

Ross Engineering, LLC
Civil / Structural Engineering

909 Islington Street
Portsmouth, NH 03801

603-433-7560
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April 21, 2025

City of Portsmouth
Planning Department
1 Junkins Ave
Portsmouth, NH 03801

Site Plan Approval Extension Request
806 Route 1 Bypass
Tax Map 161, Lot 43
Land Use Application 22-81

The City of Portsmouth Site Plan Approval for this parcel will expire on June 23, 2025. The site plan approval was granted a second extension at a Planning Board meeting on June 20, 2024 as shown in a Planning Board Notice of Decision dated June 27, 2024. The Planning Board also granted Amended Site Plan Approval on this date for revisions as necessary to connect the drainage on 806 Route 1 Bypass to the drainage work on 822 US Route 1 Bypass (Tax Map 160, Lot 29).

Work has commenced on 806 US Route 1 Bypass to construct the drainage structures and connect to the work on 822 US Route 1 Bypass as approved by the Planning Board. In order to keep the business open and allow safe flow of traffic, the work on both sites has been done in stages. The drainage work must be completed prior to the construction of other site improvements as part of the staged work. Due to the on-going work and the planned site improvements after the completion of the on-going work, the owner would like to request an extension of the approvals.

The latest approved plan set dated 6-11-24 has been attached to this submittal. No changes to this plan set are proposed.

Sincerely

Alex Ross, P.E., L.L.S.

Site Plan

806 Route 1 Bypass

Portsmouth, New Hampshire

PREPARED FOR:

RIGZ ENTERPRISES LLC

PREPARED BY:

ROSS ENGINEERING, LLC

Civil/Structural Engineering
& Surveying

909 Islington St.
Portsmouth, NH 03801
(603) 433-7560

LIST OF PROJECT PLANS:

SITE PLAN SET

- 1 - Existing Conditions Plan
- 2 - Site Plan
- 3 - Utility Plan
- 4 - Landscape Plan
- 5 - Easement Plan
- 6 - Notes & Details
- 7 - Sewer Notes
Lighting Plan

June 11, 2024

SEE NOTE 2

N/F
CITY OF PORTSMOUTH
NEW FRANKLIN SCHOOL
1 FRANKLIN DRIVE
PORTSMOUTH, NH 03802
TAX MAP 220, LOT 2

RIGZ ENTERPRISES LLC
TAX MAP 161, LOT 43
RCRD 6225-2527
22,611 SQFT, 0.52 ACRES

N/F
GTY MA/NH LEASING INC
786 US ROUTE 1 BYP.
PORTSMOUTH, NH 03801
TAX MAP 161, LOT 42
RCRD 5207-1572

N/F
RICHARD J SOLITO
2 STARK ST
PORTSMOUTH, NH, 03801
TAX MAP 161, LOT 41
RCRD 5455-1870

N/F
BETHANY ALICE KUHARIK
507 DENNETT ST
PORTSMOUTH, NH 03801
TAX MAP 161, LOT 44
RCRD 5790-2377

N/F LINDSAY FLORYAN
493 DENNETT ST
PORTSMOUTH, NH 03801
TAX MAP 161, LOT 45
RCRD 5804-2599

N/F PETER & JUDI
PARADIS
TAX MAP 160, LOT 27
RCRD 3005-0228

N/F RICHARD D ZOFFOLI TRUST
822 US ROUTE 1 BYP.
PORTSMOUTH, NH 03801
TAX MAP 160, LOT 29
RCRD 2860-0906

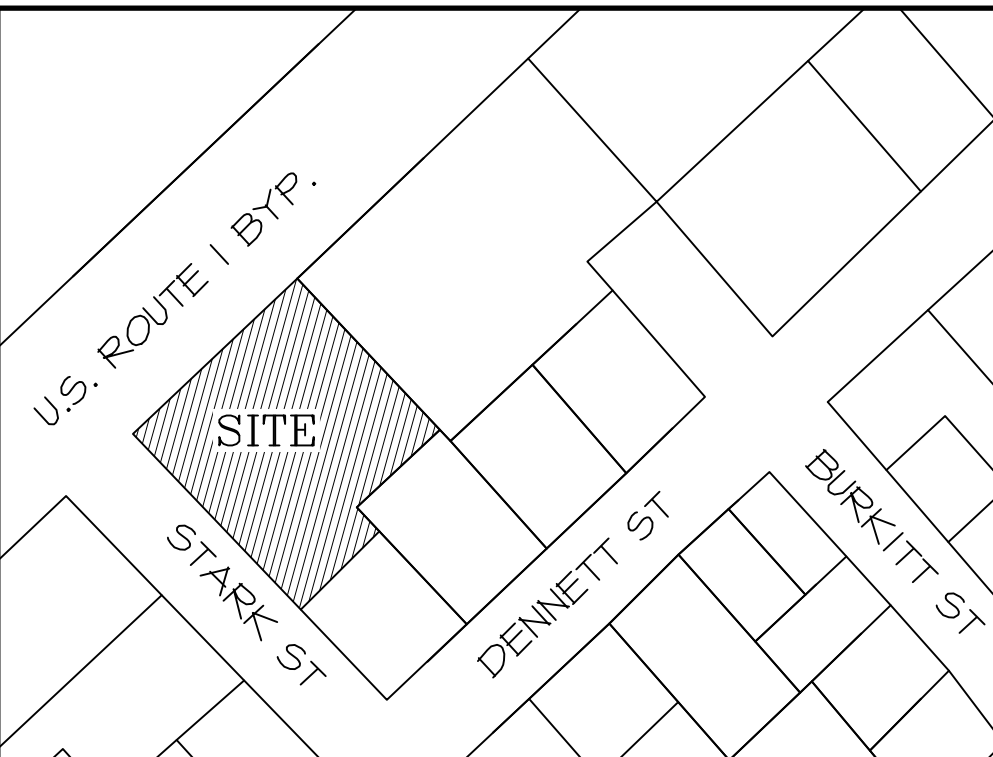
LEGEND

- MONUMENT FOUND
- MONUMENT SET
- 6' STOCKADE FENCE
- ASPHALT CURB
- 6' CHAIN LINK FENCE
- UTILITY POLE
- CATCH BASIN

NOTES

- OWNER OF RECORD:
RIGZ ENTERPRISES
18 DIXON LANE
DERRY, NH 03038

TAX MAP 161, LOT 43
806 US ROUTE 1 BYPASS
PORTSMOUTH, NH 03801
RCRD: 6225-2527
AREA: 22,611 SF, 0.52 ACRES
- BASIS OF BEARING HELD FROM PLAN REFERENCE #1.
- PARCEL IS IN BUSINESS ZONE (B):
MINIMUM LOT AREA.....20,000 SF
MIN. LOT AREA PER DWELLING UNIT.....2,500 SF
MINIMUM FRONTAGE.....100 FT
MINIMUM DEPTH.....80 FT
SETBACKS:
FRONT.....20 FT
SIDE.....15 FT
REAR.....15 FT
MAXIMUM BUILDING HEIGHT.....50 FT
MAXIMUM BUILDING COVERAGE.....35%
MINIMUM OPEN SPACE.....15%
- THE PARCEL IS NOT WITHIN A FEMA FLOOD ZONE,
AS PER FLOOD INSURANCE RATE MAP
#33015C0259F, PANEL 259 OF 681, DATED
JANUARY 29, 2021. VERTICAL DATUM IS NAVD 1988.
- A RIGHT TO PASS AND REPASS FROM THE
INTERSTATE HIGHWAY USING THE EXITS IN COMMON
WITH OTHERS LOCATED ON LAND FORMERLY OF D.
RICHARD ZOFFOLI FOR PURPOSES OF PASSING
AND REPASSING TO THE INTERSTATE HIGHWAY
EXISTS TO THE BENEFIT OF LOT 43 OVER LAND OF
LOT 29. SEE RCRD 2781-1490.
- THE CITY PLANNING BOARD GRANTED SITE PLAN
APPROVAL FOR THIS PROPERTY ON JUNE 23, 2022.
A ONE YEAR EXTENSION WAS GRANTED AT THE
JUNE 15, 2023 PLANNING BOARD MEETING.
(LU-22-81)



LOCUS PLAN N.T.S.

EXISTING STRUCTURES CATCH BASIN

CB 1
RIM EL. 27.93
INV. IN 21.61 (±20" PIPE) SW
INV. OUT 20.58 (±20" PIPE) NE

CB 2
RIM EL. 29.46
INV. OUT 25.81 (12" CMP) SE

CB 3
RIM EL. 29.19
INV. IN 22.84 (12" CMP) SW
INV. IN 22.74 (12" CMP) NE
INV. IN 22.83 (24" RCP) NW
INV. OUT 22.66 (24" RCP) SE

CB 4
RIM EL. 30.48
INV. IN 18.20 (±20") SW
INV. IN 18.20 (24" RCP) NW
INV. OUT 18.15 (24") NE

AMENDMENTS

- REVISED CATCH BASIN ELEVATIONS
- ADDED NOTE 6 TO OUTLINE PB APPROVAL AND EXTENSION OF THIS PROJECT.

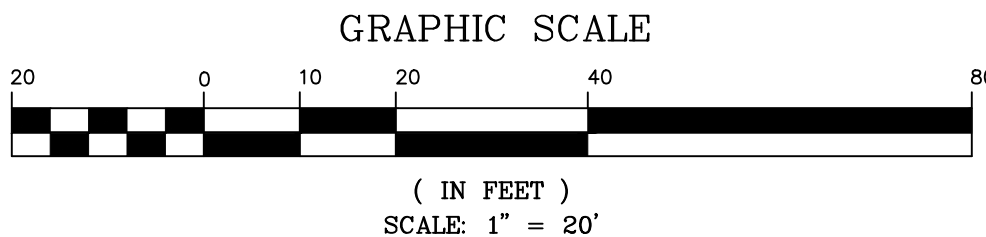
6 - ISSUE 6 AMENDMENTS

7 - ISSUE 7 AMENDMENTS

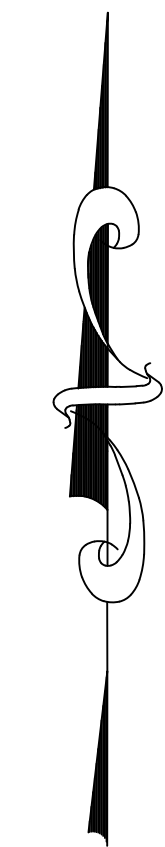
8 - ISSUE 8 AMENDMENTS

REFERENCE PLANS

- "SITE PLAN FOR HENRY S. DUTKOWSKI
MOMMA D'S CASA DI PASTA, 806 US
ROUTE 1 BYPASS & STARK STREET" BY
MILLETTE, SPRAGUE & COLWELL, INC.
DATED JULY 15, 2004.



