition, and concrete block foundations - circa 1955 (Portsmouth)
- 8' X 16'
 - built when gable structure moved to site
 - asbestos siding
 - crawlspace
 - fixed wood storm windows
 - bead board floor decking

- Interior
- living/bed room
 - porch with partial kitchen
 - 3/4 bathroom
 - 4x12 & 12x12 ceramic tile flooring



A.02 **EXISTING CONDITION - CANDY SHOP**
445 MARCY STREET

SCALE:
5/16/2025





ASBESTOS SIDING



STORM WINDOW, TRIM & SIDING DETAIL



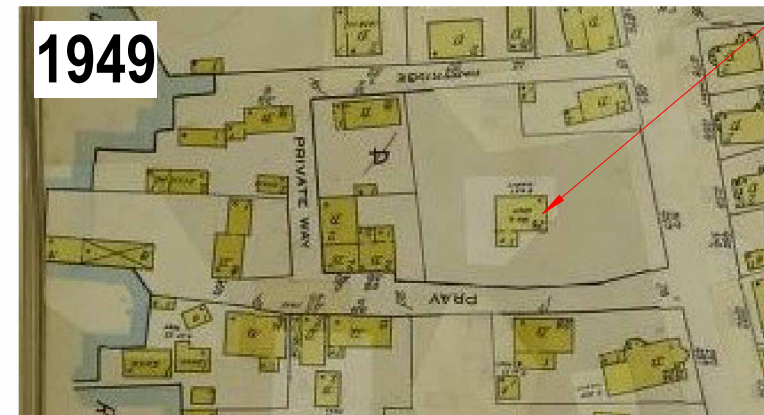
FASCIA TRIM DETAIL



ATTIC WINDOW



STORM WINDOW, TRIM & SIDING DETAIL



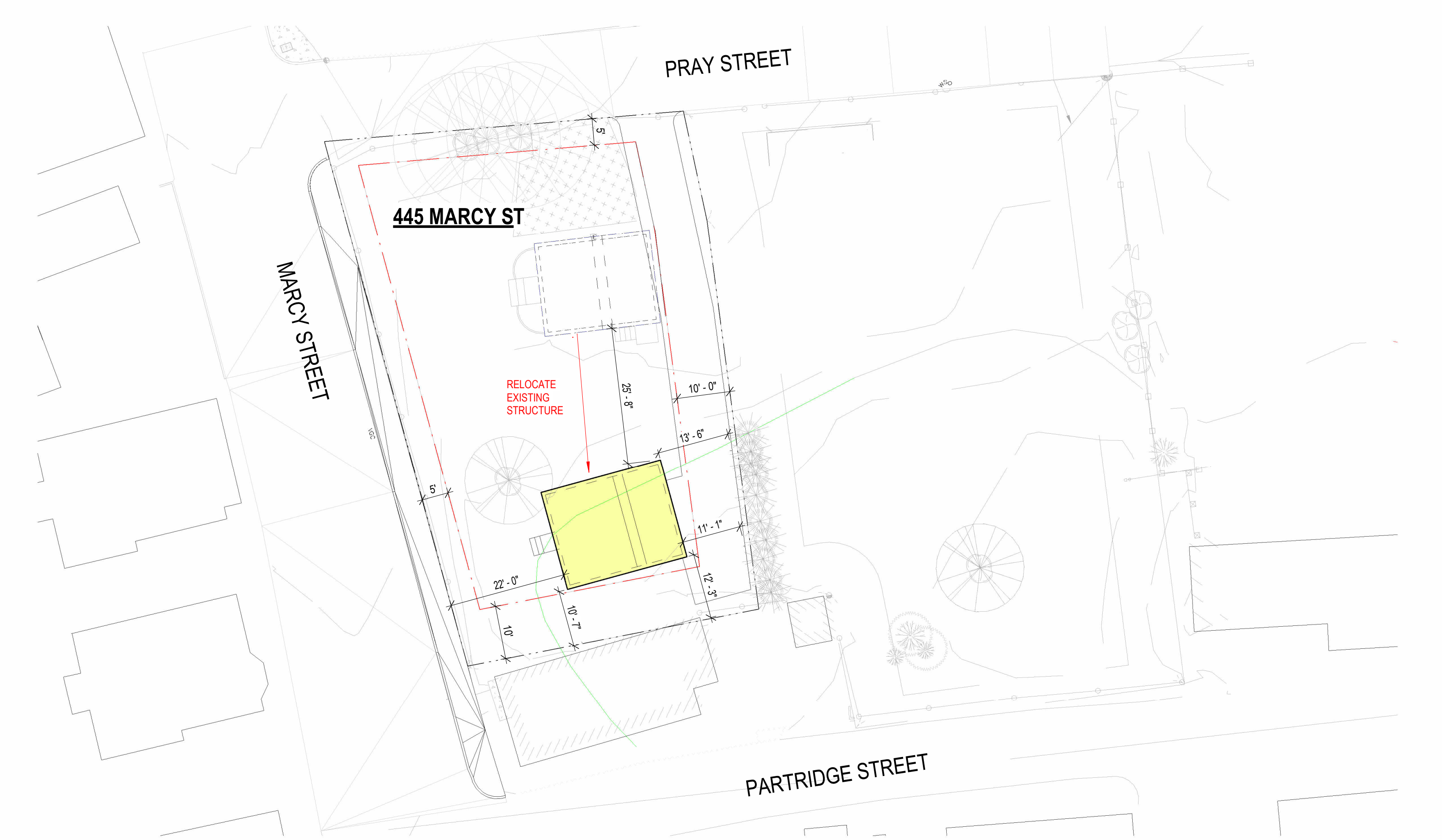
Humphrey Fernald (1741 - 1766) built house
Captain Thomas Dalling (1766 - 1777)
Mary & John Hart (1777-1785)
George & Nancy Janorin (1785-1856)
Hall Varrell (1856-1898)
May V Brown (1889 - 1954)
Ashley Jones (1955 - 1994) demolished house
James Sanders (1994-)

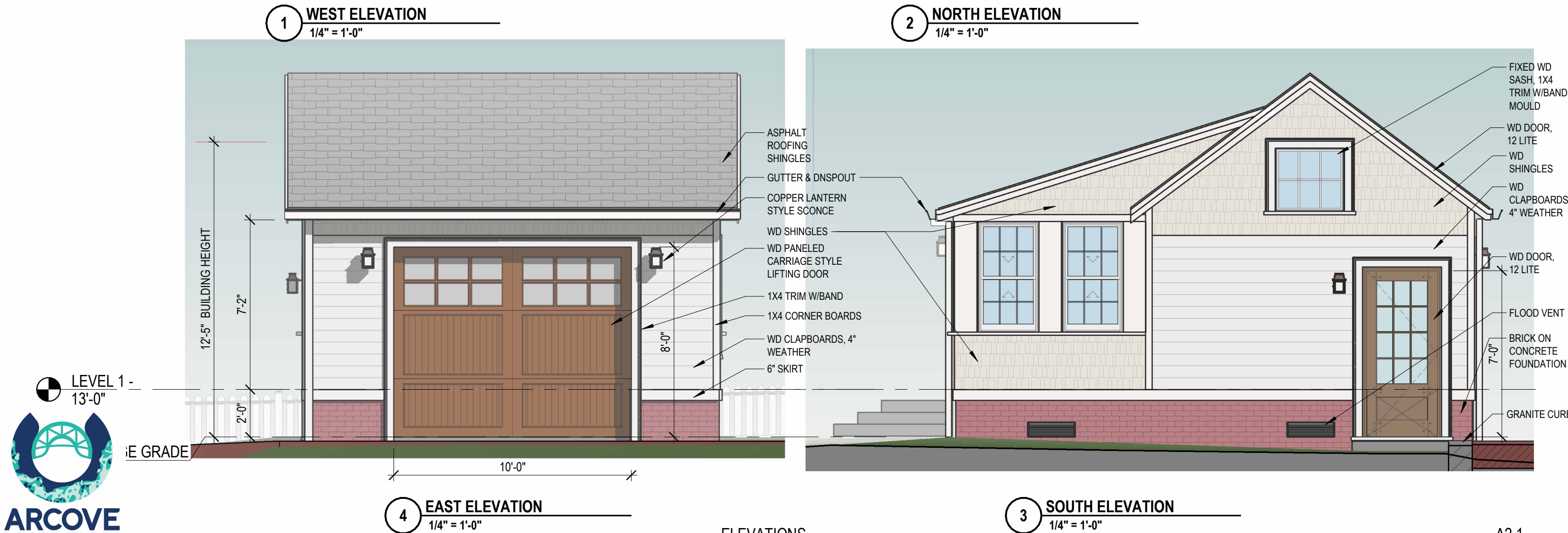
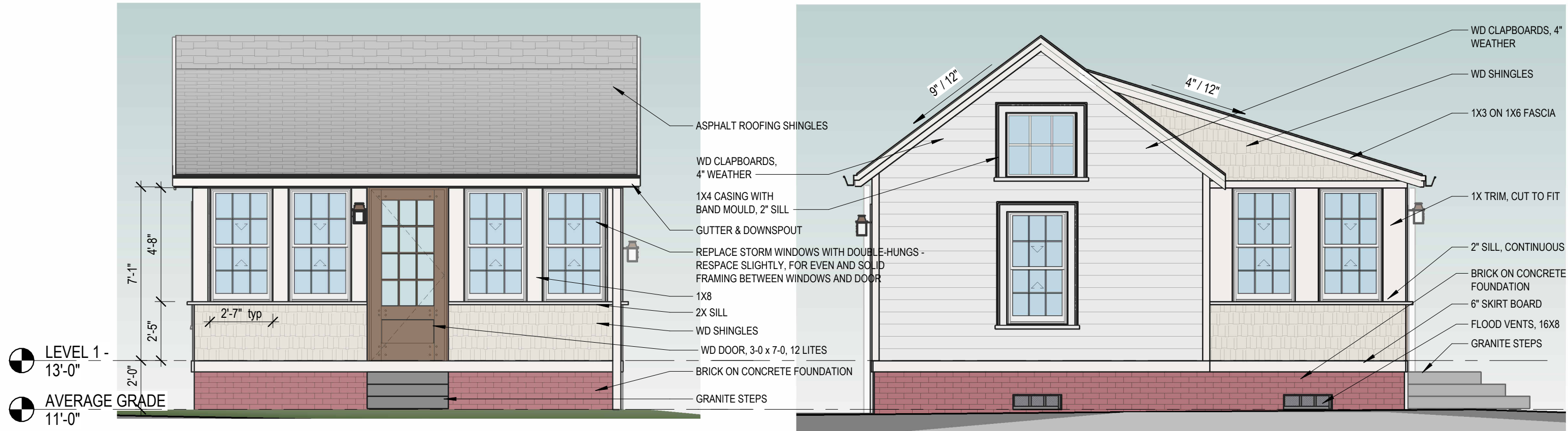


A.04

HISTORIC TIMELINE Candy shop
445 MARCY STREET

SCALE:
5/16/2025









REAR OF STRUCTURE,
BEYOND PLANTINGS



WATERSTRUCK CLAY BRICK, THIN SLICED (AT CHIMNEYS)

Box - Lipped



ALUMINUM GUTTERS, PAINTED

Available in 5" to 12"
Available in 26' lengths

- 5" Lipped Box PDF
- 7" Lipped Box PDF
- 6" Lipped Box PDF
- 8" Lipped Box PDF



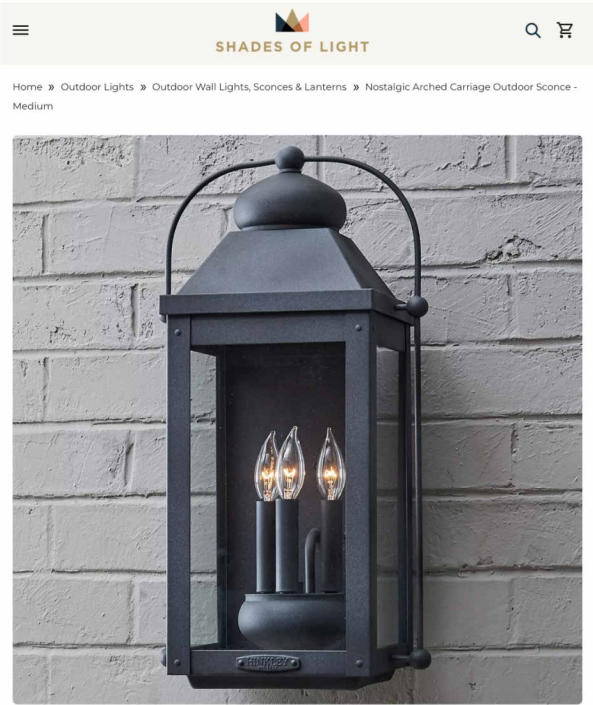
WOOD (CEDAR) PANELED CARRIAGE STYLE OVERHEAD DOOR
Manufacturer: RICHARD WILCOX (or equivalent)
Series: Landmark™ Rockwood
1" cedar boards on 2" insulated steel panels, SDL 2x6-lite glazing

HOME » CATALOG

MORIN OLD PORT BLEND RED RANGE

REQUEST A SAMPLE

Category: Face & Thin Brick



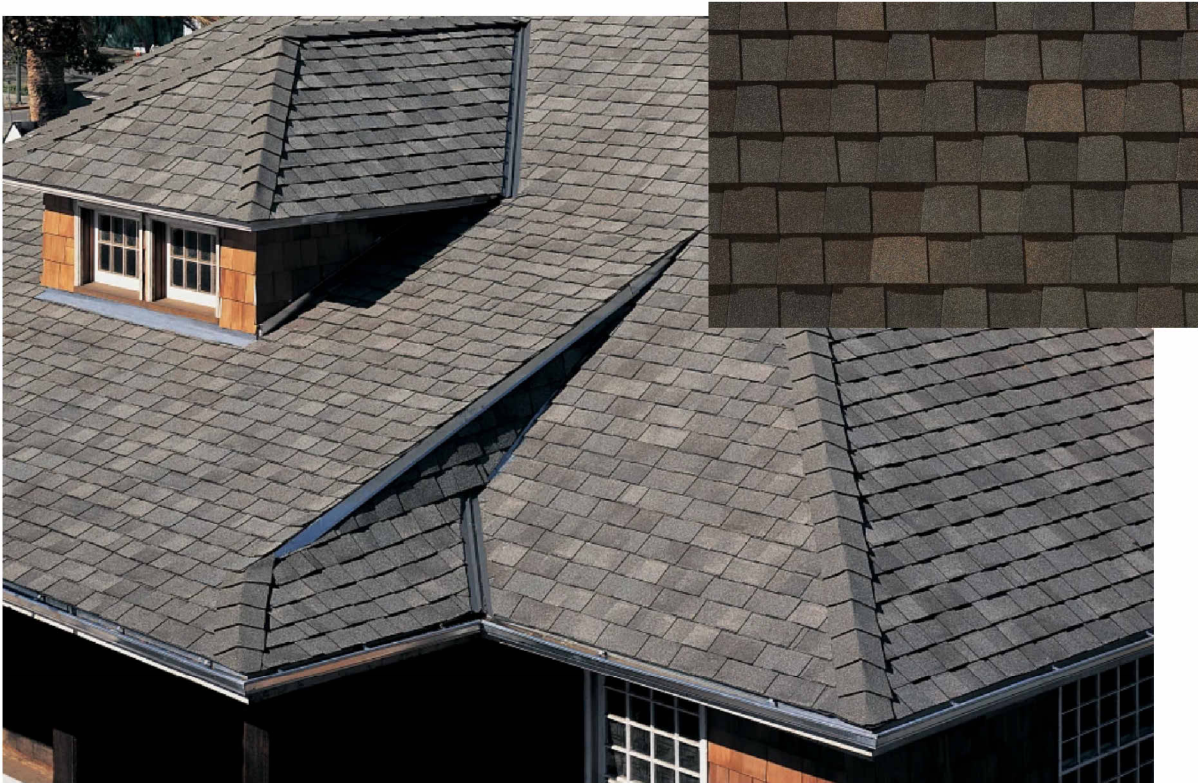
Nostalgic Arched Carriage Outdoor Sconce
- Medium

AT SIDE AND BACK PORCHES, PRAY ST
ELECTRIC OPTION
NOSTALGIC ARCHED CARRIAGE OUTDOOR SCENCE
MEDIUM
RUBBED BRONZE FINISH
SHADES OF LIGHT, CO



F-37512U
2'-6", 2'-8",
3'-0" x 6'-8"

ENTRY DOOR
SIMPSON
12 LITE WOOD



ROOFING SHINGLES
CERTAINTED, LANDMARK TL LAMINATED ASHPALT SHINGLES
SHENANDOAH

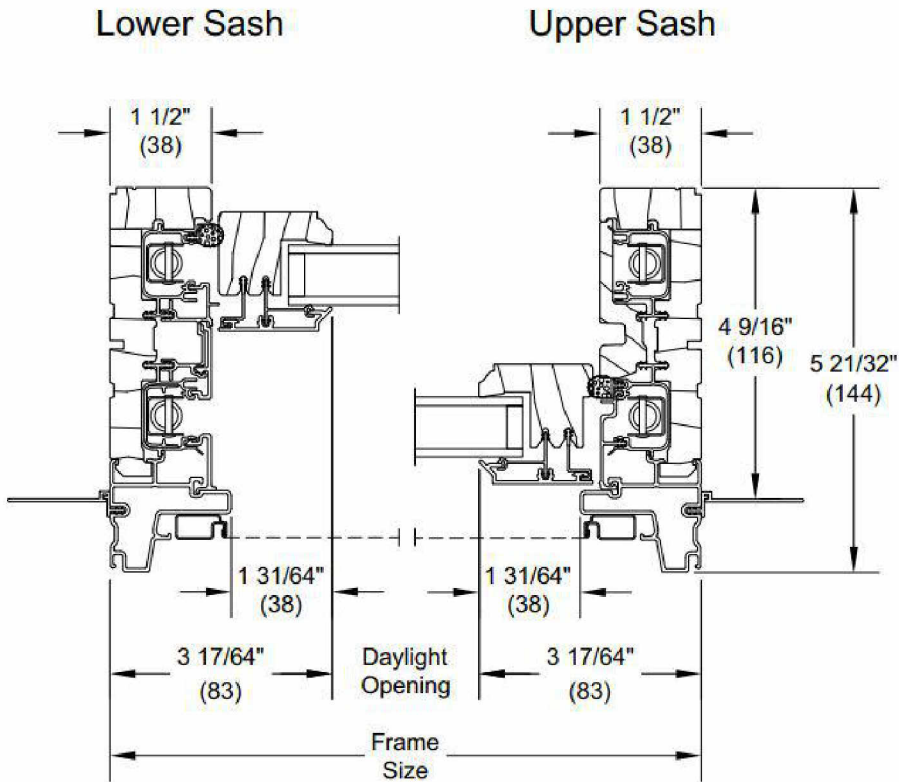
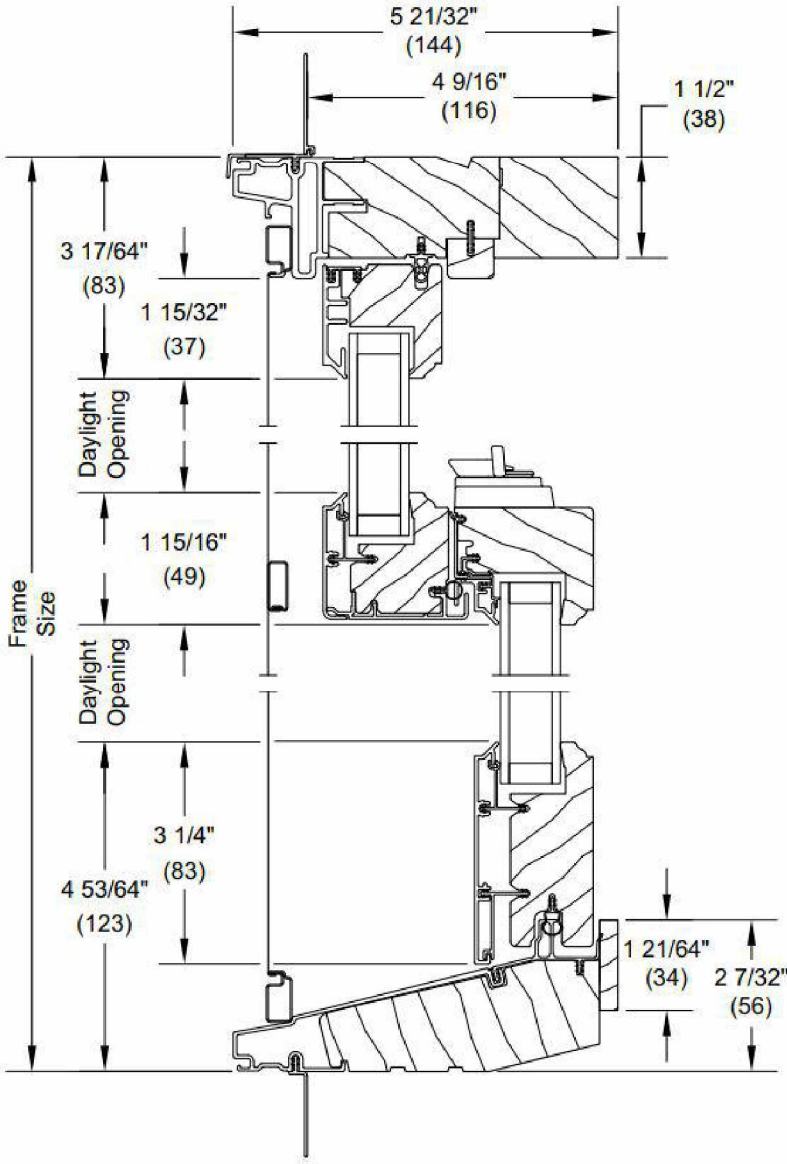


Section Details: Operating

Scale: 3" = 1' 0"

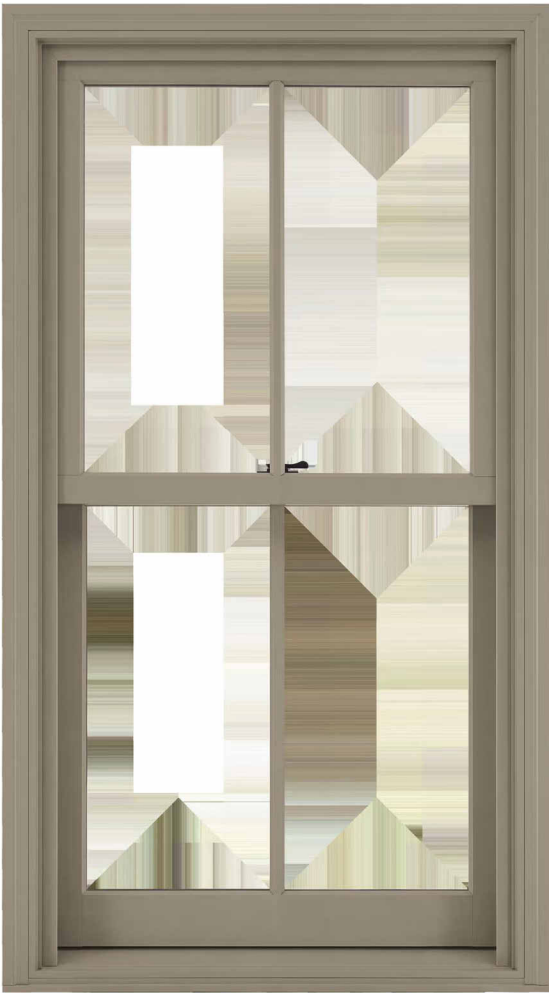
Double Hung

Ultimate Signature
Aluminum clad wood
half screens

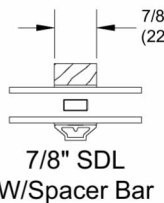
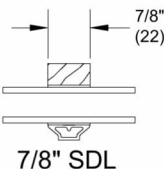
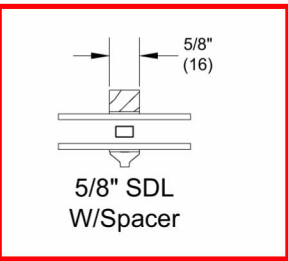
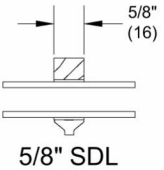


Color selection grid for window frames:

Stone White	Cashmere	Pebble Gray	Gunmetal	Bronze	Ebony
Cadet Gray	Cascade Blue	Coconut Cream	Sierra White	Bright Silver Pearlescent	Copper Pearlescent
Evergreen	Hampton Sage	Clay	Suede	Liberty Bronze Pearlescent	Bahama Brown



Optional Interior Square Simulated Divided Lite



Simulated Divided Lite with
Spacer Bar (SDLS)

Project Address: 6 Dearborn Street

Permit Requested: Certificate of Approval

Application: Public Hearing #4

A. Property Information - General:

Existing Conditions:

- Zoning District: General Residence A (GRA)
- Land Use: Residential
- Land Area: 10,000 SF +/-
- Estimated Age of Structure: c.1810-20
- Building Style: Federal
- Number of Stories: 2
- Historical Significance: C
- Public View of Proposed Work: Dearborn Street and Maplewood Avenue
- Unique Features: N/A
- Neighborhood Association: The North End



B. Proposed Work: Replacement of all siding and windows

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Replace all siding
- Replace all windows



**HISTORIC
SURVEY
RATING

C**

D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



REVISIONS			
NO.	DATE	REVISION	
1	2/14/25	DEVELOPMENT OF AS-BUILT FLOOR PLANS	
2	3/24/25	REVISED PROPOSED PLANS	
3	5/19/25	DEVELOP BUILDING PLANS	

ELEVATIONS

AS-BUILT / RENOVATION	6 DEARBORN STREET PORTSMOUTH, NH
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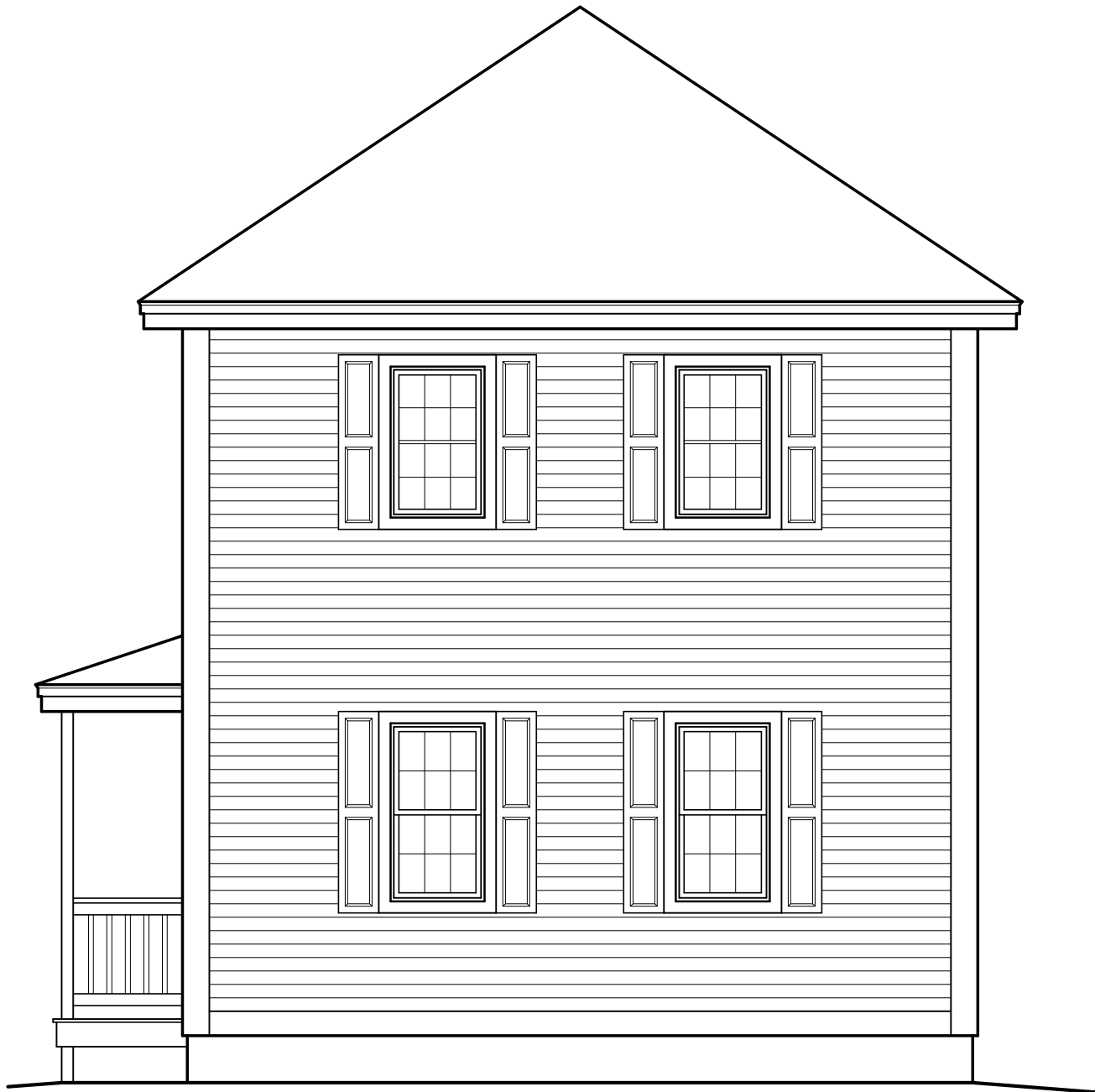
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



