

**MEETING OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom
(See below for more details) **

6:30 p.m.

October 01, 2025

AGENDA (revised on September 26, 2025)

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

I. APPROVAL OF MINUTES

1. September 03, 2025

II. ADMINISTRATIVE APPROVALS

1. 500 Market Street
2. 2 Market Square, Unit #2
3. 64 Mt. Vernon Street
4. 235 Marcy Street
5. 139 South Street, Unit A
6. 50 Austin Street
7. 112 New Castle Avenue
8. 101 Chapel Street
9. 93 State Street

III. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of Robert and Maureen Holderith, owners, for property located at 69 Wentworth Street, wherein permission is requested to allow exterior renovations to an existing structure replace (6) second story windows as per plans on file in the Planning Department. Said property is shown on Assessor Map 109 as Lot 12 and lies within the General Residence B (GRB) and Historic Districts.

IV. WORK SESSIONS (OLD BUSINESS)

- A. **REQUEST TO POSTPONE-** Work Session requested by Greg and Laura Ludes, owners, for property located at 124 State Street, wherein permission is requested to allow the construction of a new detached garage as per plans on file in the Planning Department. Said

property is shown on Assessor Map 107 as Lot 56 and lies within the Character District 4 (CD4), Character District 4-L1, and Historic Districts.

B. Work Session requested by Double MC, LLC, owner, for property located at 134 Pleasant Street, wherein permission is requested to allow new construction to an existing structure (construct additions) and exterior modifications as per plans on file in the planning department. Said property is shown on Assessor Map 116 as Lot 30 and lies within Character District 4 (CD4) and the Historic Districts.

V. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by Capital Security Financial Services, owner, for property located at 40 Market Street, wherein permission is requested to allow exterior renovations to an existing structure (replace the existing storefront door) as per plans on file in the Planning Department. Said property is shown on Assessor Map 117 as Lot 30 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

VII. ADJOURNMENT

**Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

https://us06web.zoom.us/webinar/register/WN_ceYMX_HkQNO_iY9tW6C4UA

**MINUTES OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

September 03, 2025

MEMBERS PRESENT: Chair Reagan Ruedig; Vice-Chair Margot Doering; City Council Representative Rich Blalock; Members Martin Ryan, Dr. Dan Brown, Dave Adams, Joy Curth and Alternate Susan Strauss

MEMBERS EXCUSED: Alternate Larry Booz

ALSO PRESENT: Izak Gilbo, Planner 1, Planning Department

.....

Dr. Brown arrived later to the meeting. Chair Ruedig asked for a motion to grant the request for postponement for Old Business Work Session A, 124 State Street.

*Mr. Adams moved to **postpone** the work session, seconded by Councilor Blalock. The motion **passed** unanimously, 6-0, with Dr. Brown absent.*

I. APPROVAL OF MINUTES

1. August 06, 2025

Chair Ruedig abstained from the vote. Mr. Gilbo noted that an applicant's last name that was not clear was corrected.

*Mr. Adams moved to **approve** the minutes, seconded by Vice-Chair Doering. The motion **passed** unanimously, 5-0, with Chair Ruedig abstaining and Dr. Brown absent.*

Note: At this point in the meeting, Dr. Brown arrived.

II. ADMINISTRATIVE APPROVALS

Note: Items 5, 12, and 13 were pulled and addressed first.

1. 28 Chestnut Street

Mr. Gilbo said the applicant agreed to move the Congress Street gate back several feet so that it could accommodate the mural. He said the chain link fence would be replaced by a new one. Director of Music Hall Operations Michael Tucker was present and said the new fence would be hollowed steel picket and would be installed five feet from the sidewalk and have locks on it.

Stipulation: The gate shall be moved back five feet.

2. 36 Richmond Street

Mr. Gilbo said the applicant replaced windows on one side of the house and now wanted to replace the remaining windows with the same ones that were previously approved.

3. 235 Marcy Street

Mr. Gilbo said the applicant previously received approval for a sizable renovation project that was supposed to restore five original windows and replace the remaining windows. He said an inspector discovered asbestos in the windows, so the owner wanted to replace all the windows. The applicant Mr. Nanda was present via Zoom and said there was lead on the frame and asbestos on the glaze and that the windows had cracked panes and so on. Chair Ruedig said it had been agreed that the five windows that were in the best condition would be restored and placed on the front façade. It was further discussed. Vice-Chair Doering suggested salvaging two good windows and placing them on the bottom of the front façade. Ms. Curth questioned why the other three windows for the front façade could not be restored. Dr. Brown said the entire house was being renovated and thought the door and two first-floor windows should be saved.

The item was pulled for a separate vote.

Vice-Chair Doering moved that the applicant choose two windows or a combination of two windows from the available historic windows to be restored and installed on the first floor to the right of the door, and that the upper-story windows shall be replaced with identical windows that were originally approved. Dr. Brown seconded.

*The motion **passed** by a vote of 6-1, with Ms. Curth voting in opposition.*

4. 11 Meeting House Hill Road

Mr. Gilbo said the applicant was previously approved to remove the bishop caps on the chimneys and replace them with a black stainless steel covering. Mr. Adams explained what bishops caps were used for and said many remaining bishop caps in Portsmouth did not work any longer. He said the applicant's bishop caps were reproductions and that replacing them would not change the architectural presence of the house. He noted that a lot of homes in the neighborhood had metal caps. Mr. Ryan said the bishop caps were a statement and part of the house and that he did not want to see a cheap stainless steel cap in that part of town on a house at that level of restoration. The applicant Mr. Nanda was present via Zoom and said the original bishop caps were not practical because they leaked and allowed animals to go in. Chair Ruedig said there was no evidence that the bishop caps were original to the building and that she could not support keeping them if they were damaging the house. She said the chimney was also a rebuilt one. Copper, clay, and bluestone caps were suggested and further discussed.

*Ms. Curth moved to **approve** the item with the following **stipulation**:*

1. A bluestone cap shall be used.

*Mr. Ryan seconded. The motion **passed** unanimously, 7-0.*

5. 69 Wentworth Street

The request was to replace six second-story windows with 6/6 Andersen 400 Series Woodwright windows to match the first-floor windows. Vice-Chair Doering said there was nothing in the packet stating the age and conditions of the windows, and asked why they could not be restored.

*Vice-Chair Doering moved to **continue** the item to the October meeting, seconded by Mr. Ryan. The motion **passed** unanimously, 7-0.*

6. 526 State Street

Mr. Gilbo said the applicant was before the Commission the previous month and was requesting minor changes: 1) on the north elevation, a shift in the location of the door/window opening and a slight change in its width; 2) on the west elevation, the elimination of a window due to wall requirements and the adjustment of a trim detail, and 3) infilling an existing door and creating a new door on the connection between the house and the rear addition.

7. 170-172 Gates Street

Mr. Gilbo said the applicant was previously approved to redevelop the garage but discovered that the dimensions were off, so he had revised dimensions. He said nothing else would change and that the applicant would have to go before the Board of Adjustment again as well.

8. 44 Rogers Street

The request was to add a new garage door, a pedestrian door, and a double hung window to the one-story garage and replace the trim and siding as needed. Mr. Gilbo said the door was an embossed steel door and that the siding would be clapboard and the trim would be wood.

9. 500 Market Street

The request was to install a condenser unit and surround it with a wood screening option. Mr. Gilbo said it would match the other condenser unit installed on one of the property's buildings. Ms. Curth said she was concerned about the condenser's placement and its visibility.

*Ms. Curth moved to **continue** the item to the October meeting, seconded by Mr. Adams. The motion **passed** unanimously, 7-0.*

10. 112 New Castle Avenue

Mr. Gilbo said the applicant was repainting the house and repairing trim work and siding and that he wanted to remove the existing shutters or just have shutters on the front façade of the house. He said the applicant also wanted to remove the heating chimney because it was no longer necessary but that the fireplace chimney would remain. The applicant Sue Mello was present and confirmed that the fireplace chimney would remain and would not be changed. Mr. Gilbo said the applicant also wanted to install window infills and two HVAC condensers on the

rear of the home and would possibly eliminate the rear bathroom window. Ms. Mello said the mini splits would be on the back or side of the home. Mr. Gilbo said the windows would be infilled with in-kind siding. Vice-Chair Doering said the building would look odd with the heavy fireplace chimney and the removal of the other chimney. Mr. Adams agreed, and it was further discussed. Chair Ruedig suggested that the shutters be kept on the front. She asked if the reason to remove the heating chimney was to open up the interior. Ms. Mello agreed and said it would also not be used for heating anymore.

*Vice-Chair Doering moved to **approve** the item with the following **stipulations**:*

- 1. The shutters shall be kept on the front of the house and shall be installed with the louvers facing upward where open;*
- 2. The two rear windows shall be infilled with in-kind clapboards;*
- 3. HVAC equipment shall be installed; and*
- 4. The applicant may return to the Commission with more details on the chimney removal.*

*Mr. Adams seconded. The motion **passed** unanimously, 7-0.*

11. 111 Gates Street

Mr. Gilbo said the original approval for the project lapsed and that the applicant received reapproval for the same design at the previous month's meeting but made a change to the rear and wanted to bring the dormer from the right-hand side to the left-hand side.

12. 11 Walden Street

Mr. Gilbo said the applicant wanted to install six granite posts in the public right-of-way so that cars would not hit his house. He said the request would also have to be approved by the Department of Public Works and would also go to the City Council for a license to install something in a public right-of-way. He said he met with the Director of Public Works, who said the granite posts would not hold up if hit and that they were not the best solution. Chair Ruedig said the Commission received a few letters from the public cautioning against putting anything else farther into the roadway because it was already narrow. Vice-Chair Doering said she also thought six posts were too much and that granite steps may be an option. Mr. Adams agreed and suggested that the City could put install a curb instead.

*Vice-Chair Doering moved to **deny** the request as written but said she was supportive of the applicant's efforts to protect their building and steps. Dr. Brown seconded the motion. The motion **passed** unanimously, 7-0.*

13. 40 Market Street

Mr. Gilbo said the applicant wanted to replace the dual door entry with a single door because of rot. Mr. Ryan said he looked at the doors and did not see any rot but thought the frame was in bad condition. He said the doors needed a thorough restoration repair and said he would not like to lose such a historic piece of fabric that was part of Market Street. Mr. Adams said the double

doors were nostalgic of an old-time storefront. He said the City had a problem with doors opening onto sidewalks and that the solution was to make a recess for the doors to set in, which would solve the weather problem. He encouraged the applicant to repair and reuse the doors.

*Mr. Adams moved that the item be **moved to a work session/public hearing**. Mr. Ryan seconded. The motion **passed** unanimously, 7-0.*

14. 222 Court Street

Mr. Gilbo said the basement's bulkhead entrance was taking in water and debris, so the applicant wanted to add a cover to it also wanted to install a fire escape system with a swing-out ladder for the second floor. Ms. Curth noted that there was a window by the fire escape and asked if a rope ladder could be used instead of a balcony. The applicant's representative Barbara Ward, Special Projects Associate for the Black Heritage Trail of New Hampshire, was present and said that most of the employees were elderly and would not be able to step from the window onto a rope ladder. Mr. Ryan said he thought the fire escape would be dangerous. He asked if the basement covering would be painted to blend in with the building. Ms. Ward said everything would be painted the same color as the building and that the material would be wood. Chair Ruedig noted that the fire escape could be uninstalled.

Stipulation: The bulkhead covering and platform shall be painted to match the building

*Councilor Blalock moved to **approve** Items 1, 2, 6, 7, 8, 11, and 14 with their respective stipulations. Dr. Brown seconded. The motion **passed** unanimously, 7-0.*

III. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of Brian O'Neill, owner, for property located at **6 Dearborn Street (which includes #10 Dearborn Street)**, wherein permission is requested to allow exterior renovations to an existing structure (#10 Dearborn) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 as Lot 4 and lies within the General Residence A (GRA) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 1:31:18] Sam Mukarkar and Michael McNeil of StoneArch Development were present on behalf of the applicant. Mr. Mukarkar said they changed the Cape design into a Colonial as previously suggested by the Commission and would replace the vinyl with cedar and use appropriate windows. He said they wanted to have shutters on the driveway side and the front façade. Vice-Chair Doering said she was in favor of the project from an aesthetic view but had a problem with the underside of the porch and how the pillars ended up in the grass because it looked unfinished. She asked if a retaining wall or knee wall was considered instead. Mr. Mukarkar said there was an existing concrete patio that needed to be repaired. Vice-Chair Doering suggested a simple bluestone patio with a low retaining wall instead. Chair Ruedig said the bases of the posts were missing in the rendering. Mr. McNeil said the intent was to make them look more aesthetically pleasing. Vice-Chair Doering asked that the applicant return for an

administrative approval of what the patio would look like. Mr. Gilbo noted that the property was within the 100-ft wetland buffer and that any disturbance would require the approval of the Conservation Commission. Vice-Chair Doering asked if the railing would be the same as the deck railings. Mr. McNeil said they could replace the composite railing with something more suitable but that the deck would not change. Vice-Chair Doering said the railing would not have to be changed then. Chair Ruedig said half screens were required, and the applicant said they would have them. Chair Ruedig advised the applicant to use historic shutters and install them correctly. Mr. Mukarkar said the shutters would mimic the other building's.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

*Mr. Adams moved to **grant** the Certificate of Approval for the application, with the following stipulation:*

1) Half screens shall be used.

Councilor Blalock seconded the motion.

Mr. Adams said the project would be consistent with the defining nature of the surrounding properties and would have compatibility with the surrounding properties.

*The motion **passed** unanimously, 7-0.*

IV. WORK SESSIONS (OLD BUSINESS)

A. REQUEST TO POSTPONE - Work Session requested by **Greg and Laura Ludes, owners**, for property located at **124 State Street**, wherein permission is requested to allow the construction of a new detached garage as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 56 and lies within the Character District 4 (CD4), Character District 4-L1, and Historic Districts.

DECISION OF THE COMMISSION

*The work session was **postponed**.*

B. Work Session requested by **Double MC, LLC, owner**, for property located at **134 Pleasant Street**, wherein permission is requested to allow new construction to an existing structure (construct additions) and exterior modifications as per plans on file in the planning department. Said property is shown on Assessor Map 116 as Lot 30 and lies within Character District 4 (CD4) and the Historic Districts.

WORK SESSION

[Timestamp 1:48:46] Architect Tracy Kozak was present on behalf of the applicant, along with Marie Bodi of McNabb Properties. Ms. Kozak gave a brief history of the property and the project. She said they reduced the scale and wanted to attach the new addition with a bridge. She said they would remove the canopies and the glass pyramid and add windows to the former bank's second floor. She said they were working with civil engineers to address the grade change. She said there were still lots of details and materials to consider but that the main concept was little hipped buildings connected by a bridge structure.

[Timestamp 2:00:10] Mr. Ryan said it was more appropriate architecture for the surrounding context but said it seemed to be like a split personality between the existing bank and the new addition. He asked if it was possible to have some thread tied through that was not such a huge distinction between the two buildings. Mr. Adams asked Ms. Kozak if she considered putting new façade elements on the long low linear building. Ms. Kozak said the bridge element could relate more to what was being pulled out. She said the storefront façade was being restored but the second story of the bank was brand new and they were putting in windows, a cornice, frieze bands and new cladding, so it was an opportunity to tie into the bridge. She said they were thinking of a cladding material for the bridge element that could be a shingle then could be a different material as it got closer to the modern building. Vice-Chair Doering said the bridge could look more industrial. She said the building to the right were good but the hip roof in the middle was a concern and she didn't know where the eyebrow window came from. She said the design should have a more modern feeling to it. She said the Pleasant Street façade could use more landscaping as a buffer and a visual softening to the people who walked down the street. She suggested setting the building a little farther back. Ms. Kozak said another change was to rotate the façade to align with Pleasant Street and set it back about 15 feet from the sidewalk. She said a fence or low hedge would help resolve the grading issue. Ms. Bodi noted that mature trees would be put in. The landscaping was further discussed. Councilor Blalock said the project had a good balance and flow but agreed that more elements could increase that flow. Dr. Brown said it was a huge improvement but that the hard part would be combining the two architecture styles. He said he liked the bridge idea. Ms. Curth said the cornice line looked very modern and harsh and that she would like to see more blending elements. Vice-Chair Doering suggested carrying the existing 1950s cornice through. Chair Ruedig said the challenge was blending the large institutional parcel with the surrounding residential ones and thought the 1950s building did not really fit in anywhere. She said softening elements could be put in the building to make it look more residential. She said the porthole and eyebrow windows did not really belong. She suggested simplifying the new buildings and keeping some of the traditional forms and the massing rhythm and ensuring that the detailing of the materials blended in. She said suggested extending some fencing on Pleasant Street. Mr. Ryan suggested replacing the barrel dormers with something more streamlined that related to the other side of the building. He asked if a hip roof was placed on the modern building. Mr. Kozak said they raised the bridge six feet to match the addition's second floor but nothing aligned. The roofs were further discussed.

Public Comment

Peter Smith of 206 Court Street said it was a much better design. He said it was difficult to establish what the old building really was and whether the bridge was figurative as well as literal. He said the greenery on the front façade on Pleasant Street was important because the

development would lose a lot of green space. He said putting green space back in would pull attention away from the mass and focus it more on the historic building across the street.

Erin Proulx of 118 Pleasant Street (via Zoom) said the new rooflines and the variation from the street of certain portions of the building being stepped back was a tasteful design and more appropriate. She said the building still felt very large on Pleasant Street and thought it would make a big difference if it was set back enough where there could be some green space.

DECISION OF THE COMMISSION

*Mr. Ryan moved to **continue** the work session to the October meeting, seconded by Councilor Blalock. The motion **passed** unanimously, 7-0.*

V. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by **Brian T. and Kyle M. LaChance, owners**, for property located at **86 South School Street** wherein permission is requested to allow new construction to an existing structure construct side entry room with stairs to the back yard, install new fencing, and install new condenser unit as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 63 and lies within the General Residence B (GRB) and Historic Districts.

WORK SESSION

[Timestamp 2:32:13] The applicants Brian and Kyle LaChance were present and said they wanted to add a porch/mudroom to the side of the house and replace the deck. Mr. LaChance said the porch would be one foot wider than the deck and would be an adequate exit. He said the flat roof leaked, so they wanted to eliminate it and put a traditional roof on the new entryway and on the back side. He said they would replace the back side window with a half-sized one and install a fence, tear up some of the pavement and put in porous materials, and replace the AC units on the side of the house with a condenser unit to avoid doing a lot of connections to the mini splits. He said they would also put a transom window near the new entry.

[Timestamp 2:38:55] Councilor Blalock said the Athenaeum photo showed a bump out, so there was history of one. He said he was in favor of less conduit wrapping around the house. It was further discussed. Mr. Adams said the corner board should be retained because it would provide a visual separation between the house and the addition and the house would stand proudly. He said the house was the defining piece and the addition was a dependency, so the roof trim on a dependency was usually smaller and did not have the presence of the overhang that was on the house. He said all those things should be scaled down. He said the shed should also have its own defining corner boards. Mr. Ryan said the shed massing coming in was very foreign to the original house, and he suggested having the strong cornice come around at the same level and going back to the corner so that it looked more formal instead of very modern. Mr. LaChance said the issue was water falling on the front steps. Mr. Ryan said the cap and entrance were very formal and thought there should be a secondary formal entrance. Chair Ruedig suggested that the

applicant should look at neighboring fences. Mr. LaChance said the fencing would match one of the neighbor's fencing. He said they would return to a future meeting.

DECISION

*Councilor Blalock moved to **close** the work session, seconded by Vice-Chair Doering. The motion **passed** unanimously, 7-0.*

VI. CERTIFIED LOCAL GOVERNMENT GRANT OPTIONS

[Timestamp 2:49:18] Chair Ruedig said she attended an information session with Brandee Loughlin, the Certified Local Government (CLG) representative of the NH Division of Historical Resources. She said the Commission met certain obligations and thresholds to be recognized by the National Park Service as a certified local government, which made them eligible for grant money. She said there were two types of grants, one of which was a regular one that covered historic survey or preservation projects in the Historic District. She said a stretch of Islington Street had not been surveyed yet and that a consultant could be hired in the future to look at each building on Islington Street and give a basic historic understanding of their timeline and provide historic photos. She said the other grant was the National Association of Preservation Commission Camps, which were like mentoring programs for the Commission that would consist of a day of workshops with a range of topics for training. She said the Letter of Intent was due October 1 and asked if a Commission member was interested in writing it. Vice-Chair Doering said an extension of the survey down Islington Street would be good because it would put Islington Street on the same basis for the Commission's decisions as others the Commission made. It was further discussed. Chair Ruedig said another component of the regular CLG grant was preservation planning. Vice-Chair Doering asked if it was possible to have an Historic District designation focused just on demolition decisions. It was further discussed. Chair Ruedig asked if the Commissioners wanted to set up a training session first and then have an inventory session afterward. Vice-Chair Doering said the inventory seemed like it would be more likely to get the grant and hire a consultant. Mr. Adams suggested having a book with examples of fencing between properties, trash can and air conditioning enclosures, and so on. It was further discussed. Chair Ruedig said she would apply for both grants.

VII. ADJOURNMENT

The meeting adjourned at 9:37 p.m.

Submitted,

Joann Breault
HDC Meeting Minutes Taker

HDC

ADMINISTRATIVE APPROVALS

October 01, 2025

- | | | |
|----|--------------------------|-----------------------|
| 1. | 500 market Street | -Recommended Approval |
| 2. | 2 Market Square, Unit #2 | -Recommended Approval |
| 3. | 64 Mt. Vernon Street | -Recommended Approval |
| 4. | 235 Marcy Street | -Recommended Approval |
| 5. | 139 South Street, Unit A | -Recommended Approval |
| 6. | 50 Austin Street | -Recommended Approval |
| 7. | 112 New Castle Avenue | -Recommended Approval |
| 8. | 101 Chapel Street | -Recommended Approval |
| 9. | 93 State Street | -Recommended Approval |

1. 500 Market Street

-Recommended Approval

Background: The applicant is seeking approval for the installation of a condenser unit with screening; all conduit lines will feed directly into the building.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

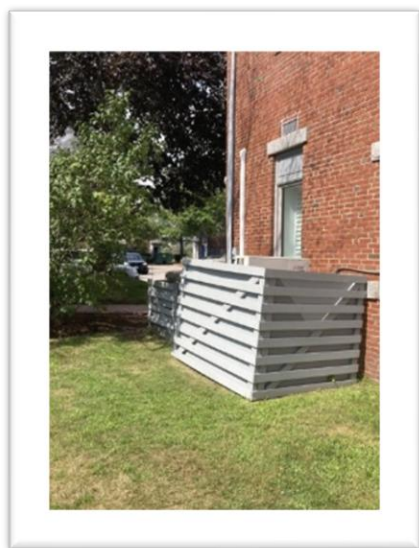


Property Management
Trusted. Seasoned. Leaders.

August 14, 2025

To whom it may concern –

The Nobles Island Condominium Association, located at 500 Market Street in Portsmouth, NH, would like to request the installation of a ground-level exterior condenser for the HVAC system, accompanied by a grey fence, to conceal the condenser from view. This design and installation would match the other condensers on the property. The fence is made of wood and painted light grey. Please see the picture below for your reference.



Thank you for your time and consideration.

Michael Street
on behalf of the Nobles Island
Condominium Association Board of Directors

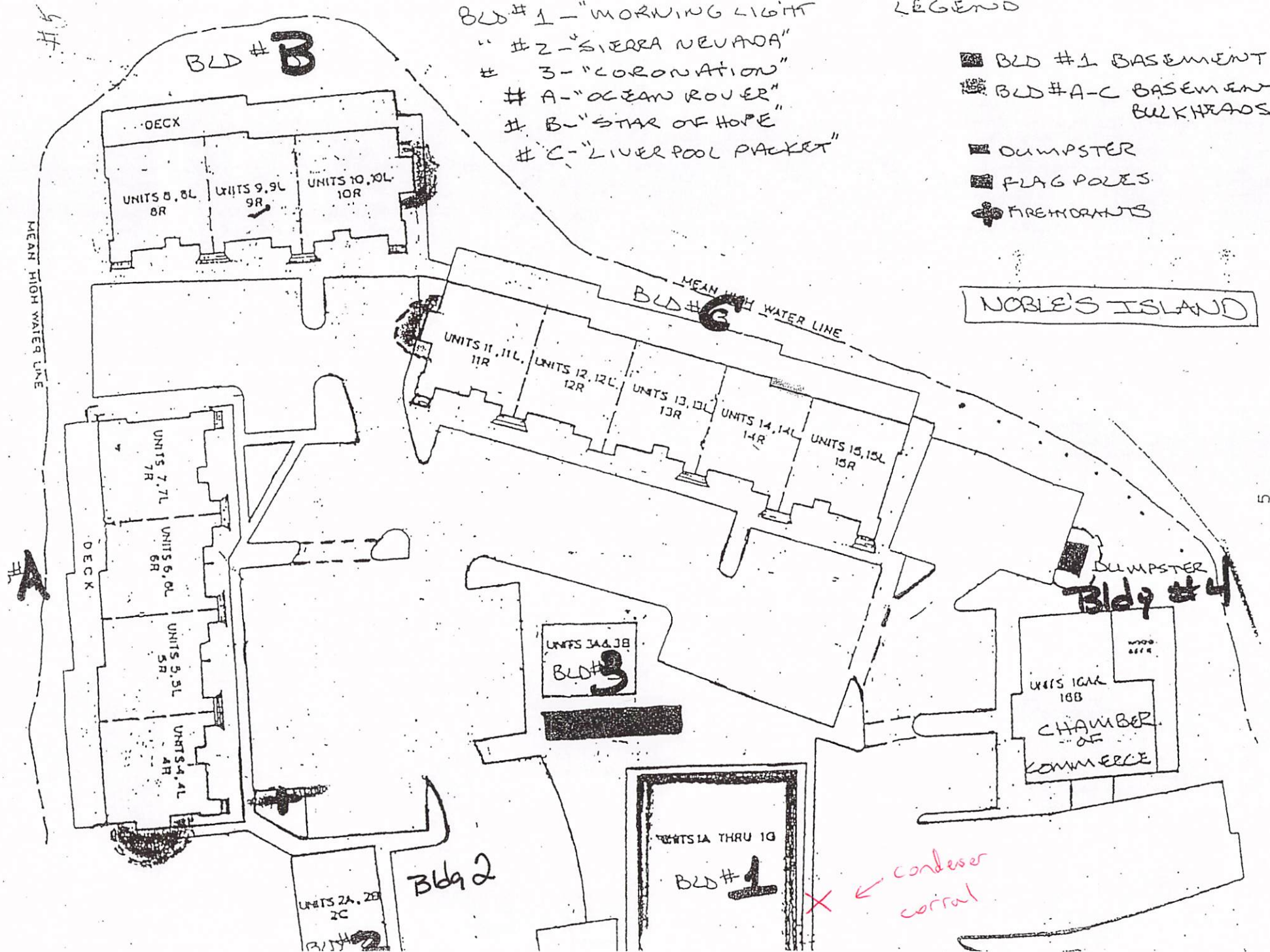
CPManagement
michaels@cpmanagement.com
603.778.6300

BLD #1 - "MORNING LIGHT"
 #2 - "SIERRA NEVADA"
 #3 - "CORONATION"
 #A - "OCEAN ROVER"
 #B - "STAR OF HOPE"
 #C - "LIVER POOL PACKET"

LEGEND

- BLD #1 BASEMENT
- BLD #A-C BASEMENT BULKHEADS
- DUMPSTER
- FLAG POLES
- ⊕ FIREHYDRANTS

NOBLE'S ISLAND







SAMSUNG

PANEL A1
CKT 38.40
WLBANK

2. 2 Market Square, Unit #2 -Recommended Approval

Background: The applicant is seeking approval for the installation of signage and lighting.

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

EXTERIOR REVIEW FOR

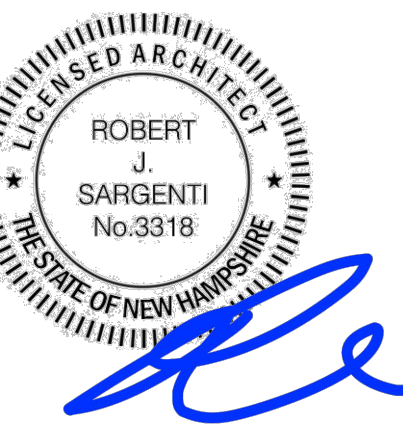


MARKET SQUARE 2 MARKET SQUARE E PORTSMOUTH, NH 03801



CONSULTANTS (ENGINEER):

SEAL:



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LANDLORD
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SCOTTS VALLEY, CA 95066
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EMAIL: JIM@JACBUILD.COM

SCOPE OF WORK:
TENANT IMPROVEMENT OF 3,952 SQ FT SPACE FOR SEASALT CORNWALL WITHIN AN EXISTING COMMERCIAL BUILDING. WORK INCLUDES INTERIOR REMODELING, NEW PARTITION WALLS, CEILINGS, NEW MECHANICAL DISTRIBUTION, EXISTING ELECTRICAL EQUIPMENT WITH NEW POWER DISTRIBUTION, NEW PLUMBING, EXTERIOR WORK TO INCLUDE NEW LIGHTING, HAND PAINTED SIGNAGE, AND NEW PAINT AT EXISTING FACADE. EXISTING ROLLER CANOPY TO BE REMOVED.

CODE REVIEW INFORMATION:
APPLICABLE CODES: ALL WORK DONE UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS, DRAWINGS & CONSTRUCTION CRITERIA OF THE LANDLORD AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ANY MODIFICATIONS TO THE CONTRACT WORK REQUIRED BY SUCH AUTHORITIES SHALL BE PERFORMED BY THE TENANT'S CONTRACTOR. ALL PERMITS AND LICENSES NECESSARY FOR THE EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE TENANT'S CONTRACTOR(S). APPLICABLE CODES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

APPLICABLE BUILDING CODES:
BUILDING & STRUCTURAL: 2021 NEW HAMPSHIRE BUILDING CODE
PLUMBING: 2021 NEW HAMPSHIRE PLUMBING CODE
MECHANICAL: 2021 NEW HAMPSHIRE MECHANICAL CODE
ELECTRICAL: NATIONAL ELECTRICAL CODE (NFPA 70)/2020
ACCESSIBILITY: 2017 NEW HAMPSHIRE ACCESSIBILITY CODE, 2010 ADA STANDARDS
FIRE: 2021 NEW HAMPSHIRE FIRE CODE

1. BUILDING DATA:
A. OCCUPANCY GROUP: M (MERCANTILE)
B. TYPE OF CONSTRUCTION: 8 - FULLY SPRINKLERED
C. # OF EXITS REQUIRED: 2 REQUIRED
D. SPRINKLER SYSTEM: YES (EXISTING)
E. RESTROOM: 1 REQUIRED /1 PROVIDED
F. HI-LO DRINKING FOUNTAIN: 1 REQUIRED /1 PROVIDED
G. MOP SINK: 1 REQUIRED /1 PROVIDED

2. EXIT HARDWARE: ALL EXITS SHALL BE OPERABLE FROM THE INTERIOR OF TENANT SPACE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. NO MANUALLY OPERATED EDGE OR SURFACE MOUNTED. FLUSH BOLTS SHALL NOT BE USED.

3. THE GENERAL CONTRACTOR IS EXPECTED TO BID ALL SUBCONTRACTOR TRADES. ALL SUBCONTRACTORS WISHING TO BID SHOULD SUBMIT THROUGH THE LISTED GENERAL CONTRACTOR. NO PARTIAL BIDS WILL BE ACCEPTED OR CONSIDERED.

4. OCCUPANT CALCULATIONS:

USE	GROSS AREA (SF)	LOAD FACTOR	LOAD
SALES AREA/ FITTING RM.	1,324	60 GROSS	23
OFFICE	75	150 GROSS	1
BREAK AREA	168	60 GROSS	3
HALLWAY	160	0 NET	-
STORAGE	2,143	300 GROSS	8
RESTROOMS	82	1 PER	1
			-
TOTAL SF LEASE SPACE:	3,952 S.F.		36

5. TOILET ROOM REQUIREMENTS [2021 NEW HAMPSHIRE PLUMBING CODE SECTION 403.1]:
(NUMBER OF FIXTURES BASED ON TOTAL OCCUPANT LOAD OF 36: 18 M / 18 F)

REQUIRED: PROVIDED:
A. WATER CLOSET: (1) - (1) GENDER NEUTRAL PROVIDED
B. LAVATORY: (1) - (1) PROVIDED
C. HI-LO DRINKING FOUNTAIN: (1) - (1) PROVIDED
D. SERVICE SINK: (1) - (1) PROVIDED

PER 2021 NEW HAMPSHIRE PLUMBING CODE SECTION 403.2, EXCEPTION #3 - SEPARATE FACILITIES SHALL NOT BE REQUIRED IN MERCANTILE OCCUPANCIES IN WHICH MAXIMUM OCCUPANT LOAD IS 100 OR FEWER.

NOT USED

SCALE
-

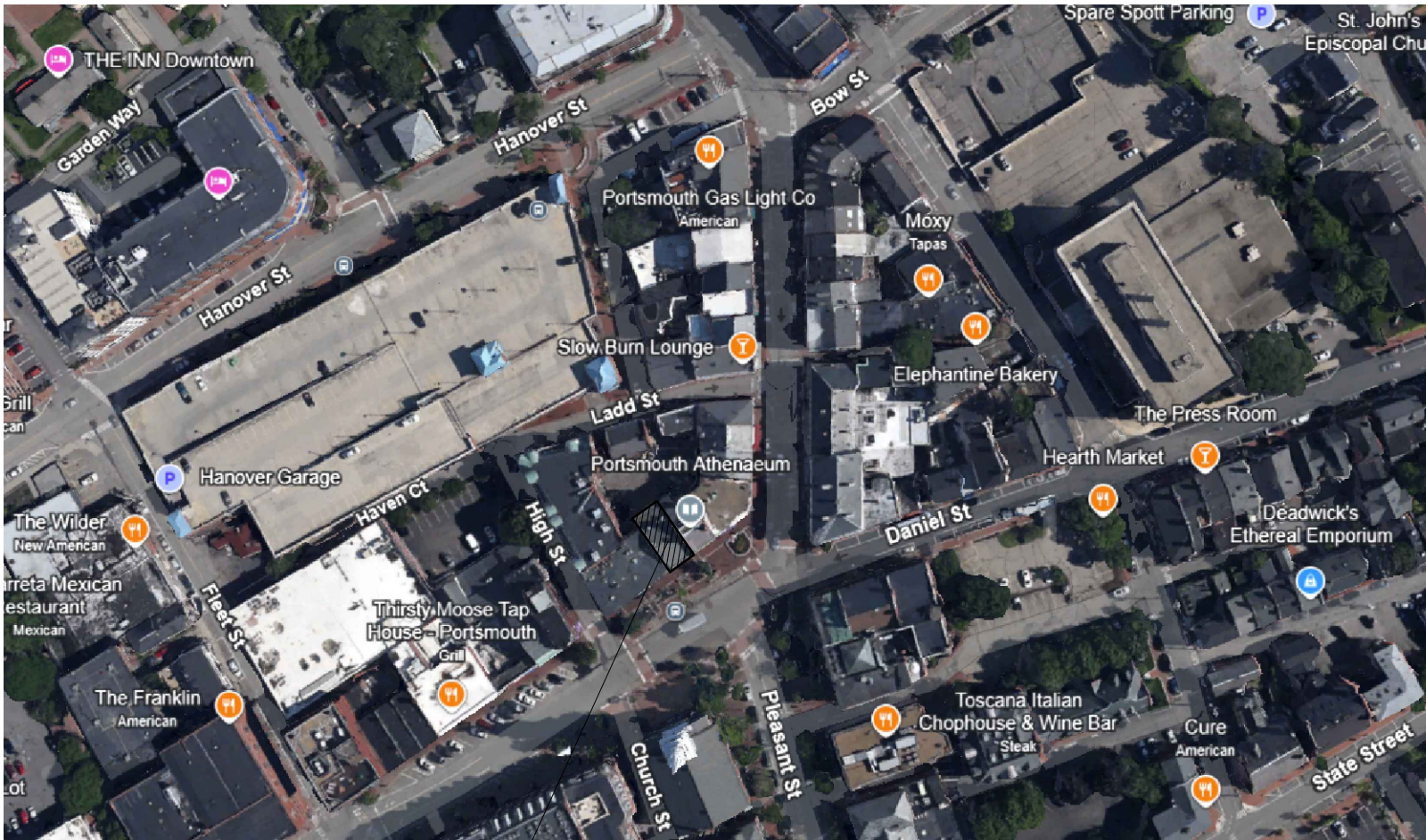
14

PROJECT DIRECTORY

SCALE
-

10

ALL WORK TO BE IN ACCORDANCE WITH THE HISTORIC DESIGN COMMISSION REQUIREMENTS AND MAINTAIN THE INTEGRITY OF THE EXISTING EXTERIOR CONDITIONS.



