

**REGULAR MEETING
CONSERVATION COMMISSION
1 JUNKINS AVENUE
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

4:00 P.M.

April 8, 2026

AGENDA

I. APPROVAL OF MINUTES

1. January 14, 2026
2. February 11, 2026
3. March 11, 2026

II. WETLAND CONDITIONAL USE PERMIT APPLICATIONS (OLD BUSINESS)

1. 0 Borthwick Avenue
Assessor's Map 240 Lot 3
Liberty Mutual Insurance Company, Owner
LU-26-9
2. 400 Little Harbor Road
Assessor's Map 203 Lot 8
Society for the Protection of New Hampshire Forests, Owner
LU-26-26

III. WETLAND CONDITIONAL USE PERMIT APPLICATIONS (NEW BUSINESS)

1. 134 Pleasant Street
Assessor's Map 116 Lot 30
Double MC LLC, Owner
LU-25-138
2. 5 Curriers Cove
Assessor's Map 204 Lot 14
Jill & Scott Migliori, Owners
LU-26-42

IV. STATE WETLAND BUREAU APPLICATIONS (NEW BUSINESS)

1. Dredge and Fill – Minimum Impact
134 Pleasant Street
Assessor's Map 116 Lot 30
Double MC LLC, Owner

2. Dredge and Fill – Major Impact
5 Curriers Cove
Assessor's Map 204 Lot 14
Jill & Scott Migliori, Owners

V. WORK SESSIONS

1. 500 Jones Avenue

VI. OTHER BUSINESS

1. Master Plan Feedback
2. Article 10 Discussion/Work Session

VII. ADJOURNMENT

**Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

https://us06web.zoom.us/webinar/register/WN_V1DtApGT1WvaW-k3CUJhg

**REGULAR MEETING
CONSERVATION COMMISSION
1 JUNKINS AVENUE
PORTSMOUTH, NEW HAMPSHIRE
SCHOOL DEPARTMENT CONFERENCE ROOM**

4:00 P.M.

January 14, 2026

MINUTES

I. ELECTION OF OFFICERS

1. Chair
2. Vice Chair

The meeting opened and Vice Chair McMillan noted that she would be serving as acting chair due to Chair Collins' absence and that both alternate members T. Sperduto and O. Chag would be voting. Vice Chair McMillan noted that the first order of business was the election of officers. She stated that Chair Collins had told her that she would be willing to stay on as chair and that she herself would be willing to stay on as vice chair. She stated that she didn't want to rule out any other nominations if other members were interested in taking on either of the roles. J. Blasko made a motion to nominate Samantha Collins as Chair and Barbara McMillan as Vice Chair and re-elect them to their positions. B. Gibb seconded the motion and the motion passed unanimously (6-0).

II. APPROVAL OF MINUTES

1. December 10, 2025

No corrections were made and J. Blasko made a motion to approve the minutes as presented. O. Chag seconded the motion. The motion passed unanimously (5-0) with one member abstaining due to absence from the previous meeting.

I. WETLAND CONDITIONAL USE PERMIT APPLICATIONS (NEW BUSINESS)

1. **REQUEST TO POSTPONE**
50 Clough Drive
Assessor's Map 206 Lot 20
City of Portsmouth, Owner

Vice Chair McMillan introduced this item and noted that the applicant had requested to postpone. J. Blasko made a motion to postpone this application and it's related NHDES application until the February meeting. B. Gibb seconded the motion. The motion passed unanimously (6-0).

2. 333 Borthwick Avenue
Assessor's Map 240 Lot 2-1
HCA Health Services of New Hampshire, Owner

Chris Akers, an engineer from Catalyst Design Group, came to present this project. Mr. Akers went through the application and described the existing conditions of the facility, the need for an ambulance canopy, a widened garage door and some related driveway site improvements such as a widened sidewalk and canopy support columns. He described the location of the wetland and wetland buffer, and the proposed impacts within the buffer limits.

The Commission asked questions about and discussed the location of the wetland buffer, the history of the wetlands on this site, planting plans and opportunities for planting, potential areas for mitigation work onsite, the need for a wetland enhancement plan, current snow storage areas, placement of wetland boundary markers, existing water quality, areas for mowing restrictions, the materials proposed for the new infrastructure and their permeability, the need for dredging of the jurisdictional swale on site to prevent backup onto adjacent properties, and any necessary state permitting.

[42:55] J. Blasko made a motion to recommend approval of this project to the Planning Board with the following stipulations that were discussed and finalized amongst the Commission with a second from T. Sperduto:

1. *Applicant shall provide a planting plan prior to submission to the Planning Board for the work site which should include new plantings for the river rock area noted on the plan, the area between the new sidewalk extension and existing building, and a portion of the top of the swale bank that stretches the length of the ambulance garage to the lawn south of the helipad.*
2. *Applicant shall submit a plan to the Planning & Sustainability Department staff for review prior to submission to the Planning Board that shows the existing locations of onsite snow storage areas and plans for mitigating snow storage near wetland resources onsite. If existing snow storage occurs within close proximity to wetland resources, alternative locations shall be sought.*
3. *Applicant shall show on plans and install permanently prior to the start of construction, wetland boundary markers every fifty feet along the edge of the swale from the box culvert south down to the intersection of Borthwick Avenue.*
4. *Applicant shall note on plans that, during regular maintenance, no mowing shall occur in the area of new plantings along the top of the swale bank.*
5. *All necessary dredging and maintenance work for the swale onsite shall be completed by the applicant and approved by the City of Portsmouth Department of Public Works as a condition prior to the issuance of a Certificate of Completion for this project.*
6. *It is recommended that staff from the Department of Public Works make themselves available at the Planning Board meeting to speak to Stipulation #5.*

[51:50] The Commission voted unanimously (6-0).

II. STATE WETLAND BUREAU APPLICATIONS (NEW BUSINESS)

1. Dredge and Fill – Major Impact
50 Clough Drive
Assessor’s Map 206 Lot 20
City of Portsmouth, Owner
2. Dredge and Fill – Minimum Impact
South of Goose Bay Drive
Assessor’s Map 305, Lot 3 and Assessor’s Map 303, Lot 8
Pease Development Authority, Owner

[53:03] Nicole Martin, a certified wetland scientist with VHB, came to present this application on behalf of Lonza Biologics on land owned by the Pease Development Authority. Ms. Martin noted that this application had also gone before the Pease Planning Board for approval prior to being submitted to NHDES. Ms. Martin proceeded to give an overview of the proposed project, reviewed the proposed jurisdictional impacts and the environmental screenings that were performed.

[1:00:40] The Commission then asked questions about and discussed removing existing vegetation, the newly constructed plunge pools, the larger Lonza stormwater system, the history of the stream alignment, how this project deals with ongoing soil remediation at the air force base, proposed sediment disposal areas and best management practices for stabilization, plans for future maintenance and continuing to limit sediment buildup and being copied on correspondence for this project going forward.

[1:11:28] J. Blasko made a motion to recommend approval of this application to NHDES with the following stipulations:

- 1. Applicant shall ensure that erosion control measures on the offsite soil storage area for this project are in place and functioning during the duration of this work.*
- 2. Applicant shall copy the City of Portsmouth Planning & Sustainability Department on all maintenance reports for and correspondence regarding this project.*

O. Chag seconded the motion and the motion passed unanimously (6-0).

III. OTHER BUSINESS

1. Article 10 Discussion/Work Session

[1:13:26] The Commission started discussing other business. The Commission briefly discussed the upcoming Master Plan update and opportunities to provide feedback to a draft version. Additionally, new outreach materials specific to salt marsh buffer stewardship were released and the Commission discussed ways to use these new materials. Lastly, Vice Chair McMillan discussed feedback she had received from NHDES about receiving letters with detailed comments and reasoning for recommendations from local Conservation Commissions. She noted that they appreciated receiving recommendations from us that provide a greater level of detail and reasoning and we should consider continuing this practice with future applications, especially complicated ones.

[1:23:28] Ms. Homet then introduced the work session for zoning ordinance changes. She proceeded to go through Article 10 of the Zoning Ordinance page by page and pointed out past areas that had been called out for updates and new areas that staff had discussed. The Commission discussed trending issues, enforcement, attempts to review applications in an equitable way, getting applicants to work with us, the complexities of weighing impacts from larger projects versus smaller projects, and many other topics. The Commission did not finish reviewing the entire Article but decided they would finish the review in the following month's meeting in February.

IV. ADJOURNMENT

The meeting adjourned at 6:43 p.m.



Conservation Commission Meeting

Eileen Dondero Foley Council Chambers at City Hall, 1 Junkins Avenue
WEDNESDAY, FEBRUARY 11, 2026 at 4:00 pm

For the Zoom recording of this meeting, go to: <https://www.youtube.com/watch?v=wuHk2KflG-8&list=PLNWsoVwtYMQv1kLDwrENgspqtz6a1SWYt&index=2>

MEMBERS PRESENT: Chair Samantha Collins; Vice Chair Barbara McMillan; Members: Brian Gibb, Lynn Vaccaro, Alice Carey

MEMBERS ABSENT: Stewart Sheppard, Jessica Blasko, Alternates: Oliver Chag, Talia Sperduto

STAFF PRESENT: Kate Homet; Environmental Planner

Minutes

1. APPROVAL OF MINUTES

[2:15] January 14, 2026 – Chair Collins and Alice Carey both noted that they were not at the January meeting and did not want to vote on the approval of the January minutes due to their absence. It was noted that not enough members were present for this vote to make a quorum if they both recused. It was decided that the approval of these minutes would be pushed to the next meeting.

Vice Chair McMillan motioned and Brian Gibb seconded the motion to postpone the approval of the minutes to the March meeting. This motion passed unanimously (5-0).

2. WETLAND CONDITIONAL USE PERMIT APPLICATIONS (NEW BUSINESS)

A. 50 Clough Drive

Assessor's Map 206 Lot 20

City of Portsmouth, Owner

[2:54] Chair Collins announced this application and requested that the applicant present both their city permit and their NHDES permit at the same time and to denote any differences between the two while presenting.

Devin Herrick, a Certified Wetland Scientist with Weston & Sampson Engineers, came to present this application. She went through a powerpoint presentation and

explained the existing conditions, the wetland jurisdictional areas on site, the proposed changes to the two playgrounds on site and the proposed impact numbers associated with this project.

[16:06] Commissioners then asked the applicant and her team (Antone Almeida and Ken Linchey) questions about the base materials being used for the playground structures, the permeability of the bonded rubber surface, the colors of the materials to be used, the installation process for bonded rubber, the proposed interactive rain garden, the possibility of including educational signage, a question about the cleaning standards within the maintenance plan and the proposed rain garden inspections. Commissioners expressed concerns about the bonded rubber material being placed within the wetland buffer.

[30:31] Chair Collins noted that the Commissioners would be making two separate motions – one for the WCUP and one for the NHDES permit.

Alice Carey made a motion to recommend approval of this application to the Planning Board with the following stipulations:

1. An educational sign shall be installed at the rain garden which aims to educate elementary school children about the purpose of the rain garden.
2. In accordance with Section 10.1018.40 of the Zoning Ordinance, applicant shall permanently install wetland boundary markers, which may be purchased through the City of Portsmouth Planning & Sustainability Department. It is recommended that markers be placed along the 25' vegetative buffer at 50-foot intervals. Final marker locations to be reviewed and approved by the Planning & Sustainability Department.
3. Maintenance for the new playgrounds shall be consistent with Green Seal Certification standards.
4. Regular maintenance for the proposed rain garden shall be included in the existing playground safety checks which occur at a more frequent interval than annual or seasonal maintenance.
5. Applicant shall consider reducing the installation of the rubber bonded surface area within the wetland buffer, especially within areas that it may not be needed such as underneath the proposed climbing structure on the main playground.

This motion was seconded by Vice Chair McMillan and approved unanimously (5-0).

B. 500 Jones Avenue

Assessor's Map 227 Lot 1

Portsmouth Elks Lodge #97, Owner

[59:58] Ilya Voskov, project manager for Allen Trants Exterior Finishes, the applicant for this property, came to present this application along with Allen Trants. Mr. Voskov went over the existing conditions at the site, the proposed upgrades and the anticipated impacts to the wetland buffer. He then passed out updated hardcopies of the proposed plan set.

[1:01:58] The Commission then asked questions about the proposed erosion controls, the area of work, the possibility of offsetting impacts with new planted areas shown in a planting plan, installing a 'no-mow' zone, current and proposed stormwater management, gutter plans and stormwater treatment options.

[1:12:45] The Commission started to discuss the project and what they still needed further information on such as understanding the stormwater management plans for the site. The conversation continued about the work to be done and areas of potential stormwater outletting along with areas of work the applicant could avoid with this project to minimize buffer disturbance.

[1:21:54] Vice Chair McMillan made a motion to recommend approval of this application to the Planning Board with the following stipulations:

1. In accordance with Section 10.1018.40 of the Zoning Ordinance, applicant shall permanently install wetland boundary markers, which may be purchased through the City of Portsmouth Planning & Sustainability Department. It is recommended for this location that wetland boundary markers be considered along the shoreline or in an area visible to property maintenance crews.
2. Applicant shall submit a planting plan showing areas to be planted and areas proposed to be left unmowed to increase the vegetative buffer strip near the wetland resource. This plan shall be reviewed and approved by staff prior to submission to the Planning Board.
3. Prior to the commencement of site work, erosion controls shall be installed on site. The location of proposed erosion controls shall be shown on the plans and a detail sheet shall be provided in the final application submission to the Planning Board.
4. Any rutting or soil disturbance due to construction activity and equipment shall be seeded and stabilized upon completion of work.

5. Information on any proposed crushed stone and deck permeability shall be included as a note on the plan as well as noted in the application narrative. This information should include size, depth and square footage of crushed stone. In addition, applicant shall provide information on the spacing of the deck boards to ensure permeability of stormwater.

Lynn Vaccaro seconded the motion, the motion passed unanimously (5-0).

C. 0 Borthwick Avenue

Assessor's Map 240 Lot 3

Liberty Mutual Insurance Company, Owner

[1:25:53] Damon Burt from Fragg Rock Environmental came to present this application on behalf of the property owner. Mr. Burt went over the existing conditions at the site, the reasons for updating the existing stormwater infrastructure, the proposed upgrades and the anticipated impacts to the wetland and prime wetland buffers.

[1:32:10] Commissioners then asked questions about the material to be excavated, the amount to be excavated, details of the proposed retention basin depth, willingness to do the staff recommendations, future maintenance needs, having a baseline elevation survey, impact numbers for the surface areas to be disturbed, site photos and opportunities for a site visit. The Commission then discussed the staff recommendations and what items the applicant was missing, in particular, the number of stipulations in the staff memo seemed like a large enough number to warrant waiting for those items to be reviewed again by the Commission or the Planning Dept. could review on their behalf. A discussion continued about the missing information and the wetlands on site and their drainage areas.

[2:05:00] Vice Chair McMillan made a motion to postpone this application to the March meeting until more information could be provided. Lynn Vaccaro seconded the motion. The motion passed unanimously (5-0).

3. STATE WETLAND BUREAU APPLICATIONS (NEW BUSINESS)

A. Dredge and Fill – Major Impact

50 Clough Drive

Assessor's Map 206 Lot 20

City of Portsmouth, Owner

[2:54] Chair Collins noted that this application would be heard together with the City WCUP.

[38:58] Vice Chair McMillan made a motion to recommend approval of this application to NHDES. The following stipulations were assigned to their local wetland permit and are included here for NHDES review:

1. An educational sign shall be installed at the rain garden which aims to educate elementary school children about the purpose of the rain garden.
2. In accordance with Section 10.1018.40 of the Zoning Ordinance, applicant shall permanently install wetland boundary markers, which may be purchased through the City of Portsmouth Planning & Sustainability Department. It is recommended that markers be placed along the 25' vegetative buffer at 50-foot intervals. Final marker locations to be reviewed and approved by the Planning & Sustainability Department.
3. Maintenance for the new playgrounds shall be consistent with Greenfield Certification standards.
4. Regular maintenance for the proposed rain garden shall be included in the existing playground safety checks which occur at a more frequent interval than annual or seasonal maintenance.
5. Applicant shall consider reducing the installation of the rubber bonded surface area within the wetland buffer, especially within areas that it may not be needed such as underneath the proposed climbing structure on the main playground.

Alice Carey seconded the motion, the motion passed unanimously (5-0).

B. Dredge and Fill - Minimum Impact (Request to Expedite)

Garfield Road/McKinley Road Right of Way

City of Portsmouth, Owner

[41:07] Chair Collins announced that the Commission would be moving this permit application up in the agenda because it is a City project.

Vice Chair McMillan made a motion to take this agenda item out of order and hear it now. Alice Carey seconded the motion and the motion passed unanimously (5-0).

[41:54] Nick Messina, a project engineer and civil engineer with CMA, came to present this application along with the City's project manager, Christine Sproviero. He briefly reviewed the existing conditions, the proposed project and the wetland impacts that

were expected. He also reminded the Commission that they were looking to expedite the review of this application by NHDES through the signature of the Commission.

[45:57] Commissioners asked the applicant team questions about the number of trees to be removed, mitigation plans, planting plans, the need for traffic calming in this area, asking about a traffic study to prove this area needs calming measures, less impactful alternatives to slow traffic and the timing of this project.

[56:27] Chair Collins reminded the Commission that this was a request to expedite a NHDES permit application by providing a signature that waives the Commission's right to intervene. Ms. Homet stated the different options on the table which includes signing and waiving the right to provide comments, not signing due to lack of support for the project, or not signing and sending a list of comments/reasons why the Commission chose not to sign to NHDES.

[57:13] Chair Collins said that she was leaning towards not signing and sending comments to NHDES mainly to address the idea that alternative options that are less impactful to the wetland have not been fully explored with this application. The Commission discussed the comments that they were interested in sharing with NHDES.

[58:40] Alice Carey made a motion to not expedite this application and to provide comments to NHDES. The comments are as follows:

- No alternative locations or infrastructure for this traffic calming project were proposed but it was noted during the meeting that alternatives were available that did not impact the wetland resource. These alternatives should be further explored and any option that does not involve wetland impact should be prioritized.
- This application calls for the removal of established trees within a wetland that are providing numerous environmental services. No mitigation measures are proposed that would help offset the loss of these trees.

Brian Gibb seconded the motion and it passed unanimously (5-0).

4. OTHER BUSINESS

[2:06:25] Chair Collins noted that it was past 6:00 p.m. and since many members were absent, it would be best to postpone the Article 10 discussion until more members could be present to provide feedback.

A. Master Plan Feedback:

[2:06:46] Chair Collins noted that Jessica Blasko, who was not here, was looking for feedback and comments from the Commission for the Master Plan consultants. If any

members had input that they wanted to give that could be forwarded to Jess. Kate Homet stated that she could compile any feedback made by the Commission and send it to her via email. A discussion continued about the current outreach and engagement of the Master Plan update and an upcoming presentation being given to the Sustainability Committee at the end of the month. Vice Chair McMillan discussed how the previous Master Plan was set up and the current issues being discussed such as affordable housing and sustainability. Lynn Vaccaro mentioned that it would be nice to see an acknowledgement of the wetland buffer rules called out explicitly in the Master Plan update and a synopsis on the different co-benefits that come from protecting that buffer such as climate resilience and stormwater management.

B. Article 10 Discussion/Work Session

This topic was tabled to a future meeting when more members would be available to discuss.

ADJOURNMENT at 6:14 pm



Conservation Commission Meeting

Eileen Dondero Foley Council Chambers at City Hall, 1 Junkins Avenue
WEDNESDAY, MARCH 11, 2026 at 4:00 pm

For the Zoom recording of this meeting, go to: <https://youtu.be/koklc00r6hs>

MEMBERS PRESENT: Chair Samantha Collins; Vice Chair Barbara McMillan; Members: Brian Gibb, Alice Carey, Alternate: Talia Sperduto. Via Zoom: Lynn Vaccaro, Oliver Chag (alternate)

MEMBERS ABSENT: Stewart Sheppard, Jessica Blasko

STAFF PRESENT: Kate Homet; Environmental Planner/Sustainability Coordinator

Minutes

1. APPROVAL OF MINUTES

[9:56] February 11, 2026 – On a motion by McMillan, seconded by Carey, voted unanimously to postpone approval to April 8 meeting.