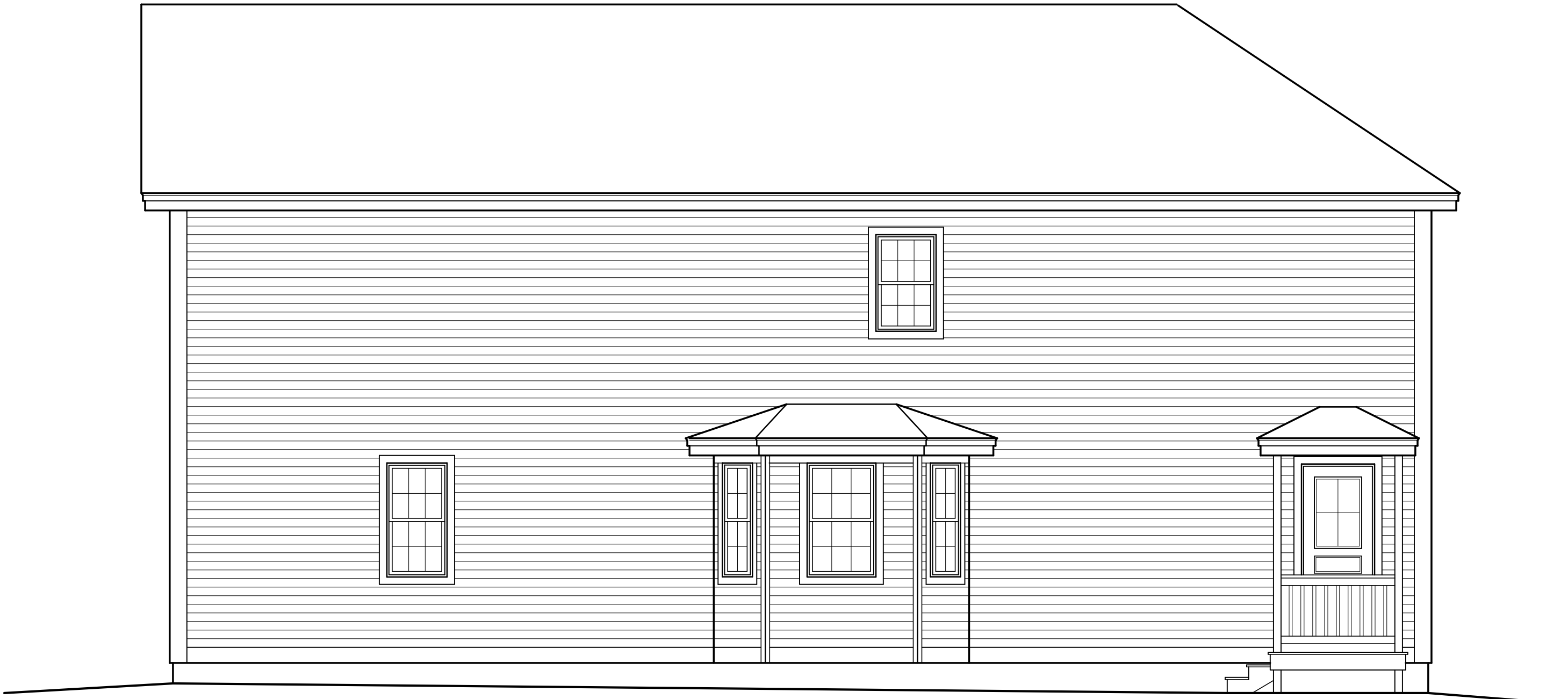
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

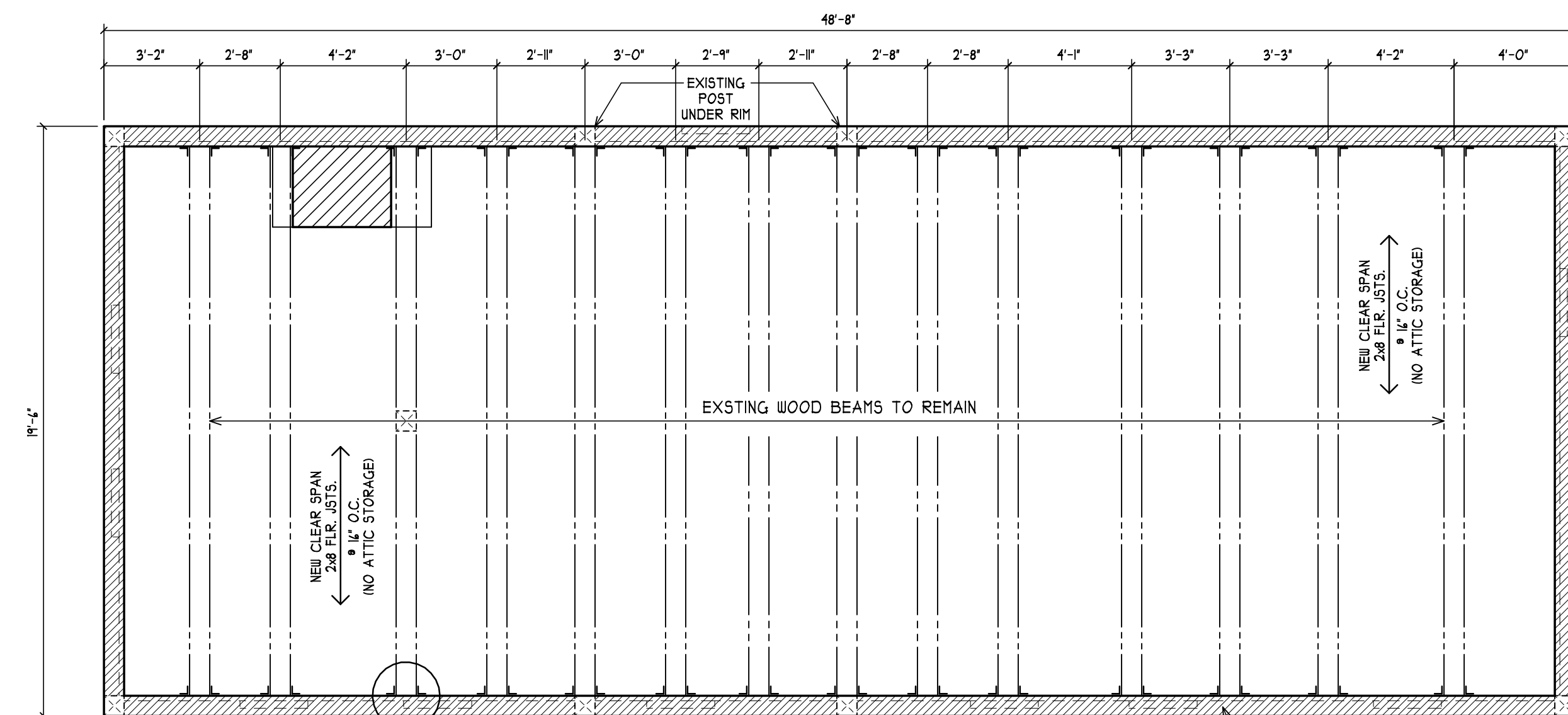
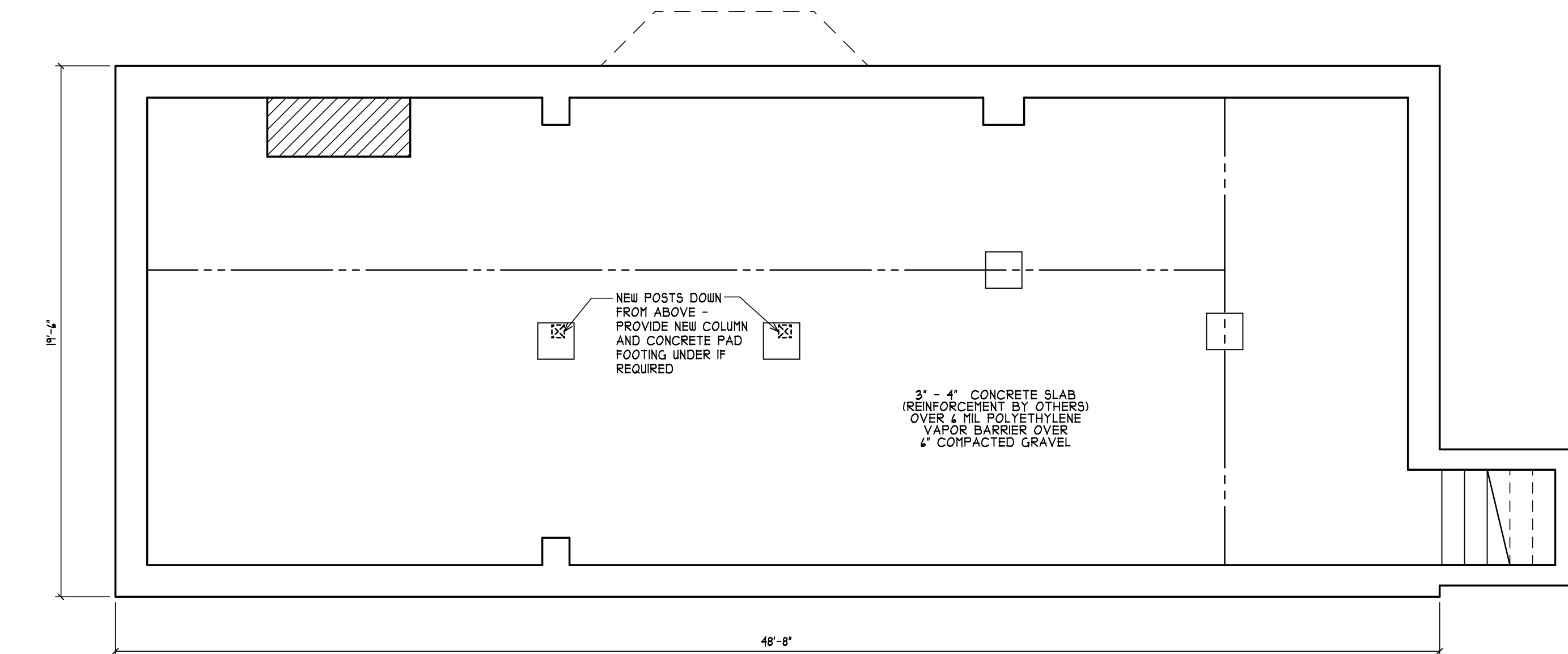
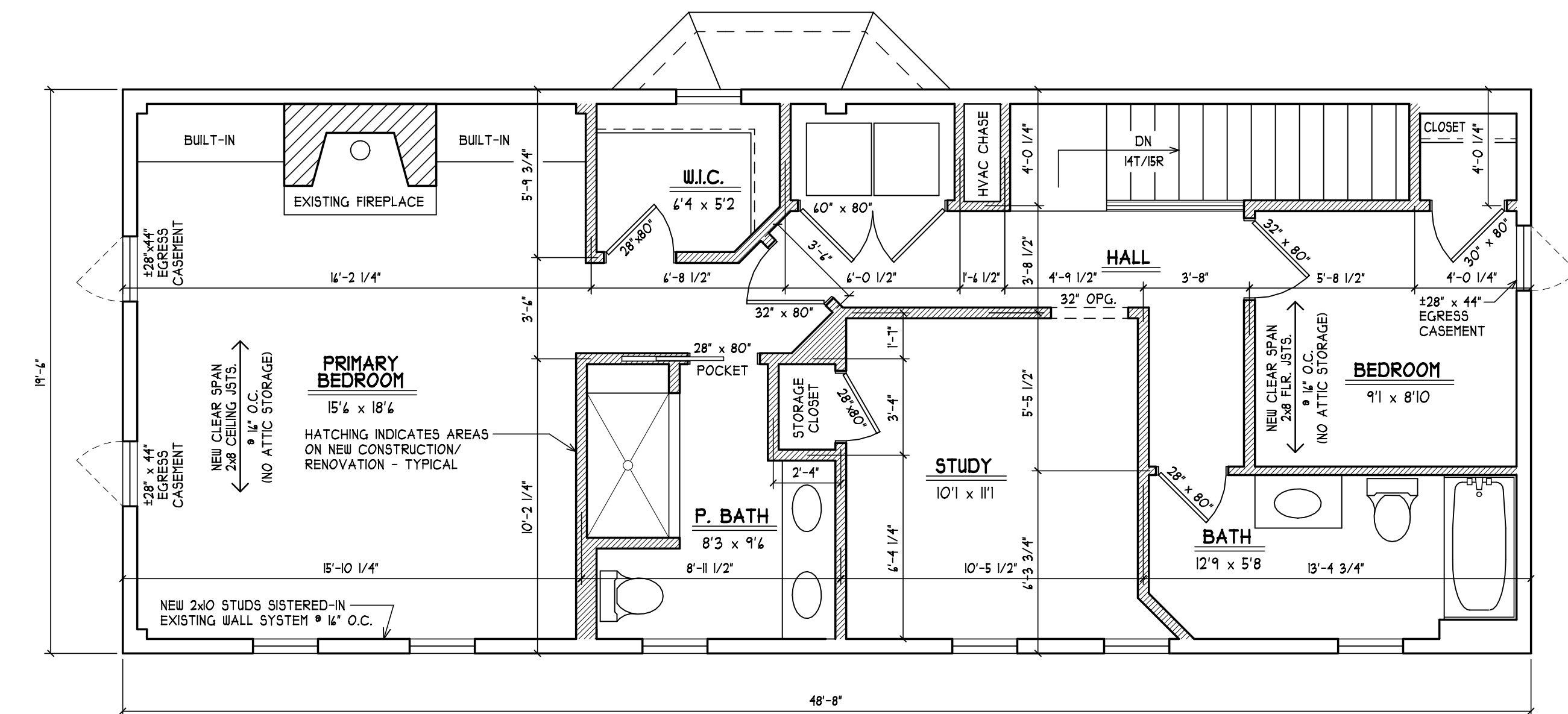
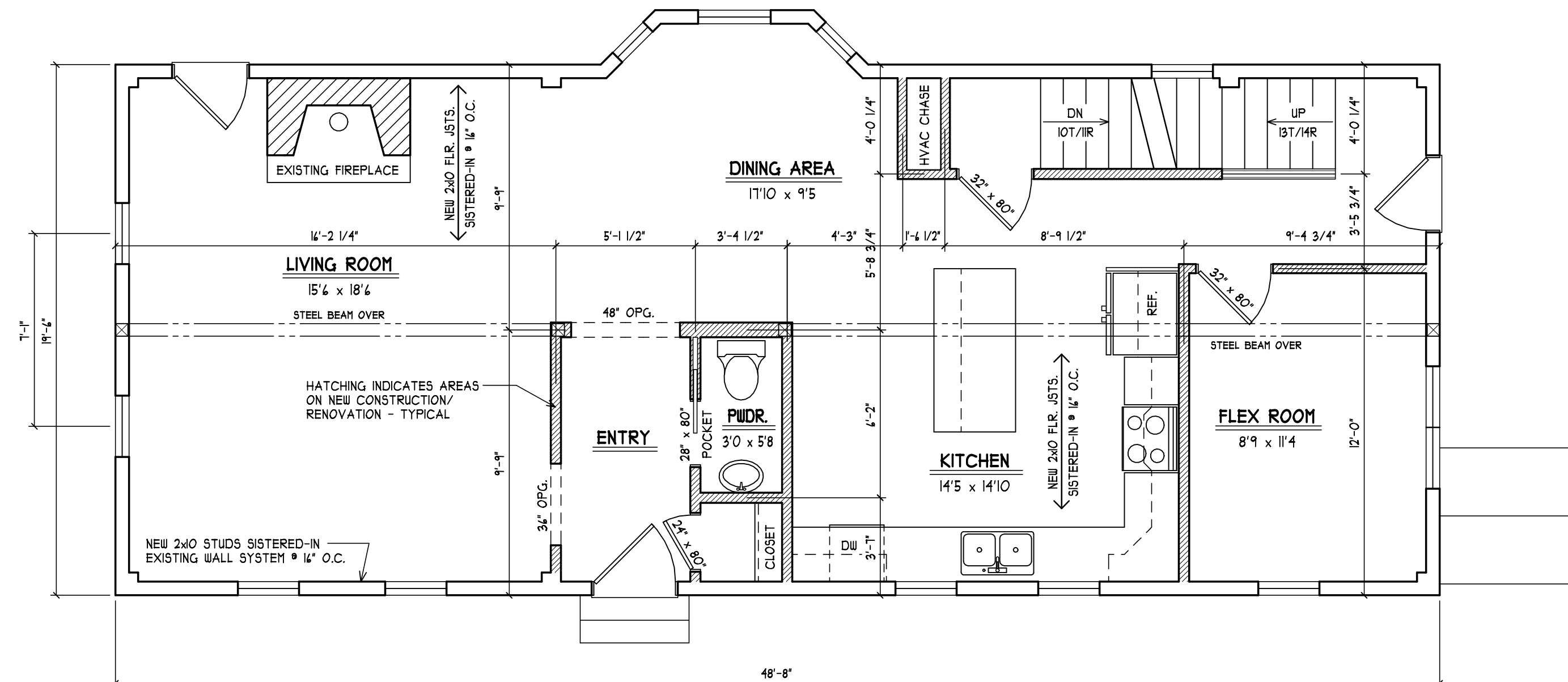
SCALE: 1/4" = 1'-0"



REVISIONS		NO.	DATE	REVISION
1	2/14/25	1	2/14/25	DEVELOPMENT OF AS-BUILT FLOOR PLANS
2	3/24/25	2	3/24/25	REVISED PROPOSED PLANS
3	5/9/25	3	5/9/25	DEVELOP BUILDING PLANS

FLOOR PLANS

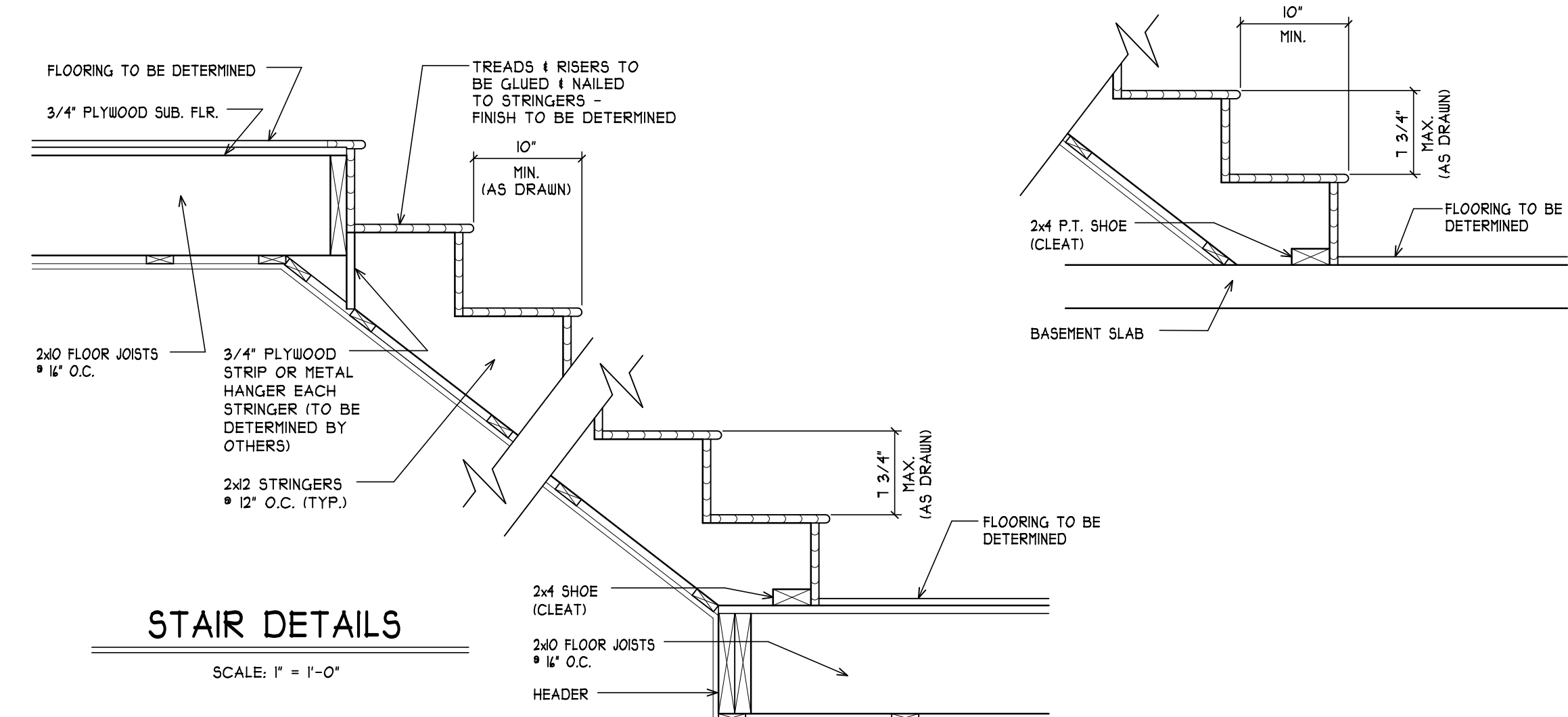
AS-BUILT / RENOVATION 6 DEARBORN STREET PORTSMOUTH, NH



ALL ENGINEERED STEEL/WOOD BEAMS TO BE CHECKED AND VERIFIED FOR LOCATION AND SPAN PRIOR TO START OF BUILDING CODES, INCLUDING ENERGY CODES. CONSTRUCTION BY CONTRACTOR AND OR BEAM MANUFACTURER (TYPICAL)

2x FLOOR JOISTS (SEE FRAMING NOTES FOR EXACT SIZES)

SEE SECTIONS R501 - R501 (IRC) FOR DETAILS ON THE DESIGN AND CONSTRUCTION OF ALL FLOORS FOR ALL BUILDINGS



GENERAL NOTES:

CONCRETE FOUNDATIONS:
SEE FOUNDATION PLAN (SHEET A-4)
FOR FOUNDATION SIZES AND NOTES.

REFER TO FOUNDATION DETAILS
(SHEET A-4) FOR REINFORCEMENT SCHEDULE.

ALSO SEE SECTIONS R401 - R408
(2018 IRC) FOR ADDITIONAL DETAILS
ON THE DESIGN AND CONSTRUCTION
OF THE FOUNDATION AND
FOUNDATION SPACES FOR
ALL BUILDINGS

CONTRACTOR TO PROVIDE ADEQUATE
VAPOR BARRIERS UNDER ALL CONCRETE SLABS

CONTRACTOR TO PROVIDE ADEQUATE
HEADERS OVER ALL WINDOWS AND DOORS
ON EXTERIOR LOAD-BEARING WALLS (TYP.)

LIFE SAFETY CODES, AND WHERE APPLICABLE
THE REQUIREMENTS OF THE AMERICAN
DISABILITIES ACT.

DOUBLE UP FLOOR JOISTS • LOCATIONS
OF NON-LOAD BEARING WALLS AND UNDER
ALL BATHTUBS (IE: BATHING TUBS/WHIRLPOOLS),
KITCHENS, LAUNDRY ROOMS, ETC. (TYPICAL)

CONTRACTOR TO PROVIDE ADEQUATE
BLOCKING AND BRIDGING BETWEEN FLOOR
JOISTS AS REQUIRED (TYPICAL)

NOTE:
SEE NEW HAMPSHIRE STATE BUILDING CODE (IBC,
IPC, INC, IECC, IRC, I EBC) AS PUBLISHED BY
THE ICC AND THE NATIONAL ELECTRICAL
CODE AS PUBLISHED BY THE NFPA FOR IN DEPTH
DETAILS ON BUILDING IN ACCORDANCE WITH
CITY BUILDING REGULATIONS

IBC INTERNATIONAL BUILDING CODE
IPC INTERNATIONAL PLUMBING CODE
IECC INTERNATIONAL MECHANICAL CODE
IECC INTERNATIONAL ENERGY CONSERVATION CODE
IRC INTERNATIONAL RESIDENTIAL CODE
IEBC INTERNATIONAL EXISTING BUILDING CODE
ICC INTERNATIONAL CODE COUNCIL
NFPA NATIONAL FIRE PROTECTION ASSOCIATION
NEC NATIONAL ELECTRICAL CODE

FABRICATION AND MATERIALS SUPPLIED
AND INSTALLED SHALL CONFORM TO ALL
APPLICABLE LOCAL, STATE & NATIONAL
BUILDING CODES, INCLUDING ENERGY CODES,
LIFE SAFETY CODES, AND WHERE APPLICABLE
THE REQUIREMENTS OF THE AMERICAN
DISABILITIES ACT.

ENERGY EFFICIENCY NOTE:
COMPLIANCE SHALL BE DEMONSTRATED BY EITHER
MEETING THE REQUIREMENTS OF THE INTERNATIONAL
ENERGY CONSERVATION CODE 2018 OR MEETING THE
REQUIREMENTS OF CHAPTER 11 IN THE 2018
INTERNATIONAL RESIDENTIAL CODE

ALL ENGINEERED STEEL/WOOD
BEAMS TO BE CHECKED AND VERIFIED FOR
LOCATION AND SPAN PRIOR TO START OF
CONSTRUCTION BY CONTRACTOR AND OR
BEAM MANUFACTURER (TYPICAL)

THE CONTRACTOR IS TO ENSURING WINDOWS
MEET PREVAILING BUILDING AND LIFESAFETY
CODES FOR MINIMUM EGRESS CLEAR OPENING
HEIGHT, WIDTH, AND AREA - THE CONTRACTOR
WILL ADJUST WINDOW SCHEDULE ACCORDINGLY.

REFER TO SECTIONS R402.1 FOR WINDOW SILL
HEIGHT ABOVE GROUND (OR SURFACE BELOW)
AND TO SECTION 310 FOR EGRESS WINDOWS &
BASEMENTS PRIOR TO PLACING WINDOW ORDER

REFER TO SECTION 311 FOR MEANS OF EGRESS
PRIOR TO ORDERING DOORS

MOISTURE VAPOR RETARDERS SHALL BE
INSTALLED IN ACCORDANCE WITH THE
REQUIREMENTS SET FORTH IN THE 2018 I.R.C.
SECTIONS R308.1 AND R102.1 MOISTURE CONTROL

ROOF CONSTRUCTION:

VERIFY RIDGE BOARD SIZE IN FIELD
(LENGTH TO EXCEED PLUM CUT OF RAFTER)

2 x 10 RAFTERS • 16" O.C. (MIN.O.)

