

**SITE PLAN REVIEW TECHNICAL ADVISORY COMMITTEE  
PORTSMOUTH, NEW HAMPSHIRE**

**WORK SESSION**

**Conference Room A  
City Hall, Municipal Complex, 1 Junkins Avenue**

**2:00 PM**

**June 10, 2025**

**AGENDA**

**2:00 PM**

62 McKinley Road  
Tyler Garzo  
(LUTW-25-13)

**Subdivision**

**2:30 PM**

58 Humphreys Court  
Robert M. Snover Trust  
Haley Ward, Engineer  
(LUTW-25-12)

**Subdivision**



RECOMMENDED  
DRIPLINE TRENCH  
PURPOSE:

THE PURPOSE OF THE TRENCH IS TO COLLECT AND INFILTRATE  
STORMWATER, AND CONTROL EROSION RUNOFF FROM ROOFTOP.  
CAUTION: DRIPLINE TRENCHES WORK BEST IN SAND & GRAVEL SOILS.  
THEY SHOULD NOT BE USED ON STRUCTURES WITH IMPROPERLY  
SEALED FOUNDATIONS, FLOODING MAY OCCUR.

INSTALL:

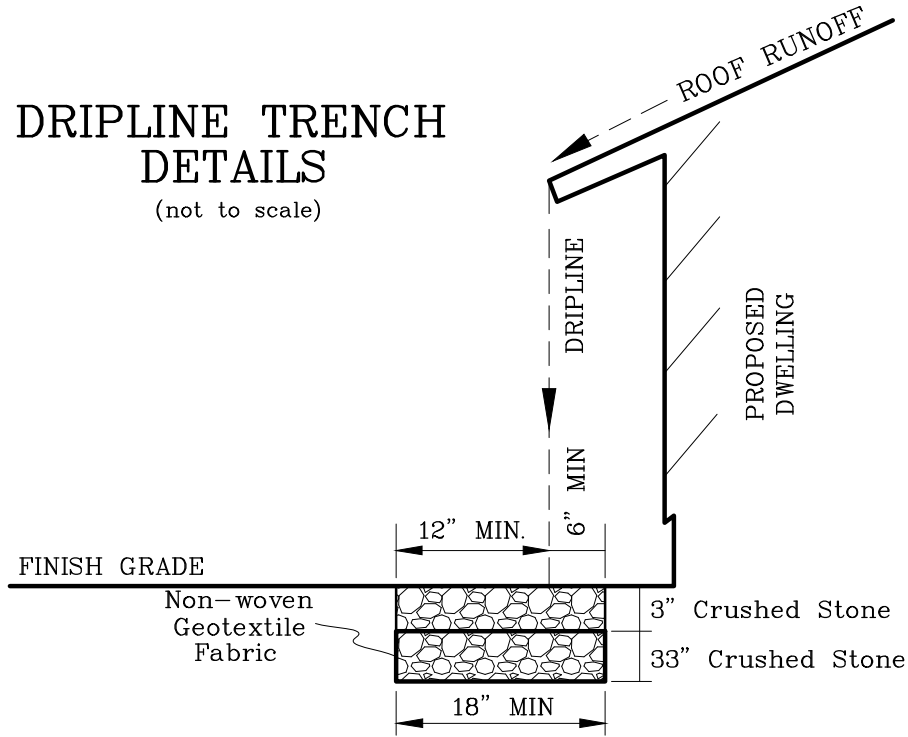
- 1) DIG A TRENCH 18" WIDE AND AT LEAST 36" DEEP ALONG THE  
DRIPLINE. SLOPE THE BOTTOM AWAY FROM HOUSE FOUNDATION.  
THE FRONT/SIDES OF TRENCH MAY BE EDGED TO KEEP STABILIZE.
- 2) LINE TRENCH SIDES WITH NON-WOVEN GEOTEXTILE FABRIC.
- 3) FILL THE TRENCH WITH 1/2"-1 1/2" CRUSHED STONE TO WITHIN  
3" OF THE GROUND LEVEL. FOLD A FLAP OF NON-WOVEN FABRIC  
OVER THE TOP OF TRENCH AND TOP OFF WITH CRUSHED STONE.

MAINTENANCE:

- 1) REMOVE ACCUMULATED DEBRIS AND WEEDS FROM THE SURFACE AND  
AROUND AREA.
- 2) EVENTUALLY THE FABRIC AND STONE WILL NEED TO BE REMOVED AND  
WASHED TO CLEAN OUT ANY ACCUMULATED SEDIMENT AND DEBRIS.