The Commission voted (6-0) to postpone the adoption of the February meeting minutes until the April meeting

2. WETLAND CONDITIONAL USE PERMIT APPLICATIONS (NEW BUSINESS)

A. 323 Jones Avenue Assessor's Map 222 Lot 72 Peter Evans & Julie Myers Revocable Trust, Owner LU-26-28

[11:06] Peter Evans and Julie Myers appeared at the meeting to answer questions about their application. They want to build a wood staircase on the side of the garage at the address to provide ADU access. Putting the stairs at the back would burden access, especially with snow. They agreed with the Commission to plan to do what native planting they can but noted that the soil is poor and rocky.

The Commission voted (7-0) to recommend approval of this application to the Planning Board with the following conditions:

- 1. In accordance with Section 10.1018.40 of the Zoning Ordinance, applicant shall permanently install wetland boundary markers, which may be purchased through the City of Portsmouth Planning & Sustainability Department. It is recommended that markers be placed along the 25' vegetative buffer at 50-foot intervals.*
- 2. Applicant shall place crushed stone below the proposed staircase to help with infiltration of stormwater.*
- 3. Applicant shall construct the staircase with at least ¼ - ½" spacing between any*

boards to allow for permeability.

B. 400 Little Harbor Road Assessor's Map 203 Lot 8 Society for the Protection of New Hampshire Forests (SPNHF), Owner LU-26-26

[21:35] Dylan Summers, SPNHF Stewardship Project Manager, met with the Commission to discuss a trail maintenance project that will replace and improve sections of the Little Harbor Loop Trail on the property using Best Management Practices guidelines. There was later discussion about whether this part of the meeting was actually a work session, given the level of detail exchanged but no work session was declared.

Regular use is causing depressions that fill with rainwater to form. When this happens, people go around the mud and occasional water, impacting the vegetation on either side and eroding the sides of the trail in the wet areas under consideration. SPNHF plans to replace two trail sections with a turnpike – a raised but not elevated hardened surface. The plan is to replace some soil with a crushed stone base, a geotextile layer to keep the layers separate to improve drainage and 8" of compacted aggregate and stone dust as binder, with run-off ditches on either side. Mr. Summers explained the turnpike approach is a US Forest Service standard – using stone instead of timbers for durability and extended life. The idea is to restore the naturally-occurring drainage. The lead-off ditches allow the water to disperse into the ground.

This will make the trail more accessible, though it is not truly "accessible" and there are no plans for widening or other accommodation.

Summers said there would be minimal clearing of vegetation, limited to barbering and trimming of invasives and that the existing trail can accommodate the work, building over existing tree roots rather than weakening them with cutting.

The Commission asked that the plan include the 25-foot wetland buffer delineation. Mr. Summers said he used the 40-foot line because of the slope of the edge of the wetland and was limited in this first pass by not having tighter topographic indications. The Commission also asked about the gap between the two turnpike sections. Mr. Summers said he will be making further improvements to the plans. Eric Weinrieb, 9 Middle Street emphasized that this is maintenance work for an existing trail and later expressed concerns about having too many signs disturb the aesthetics of the natural surroundings.

Access to the work area will be via an existing road that peters out in the field. Silt soxx will be deployed.

Regular annual maintenance may include clearing the side ditches with a rake or hoe and replacing aggregate which they will store on site.

The Commission requested the use of wetlands markers or other educational signage in the kiosk or as included in the 'no mow' lawn buffer.

The Commission asked to learn more about SPNHF's long-term plans for its trail network. Ms. Vaccaro cited the example of Odiorne Point's planning and community engagement as worth SPNHF's interest.

Vice Chair McMillan asked whether the wetlands delineation might need to be updated – not a Conservation Commission requirement but it may come up.

The Commission asked for a site walk to better understand the plan and scheduled April 1 at 3:30 pm.

The Conservation Commission voted (7-0) to postpone this application to the April meeting if their NHDES permit application is ready for review by that time. If not, this application is postponed until the NHDES permit application is ready for review by the Commission.

3. WETLAND CONDITIONAL USE PERMIT APPLICATIONS (OLD BUSINESS)

A. [1:27:00]] REQUEST TO POSTPONE

0 Borthwick Avenue

Assessor's Map 240 Lot 3

Liberty Mutual Insurance Company, Owner LU-26-9

On a motion by McMillan, seconded by Carey, voted unanimously to postpone review to April 8 meeting.

The Commission voted (7-0) to postpone this application until the April meeting.

4. OTHER BUSINESS

- A. [1:27:54] Master Plan Feedback: Open House to present more information, goals and strategies to the public on April 22, 2026. In Blasko's absence, Commission agreed to take up comments at the April 8 meeting for her to present.

Staff discussed upcoming opportunities to provide input and feedback to draft goals of the Master Plan and opportunities to discuss with Commissioner Blasko, a member of the Master Plan Citizen Advisory Committee.

- B. [1:29:00] Sustainability Fair on April 10, 2026 from 4:30 to 7. Commission agreed to host a table, ideally adjacent to the Planning & Sustainability Department table, again. Possible interactives: watershed map, stormwater model, native species seed packets, sell wetlands boundary markers. Vaccaro to attend. Homet part of Department table, McMillan and Carey possibly for part.
- C. [1:35:18] Planning & Sustainability Department is hosting Sabrina Alan, a UNH intern under the Americorps Semester for Impact Program to assist with conducting a heat resilience study to determine infrastructure and resident vulnerability to heat waves. See online survey (paper version available):

<https://www.portsmouthnh.gov/planportsmouth/heat-resilience-portsmouth>

D. [1:37:19] Criteria for Approval

- Staff discussed the “Criteria for Approval” flashcards listing the basics for residential and separate criteria for utilities for member reference at every Conservation Commission and Planning Board meeting.
- While the Commission relies on its experience and knowledge of the environmental issues when making decisions, the Planning Board would welcome having consistent criteria similar to those used in the Staff Memo format for clear definitions of why a permit was approved or denied.
- Staff said it would be important to reference the criteria when making a motion to approve or deny.
- Next steps for Article 10 edits (once finalized by the Commission) will be to send to the Legal Department for comment. Commission will review their input and then provide to Planning Board.

Staff discussed and reiterated the importance of the six criteria for approval needed for a wetland conditional use permit to be approved and how that related to the ongoing Article 10 edits.

E. [1:41:00] Article 10 Environmental Protection Standards Discussion/Work Session – Referencing draft document.

- Page 1
 - 10.1011Add (9) To assist in protecting and improving the future of Portsmouth’s resiliency...
- Page 2
 - No edits
- Page 3
 - Add 10.1014.14 re: a connection between an inland wetland and a tidal wetland is considered one jurisdiction

- 10.1014.23: adding “no cut” to all definitions referencing “vegetated buffer strip”
- 10.1015 adding “and Sustainability” to all mentions of Director’s title NOTE: because the Director has the authority
- 10.1015 adding “ground disturbance” to definition of “alteration”
- 10.1016.10 (1) clarifying “previously permitted drainage swale”
- Page 4
 - NEW: 10.1016.10 (2) add “in kind” to “improvements to existing public rights-of-way”
 - 10.1016.10 (6) change “10” to “12” because prefab pad size is 11.5 sq. ft.
 - 10.1016.10 (9) added definition of ISA Tree Risk Assessment requirement And NEW: add No stump grinding is allowed within the 25-foot buffer. Stumps and roots must remain.
 - 10.1016.20 Fines. Add: “or substantial deviation from the permit” NOTE: This new rule is being reviewed by the Fee Committee and may amount to 2x the cost of the original permit. The Commission asked if those funds when collected would go to the Conservation Fund.
- Page 5
 - 10.1017.20 (7) NEW: Location and description if known of existing trees
 - 10.1017.20 (10) Show added species, size and location
- Page 6, starting with 10.1017.25 and following to be taken up the April 8, 2026 meeting. Chair asked the Commission members to review the remaining changes with special attention to the tables on pages 10-11.

Staff and Commissioners worked together to review each page of Article 10 in the Zoning Ordinance for updates and compliance. Redlined edits were discussed and added to a working document and the work ended at 6pm. This business item was not fully addressed and would be picked up where the Commission left off at the next meeting in April.

ADJOURNMENT at 6:15 pm

Memo



TO: Conservation Commission Members
FROM: Kate Homet, Environmental Planner/Sustainability
Coordinator; Peter Britz, Director of Planning &
Sustainability
DATE: April 3, 2026
SUBJ: April 8, 2026 Conservation Commission Meeting

**0 Borthwick Avenue
Liberty Mutual Insurance Company, Owner
Assessor's Map 240 Lot 3**

This application is for proposed maintenance of a stormwater detention pond at the Liberty Mutual property along an existing paved parking lot within the wetland buffer boundaries of a prime wetland and within the prime wetland itself. This project includes replacement of a failed 24" culvert along with removing 2 feet of sediment from the existing detention pond, unburying two existing culverts which will be cleaned and reset, and removing/trimming vegetation. The total surface area impacts within the prime wetland buffer include approximately 9,500 s.f. of temporary impacts for dredging work, 700 s.f. of wetland buffer disturbance for replacement of the culvert and 225 s.f. of direct prime wetland impacts.

1. *The land is reasonably suited to the use activity or alteration.*

This area is an existing stormwater detention pond with failing culverts and outlet infrastructure. This is considered maintenance work with the exception of a culvert replacement.

2. *There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.*

This area is an existing stormwater system that collects and releases stormwater coming from the parking lots across the street from Liberty Mutual. There is already significant stormwater infrastructure in place both beneath the parking lot and in the area of work that was put in place to remediate sheet flow from the parking lot into the wetland and wetland buffer. Moving this project to a new location outside of the buffer would create an even greater disturbance size to the buffer and prime wetland.

3. *There will be no adverse impact on the wetland functional values of the site or surrounding properties.*

If the area of work is contained to the current extent and construction equipment and debris can be cleaned and moved off site to limit the spread of invasive species, it will reduce the risk of harm to the nearby prime wetland. This has been noted on the updated Grading & Drainage Plan (C-103).

4. *Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.*

Plans do not detail the existing vegetation on site, but plans propose trimming and removal of vegetation in an area outside of proposed dredging and the removal of 16 trees on site. Applicant should note on plans and in invasive management plan what the long-term maintenance plans are for these areas (ex. Routine trimming, mowing, planting, leaving undisturbed, etc.). In addition, applicant should consider planting additional trees along the detention pond as part of this project to offset the loss of trees.

5. *The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this section.*

The area of work appears to be minimized in order to avoid additional impacts to the prime wetland and wetland buffer. The restoration of the existing failing stormwater system should reduce current impacts from stormwater coming off the adjacent parking lot.

6. *Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.*

Information is lacking on proposed vegetation in this area. Applicant should provide information on the routine vegetation maintenance within 25' of wetland edge.

Recommendation: Staff recommends **approval** of this application to the Planning Board with the following conditions:

1. In accordance with Section 10.1018.40 of the Zoning Ordinance, applicant shall permanently install wetland boundary markers, which may be purchased through the City of Portsmouth Planning & Sustainability Department. It is recommended for this location that wetland boundary markers be considered along the edge of the pavement/top of bank to prevent foot traffic or unnecessary maintenance in the proposed area.
2. Applicant shall provide a maintenance plan for this area of the parcel that details annual and long-term maintenance of the stormwater system. This should include required annual invasive species mitigation work. This plan shall be entered into the chain of title for the property in a recorded document, approved by the Planning and Legal Departments, and recorded at the Rockingham County Registry of Deeds.
3. Plans must be stamped, signed and dated by the NH CWS that is noted on Sheet C-103 in the digital application file.
4. Applicant shall include trees to be planted as part of this project in an updated plan that helps to offset trees to be removed.

**400 Little Harbor Road
Society for the Protection of New Hampshire Forests, Owner
Assessor's Map 203 Lot 8**

This application is for the construction of two sections of currently eroded and degraded shoreline trails at the Creek Farm property. The construction methods propose using a turnpike trail construction method which imports fill material to establish a raised trail surface above the existing trail. In addition to multiple layers of fill and multiple fill types and drainage materials, a shallow ditch will also be constructed on each side of the new trail construction to drain water. This new construction will rebuild 270 linear feet of eroded trail at approximately 5 feet wide, resulting in an estimated 1,350 s.f. of permanent impact area.

1. *The land is reasonably suited to the use activity or alteration.*

This property has existing trails and is heavily utilized by the public. The areas of proposed construction is already being used as a trail.

2. *There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.*

This project is proposing to re-establish existing trail sections that are within the wetland buffer. These areas are already heavily trafficked by the public. This project aims to reduce the erosion, flooding and sediment transport that currently occurs which impacts the adjacent wetland resource.

3. *There will be no adverse impact on the wetland functional values of the site or surrounding properties.*

The proposed work aims to reduce the erosion, flooding and sediment transport that currently occurs which impacts the adjacent wetland resource. Although new fill is being brought in, it should help stabilize the trail areas which will prevent runoff and erosion issues in the future.

4. *Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.*

Applicant is proposing to remove invasives in some areas while also avoiding tree removal. In areas where impacts to tree roots cannot be avoided, applicant is proposing to add new fill on top of roots.

5. *The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this section.*

This project proposes impacting an area that is already in trail use. While it involves bringing in additional materials and fill, this project should prevent further damage to the wetland buffer and wetland resource through the mitigation of flooding, erosion and sediment transport.

6. *Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.*

Applicant states that no vegetation clearing will be needed within the 40' vegetated buffer strip.

Recommendation: Staff recommends **approval** of this application to the Planning Board as presented.

**134 Pleasant Street
Double MC LLC, Owner
Assessor's Map 116 Lot 30**

This application is for the installation of a new treated stormwater pipe below the Parrott Avenue parking lot within the wetland buffer of the South Mill Pond. This project proposes a total impact area within the wetland buffer of 601 s.f. for disturbance of the existing asphalt parking lot to place and then cover the new stormwater line. This impact is almost entirely underneath existing impervious surfaces within the wetland buffer.

1. *The land is reasonably suited to the use activity or alteration.*

This property is disturbed with pavement and the proposed activity would return the area of work back to pavement once the new piping is installed.

2. *There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.*

This project is a sewer separation project and in order to split the stormwater from the existing combined line, the stormwater pipe will have to be directed to an existing connection, the closest of which is in the Parrott Avenue lot and within the 100' wetland buffer. An alternative location for the pipe does not seem feasible.

3. *There will be no adverse impact on the wetland functional values of the site or surrounding properties.*

The proposed work is within a very small section of the wetland buffer and will occur in mostly existing paved areas. The construction should not have an adverse impact on the South Mill Pond and the new stormwater line should create an improvement to existing conditions by having stormwater treated by a jellyfish filter before entering into the main stormwater system.

4. *Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.*

This project only appears to alter a very small portion of a landscaped area within the parking lot.

5. *The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this section.*

This project proposes impacting an area that is already impervious surface and the introduction of treated stormwater to this area of our stormwater system should create a positive impact on the water quality in the area.

6. *Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.*

This project does not propose impacts to the vegetated buffer strip (25' buffer).

Recommendation: Staff recommends **approval** of this application to the Planning Board with the following stipulations and recommends waiving application requirements as stated in Section 10.1017.26 (living shoreline strategy), 10.1018.31 (porous pavement) and 10.1018.40 (wetland boundary placards) of the City of Portsmouth Zoning Ordinance due to the in-kind impervious replacement and limited scope of this project.

1. Plans must be stamped, signed and dated by the New Hampshire Certified Wetland Scientist who delineated the wetland resource.

**5 Curriers Cove
Jill & Scott Migliori, Owners
Assessor's Map 204 Lot 14**

This application is for the construction of a new deck, landscaping, removal of impervious surfaces, grading and the installation of new walking paths within a prime wetland buffer. As part of this proposal, the applicant will be reducing current impervious surfaces on site to help offset new construction through the removal of an existing putting green, stone patio and walkways. In total, this application proposes an increase of 591 s.f. of impervious surface within the buffer, going from an existing condition of 6,583 s.f. to 7,174 s.f. of impervious within the 100' prime wetland buffer.

1. *The land is reasonably suited to the use activity or alteration.*

This land is within a prime tidal wetland buffer and an inland wetland buffer. In addition, the lot has sensitive salt marsh. This appears to be a very sensitive area that needs extra precautions taken when considering alterations. A living shoreline strategy would help to mitigate temporary impacts from construction and long-term impacts from the increased impervious.

2. *There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.*

A majority of this property lies within the jurisdictional 100' inland wetland and tidal wetland buffers. This project moves overall impervious impacts further from the wetland sources than existing impacts.

3. *There will be no adverse impact on the wetland functional values of the site or surrounding properties.*

The proposed work is occurring within a the buffer of a very sensitive wetland system. This project is introducing a large amount of construction which will include bringing in new soils for grading, construction of a large deck, a stone pathway, stairs, grill area and landscaped areas. A wetland buffer enhancement plan should include long-term maintenance plans and more information should be provided on how stormwater will be managed on this site. Additionally, a living shoreline strategy is needed due to the tidal wetland buffer impacts and adjacent salt marsh habitat.

4. *Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.*

This project appears to remove existing impervious conditions and lawn area in order to achieve construction. For the proposed work, additional vegetated areas are proposed as new landscaped areas.

5. *The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this section.*

This application has not provided any alternatives at this stage and the proposal does increase permanent impacts to the wetland buffer.

6. *Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.*

This application does not delineate the 25' vegetated buffer strip but it appears to show some proposed landscaping within this area.

Recommendation: Staff recommends **postponement** of this application to the Planning Board due to the following concerns:

1. Application is missing a living shoreline strategy as required in Section 10.1017.26 of the City of Portsmouth Zoning Ordinance.
2. Application does not consider temporary vs. permanent impacts as part of this project. Please include all grading and fill areas and areas to be disturbed as impact areas.
3. Applicant needs to include the jurisdictional Portsmouth wetland buffer widths (in addition to the TBZ) on plans. This should include the 25' vegetated no-cut buffer and the 50' limited cut delineation. Applicant should demonstrate compliance with the 25' no-cut buffer restrictions.
4. Applicant must delineate where erosion controls are to be placed on site prior to the start of site work.
5. Applicant shall include a maintenance plan for landscaped areas and the 25' vegetated buffer strip.
6. Applicant shall include details of the proposed deck construction including permeability, material, location of footings, substrate underneath, etc.
2. Plans must be stamped, signed and dated by the New Hampshire Certified Wetland Scientist who delineated the wetland resource.



City of Portsmouth, New Hampshire

Wetland Conditional Use Permit Application Checklist

This wetland conditional use permit application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Conservation Commission and Planning Board review. The checklist is required to be uploaded as part of your wetland conditional use permit application to ensure a full and complete application is submitted to the Planning and Sustainability Department and to the online portal. A pre-application conference with a member of the Planning and Sustainability Department is encouraged as additional project information may be required depending on the size and scope of the project. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all wetland conditional use permit requirements. Please refer to Article 10 of the City of Portsmouth Zoning Ordinance for full details.

Applicant Responsibilities: Applicable fees are due upon application submittal to the Planning Board (no fees are required for Conservation Commission submission). The application will be reviewed by Planning and Sustainability Department staff to determine completeness. Incomplete applications which do not provide required information for the evaluation of the proposed site development shall not be provided review by the Conservation Commission or Planning Board.

Name of Applicant: _____ Date Submitted: _____

Application # (in City's online permitting): _____

Site Address: _____ Map: _____ Lot: _____

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)
<input type="checkbox"/>	Complete application form submitted via the City's web-based permitting program	
<input type="checkbox"/>	All application documents, plans, supporting documentation, this checklist and other materials uploaded to the application form in OpenGov in digital Portable Document Format (PDF) . One hard copy of all plans and materials shall be submitted to the Planning and Sustainability Department by the published deadline.	