SEASALT CORNWALL
MARKET SQUARE
2 MARKET SQUARE E
PORTSMOUTH, NH 03801



SITE PLAN

SCALE
N.T.S.

15

GENERAL NOTES

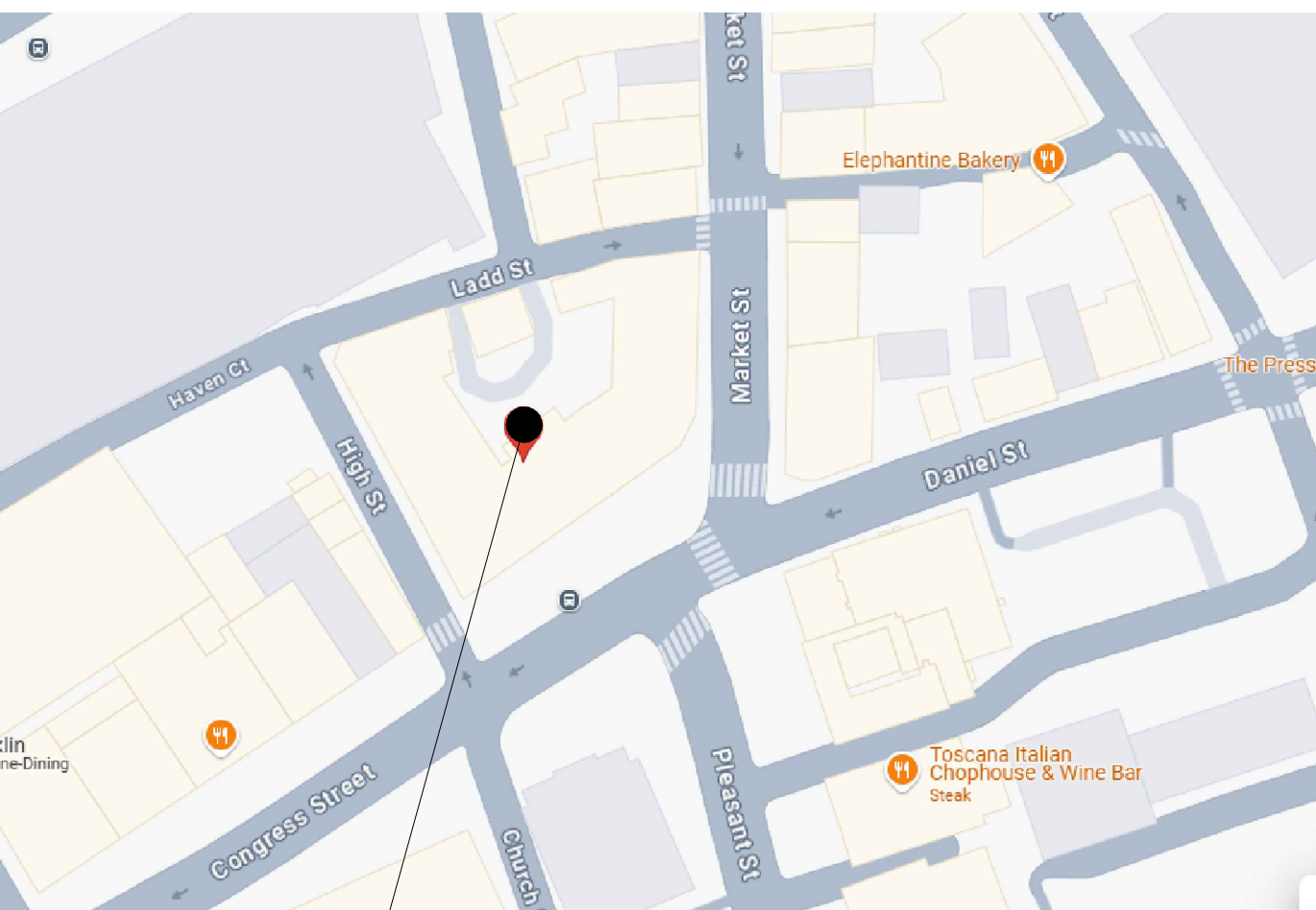
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11

BUILDING DEPARTMENT DATA

SCALE
-

7



SEASALT CORNWALL
MARKET SQUARE
2 MARKET SQUARE E
PORTSMOUTH, NH 03801



VICINITY MAP

SCALE
N.T.S.

16

ABBREVIATIONS

SCALE
-

12

SYMBOLS INDEX

SCALE
-

8

DRAWING INDEX

SCALE
-

4

DATE ISSUE

08/22/2025 ADMIN APPROVAL



EXISTING STOREFRONT PHOTOS

SCALE	2
-------	---

- | | |
|---|--|
| 1 | EXISTING ROLLING CANOPY TO BE REMOVED |
| 2 | EXISTING STOREFRONT TO REMAIN AND BE REPAINTED |
| 3 | EXISTING BRICK TO REMAIN |
| 4 | EXISTING STEP TO REMAIN |
| 5 | NEW TRANSOM TO BE INSTALLED ABOVE EXISTING DOORMAT |
| 6 | EXISTING STOREFRONT GLAZING AND SYSTEM TO REMAIN. GC TO CLEAN AND PROTECT IN PLACE DURING CONSTRUCTION |
| 7 | NEW STOREFRONT ENTRY DOOR TO BE SIMILAR AND REPLACE EXISTING |

NOT USED

SCALE	5
N/A	

SCALE	1
1/2" = 1'-0"	

CONSULTANTS (ENGINEER):

EAL:

[illegible]

SEASALT CORNWALL
MARKET SQUARE
2 MARKET ST.
PORTSMOUTH, NH 03801

PROJECT INFORMATION:

DATE: 04/21/2025
PROJECT NUMBER: 11843-24

RAWN BY: ZP
REVIEWED BY: CG

TITLE:

EXISTING EXTERIOR
PHOTOS

SHEET NUMBER: _____

A200

[illegible]

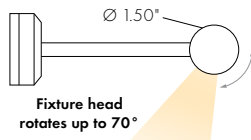
SHEET NUMBER: _____

SCALE	4
-	



Features

- 24VDC Class 2 and IP68 rated for wet locations, fixtures made to order up to 232".
- Class 2 listed for damp locations
- Dot free even illumination with frosted lens
- IP68 rated for wet locations
- Proprietary strong bond solder method handles up to 50 lbs of pull force on wire leads and connectors
- High Color Quality options offer premium quality and vibrant colors with R9 values up to 97
- High Efficacy options offer best in class output and efficacy with over 560 lm/ft and up to 71 lm/W
- Average Life (L70): 50,000hrs
- 3 Year warranty



Finish Options (see page 2 for additional information)

Base	<input type="checkbox"/> Silver Anodized
Powder Coat	<input type="checkbox"/> Black <input type="checkbox"/> Bronze <input type="checkbox"/> White
Premium	<input type="checkbox"/> Matte Black <input type="checkbox"/> Warm Nickel <input type="checkbox"/> Aged Brass <input type="checkbox"/> Polished Gold <input type="checkbox"/> Chrome



Technical Information

MODEL	High Color Quality		High Efficacy				High Efficacy	
OUTPUT OPTIONS	60X2HO	60X2VHO	HE48LO	HE48SO	HE48MO	HE48HO	HE64VHO	HE64XHO
Lumens Output (3000K) (with a Clear Lens)	337 lm/ft	421 lm/ft	134 lm/ft	185 lm/ft	247 lm/ft	397 lm/ft	502 lm/ft	565 lm/ft
Average Power Consumption (for a 4" section)	7.3 W/ft	9.4 W/ft	1.9 W/ft	2.8 W/ft	3.5 W/ft	6.5 W/ft	7.5 W/ft	9.6 W/ft
Efficacy	46 lm/W	45 lm/W	71 lm/W	66 lm/W	71 lm/W	61 lm/W	67 lm/W	59 lm/W
Max Run Length (in series)	26 ft	21 ft	48 ft	42 ft	33 ft	21 ft	15 ft	13 ft
Ambient Operating Temperature Range*	-15°F - 125°F (-25°C - 50°C)		-15°F - 125°F (-25°C - 50°C)				-15°F - 125°F (-25°C - 50°C)	-15°F - 115°F (-25°C - 45°C)

*Ambient Operating Temperature Range to maintain L70 of 50k+ hours in normal mounting conditions for the fixture. Exceeding Ambient Operating Temperature Range may result in decreased life/output. Consult Technical Support for specific inquiries.

High Color Quality (60X2)

CCT	Multiplier (reference - 3000K)	TM-30			
		CRI	R _f	R _g	R ₉
2700K	0.97	97	96	99	93
3000K	1.00	96	95	99	92
3500K	1.01	96	95	100	94
4100K	1.34	97	96	102	92

High Efficacy (HE48/HE64)

CCT	Multiplier (reference - 3000K)	TM-30			
		CRI	R _f	R _g	R ₉
2700K	0.94	92	90	99	46
3000K	1.00	92	89	99	62
3500K	1.02	92	89	99	58
4000K	1.02	92	86	94	52

Ordering Code

MODEL	LENGTH ¹	OUTPUT	CCT	LENS ²	MOUNTING	FINISH ³
RUNWW-Runda Wall Wet	12" - 232" 2" increments	60X2HO-High 60X2VHO-Very High	27K-2700K 30K-3000K 35K-3500K 40K-4000K	C-Clear F-Frosted	4-4" Arm Length 6-6" Arm Length 12-12" Arm Length	BASE SA-Silver Anodized POWDER COAT BK-Black BZ-Bronze WH-White PREMIUM MBK-Matte Black WNN-Warm Nickel AB-Aged Brass PG-Polished Gold ⁴ CH-Chrome ⁴
	12" - 232" 2" increments	HE48LO-Low HE48SO-Standard HE48MO-Medium HE48HO-High HE64VHO-Very High HE64XHO-Max	27K-2700K 30K-3000K 35K-3500K 40K-4000K			

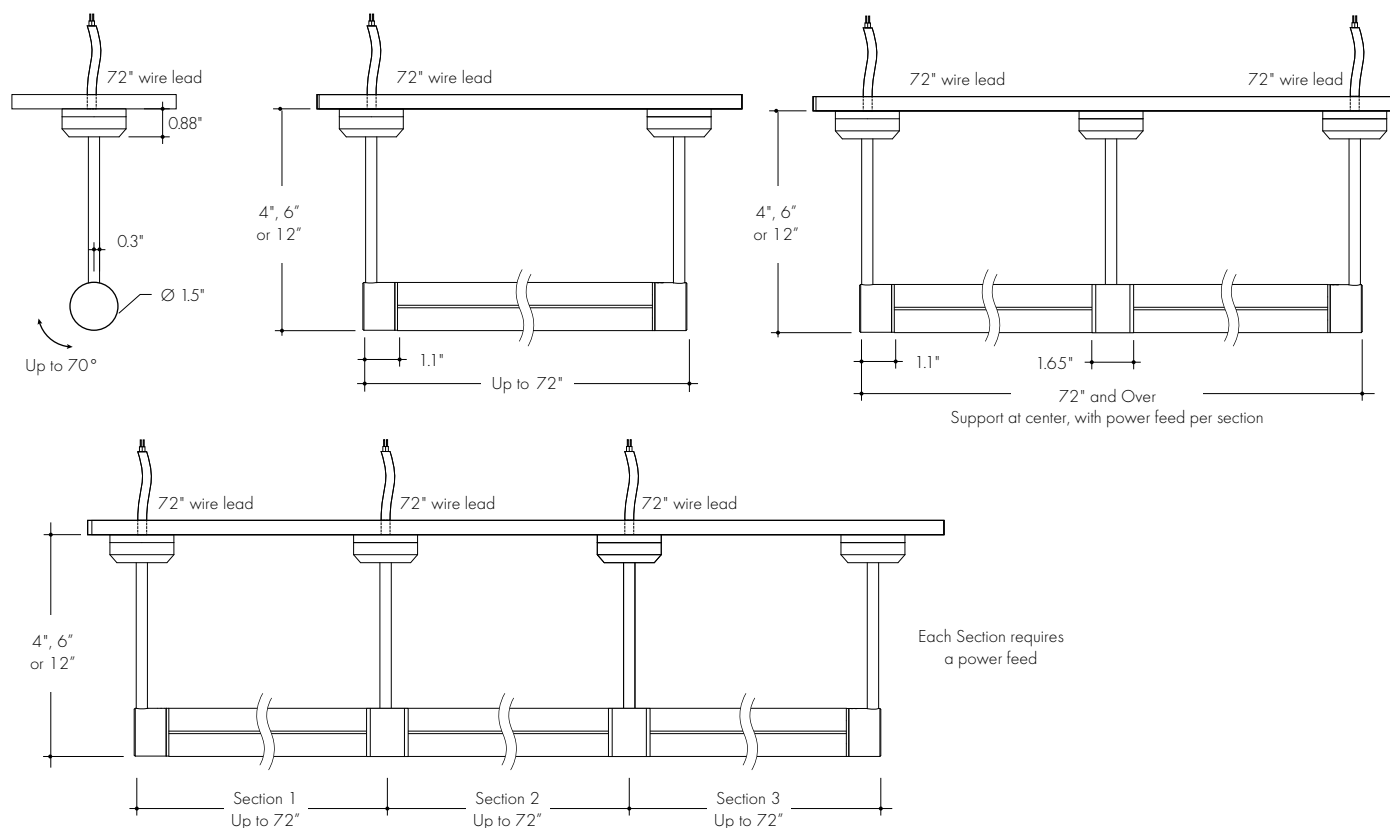
1 - Custom lengths and increments are available, please consult Inside Sales with specific request.

2 - All High Efficacy options can be used to comply with Title 24 JA8. High Color Quality options can be used to comply with Title 24 JA8 depending on Output, CCT, and Lens selections, see multiplier charts to calculate specific efficacies.

3 - Non Base finishes may have extended lead times. Custom RALs are available, please consult Inside Sales with specific request.

4 - Polished Gold and Chrome finishes have a maximum fixture length of 96".

Product Dimensions



Finish Options

- Finish options are available in a wide variety, allowing for complete customization of style and aesthetic.
- Non Base finishes may have extended lead times.
- Polished Gold and Chrome finishes have a maximum fixture length of 96".
- Custom RALs are available, please consult Inside Sales with specific request.

Silver Anodized Base



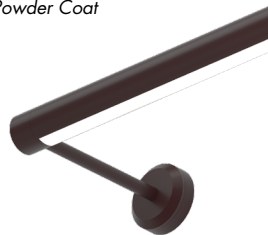
Silver Anodized is a soft silver with a clear finish.

Black Powder Coat



Black is a true deep black with a glossy finish.

Bronze Powder Coat



Bronze is a rich, dark brown with a satin finish.

White Powder Coat



White is a polar bright white and field paintable.

Matte Black Premium



Matte Black is a dark, pitch-black with a soft flat finish.

Warm Nickel Premium



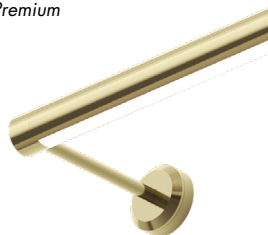
Warm Nickel is a soft, silvery smoke with warm tones and a satin finish.

Aged Brass Premium



Aged Brass is a deep brown shade with slightly golden undertones.

Polished Gold Premium



Polished Gold is bright and radiant for a brilliant finish.

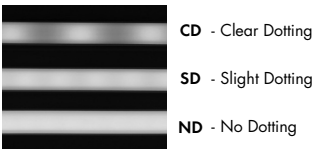
Chrome Premium



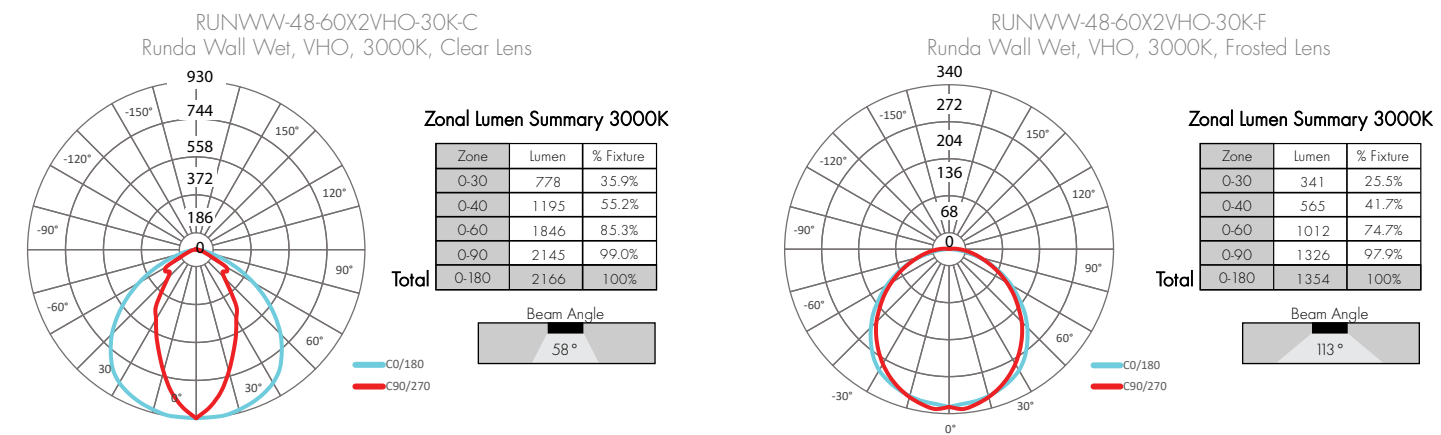
Chrome is a highly reflective silver polish.

Light Transmission and Dotting

Output Options	Lens/Accessory							
	Clear Lens				Frosted Lens			
Dimming Level	100%	50%	10%	1%	100%	50%	10%	1%
60X2HO	CD	CD	CD	CD	ND	ND	ND	ND
60X2VHO	CD	CD	CD	CD	ND	ND	ND	ND
HE48LO	CD	CD	CD	CD	ND	ND	ND	ND
HE48SO	CD	CD	CD	CD	ND	ND	ND	ND
HE48MO	CD	CD	CD	CD	ND	ND	ND	ND
HE48HO	CD	CD	CD	CD	ND	ND	ND	ND
HE64VHO	CD	CD	CD	CD	ND	ND	ND	ND
HE64VHO	CD	CD	CD	CD	ND	ND	ND	ND
Transmission Percentage	100%				69%			



Photometry



Power Consumption

Tested at Full Power with PS-UNI Series power supplies.

Standard Nominal Lengths offered provide minimal shadowing. For alternate lengths, please consult Inside Sales with specific request.

High Color Quality (60X2)

Nominal Length (in)	Actual Length	Watts		Nominal Length (in)	Actual Length	Watts	
		HO	VHO			HO	VHO
12	11 6/16	8.3	10.4	47	46 8/16	27.1	34.7
13	12 12/16	8.3	10.4	48	47 15/16	27.7	35.3
14	—	—	—	49	—	—	—
15	14 3/16	8.3	10.4	50	49 5/16	28.2	36.0
16	15 9/16	8.9	11.3	51	50 12/16	29.3	37.4
17	17	9.5	12.1	52	—	—	—
18	—	—	—	53	52 2/16	29.9	38.1
19	18 6/16	10.1	12.9	54	53 9/16	31.0	39.5
20	19 13/16	11.3	14.5	55	54 15/16	31.5	40.2
21	—	—	—	56	—	—	—
22	21 3/16	11.9	15.3	57	56 6/16	32.1	40.9
23	22 10/16	13.1	16.9	58	57 12/16	33.1	42.3
24	—	—	—	59	—	—	—
25	24	13.7	17.7	60	59 3/16	33.7	43.0
26	25 7/16	14.3	18.5	61	60 9/16	34.8	44.4
27	26 13/16	15.5	20.2	62	62	35.3	45.1
28	—	—	—	63	—	—	—
29	28 4/16	16.1	20.9	64	63 6/16	35.9	45.8
30	29 10/16	17.3	22.4	65	64 13/16	36.9	47.0
31	—	—	—	66	—	—	—
32	31 1/16	17.9	23.2	67	66 3/16	37.4	47.6
33	32 7/16	19.1	24.7	68	67 10/16	38.4	48.7
34	33 14/16	19.7	25.4	69	—	—	—
35	—	—	—	70	69	38.9	49.3
36	35 4/16	20.3	26.2	71	70 7/16	39.4	49.9
37	36 11/16	21.6	27.7	72	71 13/16	40.4	51.1
38	—	—	—				
39	38 1/16	22.2	28.4				
40	39 8/16	23.3	29.9				
41	40 14/16	23.9	30.5				
42	—	—	—				
43	42 5/16	24.4	31.2				
44	43 11/16	25.5	32.6				
45	—	—	—				
46	45 2/16	26.0	33.3				

Power Consumption

Tested at Full Power with PS-UNI Series power supplies.

Standard Nominal Lengths offered provide minimal shadowing. For alternate lengths, please consult Inside Sales with specific request.

High Efficacy (HE48)

Nominal Length (in)	Actual Length	Watts				Nominal Length (in)	Actual Length	Watts			
		LO	SO	MO	HO			LO	SO	MO	HO
12	10 13/16	1.7	2.5	3.5	5.7	47	46 4/16	6.7	10.2	12.6	23.9
13	12 12/16	1.7	2.5	3.5	5.7	48	—	—	—	—	—
14	—	—	—	—	—	49	48 3/16	6.9	10.7	13.3	24.7
15	14 12/16	1.7	2.5	3.5	5.7	50	—	—	—	—	—
16	—	—	—	—	—	51	50 3/16	7.1	11.2	13.9	25.4
17	16 11/16	2.0	3.0	4.0	7.2	52	—	—	—	—	—
18	—	—	—	—	—	53	52 2/16	7.4	11.7	14.5	26.3
19	18 11/16	2.4	3.5	4.6	8.7	54	—	—	—	—	—
20	—	—	—	—	—	55	54 2/16	7.7	12.3	15.1	27.4
21	20 10/16	2.7	3.9	5.2	10.2	56	—	—	—	—	—
22	—	—	—	—	—	57	56 1/16	8.0	12.9	15.7	28.5
23	22 10/16	3.0	4.4	5.8	11.7	58	—	—	—	—	—
24	—	—	—	—	—	59	58 1/16	8.4	13.5	16.4	29.5
25	24 9/16	3.4	4.9	6.4	13.2	60	—	—	—	—	—
26	—	—	—	—	—	61	60	8.7	14.0	17.0	30.6
27	26 9/16	3.7	5.4	7.0	14.7	62	62	9.0	14.6	17.6	31.6
28	—	—	—	—	—	63	—	—	—	—	—
29	28 8/16	4.1	5.9	7.5	15.8	64	63 15/16	9.4	15.2	18.2	32.6
30	—	—	—	—	—	65	—	—	—	—	—
31	30 8/16	4.4	6.4	8.1	16.8	66	65 15/16	9.7	15.6	18.7	33.7
32	—	—	—	—	—	67	—	—	—	—	—
33	32 7/16	4.8	6.9	8.7	17.9	68	67 14/16	10.0	16.1	19.2	34.7
34	—	—	—	—	—	69	—	—	—	—	—
35	34 7/16	5.0	7.2	9.0	18.5	70	69 14/16	10.4	16.5	19.8	35.7
36	—	—	—	—	—	71	—	—	—	—	—
37	36 6/16	5.4	7.7	9.6	19.5	72	71 13/16	10.7	17.0	20.3	36.7
38	—	—	—	—	—						
39	38 6/16	5.7	8.2	10.2	20.6						
40	—	—	—	—	—						
41	40 5/16	6.0	8.7	10.8	21.5						
42	—	—	—	—	—						
43	42 5/16	6.2	9.2	11.4	22.3						
44	—	—	—	—	—						
45	44 4/16	6.4	9.7	12.0	23.1						
46	—	—	—	—	—						

Power Consumption

Tested at Full Power with PS-UNI Series power supplies.

Standard Nominal Lengths offered provide minimal shadowing. For alternate lengths, please consult Inside Sales with specific request.

High Efficacy (HE64)

Nominal Length (in)	Actual Length	Watts		Nominal Length (in)	Actual Length	Watts	
		VHO	XHO			VHO	XHO
12	10 8/16	7.6	9.7	47	46 13/16	27.6	35.1
13	12	7.6	9.7	48	—	—	—
14	13 8/16	7.6	9.7	49	48 6/16	28.2	35.9
15	—	—	—	50	49 14/16	29.5	37.6
16	15 1/16	7.6	9.7	51	—	—	—
17	16 9/16	8.9	11.3	52	51 6/16	30.1	38.4
18	—	—	—	53	52 14/16	31.4	40.2
19	18 1/16	9.5	12.1	54	—	—	—
20	19 9/16	10.7	13.6	55	54 7/16	32.0	41.1
21	—	—	—	56	55 15/16	33.3	42.9
22	21 2/16	11.4	14.4	57	—	—	—
23	22 10/16	12.6	16.0	58	57 7/16	34.0	43.8
24	—	—	—	59	58 15/16	35.2	45.5
25	24 2/16	13.2	16.8	60	—	—	—
26	25 10/16	14.5	18.3	61	60 7/16	36.5	47.3
27	—	—	—	62	62	37.2	48.2
28	27 2/16	15.1	19.1	63	—	—	—
29	28 11/16	16.4	20.7	64	63 8/16	38.4	50.0
30	—	—	—	65	—	—	—
31	30 3/16	17.0	21.4	66	65	39.1	50.8
32	31 11/16	18.2	23.0	67	66 8/16	40.4	52.5
33	—	—	—	68	—	—	—
34	33 3/16	18.9	23.8	69	68 1/16	41.0	53.4
35	34 12/16	20.1	25.3	70	69 9/16	42.3	55.1
36	—	—	—	71	—	—	—
37	36 4/16	20.7	26.1	72	71 1/16	42.9	55.9
38	37 12/16	22.0	27.6				
39	—	—	—				
40	39 4/16	22.6	28.4				
41	40 13/16	23.9	30.1				
42	—	—	—				
43	42 5/16	24.5	30.9				
44	43 13/16	25.7	32.6				
45	—	—	—				
46	45 5/16	26.4	33.4				

Voltage Drop Calculator

The below chart assumes nominal voltage of 24 Volts and a Voltage Drop Allowance of 3% through the wire

Wattage [W]	Maximum Wire Length From Power Supply to Start of Run [ft]						
	12 AWG	14 AWG	16 AWG	18 AWG	20 AWG	22 AWG	24 AWG
5	1088.2	684.4	430.3	270.6	170.2	107.1	67.3
10	544.1	342.2	215.1	135.3	85.1	53.5	33.7
15	362.7	228.1	143.4	90.2	56.7	35.7	22.4
20	272.0	171.1	107.6	67.7	42.6	26.8	16.8
25	217.6	136.9	86.1	54.1	34.0	21.4	13.5
30	181.4	114.1	71.7	45.1	28.4	17.8	11.2
35	155.5	97.8	61.5	38.7	24.3	15.3	9.6
40	136.0	85.5	53.8	33.8	21.3	13.4	8.4
45	120.9	76.0	47.8	30.1	18.9	11.9	7.5
50	108.8	68.4	43.0	27.1	17.0	10.7	6.7
55	98.9	62.2	39.1	24.6	15.5	9.7	6.1
60	90.7	57.0	35.9	22.6	14.2	8.9	5.6
65	83.7	52.6	33.1	20.8	13.1	8.2	5.2
70	77.7	48.9	30.7	19.3	12.2	7.6	4.8
75	72.5	45.6	28.7	18.0	11.3	7.1	4.5
80	68.0	42.8	26.9	16.9	10.6	6.7	4.2
85	64.0	40.3	25.3	15.9	10.0	6.3	4.0
90	60.5	38.0	23.9	15.0	9.5	5.9	3.7
96	56.7	35.6	22.4	14.1	8.9	5.6	3.5

Power Supplies

See Power Supply instructions and spec sheet for wiring information. For a complete list of compatible dimmers, see Compatible Dimming Chart on the Resources page.

Ordering Code Universal Dimming Power Supplies 1% 120VAC - 277VAC

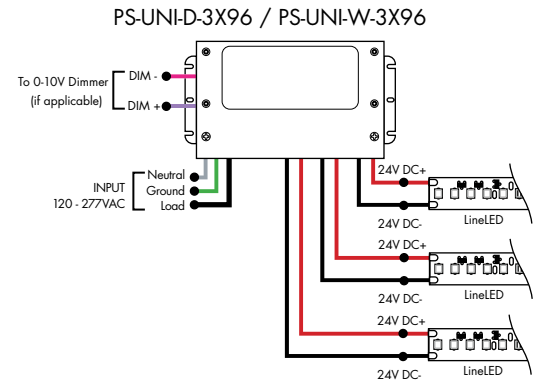
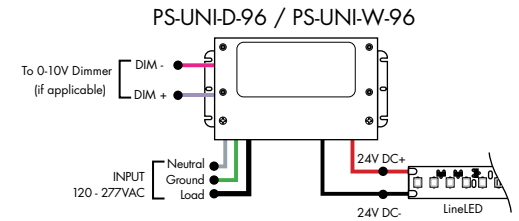
MODEL	INPUT CONTROL	ENVIRONMENT	WATTAGE	OUTPUT
PS-Power Supply, 120-277VAC	UNI-0-10V Dimming, Phase Dimming	D-Dry W-Wet	30-30 Watts 60-60 Watts 96-96 Watts 3x96-3x96 Watts	24-24 VDC

Compatibility: View a complete list of compatible dimmers on product page ([Link](#))

0-10V - 1% dimming
MLV/ELV/TRIAC - 1% dimming, consult dimming compatibility chart

MODELS	PS-UNI-W-30W	PS-UNI-W-60W	PS-UNI-W-96W	PS-UNI-W-3X96W
Length	6.50"	7.40"	8.66"	11.85"
Width	3.73"	3.73"	3.73"	4.32"
Depth	1.61"	1.61"	1.61"	1.81"

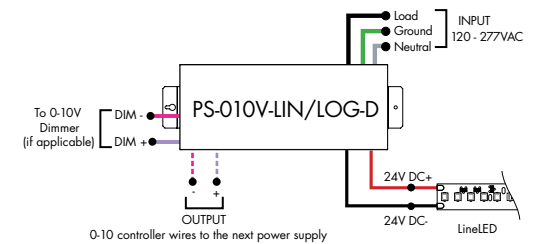
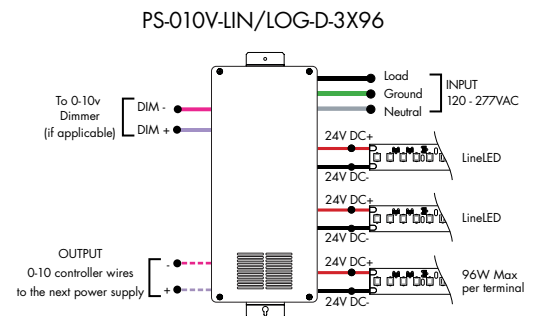
MODELS	PS-UNI-D-30W	PS-UNI-D-60W	PS-UNI-D-96W	PS-UNI-D-3X96W
Length	8.77"	8.77"	8.11"	9.94"
Width	4.27"	4.27"	5.60"	7.61"
Depth	1.83"	1.83"	1.83"	2.02"



Ordering Code 0-10V Dimming Power Supplies 0.1% 120VAC - 277VAC

MODEL	INPUT CONTROL	ENVIRONMENT	WATTAGE	OUTPUT
PS-Power Supply, 120-277VAC	010V-LIN-0-10V Dimming (0.1%), Linear 010V-LOG-0-10V Dimming (0.1%), Logarithmic	D-Dry	96-96 Watts 3X96-3x96 Watts	24-24 VDC

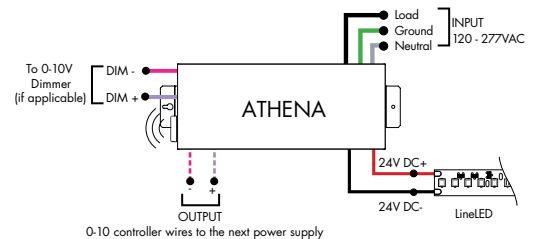
MODELS	96W	3X96
Length	14.40"	15.00"
Width	5.20"	6.62"
Depth	2.60"	4.45"



Athena 0-10V LED Driver

MODEL	INPUT CONTROL	ENVIRONMENT	WATTAGE	OUTPUT	FEATURE
PS-Power Supply, 120-277VAC	010V-LIN-0-10V Dimming, Linear 010V-LOG-0-10V Dimming, Logarithmic	D-Dry	96-96 W	24-24 VDC	AWNR-Athena

MODELS	96W
Length	14.40"
Width	5.20"
Depth	2.60"



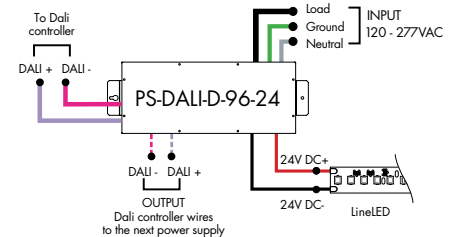
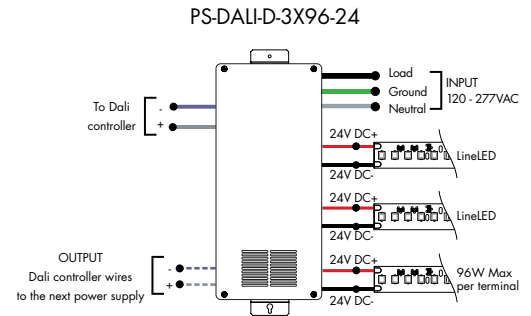
Power Supplies

See Power Supply instructions and spec sheet for wiring information. For a complete list of compatible dimmers, see Compatible Dimming Chart on the Resources page.

Ordering Code DALI1 Dimming Power Supplies 0.1% 120VAC - 277VAC

MODEL	INPUT CONTROL	ENVIRONMENT	WATTAGE	OUTPUT
PS-Power Supply, 120-277VAC	DALI-DALI (0.1%)	D-Dry	96-96 Watts 3X96-3X96 Watts	24-24 VDC

Model	96W	3X96
Length	14.40"	15.00"
Width	5.20"	6.62"
Depth	2.60"	4.56"

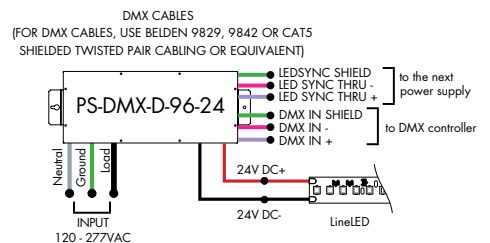
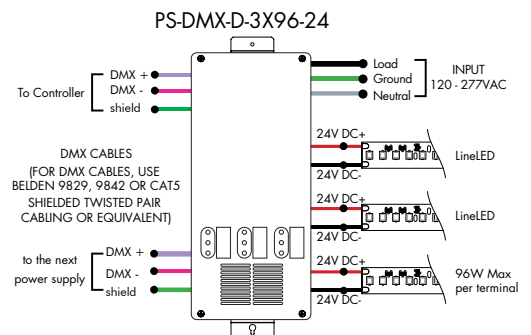


Ordering Code DMX Dimming Power Supplies 0.1% 120VAC - 277VAC Requires Zonal Control

MODEL	INPUT CONTROL	ENVIRONMENT	WATTAGE	OUTPUT
PS-Power Supply, 120-277VAC	DMX-DMX (0.1%)	D-Dry	96-96 Watts 3X96-3X96 Watts	24-24 VDC

*Zonal control power supplies. Control multiple tapes/zones using DMX channels.