DRIPLINE TRENCH  
DETAILS

(not to scale)



RECOMMENDED  
EROSION/SEDIMENTATION CONTROL:

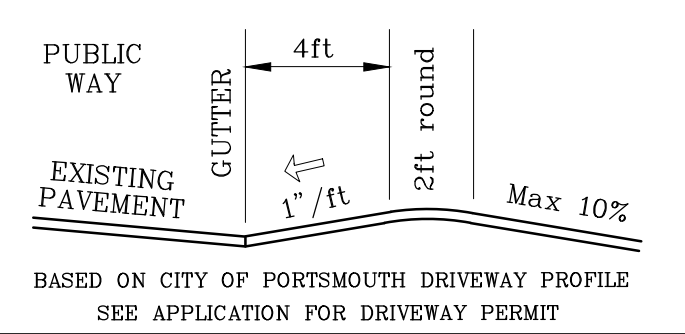
- 1) Any stripping of vegetation shall be done in such a way that will minimize  
soil erosion. Whenever practical, the natural vegetation shall be retained,  
protected and supplemented, when needed.
- 2) Any soil areas disturbed during construction to be loam, seeded and mulched.
- 3) Install 'Dripline Trench' to collect and infiltrate stormwater and control  
erosive runoff from the rooftop.
- 4) If, during construction, it becomes apparent that deficiencies exist in the approved  
design drawings, the Contractor shall be required to correct the deficiencies to  
meet the requirements of the regulations at no expense to the City.
- 5) Required erosion control measures shall be installed prior to any disturbance of the  
site's surface area and shall be maintained through the completion of all construction  
activities. If, during construction, it becomes apparent that additional erosion control  
measures are required to stop any erosion on the construction site due to actual site  
conditions, the Owner shall be required to install the necessary erosion protection at  
no expense to the City.

UTILITIES NOTES:

- 1) Visible improvements were located on-site. The underground water & sewer  
line sizes & locations, including the sewer manhole number and elevations  
are on plans provided by City of Portsmouth Department of Public Works.
- 2) The 'Proposed Lot' to be service by available Municipal water and sewer.  
Installation of the water and sewer to be at the direct supervision of the  
City of Portsmouth Water & Sewer Department.
- 3) The 'Proposed Lot' to be serviced by overhead utilities as per specifications  
of the public utility companies involved. Any necessary easement to be  
conveyed to the public utility companies involved.

TYPICAL DRIVEWAY PROFILE

(NOT TO SCALE)



VARIANCES SOUGHT:

- 1) The plan intent is to subdivide the subject parcel into (2) two new lots, with variances granted.  
Variances Granted from Section 10.520, Table 10.521 on (xx/xx/2025) to allow:  
a) Lot 26, Lot area and lot area per dwelling unit of 8430 Sq Ft for a lot with an existing  
structure where 15,000 Sq Ft is required for each.  
b) Lot 26, 87 feet of lot depth where 100 feet is required.  
c) Lot 26, Rear yard setback of 10 feet where 30 feet is required.  
d) Lot 26-1, Lot area and lot area per dwelling unit of 8430 Sq Ft for a proposed lot where  
where 15,000 Sq Ft is required for each.  
e) Lot 26-1, 74.13 feet existing lot depth where 100 feet is required.

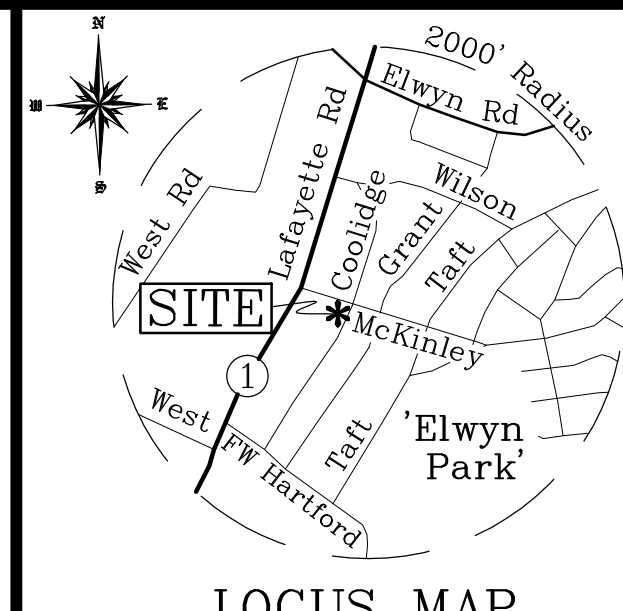
NOTE: FOR SPECIFIC AREA OF REQUEST, SEE LABELS ON PLAN, (VA1a, VA1b,...).