2 x 8 COLLAR TIES • 16" O.C.

2 x 8 CEILING JOISTS • 16"

25# ASPHALT SHINGLES ON 15# BUILDING
PAPER ON 5/8" OSB SHEATHING

ICE & WEATHER SHIELD AT RAFTER TAILS & VALLEYS

EAVE/RAKE: METAL DRIP EDGE
1x4 PINE BLOCKING (SUB-FASCIA)
1x6 PINE BD. FASCIA
3/8" AC EXT. GO. PLYWD SOFFIT 11/2"
CONT. LOUVERED VENT (SOFFIT ONLY)

EXTERIOR WALL CONSTRUCTION:

2x4 WOOD STUDS • 16" O.C. 11/2"XVYK
(OR EQUAL) WIND BARRIER AND 1/2" PLYWOOD

2 x 4 DOUBLE TOP PLATE

2 x 4 SINGLE BOTTOM PLATE

INTERIOR CONSTRUCTION:

2x4 & 2x4 WOOD STUDS • 16" O.C.

2x4 & 2x4 DOUBLE TOP PLATE

2x4 & 2x4 SINGLE BOTTOM PLATE

WALL - 1/2" GYPSUM WALL BOARD EA. SIDE STUD -
MOISTURE-RESISTANT / FIRE-RATED
WHERE REQUIRED

CLG. - 1/2" G.W.B. ON 1x3 WOOD STRAPPING • 16" O.C. -
MOISTURE-RESISTANT / FIRE-RATED
WHERE REQUIRED

2x2 STAIR STRINGERS • 12" O.C.

FLOOR CONSTRUCTION:

2x10 WOOD FLOOR JOISTS • 16" O.C. 11/2"XVYK TONGUE &
GROOVE PLYWD. GLUED & NAILED (TYP. 10X10)

SEE PLAN BUILT-UP BEAMS SIZES

FOUNDATION CONSTRUCTION:

8" CONCRETE FOUNDATION WALL WITH DBL. 2x4 P.T. SILL
WITH SILL SEAL

8" CONC. FROST WALLS (WHERE SHOWN) TO 48" BELOW GD.

CONTINUOUS CONCRETE FOOTING - SIZE BY OTHERS

REFER TO SECTION R404.1.2.2 FOR HORIZONTAL AND VERTICAL
REINFORCEMENT FOR FOUNDATION WALLS

PROVIDE MATCHING CORNER DOUELS LAP 50 BAR
DIAMETERS (TYPICAL)

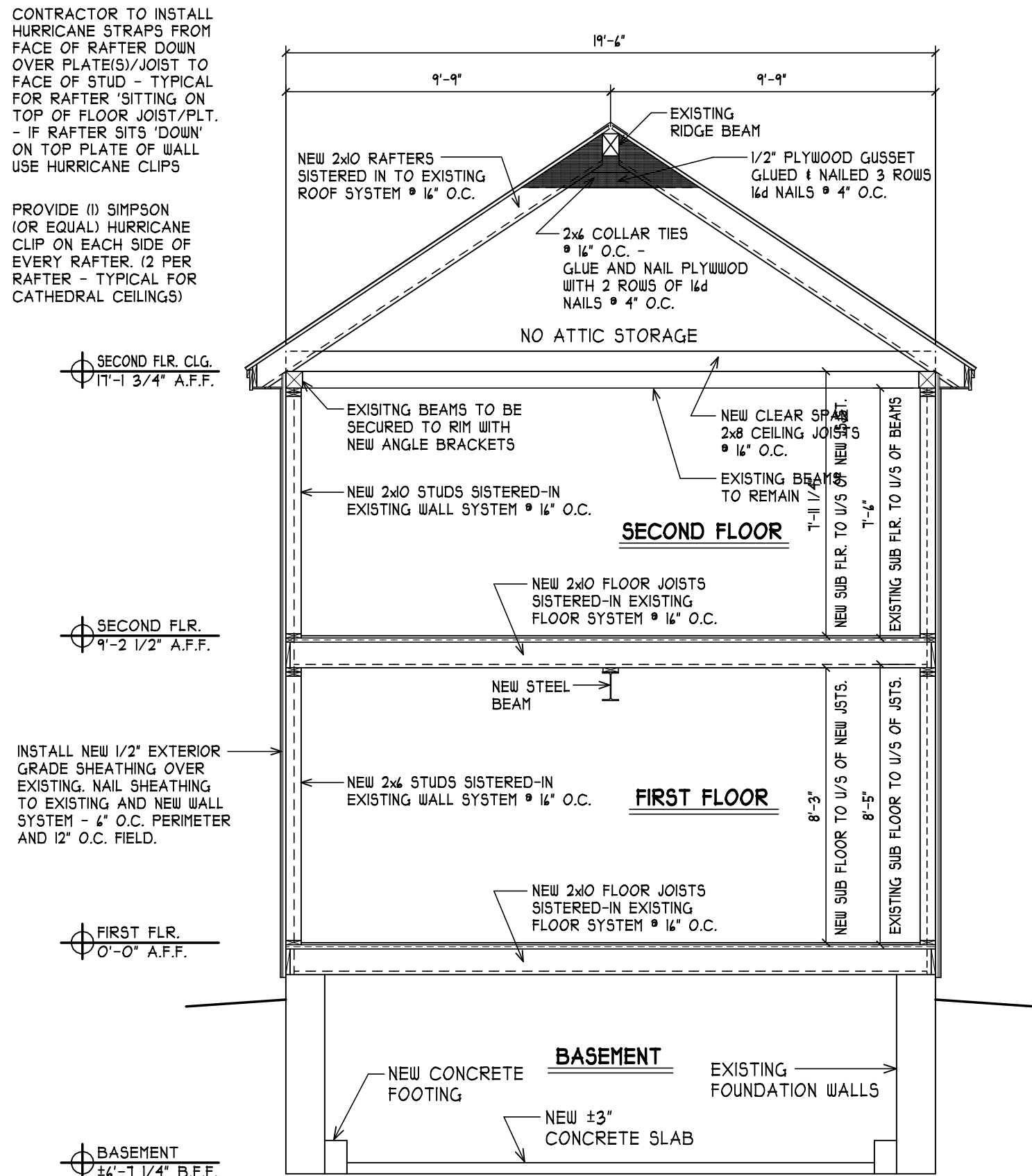
PROVIDE 3 1/2" DIA. STEEL COLUMNS OVER CONCRETE
FOOTINGS AS REQ'D FOR BEAMS SHOWN ON PLAN

INSULATION

WALLS: R-21 CAVITY INSULATION

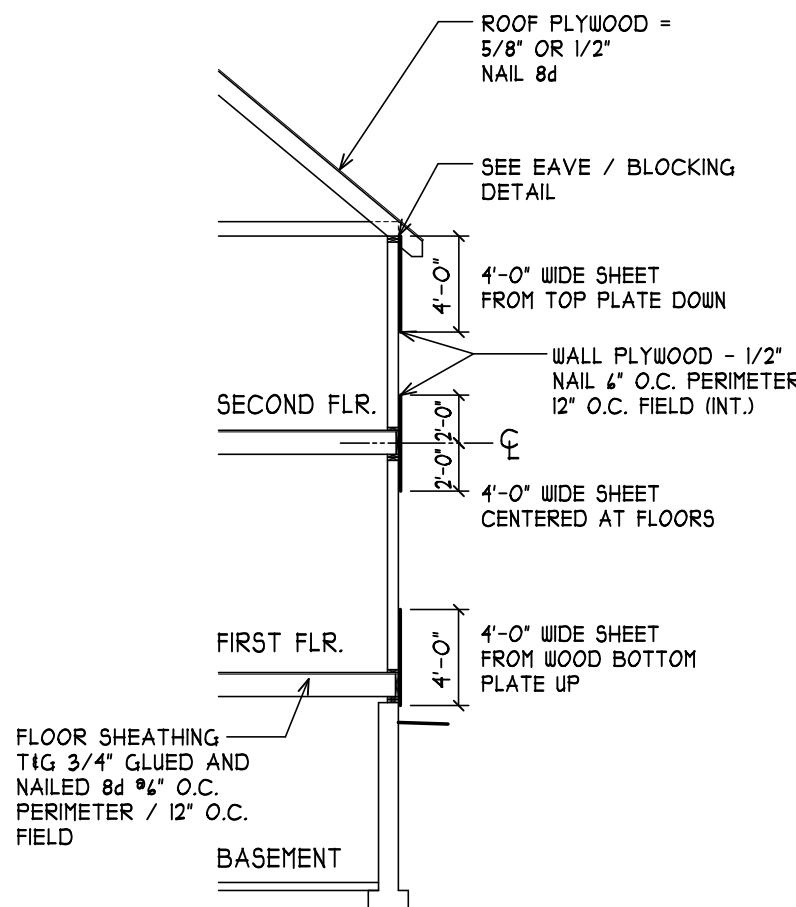
FLOOR: R-30 OR INSULATION SUFFICIENT TO FILL JOIST CAVITY

CEILING: R-49 - HOWEVER, IF MAINTAINING THE FULL R
VALUE OVER THE PLATES (RAISED) R-38



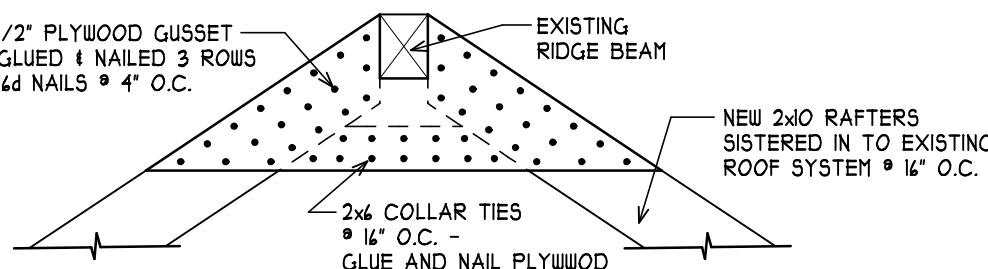
TYPICAL CROSS SECTION

SCALE: 1/4" = 1'-0"



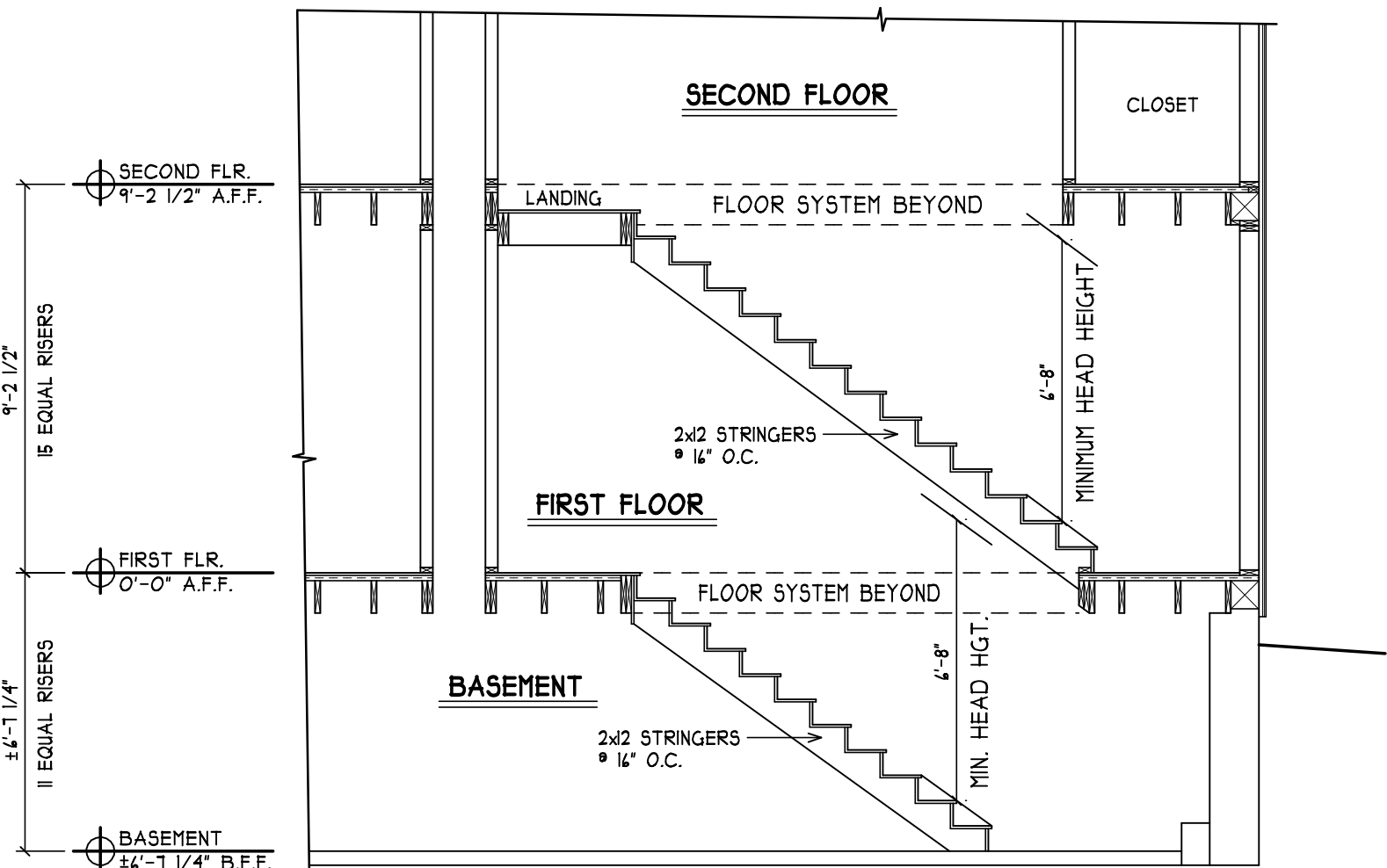
SIMILAR PLYWOOD LAP DETAIL "K"

SCALE: 1/8" = 1'-0"



PLYWOOD GUSSET DETAIL

SCALE: 1/4" = 1'-0"



STAIR SECTION

SCALE: 1/4" = 1'-0"

NOTE:
PLANS DESIGNED TO THE
2021 INTERNATIONAL
RESIDENTIAL CODE.



NO.	DATE	REVISIONS	
		REVISION	REVISION
1	2/14/25	DEVELOPMENT OF AS-BUILT FLOOR PLANS	
2	3/24/25	REVISED PROPOSED PLANS	
3	5/9/25	DEVELOP BUILDING PLANS.	

CROSS SECTIONS & DETAILS

AS-BUILT / RENOVATION
6 DEARBORN STREET
PORTSMOUTH, NH

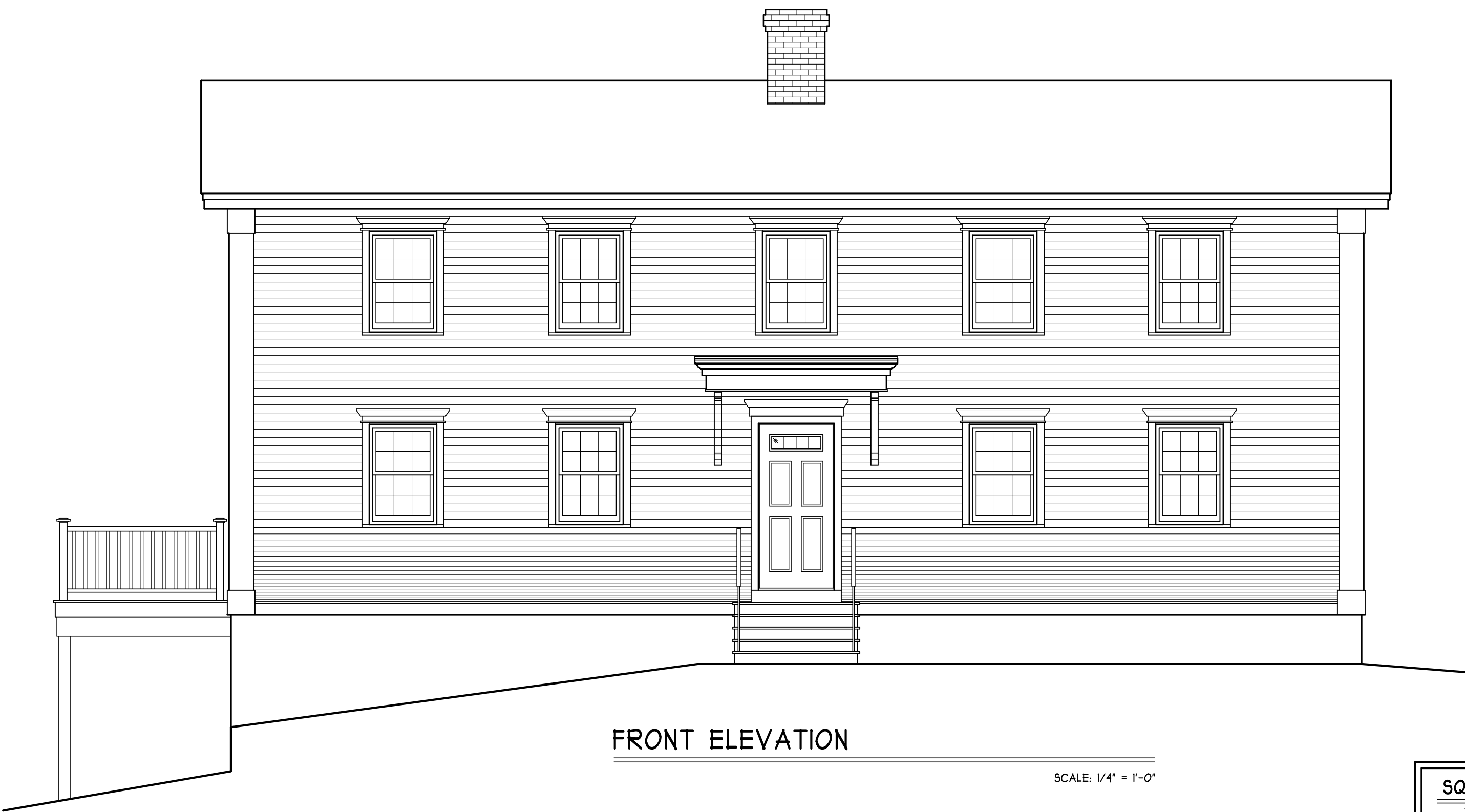
A-3



REVISIONS		REVISION		DATE		REVISION		DATE		REVISION		DATE		REVISION		DATE	
NO.	1	DATE	5/1/25	REVISION	DEVELOPMENT OF PROPOSED PLAN	NO.	1	DATE	5/1/25	REVISION	DEVELOPMENT OF PROPOSED PLAN	NO.	1	DATE	5/1/25	REVISION	DEVELOPMENT OF PROPOSED PLAN

ELEVATIONS

RENOVATION
10 DEARBORN STREET
PORTSMOUTH, NH



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

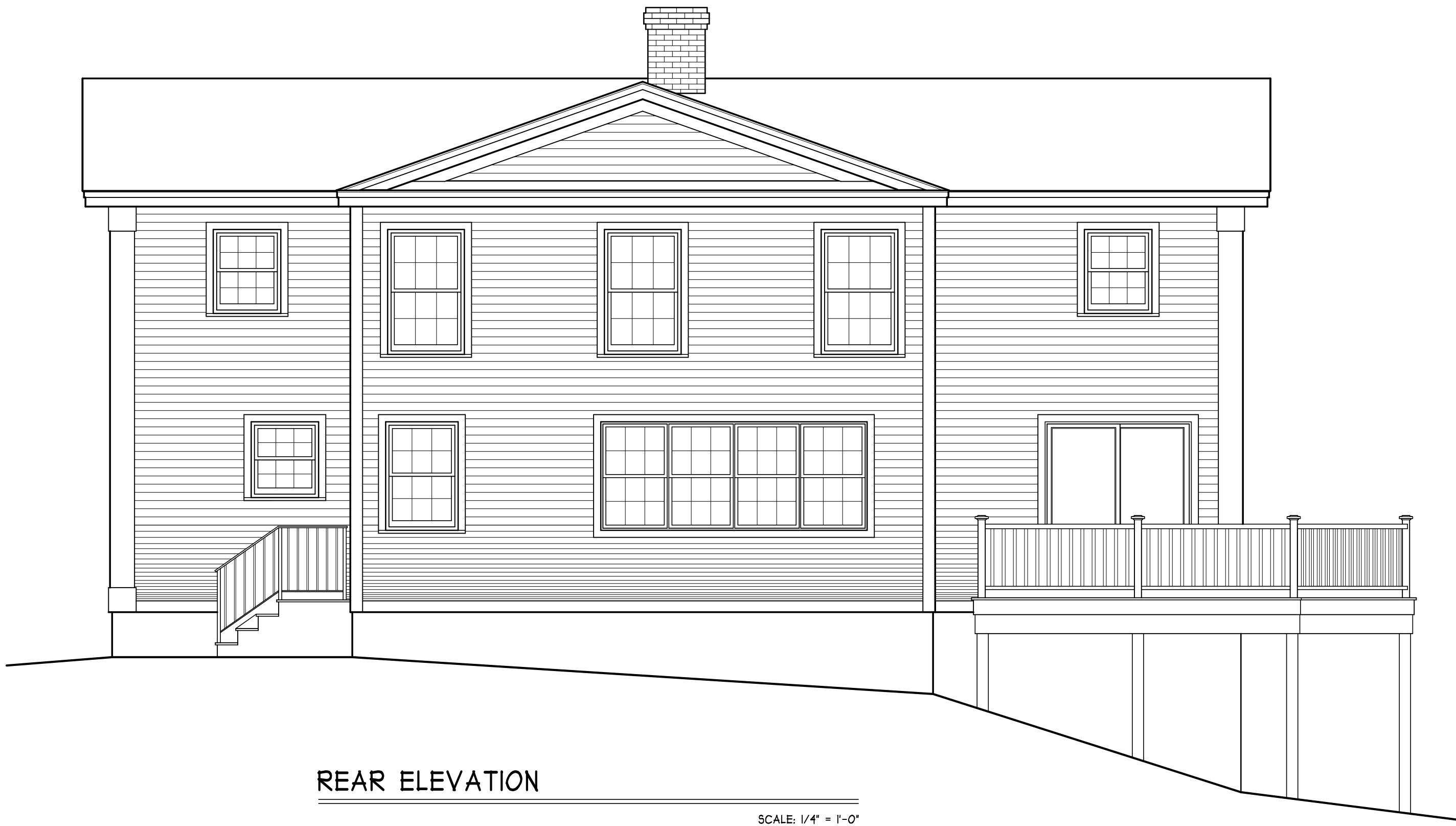
SQUARE FOOTAGE TABLE	
TOTALS EXCLUDE GARAGE, OPEN AREAS, UNFINISHED STORAGE AREAS	
PLAN	SO. FTG.
FIRST FLOOR	1234
SECOND FLOOR	1234
BASEMENT FLOOR	900
TOTAL:	3368

NOTE:
SQUARE FOOTAGE INCLUDES ALL
WALL STRUCTURE, LIVING SPACE,
CLOSETS, & STAIRS, HOWEVER, DOES
NOT INCLUDE GARAGE SPACE, DECKS,
OR PATIOS.



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

Project Address: 266-278 State Street and 84 Pleasant Street

Permit Requested: Work Session

Application: Work Session A

A. Property Information - General:

Existing Conditions:

- Zoning District: Character District 4 & Downtown Overlay
- Land Use: Mixed-Use
- Land Area: 1,750 SF +/-
- Estimated Age of Structure: c.1870's-1900
- Building Style: Italianate/Commercial
- Number of Stories: 3-4
- Historical Significance: C
- Public View of Proposed Work: State Street & Downtown
- Unique Features: N/A
- Neighborhood Association: Downtown



B. Proposed Work: Construction of a new 4-story building and renovations to an existing structure (84 Pleasant Street)

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Construct a new 4-story building
- Renovations to existing structure (84 Pleasant Street)



**HISTORIC
SURVEY
RATING

C**

D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



DO NOT SCALE PRINTS

mjk

Michael J. Keane
Architects, PLLC

ARCHITECTURE
PLANNING
DESIGN

101 Kent Place
Newmarket, NH
03857

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mjkarchitects.com

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REVISIONS

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APPROVALS

HDC - 05/16/25

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copies may contain unauthorized modifications

PROJECT

RESTORATION AND EXPANSION OF
266, 270 278 STATE STREET
AND 84 PLEASANT ST,
PORTSMOUTH NH

PNF TRUST OF 2013
282 MIDDLE STREET
PORTSMOUTH, NH
03801

TITLE

RENDERINGS

DRAWN BY:

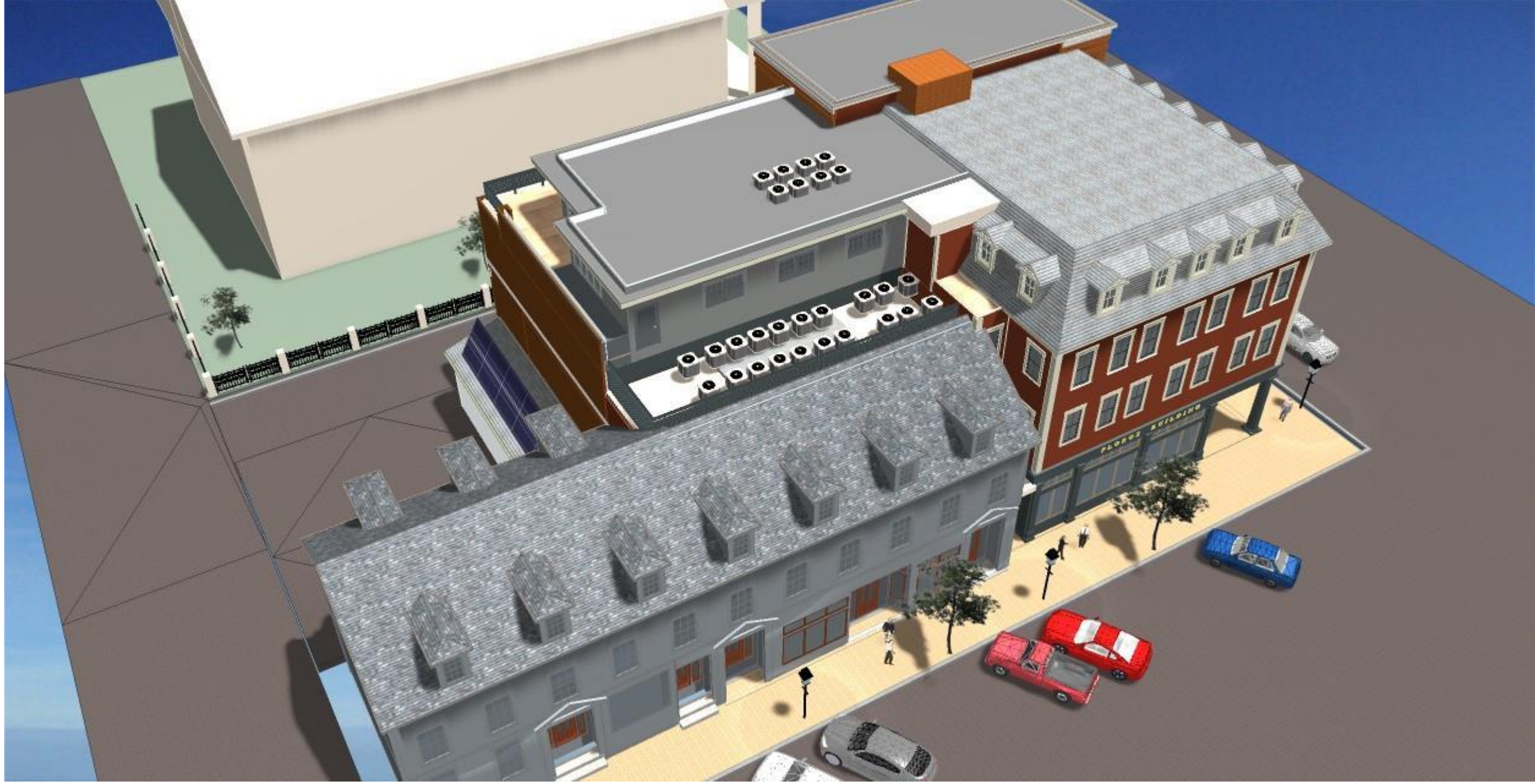
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DATE: 5/16/2025

SCALE: AS NOTED

DRAWING NO.