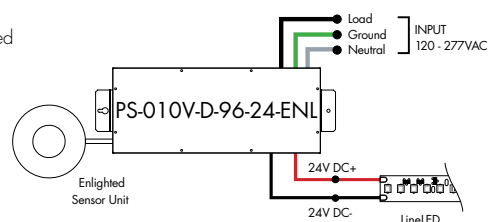
MODELS	96W	3X96
Length	14.40"	15.00"
Width	5.20"	6.62"
Depth	2.60"	4.56"



Ordering Code Enlightened Enabled Dimming Power Supplies 1% 120VAC - 277VAC

MODEL	INPUT CONTROL	ENVIRONMENT	WATTAGE	OUTPUT	FEATURE
PS-Power Supply, 120-277VAC	010V-0-10V Dimming (1%)	D-Dry	96-96 Watts	24-24 VDC	ENL-0-10V Enlightened

Model	96W
Length	14.40"
Width	5.20"
Depth	2.60"



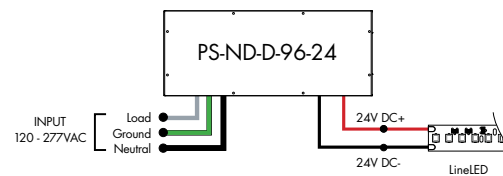
Power Supplies

See Power Supply instructions and spec sheet for wiring information. For a complete list of compatible dimmers, see Compatible Dimming Chart on the Resources page.

Ordering Code Non-Dimming Power Supply 120VAC - 277VAC

MODEL	INPUT CONTROL	ENVIRONMENT	WATTAGE	OUTPUT
<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
PS - Power Supply, 120-277VAC	ND - Non Dimming	D - Dry	96-96 Watts	24 - 24 VDC

MODELS	96W
Length	14.40"
Width	5.20"
Depth	2.60"

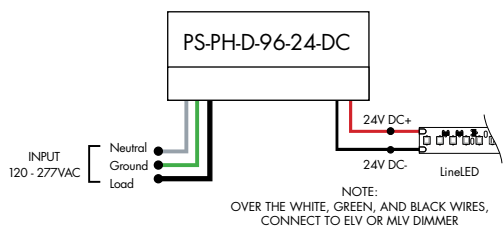


Ordering Code Phase Dimming Power Supply 1% 120VAC - 277VAC

MODEL	INPUT CONTROL	ENVIRONMENT	WATTAGE	OUTPUT	OUTPUT CONTROL
<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
PS - Power Supply, 120-277VAC	PH - Phase Dimming (Triac, ELV, MLV)	D - Dry	96 - 96 Watts	24 - 24 VDC	DC - Direct Current

MLV/ELV/TRIAC - 1% dimming, consult dimming compatibility chart ([link](#))

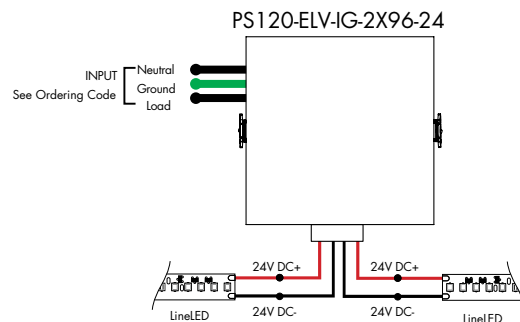
MODELS	96W
Length	8.25"
Width	4.10"
Depth	1.56"



Ordering Code In-Ground Power Supplies

MODEL	INPUT CONTROL	ENVIRONMENT	WATTAGE	OUTPUT
<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
PS120 - Power Supply, 120VAC PS240 - Power Supply, 240VAC PS277 - Power Supply, 277VAC	ELV - ELV Dimming (1%)	IG - In Ground	2X96 - 2X96 Watts	24 - 24 VDC

MODELS	2X96W
Length	8.40"
Width	8.30"
Depth	8.10"



Power Supplies

See Power Supply instructions and spec sheet for wiring information. For a complete list of compatible dimmers, see Compatible Dimming Chart on the Resources page.



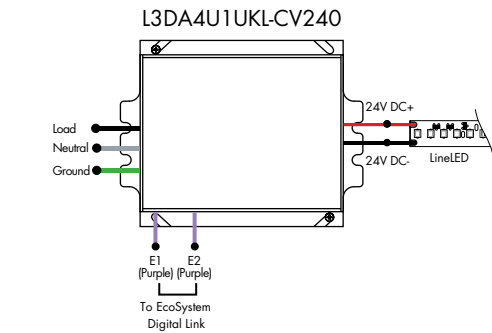
Luminii is a Lutron OEM Advantage Partner
Lutron Power Supplies 1%

MODEL

L3DA4U1UKL-CV240

HiLume™ 1% EcoSystem Voltage LED driver
40W max

MODELS	L3DA4U1UKL-CV240
Length	4.98"
Width	4.00"
Depth	2.62"



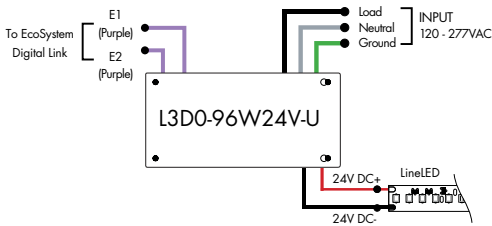
Luminii is a Lutron OEM Advantage Partner
Lutron Power Supplies 0.1%

MODEL

L3D0-96W24V-U

HiLume™ 0.1% EcoSystem Voltage LED Driver with Soft-On, Fade-to-Black™
96W max

MODELS	L3D0
Length	10.50"
Width	5.50"
Depth	2.00"



3. 64 Mt. Vernon Street

-Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design (changes to windows and doors for residential use, the omission of the chimney and side porch).

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

Cyrus Beer
64 Mount Vernon St.
Portsmouth, NH 03801

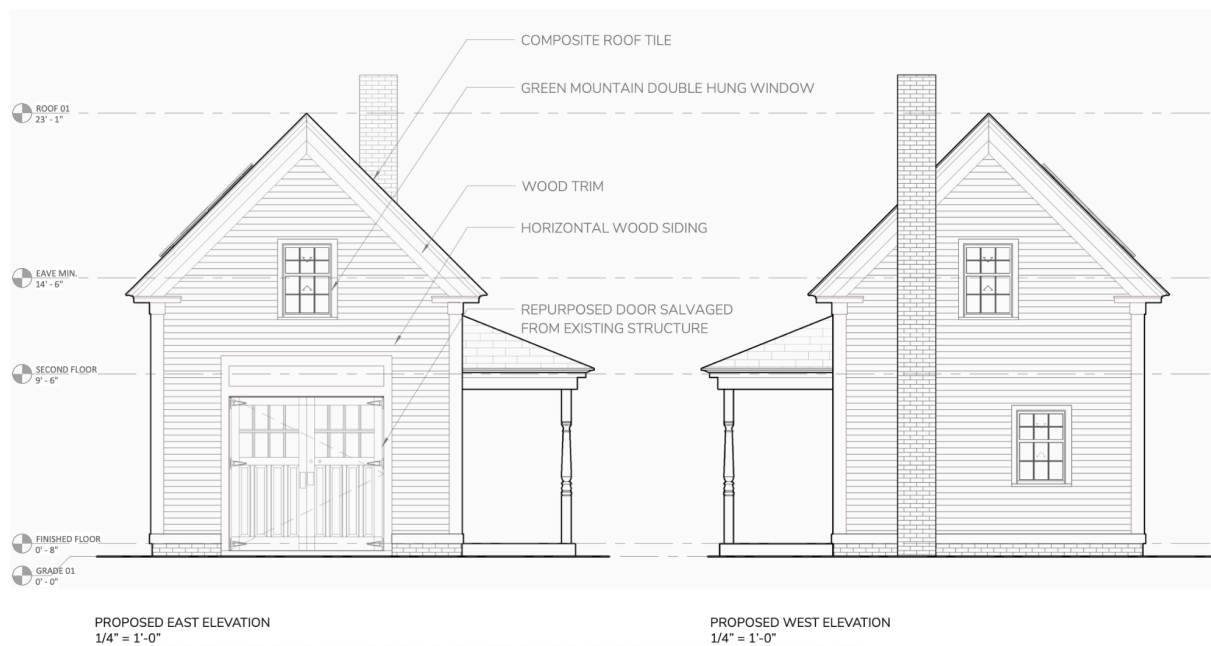
Subject: Proposed alterations to the accessory structure at 64 Mount Vernon St.

To the HDC

I would like to propose several changes to the original design approved in the Spring of 2024 to the accessory structure I am building in my back yard that I plan to turn into an ADU.

EAST / WEST ELEVATIONS

Approved design



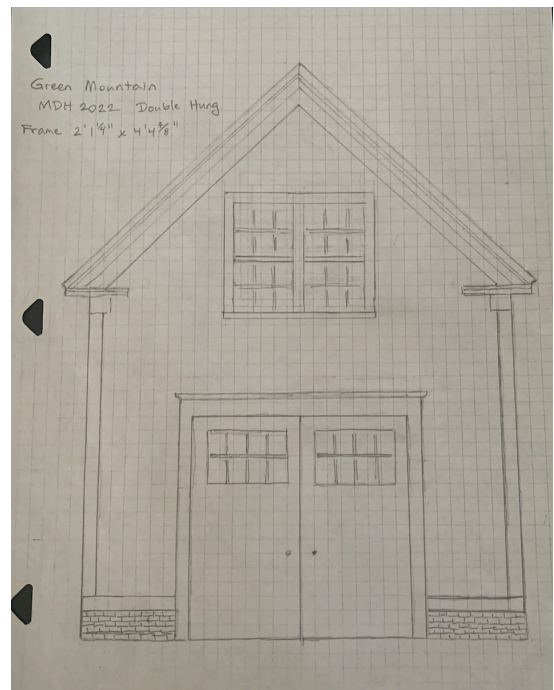
Proposed Changes

East Side

1. Replace barn doors with new in-kind custom wood barn doors. Doors will be made by Andrew Neubauer of Barrington NH who specializes in wood barn doors.

<https://carriagedoorsnh.com/>. The reason for this is the existing doors are just too warped to weather seal.

2. Replace single second floor window with a side by side pair of windows. This allows us to get more sunlight into the second floor with a smaller sized window, so that the first floor windows are larger than the second floor windows.



West Side

1. Do not build the chimney. On the exterior I don't have the setback and on the interior there is just not enough room for a wood stove or any type of fireplace.
2. Change the first floor window to a door. This is the natural egress to get into town as it is the most direct route. Note, the view here is severely restricted by a 10 foot concrete wall directly behind the structure as shown below, making this elevation almost impossible to see in the real world.
3. Change the second floor window to a double window to match the east side.



NORTH / SOUTH ELEVATIONS

Approved design

PROPOSED NORTH + SOUTH ELEVATION

7 OF 8



Proposed Changes

North Side

Do not build the porch. We realized that if and when we rent this out, if we give the new tenant this porch we are essentially giving them our whole back yard. Also the natural egress is to the west as it is the shortest distance to town. There is no reason to leave the structure on the north side except to come into our yard, which we do not want. The new proposed design matches the north side to the already approved south side as shown below by the framing I have already done.



South Side

No changes

4. 235 Marcy Street

-Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design (change to the rear addition footprint and window placement changes).

Staff Comment: Recommend Approval

Stipulations:

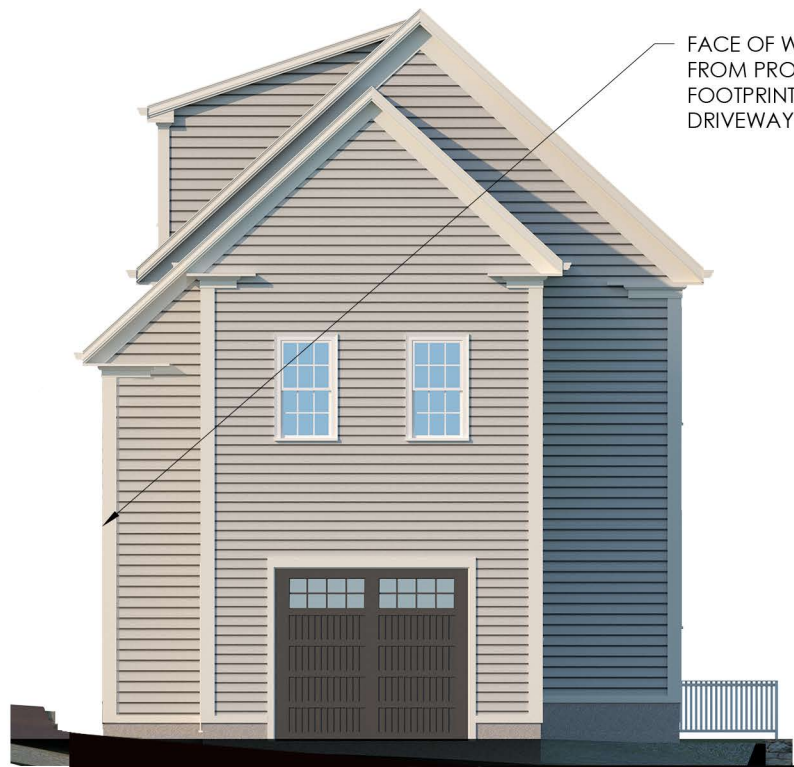
1. _____
2. _____
3. _____



(4/2/25) PREVIOUSLY APPROVED EAST ELEVATION



(4/2/25) PREVIOUSLY APPROVED SOUTH ELEVATION



PROPOSED EAST ELEVATION

WINDOW LOCATIONS HAVE BEEN MOVED TO ACCOMMODATE INTERIOR STAIR. THE INTERIOR STAIR WAS RELOCATED TO ACCOMMODATE EXISTING GRANITE LEDGE AT THE LOWER LEVEL.



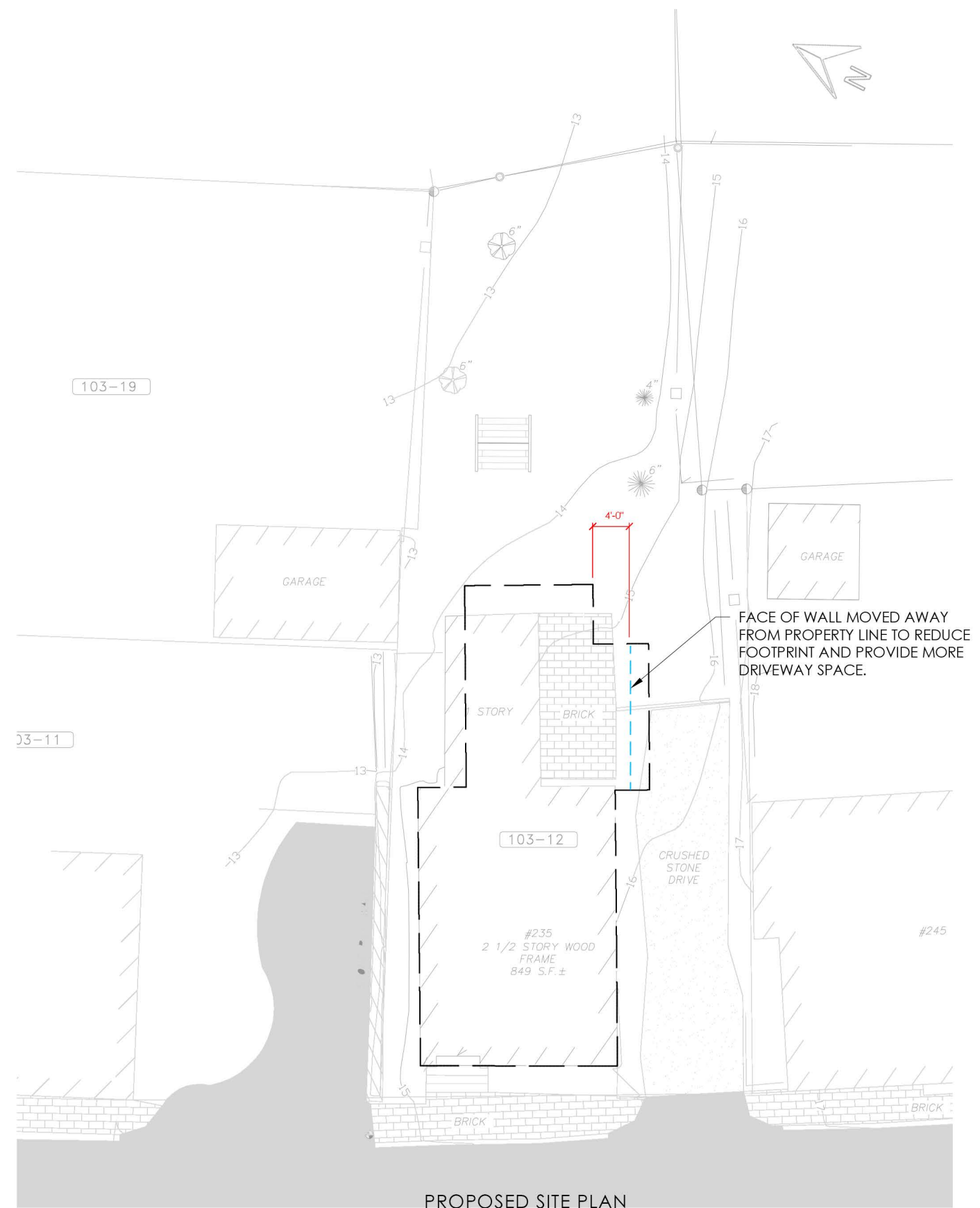
PROPOSED SOUTH ELEVATION

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

PREVIOUSLY APPROVED & PROPOSED ELEVATIONS
SCALE: 1/8" = 1'-0"
HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: OCTOBER 1, 2025



3.0



235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

SITE PLAN

HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: OCTOBER 1, 2025



4.0

5. 139 South Street, Unit A

-Recommended Approval

Background: The applicant is seeking approval for changes to the previously approved design (change window manufacturer, revision of mutin patterns of new windows and French door to match the main house, change (2) rear replacement windows with matching square windows and rebuild access panels below front deck.

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

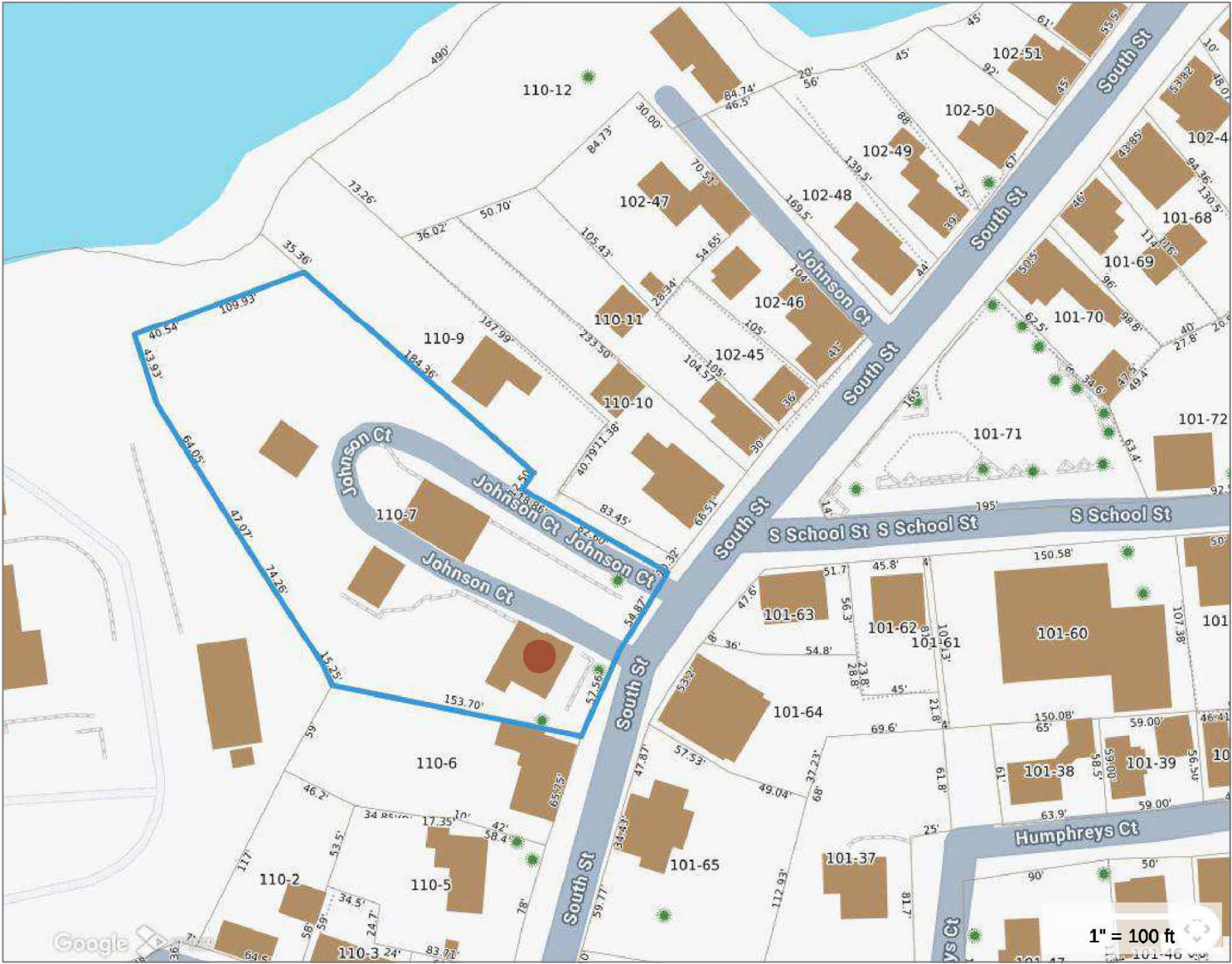


Table of Contents

1. Cover Sheet and Locus Map (139A South is part of a HOA)
2. Existing Condition Photos
3. Window Muntins Revisions & Conditions to be Updated
4. Window Muntin Revisions

Amendments to a Previously Approved Application

1. Change previously approved Marvin to LePage Aluminum Clad Windows and French Door2.
2. Revisions of muntin patterns in new Windows and French Door to match main house
3. Change (2) atypical replacement windows at back with (2) matching square awnings
4. Rebuild access panels to area below front deck



1. Front Elevation



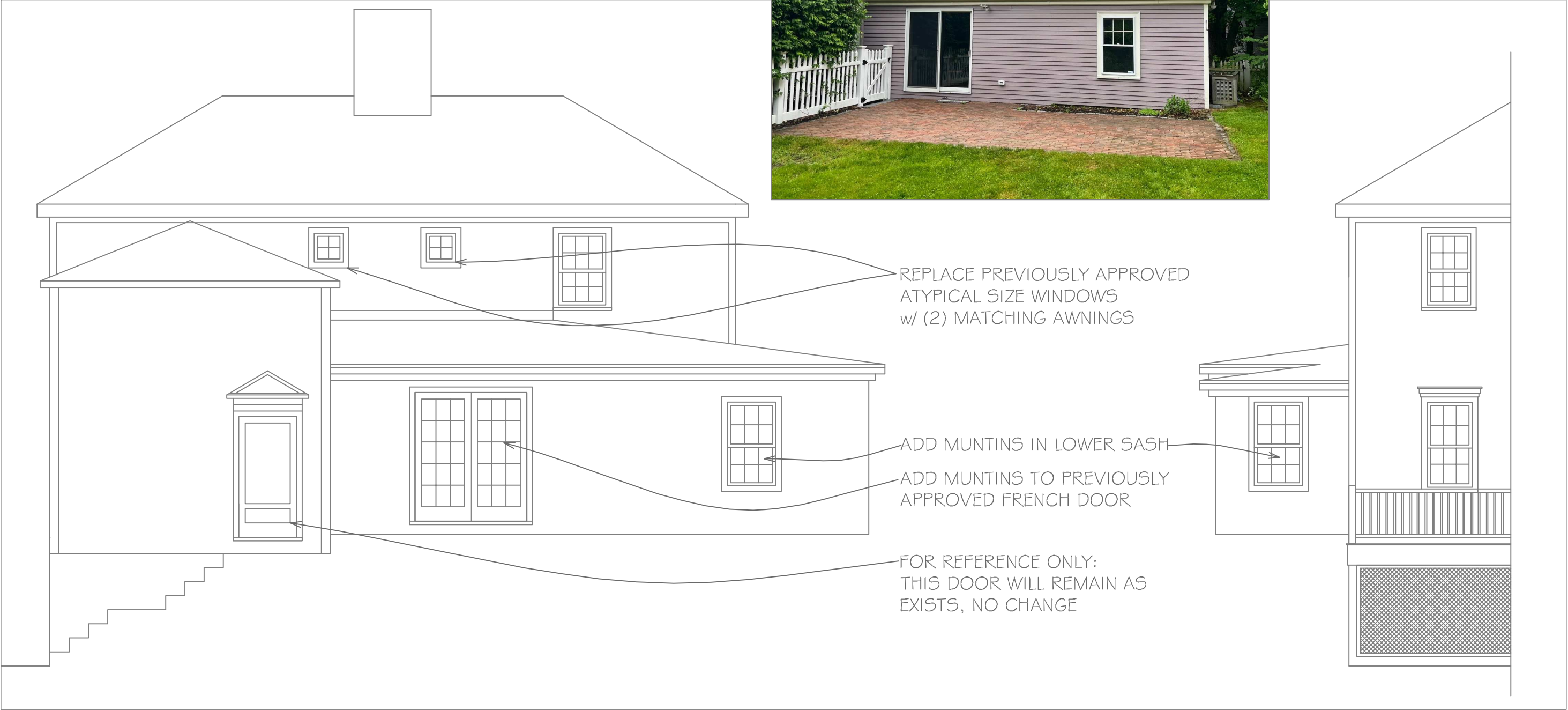
2. Right Side Elevation



3. Back Elevation



1. Right Side Elevation



1.Back Elevation

2.Partial Elevation from Street
(Showing Window in Back Addition)

139A South Street, Portsmouth, New Hampshire

Auger Building Company

Window and Muntin Pattern Changes

$\frac{3}{16}$ "=1'-0"

AA

9.2025

SHT. 4

6. 50 Austin Street

-Recommended Approval

Background: The applicant is seeking approval for a change in the approved window manufacturer (from Marvin to Andersen) the change will keep all window sizes the same, except for (1) window that will decrease in width by 6 inches to match the window opposite.

Staff Comment: Recommend Approval

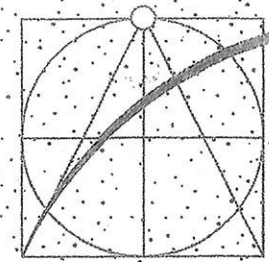
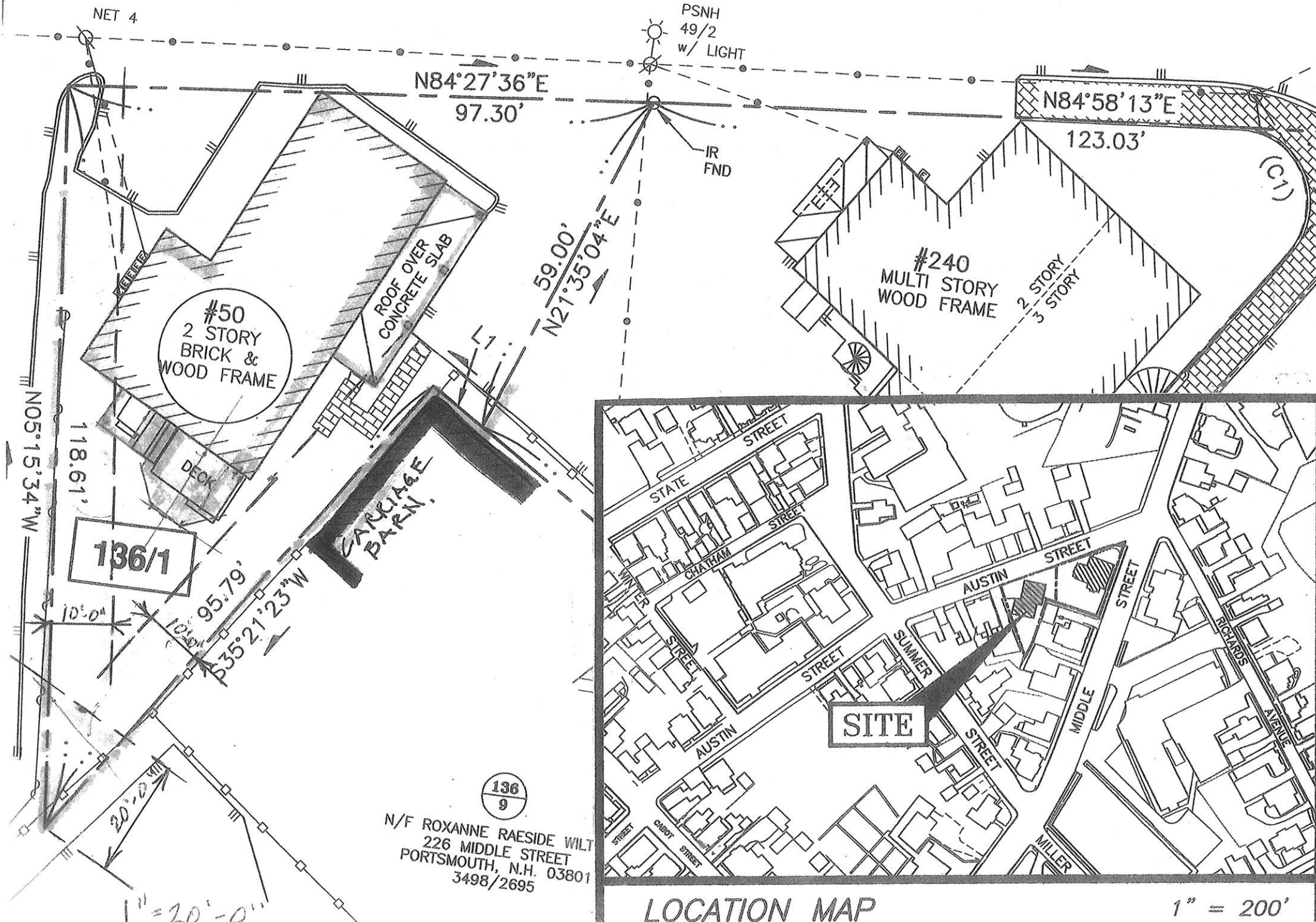
Stipulations:

1. _____
2. _____
3. _____

Original Submission

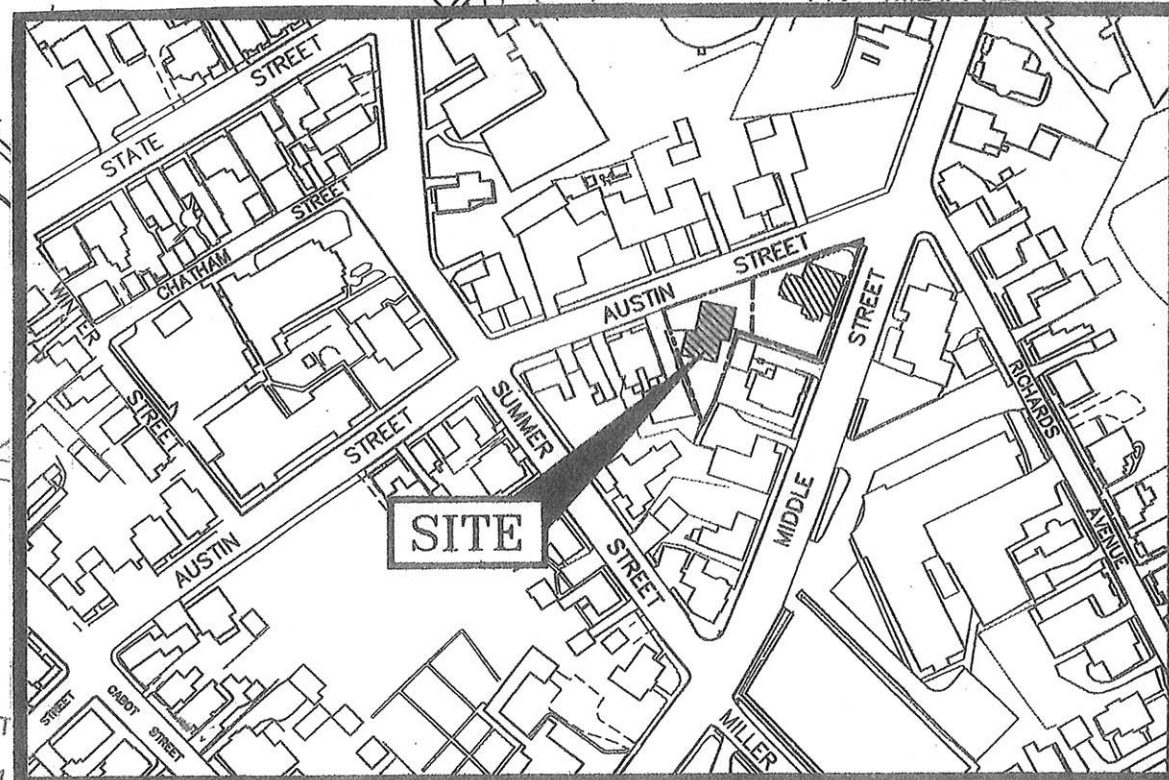
AUSTIN

STREET



RAWLING
DESIGN
ASSOCIATES
DESIGNERS • PLANNERS

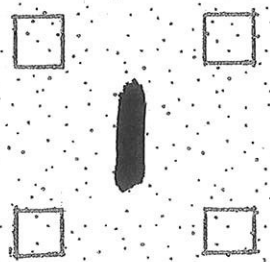
411 Middle Street
Portsmouth NH 03801
603.430.4013



LOCATION MAP

1" = 200'

50 AUSTIN ST.
PORTSMOUTH, NH
ADDITION
ENCLOSED PORT



01.18.25

10.521 Table of Dimensional Standards – Residential and Mixed Residential Districts

2

05.23.20

	R	SRA	SRB	GRA	GRB	GRC	GA/MH	MRO	MRB	50 AUSTIN
Minimum Lot Dimensions										
Lot area	5 acres	1 acre	15,000 sf	7,500 sf	5,000 sf	3,500 sf	5 acres	7,500 sf	7,500 sf	62474 62474
Lot area per dwelling unit	5 acres	1 acre	15,000 sf	7,500 sf	5,000 sf	3,500 sf	10,000 sf	7,500 sf	7,500 sf	
Continuous street frontage	NA	150'	100'	100'	80'	70'	N/A	100'	100'	97.30'
Depth	NA	200'	100'	70'	60'	50'	N/A	80'	80'	119' varies
Minimum Yard Dimensions										
Front	50'	30'	30' ¹	15'	5'	5'	30' ¹	5'	5' ¹	Coverage exist - 11448 11448
Side	20'	20'	10'	10'	10'	10'	25'	10'	10'	1448 1448
Rear	40'	40'	30'	20'	25'	20'	25'	15'	15'	1448 1448
Maximum Structure Dimensions										
Structure height	35'	35'	35'	35'	35'	35' ²	35' ²	40'	40'	Add. 200' 200'
Roof appurtenance height	8'	8'	8'	8'	8'	8'	8'	10'	10'	244' 244'
Building coverage	5%	10%	20%	25%	30%	35%	20%	40%	40%	27% 27%
Minimum open space	75%	50%	40%	30%	25%	20%	50%	25%	25%	45624 45624

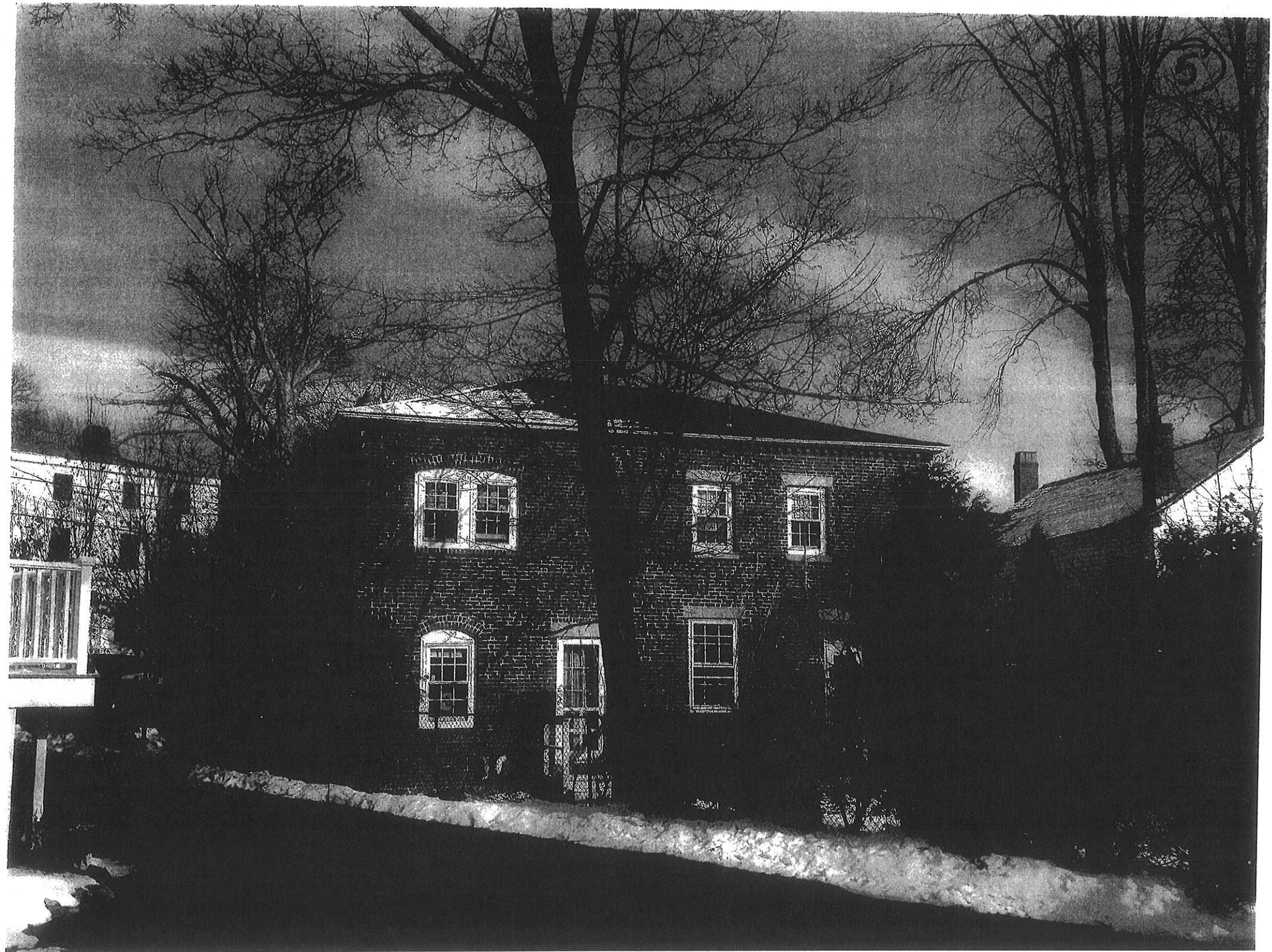
NA = Not Applicable NR = No Requirement

Notes:

- See Section 10.533 for special requirements on Lafayette Road.
- Within the General Residence C and Garden Apartment/Mobile Home Park districts an additional 8' of height may be added to the maximum structure height in order to provide for multifamily dwellings that include vehicular parking spaces located within the residential building itself, if the additional height results in increased open space when compared to a site plan showing what open spaces would remain if required parking spaces were located in the open and in accessory structures.