NOTES:

- 1) The subject parcel (TM268 L26) is zoned Single Residence B (SRB) with no overlay districts.  
a) SRB Dimensional Requirements:  
Minimum Lot Size=15,000 sq ft, Minimum Street Frontage=100ft, Minimum Depth=100ft.  
Minimum Yard Setbacks: Front 30ft, Side 10ft & Rear 30ft.  
Maximum Structures: Structure Height 35ft, Roof 8ft, Building Coverage 20%,  
Min. Open Space 40%.
- 2) No part of the subject parcel is located within a Special Flood Hazard Area (SHHA) as per  
FEMA - FIRM, Community Panel No. 330139-0270-E. Effective Date: May 17, 2015.
- 3) The existing garage on 268/26 to be relocated, as shown and portions of the existing  
pavement (dotted area) to be removed.

PLAN REFERENCES:

- 1) See "Plan of Lots, Part of Elwyn Park, Portsmouth, NH"  
Scale: 1"=100' Date: May 1946 by John W. Durgin, CE  
RCRD Plan No. 01068.
- 2) See "Plan of Lots, Part of Elwyn Park, Portsmouth, NH"  
Scale: 1"=100' Date: May 1947 by John W. Durgin, CE  
RCRD Plan No. 01321.
- 3) See "Subdivision Plan..Matthew Wajda, 183 Coolidge Drive.."  
Scale: 1"=20' Date: Oct. 2019+ by Ambit Engineering, Inc.  
RCRD Plan No. 42376. (+=with revision dates)
- 4) Archived survey records from the 'JW Durgin Collection'  
Acquired from JVA - James Verra & Assoc., Inc.  
a) See "Plan of Lot, 62 McKinley Road, Portsmouth, NH"  
Scale: 1"=20' Date: June 1954 by John W. Durgin, CE  
File No. 2320, Plan No. L-116, Unrecorded  
Note: This plan shows distance ties from buildings to  
lot corners.



LOCUS MAP

(Scale 1"=1000')

LEGEND/SYMBOLS

RCRD	Rockingham County Registry of Deeds
268/26	Tax Map No. & Lot No.
N/F	Now or Formerly
Sq Ft	Square Feet
Ac	Acre
Fnd	Found
A	Arc Length
R	Radius
Retaining Wall	Retaining Wall
IP	Iron Pipe
Rebar	Reinforced Iron Bar
w/Plastic I.D. Cap #893	w/Plastic I.D. Cap #893
UP232/3	Utility Pole & Line/Pole No.
OHU	Over Head Utilities
Stockade Fence	Stockade Fence
Split-Rail Fence	Split-Rail Fence
Chain-Link Fence	Chain-Link Fence
Cast Iron	Cast Iron
Asbestos Cement	Asbestos Cement
Ductile Iron	Ductile Iron
Direction of Flow	Direction of Flow
S+ Sewer Line (approx.)	S+ Sewer Line (approx.)
SMH289	Sewer Manhole No.
Rim70.16	Rim Elevation
Inv64.99	Pipe Invert Elevation
WG	Water Gate
E60	Ten foot contour
E58	Two foot contour
59.0	Spot Elevation
EOP	Edge of Pavement

TOTAL AREA

16,860 Sq Ft±  
0.387 Acs±

TOTAL 'NEW' LOT AREAS

TAX MAP 268  
LOT 26  
TOTAL AREA  
8,430 Sq Ft±  
0.194 Acs±  
(VA1a)

TAX MAP 268  
LOT 26-1  
TOTAL AREA  
8,430 Sq Ft±  
0.194 Acs±  
(VA1d)

OWNER OF RECORD

(Abutter/Owner of Record information  
was derived from City Records)

TAX MAP 268 LOT 26

Tyler Garzo  
62 McKinley Road  
Portsmouth, NH 03801  
See RCRD Bk:6431 Pg:2478  
(Plan Ref. No. 2 -Lot 19)  
(Also See Plan Ref. No. 1 & 4a)

"MINOR SUBDIVISION"

Topography & Utilities

Plan of Land

for

Tyler Garzo

in

Portsmouth, NH

Rockingham County

May 2025

Scale 1 inch = 30 feet

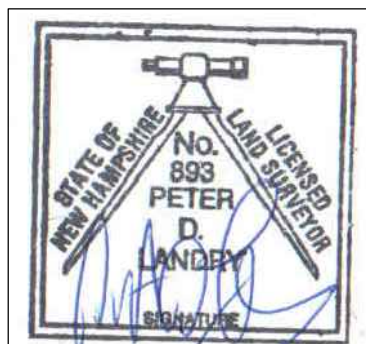
0 15 30 60 90 120 FEET

Landry Surveying, LLC

248 Mill Pond Road

Nottingham, NH 03290

(603) 679-1387



Revision Block

#	Date	Description	By





HALEY WARD

200 Griffin Road, Unit 14, Portsmouth, NH 03801  
Phone (603) 430-9282

2 June 2025

Peter Stith, TAC Chair  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, NH 03801

**RE: Request for TAC Review at 58 Humphrey's Court, Subdivision of Tax Map 101, Lot 47**

Dear Mr. Stith and TAC Members:

On behalf of the Robert M. Snover Trust, we are pleased to submit the attached plan set for **Technical Workshop Review** for the above-mentioned project and request that we be placed on the agenda for your **June 10, 2025**, Meeting. The project is the subdivision of an existing parcel into two new residential lots with the associated and required site improvements. As required under the Portsmouth Subdivision Ordinance we are required to bring the project to the Technical Advisory Committee (TAC) as a part of the approval process.