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APPROVALS

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PORTSMOUTH NH

PNF TRUST OF 2013
282 MIDDLE STREET
PORTSMOUTH, NH
03801

TITLE

RENDERINGS.

DRAWN BY:

CHECKED BY:

DATE: 5/16/2025

SCALE: AS NOTED

DRAWING NO.

HDC.2

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STATE STREET ELEVATION
SCALE: 1/4" = 1'-0"

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PROJECT

RESTORATION AND EXPANSION OF
266, 270 278 STATE STREET
AND 84 PLEASANT ST,
PORTSMOUTH NH

PNF TRUST OF 2013
282 MIDDLE STREET
PORTSMOUTH, NH
03801

TITLE

STATE STREET ELEVATION

DRAWN BY:

CHECKED BY:

DATE: 5/16/2025

SCALE: AS NOTED

DRAWING NO.

HDC.3

DO NOT SCALE PRINTS



PLEASANT STREET ELEVATION
SCALE: 1/4" = 1'-0"



PLEASANT STREET BLOCK ELEVATION
SCALE: 1" = 10'-0"

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PROJECT

RESTORATION AND EXPANSION OF
266, 270, 278 STATE STREET
AND 84 PLEASANT ST.,
PORTSMOUTH, NH

PNF TRUST OF 2013
282 MIDDLE STREET
PORTSMOUTH, NH
03801

TITLE

PLEASANT ST ELEV

DRAWN BY:

CHECKED BY:

DATE: 5/16/2025

SCALE: AS NOTED

DRAWING NO.

HDC.4

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CHURCH STREET ELEVATION
SCALE: 1/4" = 1'-0"

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PROJECT

RESTORATION AND EXPANSION OF
266, 270 278 STATE STREET
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PORTSMOUTH NH

PNF TRUST OF 2013
282 MIDDLE STREET
PORTSMOUTH, NH
03801

TITLE

CHURCH STREET ELEVATION

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DATE: 5/16/2025

SCALE: AS NOTED

DRAWING NO.

HDC.5

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COURT STREET ELEVATION
SCALE: 1/4" = 1'-0"

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APPROVALS

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PROJECT

RESTORATION AND EXPANSION OF
266, 270 278 STATE STREET
AND 84 PLEASANT ST,
PORTSMOUTH NH

PNF TRUST OF 2013
282 MIDDLE STREET
PORTSMOUTH, NH
03801

TITLE

COURT STREET ELEVATION

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CHECKED BY:

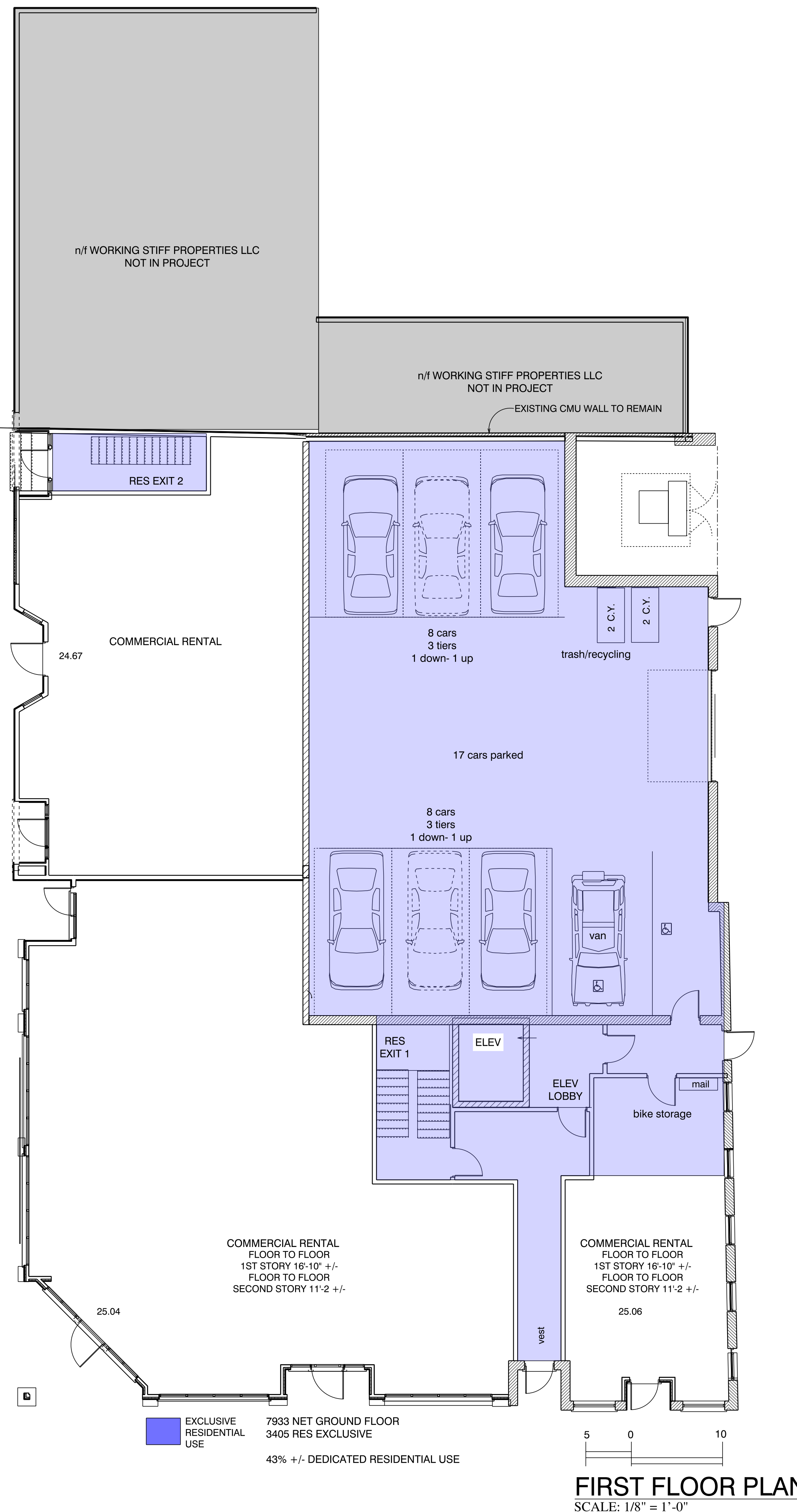
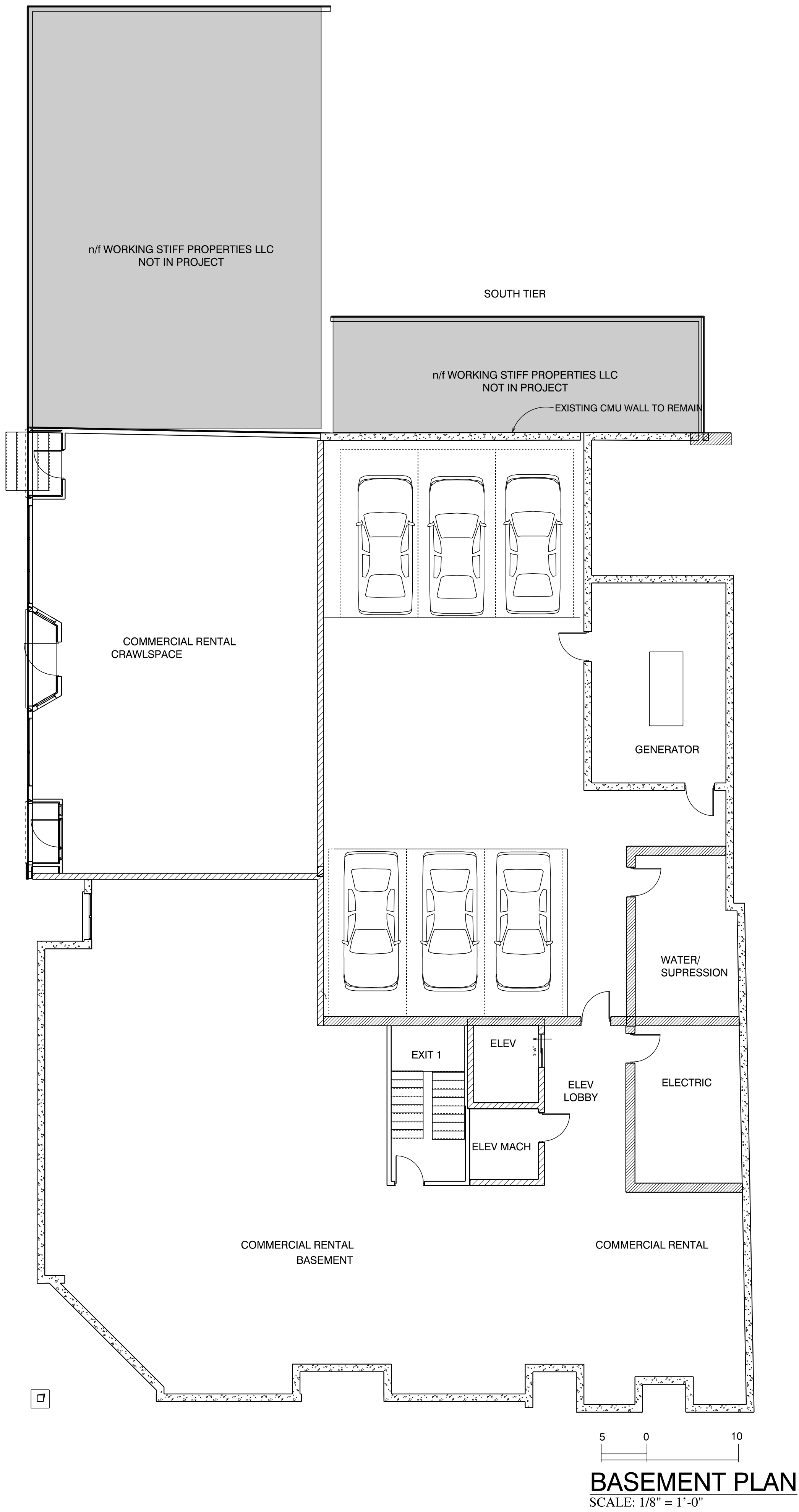
DATE: 5/16/2025

SCALE: AS NOTED

DRAWING NO.

HDC.6

DO NOT SCALE PRINTS



mjk

Michael J. Keane Architects, PLLC

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REVISIONS

APPROVALS

PROJECT

TITLE

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HDC - 05/16/25

RESTORATION AND EXPANSION OF
266, 270 278 STATE STREET
AND 84 PLEASANT ST,
PORTSMOUTH NH

PNF TRUST OF 2013
282 MIDDLE STREET
PORTSMOUTH, NH 03801

BASEMENT & 1ST FLR PLAN

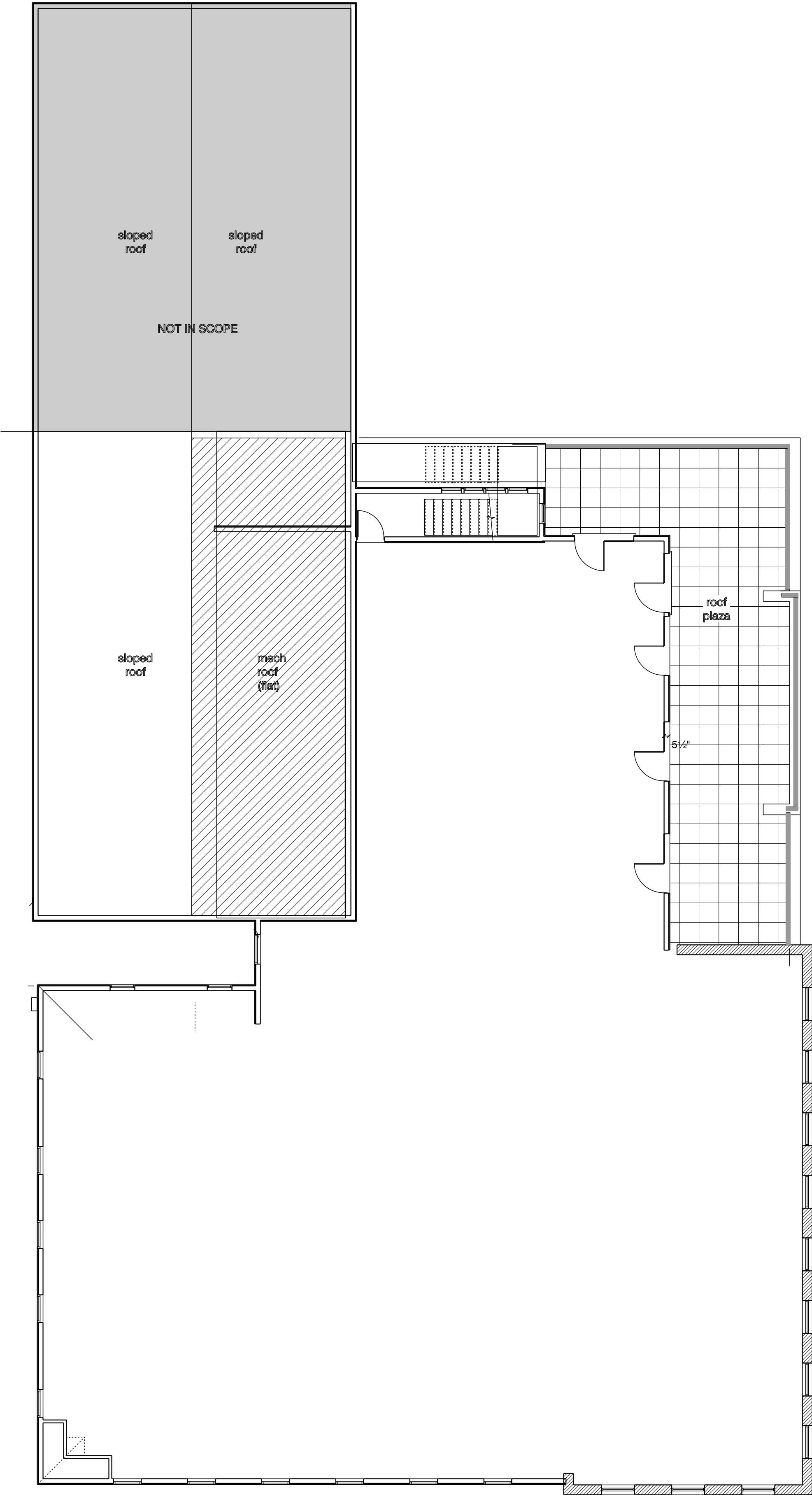
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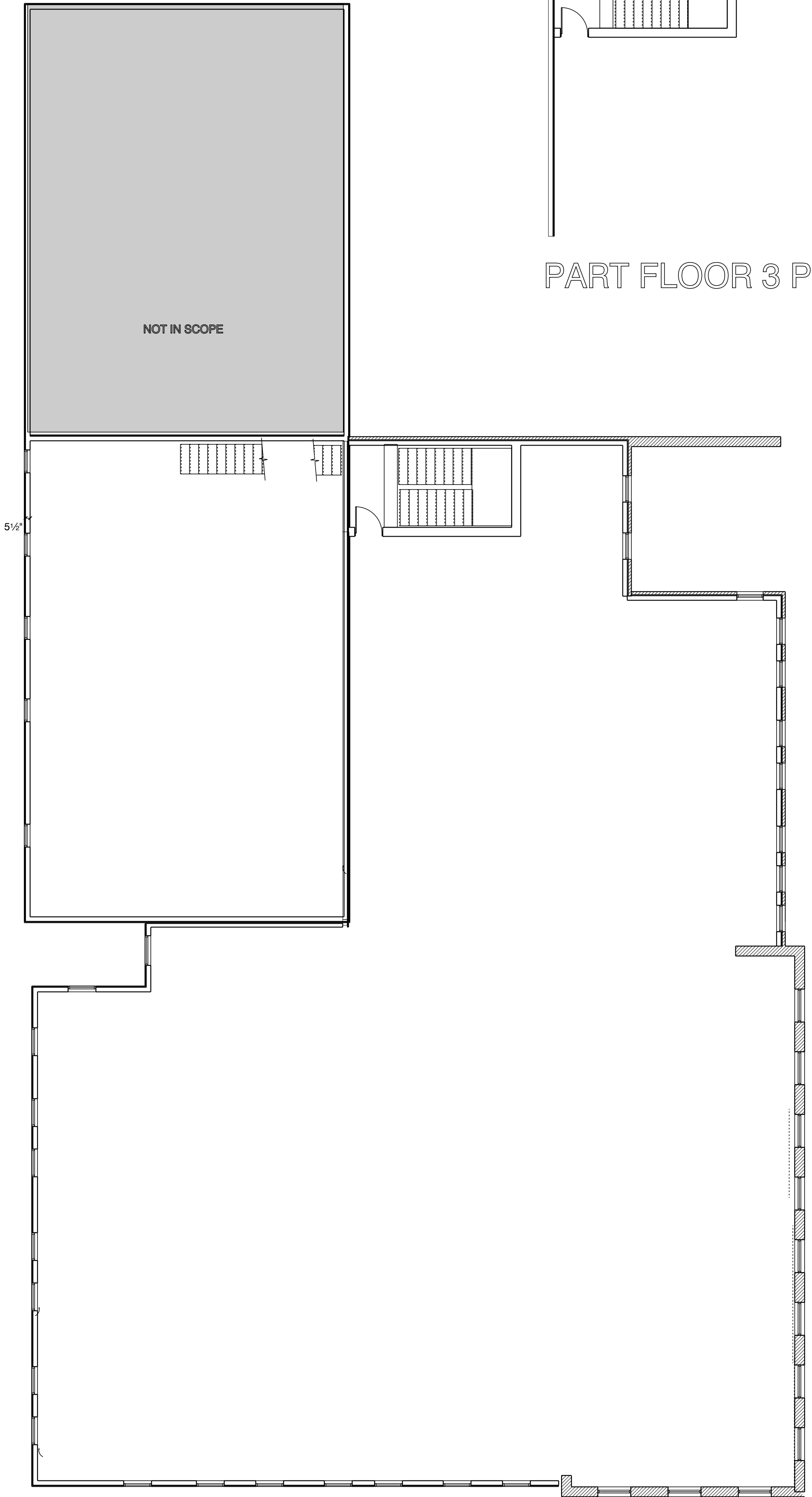
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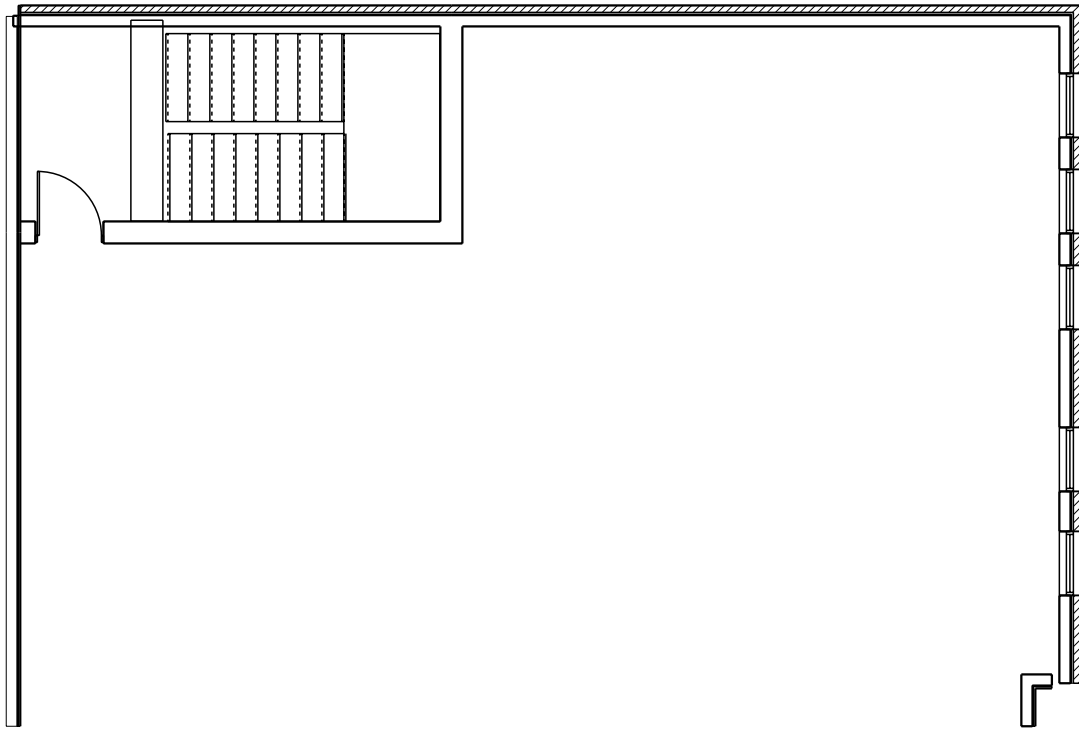
HDC.7



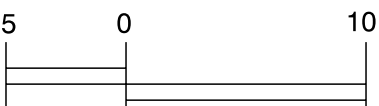
FLOOR 4 PLAN



TYPICAL FLOOR 2-3 PLAN



PART FLOOR 3 PLAN



DO NOT SCALE PRINTS

mjk

Michael J. Keane
Architects, PLLC

ARCHITECTURE
PLANNING
DESIGN

101 Kent Place
Newmarket, NH
03857

603-292-1400
mjkarchitects.com

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REVISIONS

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APPROVALS

HDC - 05/16/25

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PROJECT

RESTORATION AND EXPANSION OF
266, 270 278 STATE STREET
AND 84 PLEASANT ST,
PORTSMOUTH NH

PNF TRUST OF 2013
282 MIDDLE STREET
PORTSMOUTH, NH
03801

TITLE

UPPER LEVEL PLANS

DRAWN BY:

CHECKED BY:

DATE: 5/16/2025

SCALE: AS NOTED

DRAWING NO.

HDC.8



TIMES FRONT AND SIDE WALL
SCALE: 3/8" = 1'-0"

mjk
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Architects, PLLC
ARCHITECTURE
PLANNING
DESIGN
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PROJECT
RESTORATION AND EXPANSION OF
266, 270 278 STATE STREET
AND 84 PLEASANT ST,
PORTSMOUTH NH

PNF TRUST OF 2013
282 MIDDLE STREET
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03801

TITLE
FACADE DETAIL 1

DRAWN BY:
CHECKED BY:
DATE: 5/16/2025
SCALE: AS NOTED
DRAWING NO.

HDC.9

Project Address: 209 Marcy Street

Permit Requested: Work Session

Application: Work Session #B

A. Property Information - General:

Existing Conditions:

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 7,768 SF +/-
- Estimated Age of Structure: c.1950
- Building Style: Modern Cape
- Number of Stories: 1.5
- Historical Significance: NC
- Public View of Proposed Work: Marcy Street and Gates Street
- Unique Features: N/A
- Neighborhood Association: South End



B. Proposed Work: Construct 2nd story addition and new 1-story front and side additions.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Construct a full 2nd story addition
- Construct 1-story front and side additions



**HISTORIC
SURVEY
RATING
NC**

D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

Project Address: **420 Pleasant Street**

Permit Requested: **Work Session**

Application: **Work Session #A**

A. Property Information - General:

Existing Conditions:

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 4,582 SF +/-
- Estimated Age of Structure: c.1820
- Building Style: Federal
- Number of Stories: 3
- Historical Significance: Contributing
- Public View of Proposed Work: Pleasant Street
- Unique Features: N/A
- Neighborhood Association: South End



B. Proposed Work: Rebuild rear portion of building after fire damage and exterior renovations to the overall structure.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Reconstruct rear portion of structure following fire damage.
- Exterior renovations to the front portion of the structure.



VIEW FROM PLEASANT STREET



ENTRY ON PLEASANT STREET



**HISTORIC
SURVEY
RATING

F**

D. Purpose and Intent:

6. Preserve the integrity of the District
7. Assessment of the Historical Significance
8. Conservation and enhancement of property values
9. Maintain the special character of the District
10. Complement and enhance the architectural and historic character
11. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

5. Consistent with special and defining character of surrounding properties
6. Compatibility of design with surrounding properties
7. Relation to historic and architectural value of existing structures
8. Compatibility of innovative technologies with surrounding properties

420 PLEASANT STREET - ADDITION & RENOVATIONS

HISTORIC DISTRICT COMMISSION WORK SESSION - JUNE 2025
PORTSMOUTH, NEW HAMPSHIRE

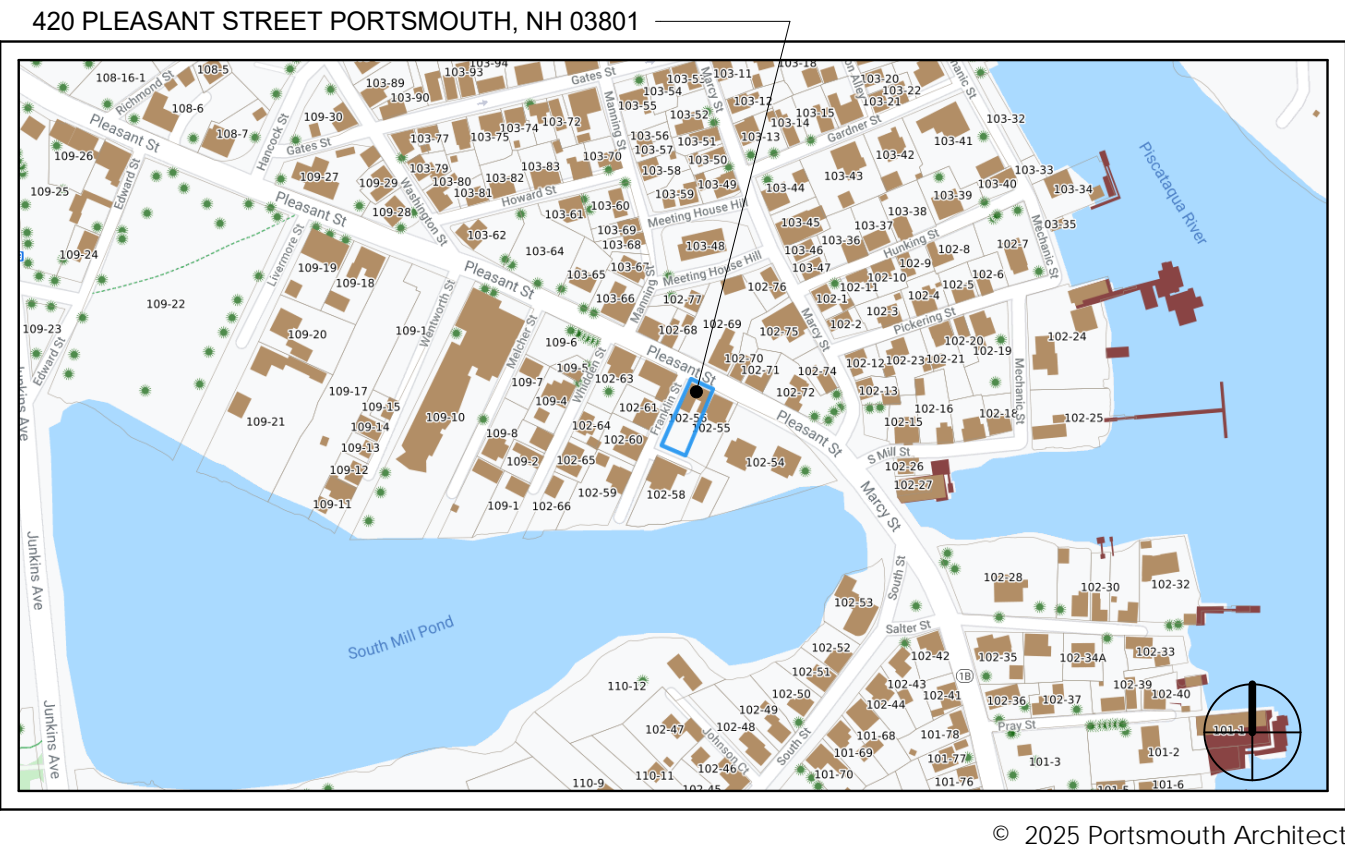
- PROJECT SCOPE:
- MAINTAIN THE PREVIOUSLY APPROVED CONVERSION FROM A FIVE (5) UNIT RESIDENTIAL BUILDING TO A THREE (3) UNIT RESIDENTIAL BUILDING.
 - THE REMOVAL SCOPE UNDER THE PREVIOUS PROJECT (LU-21-126) HAS BEEN COMPLETED – REMOVE FORMER DILAPIDATED SOUTHEAST ADDITION, BATHROOM AND REAR ENTRY VESTIBULE.
 - THE PURPOSE OF THE REAR ADDITION IS THE SAME AS THE PREVIOUSLY APPROVED PROJECT - TO ENCLOSE A THREE-STORY CODE COMPLIANT EGRESS STAIR
 - MODIFICATIONS FROM THE PREVIOUSLY APPROVED PROJECT INCLUDE:
 - INCREASE THE REAR ENTRY PORCH FROM A SINGLE STORY TO TWO STORIES.
 - PROVIDE 3 NEW ROOF VARIATIONS FOR THE REAR THIRD FLOOR DECK AND STAIR ENCLOSURE TO RELOCATE THE DECK ACCESS POINT WHILE PROVIDING CODE COMPLIANT HEAD HEIGHT AND DOORS TO THE DECK.