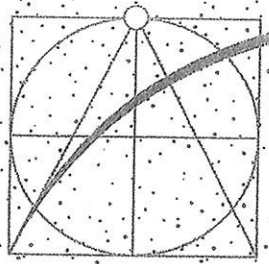






NEW TO MATCH





RAWLING
DESIGN
ASSOCIATES
DESIGNERS • PLANNERS

411 Middle Street
Portsmouth NH 03801
603.430.4013

50 AUSTIN ST.
PORTSMOUTH, NH
ADDITION
ENCLOSED PORCH



9

01.18.25

SECTION DETAIL

SECTION
NOTES

STEPPED METAL
FLASHING - TYP.

0'3" match w/o. beyond
9'6" T.O. PLATE

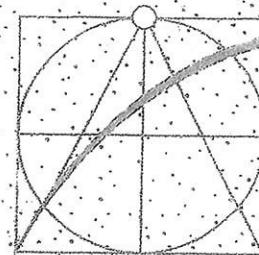
ALIGN W/ V
EXISTING.

6" OR GREATER PVC
PIPE SLEEVE OVER
EXISTING DRAINAGE

BORAL OVER RT. FRAME GRANITE

GARDEN ELEVATION

1/4" = 1'-0"



RAWLING
DESIGN
ASSOCIATES

DESIGNERS • PLANNERS

411 Middle Street
Portsmouth NH 03801
603.430.4013

50 AUSTIN ST.
PORTSMOUTH, NH
ADDITION
ENCLOSED PORCH



10

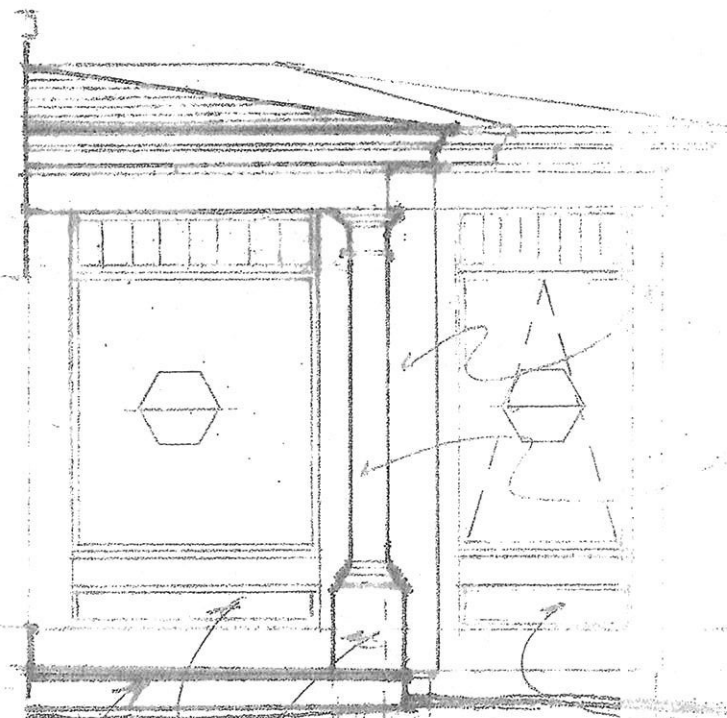


01.18.25



01.18.25

- DOOR ADDED
- WINDOW MODIFIED



1 FRONT ELEVATION



2 REAR ELEVATION



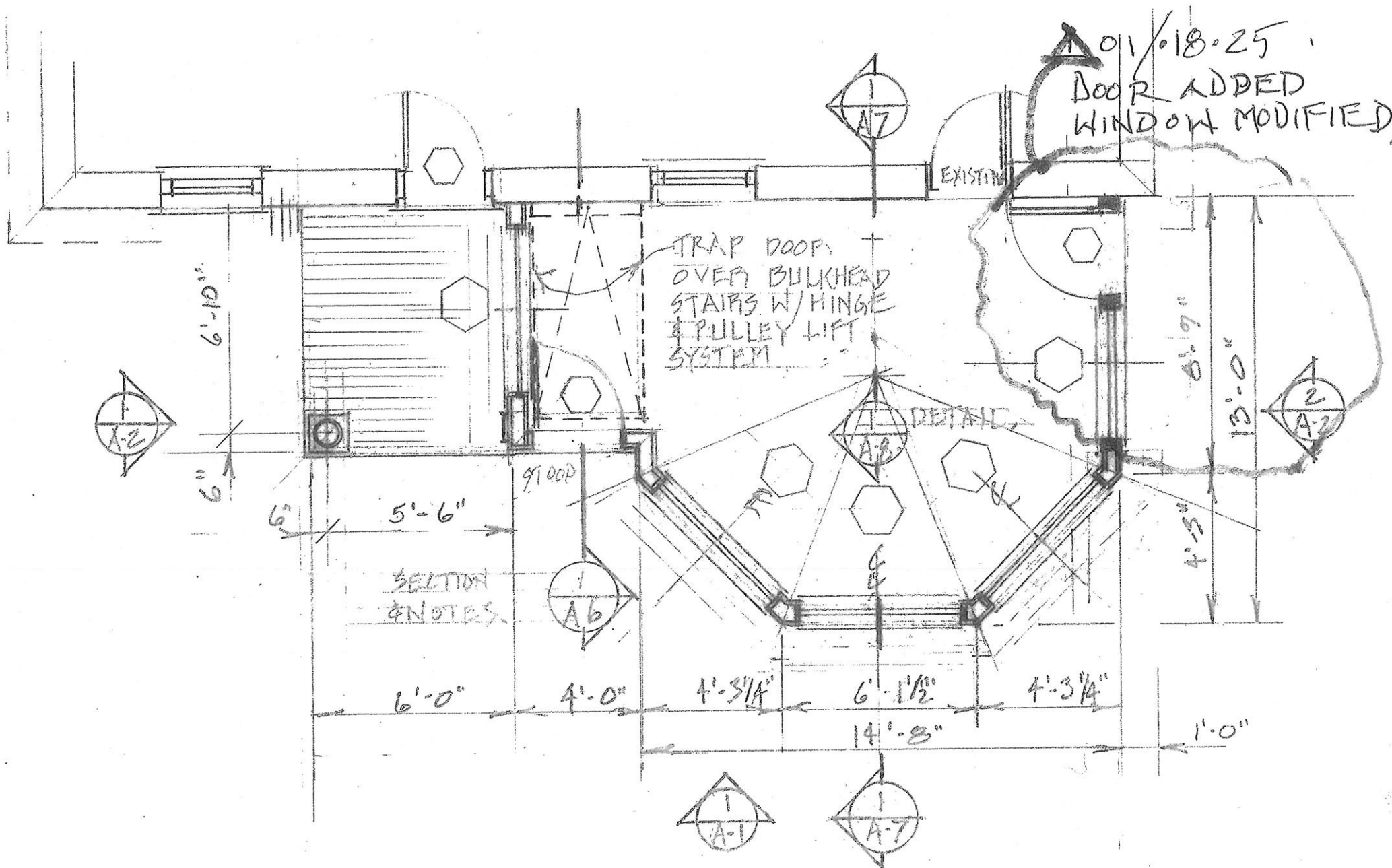
DESIGNERS • PLANNERS

411 Middle Street
Portsmouth NH 03801
603.430.4013

50 AUSTIN ST.
ROCKFORD, ILL.
JAN 19 1902
ENCLOSURE

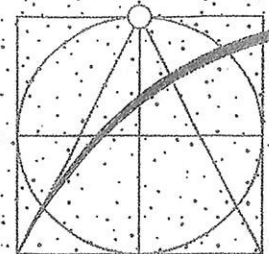
12

01:18:25



FLOOR PLAN

1410



RAWLING
DESIGN
ASSOCIATES

DESIGNERS • PLANNERS

411 Middle Street
Portsmouth NH 03801
603.430.4013

50 AUSTIN ST.
PORTSMOUTH, NH
ADDITION
ENCLOSED PORCH



1
A-5

ROOF PLAN

1/4"=1'-0"

13

01.18.25

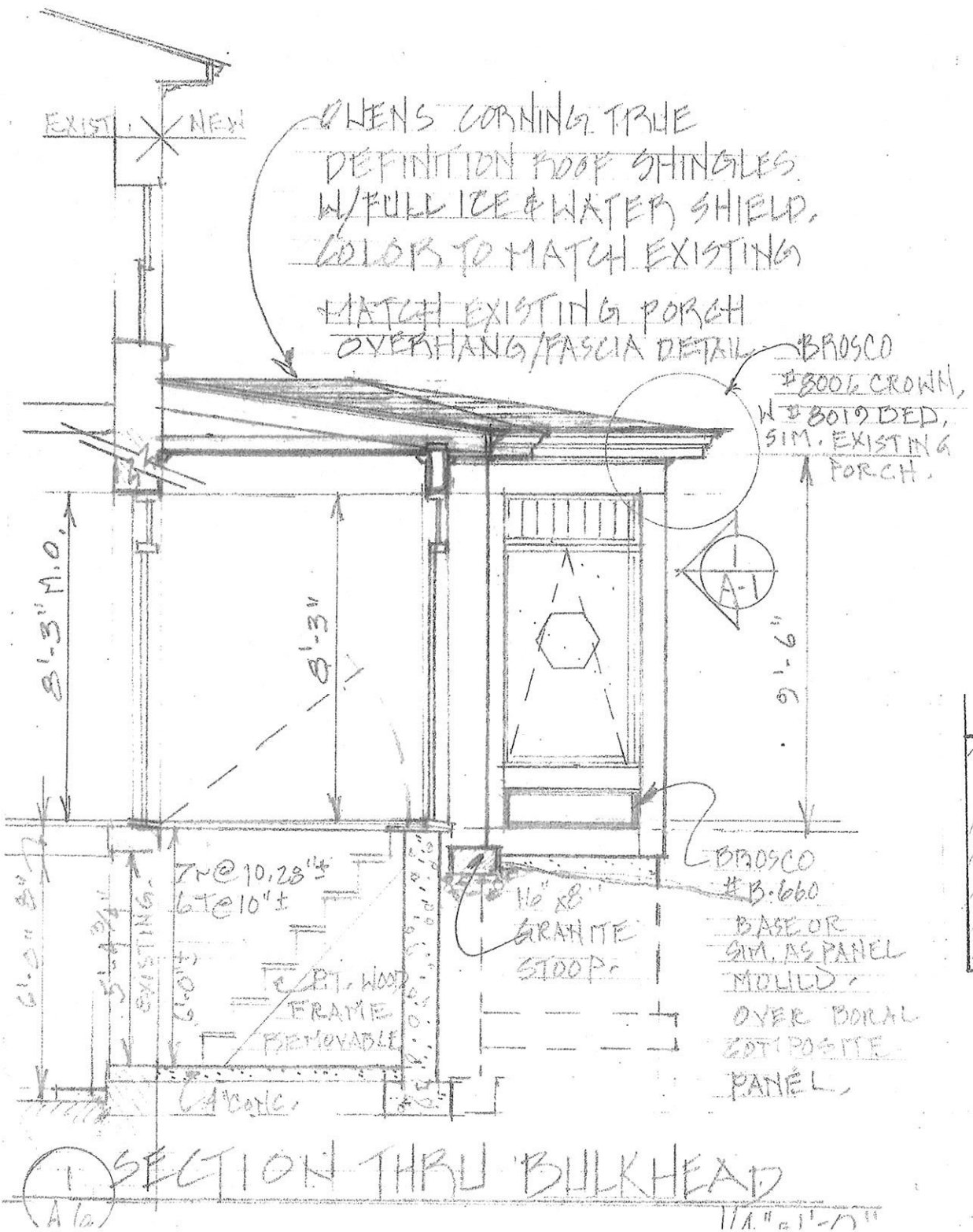
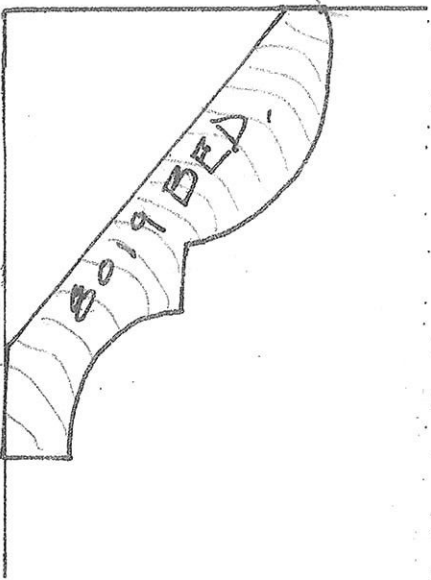
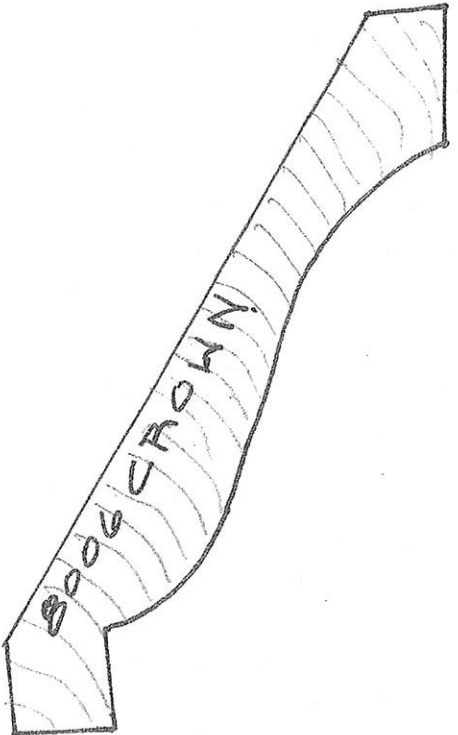


411 Middle Street
Portsmouth NH 03801
603.430.4013

60 AUG 11 1955
PORTSMOUTH, NH
ADDITION
ENCLOSED PORT

14

01.18.25



Round Tapered **PERMA**Cast® Columns

COL. SIZE	A	B	C	D	E	F	G	J	K	L	O	N	R	T	LENGTHS AVAIL. (ft.)
6"	5 1/4"	4 3/4"	9"	1 1/4"	1 1/4"	3/8"	3/4"	1 1/4"	1 3/8"	8"	1"	6 1/4"	3 3/8"	4 1/2"	4, 6, 8
8"	7 1/4"	6 1/4"	10 1/4"	1 3/4"	1 3/4"	3/4"	1 1/8"	1 1/4"	1 1/2"	9 1/4"	1 1/2"	2 1/4"	4 1/4"	4 1/4"	5, 6, 8, 10, 12
10"	9 1/4"	8 1/4"	13 1/4"	2 1/4"	2 1/4"	3/4"	1 1/8"	1 1/4"	1 3/4"	11 1/4"	1 3/4"	2 3/4"	5 1/4"	5 1/4"	6, 8, 10, 12, 14, 16, 18
12"	11 1/4"	9 3/4"	16 1/4"	2 3/4"	2 3/4"	7/8"	1 1/8"	1 3/4"	2 1/4"	13 1/4"	3/4"	2 3/4"	6 1/4"	5 3/4"	8, 10, 12, 14, 16, 18, 20, 22, 24, 26
14"	13 1/4"	11 1/4"	19 1/4"	3 1/4"	3 1/4"	1 1/8"	1 1/4"	2"	2 3/4"	17"	1 1/2"	2 3/4"	7 1/4"	7"	10, 12, 14, 16, 18, 20, 22, 24, 26, 28, 30
16"	15 1/4"	13 1/4"	22"	3 3/4"	3 3/4"	1 1/4"	1 1/4"	2 1/4"	2 3/4"	19 1/4"	1"	3"	8 3/4"	8"	12, 14, 16, 18, 20, 22, 24, 26, 28, 30
18"	17 1/4"	15 1/4"	24 1/4"	4"	4"	1 1/4"	1 1/4"	2 3/4"	3"	22 1/4"	1 1/4"	10 1/4"	9 1/4"	8 3/4"	14, 16, 18, 20, 22, 24, 26, 28, 30
20"	19 1/4"	17 1/4"	27"	4 3/4"	4 3/4"	2"	1 1/8"	2 3/4"	3 3/4"	24 1/4"	1 1/2"	10 3/4"	11 1/4"	9"	16, 18, 20, 22, 24, 26, 28, 30
22"	21 1/4"	19 1/4"	30 1/4"	5"	5"	2"	1 1/4"	3"	3 3/4"	27 1/4"	1 1/2"	10 3/4"	12"	10 3/4"	18, 20, 22, 24, 26, 28, 30
24"	23 1/4"	21 1/4"	33 1/4"	6"	5 1/4"	2 1/4"	2"	3 1/4"	4"	30 1/4"	1 1/2"	10 3/4"	13 1/4"	11 1/4"	20, 22, 24, 26, 28, 30
28"	28"	24 1/4"	38"	6 3/4"	6 1/4"	2 3/4"	2 1/4"	3 3/4"	4 1/4"	33 1/4"	1 1/2"	10 3/4"	15 1/4"	11 3/4"	20, 22, 24, 26, 28, 30
30"	29 1/4"	26 1/4"	41 1/4"	6 3/4"	5 5/8"	2 1/2"	3"	4"	4 3/4"	38 1/4"	1 1/2"	10 3/4"	14 3/4"	14 1/4"	20, 22, 24, 26, 28, 30

*There may be a variance of up to 1/4" in all dimensions. Fluted columns available in all diameters. See page 16 for Parallel dimensions. See page 18 for Decorative Capital dimensions. □ Standard Fluted Column (Fluted in mold)

• Split columns are not load bearing.

COLUMN-LOC®

Column-Loc® creates a continuous connection from floor to beam/header without the expense of splitting and reattaching the column. This labor saving product is easy to install and delivers wind uplift resistance especially important in coastal and high wind areas. Currently available for 8" and 10" round (tapered and no-taper) and square PermaCast® columns. Kits are available with and without threaded rod in lengths up to 12'.



PLUMB-FIT®

To make installation even easier our 6"-12" round and square poly Tuscan Cap and Base Sets with flashing cap come with the Plumb-Fit® patented (Patent 9689674) installation system included.

ROUND PERMACAST® PORCH INSTALLATION BRACKET

The HB&G Porch Installation Bracket includes the bracket and all required hardware. The bracket fits 20" - 30" Plain Round PermaCast® Columns and will secure a 2nd story porch to our PermaCast® Columns. Three brackets are required for each column.



ROUND PERMACAST® INSIDE DIMENSIONS

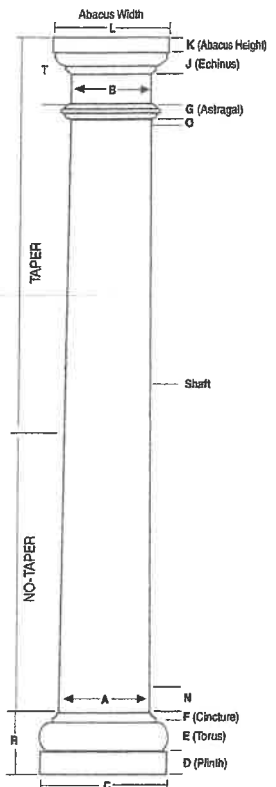
Inside dimension may vary up to 1/8". Splitting a column will decrease inside dimension 1/8".



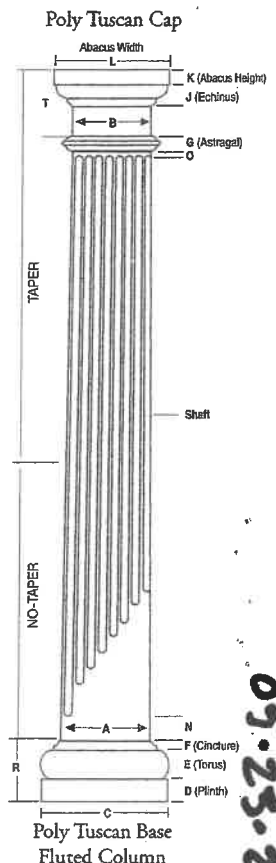
COLUMN SIZE	TOP I.D.	BOT I.D.
6"	3 3/8"	4 1/8"
8"	5 1/8"	6 1/8"
10"	7 1/8"	8 1/8"
12"	8 3/8"	10 1/8"
14"	10 1/8"	12 1/8"
16"	12 1/8"	15"
18"	14 1/8"	16 3/4"
20"	16 1/8"	18 3/4"
22"	18 3/8"	20 3/4"
24"	20"	22 3/4"
28"	22 1/4"	26 3/4"
30"	25 1/4"	28 3/4"

*Plain columns only

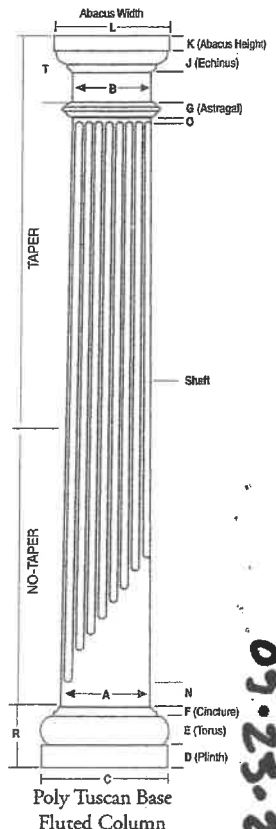
Poly Tuscan Cap



Poly Tuscan Base Plain Column

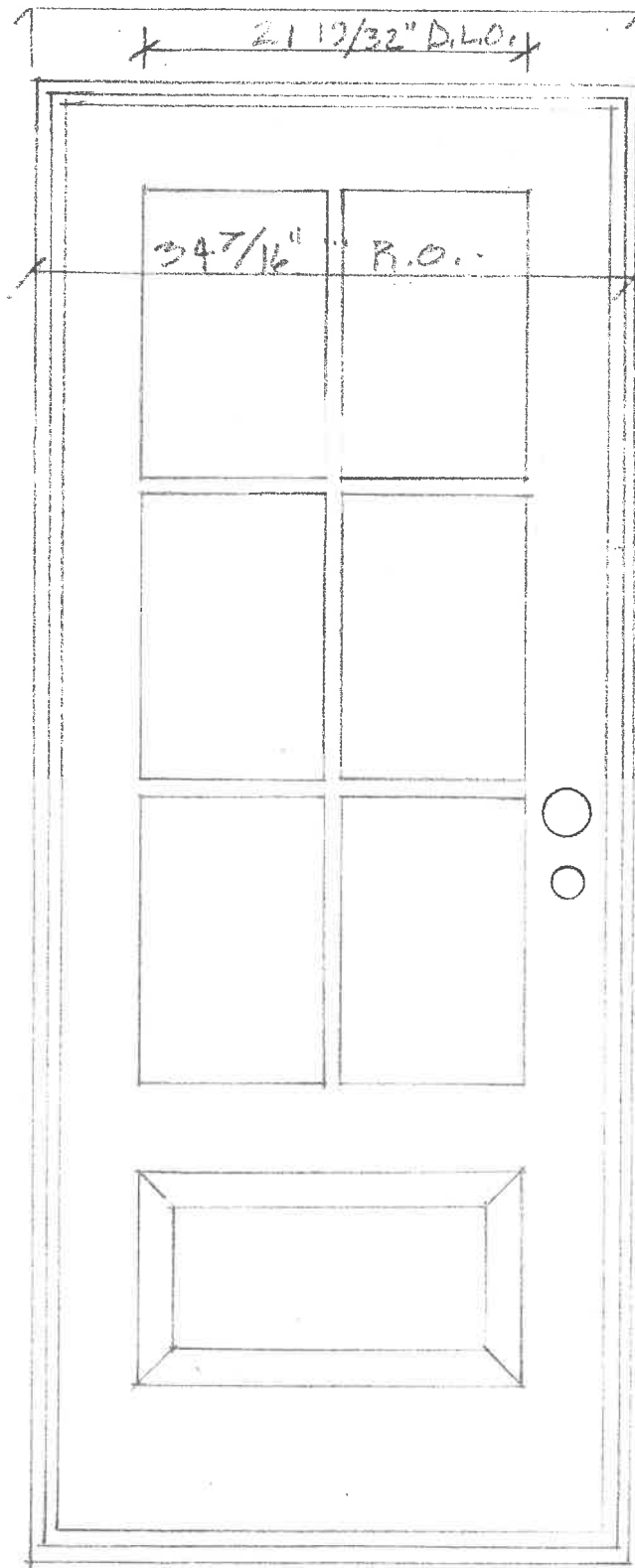


Poly Tuscan Cap



Poly Tuscan Base Fluted Column

05.25.20
14



$49 \frac{23}{64}$ D.L.O.
 $52 \frac{1}{2}$ R.O.

THERMA-TRU FIBER GLASS - S.D.L. W/ G.B.S.
 LEAD GLASS - SIMULATED DIVIDED LIGHTS W/ BRONZE
 GRILLS BETWEEN GLASS CONTAINING MULTIPLE GLASS

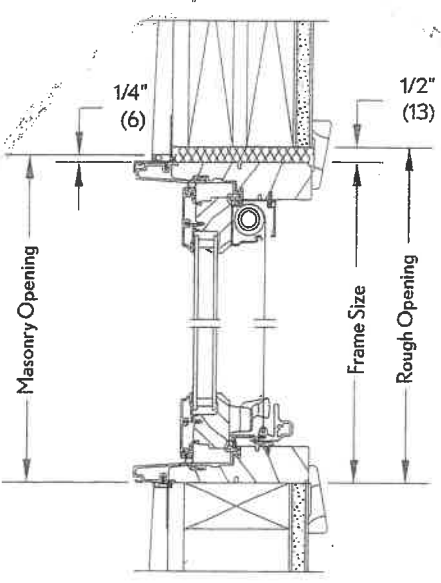
15
 05-23-2

16
05:23:2

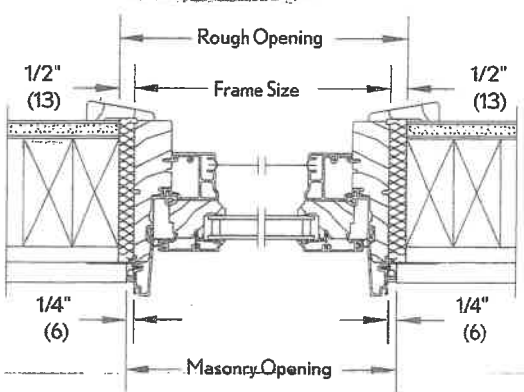
Marvin

CLAD ULTIMATE PUSH OUT AWNING

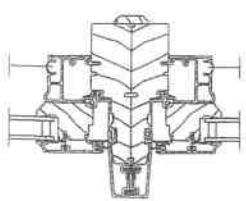
CONSTRUCTION DETAILS



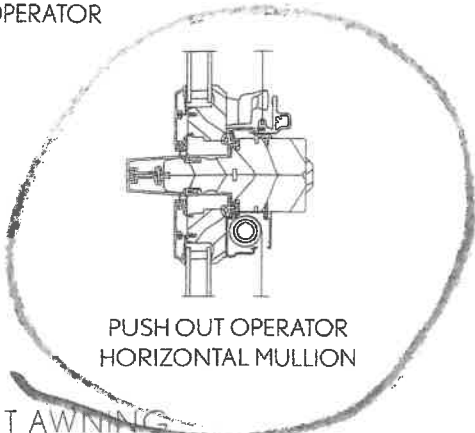
PUSH OUT
HEAD JAMB AND SILL - OPERATOR



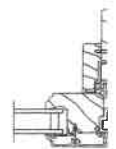
PUSH OUT
JAMB - OPERATOR



PUSH OUT OPERATOR
VERTICAL MULLION



PUSH OUT OPERATOR
HORIZONTAL MULLION



PUSH OUT
VERTICAL

CLAD ULTIMATE AWNING/PUSH OUT AWNING

Max. Ops. (mm)	1-4 1/2 (419)	1-6 1/2 (469)	1-8 1/2 (520)	2-1 1/2 (622)	2-2 1/2 (673)	2-4 1/2 (723)	2-6 1/2 (774)	2-8 1/2 (825)	3-1 1/2 (876)	3-4 1/2 (928)
Rel. Ops. (mm)	1-5 (431)	1-7 (482)	1-9 (533)	2-1 (635)	2-3 (688)	2-5 (736)	2-7 (787)	2-9 (838)	3-1 (890)	3-5 (1041)
Frame Size (mm)	1-4 (406)	1-6 (457)	1-8 (508)	2-0 (609)	2-2 (660)	2-4 (711)	2-6 (762)	2-8 (812)	3-0 (914)	3-4 (1016)
Glass Size (mm)	11 9/32 (287)	13 9/32 (337)	15 9/32 (388)	19 9/32 (490)	21 9/32 (541)	23 9/32 (591)	25 9/32 (642)	27 9/32 (693)	31 9/32 (795)	35 9/32 (896)
	CUPAWN1614	CUPAWN1814	CUPAWN2014	CUPAWN2414	CUPAWN2614	CUPAWN2814	CUPAWN3014	CUPAWN3214	CUPAWN3614	CUPAWN4014
	CUPAWN1616	CUPAWN1816	CUPAWN2016	CUPAWN2416	CUPAWN2616	CUPAWN2816	CUPAWN3016	CUPAWN3216	CUPAWN3616	CUPAWN4016

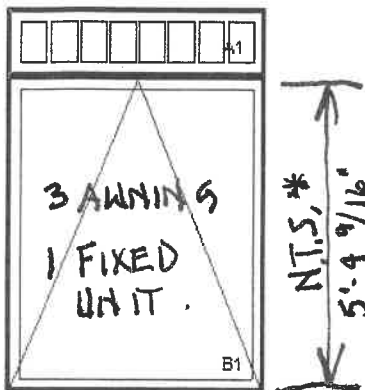
W/SLT.

BAY & COVERED PORCH.

Maher, Sky
awnings

Quote Number: GMFJTYH

MARVIN



As Viewed From The Exterior

Entered As: Size by Units
RO 61" X ~~86 3/4"~~
Egress Information A1, B1
No Egress Information available.

B1-AWNING
WAWN ~~7264T~~
6064T.

* REPRESENTATIONAL
DIAGRAM-UNIT
MODIFIED LENGTH &
OPERATIONS TO
1 FIXED UNIT.

1W2H - Rectangle Assembly
Assembly Rough Opening
61" X 86 3/4"

Unit: A1
Ultimate Awning - Stationary
CN 6016
Rough Opening 61" X 15 5/8"
Frame Size 60" X 15 1/8"
Stone White Clad Sash Exterior
Painted Interior Finish - White - Pine Sash Interior
IG - 3/4"
Low E2
Capillary Tube
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 8W1H
Stone White Clad Ext - Painted Interior Finish - White - Pine Int
Ogee Interior Glazing Profile
Standard Bottom Rail
White Weather Strip
Solid Wood Covers

Unit: B1
Ultimate Awning - Roto Operating
CN 6072
Rough Opening 61" X ~~71 5/8"~~
Frame Size 60" X ~~71 1/8"~~
Stone White Clad Sash Exterior
Painted Interior Finish - White - Pine Sash Interior
IG - 1 in - 1 Lite
Tempered Low E2 w/Argon
Stainless Perimeter Bar
Ogee Interior Glazing Profile
Standard Bottom Rail
White Weather Strip
Matte Black Folding Handle
Matte Black Multi - Point Lock
Aluminum Screen
White Surround
Charcoal Hi-Transparency Fbrgls Mesh
Standard Mull Charge
6 9/16" Jambs
AL Nailing Fin
***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.
***Note: Capillary tubes will be added to ALL Low E glass types without Argon.
***Note: Unit Availability and Price is Subject to Change

Line #5	Mark Unit:			
Qty: 1				

MARVIN

Stone White Clad Exterior
Painted Interior Finish - White - Pine Interior
Ultimate Inswing French Door 4 9/16" - X Left Hand
CN 2868
Rough Opening 34 7/16" X 82 1/2"
Traditional Panels
Stone White Clad Sash Exterior
Painted Interior Finish - White - Pine Sash Interior
IG
Tempered Low E2 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W3H
Stone White Clad Ext - Painted Interior Finish - White - Pine Int
Ogee Interior Glazing Profile
Stamped Raised Panel Visible Panel Height 12 1/64"

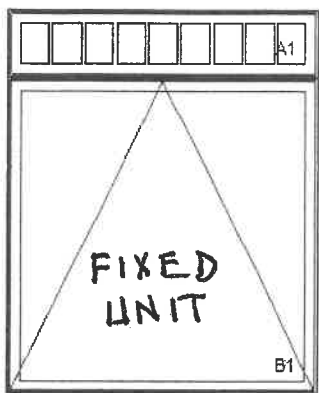
05.23.20
(17)

LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #3	Mark Unit: 663/4 mullid unit			
Qty: 1				

MARVIN



As Viewed From The Exterior

Entered As: Size by Units
RO 73" X ~~66 3/4~~"
Egress Information A1, B1
No Egress Information available.