ISS.	DATE	DESCRIPTION OF ISSUE
8	6/11/2024	REVISIONS
7	6/4/2024	REVISIONS
6	5/17/2024	REVISIONS
5	5/22/2023	REVISIONS
4	5/25/2022	FOR PB
3	4/26/2022	FOR TAC
SCALE 1" = 20'		
CHECKED A.ROSS		
DRAWN I.C.A.		
CHECKED		
ROSS ENGINEERING, LLC Civil/Structural Engineering & Surveying 909 Islington St. Portsmouth, NH 03801 (603) 433-7560		
CLIENT RIGZ ENTERPRISES LLC 18 DIXON LANE DERRY, NH 03038		
TITLE EXISTING CONDITIONS PLAN 806 US-1 BYP. PORTSMOUTH, NH 03801 TAX MAP 161, LOT 43		
JOB NUMBER	DWG. NO.	ISSUE
21-072	1 OF 7	8



N/F
CITY OF PORTSMOUTH
NEW FRANKLIN SCHOOL
1 FRANKLIN DRIVE
PORTSMOUTH, NH 03802
TAX MAP 220, LOT 2

RIGZ ENTERPRISES, LLC
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TAX MAP 161, LOT 42
RCRD 5207-1572

N/F MYRINDA A. SOLITO
2 STARK ST
PORTSMOUTH, NH, 03801
TAX MAP 161, LOT 41
RCRD 6377-0132

N/F RIGZ ENTERPRISES LLC
822 US ROUTE 1 BYP.
PORTSMOUTH, NH 03801
TAX MAP 160, LOT 29
RCRD 6355-2022

N/F PETER & JUDI
PARADIS
TAX MAP 160, LOT 27
RCRD 3005-0228

N/F LINDSAY FLORYAN &
BRIAN COLLIER
443 DENNETT ST
PORTSMOUTH, NH 03801
TAX MAP 161, LOT 45
RCRD 5804-2549

N/F ALICE B. KUCHARIK &
NICHOLAS WEBSTER
507 DENNETT ST
PORTSMOUTH, NH 03801
TAX MAP 161, LOT 44
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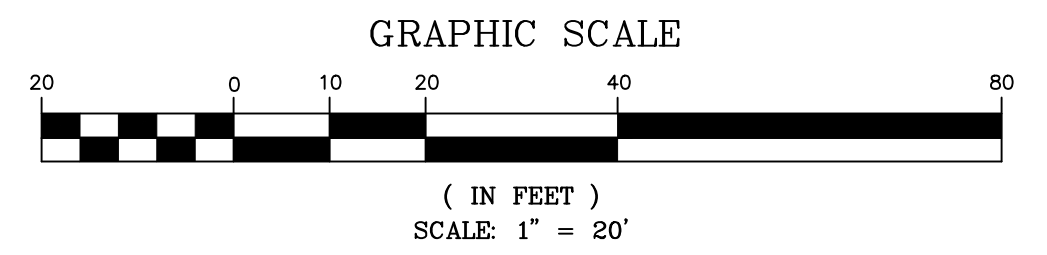
US ROUTE ONE BYPASS

STARK STREET

LEGEND

- ⊙ MONUMENT FOUND
- ⊕ MONUMENT SET
- 6' STOCKADE FENCE
- ASPHALT CURB
- 6' CHAIN LINK FENCE
- ⊕ UTILITY POLE
- CATCH BASIN
- ⊗ WATER VALVE
- ⊙ SEWER MANHOLE
- ⊕ LAMP POST
- UGU — UNDERGROUND UTILITIES
- G — GAS LINE
- D — DRAIN LINE
- W — WATER LINE
- S — SEWER LINE
- ⊕ LIGHT
- ⊙ CLEANOUT

ALL CONDITIONS ON THIS PLAN
SHALL REMAIN IN EFFECT IN
PERPETUITY PURSUANT TO THE
REQUIREMENTS OF THE SITE PLAN
REVIEW REGULATIONS.



AMENDED SITE PLAN

- LANDSCAPING REMOVED IN NHDOT RIGHT OF WAY AS PER NHDOT REQUEST,
- DRAINAGE HAS BEEN CHANGED TO DEPICT NEW PROPOSED DRAINAGE SYSTEM. NEW DRAINAGE SYSTEM IS DEPICTED TO MATCH PROPOSED DRAINAGE ON LOT 29, WHICH IS CONNECTED TO DRAINAGE SYSTEM ON LOT 43.
- REVISED LIGHTING CALLOUTS ON THE PLAN.

NOTES

- OWNER OF RECORD:
RIGZ ENTERPRISES
18 DIXON LANE
DERRY, NH 03038

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PORTSMOUTH, NH 03801
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MINIMUM LOT AREA.....20,000 SF
MIN. LOT AREA PER DWELLING UNIT.....2,500 SF
MINIMUM FRONTAGE.....100 FT
MINIMUM DEPTH.....80 FT
SETBACKS:
FRONT.....20 FT
SIDE.....15 FT
REAR.....15 FT
MAXIMUM BUILDING HEIGHT.....50 FT
MAXIMUM BUILDING COVERAGE.....35%
MINIMUM OPEN SPACE.....15%
- COVERAGES:
BUILDING COVERAGE
EXISTING BUILDING COVERAGE
BUILDING & COOLER 3,042 SF
EXISTING STRUCTURE 3,042 SF
BUILDING COVERAGE= 3,042 / 22,611 = 13.5%

PROPOSED BUILDING COVERAGE
BUILDING & COOLER 3,442 SF
BUILDING COVERAGE 3,442 / 22,611 = 15.2%

OPEN SPACE
EXISTING OPEN SPACE
BUILDING COVERAGE.....3,042 SF
CONCRETE SIDEWALK.....455 SF
ASPHALT PARKING.....15,958 SF
ASPHALT CURB.....83 SF
CONCRETE PAD 3 SF
TOTAL LOT COVERAGE 19,541 SF
EXISTING OPEN SPACE= 22,611-19,541 = 3,070 SF
EXISTING OPEN SPACE= 3,070 / 22,611 = 13.6%

PROPOSED OPEN SPACE
BUILDING COVERAGE.....3,442 SF
CONCRETE SIDEWALK.....455 SF
ASPHALT PARKING.....14,500 SF
ASPHALT CURB 171 SF
TOTAL LOT COVERAGE 18,570 SF
PROPOSED OPEN SPACE=22,611-18,570= 4,041 SF
PROPOSED OPEN SPACE = 4,041 / 22,611 = 17.9%
- PARKING SPACES:
AS PER PORTSMOUTH ZONING ORDINANCE 10.1112.321, PARKING SPACES FOR RETAIL USE SHALL BE 1 SPACE PER 300 SF GROSS FLOOR AREA.

3,442 SF / 300 SF/SPACE = 11.47 = 12 SPACES
12 SPACES REQUIRED
30 SPACES PROVIDED

- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- ALL PROPOSED CURBING TO BE ASPHALT AND MATCH EXISTING. MINIMUM 5" REVEAL.
- GIS COORDINATES OF TWO LOT CORNERS
A - NW CORNER NORTHING 211322.113 EASTING 1222327.652
B - SW CORNER 211202.419 1222439.356
- PLANNING BOARD APPROVAL FOR 822 US ROUTE 1 BYPASS WAS GRANTED ON MAY 16, 2024 AND IS SHOWN IN A NOTICE OF DECISION LETTER DATED MAY 23, 2024. ACCESS WAY AND DRAINAGE EASEMENTS FOR THIS PROPERTY ARE SHOWN IN THE APPROVED PLAN SET. MEASURES SHALL BE TAKEN BY THE OWNER TO ENSURE THAT ALL DRAINAGE AND ACCESS EASEMENTS ON BOTH 806 AND 822 US ROUTE 1 BYPASS WORK IN CONJUNCTION WITH EACH OTHER AND ARE PROPERLY RECORDED.

WAIVERS

- A WAIVER WAS GRANTED BY THE PORTSMOUTH PLANNING BOARD ON JUNE 23, 2022 FROM THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS SECTION 9.3.5, TO LOCATE A DUMPSTER 12.2' FROM THE WESTERN PROPERTY LINE WHERE 20' IS REQUIRED.

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ISS.	DATE	DESCRIPTION OF ISSUE	
SCALE	1" = 20'		
CHECKED	A.ROSS		
DRAWN	D.D.D.		
CHECKED			

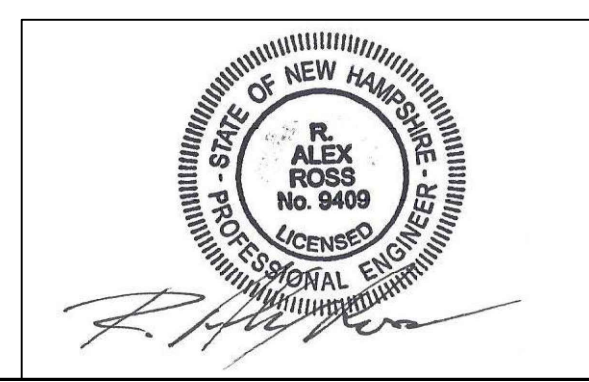
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CLIENT
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TITLE		
SITE PLAN		
806 US-1 BYP. PORTSMOUTH, NH 03801 TAX MAP 161, LOT 43		
JOB NUMBER	DWG. NO.	ISSUE
21-072	2 OF 7	8

CITY OF PORTSMOUTH PLANNING BOARD

CHAIRPERSON _____ DATE _____





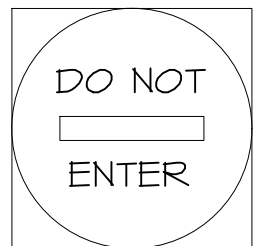
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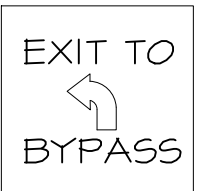
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GTY MA/NH LEASING INC
786 US ROUTE 1 BYP.
PORTSMOUTH, NH 03801
TAX MAP 161, LOT 42
RCRD 5207-1572

LEGEND

- MONUMENT FOUND
- MONUMENT SET
- 6' STOCKADE FENCE
- ASPHALT CURB
- 6' CHAIN LINK FENCE
- UTILITY POLE
- CATCH BASIN
- WATER VALVE
- SEWER MANHOLE
- LAMP POST
- UNDERGROUND UTILITIES
- GAS LINE
- DRAIN LINE
- WATER LINE
- SEWER LINE
- LIGHT



R5-1
30"x30"
RED & WHITE



CUSTOM
20"x20"
BLACK & WHITE

SIGN DETAILS

SCALE: NTS

GENERAL NOTES

- CONTRACTOR TO REVIEW ALL SURFACING TYPES, AND MATERIAL SPECIFICATIONS WITH COMMISSIONER OF PUBLIC WORKS.
- ALL NECESSARY NHDOT, NHDES & TOWN PERMITS MUST BE OBTAINED.
- ALL CONSTRUCTION SHALL BE PER NH-DOT, STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION. LATEST REVISION.
- CONTRACTOR SHALL MEET STATE AND TOWN REQUIREMENTS, TO ASSURE TYPE, SEPARATION, COVER, ETC. ALWAYS CALL DIGSAFE PRIOR TO DIGGING. UTILITIES SHOWN ARE APPROXIMATE AND MUST BE VERIFIED.
- SIZE ALL LINES AS PER REQUIREMENTS AND ASSURE THAT PROPOSED LOADING AND PRESSURE DEMANDS WILL BE MET.