- PROJECT HISTORY:
- LU-21-126 - HISTORIC DISTRICT COMMISSION APPROVAL: 07/20/2021
 - REFER TO APPENDIX 1 ATTACHED HEREIN FOR REFERENCE
 - LU-21-126 – ZONING BOARD OF ADJUSTMENT APPROVAL: 10/04/2021
 - 1) A VARIANCE FROM SECTION 10.521 TO ALLOW A 1' LEFT SIDE YARD WHERE 10' IS REQUIRED
 - 2) A VARIANCE FROM SECTION 10.321 TO ALLOW A NONCONFORMING BUILDING OR STRUCTURE TO BE EXTENDED, RECONSTRUCTED OR ENLARGED WITHOUT CONFORMING TO THE REQUIREMENTS OF THE ORDINANCE
 - LU-21-126 - HISTORIC DISTRICT COMMISSION FIRST EXTENSION: 06/17/2022
 - LU-21-126 – ZONING BOARD OF ADJUSTMENT EXTENSION: 06/27/2023
 - LU-21-126 - HISTORIC DISTRICT COMMISSION SECOND EXTENSION: 08/09/2023
 - LU-21-126 - HISTORIC DISTRICT COMMISSION THIRD EXTENSION: 09/11/2024
 - LUHD-723 - HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL: 02/21/2024
 - REFER TO APPENDIX 1 ATTACHED HEREIN FOR REFERENCE
 - DEMO-24-23 – DEMOLITION PERMIT ISSUED: 09/25/2024 - COMPLETED: 02/24/2025
 - BLDG-24-525 – BUILDING PERMIT ISSUED: 01/17/2025
 - BUILDING FIRE – 02/06/2025
 - PROPERTY LISTED FOR SALE AND CLOSED ON 05/08/2025

BUILDING HISTORY:

JAMES HILL BUILT THE HOUSE LOCATED ON THE CORNER OF PLEASANT STREET AND COTTER'S LANE (FRANKLIN STREET) AT 420 PLEASANT STREET A MERE TWO YEARS BEFORE HIS EARLY AND UNTIMELY DEATH IN 1814. AT THAT TIME THE HOUSE WAS SPLIT INTO MULTIPLE UNITS AND THE REAR ELL TO THE SOUTH WAS ADDED FOR HIS WIDOW, MARY HILL, TO LIVE IN AS HER DOWER. AFTER THAT IT WAS PURCHASED BY THOMAS SHAW (SHAW'S WHARF AT PRESCOTT PARK) AND HAS BEEN AN ACTIVE MULTI-FAMILY BUILDING FOR OVER 200 YEARS SINCE THEN. THE BUILDING WAS RECENTLY SUBJECTED TO A FIRE ON FEBRUARY 6TH 2025 WHICH HAS LED THE PREVIOUS OWNER TO SELL THE PROPERTY TO THE CURRENT OWNER.

SHEET LIST - HDC	
Sheet Number	Sheet Name
C	COVER
A1	EXISTING PHOTOS
A2	CONTEXT PHOTOS
A3	CONTEXT PHOTOS
A4	SCOPE BREAKDOWN
A5	OPTION 01 - ELEVATIONS
A6	OPTION 1-ROOF PLAN & PERSPECTIVES
A7	OPTION 02 - ELEVATIONS
A8	OPTION 2-ROOF PLAN & PERSPECTIVES
A9	OPTION 03 - ELEVATIONS
A10	OPTION 3-ROOF PLAN & PERSPECTIVES
APDX 1	APPENDIX 1 - PREVIOUS APPROVAL
APDX 2	APPENDIX 2 - ANDERSEN WINDOWS
APDX 3	APPENDIX 3 - AZEK SIDING AND TRIM
APDX 4	APPENDIX 4 - TIMBERTECH IMPRESSION RAIL
APDX 5	APPENDIX 5 - ANDERSEN FRENCH DOOR



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RECONSTRUCTION & ADDITION

420 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

COVER

HISTORIC DISTRICT COMMISSION WORK SESSION

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VIEW FROM PLEASANT STREET



ENTRY ON PLEASANT STREET



VIEW FROM PLEASANT STREET



VIEW FROM INTERSECTION OF PLEASANT STREET AND FRANKLIN STREET



REAR OF BUILDING FROM FRANKLIN STREET



REMAINDER OF BURNED SOUTHEAST ADDITION

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RECONSTRUCTION & ADDITION

420 PLEASANT STREET
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EXISTING PHOTOS

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APPROACH ON PLEASANT STREET FROM SANDERS FISH MARKET (1)



APPROACH ON PLEASANT STREET FROM SANDERS FISH MARKET (2)



APPROACH ON PLEASANT STREET FROM SANDERS FISH MARKET (3)



APPROACH ON PLEASANT STREET FROM SANDERS FISH MARKET (4)



APPROACH ON PLEASANT STREET FROM DOWNTOWN (1)



APPROACH ON PLEASANT STREET FROM DOWNTOWN (2)

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420 PLEASANT STREET
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CONTEXT PHOTOS

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APPROACH ON PLEASANT STREET FROM DOWNTOWN (1)



APPROACH ON PLEASANT STREET FROM DOWNTOWN (2)



VIEW LOOKING DOWN FRANKLIN STREET



APPROACH FROM FRANKLIN STREET



VIEW FROM 420 PLEASANT STREET PARKING LOT



VIEW FROM REAR OF 428 PLEASANT STREET

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RECONSTRUCTION & ADDITION
420 PLEASANT STREET
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CONTEXT PHOTOS
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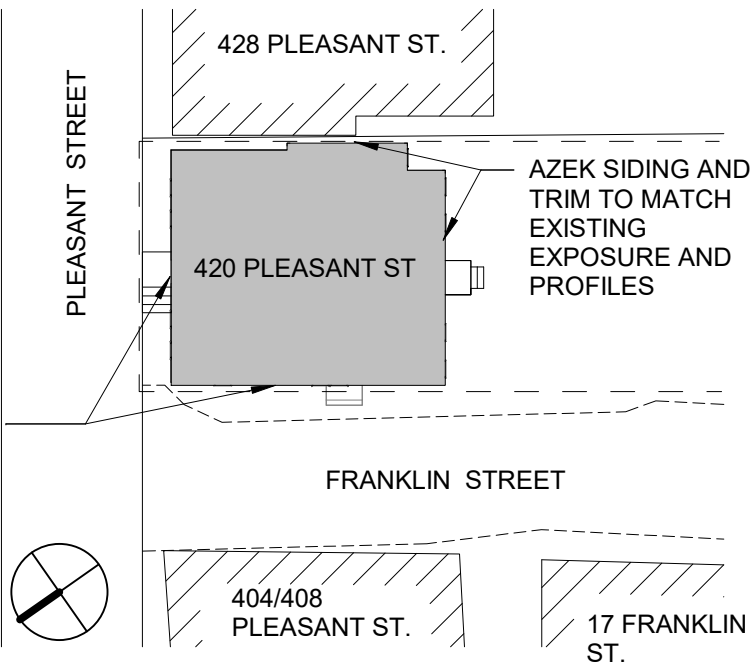
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05/16/2025
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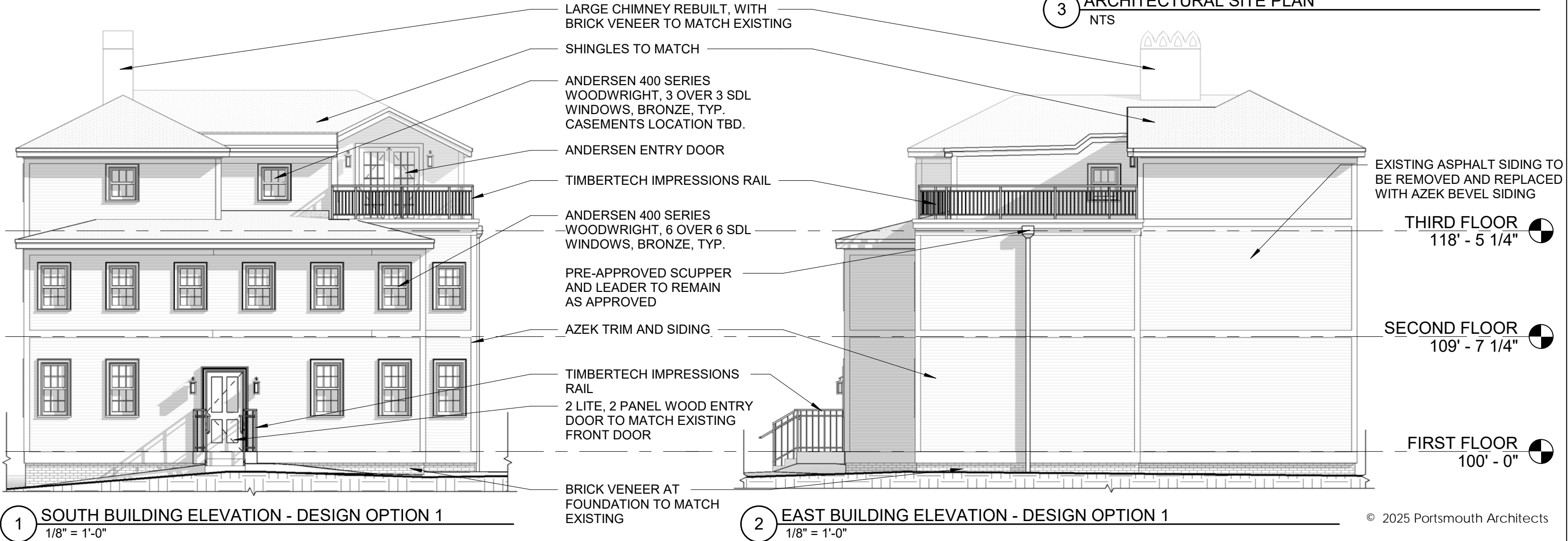
SCOPE BREAKDOWN: NOTES ON THIS SHEET APPLY TO ALL (3) DESIGN OPTIONS.

- REPLACE ALL WINDOWS WITH ANDERSEN 400 SERIES WOODWRIGHT IN BRONZE WITH SIMULATED DIVIDED LITES. SEE APPENDIX 2 FOR CUT SHEET.
- SOME THIRD FLOOR WINDOWS WILL BE CASEMENT WINDOWS FOR EGRESS. TO BE DETERMINED.
- ROOF DECK ENTRY DOOR TO BE FRENCH DOOR, 12 LITE ANDERSEN ENTRY DOOR. SEE APPENDIX 5.
- SIDING AND TRIM TO BE REPAIRED AND REPLACED
 - THE PLEASANT STREET AND FRANKLIN STREET ELEVATIONS WILL BE REPAIRED AND REPLACED WITH WOOD, IN KIND WITH PROFILE AND EXPOSURES TO MATCH EXISTING.
 - THE SOUTH AND EAST ELEVATIONS TO BE AZEK BEVEL SIDING WITH PAINT PRO AND FACE NAILED, TO MATCH EXISTING EXPOSURE. TRIM TO BE AZEK PAINT PRO TRIM, FACE NAILED TO MATCH EXISTING TRIM PROFILES. SEE APPENDIX 3 FOR MATERIAL CUT SHEET.
- REMOVE MAIN CHIMNEY AND REBUILD WITH BRICK VENEER TO MATCH EXISTING SIZE, SHAPE, FORM AND DETAIL. PROPOSED REMOVAL IS TO MAINTAIN STRUCTURAL INTEGRITY OF INTERIOR FRAMING.
- SOUTHERN CHIMNEY TO BE REMOVED AS PREVIOUSLY APPROVED.
- THE FOOTPRINT IS THE SAME AS THE ORIGINAL APPROVAL. THREE REAR ROOF DESIGN OPTIONS HAVE BEEN PROVIDED TO RELOCATE DECK ACCESS DOOR TO PROVIDE CODE REQUIRED HEAD CLEARANCES. REAR ADDITION WILL INCREASE IN HEIGHT
- THE PREVIOUSLY APPROVED SCUPPER AND RAIN LEADER TO REMAIN AS APPROVED.
- REAR ENTRY PORCH AND STAIRS TO BE WOOD FRAMED.
- RAILING TO BE TIMBERTECH IMPRESSIONS BLACK WITH CLASSIC TOP RAIL, OPEN MID RAIL. SEE APPENDIX 4.
- WOOD 2 LITE/2 PANEL ENTRY DOOR TO MATCH EXISTING FRONT ENTRY DOOR AT FIRST FLOOR.
- ROOF TO BE REPLACED IN KIND, ALL NEW ROOFS WITH PITCHES GREATER THAN 3"/12" TO MATCH. SHALLOWER PITCHES TO BE A BLACK ROOFING MEMBRANE.

WOOD SIDING AND TRIM TO BE REPAIRED AND REPLACED IN KIND



3 ARCHITECTURAL SITE PLAN
NTS



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420 PLEASANT STREET
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SCOPE BREAKDOWN

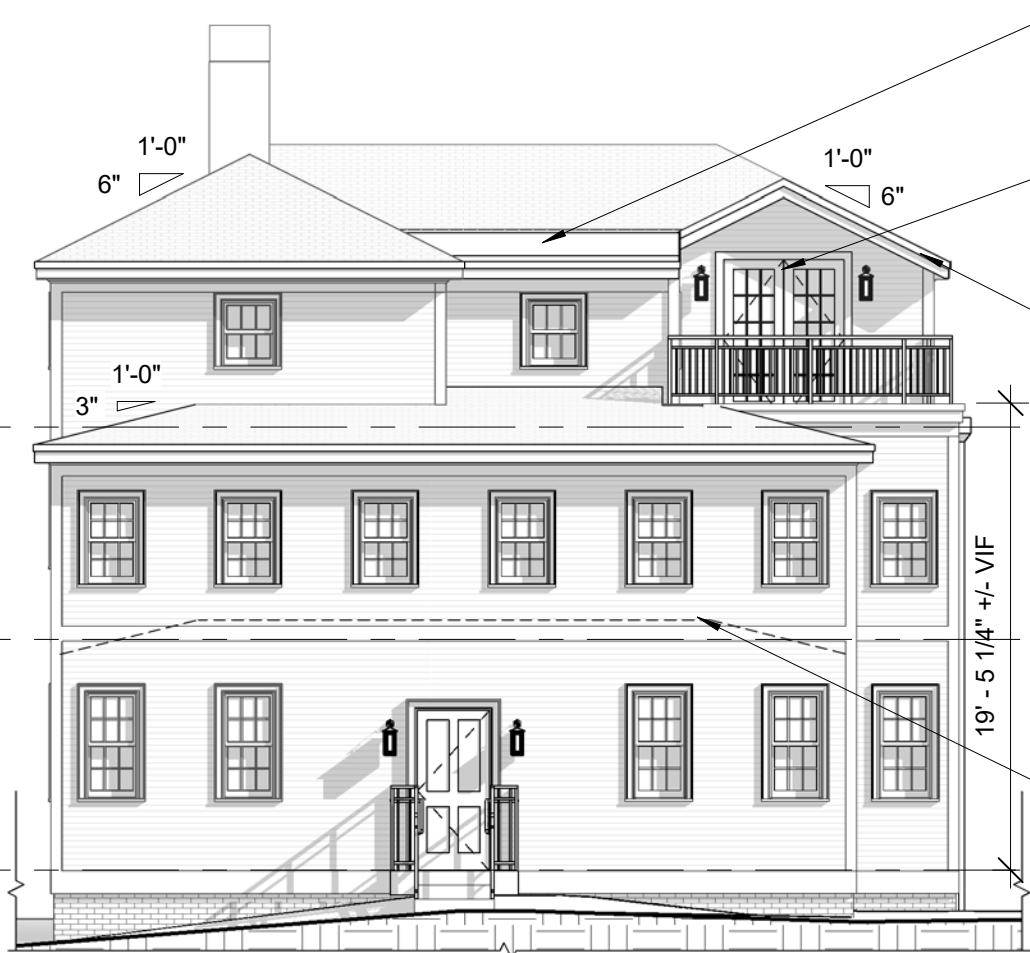
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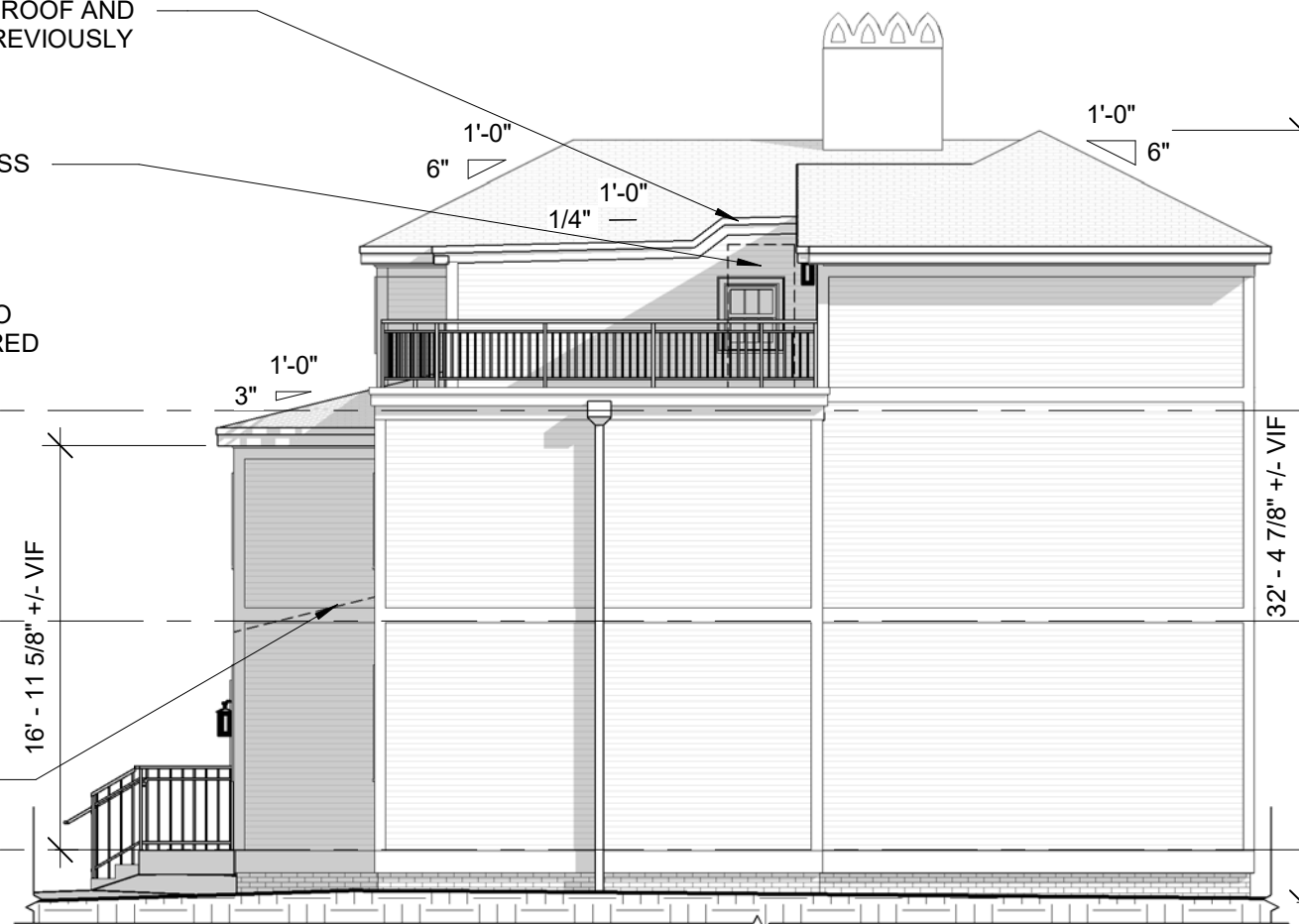


EGRESS STAIR TOWER ROOF AND MASS TO REMAIN AS PREVIOUSLY APPROVED.

RELOCATE DECK ACCESS DOOR

GABLE END DORMER TO PROVIDE CODE REQUIRED HEAD CLEARANCES.

DASHED LINE REPRESENTS PREVIOUSLY APPROVED REAR ADDITION PROFILE



THIRD FLOOR
118' - 5 1/4"

SECOND FLOOR
109' - 7 1/4"

FIRST FLOOR
100' - 0"

1 SOUTH BUILDING ELEVATION - OPTION 01
1/8" = 1'-0"

2 EAST BUILDING ELEVATION - OPTION 1
1/8" = 1'-0"

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420 PLEASANT STREET
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OPTION 01 - ELEVATIONS

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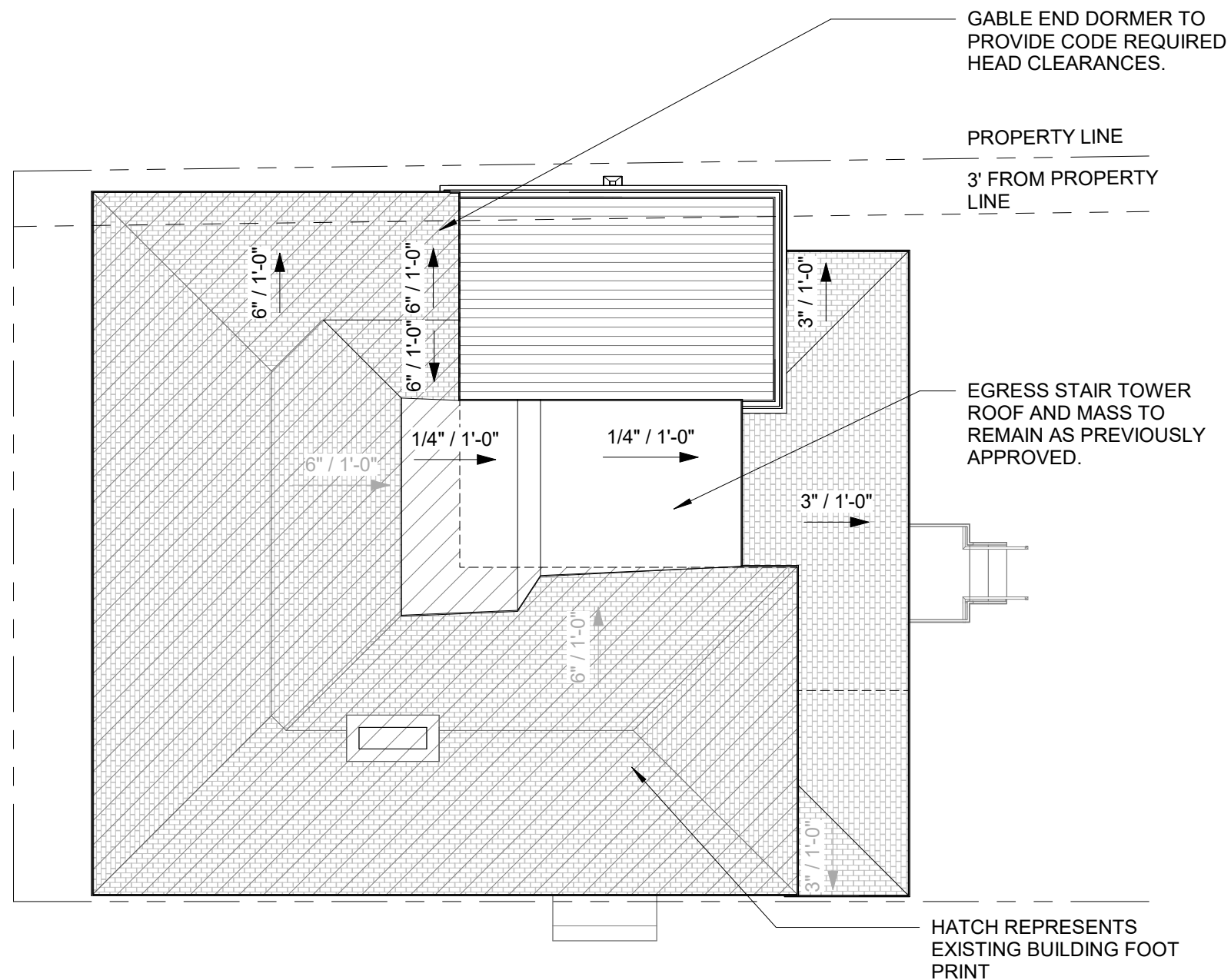
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A5

05/16/2025
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Project Number: 25042
Scale: 1/8" = 1'-0"

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1 ROOF PLAN - OPTION 01
1/8" = 1'-0"



3 PERSPECTIVE FROM FRANKLIN STREET - OPTION 01



2 PERSPECTIVE FROM BACK LOT - OPTION 01

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PORTSMOUTH, NEW HAMPSHIRE 03801