The site is currently a 10,005 square foot parcel developed with a single-family residence that is located within the General Residence B (GRB) and Historic Overlay Zoning Districts. The proposed lots would require the removal of the existing structure. The lots meet the frontage and area requirements of the Portsmouth Ordinance. There is an odd, proposed lot line angle from the street, which is explained in the attached development concept plans. The applicant is proposing to connect each lot to the public sewer, water, and power and communications systems located Humphrey's Court.

The following plans and additional information are included in our submission:

- Historic Lot Plan with current Tax Map overlay – this exhibit shows that the original subdivision plan contemplated two lots at this corner. The Tax Map exhibit shows the original subdivision plan lot(s) overlayed on to the current developed lots.
- Concept Site Layouts – these plans show two version of the site development; a joint driveway or a combined driveway.
- Standard Boundary and Topographic Survey Plan – this plan shows the existing boundary and site features.
- Preliminary Subdivision Plan – This plan shows the proposed lot lines.

We look forward to an in-person presentation and TAC review of this submission.

Sincerely,

John Chagnon, PE  
Senior Project Manager



OWNER AUTHORIZATION  
Snover Subdivision  
Humphreys Court, Portsmouth, New Hampshire

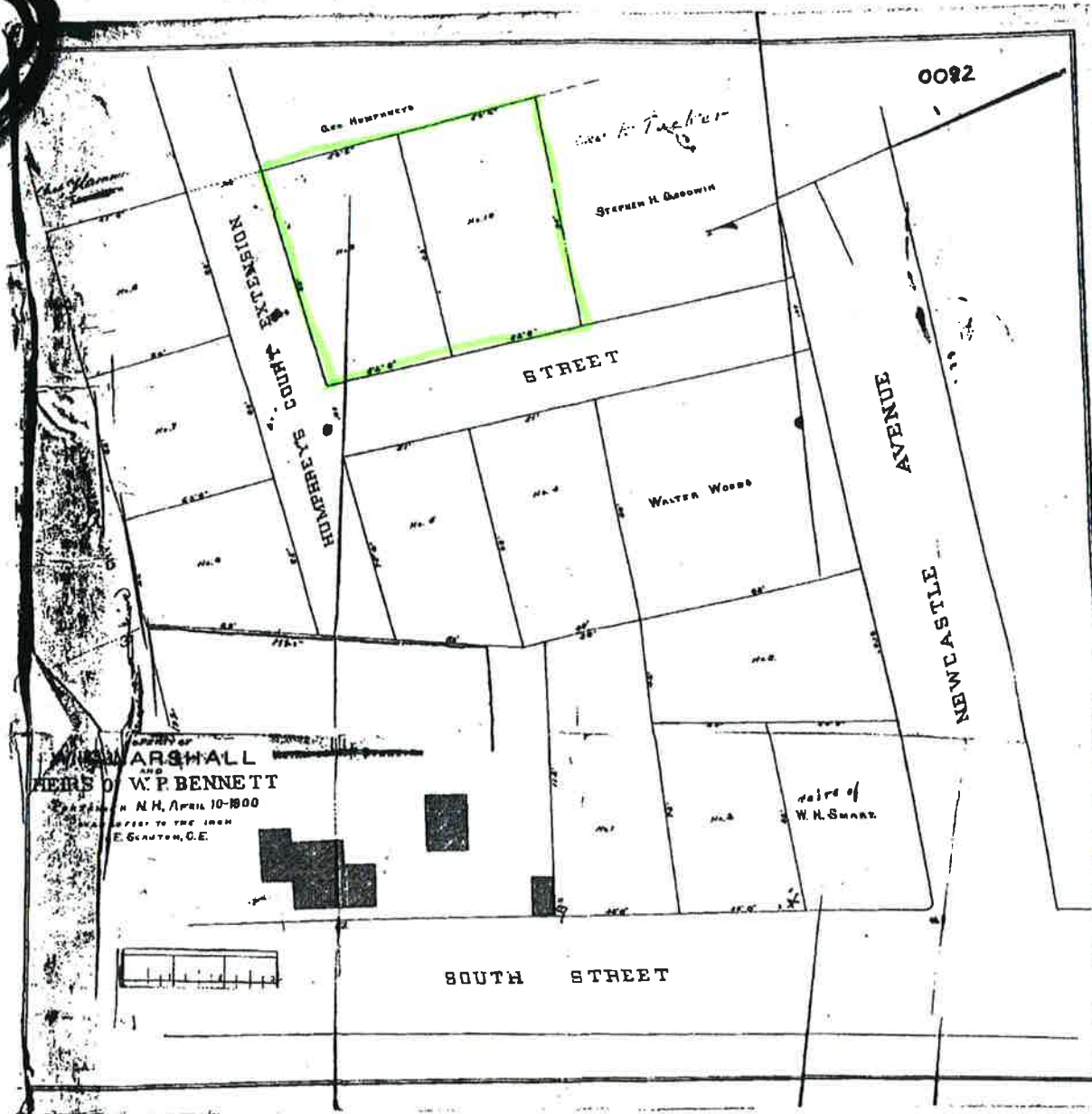
I, Robert Snover, hereby authorize representatives of Haley Ward, Inc. to represent my interests before land use boards of the City of Portsmouth and any other State and / or federal agency necessary to obtain permits for the above-mentioned property subdivision, and to submit any and all applications and related application materials thereto.