FIXED UNIT
7264T.

*REPRESENTATIONAL
DIAGRAM - B1 UNIT
MODIFIED LENGTH, &
OPERATION TO FIXED.

Stone White Clad Exterior
Painted Interior Finish - White - Pine Interior
1W2H - Rectangle Assembly
Assembly Rough Opening
73" X ~~66 3/4~~"

Unit: A1
Ultimate Awning - Stationary
CN 7216
Rough Opening 73" X 15 5/8"
Frame Size 72" X 15 1/8"
Stone White Clad Sash Exterior
Painted Interior Finish - White - Pine Sash Interior
IG - 3/4"
Low E2
Capillary Tube
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 9W1H
Stone White Clad Ext - Painted Interior Finish - White - Pine Int
Ogee Interior Glazing Profile
Standard Bottom Rail
White Weather Strip
Solid Wood Covers

Unit: B1
Ultimate Awning - Roto Operating
CN 7272
Rough Opening 73" X ~~71 5/8~~" 5'-4 9/16"
Frame Size 72" X 71 1/8"
Stone White Clad Sash Exterior
Painted Interior Finish - White - Pine Sash Interior
IG - 1 in - 1 Lite
Tempered Low E2 w/Argon
Stainless Perimeter Bar
Ogee Interior Glazing Profile
Standard Bottom Rail
White Weather Strip
Matte Black Folding Handle
Matte Black Multi - Point Lock
Aluminum Screen
White Surround
Charcoal Hi-Transparency Fbrgls Mesh

Standard Mull Charge
6 9/16" Jambs
AL Nailing Fin
***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.
***Note: Capillary tubes will be added to ALL Low E glass types without Argon.
***Note: Unit Availability and Price is Subject to Change

Line #4	Mark Unit: 5-18 mullid unit			
Qty: 4				

Stone White Clad Exterior
Painted Interior Finish - White - Pine Interior

05.23.20
18

Window to decrease in width

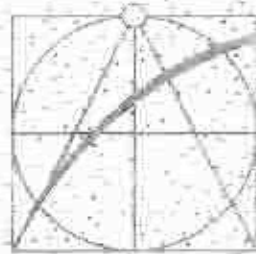
- 01.18.25
- DOOR ADDED
 - WINDOW MODIFIED

MODIFIED
TO MATCH
OPPOSITE
WINDOW

MATCH
WINDOW
DOOR &
TRANSOM
DETAILS

CLAWN
4364

347/116 NO
DOOR



RAWLING
DESIGN
ASSOCIATES

DESIGNER - PLANNER

411 Middle Street
Portsmouth, NH 03801
603.430.4013

50 ALBERT ST.
PORTSMOUTH, NH
03801
ENCLOSED PORCH

10

7. 112 New Castle Avenue

-Recommended Approval

Background: The applicant is seeking approval for the replacement of an existing chimney with a faux chimney.

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

Renovation Plan - Chimney
112 New Castle Ave.
Portsmouth, NH 03801
September 12, 2025

Last month, we asked the HDC to consider our request to remove the heating chimney from our house at 112 New Castle Ave. See the two figures below for a picture of the house and chimney, respectively. The chimney hole would have been infilled with asphalt roof shingles, matching the existing roof. This request was denied.

We would also like to update HDC on some of the HVAC design with regard to locations of HVAC equipment and exterior wall penetrations for various vents.

For the chimney, we would now like HDC to consider removal of the entire chimney with construction of a new faux stack, matching the visual appearance of the existing chimney stack in all details. The construction would include:

1. A new thin brick veneer faux stack built with plywood
2. Using the same dimensions as the existing – approximately 16" x 20" x 5'4" high
3. Installed in the same location as the existing chimney.
4. If usable, the cap would be reused. Otherwise, the cap would be new and matched as close as possible to the existing cap.
5. Thin brick for the veneer constructed from the actual chimney brick that would be sliced in the appropriate thickness.

As we stated before, we would like to remove the heating chimney for several reasons: to gain function in the kitchen from opening the wall between the kitchen and dining room; to add space to a small bedroom on the second floor; and to avoid the future cost of maintaining an unnecessary chimney. Our proposed switch to a heat pump system would negate the need for a chimney.

Here is more up-to-date information on the locations of various HVAC and plumbing vents.

1. Plumbing vents - The existing vent location in the kitchen corner will continue to be used for the kitchen and main bath plumbing vents. The venting for the relocated half bath and new beverage sinks will be as close to the heating chimney as possible and in the least visible location. The new en suite bath will likely be vented on the rear facing gable over the living room.
2. HVAC exhaust vents – The main bath will keep the existing exhaust fan location in the rear of the house. The relocated half bath exhaust fan will be installed about three feet forward of and slightly higher than the existing stove exhaust vent. The existing stove vent will be abandoned and in-filled with clapboard. The new en suite exhaust will likely be high on the exterior dining room wall or in its soffit.

3. HVAC equipment – the HVAC condenser will be located on the ground and in the alcove behind the living room extension and is more suitable than the originally proposed location on the rear kitchen corner of the house. The original location is complicated by exterior irrigation piping. Three mini-splits for the first floor will be located high on the rear facing living room wall, high on the dining room wall inside the alcove where the HVAC condenser will be located and high on the sunroom rear wall. The second floor HVAC equipment will be in the attic.

112 New Castle Ave.
Portsmouth, NH 03801

Figure 1
Front of House



112 New Castle Ave.
Portsmouth, NH 03801

Figure 2
Existing Chimney to be Removed



8. 101 Chapel Street

-Recommended Approval

Background: The applicant is seeking approval for a change to a previously approved design (change solar panel layout to accommodate for fire safety access).

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

SCOPE OF WORK

SYSTEM SIZE: 20.88kW DC, 15.84kW AC
MODULES: (48) HD HUNDAYI HIN-T435NF(BK) 435W
INVERTERS: (48) ENPHASE: IQ8M-72-2-US MICROINVERTERS
RACKING: IRONRIDGE AIRE RAIL A1
ATTACHMENT: IRONRIDGE AIRE DOCK, WITH L-FOOT

EXISTING SYSTEM:
SYSTEM SIZE: 22.95kW DC, 17.55kW AC
MODULES: (54) HANWHA QCELLS Q.TRON BLK M-G2+ 425W
INVERTERS: (54) ENPHASE: IQ8M-72-2-US MICROINVERTERS

ARRAY TILT: #1 - 27°
ARRAY AZIMUTH: #1 - 59°

ELECTRICAL INFORMATION
UTILITY COMPANY: EVERSOURCE
MAIN SERVICE AMPERAGE: 400A

BUILDING INFORMATION: TWO STORY HOUSE
APN #: PRSM106553
ROOF TYPE: COMP. SHINGLE
NUMBER OF LAYERS: 01
ROOF TRUSSES: 2"X8" @ 24" O.C.

CODE SUMMARY

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODE
2021 NFPA 1 AS AMENDED BY SAF-FMO 300
2021 INTERNATIONAL BUILDING CODE (IBC)
2021 INTERNATIONAL RESIDENTIAL CODE (IRC)
2018 INTERNATIONAL ENERGY CONSERVATION CODE (IEC)
2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
2021 INTERNATIONAL MECHANICAL CODE (IMC)
2021 INTERNATIONAL PLUMBING CODE (IPC)
2023 NATIONAL ELECTRICAL CODE (NEC)
STATE FIRE CODE SAF-C 6000


SHEET INDEX


PV-0 COVER SHEET
PV-1 SITE PLAN
PV-2 ARRAY DETAIL
PV-2A STRING LAYOUT
PV-3 ATTACHMENT DETAILS
PV-4 ELECTRICAL LINE DIAGRAM
PV-5 ELECTRICAL CALCULATION
PV-6 PLACARDS
PV-7+ MANUFACTURER SPEC SHEET


GENERAL NOTES:


- PV INSTALLATION COMPLIES WITH THE NEC 2023 ARTICLE 690.12(B)(2).
- PHOTOVOLTAIC SYSTEM IS UNGROUNDED. NO CONDUCTORS ARE SOLIDLY GROUNDED IN THE INVERTER.
- MODULES CONFORM TO AND ARE LISTED UNDER UL 1703.
- INVERTER CONFORMS TO AND IS LISTED UNDER UL 1741.
- RACKING CONFORMS TO AND IS LISTED UNDER UL 2703.
- RAPID SHUTDOWN REQUIREMENTS MET WHEN INVERTERS AND ALL CONDUCTORS ARE WITHIN ARRAY BOUNDARIES PER NEC 690.12(1).
- ARRAY DC CONDUCTORS ARE SIZED FOR DERATED CURRENT.
- 14.32 AMPS MODULE SHORT CIRCUIT CURRENT.
- 22.34 AMPS DERATED SHORT CIRCUIT CURRENT [690.8 (a) & 690.8 (b)].


LEGEND AND ABBREVIATIONS


 UTILITY METER


 MAIN PANEL


 SUB-PANEL


 PV LOAD CENTER


 DEDICATED PV METER


 INVERTER(S) WITH INTEGRATED DC DISCONNECT AND AFCI


 AC DISCONNECT(S)

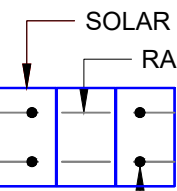
 DC DISCONNECT(S)

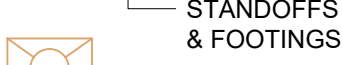
 FUSED AC DISCONNECT


 COMBINER BOX


 AUTOMATIC TRANSFER SWITCH


 ENPHASE MICROINVERTER


 SOLAR MODULES
RAIL


 STANDOFFS & FOOTINGS


 CHIMNEY


 ATTIC VENT


 FLUSH ATTIC VENT


 PVC PIPE VENT


 METAL PIPE VENT


 T-VENT


 SATELLITE DISH

 PROPERTY LINE

 INTERIOR EQUIPMENT SHOWN AS DASHED

 HARDSCAPE

 FIRE SETBACKS

 ACCESS PATHWAY

A
AC
AFCI

AZIM
COMP
DC
(E)
EXT
FRM
INT
LBW
MAG
MSP
(N)
NTS
OC
PRE-FAB
PSF

PV
TL
TYP
V
W

AMPERE
ALTERNATING CURRENT
ARC FAULT CIRCUIT INTERRUPTER
AZIMUTH
COMPOSITION
DIRECT CURRENT
EXISTING
EXTERIOR
FRAMING
INTERIOR
LOAD BEARING WALL
MAGNETIC
MAIN SERVICE PANEL
NEW
NOT TO SCALE
ON CENTER
PRE-FABRICATED
POUNDS PER SQUARE FOOT
PHOTOVOLTAIC
TRANSFORMERLESS
TYPICAL
VOLTS
WATTS



1
PV-0
AERIAL VIEW
SCALE: NTS



2
PV-0
VICINITY MAP
SCALE: NTS



603 SOLAR
24 CHARTER ST.
EXETER, NH 03833
(603) 570-2607

REVISIONS		
DESCRIPTION	DATE	REV

PROJECT NAME & ADDRESS

ST. JOHN'S EPISCOPAL CHURCH

100 CHAPEL ST.,
PORTSMOUTH, NH 03801
PHONE #: (603) 988-8347
EMAIL: reginhny@outlook.com
20.88kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON
STEVE
SHEET NAME
COVER SHEET
SHEET SIZE
ANSI B 11" X 17"
SHEET NUMBER
PV-0

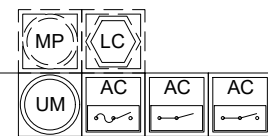
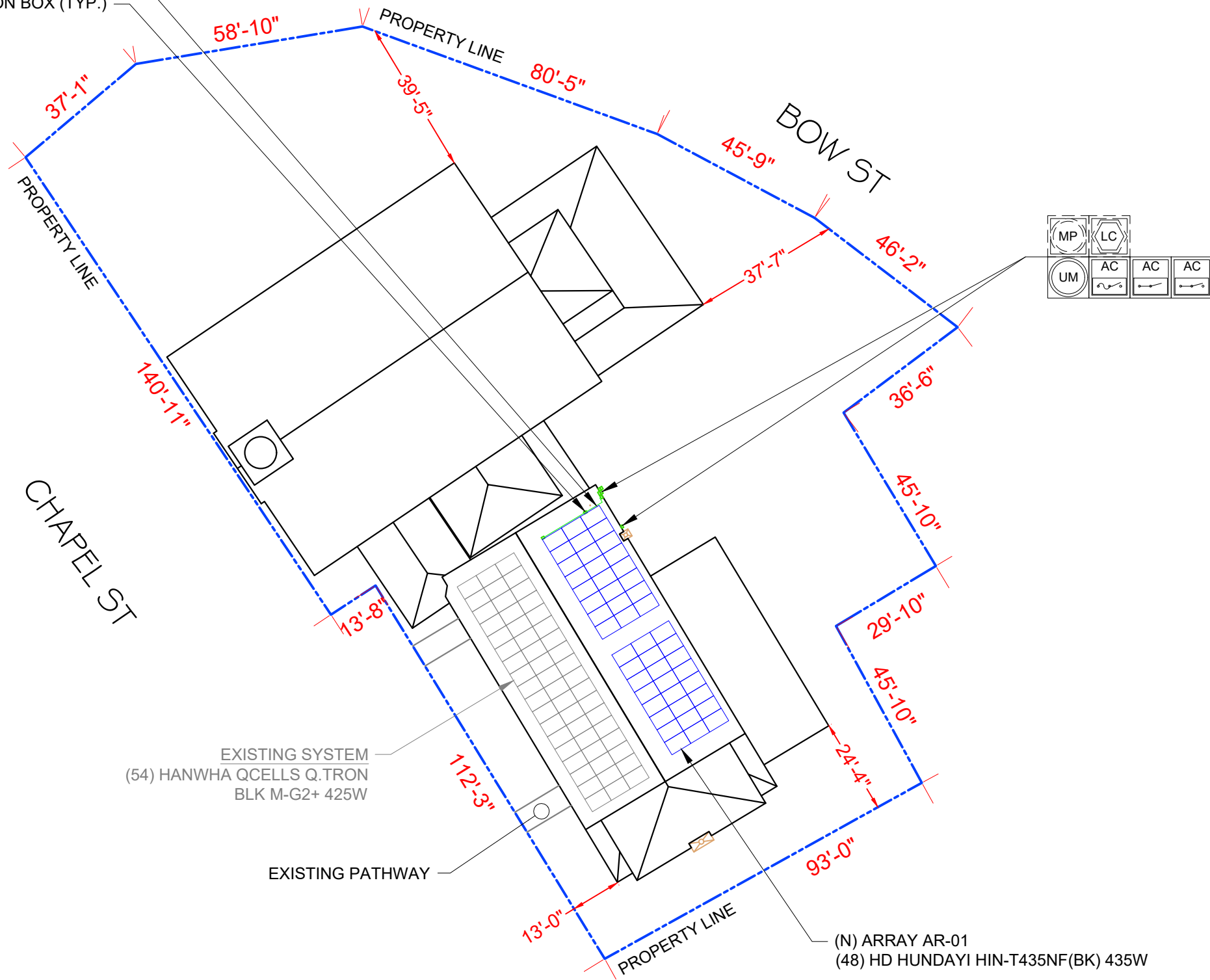
ADDITIONAL NOTE:

- EXPANSION SYSTEM. PROJECT INCLUDES SKIRT ON THE LEFT, RIGHT, AND BOTTOM OF THE ARRAY.
- THE SREC ACCOUNT IS UNDER GERALD SIMPKINS, cunstlue1214@gmail.com
- 400AMP SINGLE PHASE SERVICE.
- LOWER EDGE OF EACH ROOF HAS A METAL SECTION, STANDING SEAM.



(N) 3/4" EMT CONDUIT RUN

(N) JUNCTION BOX (TYP.)



603 SOLAR
24 CHARTER ST.
EXETER, NH 03833
(603) 570-2607

REVISIONS

DESCRIPTION	DATE	REV

PROJECT NAME & ADDRESS

ST. JOHN'S EPISCOPAL CHURCH
100 CHAPEL ST.,
PORTSMOUTH, NH 03801
PHONE #: (603) 988-8347
EMAIL: reginnhny@outlook.com
20.88kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON

STEVE

SHEET NAME

SITE PLAN

SHEET SIZE

**ANSI B
11" X 17"**

SHEET NUMBER

PV-1

1

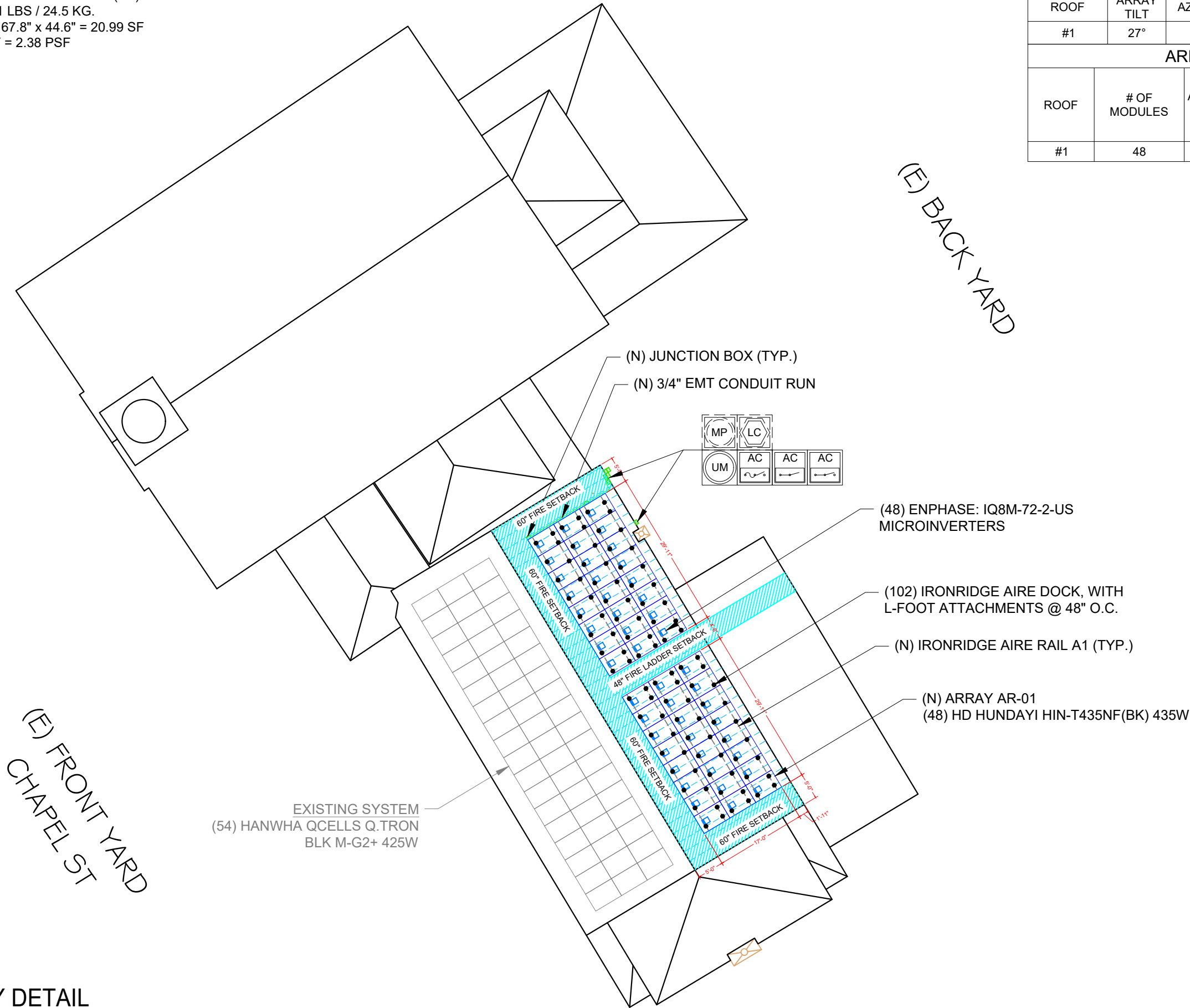
SITE PLAN

PV-1

SCALE: 1/32" = 1'-0"

MODULE TYPE, DIMENSIONS & WEIGHT

NUMBER OF MODULES = 48 MODULES
MODULE TYPE = HD HUNDAYI HIN-T435NF(BK) 435W
MODULE WEIGHT = 50.01 LBS / 24.5 KG.
MODULE DIMENSIONS = 67.8" x 44.6" = 20.99 SF
UNIT WEIGHT OF ARRAY = 2.38 PSF



ROOF DESCRIPTION				
ROOF TYPE			COMP. SHINGLE	
ROOF	ARRAY TILT	AZIMUTH	TRUSSES SIZE	TRUSSES SPACING
#1	27°	59°	2"X8"	24" O.C.
ARRAY AREA				
ROOF	# OF MODULES	ARRAY AREA (Sq. Ft.)	ROOF AREA (Sq. Ft.)	ROOF AREA COVERED BY ARRAY (%)
#1	48	2140.98	6677.88	32.06

603 SOLAR

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24 CHARTER ST.
EXETER, NH 03833
(603) 570-2607

REVISIONS		
DESCRIPTION	DATE	REV

PROJECT NAME & ADDRESS

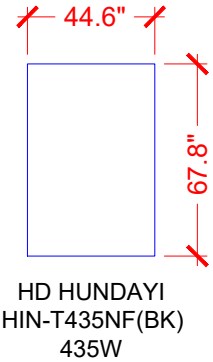
ST. JOHN'S EPISCOPAL CHURCH
100 CHAPEL ST.,
PORTSMOUTH, NH 03801
PHONE #: (603) 988-8347
EMAIL: reginmny@outlook.com
20.88kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON
STEVE

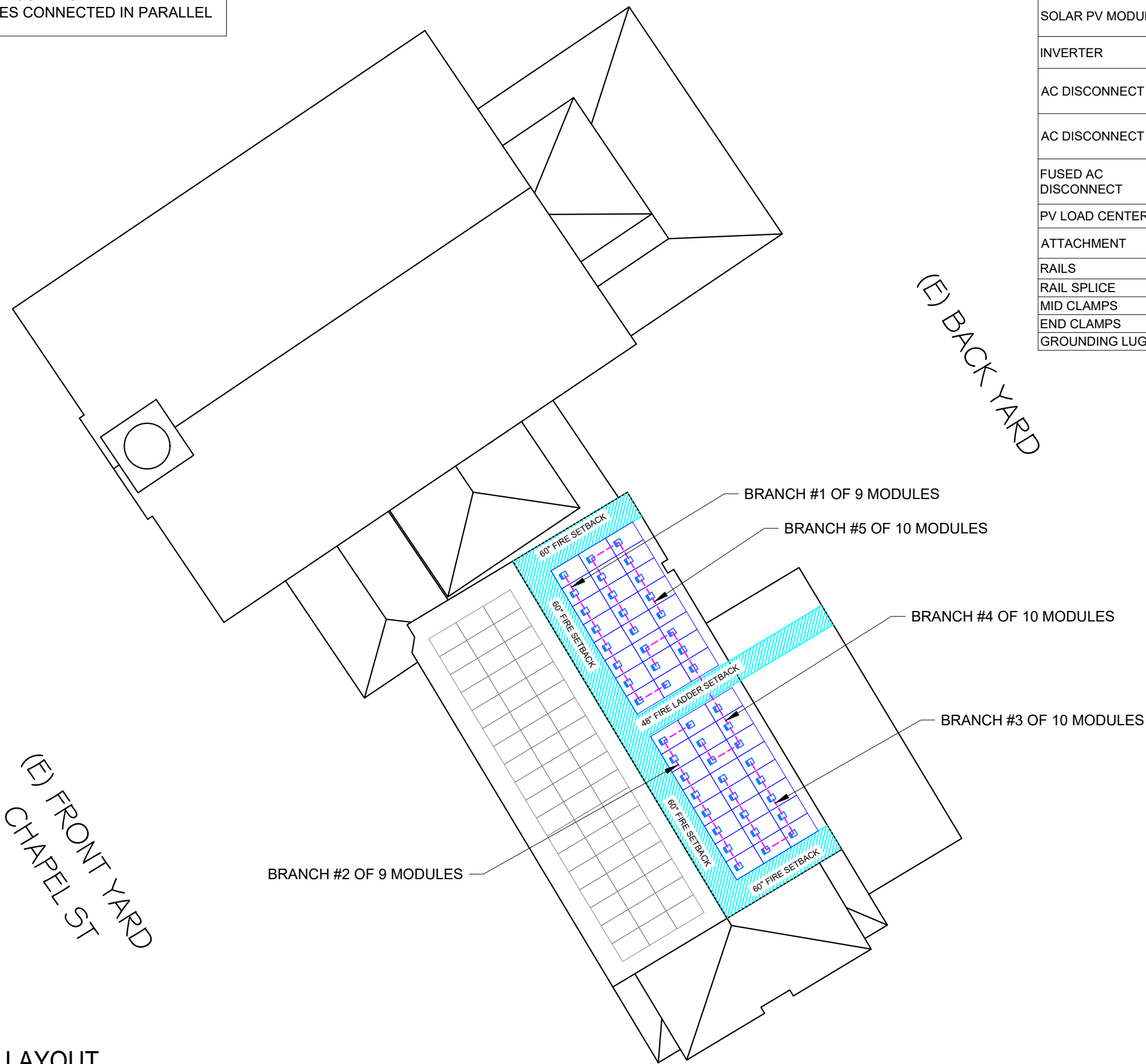
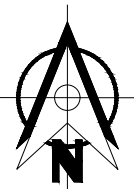
SHEET NAME
ARRAY DETAIL

SHEET SIZE
ANSI B
11" X 17"

SHEET NUMBER
PV-2



- (48) HD HUNDAYI HIN-T435NF(BK) 435W MODULE
- (2) BRANCH OF 9 MODULES CONNECTED IN PARALLEL
- (3) BRANCH OF 10 MODULES CONNECTED IN PARALLEL



BILL OF MATERIALS		
EQUIPMENT	QTY	DESCRIPTION
SOLAR PV MODULE	48	HD HUNDAYI HIN-T435NF(BK) 435W MODULES
INVERTER	48	ENPHASE: IQ8M-72-2-US MICROINVERTERS
AC DISCONNECT	1	AC DISCONNECT: 240V, 200AMP, NEMA 3R, UL LISTED LOCKABLE AND NON-FUSIBLE
AC DISCONNECT	1	AC DISCONNECT: 240V, 200AMP, LOCKABLE KNIFE HANDLE DISCONNECT
FUSED AC DISCONNECT	1	AC DISCONNECT: 240V, 200AMP, FUSED NEMA 3R, UL LISTED WITH 175A FUSES
PV LOAD CENTER	1	200A PV LOAD CENTER, 240V
ATTACHMENT	102	IRONRIDGE AIRE DOCK, WITH L-FOOT ATTACHMENTS
RAILS	30	IRONRIDGE AIRE RAIL A1 170"
RAIL SPLICE	24	SPLICE KIT
MID CLAMPS	84	MID CLAMP
END CLAMPS	24	END CLAMP
GROUNDING LUG	6	IRONRIDGE LUG

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SALES PERSON

STEVE

SHEET NAME

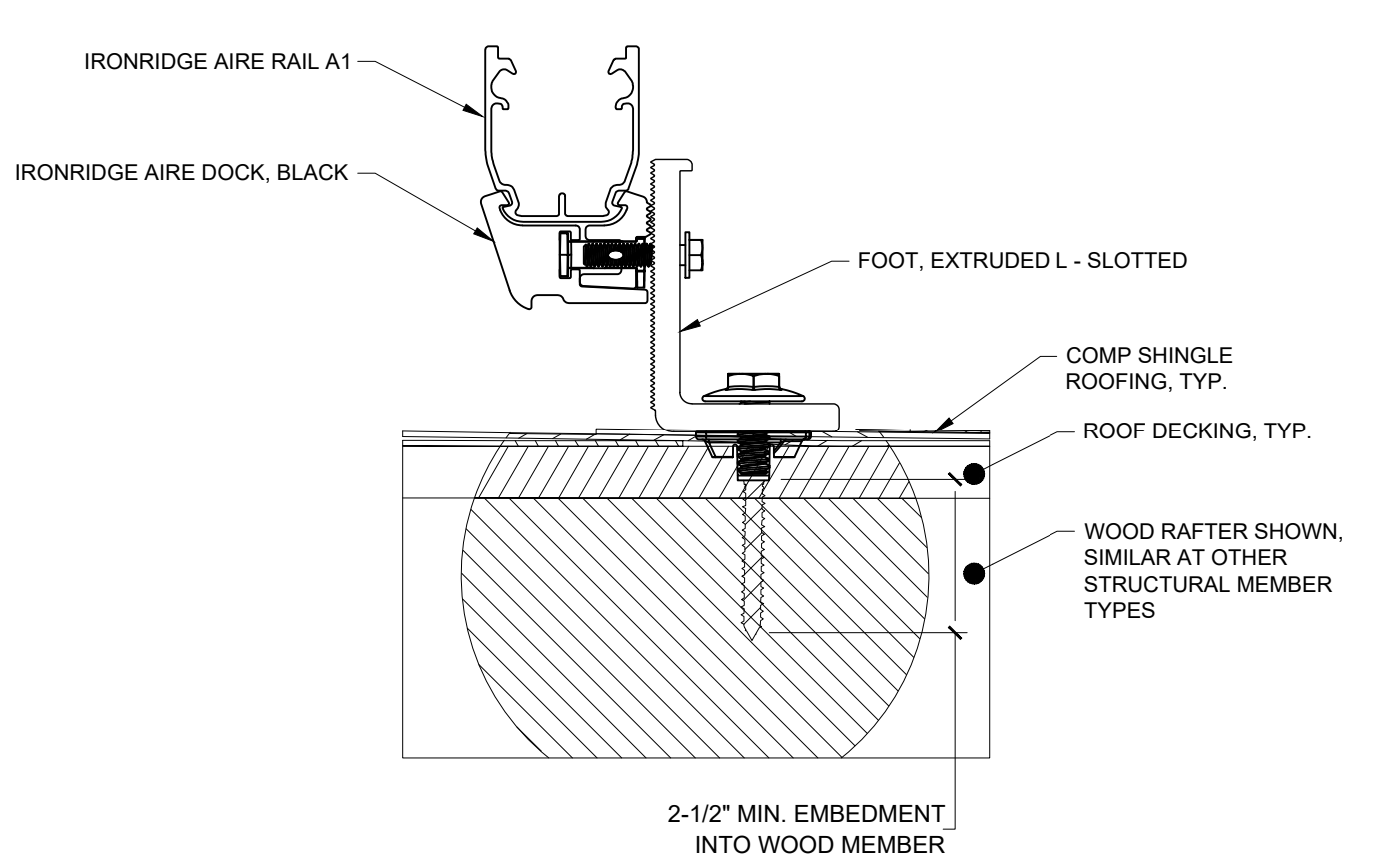
STRING LAYOUT

SHEET SIZE

ANSI B
11" X 17"

SHEET NUMBER

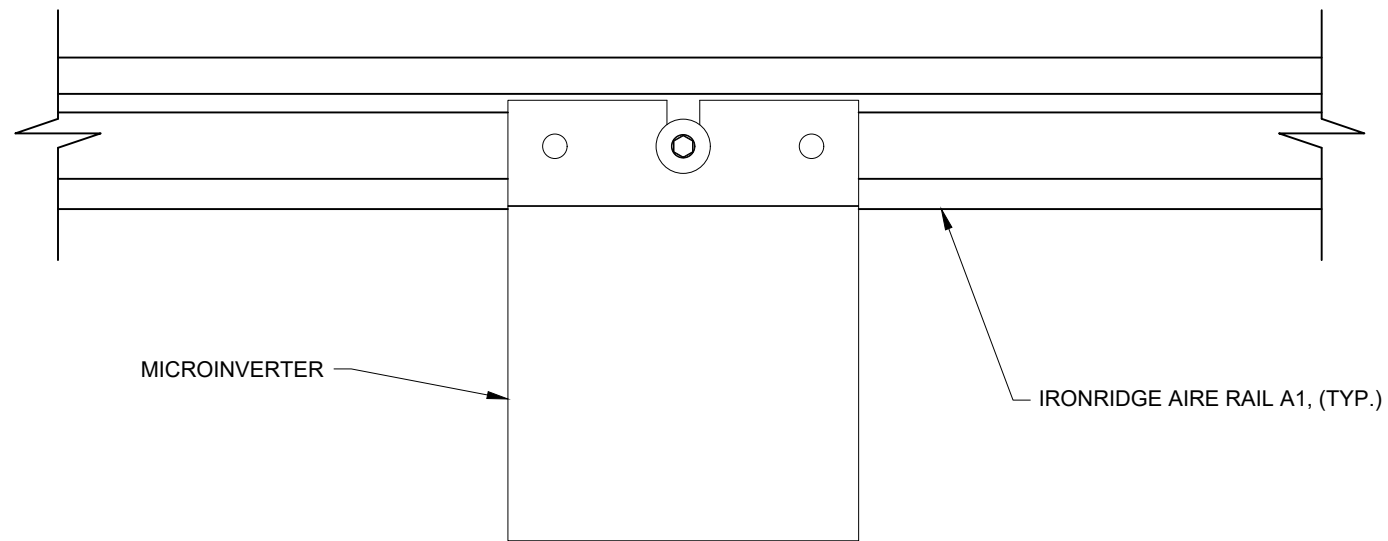
PV-2A



1 ATTACHMENT DETAIL

PV-3

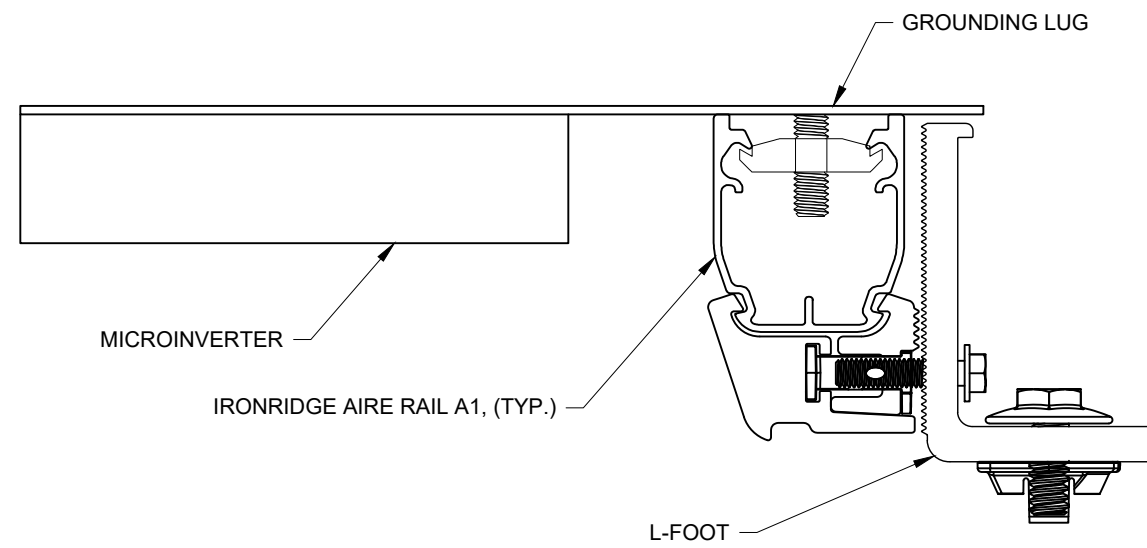
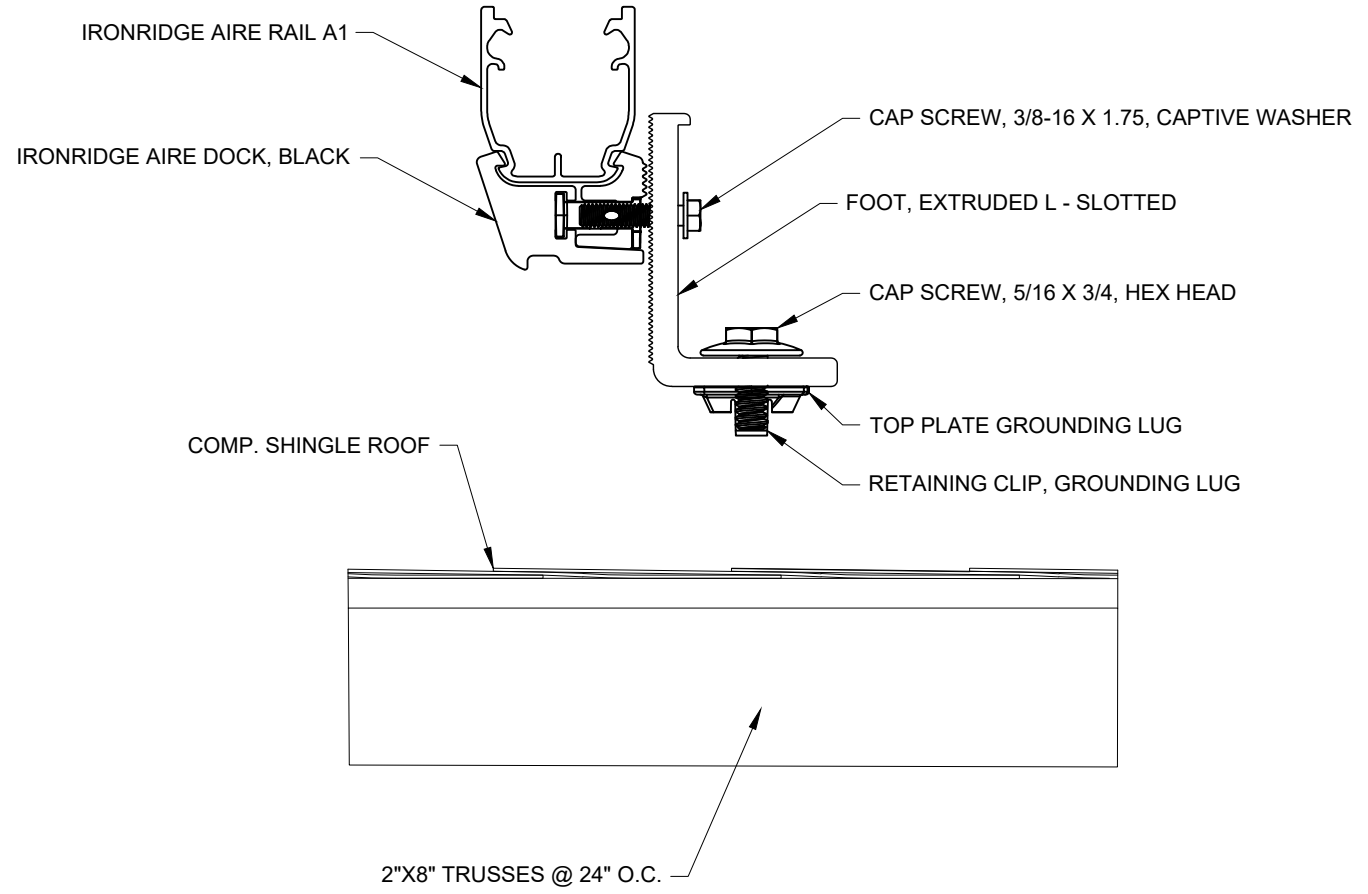
SCALE: NTS