OPTION 1-ROOF PLAN & PERSPECTIVES

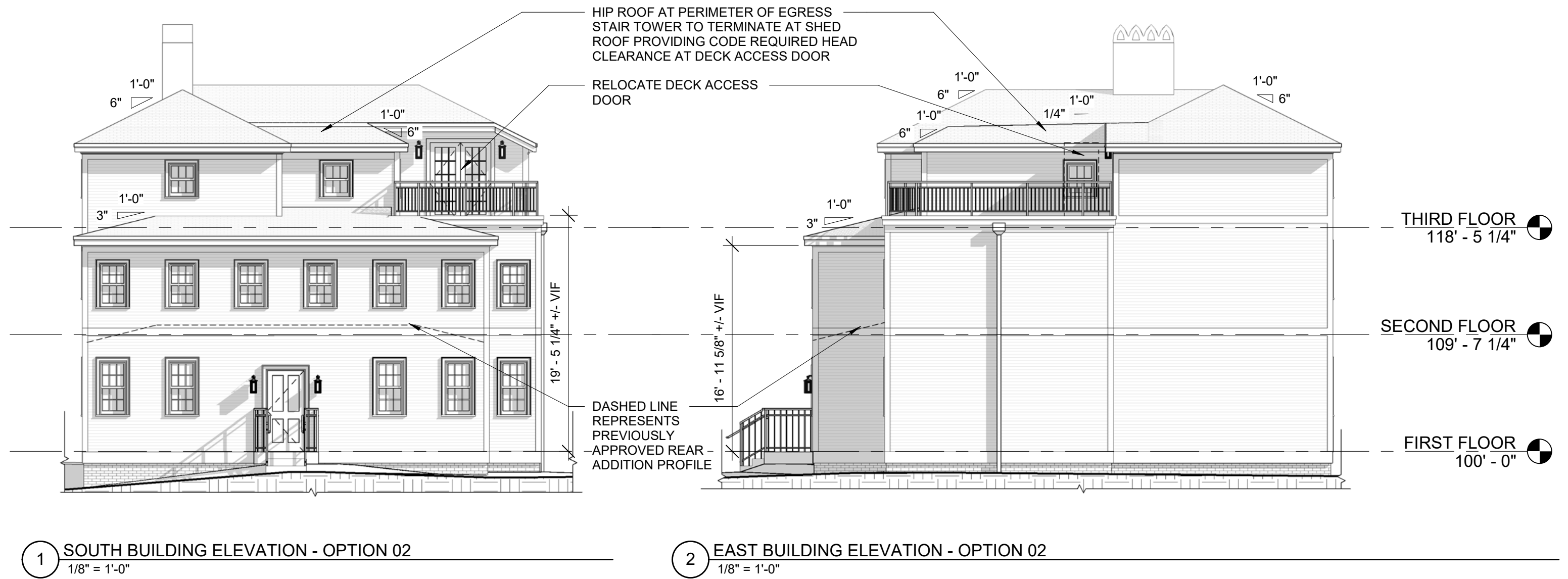
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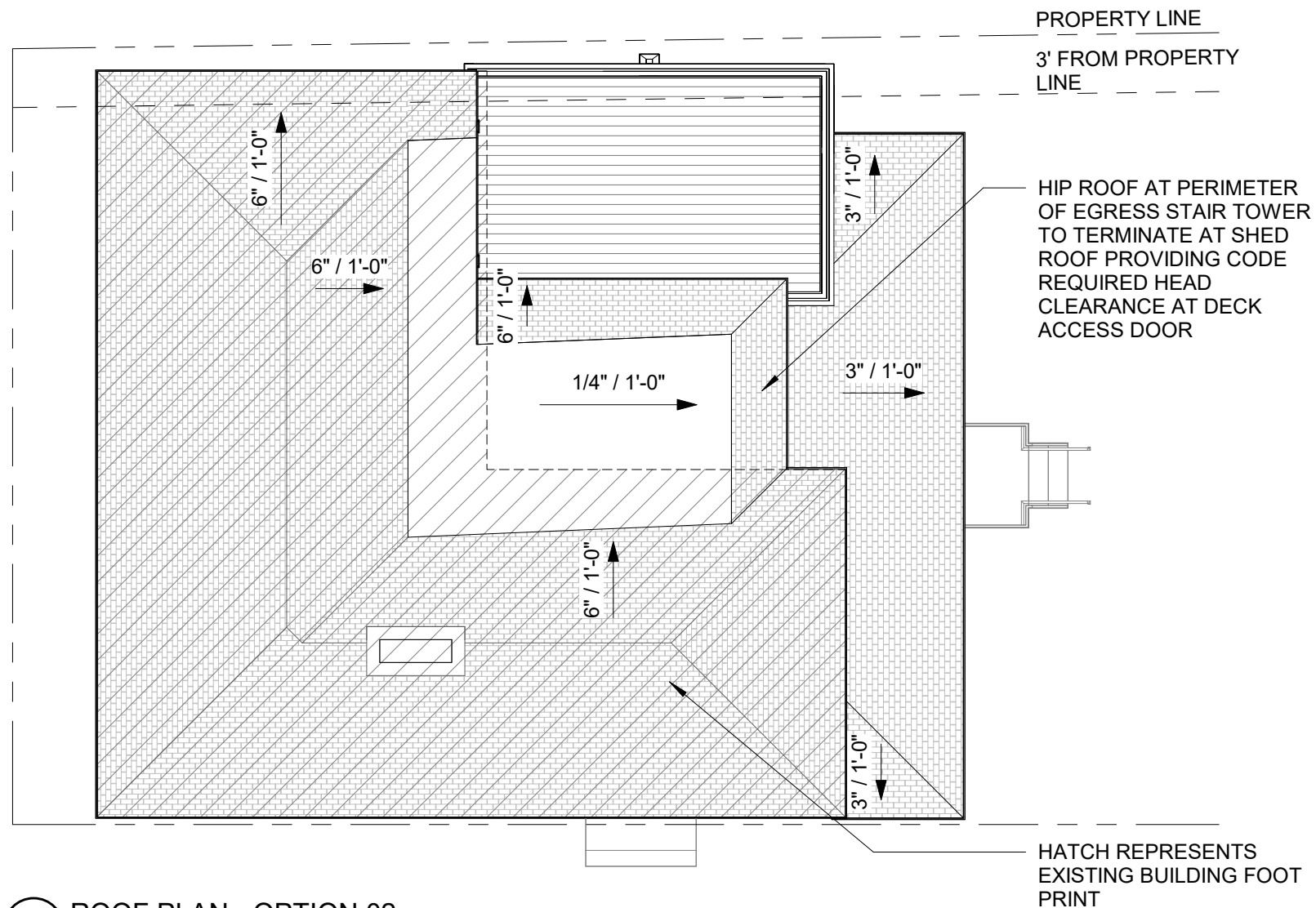
OPTION 02 - ELEVATIONS
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Project Number: 25042
Scale: 1/8" = 1'-0"



1 ROOF PLAN - OPTION 02
1/8" = 1'-0"



3 PERSPECTIVE FROM FRANKLIN STREET - OPTION 02



2 PERSPECTIVE FROM BACK LOT - OPTION 02

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OPTION 2-ROOF PLAN & PERSPECTIVES

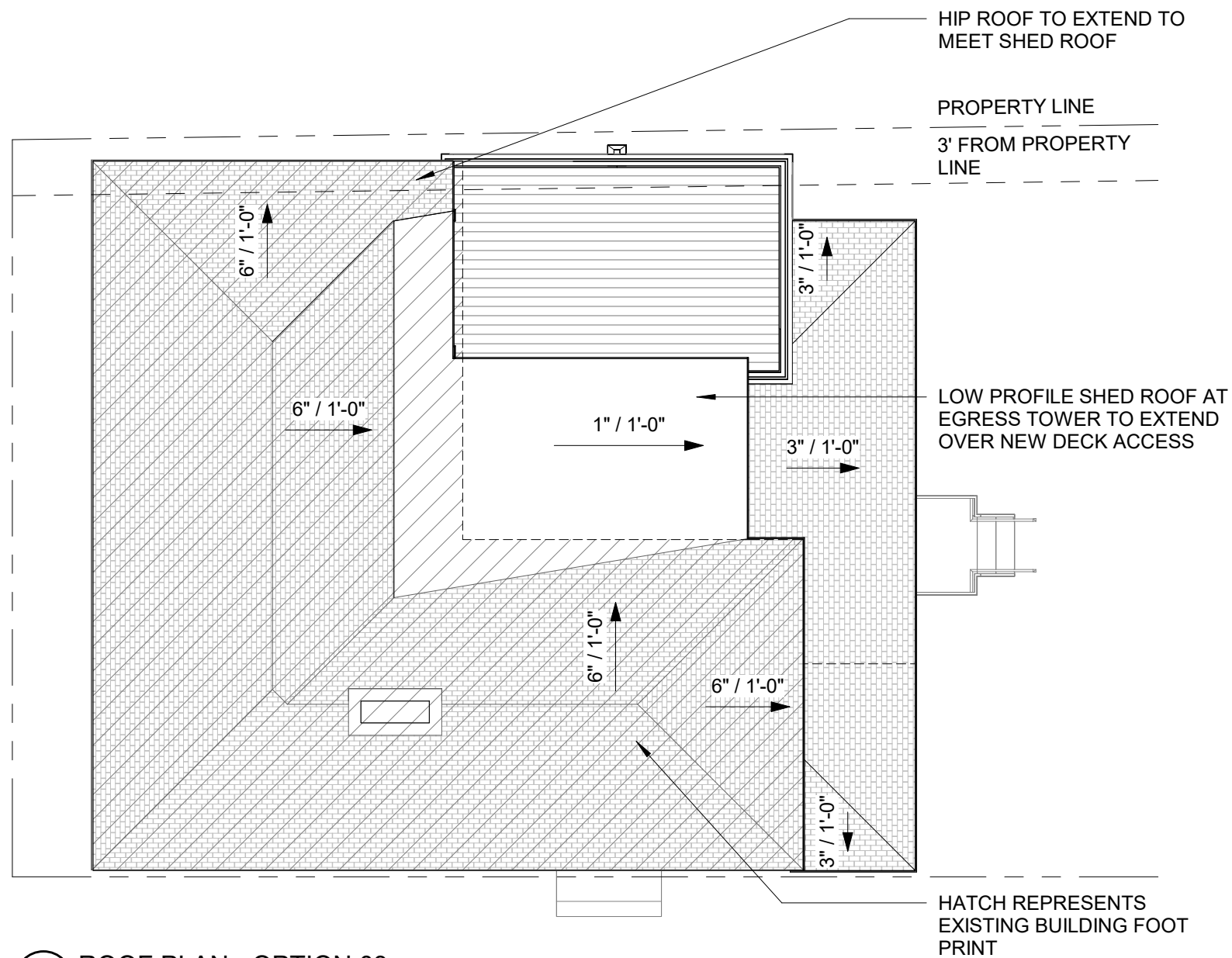
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AS INDICATED



1 ROOF PLAN - OPTION 03
1/8" = 1'-0"



3 PERSPECTIVE FROM FRANKLIN STREET - OPTION 03



2 PERSPECTIVE FROM BACK LOT - OPTION 03

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420 PLEASANT STREET
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OPTION 3-ROOF PLAN & PERSPECTIVES
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420 PLEASANT STREET - ADDITION AND RENOVATIONS

HISTORIC DISTRICT COMMISSION: WORK SESSION / PUBLIC HEARING - JULY 2021, PORTSMOUTH, NEW HAMPSHIRE

GENERAL PROJECT DESCRIPTION:

PROPOSED WORK:

- CONVERT FROM A FIVE (5) UNIT RESIDENTIAL BUILDING TO A THREE (3) UNIT RESIDENTIAL BUILDING
- REMOVAL OF EXISTING REAR ENTRY VESTIBULE AND BATHROOM
- REPLACEMENT OF SOUTHEAST ADDITION INCORPORATING A THIRD FLOOR ROOF DECK
- ADDITION OF A THREE STORY CODE COMPLIANT EGRESS STAIR ENCLOSURE AT REAR OF BUILDING
- ADDITION OF REAR ENTRY PORCH

SHEET LIST	
Sheet Number	Sheet Name

C	COVER
A1	EXISTING PHOTOS
A2	CONTEXT PHOTOS
A3	CONTEXT PHOTOS
A4	EXISTING FLOOR PLANS
A5	PROPOSED FLOOR PLANS
A6	PREFERRED ROOF FORM
A7	MATERIALS AND DETAILS
A8	MATERIALS AND DETAILS
A9	MATERIALS AND DETAILS
A10	ROOF OPTIONS
A11	ROOF OPTIONS



420 PLEASANT STREET PORTSMOUTH, NH 03801



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420 PLEASANT ST. RENOVATIONS

420 PLEASANT STREET
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HDC WORK SESSION / PUBLIC HEARING - JULY 2021

COVER

McHENRY ARCHITECTURE

4 Market Street

Portsmouth, New Hampshire

C

07/07/2021

McHA: RD / JJ

NOT TO SCALE



VIEW DOWN FRANKLIN STREET



VIEW FROM 420 PLEASANT STREET PARKING LOT



VIEW OF EXISTING SOUTHEAST ADDITION



ENTRY ON PLEASANT STREET



REAR OF BUILDING FROM FRANKLIN STREET



EXISTING REAR ENTRY

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420 PLEASANT ST. RENOVATIONS

420 PLEASANT STREET
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EXISTING PHOTOS

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A1

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APPROACH ON PLEASANT STREET FROM DOWNTOWN (1)



APPROACH ON PLEASANT STREET FROM DOWNTOWN (2)



APPROACH ON PLEASANT STREET FROM DOWNTOWN (3)



APPROACH ON PLEASANT STREET FROM SANDERS FISH MARKET (1)



APPROACH ON PLEASANT STREET FROM SANDERS FISH MARKET (2)



APPROACH ON PLEASANT STREET FROM SANDERS FISH MARKET (3)

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420 PLEASANT ST. RENOVATIONS

420 PLEASANT STREET
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CONTEXT PHOTOS

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4 Market Street

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APPROACH FROM FRANKLIN STREET (1)



APPROACH FROM FRANKLIN STREET (2)



APPROACH FROM SANDERS FISH MARKET (PLEASANT STREET)



FRANKLIN STREET



APPROACH ON PLEASANT STREET FROM DOWNTOWN (1)



APPROACH ON PLEASANT STREET FROM DOWNTOWN (2)

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420 PLEASANT ST. RENOVATIONS

420 PLEASANT STREET
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CONTEXT PHOTOS

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4 Market Street

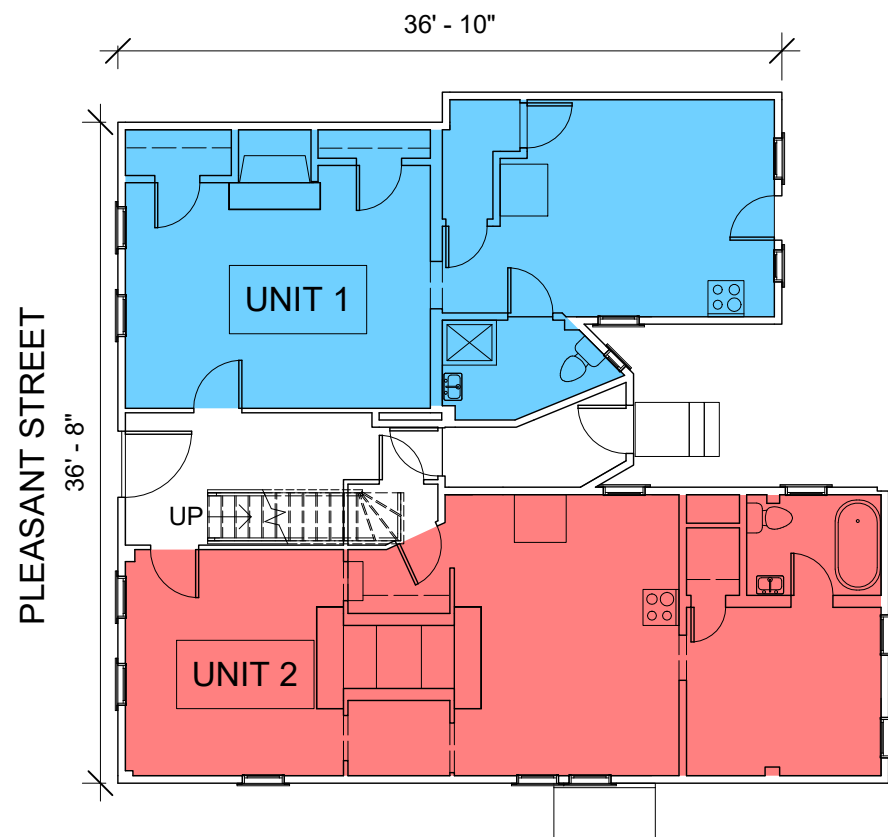
Portsmouth, New Hampshire

A3

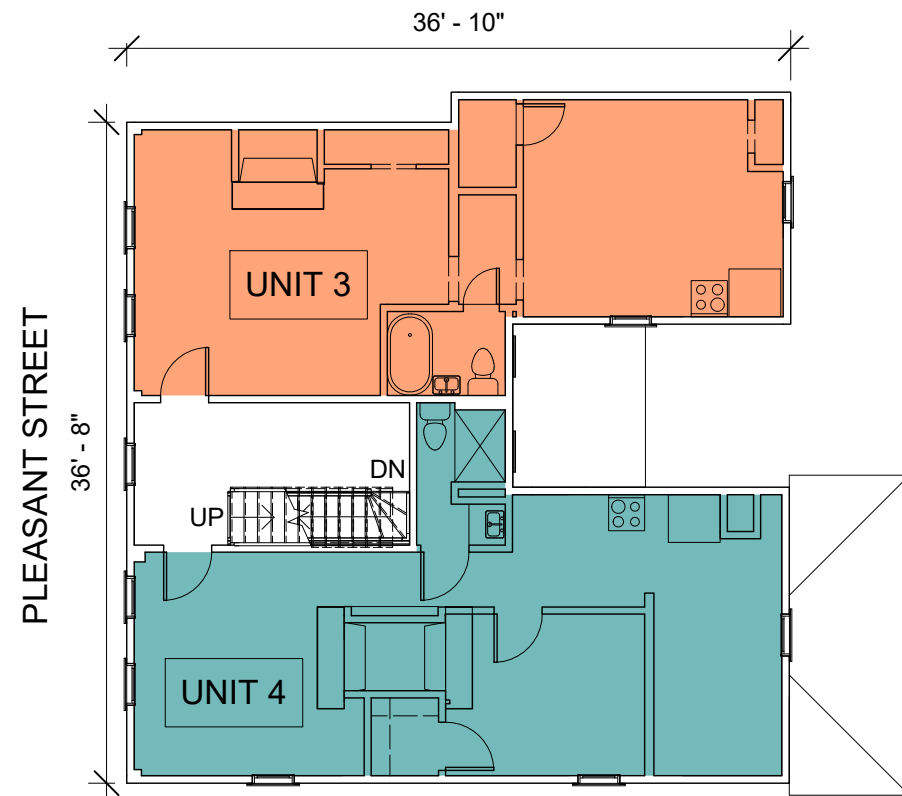
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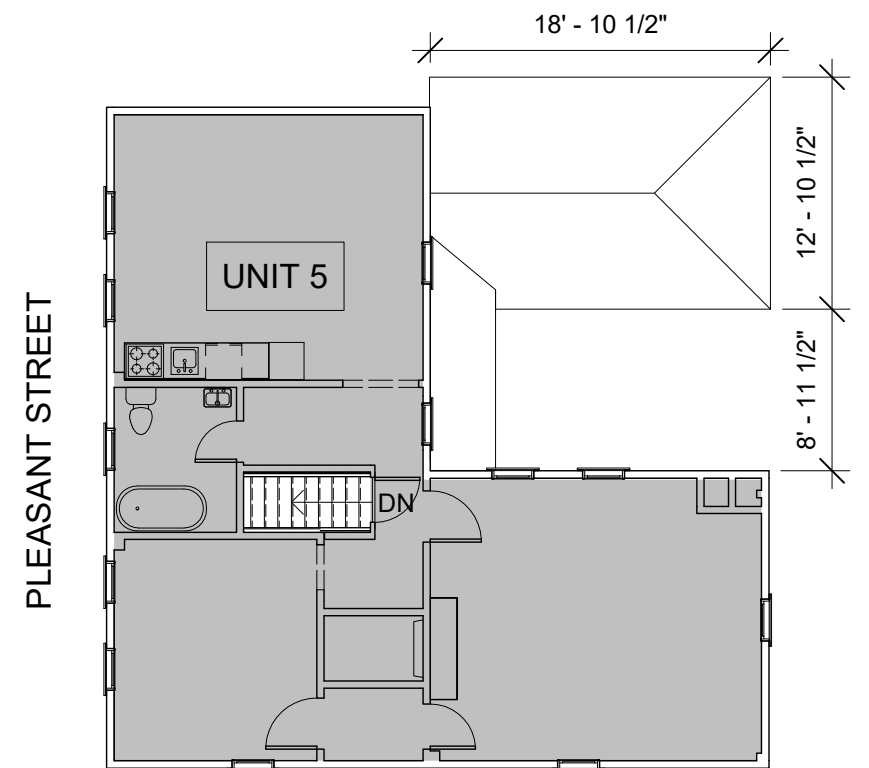
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FRANKLIN STREET



FRANKLIN STREET



FRANKLIN STREET

1 EXISTING FIRST FLOOR
3/32" = 1'-0"

2 EXISTING SECOND FLOOR
3/32" = 1'-0"

3 EXISTING THIRD FLOOR
3/32" = 1'-0"

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420 PLEASANT ST. RENOVATIONS

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EXISTING FLOOR PLANS

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Portsmouth, New Hampshire

A4

07/07/2021

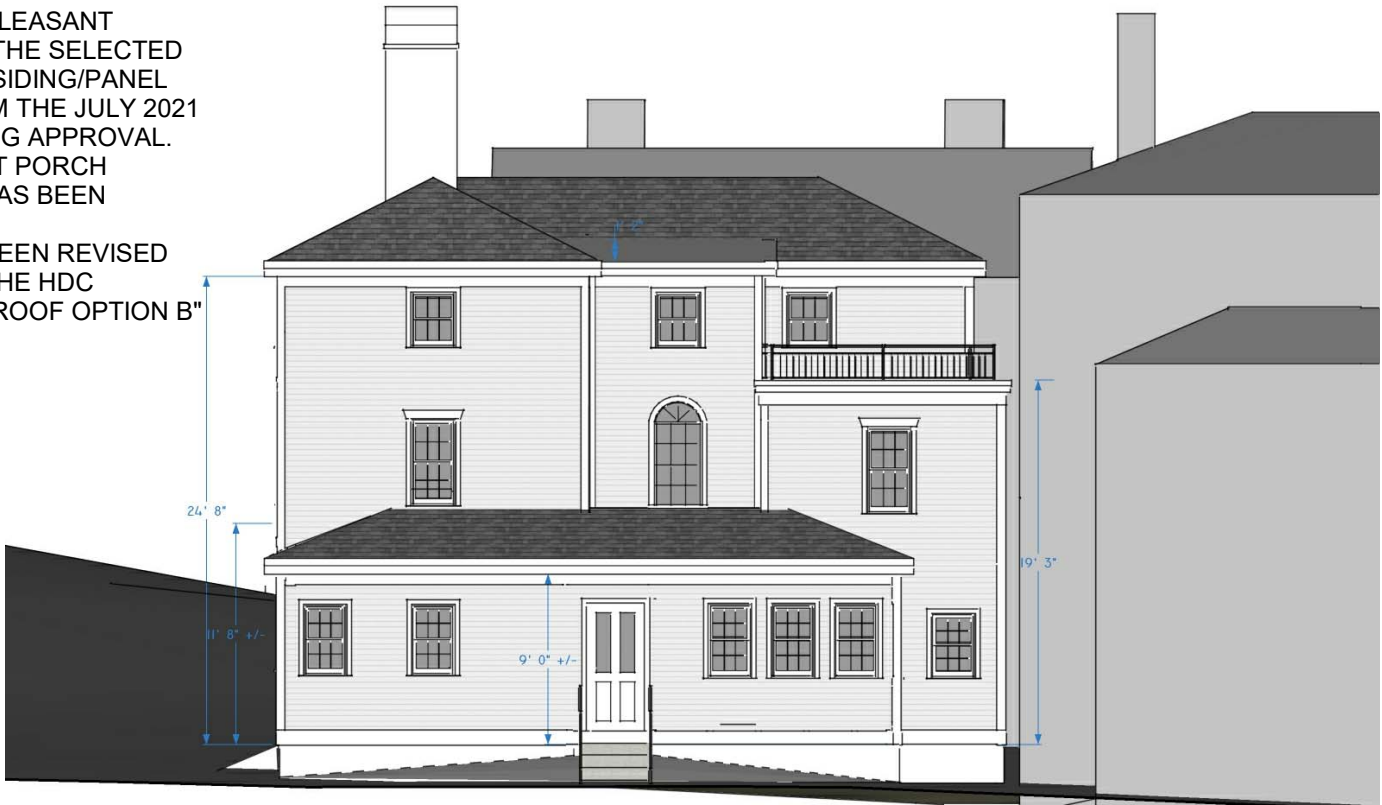
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AS INDICATED

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NOTE: SHEET A12 REPRESENTS REVISIONS TO 420 PLEASANT STREET BASED ON THE SELECTED ROOF OPTION AND SIDING/PANEL STIPULATIONS FROM THE JULY 2021 HDC PUBLIC HEARING APPROVAL.

- PANELING AT PORCH WINDOWS HAS BEEN REMOVED
- ROOF HAS BEEN REVISED TO MATCH THE HDC SELECTED "ROOF OPTION B"



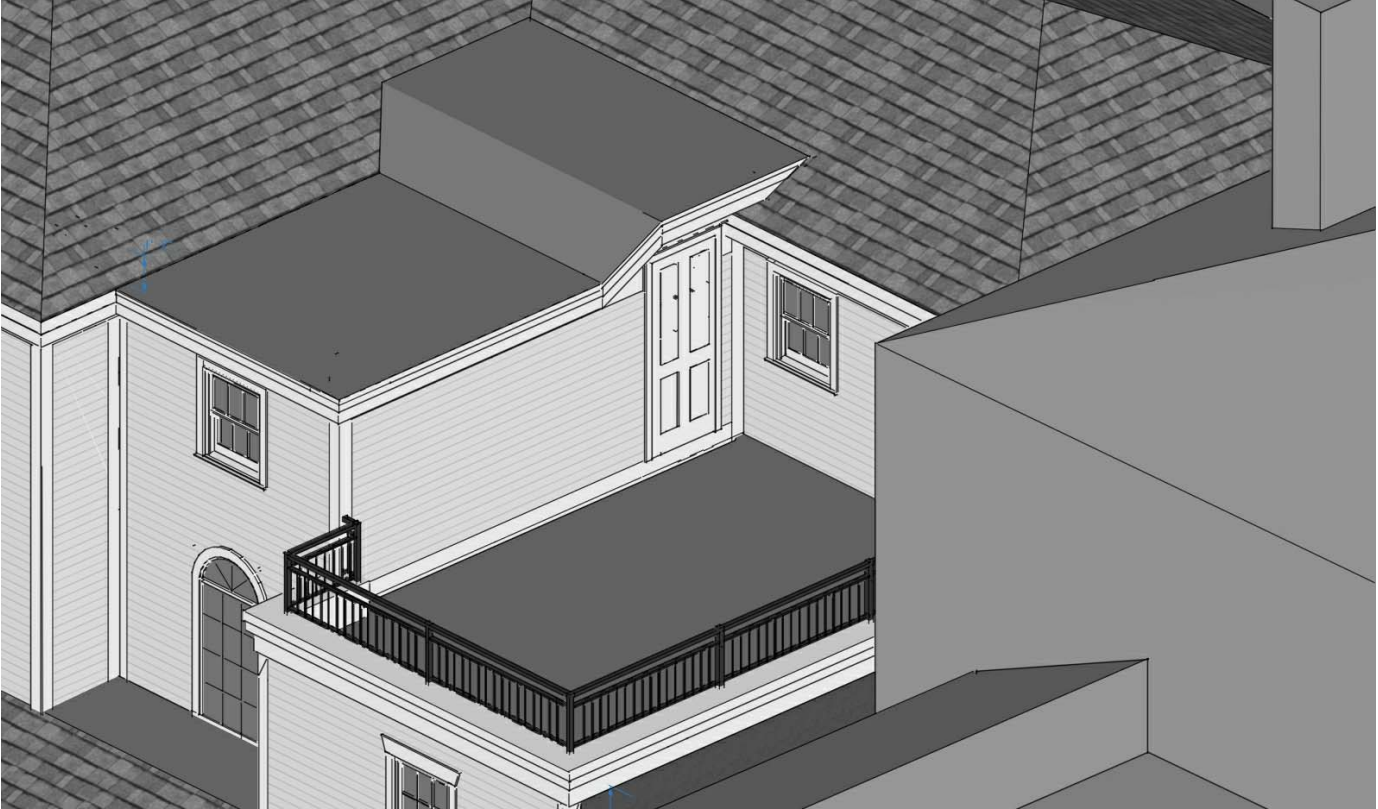
REAR ELEVATION - REVISED ROOFING AND SIDING



AERIAL VIEW FROM SOUTH - REVISED ROOFING AND SIDING



VIEW FROM SOUTHWEST - REVISED ROOFING AND SIDING



ENLARGED AERIAL VIEW OF DECK - REVISED ROOFING AND SIDING

© 2021 McHenry Architecture

420 PLEASANT ST. RENOVATIONS

420 PLEASANT STREET
PORTSMOUTH, NH 03801

ROOF & SIDING REVISIONS

HDC PUBLIC HEARING · JULY 2021
STIPULATIONS FOR RECORD

McHENRY ARCHITECTURE

4 Market Street

Portsmouth, New Hampshire

A12

07/09/2021
McHA: RD / JJ
NOT TO SCALE

WOODWRIGHT[®] DOUBLE-HUNG FULL-FRAME WINDOWS

400 Series
Woodwright[®] Double-Hung
Full-Frame Windows

SECTION REFERENCE

Tables of Sizes	50-56
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CUSTOM SIZING
in 1/8" (3) increments



Dimensions in parentheses are in millimeters.