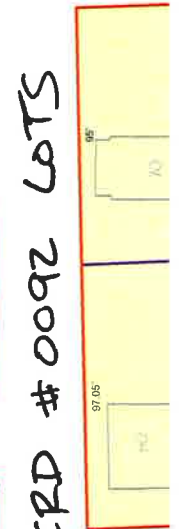
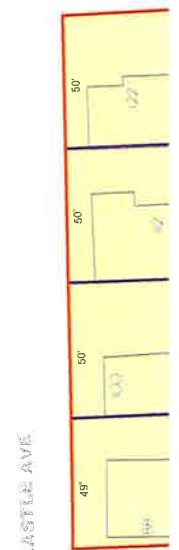
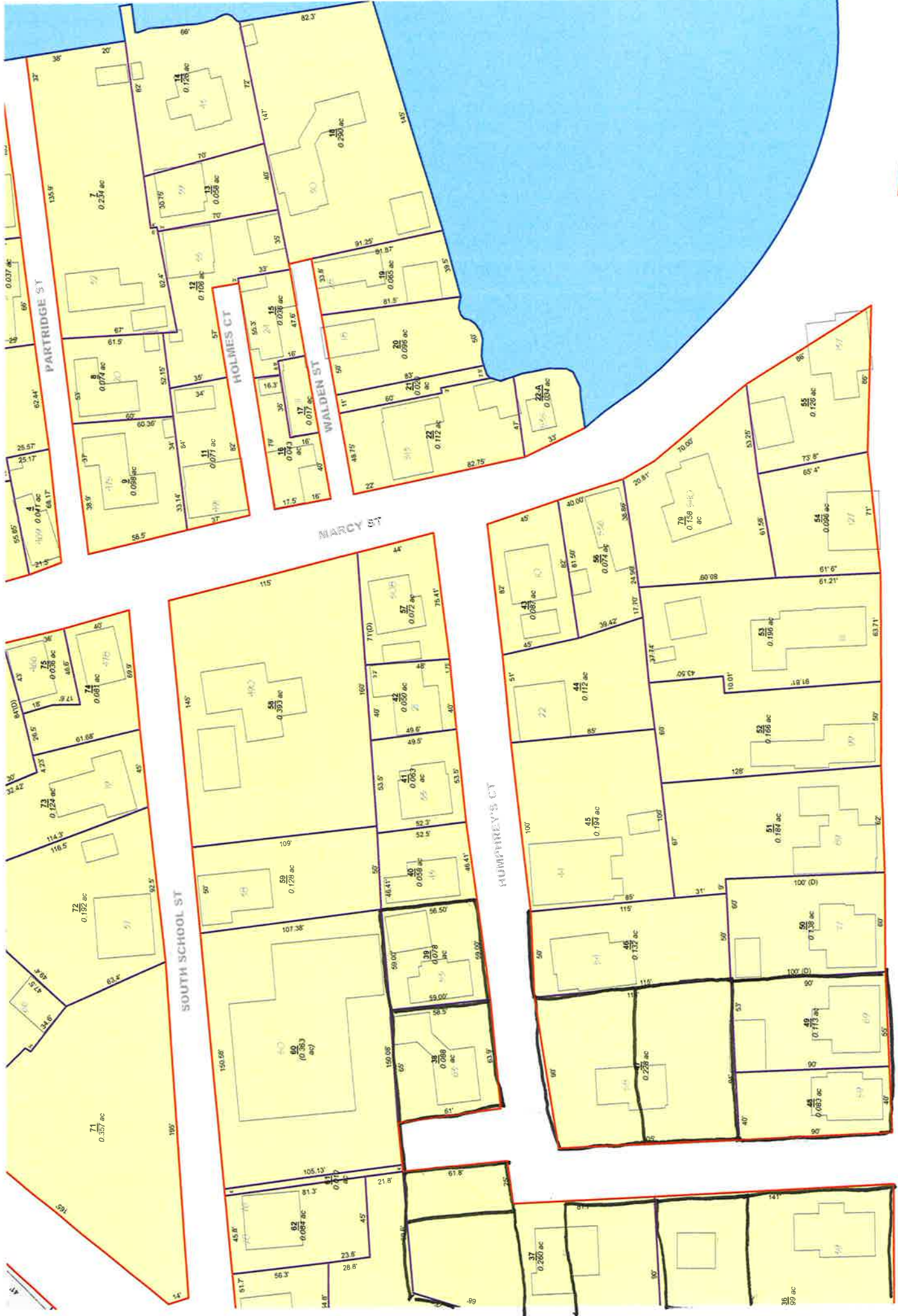
MAY 22, 2025