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)
<input type="checkbox"/>	Basic property and wetland resource information. (10.1017.21)	Existing conditions plan Proposed conditions Plan - FR Env dated 1 28 2026
<input type="checkbox"/>	Additional information required for projects proposing greater than 250 square feet of permanent or temporary impacts. (10.1017.22)	Existing conditions plan Proposed conditions Plan - FR Env dated 1 28 2026
<input type="checkbox"/>	Demonstrate impacts as they relate to the criteria for approval set forth in Section 10.1017.50 (or Section 10.1017.60 in the case of utility installation in a right-of-way). (10.1017.23)	
<input type="checkbox"/>	Balance impervious surface impacts with removal and/or wetland buffer enhancement plan. (10.1017.24)	

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)
<input type="checkbox"/>	Wetland buffer enhancement plan. (10.1017.25)	NA
<input type="checkbox"/>	Living shoreline strategy provided for tidal wetland and/or tidal buffer impacts. (10.1017.26)	NA
<input type="checkbox"/>	Stormwater management must be in accordance with Best Management Practices including but not limited to: 1. <i>New Hampshire Stormwater Manual, NHDES, current version.</i> 2. <i>Best Management Practices to Control Non-point Source Pollution: A Guide for Citizens and City Officials, NHDES, January 2004.</i> (10.1018.10)	NA
<input type="checkbox"/>	Vegetated Buffer Strip slope of greater than or equal to 10%. (10.1018.22)	NA
<input type="checkbox"/>	Removal or cutting of vegetation, use of fertilizers, pesticides and herbicides. (10.1018.23/10.1018.24/10.1018.25)	Existing conditions plan Proposed conditions Plan - FR Env dated 1 28 2026
<input type="checkbox"/>	All new pavement within a wetland buffer shall be porous pavement. (10.1018.31)	NA
<input type="checkbox"/>	An application that proposes porous pavement in a wetland buffer shall include a pavement maintenance plan. (10.1018.32)	NA
<input type="checkbox"/>	Permanent wetland boundary markers shall be shown on the plan submitted with an application for a conditional use permit and shall be installed during project construction. (10.1018.40)	Existing conditions plan Proposed conditions Plan - FR Env dated 1 28 2026
<input checked="" type="checkbox"/>	Requested Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)
<input type="checkbox"/>	A narrative/letter addressed to the Conservation Commission Chair (if recommended to Planning Board then an additional narrative addressed to the Planning Board Chair at that time) describing the project and any proposed wetland and/or wetland buffer impacts. Please visit the WCUP instruction page for further application instructions.	Existing conditions plan Proposed conditions Plan - FR Env dated 1 28 2026
<input type="checkbox"/>	If New Hampshire Department of Environmental Services (NHDES) Standard Dredge and Fill Permit is required for this work, please provide this permit application at the same time as your submission for a Wetland Conditional Use Permit.	

Applicant's Signature: Damon E Burt Date: 1/28/2026



FRAGGLE ROCK ENVIRONMENTAL, LLC
Damon E. Burt, CWS, CPESC
38 Garland Road, Strafford, NH 03884
(603) 969-5574
FREnvironmental@gmail.com

January 27, 2026

TO: Liberty Mutual Insurance
C/O Tyler Munger
175 Berkley Street
Boston, MA 02116

RE: Letter of Authorization to Submit City of Portsmouth CUP
Subject Property: Borthwick Avenue, Portsmouth, NH (Tax Map 240, Lot 3)

Mr. Munger,

The City of Portsmouth requires authorization from the property owner for the acting representative to prepare and submit a Conditional Use Permit for the required work at the subject property.

Please print your name, sign, and date below to indicate you authorize Damon E. Burt of Fraggle Rock Environmental to act on your behalf to prepare, submit, and represent the Conditional Use Permit (CUP) application to the City of Portsmouth.

Owner Name: Liberty Mutual

Owner Signature: Olivia Connors **Date:** 1/28/2026

Sincerely,

Damon E. Burt
Fraggle Rock Environmental, LLC



FRAGGLE ROCK ENVIRONMENTAL
CITY OF PORTSMOUTH CONDITIONAL USE PERMIT

EXISTING CONDITIONS

BORTHWICK AVENUE PORTSMOUTH, NH
(MAP 240, LOT 3)

JANUARY 28, 2026
UPDATED MARCH 20, 2026

BASE PLAN-ALLEN & MAJOR ASSOCIATES, INC.
PROPERTY OWNER: LIBERTY MUTUAL INSURANCE

100 FT BUFFER CITY
OF PORTSMOUTH
PRIME WETLAND



LEGEND

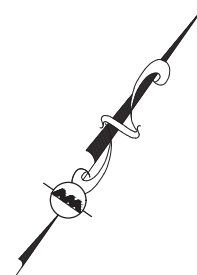
EXISTING WATERSHED

To FLOW PATH

SUBCATCHMENT LABEL

SUBCATCHMENT BOUNDARY

FLOW DIRECTION



ISSUED FOR REVIEW
OCTOBER 10, 2024

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
APEX DESIGN BUILD
9550 W. HIGGINS ROAD, STE 170
ROSEMONT, IL 60018

PROJECT:
100 BORTHWICK AVENUE
PORTSMOUTH, NH

PROJECT NO.	3250-02	DATE:	10-10-24
SCALE:	1" = 60'	DWG. NAME:	C3250-02
DESIGNED BY:	JRG	CHECKED BY:	BDJ

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com

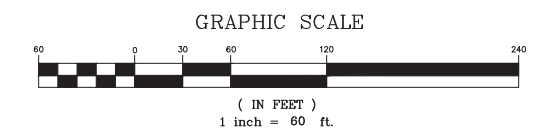
400 HARVEY ROAD
MANCHESTER, NH 03103
TEL: (603) 627-5500
FAX: (603) 627-5501

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE:	SHEET No.
EXISTING WATERSHED PLAN	WS-1

- PLAN NOTES:**
- EXISTING CONDITIONS WERE COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY ALLEN & MAJOR ASSOCIATES, INC. IN JUNE OF 2024, AS WELL AS AVAILABLE RECORD PLANS OBTAINED FROM THE CITY OF PORTSMOUTH AND OTHER SOURCES.
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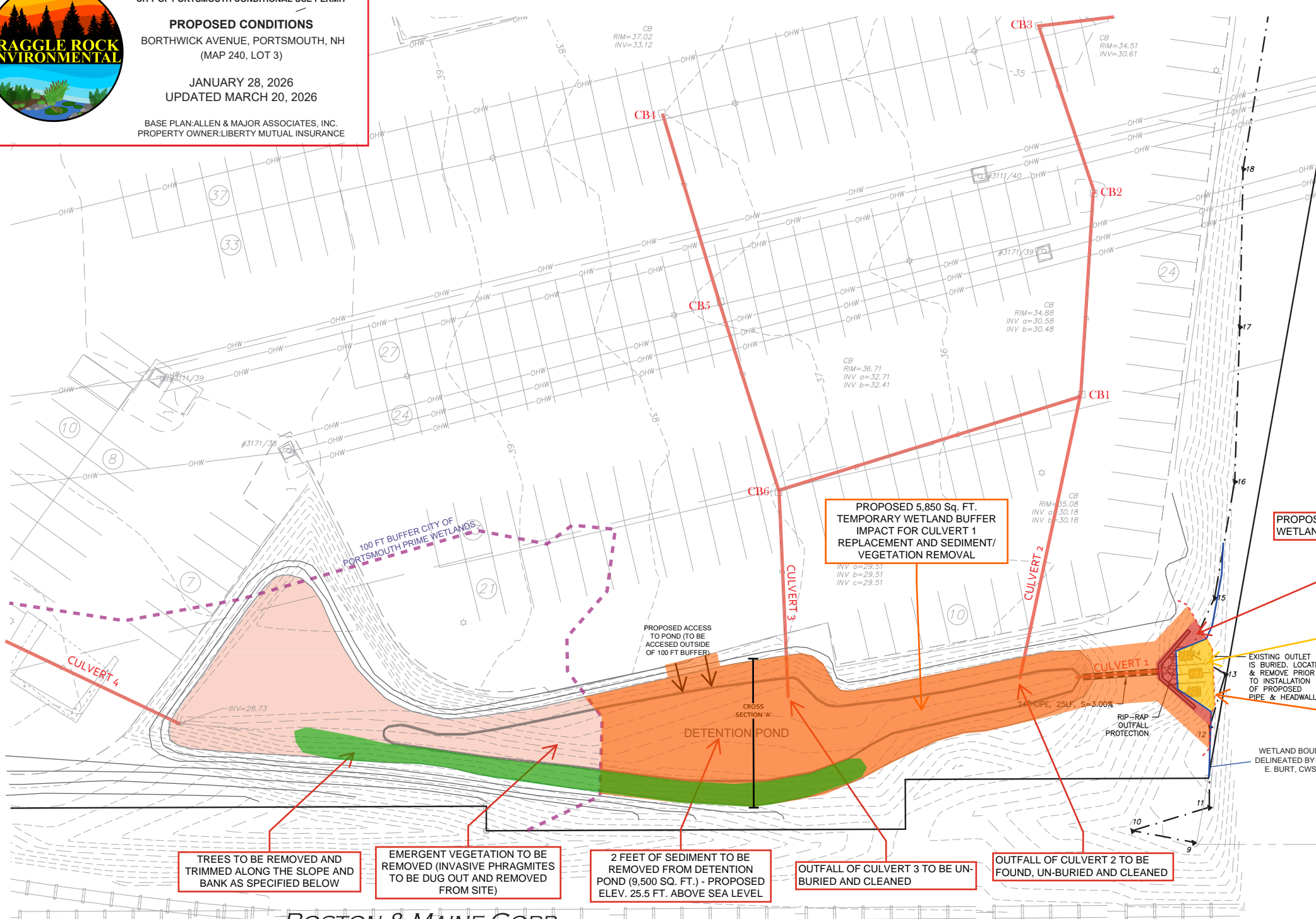
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FRAGGLE ROCK ENVIRONMENTAL
 CITY OF PORTSMOUTH CONDITIONAL USE PERMIT
PROPOSED CONDITIONS
 BORTHWICK AVENUE, PORTSMOUTH, NH
 (MAP 240, LOT 3)
 JANUARY 28, 2026
 UPDATED MARCH 20, 2026
 BASE PLAN: ALLEN & MAJOR ASSOCIATES, INC.
 PROPERTY OWNER: LIBERTY MUTUAL INSURANCE



LEGEND	
RIPRAP OUTFALL	
5' CONTOUR	
1' CONTOUR	
HEADWALL	
DRAIN LINE	

ISSUED FOR REVIEW
 OCTOBER 10, 2024

PROFESSIONAL ENGINEER FOR
 ALLEN & MAJOR ASSOCIATES, INC.

APPLICANT/OWNER:
APEX DESIGN BUILD
 9550 W. HIGGINS ROAD, STE 170
 ROSEMONT, IL 60018

PROJECT:
100 BORTHWICK AVENUE
 PORTSMOUTH, NH

PROJECT NO.	3250-02	DATE:	10-10-24
SCALE:	1" = 20'	DWG. NAME:	C3250-02
DESIGNED BY:	JRG	CHECKED BY:	BDJ

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 FAX: (603) 627-5501

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DRAWING TITLE: **GRADING & DRAINAGE PLAN** SHEET No. **C-103**

TREES TO BE REMOVED AND TRIMMED ALONG THE SLOPE AND BANK AS SPECIFIED BELOW

EMERGENT VEGETATION TO BE REMOVED (INVASIVE PHRAGMITES TO BE DUG OUT AND REMOVED FROM SITE)

2 FEET OF SEDIMENT TO BE REMOVED FROM DETENTION POND (9,500 SQ. FT.) - PROPOSED ELEV. 25.5 FT. ABOVE SEA LEVEL

OUTFALL OF CULVERT 3 TO BE UN-BURIED AND CLEANED

OUTFALL OF CULVERT 2 TO BE FOUND, UN-BURIED AND CLEANED

PROPOSED 50 SQ. FT. PERMANENT WETLAND BUFFER IMPACT

PROPOSED 225 SQ. FT. TEMPORARY WETLAND IMPACT FOR CULVERT 1 REPLACEMENT

PROPOSED 5,850 SQ. FT. TEMPORARY WETLAND BUFFER IMPACT FOR CULVERT 1 REPLACEMENT AND SEDIMENT/VEGETATION REMOVAL

EROSION AND SEDIMENT CONTROL (TWO ROWS SILT SOXX OR EQUIVALENT)

BOSTON & MAINE CORP. RAILROAD

PROJECT NARRATIVE:

- Plans shall be reviewed by site personnel.
- Sediment and erosion controls (two rows of silt soxx or equivalent) will be installed as noted on the site plans.
- Invasive species (*Phragmites australis*) shall be removed from the site as described in the Invasive Species Management and Site Maintenance Plan prepared by Fraggle Rock Environmental, dated March 20, 2026.
- Culvert 1 will be removed. Work will only be completed within the permitted wetland and wetland buffer impact areas, with special care not to impact the adjacent City of Portsmouth Prime Wetland.
- Excess sediment will be removed from the detention pond and adjacent to Culvert 1 to restore flow and remove any restriction. Culvert 2 and 3 outlets will be cleared of sediment. Sediment will be removed from the project site. Riprap at Culvert 2, 3, and 4 outfalls shall be restored as needed.
- Vegetation will be removed and trimmed within the detention pond as described on the site plan and with direction from the monitoring wetland scientist
- Culvert 1 will be installed as shown. Culvert 1 elevations shall be field verified to ensure appropriate flow. Riprap shall be restored at culvert outfall.
- Disturbed areas will be seeded and mulched with straw.
- All construction equipment shall be cleaned after work is completed to reduce the spread of invasives.

TREES TO BE REMOVED:

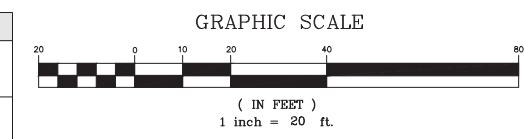
- Three (3) red maple – 8" DBH (dead), 5" DBH, 3" DBH
- Two (2) white pine – 2" DBH & 4" DBH
- Eleven (11) quaking aspen – 6" (dead), 10 x 4-8"

Total: 16 trees to be removed
 TREES TO REMAIN: Many red maple, white pine, and quaking aspen

	PERMANENT	TEMPORARY
WETLAND IMPACT	0	225 SQ. FT.
WETLAND BUFFER IMPACT	50 SQ. FT.	5,850 SQ. FT.

PLAN NOTES:

- EXISTING CONDITIONS WERE COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY ALLEN & MAJOR ASSOCIATES, INC. IN JUNE OF 2024, AS WELL AS AVAILABLE RECORD PLANS OBTAINED FROM THE CITY OF PORTSMOUTH AND OTHER SOURCES.
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Wetlands on-site were delineated by Damon E. Burt, NH CWS #13, on October 14, 2025 to the following standards.
 1) U.S. Army Corps of Engineers. (1987). *Corps of Engineers Wetland Delineation Manual* (ER/EL-87-1). U.S. Army Engineer Waterways Experiment Station. 2) U.S. Army Corps of Engineers. (2012). *Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region (Version 2.0)* (ERDC/EL TR-12-1). U.S. Army Engineer Research and Development Center. 3) Federal Geographic Data Committee. (2013). *Classification of wetlands and deepwater habitats of the United States*. FGDC-STD-004-2013. Second Edition. Wetlands Subcommittee, Federal Geographic Data Committee and U.S. Fish and Wildlife Service, Washington, DC. 4) United States Department of Agriculture, Natural Resources Conservation Service. (2024). *Field Indicators of Hydric Soils in the United States* (Version 9.0). 5) New England Hydric Soils Technical Committee. (2017). *Field Indicators for Identifying Hydric Soils in New England* (Version 4). New England Interstate Water Pollution Control Commission, Lowell, MA. 6) U.S. Army Corps of Engineers. (2016). *National Wetland Plant List/State List* (Version 3.3). 7) NH Revised Statutes. (2024). Title L - Water Management and Protection, Chapter 482-A - Fill and Dredge in Wetlands. 8) NH Code of Administrative Rules (Env-Wt 100-900).

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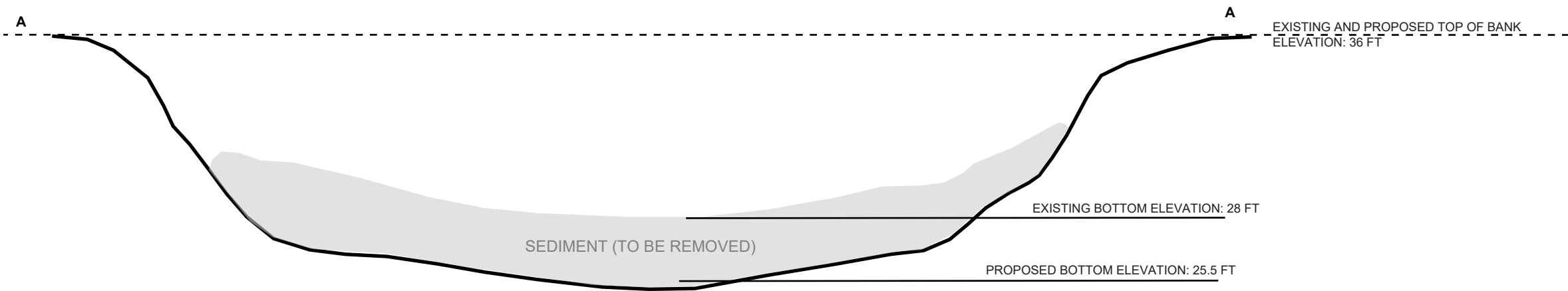
FRAGGLE ROCK ENVIRONMENTAL
CITY OF PORTSMOUTH CONDITIONAL USE PERMIT

DETAIL PLAN
BORTHWICK AVENUE, PORTSMOUTH, NH
(MAP 240, LOT 3)

MARCH 20, 2026

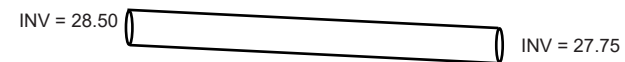
BASE PLAN: ALLEN & MAJOR ASSOCIATES, INC.
PROPERTY OWNER: LIBERTY MUTUAL INSURANCE

STORMWATER DETENTION POND PROFILE VIEW: 'CROSS SECTION A'
(NOT TO SCALE)

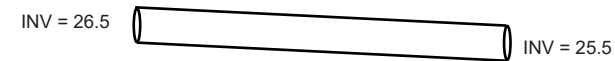


EXISTING AND PROPOSED CULVERT ELEVATIONS:
(NOT TO SCALE)

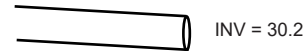
CULVERT 1 EXISTING:



CULVERT 1 PROPOSED:



CULVERT 2 OUTFALL EXISTING & PROPOSED:



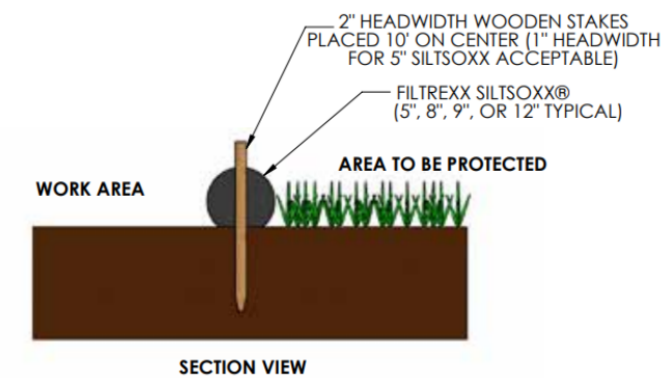
CULVERT 3 OUTFALL EXISTING & PROPOSED:



CULVERT 4 OUTFALL EXISTING & PROPOSED:



FILTREXX SILTSOXX®



INVASIVE SPECIES MANAGEMENT AND STORMWATER MAINTENANCE PLAN

**LIBERTY MUTUAL
Borthwick Avenue
Portsmouth, NH
Map 240, Lot 3**

Prepared for:
Liberty Mutual Insurance
225 Borthwick Avenue
Portsmouth, NH 03801

Prepared by:
Fraggle Rock Environmental
Damon E. Burt, CWS, CPESC
Briana B. Stringer, WSA
38 Garland Road
Strafford, NH 03884



March 22, 2026

INVASIVE SPECIES MANAGEMENT & STORMWATER MAINTENANCE PLAN

PART 1: PROJECT INFORMATION

1.1 PROJECT NAME AND LOCATION		
PROJECT NAME: Liberty Mutual Insurance		
SITE OWNER: Liberty Mutual Insurance Company		
PROJECT STREET ADDRESS: Borthwick Avenue – Liberty Mutual Lot		
TOWN/CITY: Portsmouth	STATE: NH	ZIP CODE: 03801
TAX MAP/LOT/UNIT: Tax Map 240, Lot 3		

1.2 WILDLIFE BIOLOGIST INFORMATION		
NAME: Damon E. Burt		
COMPANY NAME: Fraggie Rock Environmental		
ADDRESS: 38 Garland Road		
TOWN/CITY: Strafford	STATE: NH	ZIP CODE: 03884
PHONE: (603) 969 – 5574		
EMAIL: FREnvironmental@gmail.com		

1.3 SITE PLANS/MAPS/ATTACHMENTS

- 1) Methods for Disposing Non-Native Invasive Plants – UNH Cooperative Extension
- 2) City of Portsmouth Conditional Use Permit Proposed Conditions Plan – Prepared by Fraggie Rock Environmental – Updated March 20, 2026
- 3) Site Photos taken by Fraggie Rock Environmental documenting proposed impacts and site maintenance

PART 2: INVASIVE SPECIES IDENTIFICATION

The site was reviewed on June 5, 2025, October 14, 2025, and March 20, 2026 by Damon E. Burt, of Fraggie Rock Environmental, for the presence of invasive species. The following species were identified on the project parcel:

1. Common Reed (*Phragmites australis*)

Phragmites were observed within the stormwater detention pond on site.