WOODWRIGHT® DOUBLE-HUNG FULL-FRAME WINDOWS

FEATURES

Frame

A Perma-Shield® exterior cladding protects the frame — beautifully. Best of all, it's low maintenance and never needs painting.*

B For exceptional long-lasting* performance, sill members are constructed with a wood core and a Fibrex® material exterior.

C Natural wood stops are available in pine, oak, maple and prefinished white. Wood jamb liners add beauty and authenticity to the window interior.

D A factory-applied rigid vinyl flange on the head, sill and sides of the outer frame helps secure the unit to the structure.

E Multiple weatherstrip systems help provide a barrier against wind, rain and dust. The combination of spring tension vinyl, rigid vinyl and flexible bulb weatherstrip is efficient and effective.

F For units with white exterior color, exterior jamb liner is white. For all other units, the exterior jamb liner is gray.

Sash

G Balancers in the sash enable contractors to screw through the jamb during installation without interfering with the window's operation.

Wood Jamb Liner



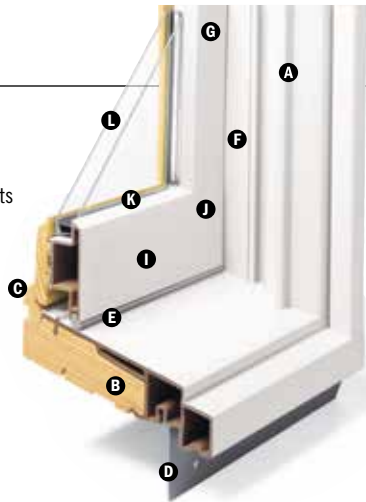
H Natural wood sash interior with classic chamfer detailing. Available in pine, oak, maple or prefinished white.

I Low-maintenance sash exterior provides long-lasting* protection and performance. Sash exteriors on most units include Fibrex material.

J Sash joints simulate the look of traditional mortise-and-tenon construction inside and out.

Glass

K Silicone bed glazing provides superior weathertightness and durability.



L High-Performance glass options include:

- Low-E4® glass
- Low-E4 HeatLock® glass
- Low-E4 Sun glass
- Low-E4 SmartSun™ glass
- Low-E4 SmartSun HeatLock glass

Tempered glass and other glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction and simplifies finishing at the jobsite.

Patterned Glass

Patterned glass options are available. See page 12 for more details.

Hardware



Standard lock and keeper design provides an easy tilt-to-clean feature integrated into the lock.



Performance Grade (PG) Upgrade

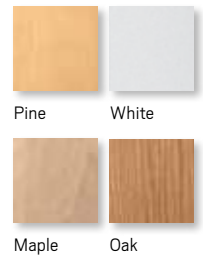
Performance upgrades are available for select sizes allowing these units to achieve higher performance ratings. Performance Grade (PG) Ratings are more comprehensive than Design Pressure (DP) Ratings for measuring product performance. Use of this option will subtract 5/8" (16) from clear opening height. Contact your Andersen supplier for availability. For up-to-date performance information of individual products, visit andersenwindows.com.

Visit andersenwindows.com/coastal for more information on Stormwatch Protection.

EXTERIOR



INTERIOR



Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All wood interiors are unfinished unless prefinished white is specified.

HARDWARE FINISHES



Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use.

DOUBLE-HUNG HARDWARE

STANDARD

Lock & Keeper



Antique Brass | **Black** | Bright Brass
Brushed Chrome | Distressed Bronze
Distressed Nickel | Gold Dust | Oil Rubbed Bronze
Polished Chrome | Satin Nickel | Stone | White

OPTIONAL DOUBLE-HUNG HARDWARE**

TRADITIONAL



Antique Brass | Black | Bright Brass | Brushed Chrome | Distressed Bronze | Distressed Nickel
Gold Dust | **Oil Rubbed Bronze** | Polished Chrome | Satin Nickel | Stone | White

CLASSIC SERIES™



Stone | **White**

CONTEMPORARY



Antique Brass | Black | Bright Brass
Brushed Chrome | Distressed Bronze
Distressed Nickel | Gold Dust
Oil Rubbed Bronze | Polished Chrome
Satin Nickel | Stone | White

ESTATE™



Antique Brass | Bright Brass
Brushed Chrome | Distressed Bronze
Distressed Nickel | Oil Rubbed Bronze
Polished Chrome | **Satin Nickel**

Bold name denotes finish shown.

* Visit andersenwindows.com/warranty for details.

** Hardware sold separately.

Dimensions in parentheses are in millimeters.

Printing limitations prevent exact replication of colors and finishes.

See your Andersen supplier for actual color and finish samples.

Shapes

Woodwright® windows are available in the following shapes.



Double-Hung



Arch Double-Hung



Unequal Leg Arch Double-Hung



Springline™ Single-Hung

Sash Options*



Cottage



Reverse Cottage

For more information about glass, patterned glass, grilles and TruScene insect screens, see pages 12-14.

For more information about combination designs, product performance, installation instructions and accessories, see pages 181-211 or visit andersenwindows.com.

ACCESSORIES Sold Separately

Frame

Extension Jamb



Standard jamb depth is 4 1/2" (114). Extension jambs are available in unfinished pine or prefinished white. Some sizes may be veneered.

Factory-applied and non-applied interior extension jambs are available in 1/16" (1.5) increments between 5 1/4" (133) and 7 1/8" (181). Extension jambs can be factory-applied to either three sides (stool and apron application) or four sides (picture frame casing).

Pine Stool



A clear pine stool is available and ready for finishing. The Woodwright stool is available in 4 1/16" (116) for use in wall depths up to 5 1/4" (133), and 6 3/16" (167) for use in wall depths up to 7 1/8" (181). Works with 2 1/4" (57) and 2 1/2" (64) wide casings. Shown on 400 Series tilt-wash double-hung window.

Hardware

Window Opening Control Device Kit



A Window Opening Control Device Kit is available, which limits sash travel to less than 4" (102) when the window is first opened. Available factory applied or field applied in stone and white.

Security Sensors

Open/Closed Sensors

Wireless open/closed sensors are available in four colors. See page 15 for details.

Storm/Insect Screen Combination Unit**



A self-storing storm window combined with an insect screen provides greater energy efficiency, while allowing ventilation when needed.

Constructed with an aluminum frame, single-pane upper and lower glass panels and charcoal powder-coated aluminum screen mesh. Available in white, Sandtone and Terratone to match product exteriors. Canvas, forest green, dark bronze and black available by special order.

Combination units can improve Sound Transmission Class (STC) and Outdoor Indoor Transmission Class (OITC) ratings. Ideal for projects near airports, busy roadways or other noisy environments. For example, adding a combination unit to a 400 Series tilt-wash double-hung (3862) unit with Low-E4® glass will improve its STC rating from 26 to 32. Contact your Andersen supplier for additional STC and OITC rating information.

Insect Screens

Insect Screen Frames



Choose full insect screen or half insect screen. Half insect screen (shown above) allows ventilation without affecting the view through the upper sash. Frames are available in colors to match product exteriors.

TruScene® Insect Screen

Exclusive Andersen TruScene insect screens provide over 50% more clarity than our conventional insect screens for a beautiful unobstructed view. They allow more fresh air and sunlight in, while doing a better job of keeping out small insects.

Conventional Insect Screen

Conventional insect screens have charcoal powder-coated aluminum screen mesh.

Grilles

Grilles are available in a variety of configurations and widths. For double-hung grille patterns, see page 62.

Exterior Trim

This product is available with Andersen exterior trim. See pages 175-180 for details.

CAUTION:

- Painting and staining may cause damage to rigid vinyl.
- Do not paint 400 Series windows with white, canvas, Sandtone, forest green, dark bronze or black exterior colors.
- Andersen does not warrant the adhesion or performance of homeowner-applied paint over vinyl or other factory-coated surfaces.
- 400 Series windows in Terratone color may be painted any color lighter than Terratone color using quality oil-based or latex paint.
- For vinyl painting instructions and preparation, contact your Andersen supplier.
- Do not paint weatherstrip.
- Creosote-based stains should not come in contact with Andersen products.
- Abrasive cleaners or solutions containing corrosive solvents should not be used on Andersen products.

* Shown on 400 Series tilt-wash double-hung windows.
** Do not add combination units to windows with Low-E4 Sun glass, unless window glass is tempered. Combination units may also reduce the overall clear operable area of the window. See your local code official for egress requirements in your area. Dimensions in parentheses are in millimeters.

AZEK[®]
EXTERIORS

PREMIUM BEVEL SIDING
ENGINEERED TO LAST BEAUTIFULLY





REALISTIC CEDAR LOOK

UNREAL PVC DURABILITY



Choose the **best looks and performance** for your exterior siding.

PREMIUM AZEK BEVEL SIDING

COMMERCIAL DURABILITY WITH THE LOOK OF HOME

Never again must you choose between the low maintenance of vinyl and its lackluster appearance and the premium look of natural cedar and its lifetime sentence of painting and inevitable rot. AZEK® Bevel Siding is the most authentic-looking replacement for cedar siding with the added low-maintenance performance of rot-proof PVC.

Tapping into the expertise we've built with our exclusive PaintPro Technology, AZEK Bevel is the lowest maintenance paintable siding product on the market today. It's engineered to be painted and deliver long-lasting paint performance and adhesion. The three- to seven-year paint and stain cycle that natural cedar requires is a thing of the past.



AZEK® BEVEL SIDING

Rot-proof PVC with no paint or stain maintenance schedule, no tannins that stain the surface, and no knots or finger-joints, AZEK Bevel Siding looks nearly indistinguishable from wood while eliminating many of the pain points of natural products - backed by a Lifetime Limited Warranty.



NATURAL CEDAR SIDING

Cedar starts out looking beautiful, but can quickly turn into disappointment and callbacks with tannin stains, rotting, splitting, and paint delamination. Cedar guarantees a lifetime sentence of routine maintenance.

LESS IS MORE

Delivering first-class beauty with superior durability has never been so effortless.

LESS RISK

- Industry-leading Lifetime Limited Warranty
- Moisture-resistant; will not rot, delaminate, decay, or swell from excessive moisture
- Cut edges do not require sealing unlike cedar or fiber cement
- Insect-resistant

LESS HASSLE

- No tannin stain callbacks
- No special tools, masks, or learning curve
- No finger-joints or knots as with cedar
- Less on-site breakage compared to heavy, brittle fiber cement

LESS LIMITATION

- Looks great with a wide range of siding and trim materials
- Approved for use in ground-contact and roofline installs
- Ideal for high moisture, coastal, and four season regions



FIBER CEMENT SIDING

Fiber cement is susceptible to water damage, needs paint for protection, and must be kept off-grade and away from rooflines and masonry contact. It's brittle and requires a silica dust respirator when cutting to avoid inhaling toxic dust.

GET THE CEDAR LOOK. LOSE THE CEDAR WORK.

When AZEK Bevel Siding is installed on an exterior, the look is classic. You'll enjoy the lack of project callbacks. It may even get you a few referrals when the neighbors start asking, "How come that house you re-sided years ago looks better than the house across the street with a new \$4000 paint job?"

The answer is the science and art behind AZEK Bevel. Our artists have made a siding board that perfectly mimics a cedar clapboard. The texture of the board looks like smooth sanded cedar. But AZEK Bevel needs no sanding or priming. It comes to your job site ready for paint.

Our scientists have made AZEK Bevel from a proprietary blend of PVC and other materials that make it resistant to damage from water and moisture absorption. AZEK Bevel siding delivers a siding and a painted finish that lasts longer than you can expect from cedar.



GET PAINTING GUIDELINES

For best performance, follow the painting guidelines found on AzekExteriors.com/painting, or follow the QR code. This chart shows a brief summary of the guidelines.

Paint Type Requirements

COLOR RANGE	KEY COLOR SELECTION CRITERIA	PAINT TYPE
Lighter paint colors only	Must have a light reflective value (LRV) above 55	Exterior 100% acrylic latex
Light, medium, and some darker colors	Only use colors that are from a paint manufacturer's approved color list for vinyl siding. No custom colors.	Exterior 100% acrylic latex made for vinyl siding
Dark colors & custom colors (black, deep blues, dark browns)	Available via Special Order only. Visit our custom colors and special-order paint page. Never custom color match in local paint stores.	Exterior 100% acrylic latex with solar reflective pigments

REMEMBER: Always make sure your paint is 100% water-based (acrylic) and suitable for exterior application.



WARNING

Do not adjust or customize colors at local paint stores, home centers, big box stores, or other paint providers. These have not been tested for use on AZEK products and may lead to defects. For info on custom colors visit: azekeexteriors.com/painting/custom-colors



CUSTOM COLOR & SPECIAL-ORDER



ON THE JOB WITH AZEK BEVEL SIDING



Flexible and lightweight. Perfect for moving around the job site.



No special blade, no respirator, no silica dust like fiber cement.

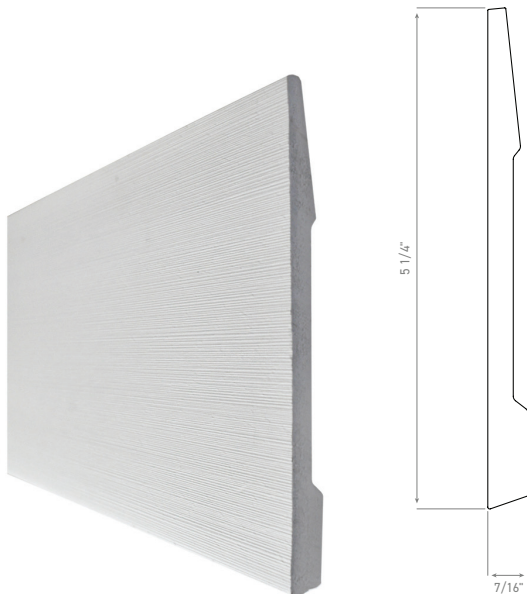


Your crews will be up and running fast—almost no learning curve.

AZEK® Bevel Advantage

Engineered to look, feel, and install like wood—only better. Authentic look, low maintenance, rot-proof, and with a Lifetime Limited Warranty.

- 5.25" x 7/16" (4" Reveal)
- 12' Lengths
- 25 Boards per square
- Subtle texture to look like primed cedar



EASY TO INSTALL, EASIER TO MAINTAIN

Installation Benefits

- Installs similarly to cedar: same tools, face-fastened.
- Ready to paint. No sanding or primer needed.
- Cut edges do not require sealing unlike cedar or fiber cement.
- Engineered polymer is lightweight and durable.
- Uniform finish; no knots or finger joints.
- Flexible, durable material helps prevent on-site breakage.

Installation Best Practices

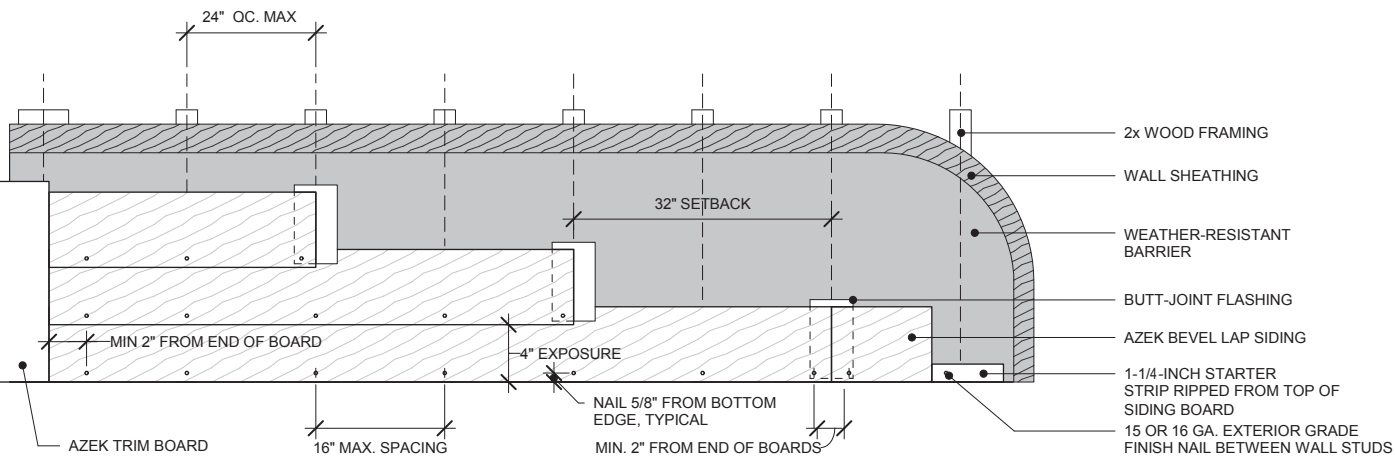
- Must have a weather resistive barrier (WRB) installed according to the IRC. For best results, AZEK recommends a drainable WRB.
- Install kickout flashing and horizontal flashings per the IRC.
- For best results, fasten with hot-dipped, galvanized .092" x 2" ring shank siding nail.
- Face nail siding 5/8" from the bottom of the board into studs.
- Do not fasten closer than 2" from the end of a plank.
- Where two planks butt together, a joint-flashing is required.

Low-Maintenance Performance

- No tannin stains or continuous maintenance and repainting/restaining cycle like cedar.
- Insect-resistant.



INSTALLATION
RESOURCES



TRIM AND SIDING OPTIONS TO COMPLETE THE PICTURE

All the benefits of AZEK Siding extend to the rest of your exterior. Trim adds the finishing touch everywhere. Specialty solutions like one-piece skirt boards, column wraps, and soffit systems speed construction and look great. Specialty mouldings in dozens of profiles add elegant, fine details. Discover all the possibilities for your next job at AZEKExteriors.com

	AZEK TRIM AND SIDING	CEDAR	FIBER CEMENT
PRODUCT DESCRIPTION	Engineered Polymer	Natural Wood	Sand, Cement & Cellulose Fibers
LONG-TERM DURABILITY	★★★★	★★	★★
RESISTS MOISTURE ABSORPTION	★★★★	★	★★
INSECT RESISTANCE	★★★★	★	★★★★
SUPERIOR PAINT PERFORMANCE	★★★★	★★	★★
SUITABLE FOR GROUND CONTACT	YES	NO	NO

THE BEST MATERIAL FOR EXTERIOR TRIM THAT LASTS

Gain all the benefits of AZEK top-of-the-line exterior building products. We make our products with the contractor, homeowner, and building material channel in mind.



Moisture-Resistant



Rot-Resistant



Insect-Resistant



Weather-Resistant



Durable: Less Long-Term Maintenance



Lightweight



Designed for Paint



The AZEK Difference: Long-Lasting Performance

AZEK Exteriors products provide better long-term value, more reliable durability, and lasting beauty that other materials can't match.

Less Risk - Fewer Callbacks

Less Hassle - Low-Maintenance Performance





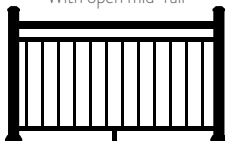

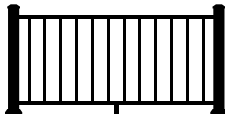
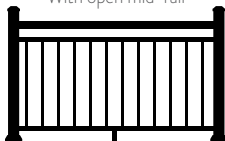
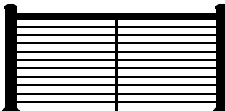















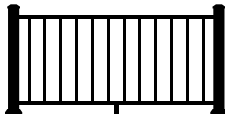
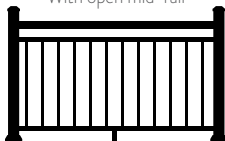

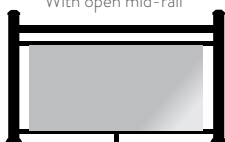

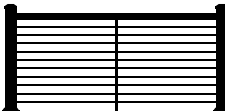












Less Limitation - Design Flexibility



1330 West Fulton Street, Suite 350
Chicago, Illinois 60607
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Made in the USA
LIT-BEVEL
REV 9/23

1. STYLES AND COLORS	2. INFILLS	3. POST SLEEVES	CAPS AND SKIRTS	LIGHTING
<div><h2>IMPRESSION RAIL EXPRESS® SERIES</h2><p>COLOR OPTIONS</p><div><div>WHITE</div><div>BLACK</div><div>DARK BRONZE</div></div><div><p>CLASSIC 2.5" x 2.3"</p></div><div><p>MODERN 2.25" X 1.8"</p></div><div><p>DRINK RAIL 2.7" X 5.5"</p></div><p>The Drink Rail system works with all full-profile, Square-Shouldered deck boards, but NOT with scalloped boards (i.e., Terrain, Terrain+, Prime, Prime+, or ReliaBoard). Drink Rail cannot be used with glass or open mid rail infill. Only use 3" posts with the Drink Rail System, including in over-the-post applications.</p></div> <td><div><p>Aluminum Balusters Rectangular only</p></div><div><p>Aluminum Balusters With open mid-rail</p></div><div><p>Glass Channel Kit Glass not included</p></div><div><p>Glass Channel Kit With open mid-rail Glass not included</p></div><div><p>Vertical Cable Rail</p></div><div><p>Horizontal Cable Rail</p></div></td> <td><div><p>For 3" Post Applications 3" x 3" Post</p></div><div><p>For Over-the-Post Applications with 18' Classic or Modern Top Rail 2" x 2" Post</p></div><div><p>For 4" Post Applications 4" x 4" Post Sleeve</p></div></td> <td><div><p>3" x 3" Cap 3.39" x 3.39" Profile</p></div><div><p>3" x 3" Skirt 5.38" x 5.38" Profile</p></div><div><p>2" x 2" Skirt 3.88" x 3.88" Profile</p></div><div><p>4" x 4" Cap 4.4" x 4.4" Profile</p></div><div><p>4" x 4" Skirt 5.38" x 5.38" Profile</p></div></td> <td><div><p>Small Accent Light</p><p>New</p><p>For SKUs and color options see page 40.</p></div><div><p>3" Post Cap Light</p><p>New</p></div><div><p>3" x 3" Indirect Light Post Cap</p></div><div><p>3" x 3" Perimeter Light Post Cap</p></div></td>	<div><p>Aluminum Balusters Rectangular only</p></div> <div><p>Aluminum Balusters With open mid-rail</p></div> <div><p>Glass Channel Kit Glass not included</p></div> <div><p>Glass Channel Kit With open mid-rail Glass not included</p></div> <div><p>Vertical Cable Rail</p></div> <div><p>Horizontal Cable Rail</p></div>	<div><p>For 3" Post Applications 3" x 3" Post</p></div> <div><p>For Over-the-Post Applications with 18' Classic or Modern Top Rail 2" x 2" Post</p></div> <div><p>For 4" Post Applications 4" x 4" Post Sleeve</p></div>	<div><p>3" x 3" Cap 3.39" x 3.39" Profile</p></div> <div><p>3" x 3" Skirt 5.38" x 5.38" Profile</p></div> <div><p>2" x 2" Skirt 3.88" x 3.88" Profile</p></div> <div><p>4" x 4" Cap 4.4" x 4.4" Profile</p></div> <div><p>4" x 4" Skirt 5.38" x 5.38" Profile</p></div>	<div><p>Small Accent Light</p><p>New</p><p>For SKUs and color options see page 40.</p></div> <div><p>3" Post Cap Light</p><p>New</p></div> <div><p>3" x 3" Indirect Light Post Cap</p></div> <div><p>3" x 3" Perimeter Light Post Cap</p></div>



Impression Rail Express® in Dark Bronze

FRENCHWOOD[®] HINGED INSWING PATIO DOORS



400 Series
Frenchwood[®] Hinged
Inswing Patio Doors

SECTION REFERENCE

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CUSTOM SIZING
in 1/8" (3) increments



Dimensions in parentheses are in millimeters.

FRENCHWOOD® HINGED INSWING PATIO DOORS

FEATURES

Frame

A The sill is made with three-piece construction. The subsill is made of Fibrex® material, and the sill step is solid oak. The exterior sill member is made of extruded aluminum with an attractive wear-resistant, heat-baked finish in a neutral color. This combination of materials combines durability and low maintenance with excellent insulating characteristics.

B All basic exterior frame members are fiberglass reinforced composite, which maintains an attractive appearance while minimizing maintenance.

C The exterior frame members are attached to a water-repellent preservative-treated wood subframe for long-lasting* protection and performance. The subframe is grooved to accept extension jams.

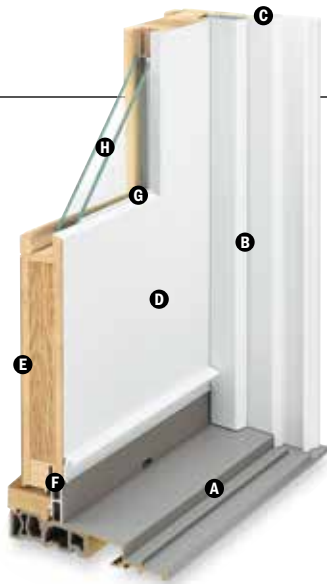
Panel

D The exterior of the wood door panel is protected with a long-lasting* urethane base finish in white, Sandtone, Terratone or forest green.

E Panel interior surfaces are unfinished pine veneer. Unfinished oak and maple veneers are available as options. Low-maintenance prefinished white interiors are also available.

Hinged inswing operating panels are left-hand active, right-hand active or two-panel active-passive jamb hinged.

F A factory-applied, one-piece compression-type rubber weatherstrip continues in one plane around the panel to provide maximum effectiveness against water and air infiltration. The corners of the weatherstrip are welded to eliminate gaps between the panel and the frame/sill shoulder.



Mortise-and-Tenon Joints



Mortise-and-tenon joints prevent panel sag and maintain smooth operation.

Adjustable Hinges

Adjustable hinges are standard on inswing patio doors and have ball-bearing pivots for smooth, frictionless movement. Features easy horizontal and vertical adjustment, plus quick-release feature for easy panel removal. This release feature is ideal for transporting large units up stairs or to other hard-to-reach areas.

Gold dust finish is standard on wood interior doors. For units with prefinished white interior, white is standard. Also available in finishes that coordinate with hardware.



Shown in gold dust finish.

Glass

G Panels are silicone bed glazed and finished with an interior wood stop.

H High-performance glass options include: Low-E4® tempered, Low-E4 HeatLock® tempered, Low-E4 Sun tempered, Low-E4 SmartSun™ tempered and Low-E4 SmartSun HeatLock tempered glass.

Additional glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction and simplifies finishing at the jobsite.

Patterned Glass

Patterned glass options are available. See page 12 for more details.

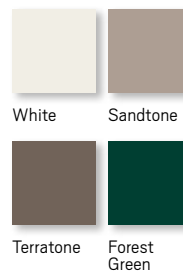
Hardware

Multi-Point Locking System

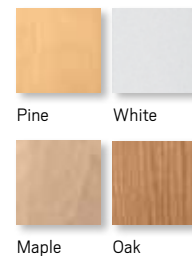


The multi-point locking system, with a hook bolt above and below the center dead bolt, provides a weathertight seal and enhanced security.