Robert Snover, Trustee

Date

#0092





RPD #0092 LOTS

NEW CASTLE AVE



HUMPHREYS COURT

SHARED  
DRIVEWAY

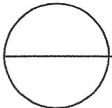
LOT 1

RET-WALL

LOT 2

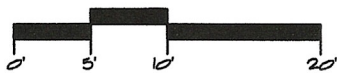
GARAGE

BARN



CONCEPT SITE LAYOUT

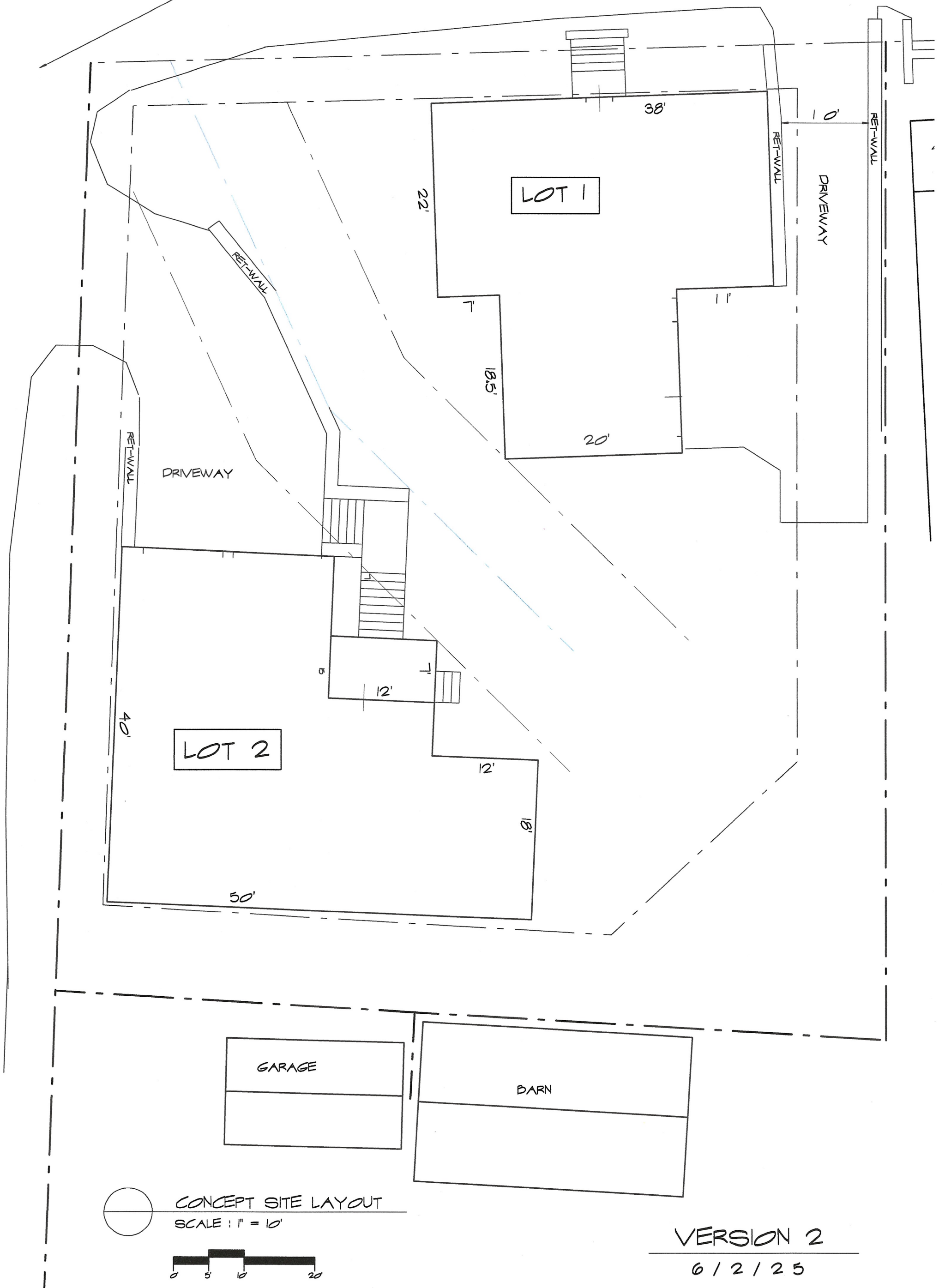
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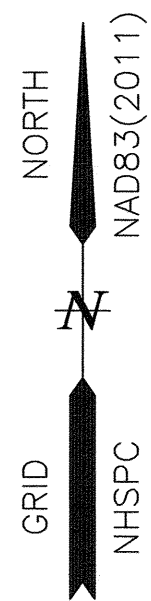
VERSION 1