PROPOSED LIGHTING

DESCRIPTION	CATALOG NUMBER	QTY
LIGHT POLE (254)	LITHONIA LIGHTING - D5XO LED P4 30K 80CRI TFTM MVOLT 5PA DDBXC WITH SSS 18 4C DM29A5 DDBXD	1
LIGHT POLE (54)	LITHONIA LIGHTING - D5XO LED P4 30K 80CRI TFTM MVOLT 5PA DDBXD WITH SSS 18 4C DM19A5 DDBXD	1
WALL PACK (W)	LITHONIA LIGHTING - WDG6I LED P1 30K 80CRI VM MVOLT SRM DDBXD	6

UTILITIES:

CONTACT LIST:

GAS: UTILIL: SUSAN L. DUPLISEA.....603-294-5147
WATER: PORTSMOUTH DPW:603-427-1530
SEWER: PORTSMOUTH DPW:603-427-1530
STORMWATER: PORTSMOUTH DPW:603-427-1530
ELECTRIC: EVERSOURCE: CASEY McDONALD.....603-436-7708 EXT 5641

PROPOSED UTILITIES:

- STORMWATER:
EXISTING DRAINAGE LINE UNDER THE BUILDING TO BE TAKEN OUT OF SERVICE AND FILLED WITH FLOWABLE FILL CONCRETE.

INSTALL DMH A & DMH B WITH 24" PE PIPING CONNECTING CB 1 TO THE DRAINAGE IMPROVEMENTS ON LOT 29.

SILTSACKS TO BE INSTALLED ON CATCH BASINS 1 & 4 PRIOR TO CONSTRUCTION. SILTSACKS TO REMAIN IN PLACE UNTIL DRAINAGE SYSTEM IS FULLY OPERATIONAL.

3 NEW CATCH BASINS TO BE INSTALLED ON 822 US ROUTE 1 BYPASS AS PART OF DRAINAGE IMPROVEMENTS. SILTSACKS TO BE INSTALLED ON THESE CATCH BASINS DURING CONSTRUCTION UNTILL DRAINAGE SYSTEM IS FULLY OPERATIONAL..
- GAS:
A NEW METER WILL BE INSTALLED ON THE SIDE OF THE WALK-IN COOLER. THE EXISTING GAS LINE WILL BE RE-ROUTED TO THE NEW METER.
- LIGHTING:
INSTALL THE LIGHTS SHOWN ON THE PROPOSED LIGHTING TABLE ONTO EXISTING POLES LPI AND LP2.
REMOVE EXISTING LIGHT POLE LP3.
- SEWER:
ACCORDING TO DPW, THE EXISTING SEWER LINE TRAVELS TOWARDS DENNETT STREET. A NEW SEWER LINE SHALL BE INSTALLED TO THE LATERAL BY PARKING SPACE 25, PROPER SIZE, TYPE, AND CONNECTION AS PER CITY DPW.

EXISTING SEWER SERVICE TO DENNETT STREET SHALL BE DISCONNECTED AND CAPPED. THIS SHALL BE DONE BEHIND THE CURB SO AS NOT TO DISTURB THE PAVEMENT ON DENNETT ST. CONTRACTOR TO COORDINATE WITH DPW ON DISCONNECTION.

EXISTING STRUCTURES CATCH BASIN

CB 1
RIM EL. 27.93
INV. IN 21.61 (±20" PIPE) SW
INV. OUT 20.58 (±20" PIPE) NE

CB 2
RIM EL. 29.46
INV. OUT 25.81 (12" CMP) SE

CB 3
RIM EL. 29.19
INV. IN 23.84 (12" CMP) SW
INV. IN 22.74 (12" CMP) NE
INV. IN 22.83 (24" RCP) NW
INV. OUT 22.66 (24" RCP) SE

CB 4
RIM EL. 30.48
INV. IN 18.20 (±20") SW
INV. IN 18.20 (24" RCP) NW
INV. OUT 18.15 (24") NE

PROPOSED STRUCTURES CATCH BASIN

CB 1
RIM EL. 27.93
INV. IN 21.61 (±20" PIPE) SW
INV. OUT 21.50 (24" PE) NE - PROPOSED LINE

DRAIN MANHOLE

DMH A
RIM EL. 28.50
INV. IN 21.44 (24" PE) SW
INV. OUT 21.40 (24" PE) NW
STRUCTURE: 5' Ø CONCRETE BASIN

DMH B
RIM EL. 29.17
INV. IN 21.00 (24" PE) SE
INV. OUT 20.96 (24" PE) NE
STRUCTURE: 5' Ø CONCRETE BASIN

AMENDED UTILITY PLAN

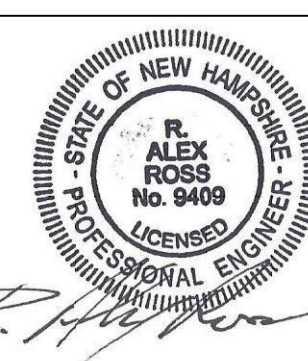
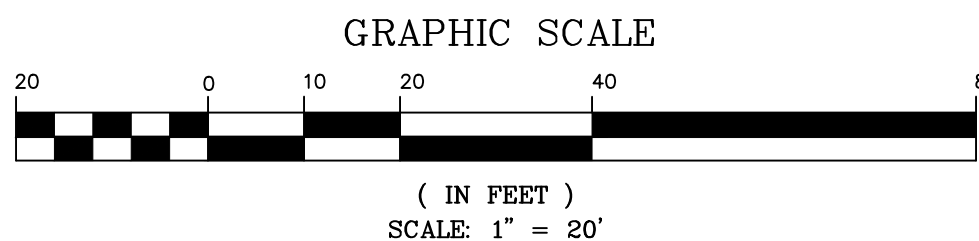
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- REVISED STORMWATER NOTES & FOR DRAINAGE SYSTEM.
- REVISED EXISTING AND PROPOSED DRAINAGE STRUCTURE ELEVATIONS.
- REVISED LIGHTING NOTE 3, LIGHTING SPECIFICATION TABLE AND LIGHTING CALL OUTS ON THE PLAN.
- REVISED PROPOSED UTILITIES SEWER NOTE 4.

EXISTING LIGHT POLE HEIGHTS

LP 1 - 19.6'
LP 2 - 28.41'
LP 3 - 27.9'

PROPOSED LIGHTING

DESCRIPTION	CATALOG NUMBER	QUANTITY
WALL LIGHT (LP4)	KT-WPLED60-M2-8XX-VDIM	3
LIGHT POLE (LPI-LP3)	KT-ALED140-M1-X-NM-8XX-VDIM	3



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ISS.	DATE	DESCRIPTION OF ISSUE	

SCALE 1" = 20'

CHECKED A.ROSS

DRAWN D.D.D.

CHECKED

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TITLE

UTILITY PLAN

806 US-1 BYP.
PORTSMOUTH, NH 03801
TAX MAP 161, LOT 43

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21-072	3 OF 7	8



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TAX MAP 220, LOT 2

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22,611 SQFT, 0.52 ACRES

LANDSCAPED
INSTALL NEW
LIGHTING ON
EXISTING POLE LPI
THUJA O. 'TECHNT'
MISSION ARBORVITAE
AT 5' TO 6' (TYP.)

N/F
GTY MA/NH LEASING INC
186 US ROUTE 1 BYP.
PORTSMOUTH, NH 03801
TAX MAP 161, LOT 42
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ALL CONDITIONS ON THIS PLAN
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493 DENNETT ST
PORTSMOUTH, NH 03801
TAX MAP 161, LOT 45
RCRD 5804-2549

US ROUTE ONE BYPASS

STARK STREET
PUBLIC R.O.W.

INSTALL NEW
LIGHTING ON
EXISTING POLE
LP2

SIGN

3 BIKE
RACKS

PROPOSED BUILDING
APPROVED AT PB
MEETING ON 5/16/24

PROPOSED ASPHALT
CURB TO MATCH
EXISTING (TYP.)