PART 3: PROPOSED ON-SITE MANAGEMENT FOR INVASIVE SPECIES

1. Contractor and all personnel involved with clearing and grubbing of the site should review and be familiar with invasive species and project-specific recommendations for invasive removal and control on-site.
2. **To remove *phragmites*, all plant material, including roots, should be removed from the site with a separate dump truck to be disposed of separately.** The *phragmites* disposal material and soil material should be kept separate from other soil material and covered during transport. Material will be trucked off the Liberty Mutual Campus. The disposal site shall be determined by the contractor and coordinated with the monitoring environmental scientist. The contractor shall not stockpile *Phragmites* waste soil material, but will it bury at least 4 feet below ground within areas outside of wetlands and wetland buffers.
 - a. Proposed removal of invasive *Phragmites* within should be completed before the seed head has developed, if possible. Invasives shall be managed as described in detail above.
 - b. No work shall be completed in areas containing invasive species until the plant has been removed and dealt with.
3. Any new sprouting material should be removed when observed.
4. Vehicles and equipment used during the removal of invasive species will need to be carefully cleaned and cleared of invasive species and/or seeds before leaving the site.
5. Presence/return of invasive *Phragmites* should be reviewed by an environmental monitor annually and removal shall be repeated as described above if needed.

PART 4: PROPOSED STORMWATER MONITORING

1. Culvert 1 inlet and outlet, and Culvert 2, 3, and 4 outlets shall be monitored to ensure they remain clean and in good working order.
2. Stormwater area shall be monitored to assess the success of the culvert restoration, sediment removal, and vegetation clearing. The goal is to ensure stormwater flow can enter the detention pond, sediment is able to settle, and the outlet of the pond is not restricted (Culvert 1).
3. The following general site questions shall be answered during the site assessment and the systems detailed below shall be reviewed:

INVASIVE SPECIES MANAGEMENT & STORMWATER MAINTENANCE PLAN

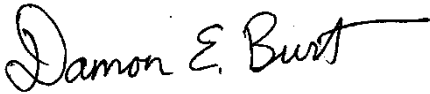
General Site Questions	
1	Is the site permanently stabilized with no open disturbed areas?
2	Is stormwater flow entering the detention pond as intended via culverts or overland flow with no restrictions or noticeable clogs?
3	Do culvert inlets into the Stormwater Area remain free of debris or excess sediment?
4	Do culverts appear to remain undamaged?
5	Is the stormwater area adequately able to hold excess stormwater as intended?
6	Are invasive species, such as <i>Phragmites</i> , present within or adjacent to the detention pond?
7	Is excess woody vegetation present within the detention pond?
8	If applicable, is snow storage located outside of wetlands, the stormwater detention pond, and the 100-foot City of Portsmouth wetland buffer as required? Please reference the snow and ice management plan prepared by Liberty Mutual Insurance and dated March of 2026.

Inspection & Maintenance Checklist		
BMP/System	Inspection Requirements	Maintenance
Stormwater Area	<ul style="list-style-type: none"> • Check for trash and debris • Check for sediment buildup at culvert inlets/outlets • Check for excess woody vegetation growth • Check for invasive species 	<ul style="list-style-type: none"> • Remove trash and debris • Remove excess sediment and vegetation • Remove invasive species as described in detail above
Culverts and Riprap Outlet Protection	<ul style="list-style-type: none"> • Check for sediment Build up and/or structure damage 	<ul style="list-style-type: none"> • Remove Excess sediment • Clear clogs • Repair damage

PART 5: MONITORING SCHEDULE

Annual monitoring shall be completed by an environmental scientist to document the progress/success of the invasive removal and to ensure the stormwater area is in good working condition. A monitoring report shall be prepared documenting the findings detailed in Part 3 and Part 4 above after the site review. The report shall include action items as needed and/or descriptions of work completed. The initial monitoring report shall be prepared by June 30, 2027.

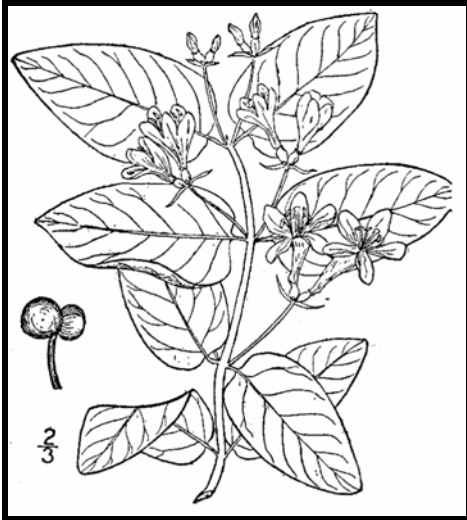
Sincerely,



Damon E. Burt
Fraggle Rock Environmental
NH Certified Wetland Scientist #163
Certified Professional in Erosion and Sediment Control (CPESC #3213)

Methods for Disposing Non-Native Invasive Plants

Prepared by the Invasives Species Outreach Group, volunteers interested in helping people control invasive plants. Assistance provided by the Piscataquog Land Conservancy and the NH Invasives Species Committee. Edited by Karen Bennett, Extension Forestry Professor and Specialist.



Tatarian honeysuckle

Lonicera tatarica

USDA-NRCS PLANTS Database / Britton, N.L., and A. Brown. 1913. *An illustrated flora of the northern United States, Canada and the British Possessions*. Vol. 3: 282.

Non-native invasive plants crowd out natives in natural and managed landscapes. They cost taxpayers billions of dollars each year from lost agricultural and forest crops, decreased biodiversity, impacts to natural resources and the environment, and the cost to control and eradicate them.

Invasive plants grow well even in less than desirable conditions such as sandy soils along roadsides, shaded wooded areas, and in wetlands. In ideal conditions, they grow and spread even faster. There are many ways to remove these non-native invasives, but once removed, care is needed to dispose the removed plant material so the plants don't grow where disposed.

Knowing how a particular plant reproduces indicates its method of spread and helps determine

the appropriate disposal method. Most are spread by seed and are dispersed by wind, water, animals, or people. Some reproduce by vegetative means from pieces of stems or roots forming new plants. Others spread through both seed and vegetative means.

Because movement and disposal of viable plant parts is restricted (see NH Regulations), viable invasive parts can't be brought to most transfer stations in the state. Check with your transfer station to see if there is an approved, designated area for invasives disposal. This fact sheet gives recommendations for rendering plant parts non-viable.

Control of invasives is beyond the scope of this fact sheet. For information about control visit www.nhinvasives.org or contact your UNH Cooperative Extension office.

New Hampshire Regulations

Prohibited invasive species shall only be disposed of in a manner that renders them nonliving and nonviable. (Agr. 3802.04)

No person shall collect, transport, import, export, move, buy, sell, distribute, propagate or transplant any living and viable portion of any plant species, which includes all of their cultivars and varieties, listed in Table 3800.1 of the New Hampshire prohibited invasive species list. (Agr 3802.01)

How and When to Dispose of Invasives?

To prevent seed from spreading remove invasive plants before seeds are set (produced). Some plants continue to grow, flower and set seed even after pulling or cutting. Seeds can remain viable in the ground for many years. If the plant has flowers or seeds, place the flowers and seeds in a heavy plastic bag “head first” at the weeding site and transport to the disposal site. The following are general descriptions of disposal methods. See the chart for recommendations by species.

Burning: Large woody branches and trunks can be used as firewood or burned in piles. For outside burning, a written fire permit from the local forest fire warden is required unless the ground is covered in snow. Brush larger than 5 inches in diameter can't be burned. Invasive plants with easily airborne seeds like black swallow-wort with mature seed pods (indicated by their brown color) shouldn't be burned as the seeds may disperse by the hot air created by the fire.

Bagging (solarization): Use this technique with softer-tissue plants. Use heavy black or clear plastic bags (contractor grade), making sure that no parts of the plants poke through. Allow the bags to sit in the sun for several weeks and on dark pavement for the best effect.

Tarping and Drying: Pile material on a sheet of plastic and cover with a tarp, fastening the tarp to the ground and monitoring it for escapes. Let the material dry for several weeks, or until it is clearly nonviable.

Chipping: Use this method for woody plants that don't reproduce vegetatively.

Burying: This is risky, but can be done with watchful diligence. Lay thick plastic in a deep pit before placing the cut up plant material in the hole. Place the material away from the edge of the plastic before covering it with more heavy plastic. Eliminate as much air as possible and toss in soil to weight down the material in the pit. Note that the top of the buried material should be at least three feet underground. Japanese knotweed should be at least 5 feet underground!

Drowning: Fill a large barrel with water and place soft-tissue plants in the water. Check after a few weeks and look for rotted plant material (roots, stems, leaves, flowers). Well-rotted plant material may be composted. A word of caution- seeds may still be viable after using this method. Do this before seeds are set. This method isn't used often. Be prepared for an awful stink!

Composting: Invasive plants can take root in compost. Don't compost any invasives unless you know there is no viable (living) plant material left. Use one of the above techniques (bagging, tarping, drying, chipping, or drowning) to render the plants nonviable before composting. Closely examine the plant before composting and avoid composting seeds.






Japanese knotweed
Polygonum cuspidatum
USDA-NRCS PLANTS Database /
Britton, N.L., and A. Brown. 1913. *An illustrated flora of the northern United States, Canada and the British Possessions*. Vol. 1: 676.

Be diligent looking for seedlings for years in areas where removal and disposal took place.

Suggested Disposal Methods for Non-Native Invasive Plants

This table provides information concerning the disposal of removed invasive plant material. If the infestation is treated with herbicide and left in place, these guidelines don't apply. Don't bring invasives to a local transfer station, unless there is a designated area for their disposal, or they have been rendered non-viable. This listing includes wetland and upland plants from the New Hampshire Prohibited Invasive Species List. The disposal of aquatic plants isn't addressed.

Woody Plants	Method of Reproducing	Methods of Disposal
Norway maple <i>(Acer platanoides)</i> European barberry <i>(Berberis vulgaris)</i> Japanese barberry <i>(Berberis thunbergii)</i> autumn olive <i>(Elaeagnus umbellata)</i> burning bush <i>(Euonymus alatus)</i> Morrow's honeysuckle <i>(Lonicera morrowii)</i> Tatarian honeysuckle <i>(Lonicera tatarica)</i> showy bush honeysuckle <i>(Lonicera x bella)</i> common buckthorn <i>(Rhamnus cathartica)</i> glossy buckthorn <i>(Frangula alnus)</i>	Fruit and Seeds 	<p>Prior to fruit/seed ripening</p> <p>Seedlings and small plants</p> <ul style="list-style-type: none"> ▪ Pull or cut and leave on site with roots exposed. No special care needed. <p>Larger plants</p> <ul style="list-style-type: none"> ▪ Use as firewood. ▪ Make a brush pile. ▪ Chip. ▪ Burn. <hr/> <p>After fruit/seed is ripe</p> <p>Don't remove from site.</p> <ul style="list-style-type: none"> ▪ Burn. ▪ Make a covered brush pile. ▪ Chip once all fruit has dropped from branches. ▪ Leave resulting chips on site and monitor.
oriental bittersweet <i>(Celastrus orbiculatus)</i> multiflora rose <i>(Rosa multiflora)</i>	Fruits, Seeds, Plant Fragments 	<p>Prior to fruit/seed ripening</p> <p>Seedlings and small plants</p> <ul style="list-style-type: none"> ▪ Pull or cut and leave on site with roots exposed. No special care needed. <p>Larger plants</p> <ul style="list-style-type: none"> ▪ Make a brush pile. ▪ Burn. <hr/> <p>After fruit/seed is ripe</p> <p>Don't remove from site.</p> <ul style="list-style-type: none"> ▪ Burn. ▪ Make a covered brush pile. ▪ Chip – only after material has fully dried (1 year) and all fruit has dropped from branches. Leave resulting chips on site and monitor.

Non-Woody Plants	Method of Reproducing	Methods of Disposal
<p>garlic mustard (<i>Alliaria petiolata</i>)</p> <p>spotted knapweed (<i>Centaurea maculosa</i>)</p> <ul style="list-style-type: none"> ▪ Sap of related knapweed can cause skin irritation and tumors. Wear gloves when handling. <p>black swallow-wort (<i>Cynanchum nigrum</i>)</p> <ul style="list-style-type: none"> ▪ May cause skin rash. Wear gloves and long sleeves when handling. <p>pale swallow-wort (<i>Cynanchum rossicum</i>)</p> <p>giant hogweed (<i>Heracleum mantegazzianum</i>)</p> <ul style="list-style-type: none"> ▪ Can cause major skin rash. Wear gloves and long sleeves when handling. <p>dame's rocket (<i>Hesperis matronalis</i>)</p> <p>perennial pepperweed (<i>Lepidium latifolium</i>)</p> <p>purple loosestrife (<i>Lythrum salicaria</i>)</p> <p>Japanese stilt grass (<i>Microstegium vimineum</i>)</p> <p>mile-a-minute weed (<i>Polygonum perfoliatum</i>)</p>	<p>Fruits and Seeds</p> 	<p>Prior to flowering</p> <p>Depends on scale of infestation</p> <p>Small infestation</p> <ul style="list-style-type: none"> ▪ Pull or cut plant and leave on site with roots exposed. <p>Large infestation</p> <ul style="list-style-type: none"> ▪ Pull or cut plant and pile. (You can pile onto or cover with plastic sheeting). ▪ Monitor. Remove any re-sprouting material. <hr/> <p>During and following flowering</p> <p>Do nothing until the following year or remove flowering heads and bag and let rot.</p> <p>Small infestation</p> <ul style="list-style-type: none"> ▪ Pull or cut plant and leave on site with roots exposed. <p>Large infestation</p> <ul style="list-style-type: none"> ▪ Pull or cut plant and pile remaining material. (You can pile onto plastic or cover with plastic sheeting). ▪ Monitor. Remove any re-sprouting material.
<p>common reed (<i>Phragmites australis</i>)</p> <p>Japanese knotweed (<i>Polygonum cuspidatum</i>)</p> <p>Bohemian knotweed (<i>Polygonum x bohemicum</i>)</p>	<p>Fruits, Seeds, Plant Fragments</p> <p>Primary means of spread in these species is by plant parts. Although all care should be given to preventing the dispersal of seed during control activities, the presence of seed doesn't materially influence disposal activities.</p>	<p>Small infestation</p> <ul style="list-style-type: none"> ▪ Bag all plant material and let rot. ▪ Never pile and use resulting material as compost. ▪ Burn. <p>Large infestation</p> <ul style="list-style-type: none"> ▪ Remove material to unsuitable habitat (dry, hot and sunny or dry and shaded location) and scatter or pile. ▪ Monitor and remove any sprouting material. ▪ Pile, let dry, and burn.

January 2010

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Photo 1 – Liberty Mutual – View looking east along the parking lot which drains toward the Stormwater Area (Photo taken 3/20/2026).



Photo 2 – Liberty Mutual – View looking southwest at the maintenance area (Photo taken 3/20/2026).



Photo 3 – Liberty Mutual – View looking southeast along the parking lot toward the Stormwater Area where impacts are proposed (Photo taken 3/20/2026).



Photo 4 – Liberty Mutual – View looking west along edge of the parking lot and the Stormwater Area (Photo taken 3/20/2026).



Photo 5 – Liberty Mutual – View looking east along the Stormwater Area (Photo taken 3/20/2026).



Photo 6 – Liberty Mutual – View looking west along the Stormwater Area along the edge of parking lot (Photo taken 3/20/2026).



Photo 7 – Liberty Mutual – View looking toward the Stormwater Area and towards the inlet of Culvert #1 (Photo taken 3/20/2026).



Photo 8 – Liberty Mutual – View looking at outlet area of Culvert #1 from the Stormwater Area (Photo taken 3/20/2026).



Photo 9 – Liberty Mutual – View looking north along the edge of the Stormwater area along proposed tree clearing (Photo taken 3/20/2026).



Photo 10 – Liberty Mutual – View looking along the Stormwater Area (Photo taken 3/20/2026).



Photo 11 – Liberty Mutual – View looking west within the Stormwater Area and towards the outlet of Culvert \$4 (Photo taken 3/20/2026).



Photo 12 – Liberty Mutual – Another View looking towards the edge of parking lot (Photo taken 3/20/2026).



Photo 13 – Liberty Mutual – View looking east along the Stormwater Area (Photo taken 6/5/2025).



Photo 14 – Liberty Mutual – View of the outlet of Culvert #1 (Photo taken 6/5/2025)



Photo 15 – Liberty Mutual – View west within the Stormwater Area (Photo taken 6/5/2025)



Photo 16 – Liberty Mutual – View looking south along the existing slopes of the Stormwater Area (Photo taken 6/5/2025)



Snow and Ice Management Plan

Properties: 225 & 100 Borthwick Avenue
Location: Portsmouth, New Hampshire
Last Updated: February 2026
Prepared By: Olivia Connors

Plan Summary

This plan describes snow plowing, snow storage, deicing practices, and stormwater protection measures for a wetlands-adjacent commercial property. The intent is to maintain safe access while minimizing impacts to adjacent wetlands and the stormwater system.

1. Purpose

The purpose of this Snow and Ice Management Plan is to establish consistent winter maintenance practices at 225 & 100 Borthwick Avenue:

- Maintain safe pedestrian and vehicular access (including accessible/ADA routes).
- Prevent snow placement, sediment, and deicing materials from entering adjacent wetlands or stormwater structures.
- Minimize chloride use through calibrated application and anti-icing/best management practices.
- Provide clear roles, documentation, and annual review procedures.

2. Site Description

The property consists of a commercial office building and associated surface parking areas. The site is adjacent to wetlands. Stormwater runoff is managed through on-site catch basins and drainage infrastructure before discharge.

100-foot wetland boundary and any applicable buffer limits are identified on Exhibit A. No snow storage, salt storage, or waste disposal is permitted within wetlands or within the delineated 100-foot wetland buffer.

3. Responsible Parties

Role	Organization/Name	Phone	Email
------	-------------------	-------	-------

Property Owner	Liberty Mutual	N/A	N/A
Site Representative	Olivia Connors	603-812-3165	olivia.connors@libertymutual.com
Snow/Ice Contractor	Elf's Landscaping	603-332-8324	N/A
After-hour emergency	On-site Security	603-245-3137	N/A

4. Pre-Season Preparation

- Hold a pre-season site walk with the contractor to review Exhibit A (wetlands, buffers, storm drains, no-push zones, and snow storage areas).
- Mark 100-foot wetland buffer limits and sensitive edges in the field as needed (stakes/flags) for plow visibility.
- Inspect and repair pavement/curbing that could direct snowmelt to wetlands or block drainage paths.
- Calibrate all spreaders/dispensers at least annually; retain calibration documentation.
- Confirm spill kits are available in contractor vehicles and on-site maintenance areas.