EXTERIOR

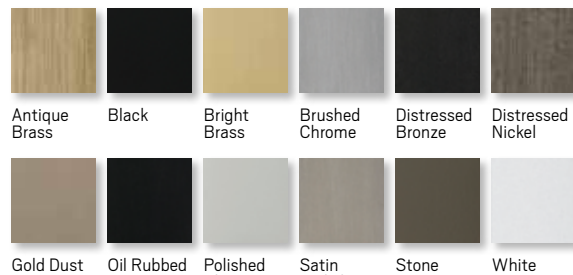


INTERIOR



Prefinished white interiors are only available on units with white exteriors. Naturally occurring variations in grain, color and texture of wood make each door one of a kind. All wood interiors are unfinished unless prefinished white is specified.

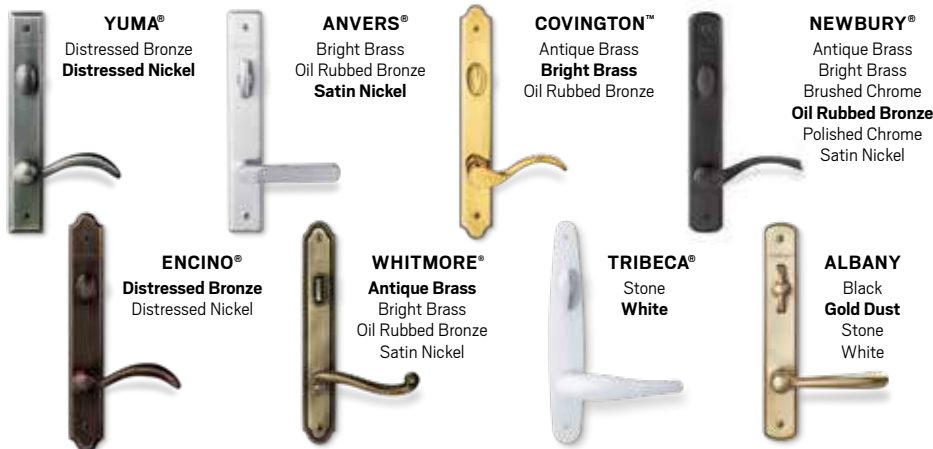
HARDWARE FINISHES



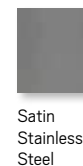
Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use.

HINGED PATIO DOOR HARDWARE OPTIONS**

Bold name denotes finish shown.



FSB® HARDWARE



Satin Stainless Steel



* Visit andersenwindows.com/warranty for details.

** Hardware sold separately.

Dimensions in parentheses are in millimeters.

"FSB" is a registered trademark of Franz Schneider Brakel GmbH & Co.

Mix-and-match interior and exterior style and finish options are available.

Bright brass and satin nickel finishes feature a 10-year limited warranty.

Tribeca and Albany hardware are zinc die cast with powder-coated durable finish. Other hardware is solid forged brass. Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

Blinds-Between-the-Glass



Blinds-between-the-glass are available for select hinged patio door sizes when ordered with Low-E4® tempered glass and a pine or prefinished white door interior and any of our four exterior colors. White 1/2" (13) aluminum slat blinds come mounted between two panes of insulated glass in a dust-free environment. Blinds are magnetically controlled and can be tilted, raised and lowered using low profile controls. Smooth, simple operation allows for customized light and privacy control. Available in 2768, 27611, 3168, 31611, 5068, 50611, 6068, 60611, 9068, 90611 door sizes.

CAUTION:

- Painting and staining may cause damage to rigid vinyl.
- Do not paint 400 Series patio doors with white, canvas, Sandtone, forest green, dark bronze or black exterior colors.
- Andersen does not warrant the adhesion or performance of homeowner-applied paint over vinyl or other factory-coated surfaces.
- 400 Series patio doors in Terratone color may be painted any color lighter than Terratone color using quality oil-based or latex paint.
- For vinyl painting instructions and preparation, contact your Andersen supplier.
- Do not paint weatherstrip.
- Creosote-based stains should not come in contact with Andersen products.
- Abrasive cleaners or solutions containing corrosive solvents should not be used on Andersen products.

* Exterior extension jambs for hinged inswing patio doors must be applied before installing into opening.

** Visit andersenwindows.com/warranty for details.

Andersen patio doors are not intended for use as entrance doors.

Dimensions in parentheses are in millimeters.

"Delrin" is a registered trademark of E.I. du Pont de Nemours and Company.

For more information about **glass, patterned glass, art glass and grilles**, see pages 12-14.

For more information about **combination designs, product performance, installation instructions and accessories**, see pages 181-211 or visit andersenwindows.com.

ACCESSORIES Sold Separately

Frame

Interior Extension Jambs

Standard jamb depth is 4 9/16" (116). Pine, oak or maple veneer or prefinished white extension jambs are available in 1/16" (1.5) increments between 5 1/16" (129) and 7 1/16" (181). Interior extension jambs on inswing units will restrict the full opening of door.

Exterior Extension Jambs*

Exterior extension jamb system is available for the following wall thicknesses: 5 1/4" (133), 6 9/16" (167) and 7 9/16" (192). In walls over 4 1/2" (114), the exterior sill extender and exterior extension jamb system allow the unit to be installed flush to the interior, so the hinged doors will open flat against the interior wall. Colored-matched to the exterior of the finished unit, this system provides a low-maintenance, finished exterior appearance. An extended double-insect screen track is available for jamb-hinged doors that require gliding insect screens. Exterior extension jamb kits are available with or without the double-insect screen track.

Threshold



An oak or maple threshold is available for finishing the interior of the sill.

Sill Support



An aluminum sill support is designed to lock into a channel under the sill and tie back into the wall. This will offer support to the outermost sill section when needed. Available in neutral gray finish.

Ramped Sill Insert



Ramped sills provide smooth transition from interior to exterior. Shown with a Frenchwood® gliding patio door. It cannot be used with hinged or gliding insect screens. Check with local and federal officials to determine if product meets accessibility codes.

Hardware

Exterior Keyed Lock



A six-pin key cylinder lock is available in styles and finishes that coordinate with hardware. This lock allows the hinged patio door to be locked and unlocked from the exterior.

Handle Extension



Extends interior door handle an additional 1" (25) from the door interior panel to accommodate blinds or shades. Kit includes one handle extender and spindle. A second extender may be added to increase the length an additional 1" (25) to a 2" (51) total extension. Extenders are available in finishes that coordinate with hardware.

Strike Plate Extensions

Bright brass, antique brass, polished chrome, oil rubbed bronze, brushed chrome and satin nickel strike plate extensions are available for the following wall thicknesses: 5 1/4" (133), 6 9/16" (167), 7 1/8" (181) and 7 9/16" (192).

Construction Lock



This hardware can be used on all Andersen® hinged doors to help secure the structure during the construction phase of the project. It features an undersized escutcheon plate, which makes on-site finishing easier.

Panel Stop



This hinged door panel stop helps prevent wall damage when opening the inswing door. Available in finishes that coordinate with hardware.

Grilles

Grilles are available in a variety of configurations and widths. For patio door grille patterns, see page 155.

Insect Screens

All insect screens have a long-lasting** fiberglass screen mesh with a charcoal finish and frames are color matched to the exterior of the door unless otherwise specified.

Gliding Insect Screen

Available for all two- and three-panel doors. Features Delrin® material injection molded bottom rollers with self-contained leveling adjusters. A double-insect screen track is required for two-panel active-passive or passive-active doors. Gliding insect screens are not available for 4" (1219) wide doors. Insect screens are shown on page 14.

Double-Insect Screen Track



An extended insect screen track is required for two-panel active-passive or passive-active hinged doors that use gliding insect screens.

Hinged Insect Screens

Available for single-panel hinged doors and two-panel active-passive or passive-active doors. Insect screens are shown on page 14.

Security Sensors

VeriLock® Sensors

VeriLock sensors are available in five colors. See page 15 for details.

Open/Closed Sensors

Wireless open/closed sensors are available in four colors. See page 15 for details.

Glass

Andersen Art Glass

Andersen art glass panels come in a variety of original patterns. See pages 173-174 for details on Andersen art glass. Visit andersenwindows.com/artglass for details and pattern information.

Sidelights & Transoms

Andersen Frenchwood patio door sidelights and transoms feature elegant lines that match our Frenchwood hinged patio doors. See pages 159-162 for details.

Exterior Trim

This product is available with Andersen exterior trim. See pages 175-180 for details.

Project Address: 124 State Street

Permit Requested: Work Session

Application: Work Session #2

A. Property Information - General:

Existing Conditions:

- Zoning District: Character District 4 (CD4)
- Land Use: Residential
- Land Area: 4,775 SF +/-
- Estimated Age of Structure: c.1815
- Building Style: Federal
- Number of Stories: 3
- Historical Significance: Contributing
- Public View of Proposed Work: State Street & Downtown
- Unique Features: N/A
- Neighborhood Association: Downtown

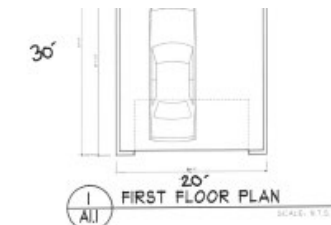


B. Proposed Work: The construction of a detached garage.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- The construction of a detached garage.



**HISTORIC
SURVEY
RATING

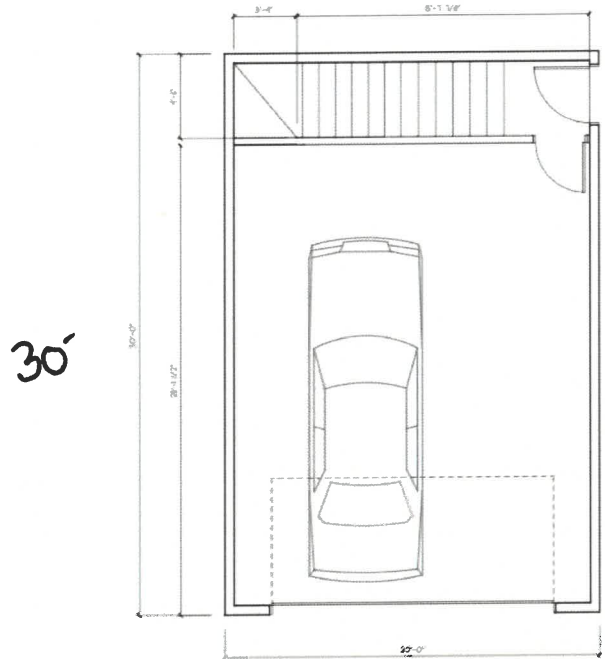
C**

D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

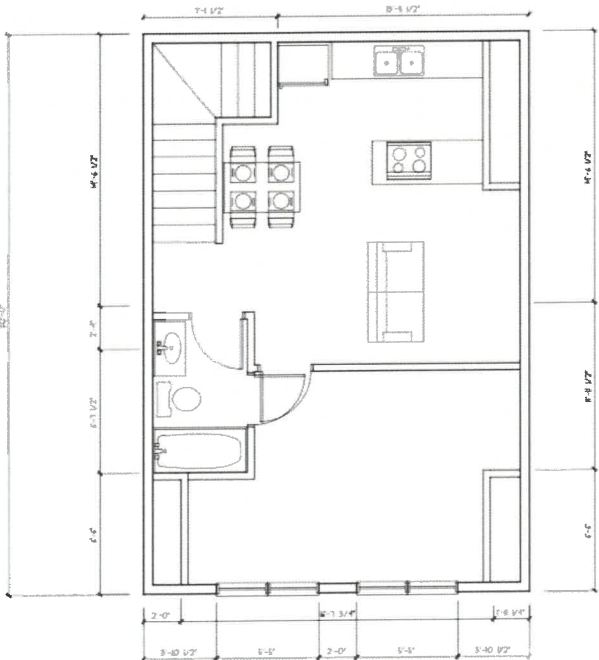
1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



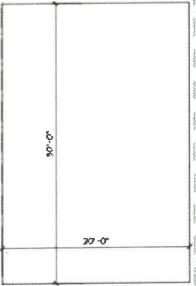
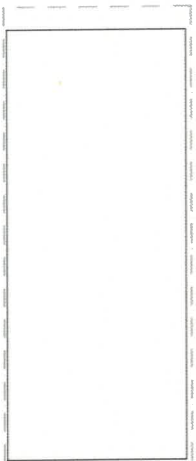
1 FIRST FLOOR PLAN
A.I.I. SCALE: N.T.S.



3 COURT ST. ELEVATION
A.I.I. SCALE: N.T.S.



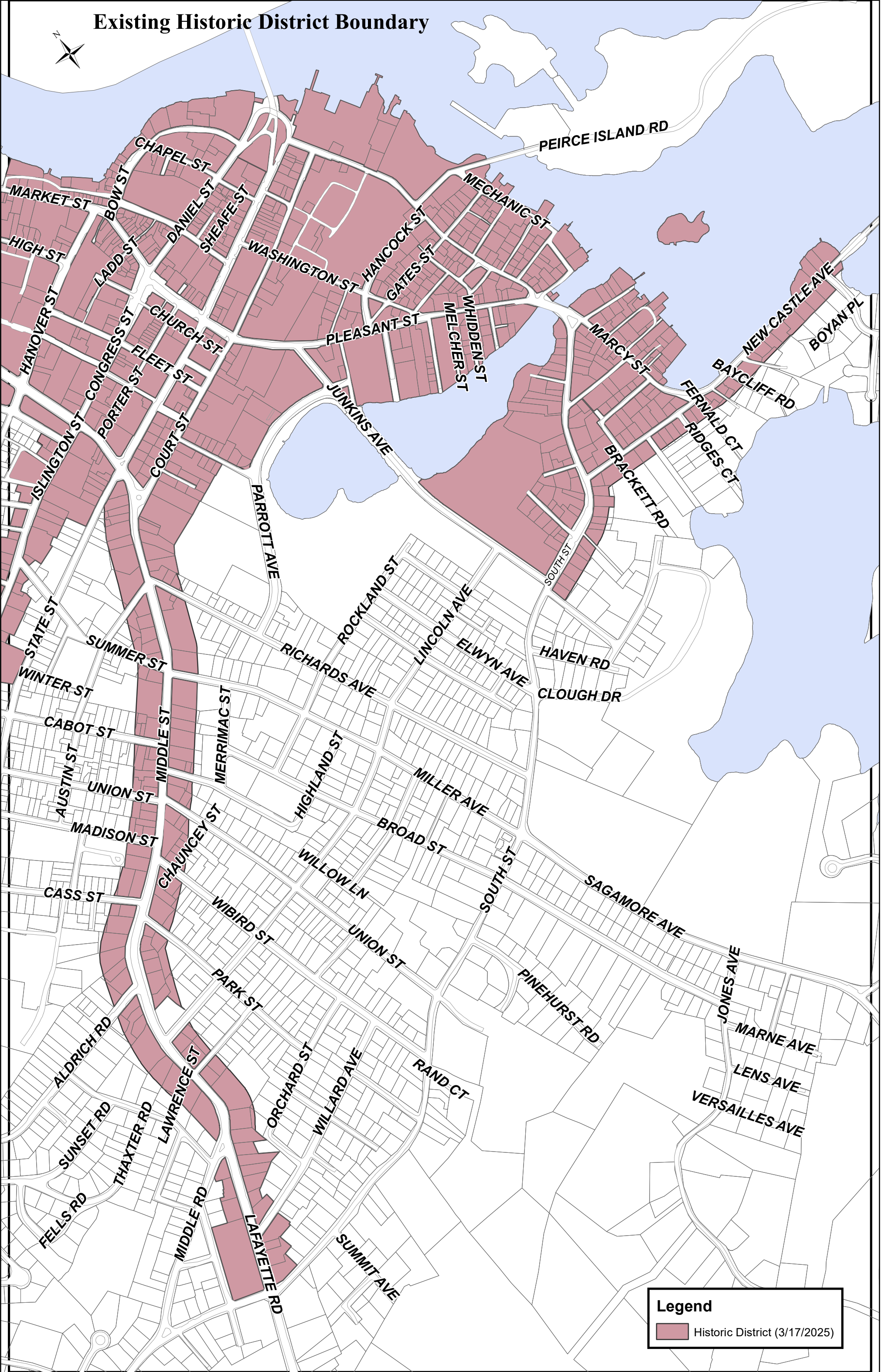
2 SECOND FLOOR PLAN
A.I.I. SCALE: N.T.S.



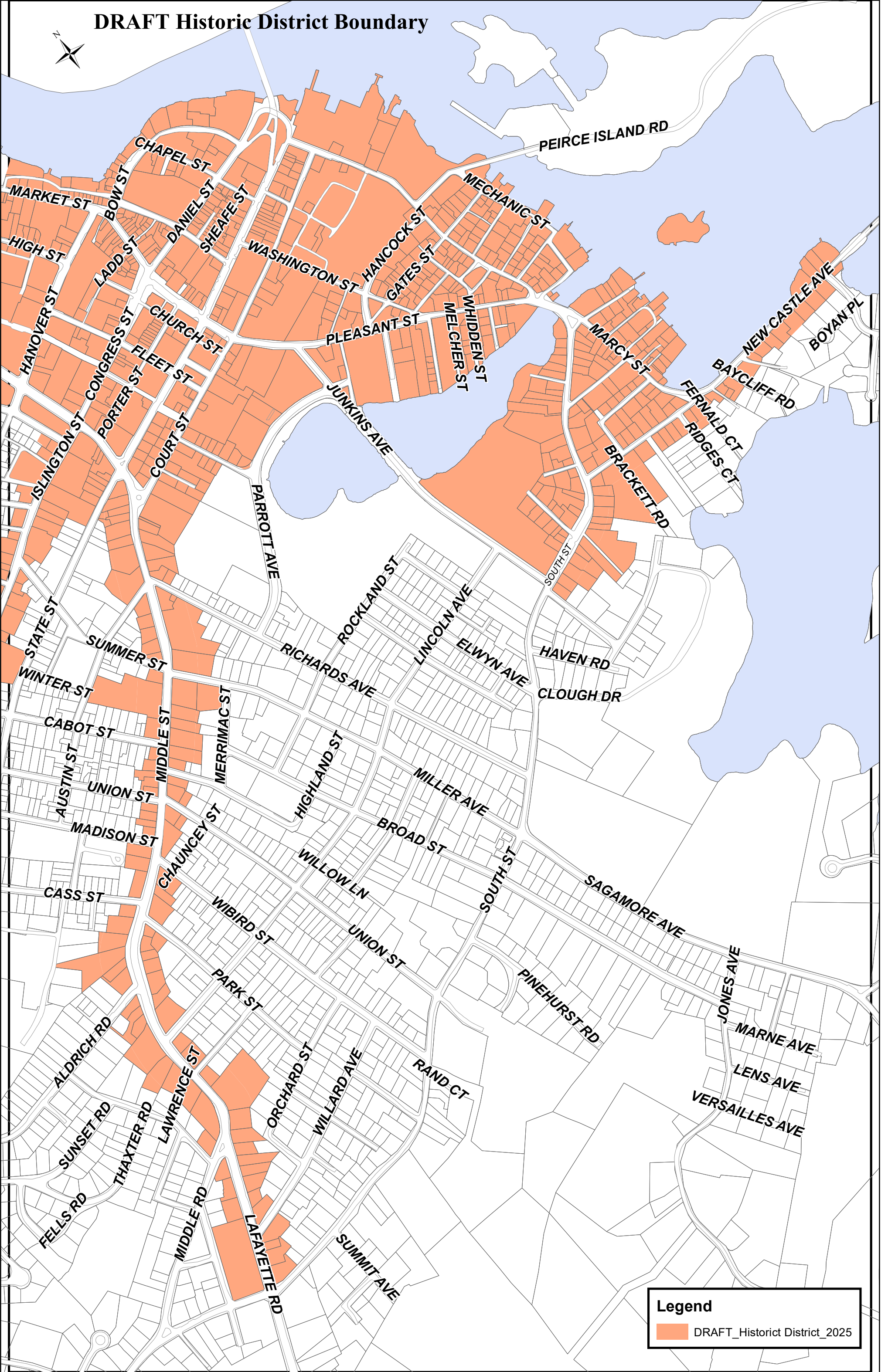
4 PLOT PLAN
A.I.I. SCALE: N.T.S.



Existing Historic District Boundary



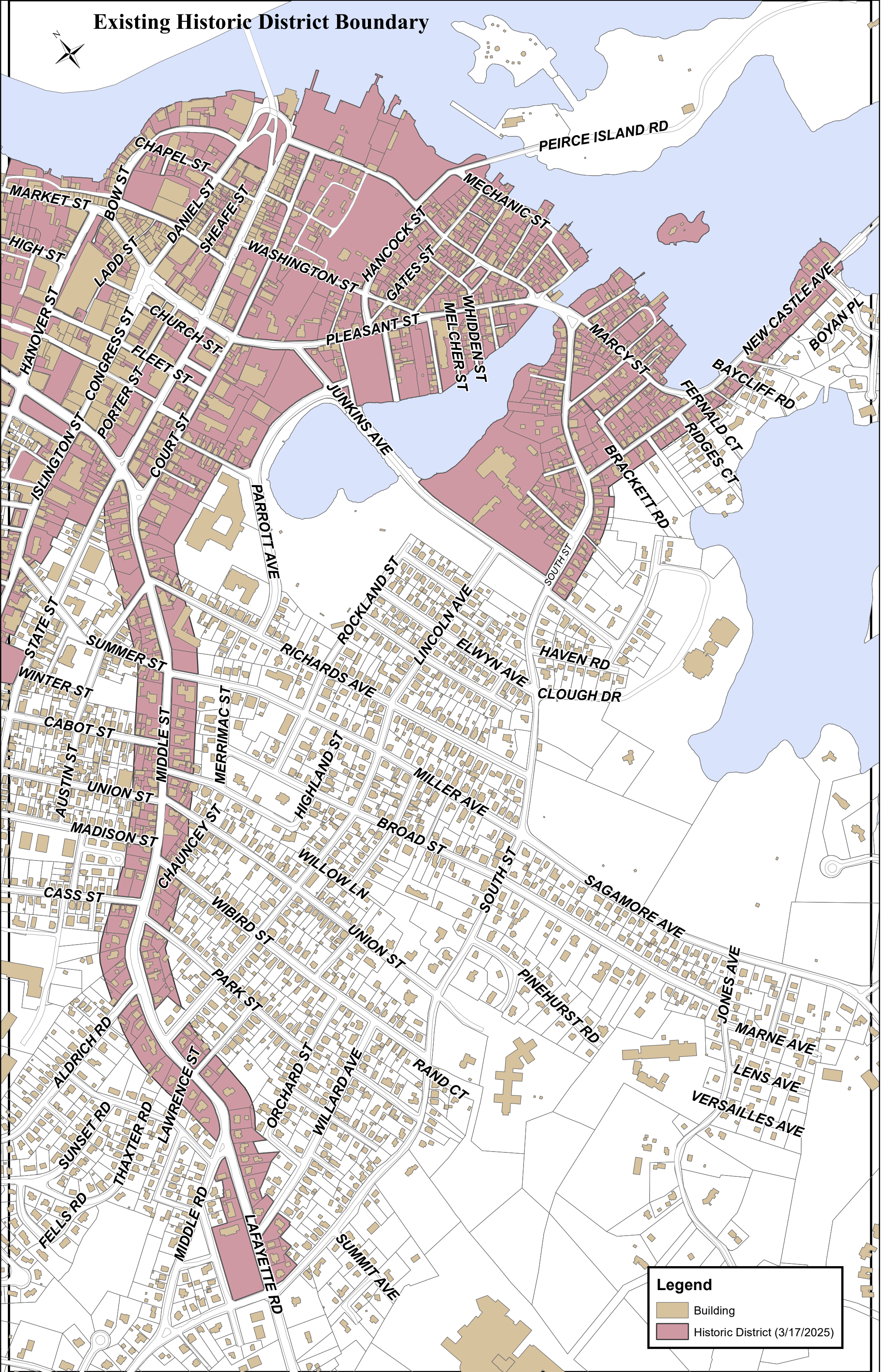
DRAFT Historic District Boundary

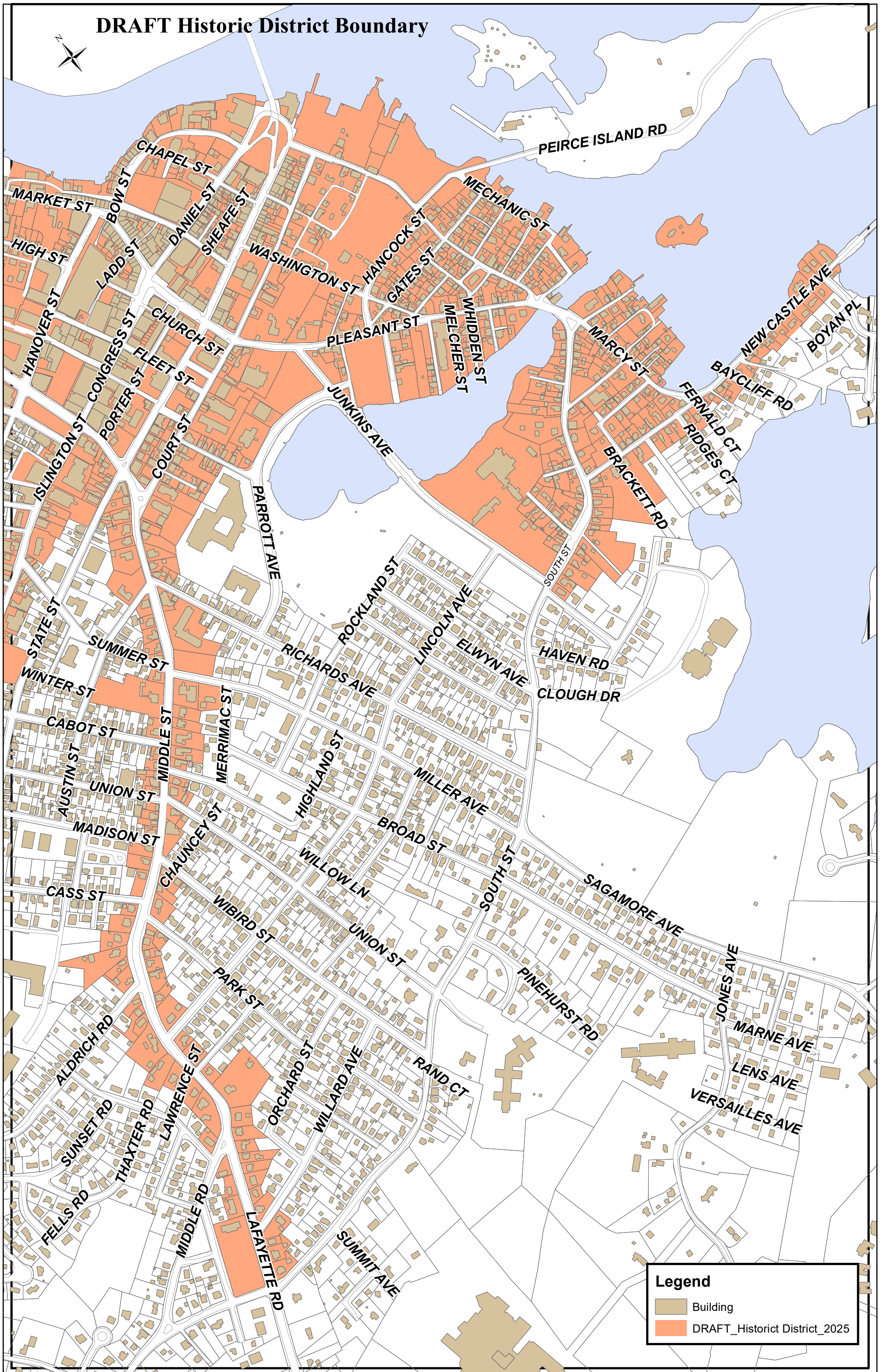


Legend

DRAFT_Historict District_2025

Existing Historic District Boundary





 Building
 DRAFT_Historict District_2025