DO NOT
ENTER SIGN

EXIT TO
BYPASS
SIGN

BUSINESS ZONE
GENERAL RESIDENTIAL A ZONE

ICE
MACHINE

PROPOSED 400 SF
WALK-IN COOLER
ADDITION

DO-NOT
ENTER SIGN

PROPOSED
DUMPSTERS

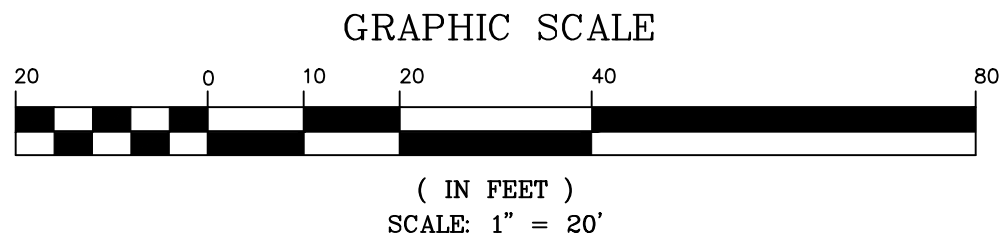
FENCE TO MATCH
EXISTING BLACK FENCE

REMOVE LIGHT POLE
LP3

STONE
RIP-RAP

BOTANICAL NAME	COMMON NAME	SIZE	QTY:
SEDUM 'AUTUMN JOY'	STONECROP	1 QT	11
HEMEROCALLIS 'ROSY RETURNS'	REBLOOMING DAYLILY	1 QT	27
ARCTOSTAPHYLOS UVA-URSI 'BEARBERRY'	BEAR BERRY	1 GAL	4
CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL	6
ROSA RUGOSA	SALT SPRAY ROSE	1 GAL	1
SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	2 GAL	6
JUNIPERUS HORIZONTALIS 'BAR HARBOR'	'BAR HARBOR' GROUND-COVER JUNIPER	1 GAL	4
GLEDITSIA T.I. 'STREET KEEPER'	'STREET KEEPER' HONEY LOCUST TREE	2-3" C	3

6



LEGEND

- SEDUM 'AUTUMN JOY'
- HEMEROCALLIS
- ARCTOSTAPHYLOS UVA-URSI
- CALAMAGROSTIS
- ROSA RUGOSA
- SYRINGA MEYERI 'PALIBIN'
- JUNIPERUS HORIZONTALIS
- GLEDITSIA

Planting Detail

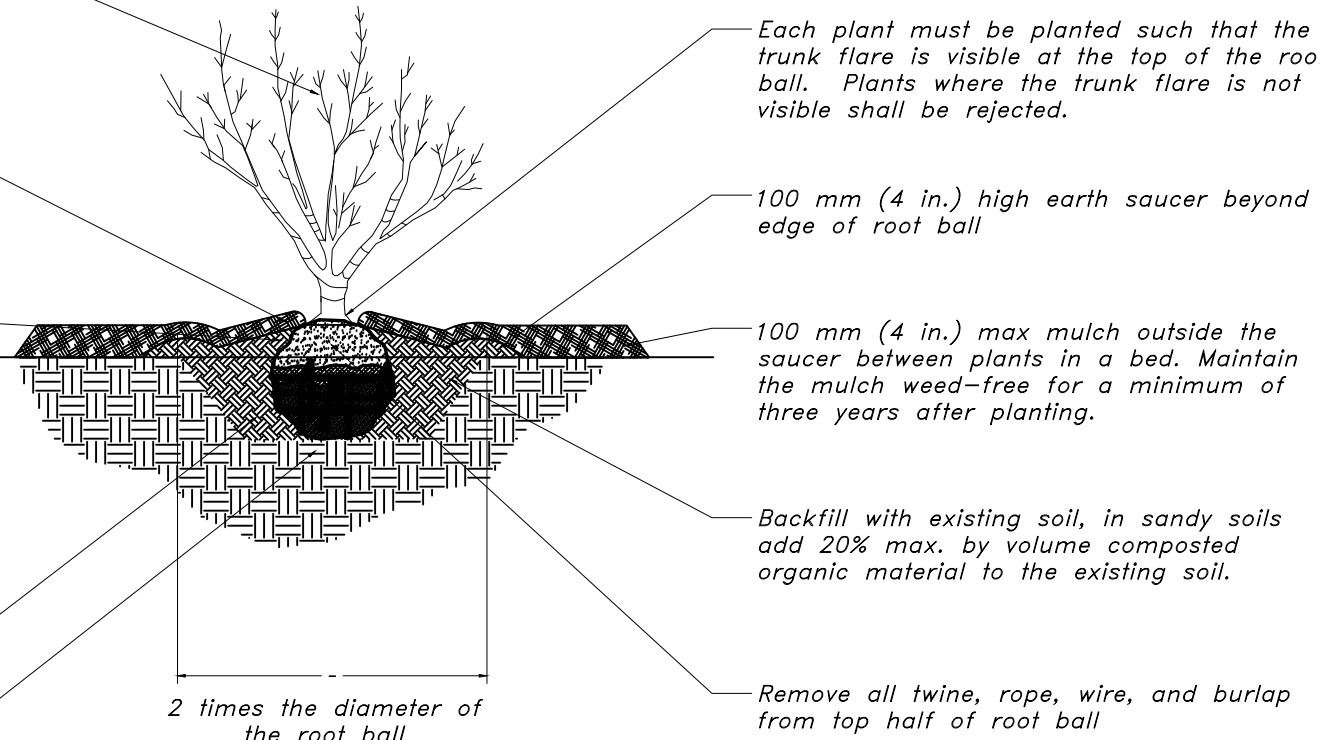
Set plant to display best face
towards the primary view
whenever possible.

50 MM (2 IN.) max. mulch over
the ball of the plant. Maintain
the mulch weed-free for a
minimum of three years after
planting.

Set top of root ball 3-4" above
surrounding grade and feather
planting soil towards the crown
of the plant.

Tamp soil around root ball base
firmly with foot pressure so that
root ball does not shift.

Place root ball on unexcavated
or tamped soil.



PLANTING NOTES

- ALL PLANT MATERIALS SHALL BE FIRST QUALITY NURSERY GROWN STOCK.
- ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH NEW HAMPSHIRE LANDSCAPE ASSOCIATION STANDARDS AND GUARANTEED FOR ONE YEAR BY THE LANDSCAPE CONTRACTOR.
- AFTER PLANTING, ALL PLANTS SHALL BE FLOODED AT THE BASE WITH WATER FROM A SLOW-RUNNING HOSE FOR 5 MINUTES EACH.
- ALL PLANTS SHALL BE INSTALLED BEFORE ANY GRASS IS SEEDDED.
- ALL SHRUBS AND PLANTING BEDS SHALL BE MULCHED WITH 3" OF DARK BROWN AGED BARK MULCH AS A FINAL STEP. MULCH MUST BE KEPT 2" AWAY FROM BASE OF EACH PLANT.
- THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND REPLACEMENT OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS.
- ALL REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY, AND KEPT FREE OF REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE, AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED, AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.
- MULCH USED WILL BE NON-COMBUSTIBLE OR APPROVED BY THE PORTSMOUTH FIRE DEPARTMENT.

AMENDED LANDSCAPE PLAN

- LANDSCAPING REMOVED IN NHDOT RIGHT OF WAY AS PER NHDOT REQUEST.
- LANDSCAPE PLAN HAS BEEN CHANGED TO DEPICT NEW PROPOSED MANHOLE AND CATCH BASIN LOCATIONS.
- PLANTING NOTES HAVE BEEN CHANGED TO REFLECT LANDSCAPING THAT HAS BEEN REMOVED IN THE NHDOT RIGHT OF WAY.

NOTES

- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.

INSTALLATION REQUIREMENTS:

- THE INSTALLATION OF A DRIP IRRIGATION SYSTEM IS RECOMMENDED TO ASSURE WELL GROWN PLANTS.
- IN CASE OF DROUGHT (DEFINED AS TWO WEEK PERIOD WITHOUT RAIN) ALL NEW PLANTS SHALL BE WATERED THROUGH NOVEMBER 1ST DURING THE FIRST SEASON IN WHICH THE ARE INSTALLED. THEY SHALL BE WATERED ONE TIME PER DAY FOR THE FIRST WEEK AFTER INSTALLATION AND THREE TIMES PER WEEK FOR THE REMAINDER OF THE SEASON. AFTER THE FIRST SEASON WHEN THE ROOTS OF THE PLANTS ARE ESTABLISHED THEY WILL NOT REQUIRE WATERING.
- SOAKER HOSES WOUND THROUGH THE BED NEAR THE BASE OF EACH PLANT ARE THE RECOMMENDED METHOD OF WATERING DURING THE FIRST SEASON. THESE CA BE REMOVED AFTER NOVEMBER 30TH WHEN THE PLANTS ARE ESTABLISHED.

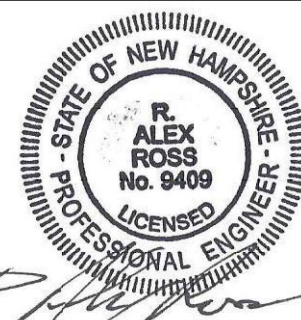
LEGEND

- MONUMENT FOUND
- MONUMENT SET
- 6' STOCKADE FENCE
- ASPHALT CURB
- 6' CHAIN LINK FENCE
- UTILITY POLE
- CATCH BASIN
- WATER VALVE

CITY OF PORTSMOUTH PLANNING BOARD

CHAIRPERSON

DATE



8	6/11/2024	REVISIONS	
7	6/4/2024	REVISIONS	
6	5/17/2024	REVISIONS	
5	5/22/2023	REVISIONS	
4	5/25/2022	FOR PB	
3	4/26/2022	FOR TAC	
ISS.	DATE	DESCRIPTION OF ISSUE	

SCALE 1" = 20'

CHECKED A.ROSS

DRAWN D.D.D.

CHECKED

ROSS ENGINEERING, LLC
Civil/Structural Engineering
& Surveying
909 Islington St.
Portsmouth, NH 03801
(603) 433-7560