5. Service Triggers and Priorities

- Plowing begins when snowfall accumulation reaches approximately 1–2 inches, or earlier if conditions warrant.
- Pedestrian routes and building entrances are treated as needed to maintain safe access.
- Accessible parking spaces, ramps, and primary walk routes receive priority during and after storms.

6. Snow Plowing Procedures

Plowing priorities generally follow this order:

- Emergency access routes and fire lanes
- Building entrances and accessible/ADA routes
- Primary driving aisles
- Remaining parking areas

Wetland and stormwater protection requirements:

- Do not push, pile, or throw snow into wetlands or within the delineated 100-foot wetland buffer.
- Do not place snow where meltwater will flow directly to wetlands, drainage swales leading to wetlands, or stormwater outfalls.
- Keep catch basins clear; do not bury storm drains under snow piles where practicable.

- Avoid creating windrows that redirect runoff toward wetlands or block drainage flow paths.

7. Snow Storage and Off-Site Removal

Snow storage areas are in upland portions of the site away from wetlands, stormwater outfalls, and drainage paths that flow directly to wetlands.

Snow storage controls:

- Maintain maximum practical separation from wetlands and stormwater discharge points.
- Do not store snow in landscaped areas that drain to wetlands unless specifically designated.
- Do not store snow where it blocks sight lines, pedestrian routes, fire lanes, or stormwater structures.
- If on-site storage capacity is exceeded, remove snow off-site to an approved upland facility, document dates and destination.

8. Ice Control and Deicing Practices

Deicing materials may include sodium chloride (rock salt), treated salt, or other City/State-acceptable alternatives. Materials and application practices are selected to balance safety and environmental protection.

Salt minimization and controls:

- Use calibrated spreaders; avoid over-application and “insurance salting.”
- Where feasible, use anti-icing (e.g., brine or treated salt) to reduce total chloride application.
- Adjust application based on pavement temperature and forecast; do not apply ineffective amounts.
- Use spot-treatments on high-risk areas (entrances, ramps, crosswalks) rather than broadcast application.
- Clean up spills immediately; do not load/unload salt adjacent to catch basins.
- On-site salt storage (if used): Salt supplies may be stored temporarily during winter months in a covered structure on an impervious surface and protected from runoff. Stockpiles are removed from the site when not in use.

9. Stormwater Protection Measures

- Inspect catch basins during prolonged storms and after plowing operations; clear as needed to maintain drainage.

- Minimize sand use; if sand is used for traction, sweep promptly after winter conditions end.
- Conduct spring sweeping as soon as practical to remove accumulated sand/sediment and prevent discharge.
- Inspect and clean catch basins after the season (or more frequently if heavy sand use occurs).

10. Spill Prevention and Response

In the event of a fuel, hydraulic fluid, or material spill, stop the source, contain the spill immediately, and prevent discharge to storm drains or wetlands. Notify the Site Representative and follow applicable reporting requirements.

Recommended additions for your internal version: list emergency numbers (contractor dispatch, City, and NHDES spill reporting).

9. Recordkeeping

Records shall be maintained for a minimum of three (3) years and include:

- Dates/times of plowing and treatment events
- Weather conditions (optional but recommended)
- Material type and estimated quantities applied
- Off-site snow removal documentation (if applicable)
- Season-end sweeping and catch basin cleaning documentation

10. Annual Review

This plan will be reviewed annually before the winter season and updated as necessary to ensure compliance with City of Portsmouth and NHDES requirements and industry best practices.

Exhibit A: Attach a site plan or aerial map showing at minimum: 100-foot wetland boundary and buffer, stormwater structures (catch basins/outfalls), approved snow storage areas, and salt storage location (if applicable).

- **Parking lot outline:**



A) Campus:

225 Borthwick Ave – Map Lot: 0240-0001-0000

B) Primary Parking Lot

225 Borthwick Ave – Map Lot: 0240-0003-0000

C) Auxiliary Parking Lot

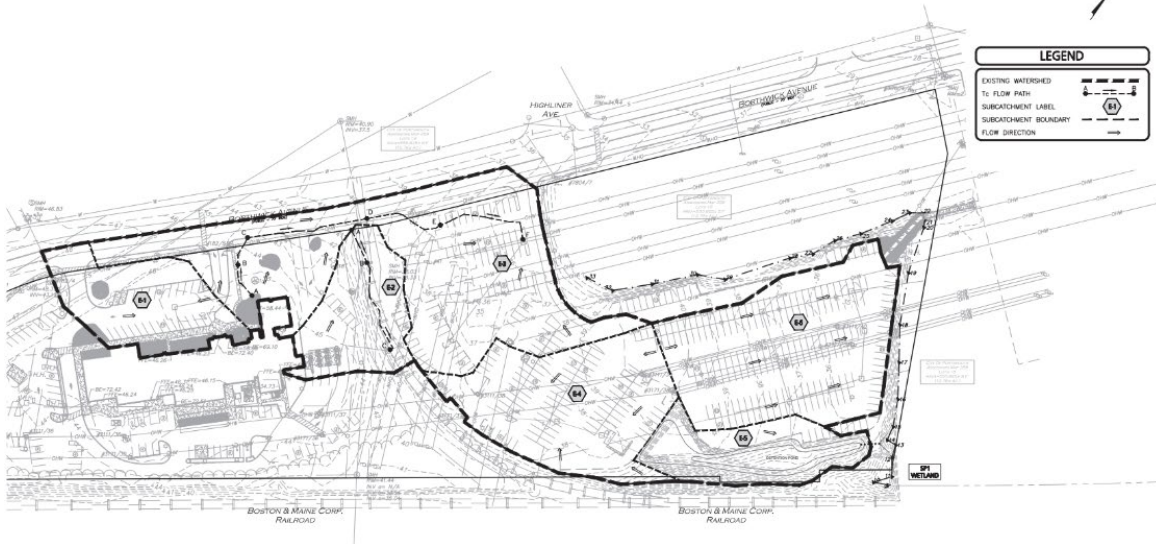
100 Borthwick Ave – Map Lot: 0259-0015-0000

- **Stormwater Structures map:**

Catch Basins: 25
Dock Trench Drains: 1



- **Stormwater outfalls map:**



- **100-foot Wetland boundary and buffer map (2025):**



- **Proposed snow and salt storage locations:**



Exhibit B: Site de-icing log

Site De-Icing Log

March 25th, 2026

Samantha Collins, Chair, Conservation Commission
Rick Chellman, Chair, Planning Board
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH, 03801



54 Portsmouth Street
Concord, NH 03301
Tel. 603.224.9945
Fax 603.228.0423
info@forestsociety.org
www.forestsociety.org

Project Narrative Update
Wetland Conditional Use Permit
Creek Farm – Little Harbor Loop Trail Turnpike
400 Little Harbor Rd, Portsmouth, NH
Tax Map 203, Lot 8

Chair Collins and Chair Chellman,

On behalf of the Society for the Protection of New Hampshire Forests (Forest Society), I would like to take this opportunity to provide some additional information and details regarding the wetlands conditional use permit application we have submitted for our trail improvement project at Creek Farm (400 Little Harbor Road). We appreciate the Conservation Commission taking time to review our application and provide feedback during the meeting on March 11th, 2026. The primary questions that were asked by the commission members included why we're seeking to construct a turnpike in this situation, additional design and maintenance details, accessibility considerations, and how this project fits within our larger trail and recreational plans for the property. The following narrative elaborates on the answers I gave to those questions during the March 11th meeting.

Additionally, Commission members requested additional information added to the site plan, that the delineation be reviewed and stamped by the wetland scientist who did the original delineation, copies of our filed State wetland permit, and photo examples of what a turnpike looks like. Please find those items attached, and more information in the following narrative.

Our decision to build a turnpike reflects the most appropriate and cost-effective solution to the primary maintenance problem at this site. Given that the periodically wet trail surface conditions arise from the long-term impacts of significant visitor use over time (compaction), and not due to this site having saturated wetland soils, a turnpike is the most suitable best management practice for this site. A puncheon design or boardwalk

3/25/2026 Project Narrative – Wetland Conditional Use Permit – Creek Farm Turnpike

Page | 1

would provide no substantial benefits over turnpike construction, and given that pressure treated wood would be needed for long-term structural integrity, would introduce chemicals leached from pressure treated wood into the surrounding soil within the wetland buffer.

A turnpike will also improve drainage at the site in multiple ways that a puncheon would not. Installing the turnpike will break up existing soils that have been compacted by high foot traffic and restore more natural water infiltration. The turnpike itself is designed to facilitate effective drainage by incorporating a base layer of coarse drainage stone with geofabric for long term separation of layers, making the turnpike a functionally permeable surface – more so than existing compacted soils within the trail corridor. Finally, strategically incorporating ditches along portions of the turnpike with ancillary lead-off ditches will help relieve drainage issues in areas where compaction and erosion of the trail surface currently trap water within below-grade depressions. A puncheon, which would be built on top of the existing trail surface, would do little to restore more natural drainage to the site.

Furthermore, building puncheon style bridging would cost as much or more than a turnpike with a much shorter lifespan. A turnpike built with rock retainers is expected to have an indefinite lifespan, requiring simple yearly maintenance of drainage ditches (performed by trained volunteers), and periodic repairs to the turnpike. A puncheon built of pressure treated wood would likely need significant repairs at around 10-15 years (repair/replace decking) and need the entire structure replaced after about 25 years. Built with non pressure-treated wood, the replacement interval is even shorter, at around 10 years. As a conservation organization, we will continue to steward this trail in perpetuity, well beyond the lifespan of several puncheon bridges. We need to invest intentionally in our infrastructure improvements, and prefer not to implement a design that will cost us 4 times as much or more in the long term.

I have attached photos of a professionally built trail turnpike completed in 2020 at our Mt. Major property in Alton, NH by Town 4 Trail Services. This trail was initially very wide and severely eroded, several feet below grade, requiring a far wider and deeper turnpike than we would build at Creek Farm. While the example in the photos is much larger, it should give context to the function and style of what we are building.

Our planned turnpike would be 4-5 feet wide with a 36" finished walking surface and sit only ~8-10" above the existing ground. The revised site plan shows the rough location for the downhill ditches and lead-off ditches, but final locations are based on micro terrain factors and will be field fit during construction. When installed properly, gravel surfaced

turnpikes are intended to become a permanent feature of a trail and blend naturally with the surroundings.

For state permitting of this project, we have reviewed the NH DES permit requirements and have determined that we only need a Trails Notification Statutory-Permit-by-Notification (SPN), rather than a Minimum Impact Expedited Permit (EXP) or Standard Dredge and Fill permit. Please see the attached permit application form and NHDES Ecological Review DataCheck results that we submitted on 3/25/2026.

Joseph Noel, who delineated wetlands on the property in 2020 for the waterline replacement project, returned to the site on 3/20/2026 to confirm that the boundaries of the delineated wetlands have not changed, as well as flag the highest observable tide line of the tidal wetland next to the project site. Please see the attached signed and stamped letter describing his findings, as well as the revised site plan showing the location of the flagged tidal wetland boundary.

In terms of visitor accessibility, our project will substantially increase the year-round accessibility of the trail. While not designed to the specifications of an all-person accessible trail following U.S. Forest Service standards, the existing trail from the Forest Society Education Center out past the work area to the edge of Sagamore Creek is relatively accessible, with gentle grades and few obstacles along its length. Our project addresses the intermittently wet tread surface, which is the most significant obstacle to access along this section of the trail, along with several areas with roots exposed by trail erosion. Trail accessibility advocates, like Enock Glidden of Outdoor Access Solutions, emphasize that modest changes and conscious decisions in trail design, construction or maintenance can considerably improve the accessibility of a trail for many users even where other factors (terrain, cost, etc.) prohibit building a fully accessible all persons trail. Different people living with a range of mobility disabilities are able to navigate different types of obstacles or may have access to different sorts of technological aids. Those factors mean that even incremental improvements to accessibility can still be beneficial to many people with mobility disabilities and, given that this section of trail has fewer barriers to access than many other trails, improvements to accessibility in this location go a long way.

Overall, this project substantially supports our goals of increasing public engagement on the property and providing a high-quality recreational experience for visitors. Maintaining and improving the existing Little Harbor Loop Trail is our primary trail management objective and, at this time, we do not have plans to create additional trails or relocate existing ones. Opportunities may exist in the future to further enhance accessibility along

this trail system, though we currently do not have any immediate plans beyond ongoing maintenance and installing the new trail turnpike. The Forest Society has been actively working to increase public engagement at Creek Farm, including better utilizing our existing trails and increasing programming based at our onsite Education Center. In 2023, we built a new public restroom facility for visitors outside of our Education Center. Last year we also added staff to support our engagement goals, hiring a new Southeast Region Program Manager to help expand educational programming and public engagement at Creek Farm, which this year will include a series of public and private guided walks (including partnering with the Portsmouth Senior Activity Center) among other new programming. We are also continuing existing programming such as our partnerships with the Gundalow Company River Rats summer camp and the Piscataqua Youth Sailing Association. With an ever-increasing program presence at Creek Farm, upgrading this section of the trail significantly supports our programs and is necessary to protect the long-term integrity of the trail.

As the Conservation Commission continues to review our application, I welcome you contact me via email (dsummers@forestsociety.org) with any additional questions you may have. I look forward to meeting with commission members for the site walk we have scheduled for 4/1/2026 and hope it will be a good opportunity to further explain the design details, add context, and discuss other considerations we're incorporating into our project.

Sincerely,
Dylan Summers



City of Portsmouth, New Hampshire

Wetland Conditional Use Permit Application Checklist

This wetland conditional use permit application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Conservation Commission and Planning Board review. The checklist is required to be uploaded as part of your wetland conditional use permit application to ensure a full and complete application is submitted to the Planning and Sustainability Department and to the online portal. A pre-application conference with a member of the Planning and Sustainability Department is encouraged as additional project information may be required depending on the size and scope of the project. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all wetland conditional use permit requirements. Please refer to Article 10 of the City of Portsmouth Zoning Ordinance for full details.

Applicant Responsibilities: Applicable fees are due upon application submittal to the Planning Board (no fees are required for Conservation Commission submission). The application will be reviewed by Planning and Sustainability Department staff to determine completeness. Incomplete applications which do not provide required information for the evaluation of the proposed site development shall not be provided review by the Conservation Commission or Planning Board.

Name of Applicant: Dylan Summers Date Submitted: 2/20/2026


Application # (in City's online permitting): _____

Site Address: 400 Little Harbor Rd, Portsmouth, NH Map: 203 Lot: 08

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)
<input checked="" type="checkbox"/>	Complete application form submitted via the City's web-based permitting program	
<input checked="" type="checkbox"/>	All application documents, plans, supporting documentation, this checklist and other materials uploaded to the application form in OpenGov in digital Portable Document Format (PDF) . One hard copy of all plans and materials shall be submitted to the Planning and Sustainability Department by the published deadline.	

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)
<input checked="" type="checkbox"/>	Basic property and wetland resource information. (10.1017.21)	ect Narrative page 1 and
<input checked="" type="checkbox"/>	Additional information required for projects proposing greater than 250 square feet of permanent or temporary impacts. (10.1017.22)	Project Narrative page 2 paragraph 2, and 2020 wetland
<input checked="" type="checkbox"/>	Demonstrate impacts as they relate to the criteria for approval set forth in Section 10.1017.50 (or Section 10.1017.60 in the case of utility installation in a right-of-way). (10.1017.23)	Project Narrative page 2 - 4.
<input checked="" type="checkbox"/>	Balance impervious surface impacts with removal and/or wetland buffer enhancement plan. (10.1017.24)	Project Narrative page 4.

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)
<input checked="" type="checkbox"/>	Wetland buffer enhancement plan. (10.1017.25)	Project Narrative page 4
<input checked="" type="checkbox"/>	Living shoreline strategy provided for tidal wetland and/or tidal buffer impacts. (10.1017.26)	Project Narrative page 4.
<input checked="" type="checkbox"/>	Stormwater management must be in accordance with Best Management Practices including but not limited to: 1. <i>New Hampshire Stormwater Manual, NHDES, current version.</i> 2. <i>Best Management Practices to Control Non-point Source Pollution: A Guide for Citizens and City Officials, NHDES, January 2004.</i> (10.1018.10)	Project Narrative page 2, paragraph 1.
<input checked="" type="checkbox"/>	Vegetated Buffer Strip slope of greater than or equal to 10%. (10.1018.22)	Yes, see site plan.
<input checked="" type="checkbox"/>	Removal or cutting of vegetation, use of fertilizers, pesticides and herbicides. (10.1018.23/10.1018.24/10.1018.25)	Project Narrative, page 3, criteria 4.
<input checked="" type="checkbox"/>	All new pavement within a wetland buffer shall be porous pavement. (10.1018.31)	Not Applicable to Project
<input checked="" type="checkbox"/>	An application that proposes porous pavement in a wetland buffer shall include a pavement maintenance plan. (10.1018.32)	Not Applicable to Project
<input checked="" type="checkbox"/>	Permanent wetland boundary markers shall be shown on the plan submitted with an application for a conditional use permit and shall be installed during project construction. (10.1018.40)	See 2020 wetland delineation & functional values assessment
<input checked="" type="checkbox"/>	Requested Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)
<input checked="" type="checkbox"/>	A narrative/letter addressed to the Conservation Commission Chair (if recommended to Planning Board then an additional narrative addressed to the Planning Board Chair at that time) describing the project and any proposed wetland and/or wetland buffer impacts. Please visit the WCUP instruction page for further application instructions.	
<input checked="" type="checkbox"/>	If New Hampshire Department of Environmental Services (NHDES) Standard Dredge and Fill Permit is required for this work, please provide this permit application at the same time as your submission for a Wetland Conditional Use Permit.	We expect to only need a Expedited Minimum Impact wetland permit.