2 MICROINVERTER DETAIL

PV-3

SCALE: NTS



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SHEET NAME

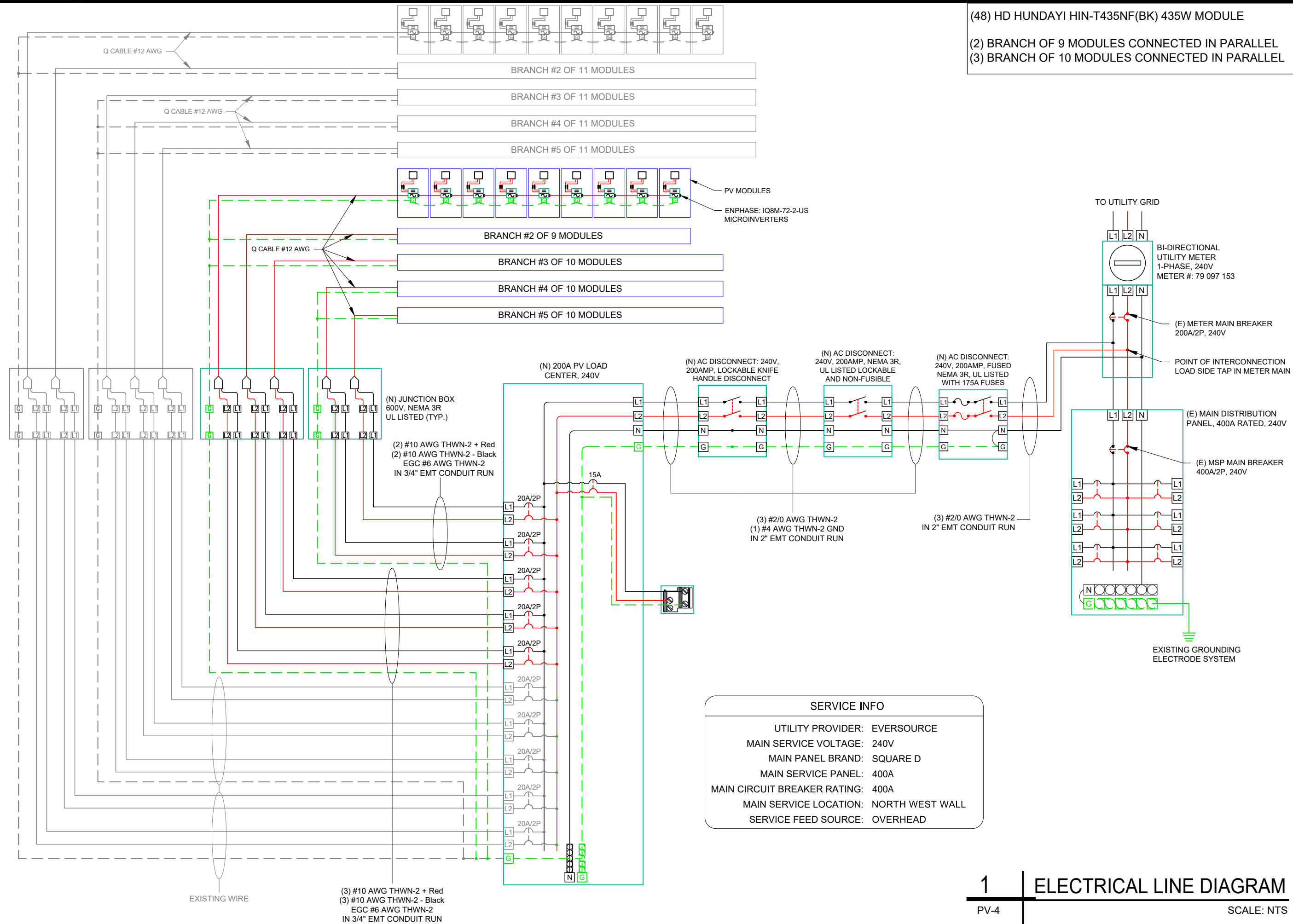
ATTACHMENT
DETAILS

SHEET SIZE

ANSI B
11" X 17"

SHEET NUMBER

PV-3



(48) HD HUNDAYI HIN-T435NF(BK) 435W MODULE
(2) BRANCH OF 9 MODULES CONNECTED IN PARALLEL
(3) BRANCH OF 10 MODULES CONNECTED IN PARALLEL

603 SOLAR
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REVISIONS		
DESCRIPTION	DATE	REV

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EMAIL: regimhny@outlook.com
20.88kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON

STEVE

SHEET NAME

**ELECTRICAL
LINE DIAGRAM**

SHEET SIZE

**ANSI B
11" X 17"**

SHEET NUMBER

PV-4

AC CONDUCTOR AMPACITY CALCULATIONS:
FROM ROOF TOP JUNCTION BOX TO PV LOAD CENTER

AMBIENT TEMPERATURE ADJUSTMENT FOR EXPOSED CONDUIT
PER NEC 310.15(B)(2)(c): + 22°
EXPECTED WIRE TEMP (°C): 33° + 22°
TEMP CORRECTION PER TABLE 310.15: 0.76
#OF CURRENT CARRYING CONDUCTORS: 6
CONDUIT FILL CORRECTION PER NEC 310.15(B)(2)(a): 0.80
CIRCUIT CONDUCTOR SIZE: 10 AWG
CIRCUIT CONDUCTOR AMPACITY: 40A

REQUIRED CIRCUIT CONDUCTOR AMPACITY PER NEC 690.8(A&B):
1.25 X MAX AC OUTPUT CURRENT X # OF INVERTERS PER STRING
BRANCH #1 & #2 : 1.25 X 1.35 X 9 = 15.19A
BRANCH #3 TO #5 : 1.25 X 1.35 X 10 = 16.88A

DERATED AMPACITY OF CIRCUIT CONDUCTOR PER NEC TABLE 310.15
TEMP CORR. PER NEC TABLE 310.15 X
CONDUIT FILL CORR. PER NEC 310.15(B)(2)(a) X
CIRCUIT CONDUCTOR AMPACITY = 0.76 X 0.80 X 40 = 24.32A

AC CONDUCTOR AMPACITY CALCULATIONS:
FROM PV LOAD CENTER TO FUSED AC DISCONNECT

EXPECTED WIRE TEMP (°C): 33°
TEMP CORRECTION PER NEC TABLE 310.15: 0.96
CIRCUIT CONDUCTOR SIZE: 2/0 AWG
CIRCUIT CONDUCTOR AMPACITY: 195A
#OF CURRENT CARRYING CONDUCTORS: 3
CONDUIT FILL PER NEC 310.15(B)(2)(a): 1
REQUIRED CIRCUIT CONDUCTOR AMPACITY PER NEC 690.8(B):
1.25 X OUTPUT CURRENT OF LOAD CENTER
1.25 X 1.35 X 48 = 81.00A + (E) 91.13A = 172.13A

DERATED AMPACITY OF CIRCUIT CONDUCTORS PER NEC TABLE 310.15:
TEMP CORR. PER NEC 310.15 X
CONDUIT FILL CORR. PER NEC 310.15(B)(2)(a) X
CIRCUIT CONDUCTOR AMPACITY =
0.96 X 1.00 X 195 = 187.2A

ELECTRICAL NOTES

- 1. NO DC CONDUCTORS PRESENT.
- 2. ALL EQUIPMENT TO BE LISTED BY UL OR OTHER NRTL, AND LABELED FOR ITS APPLICATION.
- 3. ALL CONDUCTORS SHALL BE COPPER, RATED FOR 600 V AND 90 DEGREE C WET ENVIRONMENT.
- 4. WORKING CLEARANCES AROUND ALL NEW AND EXISTING ELECTRICAL EQUIPMENT SHALL COMPLY WITH NEC 110.26.
- 5. DRAWINGS INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS. CONTRACTOR SHALL FURNISH ALL NECESSARY OUTLETS, SUPPORTS, FITTINGS AND ACCESSORIES TO FULFILL APPLICABLE CODES AND STANDARDS.
- 6. WHERE SIZES OF JUNCTION BOXES, RACEWAYS, AND CONDUITS ARE NOT SPECIFIED, THE CONTRACTOR SHALL SIZE THEM ACCORDINGLY.
- 7. ALL WIRE TERMINATIONS SHALL BE APPROPRIATELY LABELED AND READILY VISIBLE.
- 8. MODULE GROUNDING CLIPS TO BE INSTALLED BETWEEN MODULE FRAME AND MODULE SUPPORT RAIL, PER THE GROUNDING CLIP MANUFACTURER'S INSTRUCTION AND WHERE REQUIRED.
- 9. MODULE SUPPORT RAIL TO BE BONDED TO COPPER G.E.C. VIA WEEB LUG OR ILSCO GBL-4DBT LAY-IN LUG.
- 10. THE POLARITY OF THE GROUNDED CONDUCTORS IS NEGATIVE.

ENPHASE: IQ8M-72-2-US MICROINVERTERS		
Input Data (DC)		
	Recommended Input Power (STC)	260-460W +
	Maximum Input DC Voltage	60V
	Peak Power Tracking Voltage	16V-58V
	Operating Range	22V-58V
	Min. / Max. Start Voltage	60V
	Max DC Short Circuit Current	25A
Output Data (AC)		
	Peak Output Power	330W
	Nominal Output Current	1.35A
	Nominal Voltage / Range	240V/211-264V
	Nominal Frequency / Range	60 Hz
	Extended Frequency / Range	47-68 Hz
	Power Factor at rated power	1.0
	Maximum unit per 20A Branch Circuit	11 (240 VAC)

PERCENT OF VALUES	NUMBER OF CURRENT CARRYING CONDUCTORS IN EMT
.80	4-6
.70	7-9
.50	10-20

AMBIENT TEMPERATURE SPECS	
RECORD LOW TEMP	-21°
AMBIENT TEMP (HIGH TEMP 2%)	33°
CONDUIT HEIGHT	0.5"
ROOF TOP TEMP	55°
CONDUCTOR TEMPERATURE RATE	90°



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100 CHAPEL ST,
PORTSMOUTH, NH 03801
PHONE #: (603) 988-8347
EMAIL: reginnhny@outlook.com
20.88kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON
STEVE

SHEET NAME
ELECTRICAL CALCULATION

SHEET SIZE
ANSI B 11" X 17"

SHEET NUMBER
PV-5

⚠️

WARNING

ELECTRICAL SHOCK HAZARD

TERMINALS ON LINE AND LOAD SIDES MAY BE ENERGIZED IN THE OPEN POSITION

LABEL LOCATION:
INVERTER(S), AC DISCONNECT(S), AC COMBINER PANEL (IF APPLICABLE).

⚠️

WARNING

DUAL POWER SUPPLY

SOURCES: UTILITY GRID AND PV SOLAR ELECTRIC SYSTEM

LABEL LOCATION:
UTILITY SERVICE METER AND MAIN SERVICE PANEL.

⚠️

WARNING

INVERTER OUTPUT CONNECTION

DO NOT RELOCATE THIS OVERCURRENT DEVICE

LABEL LOCATION:
ADJACENT TO PV BREAKER (IF APPLICABLE).

⚠️

WARNING

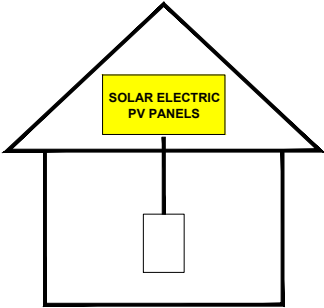
PHOTOVOLTAIC SYSTEM COMBINER PANEL

DO NOT ADD LOADS

LABEL LOCATION:
PHOTOVOLTAIC AC COMBINER (IF APPLICABLE).

SOLAR PV SYSTEM EQUIPPED WITH RAPID SHUTDOWN

TURN RAPID SHUTDOWN SWITCH TO THE "OFF" POSITION TO SHUT DOWN PV SYSTEM AND REDUCE SHOCK HAZARD IN THE ARRAY.



LABEL LOCATION:
ON OR NO MORE THAT 1 M (3 FT) FROM THE SERVICE DISCONNECTING MEANS TO WHICH THE PV SYSTEMS ARE CONNECTED.

PHOTOVOLTAIC AC DISCONNECT

MAXIMUM AC OPERATING CURRENT: 172.13 AMPS

NOMINAL OPERATING AC VOLTAGE: 240 VAC

LABEL LOCATION:
AC DISCONNECT(S), PHOTOVOLTAIC SYSTEM POINT OF INTERCONNECTION.

DATA PER PANEL

NOMINAL OPERATING AC VOLTAGE -	240	V
NOMINAL OPERATING AC FREQUENCY-	60	Hz
MAXIMUM AC POWER-	325	VA
MAXIMUM AC CURRENT-	1.35	A
MAXIMUM OVERCURRENT DEVICE RATING FOR AC MODULE PROTECTION PER CIRCUIT-	20	A

LABEL LOCATION:
COMBINER BOX

- NOTES AND SPECIFICATIONS:
- SIGNS AND LABELS SHALL MEET THE REQUIREMENTS OF THE 2023 ARTICLE 110.21(B), UNLESS SPECIFIC INSTRUCTIONS ARE REQUIRED BY SECTION 690, OR IF REQUESTED BY THE LOCAL AHJ.
 - SIGNS AND LABELS SHALL ADEQUATELY WARN OF HAZARDS USING EFFECTIVE WORDS, COLORS AND SYMBOLS.
 - LABELS SHALL BE PERMANENTLY AFFIXED TO THE EQUIPMENT OR WIRING METHOD AND SHALL NOT BE HAND WRITTEN.
 - LABEL SHALL BE OF SUFFICIENT DURABILITY TO WITHSTAND THE ENVIRONMENT INVOLVED.
 - SIGNS AND LABELS SHALL COMPLY WITH ANSI Z535.4-2011, PRODUCT SAFETY SIGNS AND LABELS, UNLESS OTHERWISE SPECIFIED.
 - DO NOT COVER EXISTING MANUFACTURER LABELS.

603 SOLAR

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PHONE #: (603) 988-8347
EMAIL: regimnhny@outlook.com
20.88kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON

STEVE

SHEET NAME

PLACARDS

SHEET SIZE

ANSI B
11" X 17"

SHEET NUMBER

PV-6

HD HYUNDAI SOLAR MODULE

NF(BK) Series

Premium N-Type TOPCon Module

HIN-T430NF(BK) | HIN-T435NF(BK) | HIN-T440NF(BK)



22.53%
High Efficiency



High-End
TOPCon
Technology



Higher
Bifaciality



Long-Term
Reliability



Compatible
with Carport
Applications



For Residential
(Full Black Design)

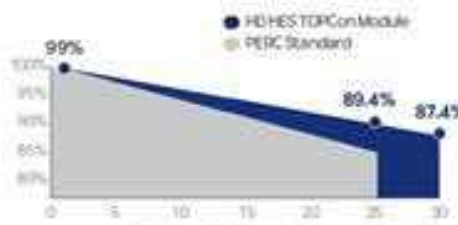
HD Hyundai's Warranty Provisions

25
YEARS

• 25-Year Product Warranty
Materials and workmanship

30
YEARS

• 30-Year Performance Warranty
First year degradation: 1%
Linear warranty after initial year
with 0.41% annual degradation,
87.4% is guaranteed up to 30 years



*Refer to HD HES standard warranty for details

Certification



ISO 9001: Quality management system
ISO 14001: Environmental management system
ISO 45001: Occupational health and safety management system
UL 61739: Photovoltaic (PV) module safety test (UL 61739)
UL 61739: See www.ul.com/ul61739
IEC 61215: Performance comparison testing
IEC 61215: Performance comparison testing
IEC 61215: Performance comparison testing

Electrical Characteristics

HiN-TxxxNF(BK)		HiN-T430NF(BK)		HiN-T435NF(BK)		HiN-T440NF(BK)	
Item	Unit	BNPI			BNPI	BNPI	
Nominal output (Pmax)	W	430	476	435	482	440	488
Open circuit voltage (Voc)	V	38.4	38.4	38.6	38.6	38.8	38.8
Short circuit current (Isc)	A	14.25	15.79	14.32	15.87	14.39	15.94
Voltage at Pmax (Vmpp)	V	31.9	31.9	32.1	32.1	32.3	32.3
Current at Pmax (Impp)	A	13.48	14.94	13.56	15.02	13.63	15.10
Module efficiency	%	22.02		22.28		22.53	
Power Class Sorting	W	0 ~ +5					
Temperature coefficient of Pmax	%/K	-0.30					
Temperature coefficient of Voc	%/K	-0.25					
Temperature coefficient of Isc	%/K	0.046					
Bifaciality	%	80%±10%					

*STC: Irradiance 1,000 W/m², cell temperature 25°C, AM=1.5 / Test uncertainty for Pmax ±3%, Voc ±3%, Isc ±3%
**The electrical properties of BNPI are measured under the irradiance corresponding to 1000 W/m² on the module front and 135 W/m² on the module rear.

Additional Power Gain from rear side

Pmpp gain	Pmpp[W]	Vmpp[V]	Impp[A]	Voc[V]	Isc[A]
5%	458	32.30	14.18	38.80	14.97
15%	493	32.30	15.27	38.80	16.12
25%	528	32.40	16.36	38.90	17.27

*Electrical characteristics with different rear power gain (reference to 440W)

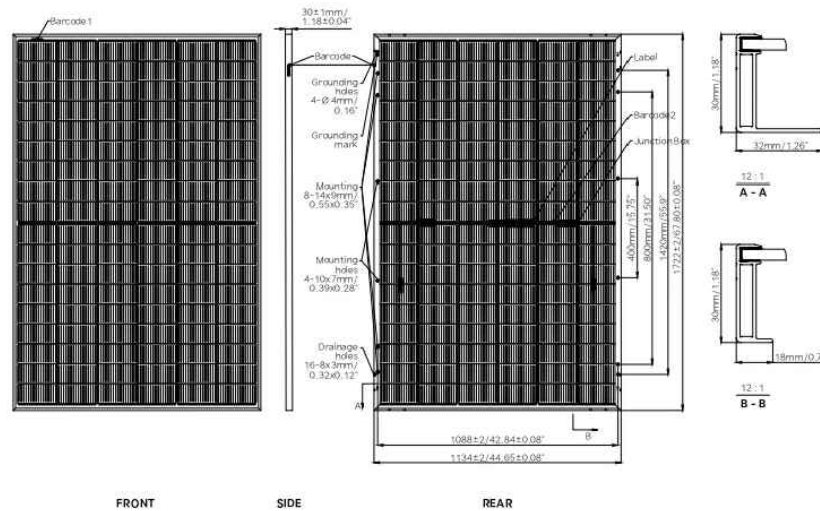
Mechanical Characteristics

Dimensions	1,722mm (L) x 1,134mm (W) x 30mm (H) (67.8in x 44.6in x 1.2in)
Weight	24.5 kg (50.01lbs)
Solar Cells	N-Type TOPCon, 108 (6x18) monocrystalline 16BB half-cut bifacial cells
Output Cables	Cable : (+)1,200mm(47.2in), (-)1,200mm(47.2in) / Customized length available Connector : Stäubli MC4 genuine Connector / Compatible, IP68
Junction Box	3-part, 3 bypass diodes, IP68 rated
Construction	Front : 2.0mm(0.08in) semi-tempered solar glass with high transmittance and anti-reflective coating Rear : 2.0mm(0.08in) semi-tempered solar glass
Frame	Anodized aluminum alloy

Shipping Configurations

Packing Direction	Vertical	Packing pallet weight (kg)	912
Container Size (HC)	40'	Modules Per Pallet (pcs)	36
Pallets Per Container	22	Modules Per Container (pcs)	792

Module Diagram (unit : mm)

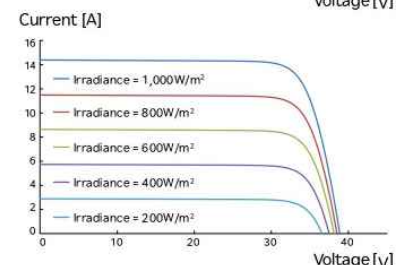
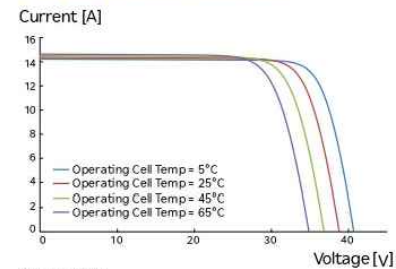


Installation Safety Guide

- Only qualified personnel should install or perform maintenance.
- Be aware of dangerous high DC voltage.
- Do not handle or install modules when they are wet.

Nominal Module Operation Temperature	44°C ± 2°C
Operating Temperature	-40°C ~ +85°C
Maximum System Voltage	DC 1,500 V
Maximum Reverse Current	30A
Maximum Test Load *See Installation Manual	Front 5,400Pa *Rear 5,400Pa
Fire Performance	Type 29

I-V Curves (HIN-T440NF(BK))



Sales & Marketing
hes.sales@hd.com

HD Hyundai Energy Solutions reserves the right to update or modify the specifications and features listed in this datasheet without prior notice. Always check the latest version of the datasheet for accurate information. Before using the product, please refer to the Installation and Operation Manual and Warranty. We retain the right of final interpretation.



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20.88kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON

STEVE

SHEET NAME

DATA SHEET

SHEET SIZE

ANSI B
11" X 17"

SHEET NUMBER

PV-7



DATA SHEET



IQ8M and IQ8A Microinverters

Our newest IQ8 Microinverters are the industry's first microgrid-forming, software defined microinverters with split-phase power conversion capability to convert DC power to AC power efficiently. The brain of the semiconductor-based microinverter is our proprietary application specific integrated circuit (ASIC) which enables the microinverter to operate in grid-tied or off-grid modes. This chip is built in advanced 55nm technology with high speed digital logic and has superfast response times to changing loads and grid events, alleviating constraints on battery sizing for home energy systems.



Part of the Enphase Energy System, IQ8 Series Microinverters integrate with the IQ Battery, IQ Gateway, and the Enphase App monitoring and analysis software.



IQ8 Series Microinverters redefine reliability standards with more than one million cumulative hours of power-on testing, enabling an industry-leading limited warranty of up to 25 years.



Connect PV modules quickly and easily to IQ8 Series Microinverters using the included Q-DCC-2 adapter cable with plug-n-play MC4 connectors.



IQ8 Series Microinverters are UL listed as PV Rapid Shutdown Equipment and conform with various regulations, when installed according to manufacturer's instructions.

*Only when installed with IQ System Controller 2, meets UL 1741.
**IQ8M and IQ8A support split-phase, 240V installations only.

Easy to install

- Lightweight and compact with plug-n-play connectors
- Power Line Communication (PLC) between components
- Faster installation with simple two-wire cabling

High productivity and reliability

- Produce power even when the grid is down*
- More than one million cumulative hours of testing
- Class II double-insulated enclosure
- Optimized for the latest high-powered PV modules

Microgrid-forming

- Complies with the latest advanced grid support**
- Remote automatic updates for the latest grid requirements
- Configurable to support a wide range of grid profiles
- Meets CA Rule 21 (UL 1741-SA) and IEEE 1547:2018 (UL 1741-SB 3rd Ed.)

Note:

IQ8 Microinverters cannot be mixed together with previous generations of Enphase microinverters (IQ7 Series, IQ6 Series, etc.) in the same system.

IQ8M and IQ8A Microinverters

INPUT DATA (DC)		IQ8M-72-2-US	IQ8A-72-2-US
Commonly used module pairings ¹	W	260 – 460	295 – 500
Module compatibility		54-cell / 108 half-cell, 60-cell / 120 half-cell, 66-cell / 132 half-cell and 72-cell / 144 half-cell	
MPPT voltage range	V	30 – 45	32 – 45
Operating range	V	16 – 58	
Min. / Max. start voltage	V	22 / 58	
Max. input DC voltage	V	60	
Max. continuous input DC current	A	12	
Max. input DC short-circuit current	A	25	
Max. module I _{sc}	A	20	
Overvoltage class DC port		II	
DC port backfeed current	mA	0	
PV array configuration		1x 1 Ungrounded array; No additional DC side protection required; AC side protection requires max 20A per branch circuit	
OUTPUT DATA (AC)		IQ8M-72-2-US	IQ8A-72-2-US
Peak output power	VA	330	366
Max. continuous output power	VA	325	349
Nominal (L-L) voltage / range ²	V	240 / 211 – 264	
Max. continuous output current	A	1.35	1.45
Nominal frequency	Hz	60	
Extended frequency range	Hz	47 – 68	
AC short circuit fault current over 3 cycles	Arms	2	
Max. units per 20 A (L-L) branch circuit ³		11	
Total harmonic distortion		<5%	
Overvoltage class AC port		III	
AC port backfeed current	mA	30	
Power factor setting		1.0	
Grid-tied power factor (adjustable)		0.85 leading – 0.85 lagging	
Peak efficiency	%	97.8	97.7
CEC weighted efficiency	%	97.5	97
Night-time power consumption	mW	60	
MECHANICAL DATA			
Ambient temperature range		-40°C to +60°C (-40°F to +140°F)	
Relative humidity range		4% to 100% (condensing)	
DC Connector type		MC4	
Dimensions (H x W x D)		212 mm (8.3”) x 175 mm (6.9”) x 30.2 mm (1.2”)	
Weight		1.08 kg (2.38 lbs)	
Cooling		Natural convection – no fans	
Approved for wet locations		Yes	
Pollution degree		PD3	
Enclosure		Class II double-insulated, corrosion resistant polymeric enclosure	
Environ. category / UV exposure rating		NEMA Type 6 / outdoor	
COMPLIANCE			
Certifications	CA Rule 21 (UL 1741-SA), UL 62109-1, IEEE 1547:2018 (UL 1741-SB 3 rd Ed.), FCC Part 15 Class B, ICES-0003 Class B, CAN / CSA-C22.2 NO. 107.1-01 This product is UL Listed as PV Rapid Shutdown Equipment and conforms with NEC 2014, NEC 2017, and NEC 2020 section 690.12 and C22.1-2018 Rule 64-218 Rapid Shutdown of PV Systems, for AC and DC conductors, when installed according to manufacturer's instructions.		

(1) Pairing PV modules with wattage above the limit may result in additional clipping losses. See the compatibility calculator at <https://link.enphase.com/module-compatibility>. (2) Nominal voltage range can be extended beyond nominal if required by the utility. (3) Limits may vary. Refer to local requirements to define the number of microinverters per branch in your area.



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PHONE #: (603) 988-8347

EMAIL: regimhny@outlook.com

20.88kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON

STEVE

SHEET NAME

DATA SHEET

SHEET SIZE

ANSI B
11" X 17"

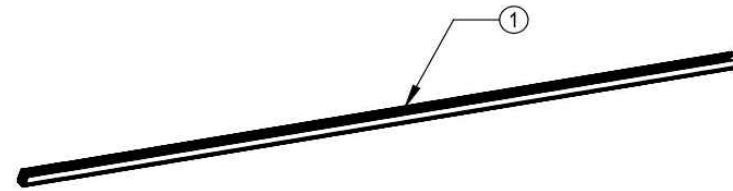
SHEET NUMBER

PV-8



AIRE RAIL A1

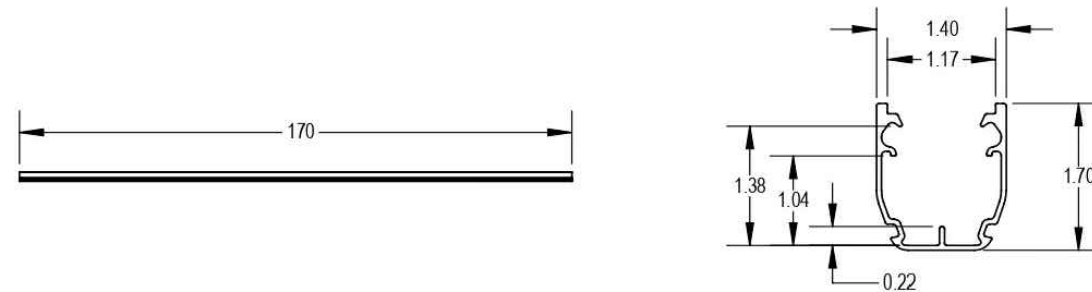
Cut Sheet



ITEM NO	DESCRIPTION	QTY IN KIT
1	Aire Rail, A1, Black(or Clear), 170	1

Part Number	Description
AE-A1-170B	AIRE RAIL, A1, BLACK, 170
AE-A1-170M	AIRE RAIL, A1, MILL, 170

1) Aire A1



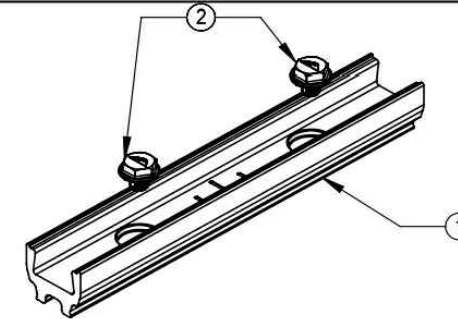
Part Number	Material	Value
AE-A1-170B	6000-Series Aluminum	Black
AE-A1-170M	6000-Series Aluminum	Clear

v1.0



AIRE TIE, A1

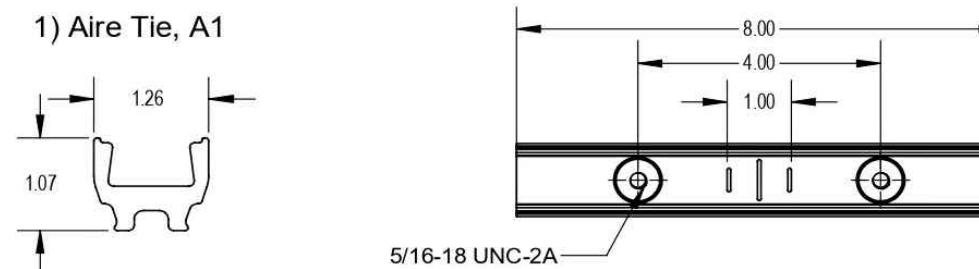
Cut Sheet



ITEM NO	DESCRIPTION	QTY IN KIT
1	Aire Tie, A1	1
2	Aire Splc Bolt, Hex	2

Part Number	Description
AE-A1TIE-01-M1	AIRE TIE, A1 (BONDED SPLICE)

1) Aire Tie, A1



Property	Value
Material	6000 Series Aluminum
Finish	Mill

2) Aire Splc Bolt, Hex



Property	Value
Material	300 Series Stainless Steel
Finish	Clear

v1.0



603 SOLAR
24 CHARTER ST.
EXETER, NH 03833
(603) 570-2607

REVISIONS

DESCRIPTION	DATE	REV

PROJECT NAME & ADDRESS

ST. JOHN'S EPISCOPAL CHURCH
100 CHAPEL ST.,
PORTSMOUTH, NH 03801
PHONE #: (603) 988-8347
EMAIL: regimhny@outlook.com
20.88kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON

STEVE

SHEET NAME

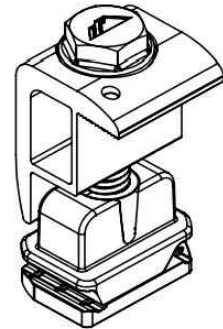
DATA SHEET

SHEET SIZE

ANSI B
11" X 17"

SHEET NUMBER

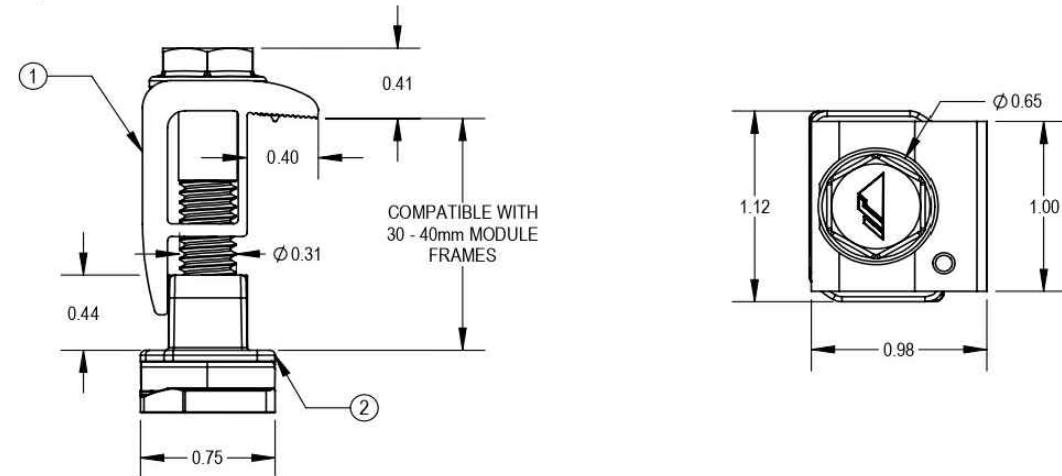
PV-9



ITEM NO	DESCRIPTION	QTY IN KIT
1	Aire Lock End, Black	1

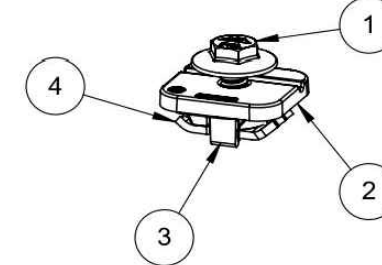
Part Number	Description
AE-END-01-B1	AIRE LOCK END, BLACK