CLIENT
RIGZ ENTERPRISES LLC
18 DIXON LANE
DERRY, NH 03038

TITLE

**LANDSCAPE
PLAN**

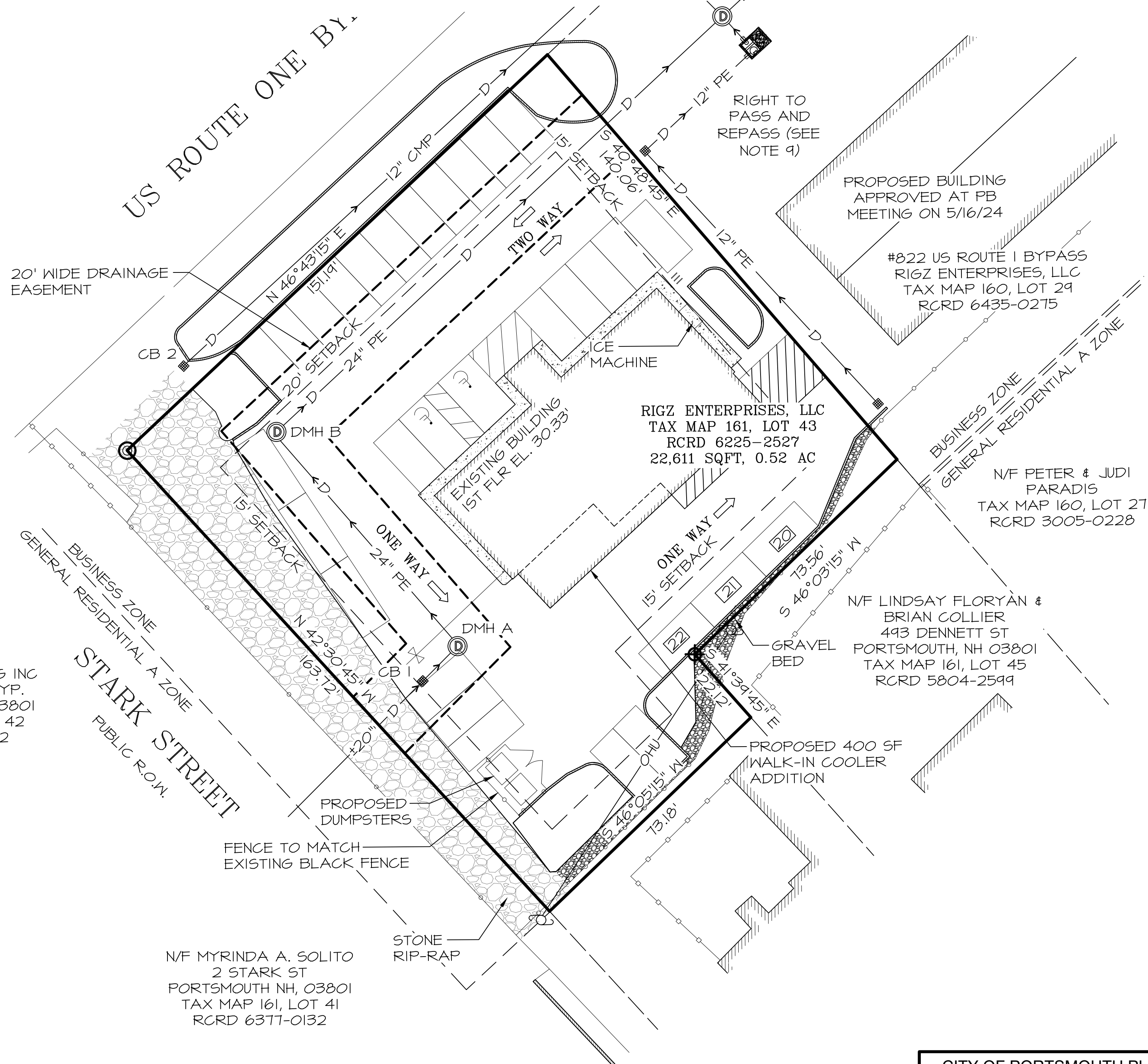
806 US-1 BYP.
PORTSMOUTH, NH 03801
TAX MAP 161, LOT 43

JOB NUMBER	DWG. NO.	ISSUE
21-072	4 OF 7	8

- EASEMENT PLAN ADDED SHOWING DRAINAGE EASEMENT ACROSS LOT 43.

<u>LENGTH TABLE</u>		
	BEARING	DISTANCE
LI	N 44°46'15" E	19.71'

EASEMENT PLAN



1) OWNER OF RECORD:
RIGZ ENTERPRISES, LLC
18 DIXON LANE
DERRY, NH 03038

TAX MAP 161, LOT 43
806 US ROUTE 1 BYPASS
PORTSMOUTH, NH 03801
RCRD: 6225-2527
AREA: 22,611 SF, 0.52 ACRES

- 2) THE PURPOSE OF THIS PLAN IS TO DEPICT A 4,439 SF DRAINAGE EASEMENT ACROSS LOT 43 TO THE BENEFIT OF THE CITY OF PORTSMOUTH FOR PURPOSES OF INSTALLING, MAINTAINING, INSPECTING, REMOVING, REPAIRING THE DRAINAGE PIPE & DRAINAGE STRUCTURES THAT DRAIN FROM OFF-SITE THROUGH LOT 43 TO LOT 29 TO BURKITT ST. EASEMENT TO BE 20' WIDE, CENTERED ON THE CENTERLINE OF THE PROPOSED DRAINAGE PIPE.

	MONUMENT FOUND
	MONUMENT SET
	6' STOCKADE FENCE
	VERTICAL GRANITE CURB
	6' CHAIN LINK FENCE
	UTILITY POLE
	CATCH BASIN
	DRAIN MANHOLE
	DRAIN LINE

8	6/11/2024	REVISIONS	
7	6/4/2024	REVISIONS	
6	5/17/2024	REVISIONS	
5	5/22/2023	REVISIONS	
4	5/25/2022	FOR PB	
3	4/26/2022	FOR TAC	
ISS.	DATE	DESCRIPTION OF ISSUE	

SCALE $1'' = 20'$

CHECKED A. ROSS

	A. RUSS
DRAWN	DDO

D.D.D.
CHECKED

ROSS ENGINEERING, LLC

**Civil/Structural Engineering
& Surveying**
909 Islington St.
Portsmouth, NH 03801
(603) 433-7560

CLIENT
RIGZ ENTERPRISES LLC
18 DIXON LANE
DERRY, NH 03038

TITLE

EASEMENT PLAN

806 US-1 BYP.
PORTSMOUTH, NH 03801
TAX MAP 161, LOT 43

JOB NUMBER	DWG. NO.	ISSUE
21-072	5 OF 7	8

CITY OF PORTSMOUTH PLANNING BOARD

CHAIRPERSON

DATE _____

I ALEX ROSS, HEREBY CERTIFY:

A) THAT THIS SURVEY PLAT WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION.

B) THIS PLAN IS A RESULT OF FIELD SURVEY PERFORMED BY
DDD, & ICA DURING JULY OF 2022. THE ERROR OF
CLOSURE IS BETTER THAN 1/15,000.
SURVEY PER NHLSA STANDARDS; CATEGORY 1, CONDITION 1.

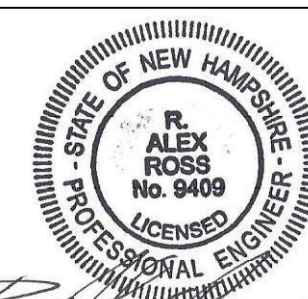
R. ALEX ROSS

DATE _____

GRAPHIC SCALE

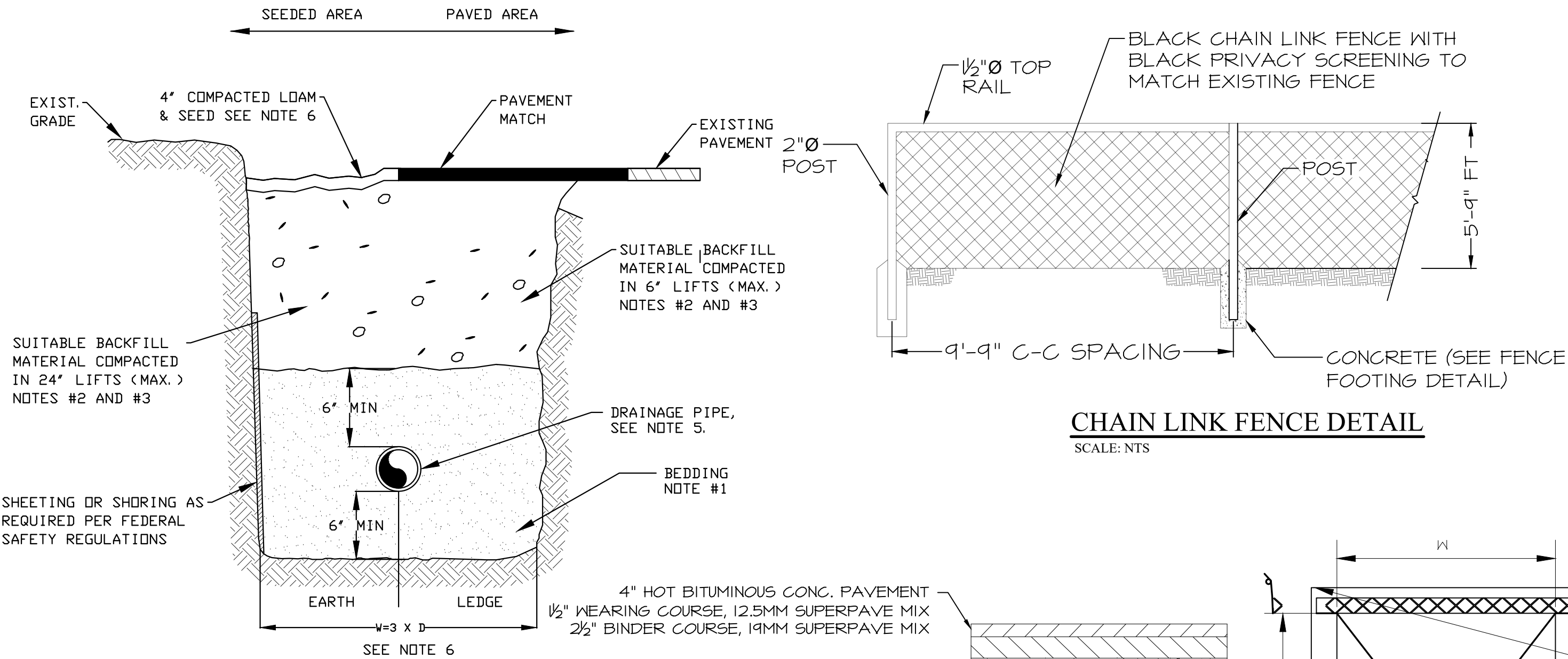


(IN FEET)
SCALE: 1" = 20'



TRENCH NOTES - STORM DRAIN:

- 1) **BEDDING:** BEDDING FOR PIPES SHALL CONSIST OF PREPARING THE BOTTOM OF THE TRENCH TO SUPPORT THE ENTIRE LENGTH OF THE PIPE AT A UNIFORM SLOPE AND ALIGNMENT. CRUSHED STONE SHALL BE USED TO BED THE PIPE TO THE ELEVATION SHOWN ON THE DRAWINGS. NORMAL PIPE BEDDING IS CRUSHED STONE TO THE HAUNCH OF THE PIPE AND SAND BEDDING 6' ABOVE THE CROWN. IF THE TOP OF THE PIPE IS LESS THAN 30' FROM FINISH GRADE, BED PIPE COMPLETELY IN STONE UP TO 6' ABOVE PIPE CROWN. UNDERDRAIN TO HAVE 4' MIN' OF STONE OVER PIPE OR AS NECESSARY TO BE IN CONTACT WITH GRAVEL LAYER OF SELECTS ABOVE FILTER FABRIC TO BE PLACED IN BETWEEN ALL STONE BEDDING MATERIAL AND SUBSEQUENT LAYERS OF FILL MATERIAL.
- 2) **COMPACTION:** ALL BACKFILL SHALL BE COMPACTED AT OR NEAR OPTIMUM MOISTURE CONTENT BY PNEUMATIC TAMPERS, VIBRATORY COMPACTORS OR OTHER APPROVED MEANS. BACKFILL BENEATH PAVED SURFACES SHALL BE COMPACTED TO NOT LESS THAN 95 PERCENT OF AASHTO T99, METHOD C.
- 3) **SUITABLE MATERIAL:** IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE CDOURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS; PIECES OF PAVEMENT; ORGANIC MATTER; TOP SOIL; ALL WET OR SOFT MUCK, PEAT, OR CLAY; ALL EXCAVATED LEDGE MATERIAL; ROCKS OVER 6 INCHES IN LARGEST DIMENSION; FROZEN EARTH AND ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION.
- IN SEEDED AREAS, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAD, ROCKS UNDER 12", FROZEN EARTH OR CLAY, IF HE/SHE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EAST ACCESS TO THE PIPE WILL BE PRESERVED.
- 4) **BASE COURSE AND PAVEMENT:** SHALL MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES - DIVISIONS 300 AND 400 RESPECTIVELY.
- 5) **DRAINAGE PIPE:** PIPE MATERIALS SHALL BE POLYETHYLENE <SEE SPECIFICATIONS>.
- 6) **W=MAXIMUM ALLOWABLE TRENCH WIDTH:** W SHALL BE THE MAXIMUM PAYMENT WIDTH FOR ROCK EXCAVATION <TRENCH> AND FOR ORDERED EXCAVATION BELOW GRADE.

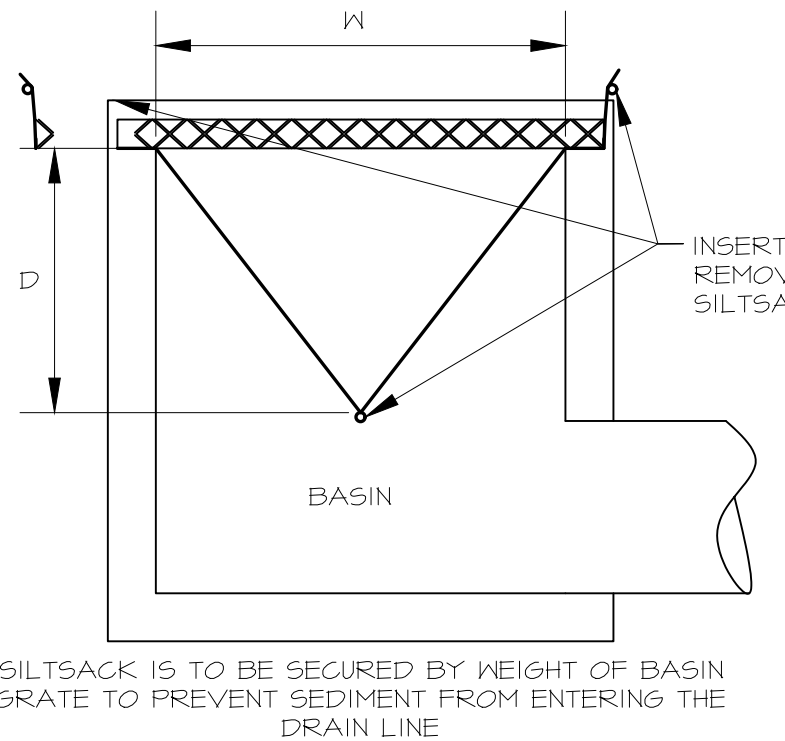


TRENCH DETAIL-STORM DRAIN

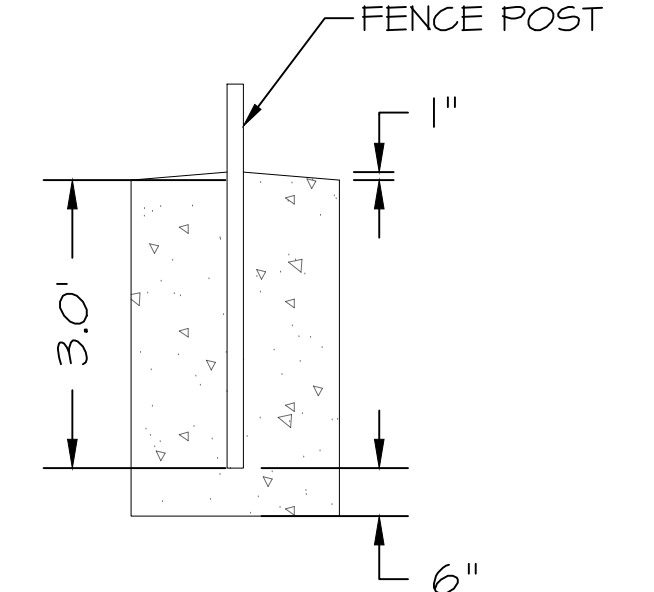
Scale : N.T.S.

ASPHALT PAVEMENT DETAIL

Scale : N.T.S.

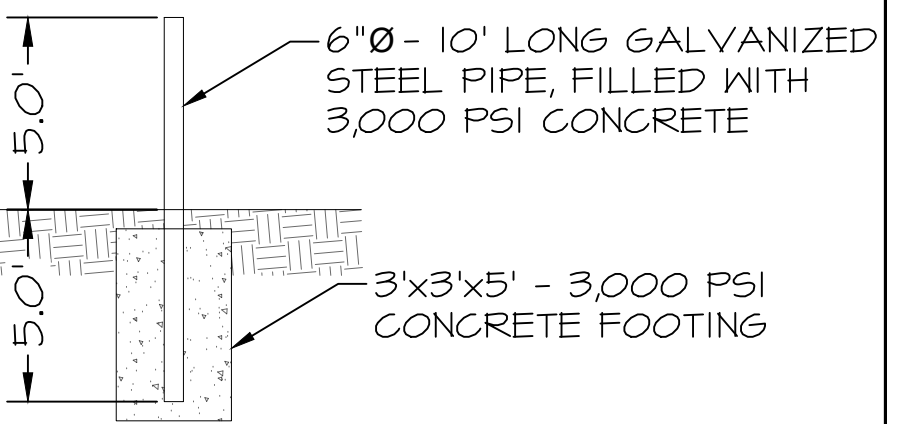


Siltsack
N.T.S.