6/2/25

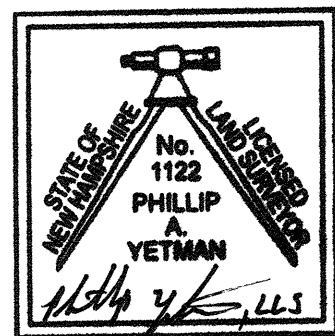
HUMPHREYS COURT



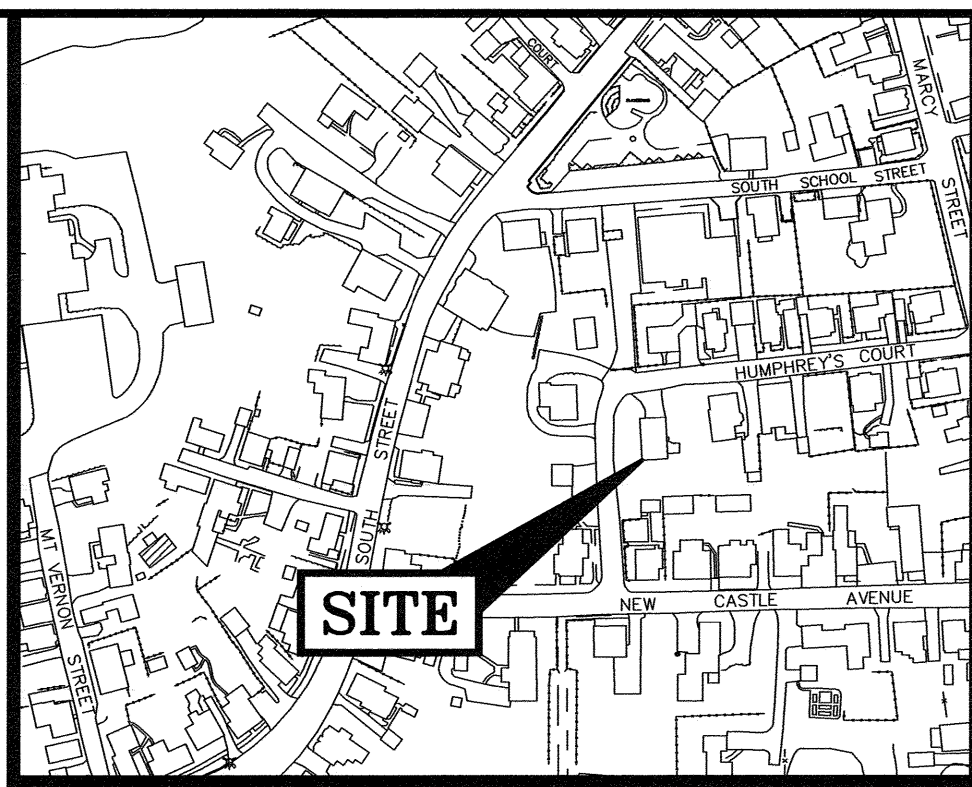




1. PROPERTY OF W.G.MARSHALL AND HEIRS OF W.P. BENNETT PORTSMOUTH, N.H., DATED: APRIL 10, 1900, PREPARED BY: L.E. SCRUTON, C.E., RCRD PLAN #0092.
2. PLAN OF LAND PORTSMOUTH, N.H. FOR: EDMUND L. PRICE, SCALE: 1" = 20', DATED: NOVEMBER 1983, PREPARED BY JOHN W. DURGIN ASSOCIATES, INC., RCRD C-12278.
3. SKETCH OF LAND, 58 HUMPHRETS COURT PORTSMOUTH, N.H., FOR HAROLD WHITEHOUSE, SCALE: 1" = 20', DATED: 8/31/68, PREPARED BY JAMES VERRA AND ASSOCIATES, INC., NOT RECORDED.
4. SUBDIVISION OF LAND NEW CASTLE AVE. & MARCY ST. PORTSMOUTH NEW HAMPSHIRE FOR EDMUND L. PRICE, SCALE: 1" = 20', DATED: 7-31-03, PREPARED BY: JAMEV VERRA & ASSOCIATES, INC., RCRD D-31582.
5. STANDARD BOUNDARY SURVEY, TAX MAP 101 LOT 39, PROPERTY OF ZOE DABOUL, 35 HUMPHREY'S COURT, COUNTY OF ROCKINGHAM, PORTSMOUTH, NEW HAMPSHIRE, SCALE: 1" = 10', DATED: MARCH 8, 2012, PREPARED BY: MSC CIVIL ENGINEERS & LAND SURVEYORS, RCRD D-37165.
6. STANDARD BOUNDARY SURVEY, TAX MAP 101-Lot 43, PREPARED FOR DAVID ORANGE, LAND OF BRIAN L. BEDNAREK, 10 HUMPHREY'S COURT CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE, SCALE: 1" = 10', DATED: 4/10/17, PREPARED BY AMBIT ENGINEERING, INC., NOT RECORDED.



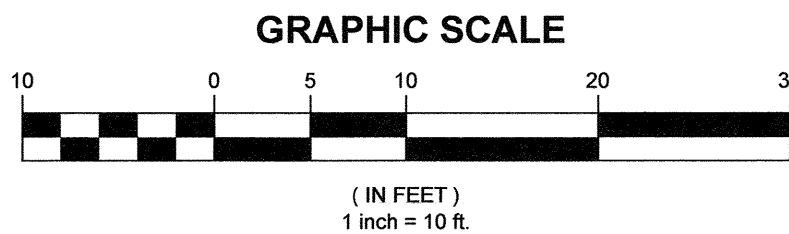
Philip A. Yetman, LLS 6/2/2025  
PHILIP A. YETMAN, LLS 1122 DATE

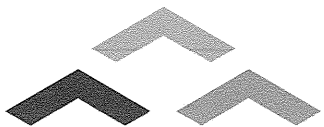


SCALE: 1" = 200'

1. PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 101 AS LOT 47.
2. OWNERS OF RECORD:  
ROBERT M. SNOVER REVOCABLE TRUST  