1) Aire Lock End



Item No	Material	Value
1	300 Series Stainless Steel	Clear and Black
2	Polypropelene	Black

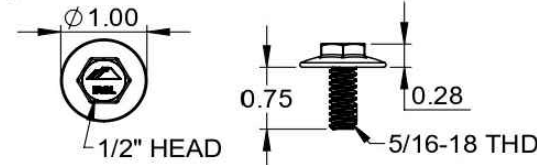
v1.0



ITEM NO.	DESCRIPTION	QTY IN KIT
1	CAP SCREW, 5/16 X 3/4, HEX HEAD	1
2	TOP PLATE GROUNDING LUG	1
3	RETAINING CLIP, GROUNDING LUG	1
4	T-NUT, SHEET METAL	1

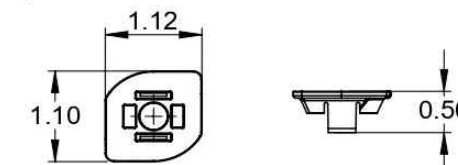
PART NUMBER	DESCRIPTION	WIRE SIZE RANGE (AWG)
AE-LUG-01-M1	AIRE LUG	6-10

1) CAP SCREW, 5/16 X 3/4



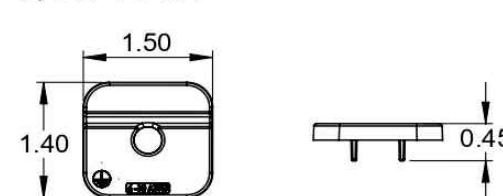
Property	Value
Material	300 Series Stainless Steel
Finish	Clear

3) RETAINING CLIP



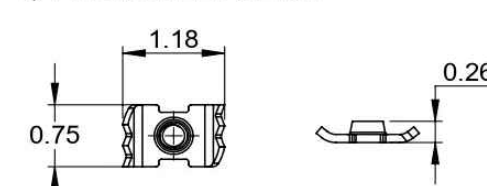
Property	Value
Material	Polypropylene
Finish	Black

2) TOP PLATE



Property	Value
Material	Tin Plated Aluminum
Finish	Clear Matte

4) T-NUT, SHEET METAL



Property	Value
Material	300 Series Stainless Steel
Finish	Clear

v1.0

REVISIONS

DESCRIPTION	DATE	REV

PROJECT NAME & ADDRESS

ST. JOHN'S EPISCOPAL CHURCH
100 CHAPEL ST.,
PORTSMOUTH, NH 03801
PHONE #: (603) 988-8347
EMAIL: regimhny@outlook.com
20.88kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON

STEVE

SHEET NAME

DATA SHEET

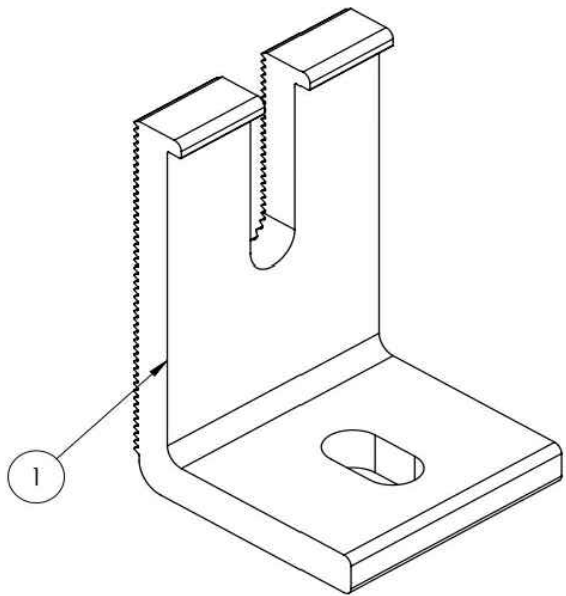
SHEET SIZE

ANSI B
11" X 17"

SHEET NUMBER

PV-10

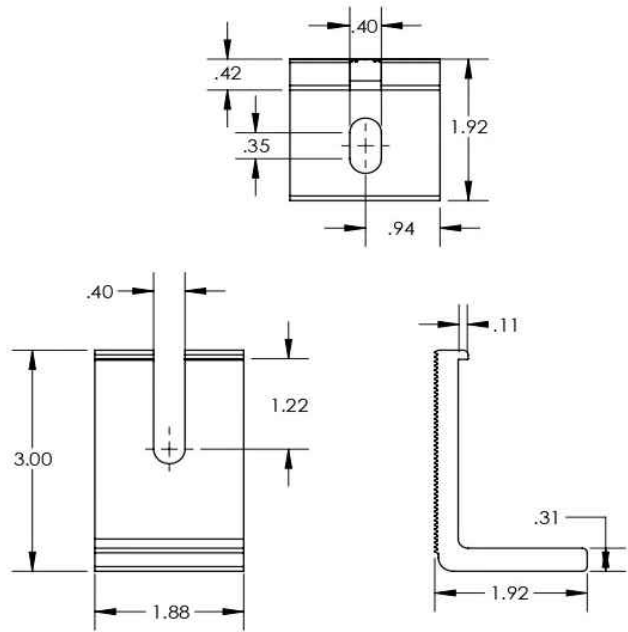
L-Foot



ITEM NO	DESCRIPTION	QTY IN KIT
1	FOOT, EXTRUDED L - SLOTTED	4

PART NUMBER	DESCRIPTION
FM-LFT-003	Kit, 4Pcs, Slotted L-Foot, Mill
FM-LFT-003-B	Kit, 4Pcs, Slotted L-Foot, Black

1) Foot, Extruded L - Slotted



v1.11

603 SOLAR
24 CHARTER ST.
EXETER, NH 03833
(603) 570-2607

REVISIONS

DESCRIPTION	DATE	REV

PROJECT NAME & ADDRESS

ST. JOHN'S EPISCOPAL CHURCH

100 CHAPEL ST.,

PORTSMOUTH, NH 03801

PHONE #: (603) 988-8347

EMAIL: regimhny@outlook.com

20.88kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON

STEVE

SHEET NAME

DATA SHEET

SHEET SIZE

ANSI B
11" X 17"

SHEET NUMBER

PV-11

9. 93 State Street

-Recommended Approval

Background: The applicant is seeking approval to install shutters on the Chapel Street side of the structure to match the State Street shutters.

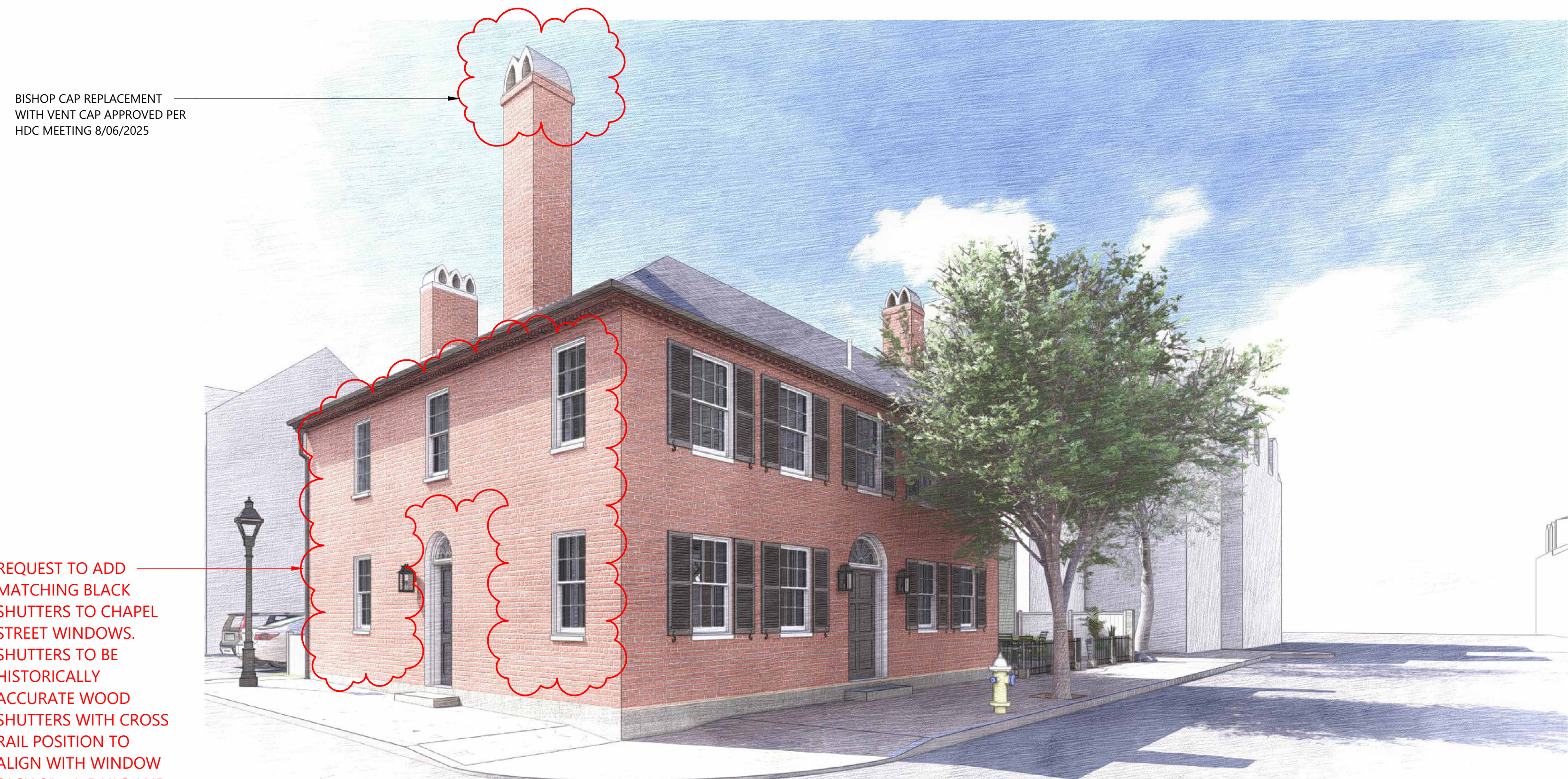
Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

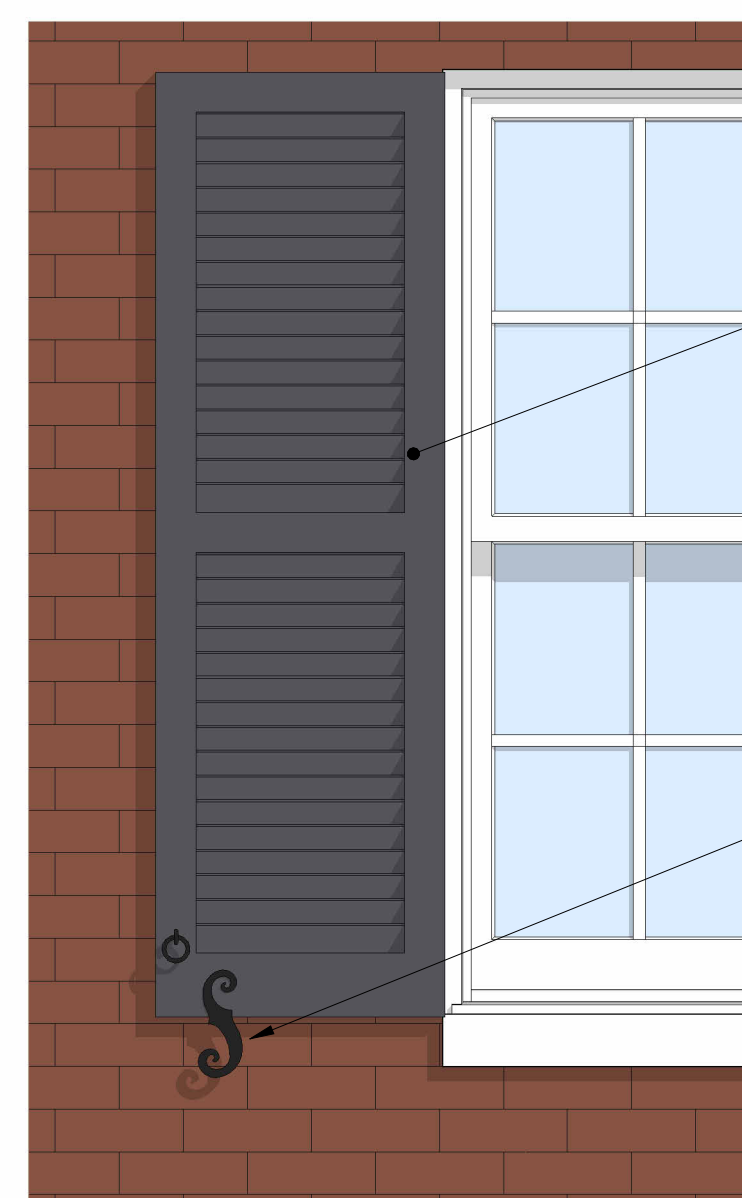


HISTORICAL PHOTO - STATE STREET - CIRCA 1970s



BISHOP CAP REPLACEMENT —
WITH VENT CAP APPROVED PER
HDC MEETING 8/06/2025

REQUEST TO ADD MATCHING BLACK SHUTTERS TO CHAPEL STREET WINDOWS. SHUTTERS TO BE HISTORICALLY ACCURATE WOOD SHUTTERS WITH CROSS RAIL POSITION TO ALIGN WITH WINDOW SASH 3" +/- RAILS AND 1 3/4" STILES

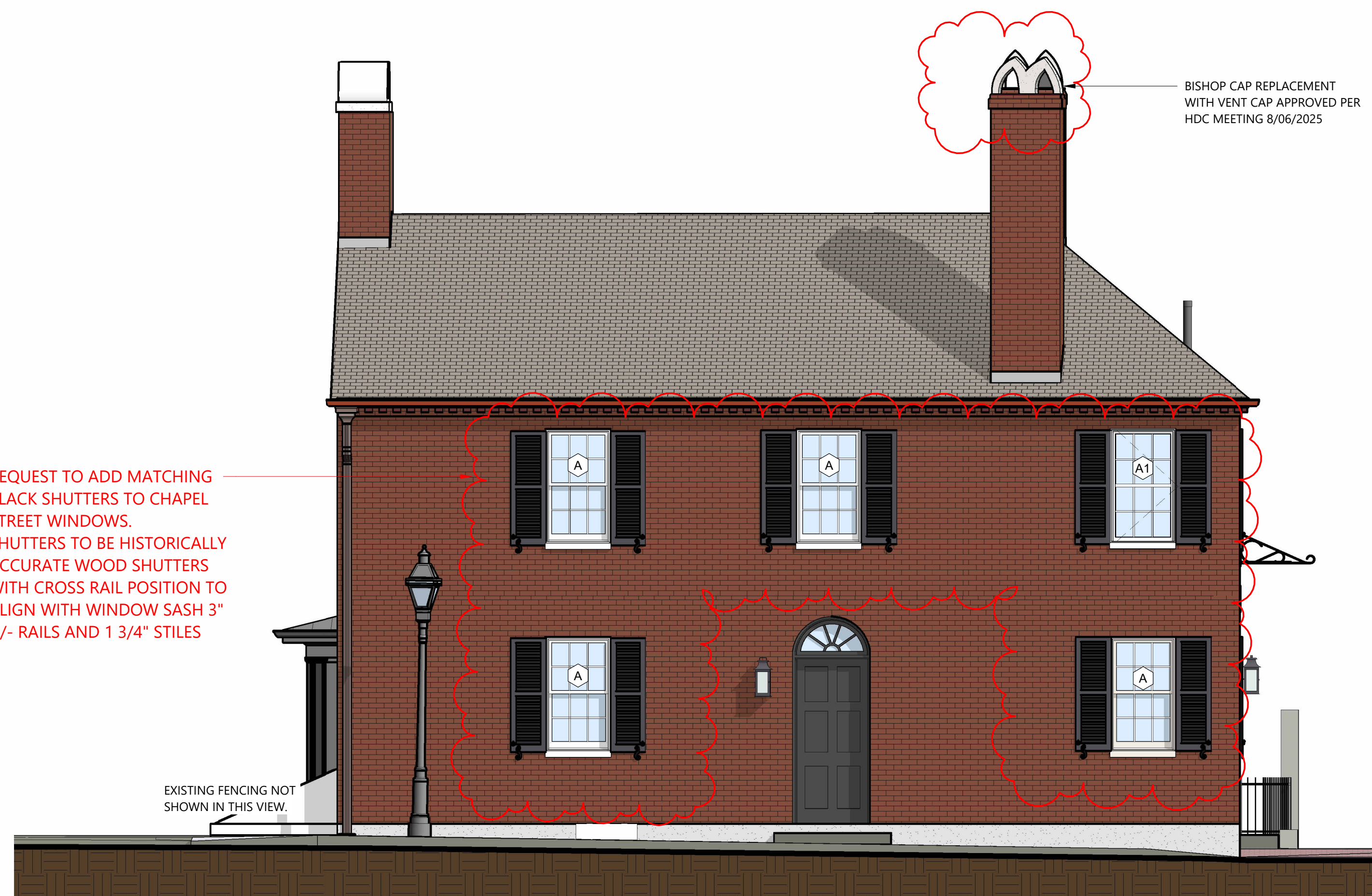


- SHUTTERS TO MATCH PROPOSED SHUTTERS ON STATE STREET FACADE.



HAND FORGED IRON
SHUTTER TIEBACK
HARDWARE (TYP.)

1 Detail @ Proposed Shutters - Chapel Street
A2.00 1" = 1'-0"



— BISHOP CAP REPLACEMENT
WITH VENT CAP APPROVED PER
HDC MEETING 8/06/2025

EXISTING FENCING NOT
SHOWN IN THIS VIEW

2 Chapel Street Elevation - Proposed Shutters for HDC Submission
A2.00 1/4" = 1'-0"

TMS
architects
interiors

603.436.4274

GENERAL CONTRACTOR



N.E. CORNERSTONE

STRUCTURAL ENGINEER



CIVIL ENGINEER



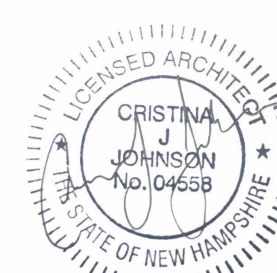
LANDSCAPE ARCHITECT

MECHANICAL ENGINEER

Revision & Reissue Notes

Rev #	Date	Description
7	10/01/25	HDC 10.01.2025

STAMPS



HDC Admin Submission
10.01.2025

PROJECT NUMBER 24-023

Anthony Residence Renovation

93 State Street
Portsmouth, NH

HDC Admin Submission - Chapel Street Proposed Shutters

A2.00

DR- DES	SHEET SCALE	SHEET DATE
CU	As indicated	04/30/2025

Historic District Commission

Staff Report

Wednesday, October 01, 2025

Project Address: 69 Wentworth Street
Permit Requested: Certificate of Approval
Application: Public Hearing #1

A. Property Information - General:

Existing Conditions:

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 1,908 SF +/-
- Estimated Age of Structure: c.1810/1840
- Building Style: Federal
- Number of Stories: 2
- Historical Significance: Contributing
- Public View of Proposed Work: Wentworth Street
- Unique Features: N/A
- Neighborhood Association: The South End



B. Proposed Work: Replace (6) second story windows.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Replacement of (6) second story windows.



**HISTORIC
SURVEY
RATING

C**

D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



The (6) second floor shown, are the (6) proposed to be replaced.

**SOLD BY:**

8931 Home Depot Somersworth
PO Box 105524
Dept.30 Payables Vndr# 42457
Atlanta, GA 30348-5524

SOLD TO:**CREATED DATE**

7/31/2025

LATEST UPDATE

8/1/2025

OWNER

Steven Newton

Abbreviated Quote Report - List Pricing

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
Strawberry Banke Windows	Young	7925186		

ORDER NOTES:**DELIVERY NOTES:**

<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	<u>Ext. Price</u>
100	1		None Assigned	\$0.00	\$0.00

RO Size:

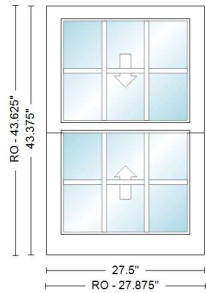
Attention: Ellen OR 8931
SKU# 1008-729-627
Job Name: Strawberry Banke
Customer: Young
Phone: N/A

Unit Size:

400 SERIES

PROJECT LEAD TIME**WEEKS**

- 1) DUE TO MATERIAL ISSUES AND SHIPPING DELAYS LEAD TIMES ARE SUBJECT TO CHANGE
- 2) LEAD TIME IS BASED ON THE PRODUCT WITH THE LONGEST LEAD TIME
- 3) ANY CONCERNS ABOUT LEAD TIMES PLEASE CONTACT THE STORE



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	<u>Ext. Price</u>
200	1	AA	Blue Room 1	\$1,827.20	\$1,827.20

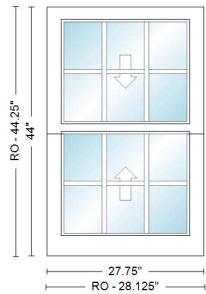
RO Size: 27 7/8" x 43 5/8"

Unit Size: 27 1/2" x 43 3/8"

WDHI 2' 3 1/2"X3' 7 3/8", Unit, 0 Degrees - Flat, 400 Series Woodwright Double-Hung-WWI, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Full Divided Light (FDL) 3 Wide, 2 High, Specified Equal Light Pattern, White, Pine w/White, 3/4" Grille Bar, Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White, White/WhiteJamb Liner, White, Full Screen, Aluminum

Insect Screen 1: 400 Series Woodwright Double-Hung-WWI, WDHI 27.5 x 43.375 0 Degrees - Flat Full Screen Aluminum White

<u>Unit #</u>	<u>U-Factor</u>	<u>SHGC</u>	<u>ENERGY STAR</u>
A1	0.31	0.28	NO



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	<u>Ext. Price</u>
300	1	AA	Blue Room 2	\$1,827.20	\$1,827.20

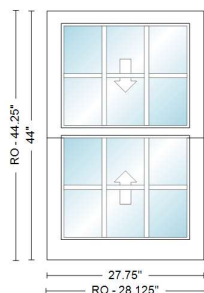
RO Size: 28 1/8" x 44 1/4"

Unit Size: 27 3/4" x 44"

WDHI 2' 3 3/4"X3' 8", Unit, 0 Degrees - Flat, 400 Series Woodwright Double-Hung-WWI, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Full Divided Light (FDL) 3 Wide, 2 High, Specified Equal Light Pattern, White, Pine w/White, 3/4" Grille Bar, Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White, White/WhiteJamb Liner, White, Full Screen, Aluminum

Insect Screen 1: 400 Series Woodwright Double-Hung-WWI, WDHI 27.75 x 44 0 Degrees - Flat Full Screen Aluminum White

<u>Unit #</u>	<u>U-Factor</u>	<u>SHGC</u>	<u>ENERGY STAR</u>
A1	0.31	0.28	NO



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	<u>Ext. Price</u>
400	1	AA	Blue Room 3	\$1,827.20	\$1,827.20

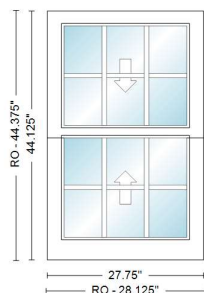
RO Size: 28 1/8" x 44 1/4"

Unit Size: 27 3/4" x 44"

WDHI 2' 3 3/4"X3' 8", Unit, 0 Degrees - Flat, 400 Series Woodwright Double-Hung-WWI, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Full Divided Light (FDL) 3 Wide, 2 High, Specified Equal Light Pattern, White, Pine w/White, 3/4" Grille Bar, Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White, White/WhiteJamb Liner, White, Full Screen, Aluminum

Insect Screen 1: 400 Series Woodwright Double-Hung-WWI, WDHI 27.75 x 44 0 Degrees - Flat Full Screen Aluminum White

<u>Unit #</u>	<u>U-Factor</u>	<u>SHGC</u>	<u>ENERGY STAR</u>
A1	0.31	0.28	NO



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	<u>Ext. Price</u>
500	1	AA	Hallway	\$1,827.20	\$1,827.20

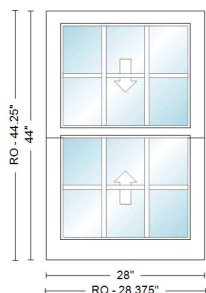
RO Size: 28 1/8" x 44 3/8"

Unit Size: 27 3/4" x 44 1/8"

WDHI 2' 3 3/4"X3' 8 1/8", Unit, 0 Degrees - Flat, 400 Series Woodwright Double-Hung-WWI, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Full Divided Light (FDL) 3 Wide, 2 High, Specified Equal Light Pattern, White, Pine w/White, 3/4" Grille Bar, Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White, White/WhiteJamb Liner, White, Full Screen, Aluminum

Insect Screen 1: 400 Series Woodwright Double-Hung-WWI, WDHI 27.75 x 44.125 0 Degrees - Flat Full Screen Aluminum White

<u>Unit #</u>	<u>U-Factor</u>	<u>SHGC</u>	<u>ENERGY STAR</u>
A1	0.31	0.28	NO



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	<u>Ext. Price</u>
600	1	AA	Red Room 1	\$1,827.20	\$1,827.20

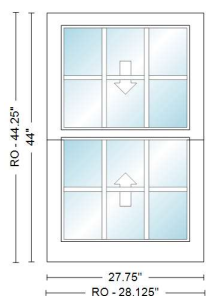
RO Size: 28 3/8" x 44 1/4"

Unit Size: 28" x 44"

WDHI 2' 4"X3' 8", Unit, 0 Degrees - Flat, 400 Series Woodwright Double-Hung-WWI, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Full Divided Light (FDL) 3 Wide, 2 High, Specified Equal Light Pattern, White, Pine w/White, 3/4" Grille Bar, Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White, White/WhiteJamb Liner, White, Full Screen, Aluminum

Insect Screen 1: 400 Series Woodwright Double-Hung-WWI, WDHI 28 x 44 0 Degrees - Flat Full Screen Aluminum White

<u>Unit #</u>	<u>U-Factor</u>	<u>SHGC</u>	<u>ENERGY STAR</u>
A1	0.31	0.28	NO



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	<u>Ext. Price</u>
700	1	AA	Red Room 2	\$1,827.20	\$1,827.20

RO Size: 28 1/8" x 44 1/4"

Unit Size: 27 3/4" x 44"

WDHI 2' 3 3/4"X3' 8", Unit, 0 Degrees - Flat, 400 Series Woodwright Double-Hung-WWI, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Full Divided Light (FDL) 3 Wide, 2 High, Specified Equal Light Pattern, White, Pine w/White, 3/4" Grille Bar, Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White, White/WhiteJamb Liner, White, Full Screen, Aluminum

Insect Screen 1: 400 Series Woodwright Double-Hung-WWI, WDHI 27.75 x 44 0 Degrees - Flat Full Screen Aluminum White

<u>Unit #</u>	<u>U-Factor</u>	<u>SHGC</u>	<u>ENERGY STAR</u>
A1	0.31	0.28	NO

<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	<u>Ext. Price</u>
800	1		None Assigned	\$0.00	\$0.00

RO Size:

Unit Size:

EACH LINE ITEM MUST BE INITIALED & THE LAST PAGE SIGNED
ALL MEASUREMENTS & OPTIONS MUST BE VERIFIED
BY CUSTOMER BEFORE PLACING ORDER

- 1) ROUGH OPENING SIZE / UNIT SIZE
- 2) QUANTITY / WINDOW LOCATION
- 3) WINDOW & DOOR SERIES / WINDOW & DOOR TYPE
- 4) EXTERIOR COLOR / INTERIOR COLOR / WOOD SPECIES
- 5) HANDING-VIEWED FROM THE EXTERIOR
- 6) GLASS TYPE
- 7) GRILL TYPE / GRILL CONFIGURATION / GRILL SIZE
- 8) HARDWARE TYPE / HARDWARE FINISH
- 9) SCREEN TYPE / SCREEN COLOR
- 10) EXTENTION JAMB SIZE /COLOR /CONFIGURATION

TOTAL:	\$10,963.20
---------------	-------------

CUSTOMER SIGNATURE_____DATE_____

* All graphics as viewed from the exterior. ** Rough opening dimensions are minimums and may need to be increased to allow for use of building wraps or flashings or sill panning or brackets or fasteners or other items.

Thank you for choosing Andersen Windows & Doors

Project Address: 134 Pleasant Street

Permit Requested: Work Session

Application: Work Session B

A. Property Information - General:

Existing Conditions:

- Zoning District: Character District 4 (CD4)
- Land Use: Commercial
- Land Area: 1.15 Acres +/-
- Estimated Age of Structure: c.1947 rebuilt in 1978
- Building Style: Modern
- Number of Stories: 1
- Historical Significance: Not Contributing
- Public View of Proposed Work: Pleasant Street
- Unique Features: N/A
- Neighborhood Association: The South End



B. Proposed Work: Exterior renovations and additions

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Exterior renovation and additions



**HISTORIC
SURVEY
RATING
NC**

D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

PROJECT NARRATIVE

Renovations and additions to the structure on Map 0116 Lot 30, with address 134 Pleasant Street. The first floor will be banking and Co-living. The second floor will be Co-living and apartments residential use. The basement will be repurposed from storage, to become an underground parking garage.

Revisions since last work session include:

- Refinement of "connector" elements between old and new buildings - adjusted heights and scale of trim, festration
- Details - masonry and window details
- Entries further developed
- Dormers - refinement of oculus details; omit sw oculus
- Landscaping - plantings, steps along Pleasant Street
- Materials - preliminary selections



134 PLEASANT STREET
RENOVATION AND ADDITION
HISTORIC DISTRICT COMMISSION
WORK SESSION 3

DRAWING INDEX	
Sheet #	Sheet Name
H0.0	COVER SHEET
H1.00	SITE PLAN EXISTING & DEMO
H1.01	SITE PLAN PROPOSED
H1.02	LANDSCAPE PLAN
H2.01	EXISTING ELEVATIONS
H2.02	EXISTING ELEVATIONS
H2.10	SITE SECTIONS
H2.11	SITE SECTIONS
H2.20	FRONT ELEVATIONS
H2.21	REAR ELEVATIONS
H3.01	VIGNETTE
H3.02	VIGNETTE
H3.03	VIGNETTE
H3.04	VIGNETTE
H3.05	BIRDSEYE AXONOMETRIC
H4.01	MATERIALS
H4.02	DETAIL

H0.0

COVER SHEET
134 PLEASANT STREET
PORTSMOUTH, NH 03801

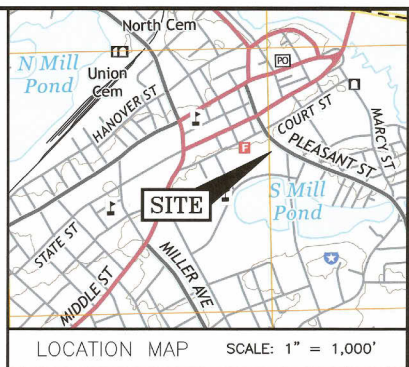
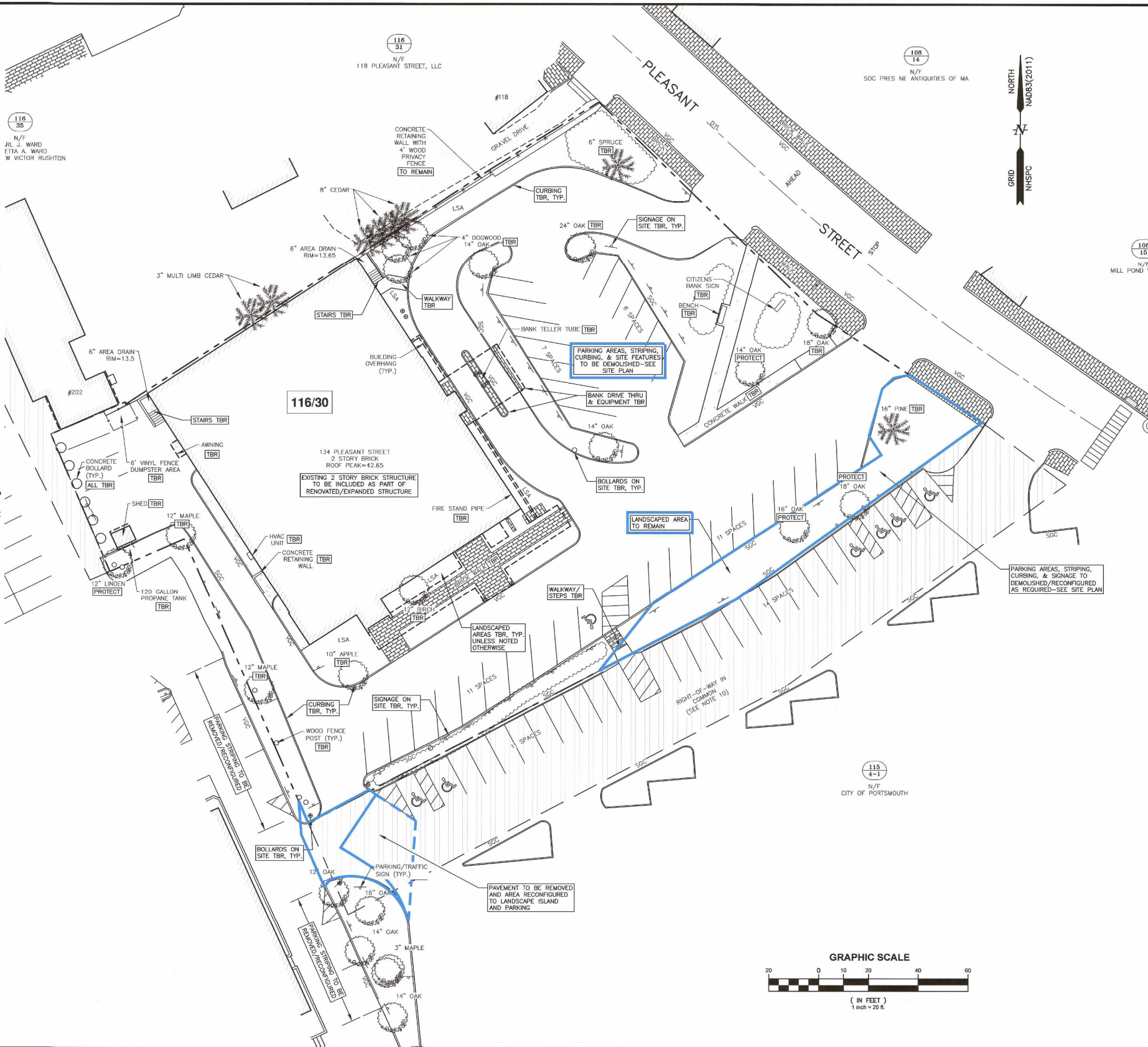
09/19/2025



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DEMOLITION NOTES:

- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.
- ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT TRENCH IN AREAS WHERE PAVEMENT IS TO BE REMOVED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING DOMESTIC IRRIGATION SERVICE WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER FOR PROPER CAPPING / RE-USE.
- PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRIADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS.



- ### NOTES:
- THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-800-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
 - UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
 - COORDINATE ACCESS IN STREET/ROW AREAS ADJACENT TO DEMOLITION TO INSURE SAFE PASSAGE. UTILIZE DETOURS IF NEEDED.
 - EXISTING UTILITIES TO BE ABANDONED SHALL BE REMOVED TO THE UTILITY MAIN AND CAPPED PER THE UTILITY COMPANY REQUIREMENT.