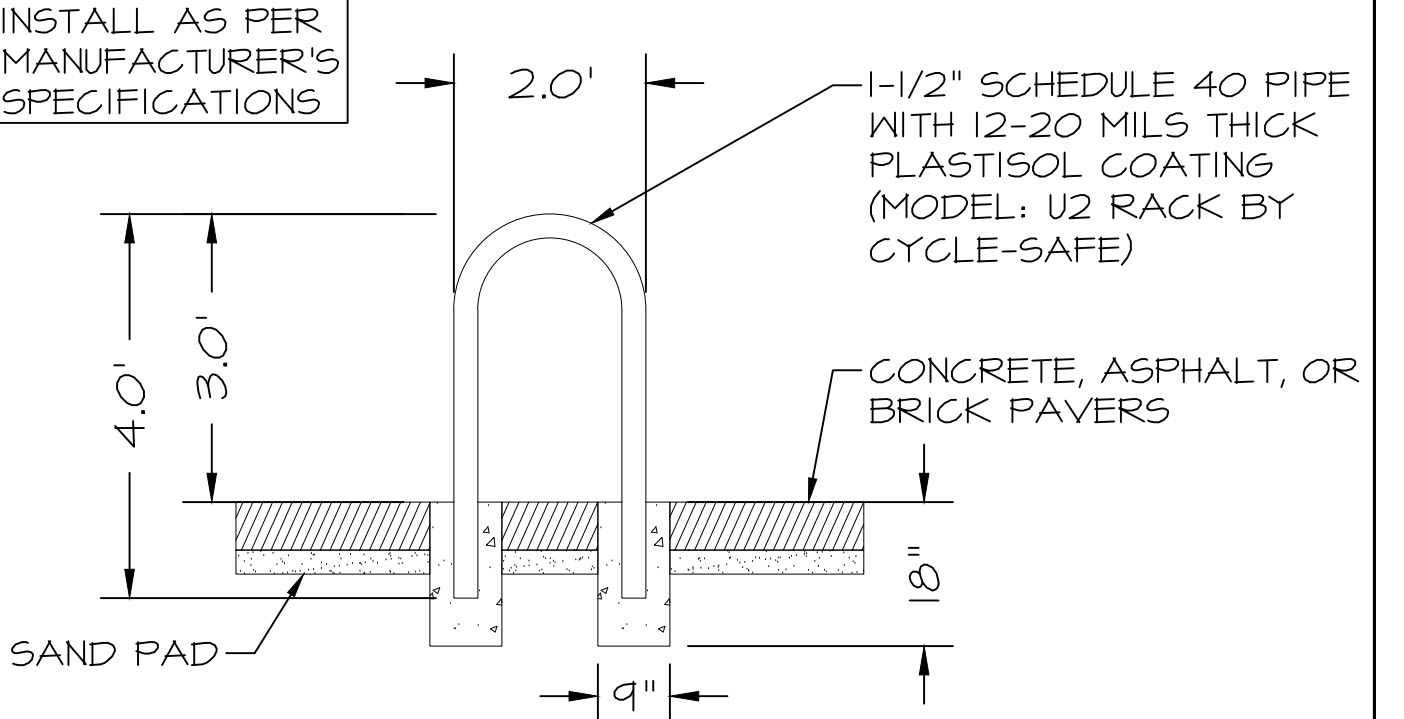
FENCE FOOTING DETAIL

SCALE: NTS



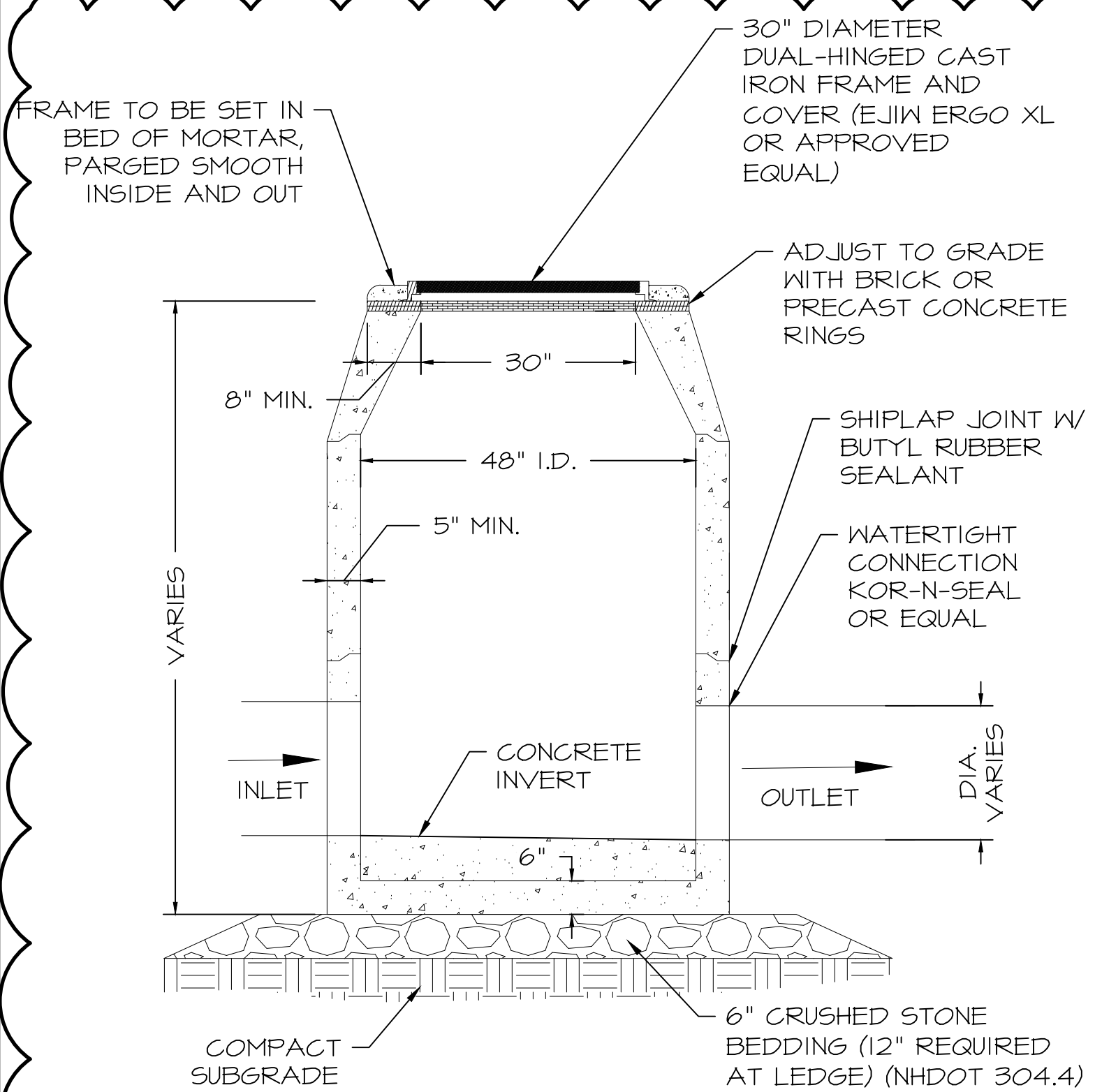
BOLLARD DETAIL

SCALE: NTS



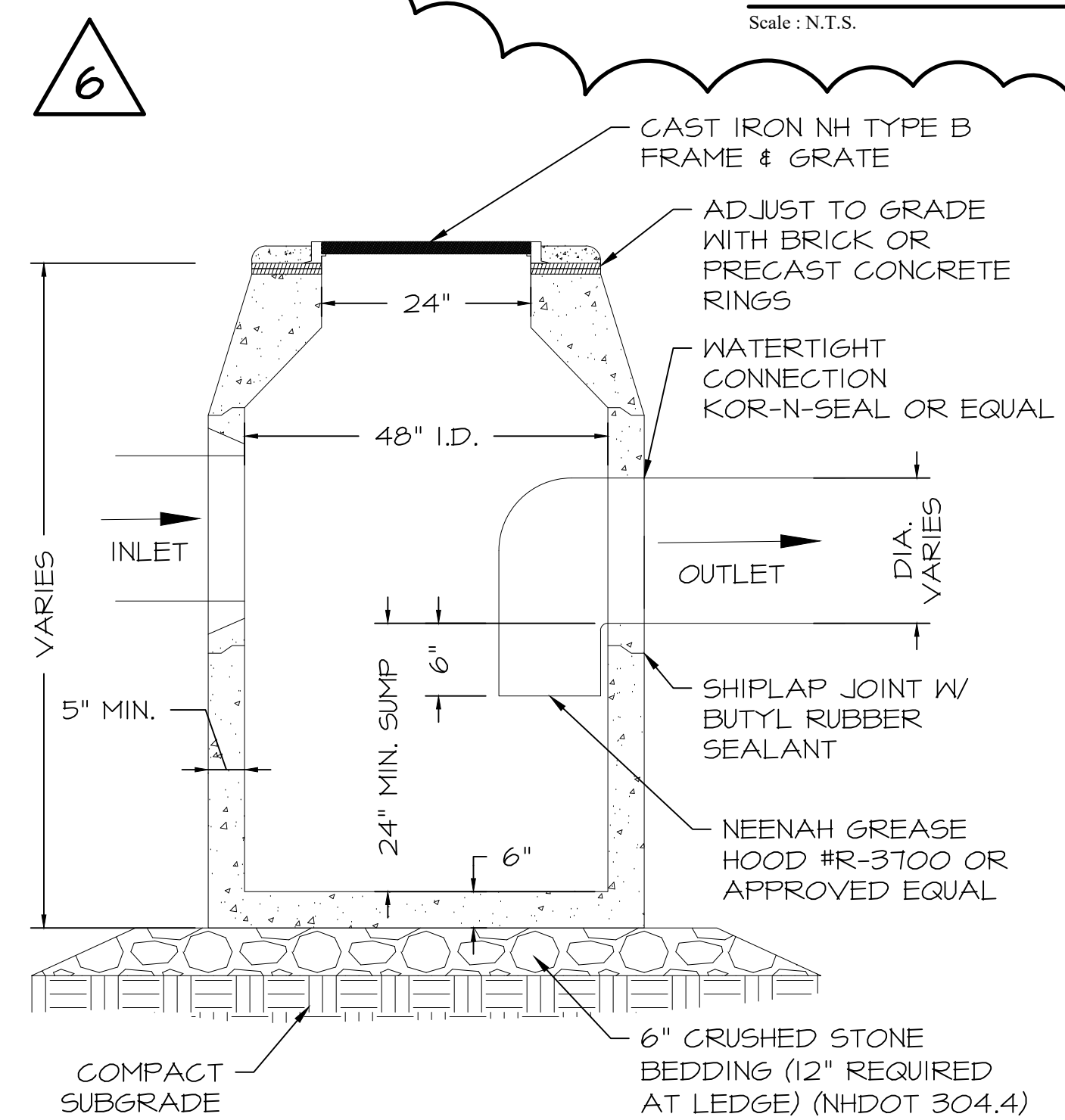
UPTURNED "U" BICYCLE RACK

SCALE: NTS



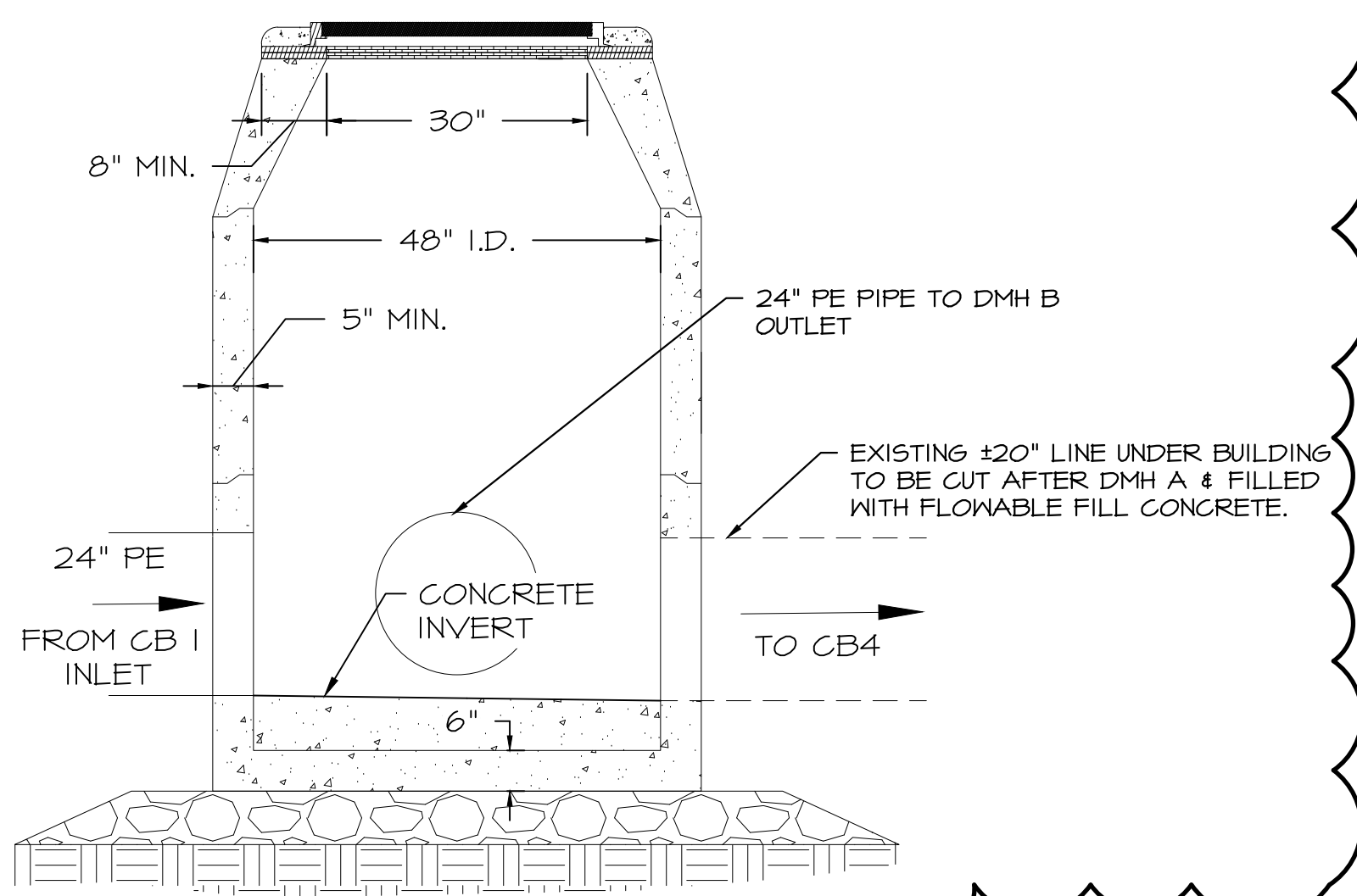
PROPOSED DRAIN MANHOLE (TYP)

N.T.S.