DARCY E. DAVIDSON, TRUSTEE  
ROBERT M. SNOVER, TRUSTEE  
60 T.J. GAMESTER AVENUE  
PORTSMOUTH, NH 03801  
6599/569  
RCRD PLAN # 0092 LOTS 9&10
3. PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE JANUARY 29, 2021.
4. EXISTING LOT AREA:  
10.005 S.F.  
0.2297 ACRES
5. PARCEL IS LOCATED IN GENERAL RESIDENCE B (GRB) AND HISTORIC OVERLAY DISTRICT.
6. DIMENSIONAL REQUIREMENT:

MIN LOT AREA:	5,000 S.F.
FRONTAGE:	80 FEET
SETBACKS:	5 FEET
FRONT	10 FEET
SIDE	10 FEET
REAR	25 FEET
MAXIMUM STRUCTURE HEIGHT:	35 FEET
MAXIMUM BUILDING COVERAGE:	30%
MINIMUM OPEN SPACE:	25%
7. VERTICAL DATUM IS NAVD88. OBSERVATION OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
8. THE PURPOSE OF THIS PLAN IS SHOW THE RESULTS OF A STANDARD BOUNDARY AND TOPOGRAPHIC SURVEY OF ASSESSOR'S MAP 101 LOT 47 IN THE CITY OF PORTSMOUTH.
9. ABUTTING STRUCTURE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE ONLY.
10. BUILDING DIMENSIONS AND OFFSETS SHOWN ARE TO THE FOUNDATION.



0	05/29/2025	ISSUED FOR COMMENT	CSA	PAY
REV.	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				
SITE SURVEY				
<div><div><div>HALEY WARD</div><div>ENGINEERING   ENVIRONMENTAL   SURVEYING</div><div>200 Griffin Road, Unit 14 Portsmouth, NH 03801 603-430-9282</div></div><div>WWW.HALEYWARD.COM</div></div>				
PROJECT				
ROBERT M. SNOVER TRUST 58 HUMPHREY'S COURT, PORTSMOUTH, N.H.				
TITLE				
STANDARD BOUNDARY & TOPOGRAPHIC SURVEY				
DATE OCTOBER 2024		SCALE 1" = 10'		
DRAWN BY CSA	DESIGNED BY ---	CHECKED BY PAY		
PROJECT No. 5010515		FIELD BOOK & PAGE FB 379 PG 45		
DRAWING No. V101			REV. 0	