0	07-16-2025	ISSUED FOR COMMENT	SJR	JRC
REV	DATE	DESCRIPTION	BY	CHK
DRAWING ISSUE STATUS				
PERMIT PLANS				
 HALEY WARD ENGINEERING ENVIRONMENTAL SURVEYING 200 Griffin Road, Unit 14 Portsmouth, NH 03801 603-430-9282				
PROJECT				
DOUBLE MC, LLC 134 PLEASANT STREET PORTSMOUTH, N.H.				
TITLE				
DEMOLITION PLAN				
DATE		SCALE		
JULY 2025		1"=20'		
DRAWN BY		DESIGNED BY		CHECKED BY
SJR		—		JRC
PROJECT No.		FIELD BOOK / PAGE		
5010156.1532		FB 276 PG 60		
DRAWING No.		REV		
C101		0		

H1.00 SITE PLAN EXISTING & DEMO 134 PLEASANT STREET PORTSMOUTH, NH 03801

09/17/2025

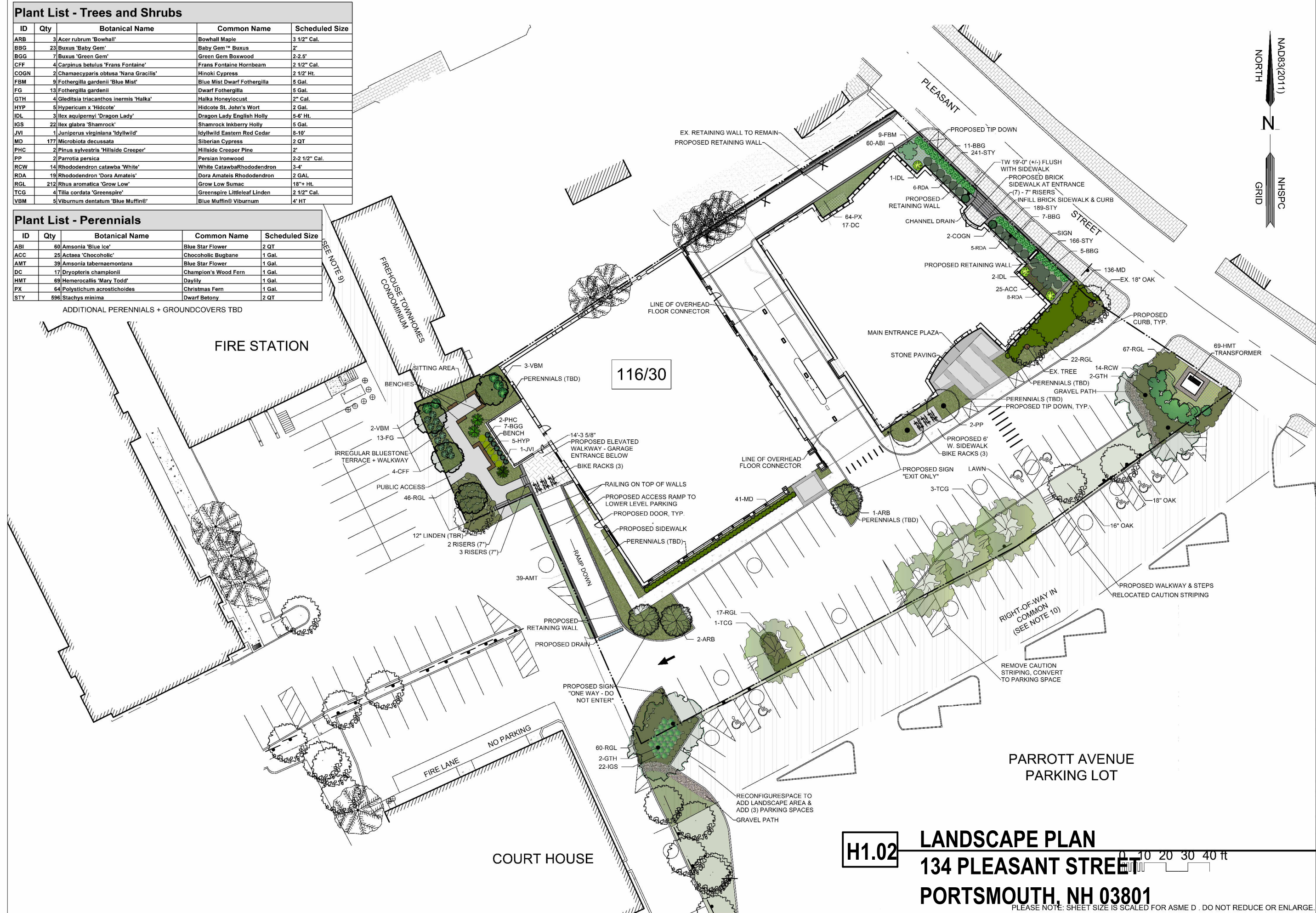


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Plant List - Trees and Shrubs				
ID	Qty	Botanical Name	Common Name	Scheduled Size
ARB	3	Acer rubrum 'Bowhall'	Bowhall Maple	3 1/2" Cal.
BBG	23	Buxus 'Baby Gem'	Baby Gem™ Buxus	2"
BGG	7	Buxus 'Green Gem'	Green Gem Boxwood	2-2.5'
CFF	4	Carpinus betulus 'Frans Fontaine'	Frans Fontaine Hornbeam	2 1/2" Cal.
COGN	2	Chamaecyparis obtusa 'Nana Gracilis'	Hinoki Cypress	2 1/2" Ht.
FBM	9	Fothergilla gardenii 'Blue Mist'	Blue Mist Dwarf Fothergilla	5 Gal.
FG	13	Fothergilla gardenii	Dwarf Fothergilla	5 Gal.
GTH	4	Gleditsia triacanthos inermis 'Halka'	Halka Honeylocust	2" Cal.
HYP	5	Hypericum x 'Hidcote'	Hidcote St. John's Wort	2 Gal.
IDL	3	Ilex aquipernyi 'Dragon Lady'	Dragon Lady English Holly	5-6' Ht.
IGS	22	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	5 Gal.
JVI	1	Juniperus virginiana 'Idyllwild'	Idyllwild Eastern Red Cedar	8-10'
MD	177	Microbiota decussata	Siberian Cypress	2 QT
PHC	2	Pinus sylvestris 'Hillside Creeper'	Hillside Creeper Pine	2"
PP	2	Parrotia persica	Persian Ironwood	2-2 1/2" Cal.
RCW	14	Rhododendron catawba 'White'	White CatawbaRhododendron	3-4'
RDA	19	Rhododendron 'Dora Amateis'	Dora Amateis Rhododendron	2 GAL
RGL	212	Rhus aromatica 'Grow Low'	Grow Low Sumac	18"+ Ht.
TCG	4	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	2 1/2" Cal.
VBM	5	Viburnum dentatum 'Blue Muffin®'	Blue Muffin® Viburnum	4' HT

Plant List - Perennials				
ID	Qty	Botanical Name	Common Name	Scheduled Size
ABI	60	Amsonia 'Blue Ice'	Blue Star Flower	2 QT
ACC	25	Actaea 'Chocoholic'	Chocoholic Bugbane	1 Gal.
AMT	39	Amsonia tabernaemontana	Blue Star Flower	1 Gal.
DC	17	Dryopteris championii	Champion's Wood Fern	1 Gal.
HMT	69	Hemerocallis 'Mary Todd'	Daylily	1 Gal.
PX	64	Polystichum acrostichoides	Christmas Fern	1 Gal.
STY	596	Stachys minima	Dwarf Betony	2 QT

ADDITIONAL PERENNIALS + GROUNDCOVERS TBD



terra firma
landscape architecture



165.3 Court Street Portsmouth, NH 03801
603.531.9109 | terrafirma@terrafirmalandarch.com

134 PLEASANT
134 PLEASANT STREET
PORTSMOUTH, NH

Project Title

Landscape Architect

Scale
1:240

REV DATE DESCRIPTION

NO DATE ISSUE NOTE

Project Manager

Drawn By

Date

Revised By

Project ID

134 PLEASANT

Sheet Title

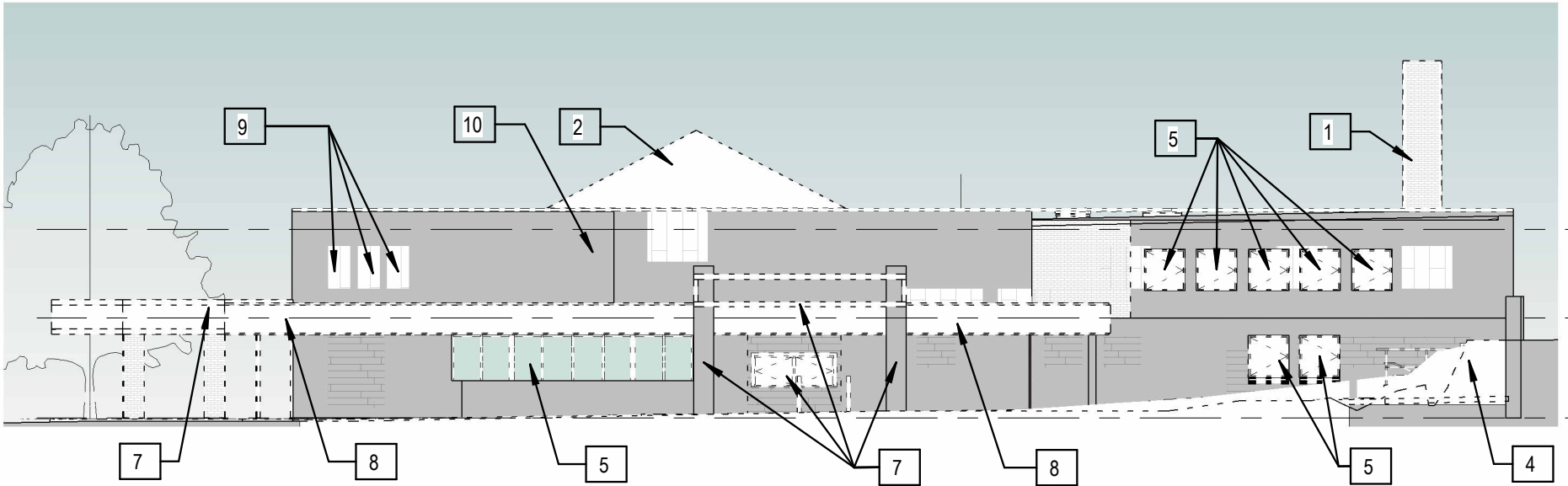
LAN

Sheet No.

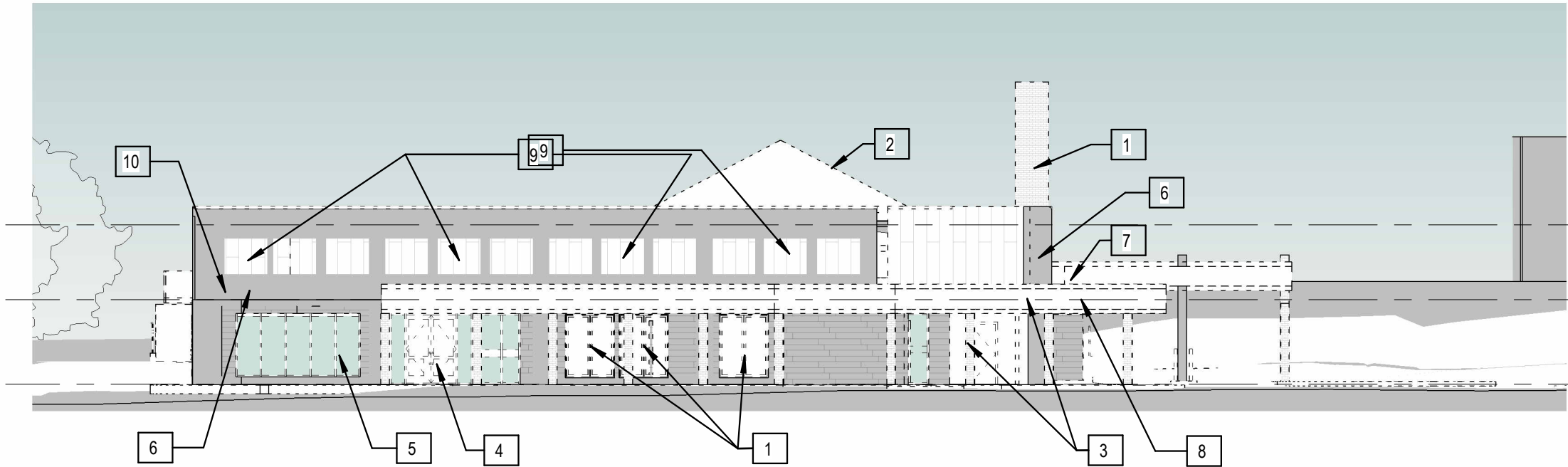


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RECOMMENDATION	
1	Remove chimney
2	Remove EPDM covered Pyramid.
3	Remove existing canopy at the east south elevation
4	Remove door.
5	Remove window.
6	Remove part of the wall for the new additon.
7	Remove the existing bank teller canopy. Replace with new bridge addition.
8	Remove existing black band at the corner of east south and east north corner.
9	New Windows
10	Remove existing Cladding and reclad with new materials, refer to the elevation drawings.



2 HDC DEMO ELEVATION EAST
1/16" = 1'-0"



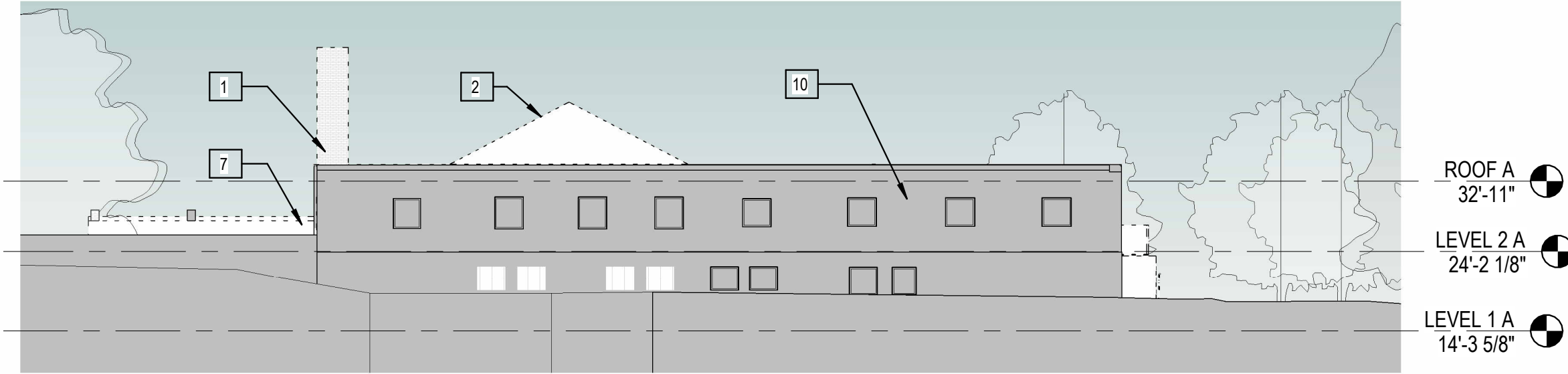
1 HDC DEMO ELEVATION SOUTH
1/16" = 1'-0"

H2.01

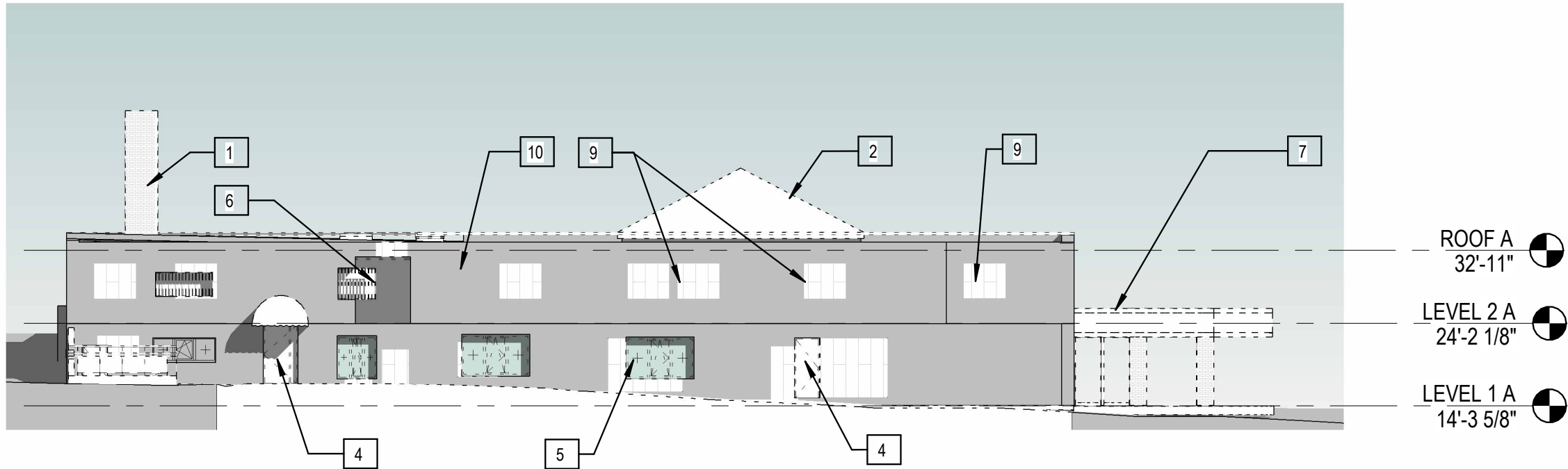
EXISTING ELEVATIONS
134 PLEASANT STREET
PORTSMOUTH, NH 03801

09/19/2025

RECOMMENDATION	
1	Remove chimney
2	Remove EPDM covered Pyramid.
4	Remove door.
5	Remove window.
6	Remove part of the wall for the new additon.
7	Remove the existing bank teller canopy. Replace with new bridge addition.
9	New Windows
10	Remove existing Cladding and reclad with new materials, refer to the elevation drawings.



2 HDC DEMO ELEVATION NORTH
1/16" = 1'-0"



1 HDC DEMO ELEVATION WEST
1/16" = 1'-0"

H2.02

**EXISTING ELEVATIONS
134 PLEASANT STREET
PORTSMOUTH, NH 03801**

09/19/2025



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1 SECTION THROUGH PLEASANT STREET (EAST ELEVATION)
1" = 40'-0"



2 SECTION THROUGH JOHN LANGDON PROPERTY (EAST ELEVATION BEYOND)
1" = 40'-0"



3 SOUTH SITE SECTION
1" = 40'-0"

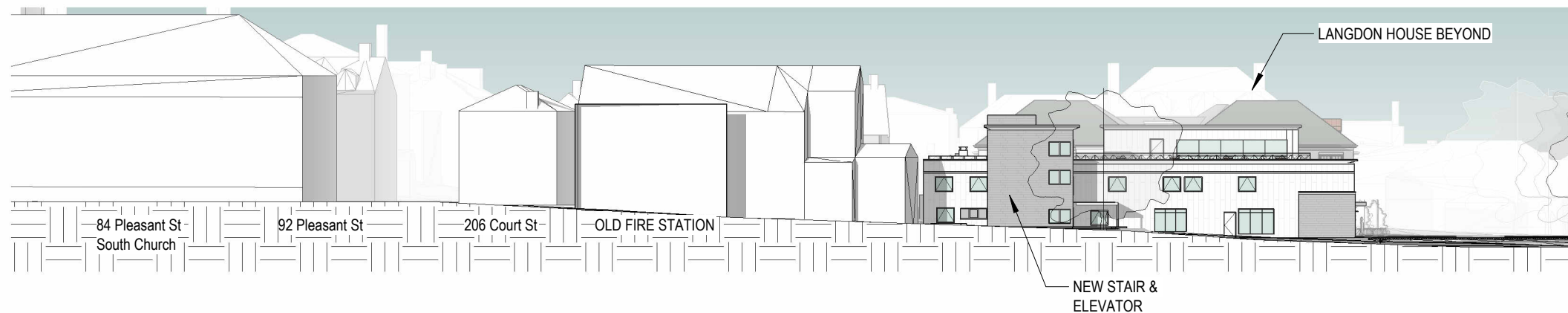
H2.10

SITE SECTIONS
134 PLEASANT STREET
PORTSMOUTH, NH 03801

09/19/2025



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1 WEST SITE SECTION
1" = 40'-0"



2 NORTH SITE SECTION
1" = 40'-0"

H2.11 SITE SECTIONS
134 PLEASANT STREET
PORTSMOUTH, NH 03801

09/19/2025



1 HDC SOUTH ELEVATION
1/16" = 1'-0"



2 HDC EAST ELEVATION
1/16" = 1'-0"

ELEVATION KEY NOTES	
	WHITE GRANITE
	ZINC PANELS
	GLAZED BRICK
	FIBER CEMENT PANELS

H2.20 FRONT ELEVATIONS
134 PLEASANT STREET
PORTSMOUTH, NH 03801

09/19/2025



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1 NORTH ELEVATION
1/16" = 1'-0"



2 WEST ELEVATION
1/16" = 1'-0"

EXISTING

NEW

ELEVATION KEY NOTES	
	WHITE GRANITE
	ZINC PANELS
	GLAZED BRICK
	FIBER CEMENT PANELS

ROOF A

32'-11"

LEVEL 2 A

24'-2 1/8"

AVERAGE GRADE

18'-5 3/16"

LEVEL 1 A

14'-3 5/8"

H2.21 REAR ELEVATIONS
134 PLEASANT STREET
PORTSMOUTH, NH 03801

09/19/2025





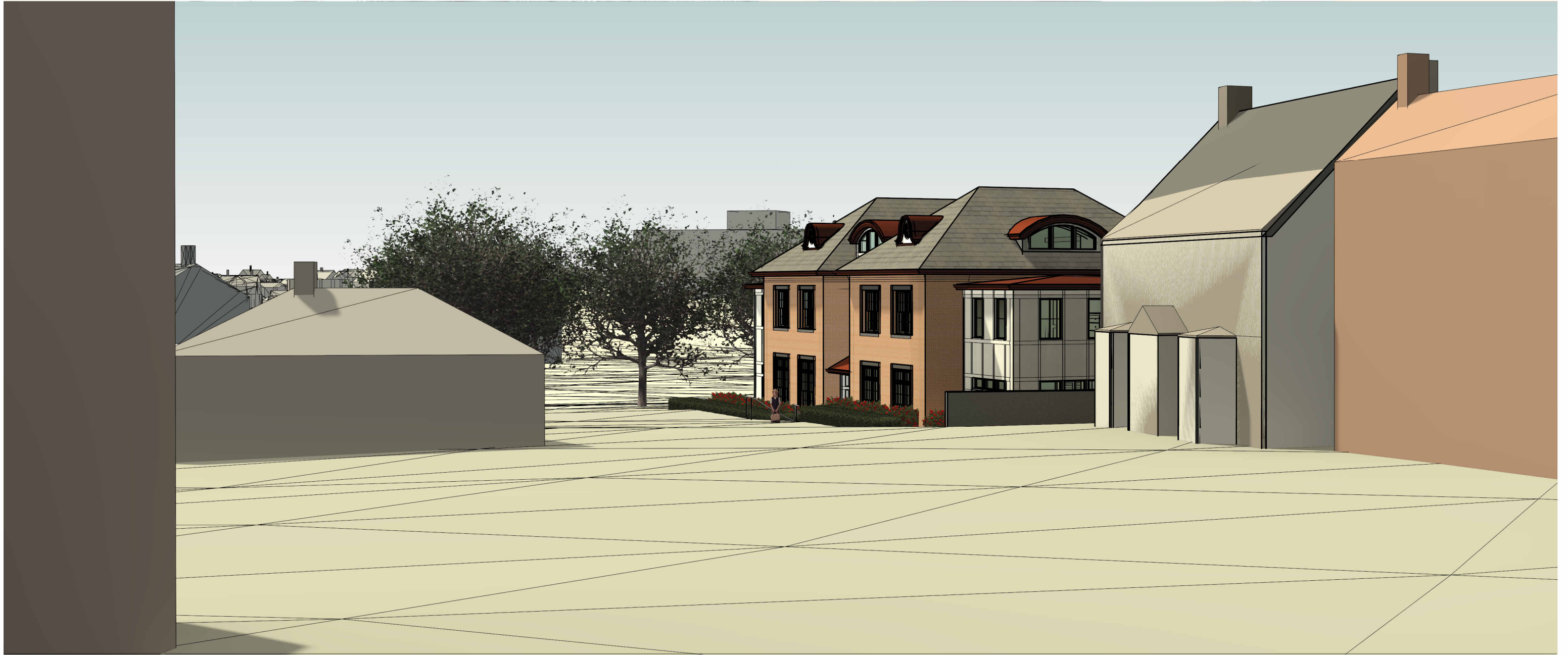
1 VIEW FROM PLEASANT AT PARROT LOT HDC



2 VIEW FROM JUNKINS AVENUE AT CITY HALL

H3.01 VIGNETTE
134 PLEASANT STREET
PORTSMOUTH, NH 03801

09/19/2025



1 VIEW FROM PLEASANT STREET AT TREADWELL HOUSE

H3.02

VIGNETTE
134 PLEASANT STREET
PORTSMOUTH, NH 03801

09/19/2025



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1 HDC PERSPECTIVE 01

H3.03

VIGNETTE
134 PLEASANT STREET
PORTSMOUTH, NH 03801

09/19/2025



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3

HDC PERSPECTIVE 03



2

VIEW FROM BEHIND COURT HOUSE hdc

H3.04

VIGNETTE
134 PLEASANT STREET
PORTSMOUTH, NH 03801

09/19/2025



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1 HDC BIRDSEYE SE

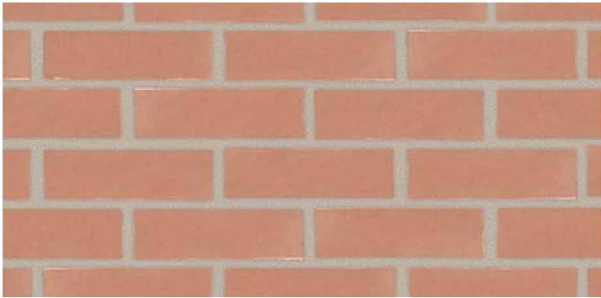
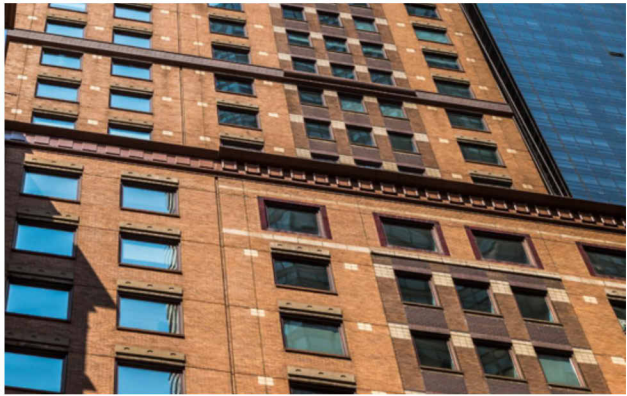
H3.05

BIRDSEYE AXONOMETRIC
134 PLEASANT STREET
PORTSMOUTH, NH 03801

09/19/25



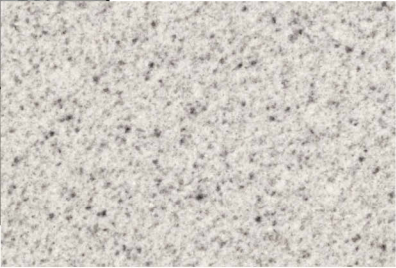
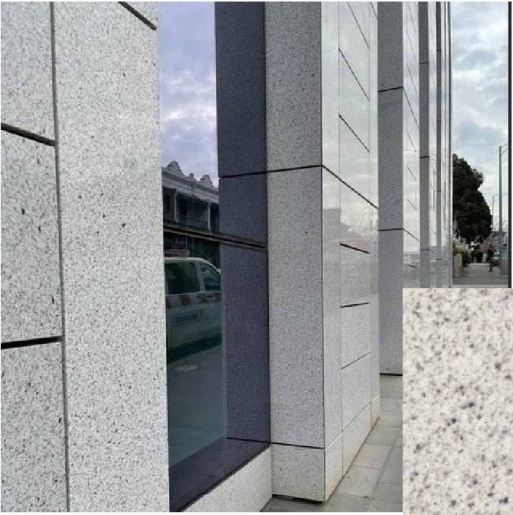
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GLAZED CLAY BRICK
GLEN GERY
COLOR: APRICOT ROSE
STANDARD SIZE 3 5/8"X2 1/4"X8"



ZINC COMPOSITE PANELS
RECESSED SEAM



GRANITE
BETHEL WHITE
THERMAL FINISH



FIBER CEMENT
PANELS & TRIM
AFC - DECO
COLOR: IVORY
FINISH: SMOOTH



ROOFING
SYNTHETIC SLATE
ECOSTAR
12" TRADITIONAL

WINDOWS

AT NEW ADDITION, BRICK AREAS
PELLA RESERVE – TRADITIONAL
ALUMINUM CLAD WOOD
EXTERIOR COLOR: BROWN
SDL - PUTTY PROFILE



AT NEW ADDITION, PANELED AREAS
KOLBE VISTALUXE - ACCENT
ALUMINUM CLAD WOOD
COLOR: ANODIZED-DARKBRONZE



H4.01

MATERIALS
134 PLEASANT STREET
PORTSMOUTH, NH 03801

09/19/25

SYNTHETIC SLATE
ROOFING -
BACKGROUND

FIBER CEMENT

COPPER TRIM

4'-1"

R 2'-0"

6'-3"

ROOF B-1
42'-8"

1 ELEVATION OCULUS DORMER
1/2" = 1'-0"

SYNTHETIC SLATE
ROOFING -
BACKGROUND

FIBER CEMENT

COPPER TRIM

4'-10"

R 9'-11 1/2"

12'-1"

ROOF B-1
42'-8"

2 ELEVATION DORMER
1/2" = 1'-0"

H4.02

DETAIL
134 PLEASANT STREET
PORTSMOUTH, NH 03801

09/19/2025

Project Address: 40 Market Street

Permit Requested: Work Session

Application: Work Session #1

A. Property Information - General:

Existing Conditions:

- Zoning District: Character District 5 (CD5) and Downtown Overlay
- Land Use: Mixed-use
- Land Area: 0 SF +/-
- Estimated Age of Structure: c.1803
- Building Style: Federal
- Number of Stories: 4
- Historical Significance: Contributing
- Public View of Proposed Work: Market Street
- Unique Features: N/A
- Neighborhood Association: Downtown



B. Proposed Work: Replace the retail door.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Replace existing retail entry door.



**HISTORIC
SURVEY
RATING

C**

D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

Leslie M. Adams
Capital Security Financial Services, Inc.
(40-42 Market Street, Portsmouth)
603/397-9639
CSFSinc@gmail.com

June 5, 2025

Izak Gilbo
Staff Liaison & Planner I
Portsmouth Historic District Commission
1 Junkins Avenue, Portsmouth

Mr. Gilbo,

Thank you so much for bringing our request for guidance before the Portsmouth Historic District Commission in May. I manage 40-42 Market Street for my 86-year-old mother.

Issue Summary:

Two professional assessments have informed us that **the antique double doors of 40 Market Street are rotted beyond further repair and must be replaced.** We've had a great deal of trouble finding a contractor willing to take on this job *without* having some guidance from HDC in hand.

As you can see from the images on the next page, both of the antique double doors of 40 Market Street (formerly "Puttin' On the Glitz" and now "Shadow and Beige") sag in towards the middle due to rot on the hinge sides. The doors will no longer even latch and are held imperfectly closed only by a door-closer-arm. This is insufficient to keep sealed against heat/cold, and the door is difficult for customers to open and close.

My family has owned this building since 1982 and we've tried to keep the doors always painted and in good repair. We've repaired and rehung the doors several times in the last 20 years, but two recent professional assessments have informed us that rehanging is no longer an option. We absolutely must replace the door to 40 Market Street before winter.

Hopeful Solution:

I've been unable to find either new or acceptable antique doors similar to the antique double doors currently existing. Therefore, **we would like to replace the double doors with a new, wooden single one.** I have included pictures of several doors currently found on Market Street, any of which we would consider as a replacement style, based upon your recommendations. A single door would be easier for customers to open and close, and *would also be more handicap accessible.*

Thank you so much and looking forward to your feedback.

Sincerely,

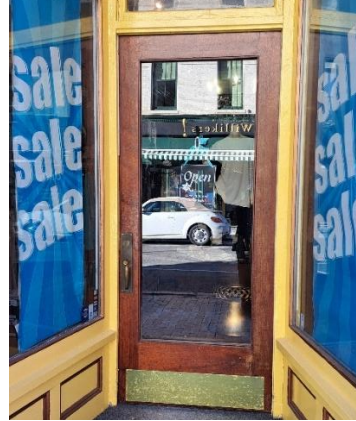


Leslie M. Adams, Property Manager
603/397-9639
CSFSinc@gmail.com

The current doors sag towards the middle due to **hinge-side rot**, making them very difficult to open and causing high-quality door handles to break repeatedly. We're told they can't be further repaired & rehung.



Below are some door styles currently found on Market Street, which have guided our consideration.



Our replacement door preferences (in order). ***These images were not in the original 6/5/25 email to Izak.**

Simpson®
Door Company



521 Traditional Sash



512 Traditional Sash

A visualization of **BEFORE**...



... and **AFTER** replacement with new(single) door.



Additional Consideration: #40-42 Market Street is one of the only buildings on the street with an un-recessed, “flat-faced” doorway. Only the awning protects it (imperfectly) from the weather. Rot is eventually inevitable.



Almost every other doorway on Market Street is recessed in some way, protecting it from rain & snow.





Please note that this application is missing
my **carpenter's report** (scope of work).

It was not available at the time of
submission, but I will bring this with me to
the work session.



1-800-Simpson



Email Us

[Contact Us](#) | [Careers](#) | [EZQ](#)**Simpson®**
Door Company

521 TRADITIONAL SASH

DOOR SPECIFICATIONS (AS SHOWN):

Wood Species: Red Oak**Profile:** Shaker Sticking**Panel Type:** 3/4" DHRP

Rough opening needs to be 2" wider and 2 1/2" taller than your door.

Measurements are not accurate. Accurate measurements will be brought to the Work Session.

[Get a Quote](#)[View on my Home](#)[Print](#)[Where to Buy](#)[Guided Tour](#)[Dutch Door Visualizer](#)[Exterior Door Selection Guide](#)

PERSONALIZE YOUR DOOR

Make Your Selections on the Left and See Your Door on the Right

521

[FINALIZE MY QUOTE](#)**(DOOR ONLY) MSRP PER DOOR: \$2,726.03**

STANDARD OPTIONS

Quantity

[Change Quantity](#)

Change Door Shape

Planning to Stain or Paint?
[view more](#)☐ Stain ☒ Paint

Wood Species

Original Slab Width
[view more](#)

Feet	Inches	Fraction
<input type="text" value="4"/>	<input type="text" value="0"/>	<input type="text" value="0"/>

Original Slab Height
[view more](#)

<input type="text" value="6"/>	<input type="text" value="8"/>	<input type="text" value="0"/>
--------------------------------	--------------------------------	--------------------------------



Thickness

view more

1 3/4"

▼

SG Glass Type

Clear

▼

Sticking Profile

Shaker Sticking

▼

Panel Type

3/4" DHRP

▼

Groove Type

None

▼

UltraBlock

view more

Yes

DESIGN AND CONSTRUCTION ALTERATIONS

Dutch

None

▼

Two-Piece Laminated Stiles and Rails

☐ Yes ☒ No

Engineered Stiles and Rails with 1/4" Veneer

view more

☐ Yes ☒ No

Mouldings

view more

None

▼

FINISHING TOUCHES

Priming

view more

☐ Yes ☒ No