Applicant's Signature:  Date: 2/22/2026



Project Area Photo Exhibit 1

Taken from eastern end
of west section of
proposed turnpike,
looking west.
Visible impact on the
right side of the photo
from hikers
circumventing wet trail

Project Area Photo Exhibit 2

Taken from the middle of the eastern section of proposed turnpike, looking west
Visible impact on right side of photo of hikers avoiding wet trail







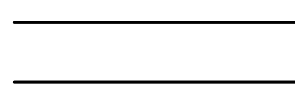

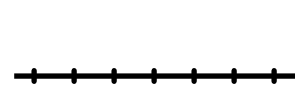








Proposed Trail Turnpike Little Harbor Loop Trail Creek Farm

City of Portsmouth
Wetlands Conditional Use Permit Site Plan
400 Little Harbor Road, Portsmouth, NH
Tax Map 203, Lot 08

Date Submitted: 2/20/2026
Revision: 3/25/2026

Legend

-  Flagged Tidal Wetland Boundary
-  Wetlands
-  25 ft Tidal Wetland Buffer
-  40 ft Vegetated Buffer Strip (No Cut)
-  100 ft Tidal Wetland Buffer
-  100 ft Freshwater Wetland Buffer
-  Little Harbor Loop Trail
-  Turnpike to be constructed
-  Erosion Control (Silt Socks)
-  Downhill side ditch and lead-off ditches (uphill side ditch not shown)
-  Access Road
-  Shrub to be trimmed back
-  Tree near project area
-  2 foot Contour Interval
-  10 foot Index Contour Interval

Scale:
(22"x34") 1 inch = 15 feet (1:180)

Wetland Delineation Note:

The wetland boundary depicted on this plan was delineated/flagged by Joseph W. Noel, NH Certified Wetland Scientist #086 in 2019 and again on March 19, 2026 (only the portion where the trail improvements are planned was reflagged/reviewed). Some of the flags were survey located by Knight Hill Land Surveying Services, Inc. in 2019. The eastern end of the flagging does not appear to have been survey-located in 2019 but follows the same contour line as the survey-located portion. The delineation was conducted in accordance with the U.S. Army Corps of Engineers document Corps of Engineers Wetlands Delineation Manual, (1987) along with the required Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region, (Version 2, January 2012) at the federal level and per NH Code of Administrative Rules Env-Wt 602.23 at the state level. See signed and stamped report dated 3/21/2026 for more information

Prepared By:

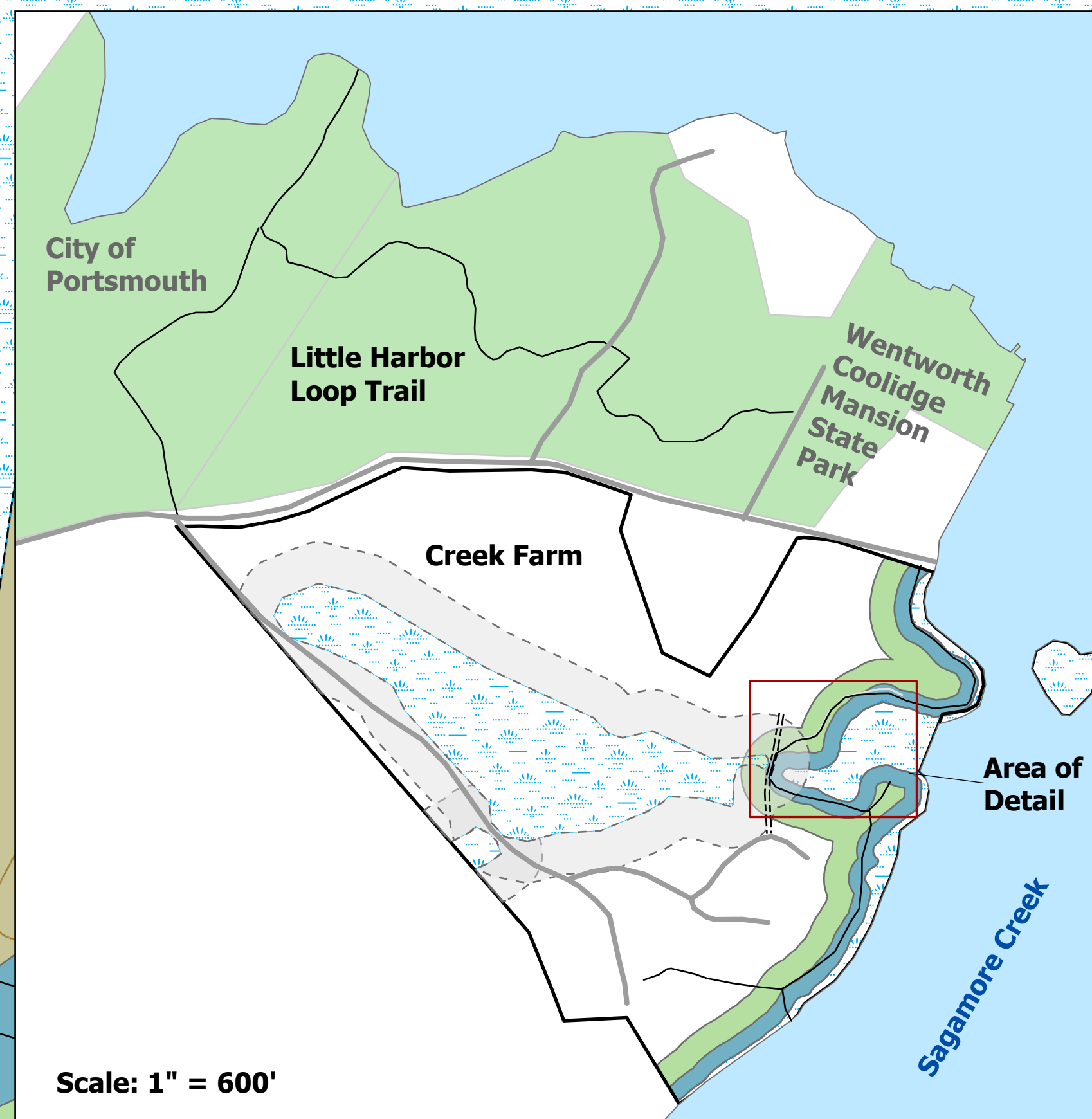
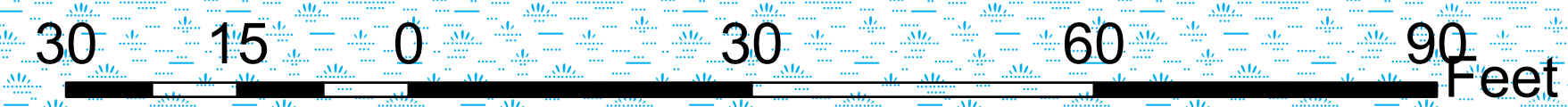
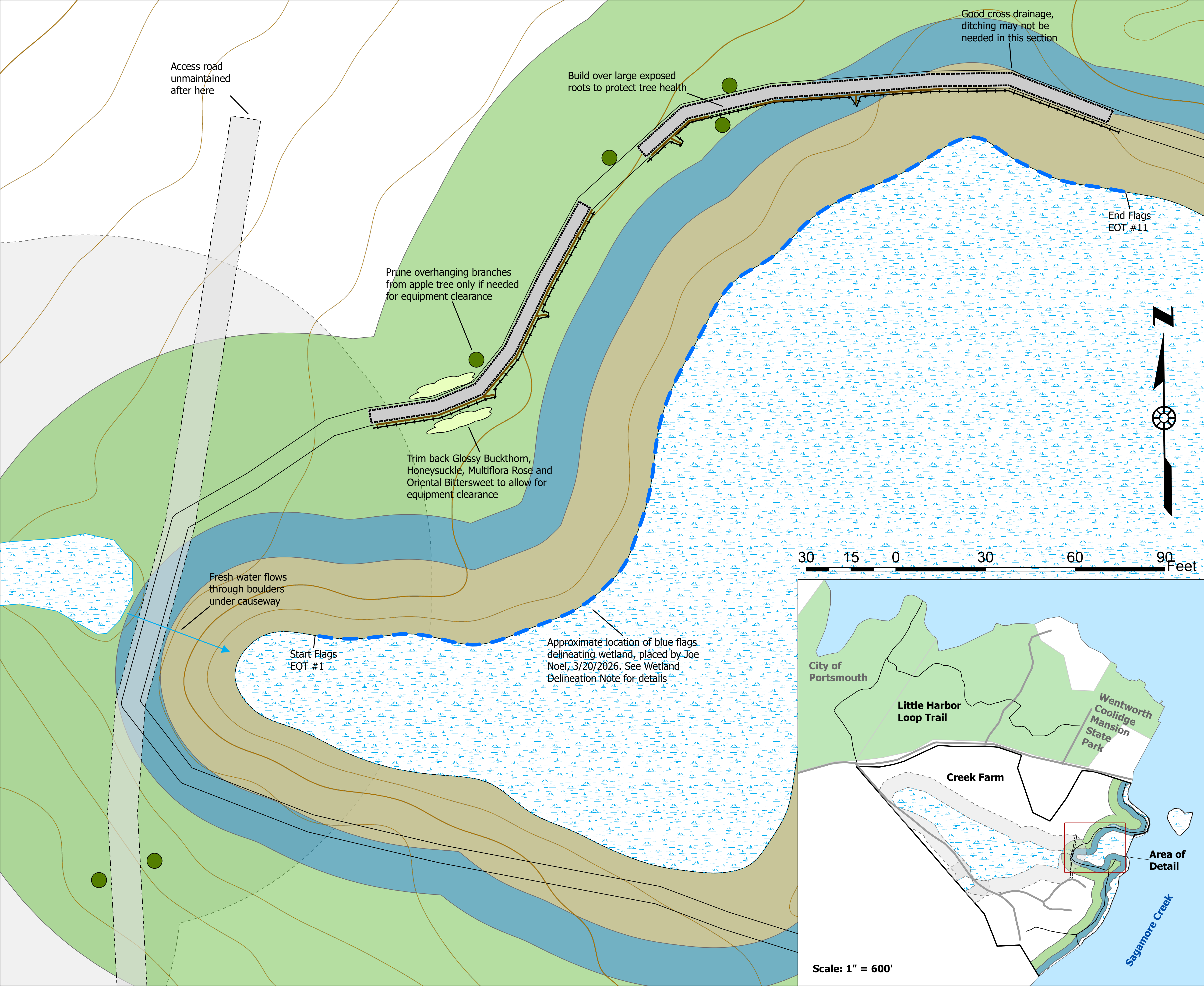
Dylan Summers
Stewardship Project Manager
Society for the Protection of New Hampshire Forests
dsommers@forestsociety.org
(603) 224-9945

Owner/Applicant:

Society for the Protection of
New Hampshire Forests

54 Portsmouth St.
Concord, NH, 03301
(603) 224-9945
www.forestsociety.org

SOCIETY FOR THE
PROTECTION OF
NEW HAMPSHIRE
FORESTS



Scale: 1" = 600'

Turnpike Example photo 1 - Mount Major, Alton, NH



Turnpike example photo 2 - Mount Major, Alton, NH



JOSEPH W. NOEL
P.O. BOX 174
SOUTH BERWICK, MAINE 03908
(207) 384-5587

CERTIFIED SOIL SCIENTIST * WETLAND SCIENTIST * LICENSED SITE EVALUATOR

March 21, 2026

Mr. Dylan Summers
Stewardship Projects Manager
Society for the Protection of New Hampshire Forests
54 Portsmouth Street
Concord, New Hampshire 03301

RE: 400 Little Harbor Road, Portsmouth, New Hampshire, JWN #95-445

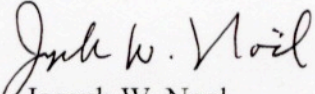
Dear Dylan:

It was a pleasure meeting you on March 19, 2026 at the above-referenced site (known as Creek Farm). You showed me the approximate limits of where the planned Little Harbour Loop trail improvements will occur. These improvements are near the adjacent coastal wetland system (i.e., tidal area). The scope of work only included this limited area where the trail system is being upgraded.

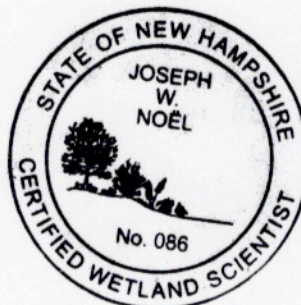
A second visit was made on March 20, 2026 and blue flagging (EOT1 – EOT11) was placed along the highest observable tide line (HOTL). The delineation was done in accordance with NH Code of Administrative Rules Env-Wt 602.23. This boundary was previously flagged by the undersigned on December 13, 2019 using blue flagging and at least a portion of this boundary was located by Knight Hill Land Surveying Services, Inc. The eastern end of the 2026 flagging (i.e., last few flags) may not have been survey-located in 2019 but do follow the same contour line). The approximate location of the EOT1 – EOT11 have been added to the sketch map that you provided for planning purposes. Four of the original 2019 flags (i.e. remaining knots) were observed during the 2026 fieldwork. It appears from the on-site that there are no detectable changes to the wetland boundary. Refer to that attached photo that shows one of the remaining blue flags on a honeysuckle shrub (*Lonicera sp.*). Also noted nearby is a patch of marsh elder (*Iva frutescens*). This shrub is also known as Jesuit's-Bark or High-Tide Bush (refer to attached photo) and its state status is Threatened. No direct impacts will occur where this patch of shrubs is located.

Please feel free to call if you have any questions or need additional information.

Sincerely,


Joseph W. Noel

NH Certified Wetland Scientist #086



PHOTOS

400 Little Harbor Road – Portsmouth, New Hampshire

(Photos taken by Joseph W. Noel on March 20, 2026)



Remnant of blue flagging from the 2019 delineation



Photo of a patch of marsh elder (*Iva frutescens*)

Proposed Trail Turnpike Little Harbor Loop Trail Creek Farm

400 Little Harbor Road
Portsmouth, NH
Tax Map 203, Lot 08

City of Portsmouth Wetlands Conditional Use Permit Site Plan

Date Submitted: 2/20/2026

Legend

- - - Highest Observable Tide
- Wetlands
- 100 ft Tidal Wetland Buffer
- 40 ft Vegetated Buffer Strip
- 100 ft Freshwater Wetland Buffer
- Little Harbor Loop Trail
- Turnpike to be constructed
- Erosion Control
- Access Road
- 2 foot Contour Interval
- 10 foot Index Contour Interval

Scale:
(22" x 34") - 1" = 15'
(11" x 17") - 1" = 30'

Prepared By:
Dylan Summers
Stewardship Project Manager
Society for the Protection of New Hampshire
Forests
ds Summers@forestsociety.org
(603) 224-9945

Owner/Applicant:
Society for the
Protection of New
Hampshire Forests

54 Portsmouth St.
Concord, NH, 03301

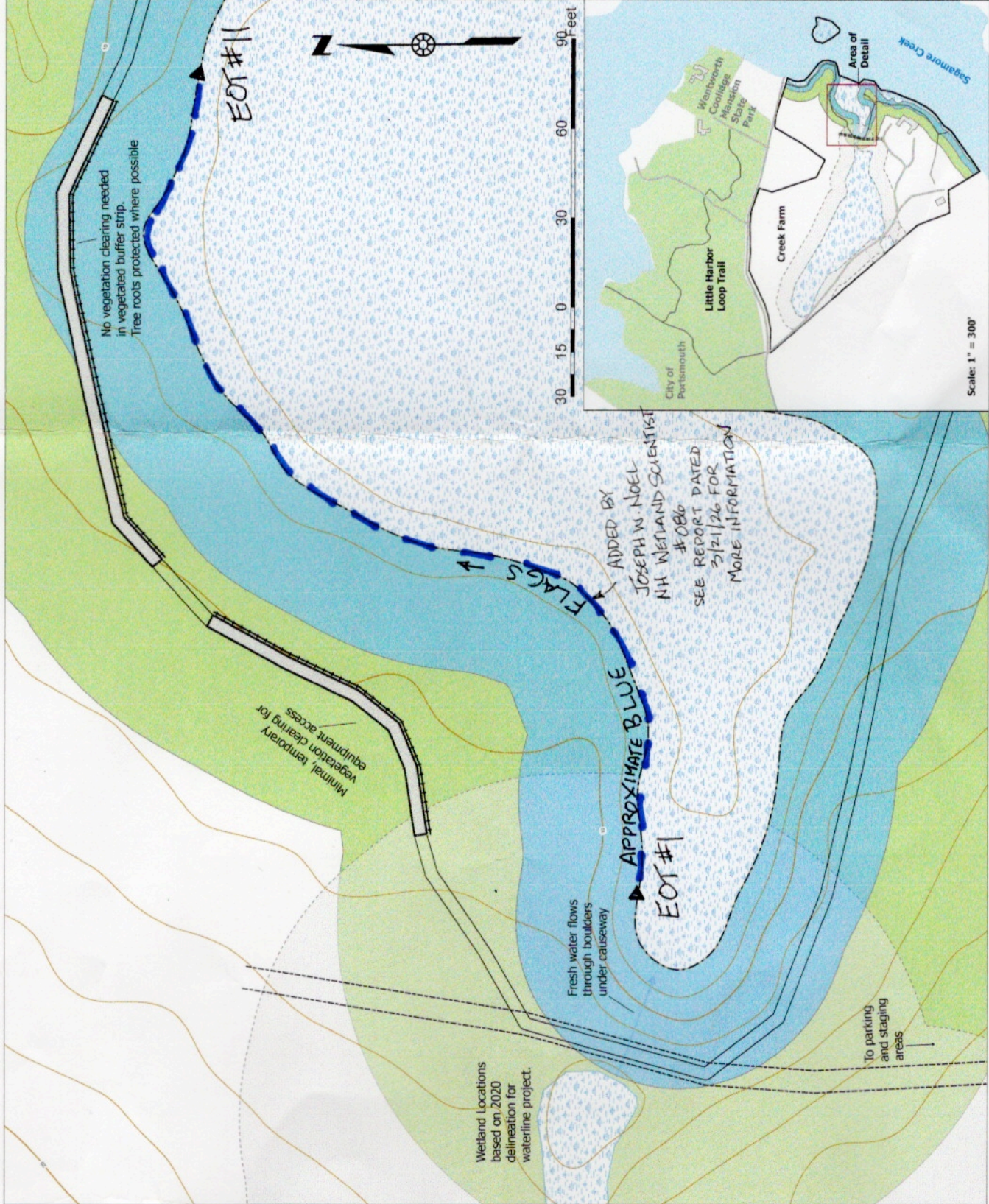
(603) 224-9945

www.forestsociety.org

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NEW HAMPSHIRE
FORESTS



SINCE
1901



Wetland Locations based on 2020 delineation for waterline project.

Scale: 1" = 300'



TRAILS NOTIFICATION STATUTORY PERMIT-BY-NOTIFICATION (SPN)

Water Division / Land Resources Management Program /
Wetlands Bureau
[Check notification status](#)



RSA/Rule: RSA 482-A:3, XII / Env-Wt 308.04(c); Env-Wt 517

Name of organization undertaking activities: Society for the Protection of New Hampshire Forests **Phone:** 603--224-9945 **Email:** dsummers@forestsociety.org

<i>Administrative use only</i>	<input type="checkbox"/> SPN complete and project as described conforms with all applicable requirements.	
	<input type="checkbox"/> SPN incomplete and/or project as described does not conform with all applicable requirements.	
	File number:	Initials:
	Check number:	Amount:

Terms in **bold** are defined in the final pages of this document.

SECTION 1 - PROJECT CRITERIA (Env-Wt 517.08(a))

Is the proposed activity limited to repair and/or replacement of out-of-water components of an existing legal **boardwalk**? Yes No
If you answered "Yes" you do not need a wetlands approval or permit.

Does the project consist only of maintenance, repair or replacement of an existing legal **trail** or pathway where there will be no change in location, configuration, dimensions or construction type and no work will be done in standing or flowing water? Yes No
If you answered "Yes" continue to Section 2. If you answered "No" continue to Section 1A.

SECTION 1A - CRITERIA FOR TRAIL, PATHWAY AND TRAIL BRIDGE PROJECTS (Env-Wt 517.04, Env-Wt 517.06(a))

N/A (not applicable) *If the project involves only a **boardwalk**, check N/A and continue to Section 1B.*

a. Does the project include **wetland** crossings that:

- Impact more than 3,000 square feet per crossing?
- Have a trail width exceeding 20 feet?
- Have a **fill** width that has not been minimized and/or, exceeds 50 feet per crossing when measured at the toe of the trail side slope? Or
- Exceed 60 feet in length per crossing, measured along the centerline of the proposed access way?

Yes No N/A
*If the project does not include a **wetland** crossing, check N/A for "not applicable" and continue to question b.*

b. Does the project impact a **bog, marsh, sand dune, tidal wetland, cedar swamp, or undisturbed tidal buffer zone**? Yes No

c. Does the project jeopardize the continued existence of threatened or endangered species or habitat, and the person responsible for the SPN project has not obtained recommendations from the NHDES Ecological Review Section regarding the threatened or endangered species or habitat (Env-Wt 407.02(d))? Yes No

d. Is the project located within or adjacent to a **prime wetland** or **duly-established 100-foot buffer**, and no waiver was obtained pursuant to Env-Wt 706? Yes No

irm@des.nh.gov or (603) 271-2147
29 Hazen Drive, PO Box 95, Concord, NH 03302-0095
des.nh.gov

e. If the project proposes culvert installations crossing a **perennial** or intermittent stream in jurisdictional areas, do the streams crossed have a scoured channel over 8 feet wide, or do the installations meet the bridge criteria of Env-Wt 517.06(a)(6)? Yes No N/A *If the project does not propose culvert installations crossing a **perennial** or intermittent stream in jurisdictional areas, check "N/A" and continue to question f.*

f. Does the project include installation of a new bridge or replacement of an existing bridge where (Env-Wt 517.06(a)(6)):

- Work will be performed in the water or in a **wetland** and/or **fill** will be placed in the water or in a **wetland**.
- Impacts to **banks** of the **watercourse**, including bridge structural supports, will exceed 3,000 square feet per crossing.
- The bridge is in a **prime wetland** or **duly-established 100-foot buffer** and no waiver was obtained pursuant to Env-Wt 706.
- The bridge is in a **bog, marsh, sand dune, or floodplain wetland** adjacent to a tier 3 **watercourse**.
- The project site has been identified as having occurrences of threatened or endangered species or habitat, and the person responsible for the SPN has not obtained recommendations from the NHDES Ecological Review Section regarding the threatened or endangered species or habitat (Env-Wt 407.02(d))?