PROPOSED CATCH BASIN (TYP)

N.T.S.



DRAIN MANHOLE A DETAIL

N.T.S.

AMENDED DETAILS PLAN
• MANHOLE & CATCH BASIN DETAILS REVISED

NOTES

- 1) ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
- 2) CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
- 3) JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
- 4) CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN PER LINEAR FT. IN ALL SECTIONS & SHALL BE PLACED IN THE CENTER THIRD OF WALL.
- 5) THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ IN PER LINEAR FT.
- 6) EACH CASTING TO HAVE LIFTING HOLES CAST IN.

NOTES

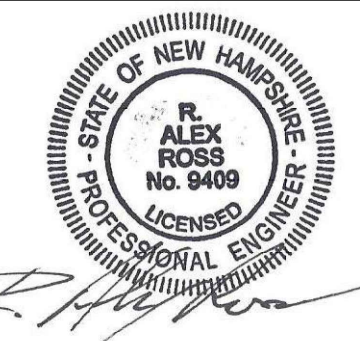
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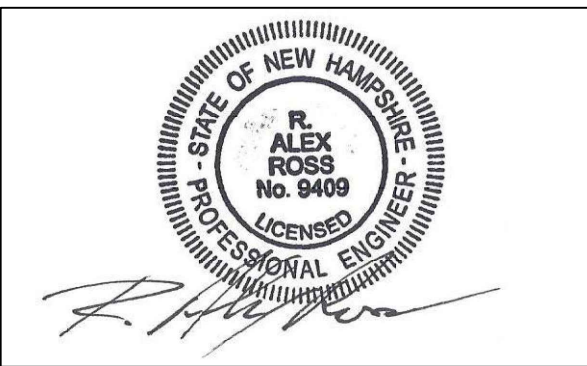
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7	6/4/2024	REVISIONS	
6	5/17/2024	REVISIONS	
5	5/22/2023	REVISIONS	
4	5/25/2022	FOR PB	
3	4/26/2022	FOR TAC	
ISS.	DATE	DESCRIPTION OF ISSUE	
SCALE	1" = 20'		
CHECKED	A.ROSS		
DRAWN	D.D.D.		
CHECKED			

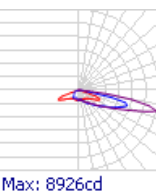
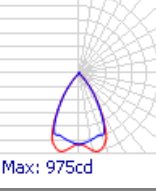
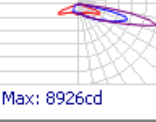
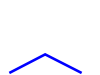
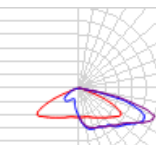
ROSS ENGINEERING, LLC
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& Surveying
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Portsmouth, NH 03801
(603) 433-7560

CLIENT
RIGZ ENTERPRISES LLC
18 DIXON LANE
DERRY, NH 03038

TITLE		
NOTES & DETAILS		
806 US-1 BYP. PORTSMOUTH, NH 03801 TAX MAP 161, LOT 43		
JOB NUMBER	DWG. NO.	ISSUE
21-072	6 OF 7	8

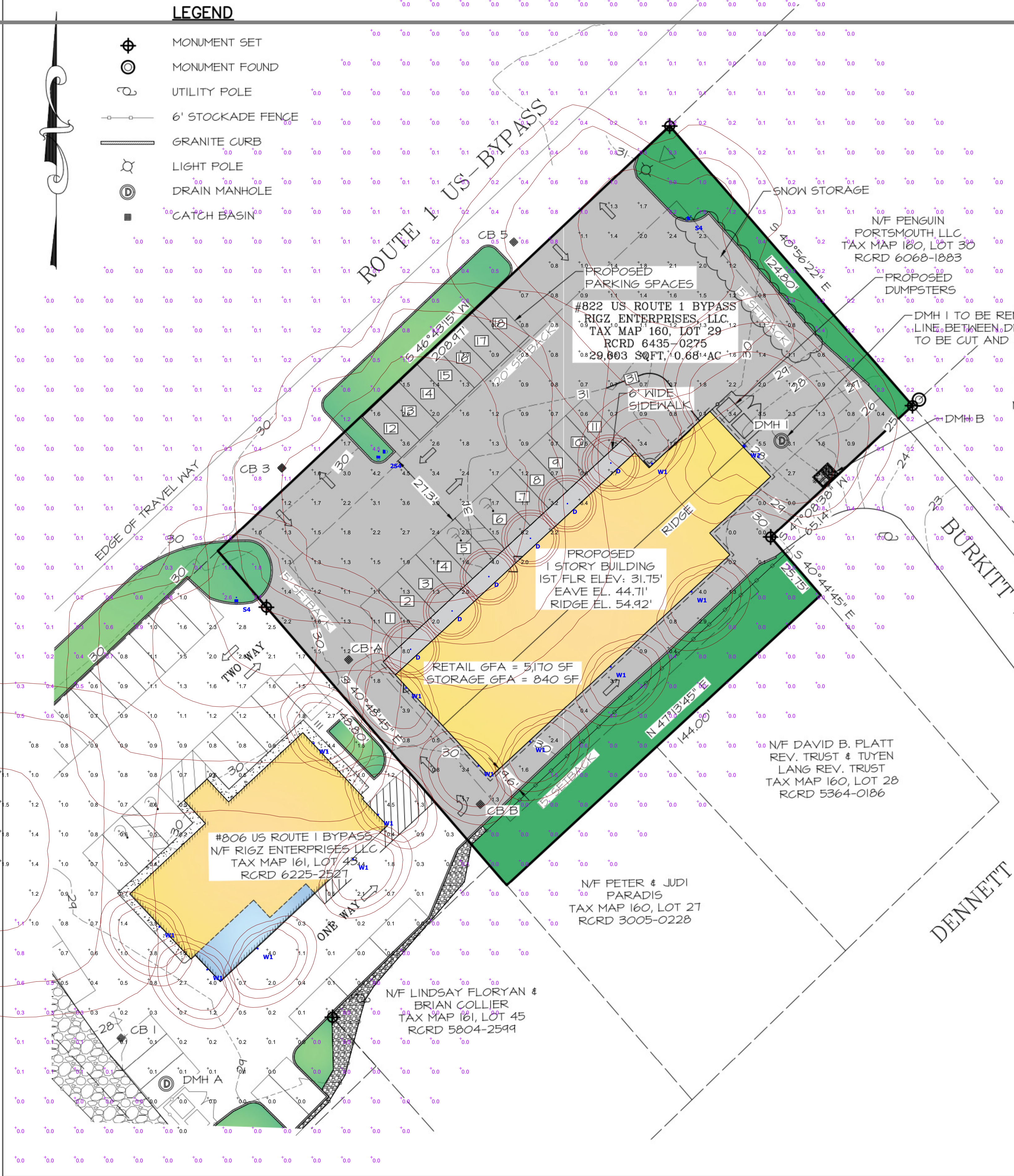




Schedule												
Symbol	QTY	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens per Lamp	LLF	Wattage	Label	Distribution	Polar Plot
	1	Lithonia Lighting	DSX0 LED P4 30K 80CRI TFTM MVOLT SPA DDBXD with SSS 18 4C DM29AS DDBXD	2 D-Series Size 0 Area Fixture; mounted at 20ft (18ft pole on 2ft base)	LED	DSX0_LED_P4_30K_80CRI_TFTM.ies	9908	0.9	186.08	2S4	TYPE IV, SHORT, BUG RATING: B2 - U0 - G3	 Max: 892cd
	6	Lithonia Lighting	LDN4 30/10 LO4AR LD	4in LDN Round Downlight; mounted at 10ft	LED	LDN4_30_10_LO4AR_LD.ies	922	0.9	10.58	D	DIRECT, SC-0=1.04, SC-90=1.06	 Max: 975cd
	3	Lithonia Lighting	DSX0 LED P4 30K 80CRI TFTM MVOLT SPA DDBXD with SSS 18 4C DM19AS DDBXD	D-Series Size 0 Area Fixture; mounted at 20ft (18ft pole on 2ft base)	LED	DSX0_LED_P4_30K_80CRI_TFTM.ies	9908	0.9	93.04	S4	TYPE IV, SHORT, BUG RATING: B2 - U0 - G3	 Max: 892cd
	12	Lithonia Lighting	WDGE1 LED P1 30K 80CRI VW MVOLT SRM DDBXD	WDGE1 LED Wallpack; mounted at 10ft	LED	WDGE1_LED_P1_30K_80CRI_VW.ies	1163	0.9	10.0002	W1	TYPE II, VERY SHORT, BUG RATING: B0 - U0 - G0	 Max: 877cd
	1	Lithonia Lighting	WDGE3 LED P1 70CRI RFT 30K MVOLT SRM DDBXD	WDGE3 LED Wallpack; mounted at 16ft	LED	WDGE3_LED_P1_70CRI_RFT_30K.ies	6996	0.9	51.1717	W2	TYPE IV, SHORT, BUG RATING: B1 - U0 - G2	 Max: 3372cd

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Outside of Parking Lot	+	0.1 fc	4.5 fc	0.0 fc	N/A	N/A
Parking Lot (larger building)	+	1.7 fc	8.0 fc	0.0 fc	N/A	N/A
Parking Lot (smaller building)	+	1.0 fc	4.5 fc	0.0 fc	N/A	N/A



Plan View
Scale - 1" = 20ft



THE CITY Portsmouth, NH Site Lighting Layout

Designer
Heidi G. Connors
Visible Light, Inc.
24 Stickney Terrace
Suite 6
Hampton, NH 03842
Date
4/12/2024
Scale
1"=20'
Drawing No.
Summary