Yes No

If you answered "Yes" to any questions in Section 1A above, you must use a [Standard Permit Application](#). If you answered "No" to all questions in Section 1A, continue to question g.

g. Will the trail or pathway project:

- Use existing structures and pathways wherever practicable?
- For trails, comply with the [Best Management Practices for Trail Construction and Maintenance](#)?

Yes No N/A *If you answered "No" to question g, you must use a Standard Permit Application.*






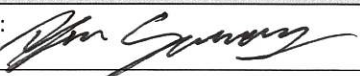
SECTION 1B - CRITERIA FOR CONSTRUCTION OF BOARDWALKS (Env-Wt 517.07(a)) N/A

If the project does not involve a boardwalk, check N/A for "not applicable" and continue to Section 2.

a. Is the proposed **boardwalk** in a non-tidal **wetland** or **surface water** body?
 Yes No *If you answered "No" you must use a Standard Permit Application.*

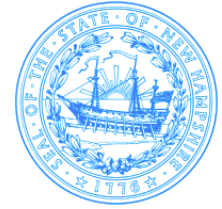
b. Will the **boardwalk** construction have a total area exceeding 3,000 square feet (provided that log foot bridges on trails may have up to 3,000 square feet per crossing), disturb more than 50 linear feet of a **surface water** body, measured along the shoreline of a lake or pond at its bank, and/or have adverse impacts to a marsh, **scrub-shrub wetland** adjacent to a surface waterbody, floodplain **wetland** adjacent to a **watercourse**, cedar **swamps**, or **Priority Resource Areas (PRAs)** except as provided in Env-Wt 407?
 Yes No *If you answered "Yes" to any criteria in question b, you must use a Standard Permit Application.*

c. Will **boardwalk** construction meet design and construction requirements of Env-Wt 517.05 (general conditions)?
 Yes No *If you answered "No" you must use a Standard Permit Application.*

SECTION 2 - PROJECT DESCRIPTION (Env-Wt 308.05(a)(2))		
Briefly describe each activity and the location at which it will occur: This project will build 270ft of turnpike along a 300ft section of trail that is frequently wet and muddy, and in the tidal wetland buffer. The project will be completed entirely in the existing trail corridor and will follow best management practices for turnpike construction.		
SECTION 3 - LOCATION OF PROPOSED ACTIVITY (RSA 482-A:3, XII(b)(3))		
Town: Portsmouth	Tax map / lot number: 203/08	
SECTION 4 - ORGANIZATION UNDERTAKING ACTIVITIES (RSA 482-A:3, XII(b)(1))		
Organization name: Society for the Protection of New Hampshire Forests	Mailing address: 54 Portsmouth St.	
Town or city: Concord	State: NH	ZIP: 03301
SECTION 5 - PROPERTY OWNER(S) (RSA 482-A:3, XII(b)(2))		
Last name, first name, middle initial:	Mailing address: 54 Portsmouth St.	
Town or city: Concord	State: NH	ZIP: 03301
SECTION 6 - ATTACHMENTS <i>Verify that the following attachments are submitted with this form by checking each box.</i>		
<input checked="" type="checkbox"/> DataCheck Identification Number: DCT26-0644		
<input checked="" type="checkbox"/> USGS Topographic Map at original scale with proposed work area locations identified (RSA 482-A:3, XII(b)(4)).		
<input checked="" type="checkbox"/> \$25 filing fee. <i>If paying by paper check or money order, payable to "Treasurer - State of NH" (RSA 482-A:3, XII (c)).</i>		
SECTION 7 - REQUIRED CERTIFICATIONS FROM AUTHORIZED REPRESENTATIVE		
<i>By initialing each item and signing this application, the authorized representative affirms that (Env-Wt 308.05(b)(2)):</i>		
Initials: 	The project is not located in a Priority Resource Area , except as provided in Env-Wt 407.	
Initials: 	All recommendations of the ecological review section of NHDES have been received.	
Initials: 	The person responsible for the activity is aware of the limits of the SPN and applicable BMPs for the project and will adhere to both.	
<i>By initialing each item and signing this application, the authorized representative certifies that (Env-Wt 311.11(e)):</i>		
Initials: 	The information submitted on or with the application is true, complete, and not misleading to the best of the signer's knowledge and belief.	
Initials: 	The signer understands that submission of false, incomplete, or misleading information constitutes grounds for NHDES to: 1. Deny the application. 2. Revoke any approval that is granted based on the information. 3. If the signer is a certified wetland scientist, licensed surveyor, or professional engineer licensed to practice in New Hampshire, refer the matter to the office of professional licensure and certification established by RSA 310.	
SECTION 8 - REQUIRED SIGNATURE (Env-Wt 308.05(b)(2); Env-Wt 311.11)		
Owner signature: 	Print name legibly: Dylan Summers	Date: 3/25/26
Applicant signature, if different from owner:	Print name legibly:	Date:
Agent signature, if applicable:	Print name legibly:	Date:



The State of New Hampshire
DEPARTMENT OF ENVIRONMENTAL SERVICES



Robert R. Scott, Commissioner

To: Dylan Summers, Society for the Protection of New Hampshire Forest
54 Portsmouth Street
Concord, NH 03301
dsummers@forestsociety.org

From: Ecological Review Section
New Hampshire Department of Environmental Services

cc:

Date: 03/20/2026 (valid until 03/20/2027)

Re: DataCheck Review by NHDES Ecological Review Section

Permits: MUNICIPAL POR - Portsmouth, NH, NHDES - Wetlands Statutory Permit-by-Notification (PBN)

DCT ID: DCT26-0644

Town: Portsmouth
Location: 400 Little Harbor Road

Project Description: Over the coming Summer or Fall we will be doing maintenance on a 300 foot stretch of the Little Harbor Loop Trail that is muddy and wet for parts of the year. We will be building 270 feet of trail turnpike in this section to address the areas of the trail that are muddy and wet.

Next Steps for Applicants:

The New Hampshire Department of Environmental Services (NHDES) Ecological Review Section has reviewed the provided mapped project area against available records of protected species, Exemplary Natural Communities (ENCs), and critical habitat. Based on the project mapping and submitted information, protected species may be impacted by the proposed work activities. Please carefully read the comments and instructions below for next steps to avoid and minimize impacts.

Plant and Exemplary Natural

Community Comments: If impacts are proposed to occur at or below the highest observable tide line, then an ecological review with NHDES is required, and a \$500 ecological review fee is NOT required. This is because marsh elder (*Iva frutescens*), protected pursuant to RSA 217-A, occurs adjacent to the proposed project area. To request an ecological review and receive conservation measures to avoid and minimize impacts, follow the instructions provided below. If no impacts are proposed to occur at or below the highest observable tide line, then there is no need for an ecological review for plants.

Wildlife and Critical Habitat

Comments: No ecological review needed based on provided information.

Ecological Review Instructions

Pursuant to Env-C 804.01, ecological reviews are either required by rule or recommended to comply with RSA 212-A and 217-A. Pursuant to Env-C 804.02, required ecological reviews that meet certain criteria must pay a \$500 fee to request an ecological review.

Instructions regarding how to request an ecological review for plants and/or wildlife are provided below:

When is an Ecological Review for Plants and Exemplary Natural Communities Needed

If this letter includes records of protected plants and/or exemplary natural communities, you may request an Ecological Review from NHDES (see further instructions below).

If no plant or exemplary natural communities are included on this letter, no further plant review is needed.

When is an Ecological Review for Wildlife and Critical Habitat Needed

If this letter includes records of protected wildlife and/or critical habitat, please refer to one of the following next steps:

- a. If your project requires an NHDES permit, authorization, or approval you may request an Ecological Review from NHDES (see further instructions below).
- b. If your project **does not** need an NHDES permit, authorization, or approval, then no ecological review with NHDES is needed. Instead, you can request a review from the New Hampshire Fish and Game (NHFG) Nongame and Endangered species program. Contact NHFGreview@wildlife.nh.gov or 603-271-2461 to request a review with NHFG.

If no wildlife species or critical habitat are included on this letter, then no further wildlife review is needed.

How to Request an Ecological Review from NHDES

To request an ecological review, access and complete the [Ecological Review Request form](#) found at onlineforms.nh.gov.

Submit the completed form and all required attachments by email, mail, or hand delivery to:

New Hampshire Department of Environmental Services
Attn: Ecological Review Section
P.O. Box 95
29 Hazen Drive
Concord, NH 03302-0095
EcologicalReviews@des.nh.gov

For questions about requesting an ecological review, call 603-271-7972.

Federal Compliance

This letter does not constitute compliance with the federal Endangered Species Act (ESA). There may be federally listed species in New Hampshire that are impacted by your activity not included in this letter. For ESA compliance, please visit the US Fish and Wildlife Service's (USFWS) [Information for Planning and Consultation \(iPaC\) website](#) for an official list of federally listed species that may be present in your project area. If a federal agency is involved in your project through funding, permit or other authorization, coordinate your iPaC results with your point of contact at the agency for further ESA review. If there is no federal agency nexus to your project, and you determine through iPaC, habitat evaluations etc. that a project may cause take of a federally listed species, we recommend coordinating with the USFWS' New England Field Office (newengland@fws.gov or [603-223-2541](tel:603-223-2541)).

Ecological Review Database records:

The following species and habitats may be impacted by the proposed work activities. Please refer to this list when coordinating.

Plant species	State¹	Federal	Notes
marsh elder (<i>Iva frutescens</i>)	T	--	Threats are primarily alterations to the hydrology of the wetland, such as ditching or tidal restrictions that might affect the sheet flow of tidal waters across the intertidal flat, activities that eliminate plants, and increased input of nutrients and pollutants in storm runoff.

¹Codes: "E" = Endangered, "T" = Threatened, "SC" = Special Concern, "--" = an exemplary natural community, or a rare species tracked by NH Natural Heritage that has not yet been added to the official state list.

Disclaimer:

DataCheck Tool screening only includes occurrences of protected species and exemplary natural communities that have been documented and verified by state biologists and ecologists. This letter does not guarantee these are the only protected species and habitat present at this location, only that their presence has not been documented and verified by state biologists and ecologists. As many areas have never been surveyed, or have only been surveyed for certain species, on site surveys are the best way to determine the resources present on your site.

DCT26-0644



Legend

- City/Town
- Site bounds

www.des.nh.gov
29 Hazen Drive • PO Box 95 • Concord, NH 03302-0095
(603) 271-3503 • Fax: (603) 271-2867 • TDD Access: Relay NH 1-800-735-2964

TYPE 2 - STANDARD TURNPIKE WITH FOUNDATION

TYPICAL ID	RETAINER*		DITCH		FOUNDATION**	
	TYPE	BTM	TYPE	LOCATION	TYPE	COMMENTS
TPF-1	G		R	LT RT	(D) (E) (F) (G)	FD

N/A WHEN NOT APPLICABLE
 **FOR FOUNDATIONS SEE SECTION STD_918

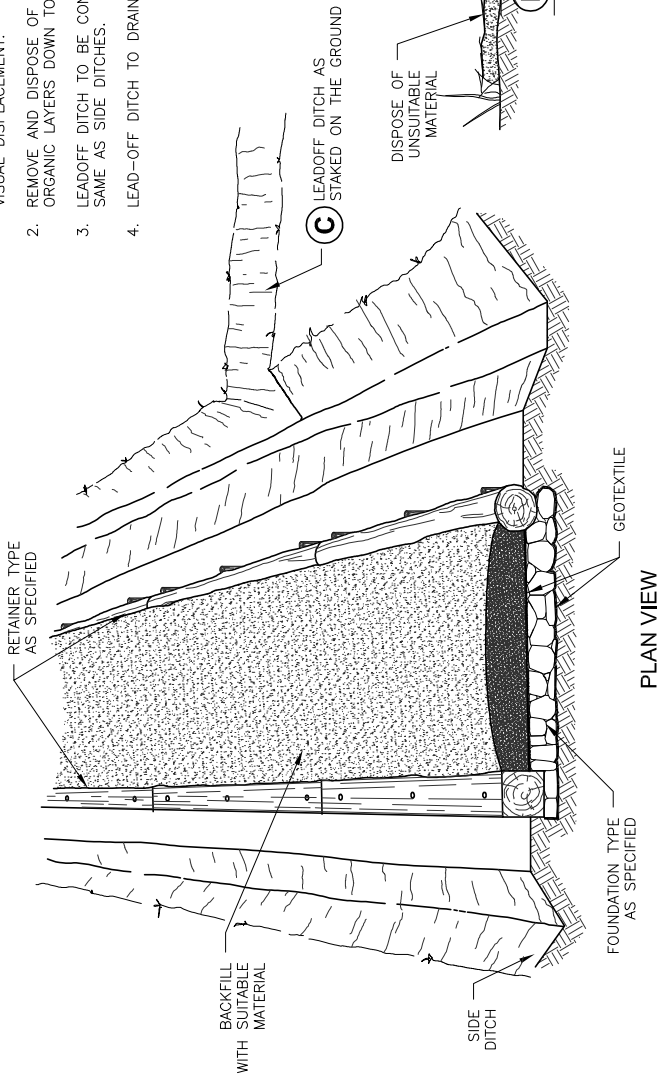
- NOTES:
1. COMPACT BACKFILL IN 6 INCH LIFTS UNTIL NO VISUAL DISPLACEMENT.
 2. REMOVE AND DISPOSE OF DUFF AND TOP ORGANIC LAYERS DOWN TO MINERAL SOIL.
 3. LEADOFF DITCH TO BE CONSTRUCTED THE SAME AS SIDE DITCHES.
 4. LEAD-OFF DITCH TO DRAIN TO DAYLIGHT.

GEOTEXTILE TYPE

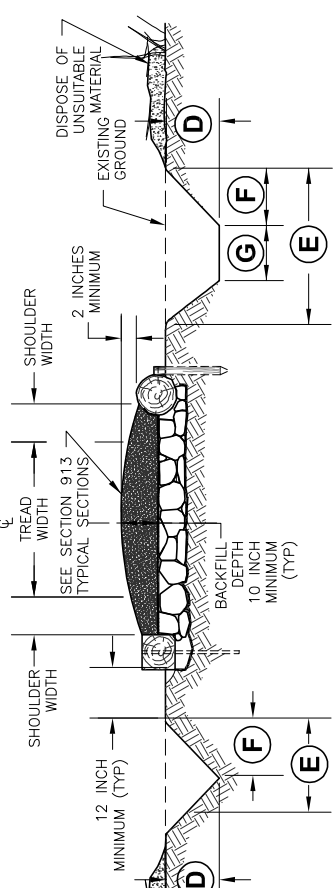
TYPE	MATERIAL	COMMENTS
G1	NON-WOVEN	
G2	WOVEN	
G3		

IN-FILL MATERIAL TYPE

TYPE	MATERIAL	ROCK SIZE	GRADATION %	COMMENTS
FD1	AGGREGATE	1 INCH MINUS		
FD2	COARSE ROCK	4 TO 6 INCH		
FD3	HEAVY ROCK	8 INCH +		
FD4				



PLAN VIEW



(A) "V" DITCH SECTION

(B) FLAT BOTTOM DITCH SECTION

TYPICAL CROSS SECTION

U.S. DEPARTMENT OF AGRICULTURE
 FOREST SERVICE
STANDARD TRAIL PLAN

PROJECT NAME & LOCATION: **TYPE 2 - STANDARD TURNPIKE w/FOUNDATION**

SECTION: **932 - TURNPIKES**

TYPICAL ID: **TPF**

REVISION DATE: **XX/XX/XX**

DRAWING NO.: **STD_932-20-01**

NO SCALE

SHEET OF



25 March 2026

Samantha Collins, Chair
City of Portsmouth Conservation Commission
1 Junkins Avenue
Portsmouth, NH 03801

Re: City of Portsmouth Wetland Conditional Use Permit and NHDES Minimum Impact Expedited Wetland Permit Application | Tax Map 115, Lot 4-1 | Parrott Avenue Parking Lot; Development at 134 Pleasant Street, Portsmouth, New Hampshire

Dear Ms. Collins:

This letter transmits a City of Portsmouth Wetland Conditional Use Permit request and a NHDES ~~Expedited~~ Minimum Impact Permit application for 601 square feet of disturbance within the 100' City of Portsmouth Wetland Buffer / NHDES Tidal Buffer Zone, and a Shoreland (Wetland) Permit Application for 4,434 square feet of disturbance within the 250' NHDES Shoreland Protection Zone. The site is shown on Tax Map 115 as Lot 4-1 and is owned by the City of Portsmouth, and is currently used as the Parrott Avenue parking lot. The need for the impact is generated by the requirement that the developer update the site drainage infrastructure to separate the surface water run-off, which currently flows to the city sewer system, and direct that flow to a dedicated drainage collection system. The system location is off-site from the 134 Pleasant Street development site and requires drainage piping to be constructed through the Parrott Avenue parking lot to make the necessary connection. Since this connection is in an area which is in the State's Tidal Buffer and Shoreland Protection Zones, as well as the City of Portsmouth Buffer Zone, this permit application is being filed. The piping connection will not alter the ground conditions, with the exception of drainage access manholes at grade. Also, as a part of the application, the developer is relocating an entrance to the development site, and this relocation requires some work in the 250' NHDES Shoreland Protection Zone, as shown on the plan. This disturbance will result in a decrease in impervious area while at the same time adding three parking spaces to the parking lot.

The impacts are associated with the 134 Pleasant Street development project and are required to provide appropriate stormwater separation and treatment, as outlined in the project Technical Advisory Committee (TAC) review and approval. The 134 Pleasant Street project consists of the adaptive reuse of the existing structure, with horizontal and vertical building expansions, and below grade (basement) parking, shown as "Building A". "Building B" will be constructed in the area between the existing Citizens Bank building and Pleasant street, bringing the site into conformance with the ordinance desire to enliven the street frontage. New exterior treatments and entrance locations are proposed, along with re-imaged pedestrian friendly sidewalks and landscaping improvements. The proposal is to increase the banking footprint, keeping the drive through in the same location, expanding the professional offices, and adding apartments. In addition to the banking facility and drive-up, the banking services will be expanded to include the headquarters of Kennebunk Savings Bank. The site is currently



developed with an existing building and a surface parking lot. The current use is a banking facility with drive-up, and offices.

The portion of the wetland buffer area that occurs on the Parrott Avenue Parking Lot is almost entirely covered with asphalt paving to provide for car parking. Between the city parking lot property and the South Mill Pond (the protected resource) there are trees and lawn area, with 40% of the area taken up by the Parrott Avenue pavement.

According to the City of Portsmouth Zoning Ordinance *Article 10.1017.50 Criteria for Approval*, the proposal shall comply with the following criteria:

1. The land is reasonably suited to the use, activity or alteration.

The proposal is to construct a drainage connection to decrease stormwater diverted to the sewer system which experiences surges and overflows in storm events. The portion of the proposed drainage improvement located within the 100' City of Portsmouth Wetland Buffer consists of 40 feet of pipe and an associated catch basin connection. The impact is temporary in nature as the ground surface will be returned to its original state. Given that the existing lot use will not change, the land is reasonably suited to the use, activity, or alteration.

2. There is no alternative location outside of the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.

Due to the configuration of the drainage system, and the location of the proposed connection, deviations from the connection point would create additional impacts to the 100' City of Portsmouth Wetland Buffer. We believe that the proposed connection location provides a reasonable use and minimizes impacts to the wetland buffer.

3. There will be no adverse impact on the wetland functional values of the site or surrounding properties.

We believe the proposal will not impact the existing wetland resource located adjacent to the site and its current functions and values. The proposed project is a cut, place, and cover operation. The diversion of potential sewer overflows will have a positive impact on the resource.

4. Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.

The proposed project does not include alteration of any naturally vegetated area to accommodate the construction. All construction is in an existing paved area.

5. The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this Section.



The project represents the alternative with the least adverse impacts to the buffer areas and environments while allowing development of the adjacent property. The project provides components which will serve to improve stormwater quality, treatment, and divert potential sewer overflows.

6. Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.

There are no areas within the vegetated buffer strip that will be impacted or altered by this project.

This submission includes a completed NHDES Expedited Minimum Impact Wetlands Permit Application for the Commissions review ~~and signature~~. The NHDES application outlines the need and identifies additional information which allows a review of the submission. We ask the Commission to consider ~~signing~~ the application at the upcoming meeting.

Please contact me if you have any questions or concerns regarding this application.

Respectfully submitted,

John Chagnon, PE
Project Manager
jchagnon@haleyward.com



City of Portsmouth, New Hampshire

Wetland Conditional Use Permit Application Checklist

This wetland conditional use permit application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Conservation Commission and Planning Board review. The checklist is required to be uploaded as part of your wetland conditional use permit application to ensure a full and complete application is submitted to the Planning and Sustainability Department and to the online portal. A pre-application conference with a member of the Planning and Sustainability Department is encouraged as additional project information may be required depending on the size and scope of the project. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all wetland conditional use permit requirements. Please refer to Article 10 of the City of Portsmouth Zoning Ordinance for full details.

Applicant Responsibilities: Applicable fees are due upon application submittal to the Planning Board (no fees are required for Conservation Commission submission). The application will be reviewed by Planning and Sustainability Department staff to determine completeness. Incomplete applications which do not provide required information for the evaluation of the proposed site development shall not be provided review by the Conservation Commission or Planning Board.

Name of Applicant: _____ Date Submitted: _____

Application # (in City's online permitting): _____

Site Address: _____ Map: _____ Lot: _____

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)
<input type="checkbox"/>	Complete application form submitted via the City's web-based permitting program	
<input type="checkbox"/>	All application documents, plans, supporting documentation, this checklist and other materials uploaded to the application form in OpenGov in digital Portable Document Format (PDF) . One hard copy of all plans and materials shall be submitted to the Planning and Sustainability Department by the published deadline.	

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)
<input type="checkbox"/>	Basic property and wetland resource information. (10.1017.21)	
<input type="checkbox"/>	Additional information required for projects proposing greater than 250 square feet of permanent or temporary impacts. (10.1017.22)	
<input type="checkbox"/>	Demonstrate impacts as they relate to the criteria for approval set forth in Section 10.1017.50 (or Section 10.1017.60 in the case of utility installation in a right-of-way). (10.1017.23)	
<input type="checkbox"/>	Balance impervious surface impacts with removal and/or wetland buffer enhancement plan. (10.1017.24)	

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)
<input type="checkbox"/>	Wetland buffer enhancement plan. (10.1017.25)	
<input type="checkbox"/>	Living shoreline strategy provided for tidal wetland and/or tidal buffer impacts. (10.1017.26)	
<input type="checkbox"/>	Stormwater management must be in accordance with Best Management Practices including but not limited to: 1. <i>New Hampshire Stormwater Manual, NHDES, current version.</i> 2. <i>Best Management Practices to Control Non-point Source Pollution: A Guide for Citizens and City Officials, NHDES, January 2004.</i> (10.1018.10)	
<input type="checkbox"/>	Vegetated Buffer Strip slope of greater than or equal to 10%. (10.1018.22)	
<input type="checkbox"/>	Removal or cutting of vegetation, use of fertilizers, pesticides and herbicides. (10.1018.23/10.1018.24/10.1018.25)	
<input type="checkbox"/>	All new pavement within a wetland buffer shall be porous pavement. (10.1018.31)	
<input type="checkbox"/>	An application that proposes porous pavement in a wetland buffer shall include a pavement maintenance plan. (10.1018.32)	
<input type="checkbox"/>	Permanent wetland boundary markers shall be shown on the plan submitted with an application for a conditional use permit and shall be installed during project construction. (10.1018.40)	
<input checked="" type="checkbox"/>	Requested Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)
<input type="checkbox"/>	A narrative/letter addressed to the Conservation Commission Chair (if recommended to Planning Board then an additional narrative addressed to the Planning Board Chair at that time) describing the project and any proposed wetland and/or wetland buffer impacts. Please visit the WCUP instruction page for further application instructions.	
<input type="checkbox"/>	If New Hampshire Department of Environmental Services (NHDES) Standard Dredge and Fill Permit is required for this work, please provide this permit application at the same time as your submission for a Wetland Conditional Use Permit.	



Applicant's Signature: _____ **Date:** _____



STANDARD DREDGE AND FILL WETLANDS PERMIT APPLICATION



Water Division / Land Resources Management Program /
Wetlands Bureau

[Check the status of your application](#)

RSA/Rule: RSA 482-A/Env-Wt 100-900

Applicant name:		Town name:	
<i>Administrative Use Only</i>	<i>File number:</i>	<i>Initials:</i>	
	<i>Check number:</i>	<i>Amount:</i>	

A person may request a waiver of the requirements in Rules Env-Wt 100-900 to accommodate situations where strict adherence to the requirements would not be in the best interest of the public or the environment but is still in compliance with RSA 482-A. A person may also request a waiver of the standards for existing dwellings over water pursuant to RSA 482-A:26, III(b). For more information, please consult the [Waiver Request Form](#).

SECTION 1 - REQUIRED PLANNING FOR ALL PROJECTS (Env-Wt 306.05; RSA 482-A:3, I(d)(2))	
<i>Please use the Land Resources Management Permit Planning Tool (LRMPPT), the DataCheck Tool, the Stream Crossing Initiative Data Viewer or other sources to assist in identifying key features such as Priority Resource Areas (PRAs), protected species or habitats, coastal areas, designated rivers or designated prime wetlands.</i>	
Has the required planning been completed?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Does the property contain a PRA? If yes, provide the following information:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Does the project qualify for an Impact Classification Adjustment (such as an agreement from the NHDES Ecological Review Section for a classification downgrade) or a Project-Type Exception (such as a Maintenance or Statutory Permit-by-Notification (SPN) project)? See Env-Wt 407.02 and Env-Wt 407.04.	<input type="checkbox"/> Yes <input type="checkbox"/> No
Protected species or habitat?	<input type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> • If yes, species or habitat name(s): • DataCheck project ID number: 	
Bog?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Floodplain wetland contiguous to a tier 3 or higher watercourse?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Designated prime wetland or duly-established 100-foot buffer?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Sand dune, tidal wetland, tidal water, or undeveloped tidal buffer zone?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is the property within a Designated River corridor? If yes, provide the following information:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> • Name of Local River Management Advisory Committee (LAC): • A copy of the application was sent to the LAC on (mm/dd/yyyy): 	
For dredging projects, is the subject property contaminated?	<input type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> • If yes, list contaminant: 	
Is there potential to impact impaired waters, Class A waters or Outstanding Resource Waters?	<input type="checkbox"/> Yes <input type="checkbox"/> No
For stream crossing projects, provide watershed size (see LRMPPT or Stream Stats):	

SECTION 2 - PROJECT DESCRIPTION (Env-Wt 311.04(i))
Provide a description of the project and the purpose of the project, the need for the proposed impacts to jurisdictional areas, an outline of the scope of work to be performed, and whether impacts are temporary or permanent.

The proposed project is the installation of a storm drain across the existing parking lot on the site that is intended to serve a related proposed development located at 134 Pleasant Street. Additional parking lot improvements are proposed. In total, the development is expected to result in 3,691 SF of temporary impacts and 1,344 SF of permanent impacts to the shoreland zone. Of the proposed shoreland impacts, 562 SF of temporary impacts and 39 SF of permanent impacts are proposed within the TBZ.

SECTION 3 - PROJECT LOCATION
Separate wetland permit applications must be submitted for each municipality within which wetland impacts occur.

Address:
 Town or city:
 Tax map/block/lot/unit:
 U.S. Geological Survey (USGS) topo map waterbody name:
 n/a
 (Optional) Latitude / longitude in decimal degrees (to five decimal places):

SECTION 4 - APPLICANT (DESIRED PERMIT HOLDER) INFORMATION (Env-Wt 311.04(a))
If the applicant is a trust or a company, then complete with the trust or company information.

Name:
 Mailing address:
 Town or city: State: ZIP:
 Email address: Phone:

Electronic communication: By initialing here, I hereby authorize NHDES to communicate all matters relative to this application electronically:

SECTION 5 - AUTHORIZED AGENT INFORMATION (Env-Wt 311.04(c)) N/A

Last name, first name, middle initial:
 Company name:
 Mailing address:
 Town or city: State: ZIP:
 Email address: Phone:

Electronic communication: By initialing here, I hereby authorize NHDES to communicate all matters relative to this application electronically:

SECTION 6 - PROPERTY OWNER INFORMATION (IF DIFFERENT THAN APPLICANT) (Env-Wt 311.04(b))			
<i>If the owner is a trust or a company, then complete with the trust or company information.</i> <input type="checkbox"/> Same as applicant			
Name:			
Mailing address:			
Town or city:		State:	ZIP:
Email address:		Phone:	
Electronic communication: By initialing here, I hereby authorize NHDES to communicate all matters relative to this application electronically:			
SECTION 7 - RESOURCE-SPECIFIC CRITERIA ESTABLISHED IN Env-Wt 400, Env-Wt 500, Env-Wt 600, Env-Wt 700, OR Env-Wt 900 HAVE BEEN MET (Env-Wt 313.01(a)(3))			
Describe how the resource-specific criteria have been met for each chapter listed above (please attach information about stream crossings, coastal resources, prime wetlands, or non-tidal wetlands and surface waters):			
SECTION 8 - AVOIDANCE AND MINIMIZATION			
Impacts within wetland jurisdiction must be avoided to the maximum extent practicable (Env-Wt 313.03(a)).* Any project with unavoidable jurisdictional impacts must then be minimized as described in the Wetlands Best Management Practice Techniques For Avoidance and Minimization and the Wetlands Permitting: Avoidance, Minimization and Mitigation fact sheet. For minor or major projects, a functional assessment of all wetlands on the project site is required (Env-Wt 311.03(b)(10)).*			
Please refer to the application checklist to ensure you have attached all documents related to avoidance and minimization, as well as functional assessment (where applicable). Use the Avoidance and Minimization Checklist , the Avoidance and Minimization Narrative , or your own avoidance and minimization narrative.			
*See Env-Wt 311.03(b)(6) and Env-Wt 311.03(b)(10) for shoreline structure exemptions.			
SECTION 9 - MITIGATION REQUIREMENT (Env-Wt 311.02)			
<i>If unavoidable jurisdictional impacts require mitigation, a mitigation pre-application meeting must occur at least 30 days but not more than 90 days prior to submitting this Standard Dredge and Fill Permit Application.</i>			
Mitigation pre-application meeting date (mm-dd-yyyy):		<input type="checkbox"/> N/A - Mitigation is not required.	
SECTION 10 - THE PROJECT MEETS COMPENSATORY MITIGATION REQUIREMENTS (ENV-WT 313.01(A)(1)C)			
<i>Confirm that you have submitted a compensatory mitigation proposal that meets the requirements of Env-Wt 800 for all permanent unavoidable impacts that will remain after avoidance and minimization techniques have been exercised to the maximum extent practicable</i>			
<input type="checkbox"/> I confirm submittal.		<input type="checkbox"/> N/A – Compensatory mitigation is not required)	

SECTION 11 - IMPACT AREA (Env-Wt 311.04(g))

For each jurisdictional area that will be or has been impacted, provide square feet (SF) and, if applicable, linear feet (LF) of impact, and note whether the impact is After-The-Fact (ATF; meaning work was started or completed without a permit).

For intermittent and ephemeral streams, linear feet of impact are measured along the thread of the channel. Please note, installation of a stream crossing in an ephemeral stream may be undertaken without a permit per Rule Env-Wt 309.02(d), however other dredge or fill impacts should be included below.

For perennial streams/ivers, linear feet of impact are calculated by summing the lengths of disturbances to the channel and banks.

Permanent (PERM) impacts are impacts that will remain after the project is complete (e.g., changes in grade or surface materials). Temporary (TEMP) impacts are impacts not intended to remain (and will be restored to pre-construction conditions) after the project is completed.

JURISDICTIONAL AREA		PERM. SF	PERM. LF	PERM. ATF	TEMP. SF	TEMP. LF	TEMP. ATF
Wetlands	Forested Wetland			<input type="checkbox"/>			<input type="checkbox"/>
	Scrub-shrub Wetland			<input type="checkbox"/>			<input type="checkbox"/>
	Emergent Wetland			<input type="checkbox"/>			<input type="checkbox"/>
	Wet Meadow			<input type="checkbox"/>			<input type="checkbox"/>
	Vernal Pool			<input type="checkbox"/>			<input type="checkbox"/>
	Designated Prime Wetland			<input type="checkbox"/>			<input type="checkbox"/>
	Duly-established 100-foot Prime Wetland Buffer			<input type="checkbox"/>			<input type="checkbox"/>
Surface Water	Intermittent / Ephemeral Stream			<input type="checkbox"/>			<input type="checkbox"/>
	Perennial Stream or River			<input type="checkbox"/>			<input type="checkbox"/>
	Lake / Pond			<input type="checkbox"/>			<input type="checkbox"/>
	Docking - Lake / Pond			<input type="checkbox"/>			<input type="checkbox"/>
	Docking - River			<input type="checkbox"/>			<input type="checkbox"/>
Banks	Bank - Intermittent Stream			<input type="checkbox"/>			<input type="checkbox"/>
	Bank - Perennial Stream / River			<input type="checkbox"/>			<input type="checkbox"/>
	Bank / Shoreline - Lake / Pond			<input type="checkbox"/>			<input type="checkbox"/>
Tidal	Tidal Waters			<input type="checkbox"/>			<input type="checkbox"/>
	Tidal Marsh			<input type="checkbox"/>			<input type="checkbox"/>
	Sand Dune			<input type="checkbox"/>			<input type="checkbox"/>
	Undeveloped Tidal Buffer Zone (TBZ)			<input type="checkbox"/>			<input type="checkbox"/>
	Previously-developed TBZ			<input type="checkbox"/>			<input type="checkbox"/>
	Docking - Tidal Water			<input type="checkbox"/>			<input type="checkbox"/>
TOTAL							

SECTION 12 - APPLICATION FEE (RSA 482-A:3, I)			
<input type="checkbox"/> Minimum impact: flat fee of \$600. <input type="checkbox"/> Non-enforcement related, publicly funded and supervised restoration projects, regardless of impact classification: flat fee of \$600 (refer to R2-A:3, 1(c) for restrictions). <input type="checkbox"/> Minor or major impact fee: calculate using the table below.			
Permanent and temporary (non-docking):	SF	× \$0.60 =	\$
Seasonal docking structure:	SF	× \$3.00 =	\$
Permanent docking structure:	SF	× \$6.00 =	\$
Projects proposing shoreline structures (including docks): add \$600.			\$
Total			\$
The application fee for minor or major impact is the above calculated total or \$600, whichever is greater.			\$
SECTION 13 - PROJECT CLASSIFICATION (Env-Wt 306.05) Indicate the project classification.			
<input type="checkbox"/> Minimum impact project	<input type="checkbox"/> Minor project	<input type="checkbox"/> Major project	
SECTION 14 - REQUIRED CERTIFICATIONS (Env-Wt 311.11) Initial each box below to certify.			
Initials:	To the best of the signer's knowledge and belief, all required notifications have been provided.		
Initials:	The information submitted on or with the application is true, complete, and not misleading to the best of the signer's knowledge and belief.		
Initials:	The signer understands that submission of false, incomplete, or misleading information constitutes grounds for NHDES to: <ol style="list-style-type: none"> 1. Deny the application. 2. Revoke any approval that is granted based on the information. 3. If the signer is a certified wetland scientist, licensed surveyor, or professional engineer licensed to practice in New Hampshire, refer the matter to the office of professional licensure and certification established by RSA 310. 		
Initials:	If the applicant is not the owner, each property owner's signature shall constitute certification by the signer that he or she is aware of the application being filed and does not object to the filing.		
SECTION 15 - REQUIRED SIGNATURES (Env-Wt 311.04(d); Env-Wt 311.11)			
Signature (owner):	Print name legibly:	Date:	
Signature (applicant, if different from owner):	Print name legibly:	Date:	
Signature (agent, if applicable):	Print name legibly:	Date:	

SECTION 16 - TOWN / CITY CLERK SIGNATURE (Env-Wt 311.04(f))	
As required by RSA 482-A:3, I(a)(1), I hereby certify that the applicant has provided a hard copy and a digital copy of a completed application form, with required attachments, to the town or city indicated below.	
Town or city clerk signature:	Print name legibly:
Town or city:	Date:

DIRECTIONS FOR TOWN OR CITY CLERK

1. Upon confirming receipt of one paper copy and one digital copy of this application, with its attachments, Immediately sign a copy of the application and return it to the applicant for submittal to the department.
2. Retain the hard copy for review by the public and immediately distribute a digital copy of the application package to each of the following bodies:
 - a. Local conservation commission.
 - b. Local governing body such as select board or town or city council.
 - c. Local planning board.

DIRECTIONS FOR APPLICANT

1. Bring one hard copy of the application and its attachments, and one digital copy of the same, to the municipal clerk(s) of the town(s) in which proposed jurisdictional impacts are located. Digital copies shall be in PDF format or other formats approved by NHDES.
2. Submit the copy of the complete application package signed by the municipal clerk(s) to NHDES.
3. State agency applicants may file simultaneously with NHDES and the municipal clerk.

Keep this checklist for your reference. Do not submit it with your application.

APPLICATION CHECKLIST

Unless specified, all items below are required. Failure to provide the required items will delay a decision on your project and may result in denial of your application. Please reference statute RSA 482-A and [Wetland Rules Env-Wt 100-900](#).

- Completed, dated, signed, and certified application (Env-Wt 311.03(b)(1)).
- Correct fee as determined in RSA 482-A:3, I(b) or (c), subject to any cap established by RSA 482-A:3, X (Env-Wt 311.03(b)(2)). If not filing electronically, make check or money order payable to "Treasurer – State of NH".
- Required planning actions required by Env-Wt 311.01(a)-(c) and Env-Wt 311.03(b)(3).
- [US Army Corps of Engineers \(ACE\) "Appendix B, New Hampshire General Permits \(GPs\), Required Information and Corps Secondary Impacts Checklist"](#) and its required attachments (Env-Wt 307.02). This includes the [US Fish and Wildlife Service IPAC review](#) and [Section 106 Historic/Archaeological Resource review](#).
- Project plans described in Env-Wt 311.05 (Env-Wt 311.03(b)(4)).
- Maps, or electronic shape files and meta data, and other attachments specified in Env-Wt 311.06 (Env-Wt 311.03(b)(5)).
- Explanation of the methods, timing and manner as to how the project will meet standard permit conditions required in Env-Wt 307 (Env-Wt 311.03(b)(7)).
- If applicable, the information regarding proposed compensatory mitigation specified in Env-Wt 311.08 and Chapter Env-Wt 800, unless not required under Env-Wt 313.04 (Env-Wt 311.03(b)(8); Env-Wt 311.08; Env-Wt 313.04).
- Any additional information specific to the type of resource as specified in Env-Wt 311.09 (Env-Wt 311.03(b)(9); Env-Wt 311.04(j)).
- Project specific information required by Env-Wt 500, Env-Wt 600, and Env-Wt 900 (Env-Wt 311.03(b)(11)).
- A list containing the name, mailing address and tax map/lot number of each abutter to the subject property (Env-Wt 311.03(b)(12)).
- Copies of certified postal receipts or other proof of receipt of the notices that are required by RSA 482-A:3, I(d) (Env-Wt 311.03(b)(13)).
- Project design considerations required by Env-Wt 313 (Env-Wt 311.04(j)).
- Town tax map showing the subject property, the location of the project on the property, and the location of properties of abutters with each lot labeled with the name and mailing address of the abutter (Env-Wt 311.06(a)).
- Dated and labeled color photographs that:
 - (1) Clearly depict:
 - a. All jurisdictional areas, including but not limited to portions of wetland, shoreline, or surface water where impacts have or are proposed to occur.
 - b. All existing shoreline structures.
 - (2) Are mounted or printed no more than two per sheet on 8.5 x 11-inch sheets (Env-Wt 311.06(b)).
- A copy of the appropriate US Geological Survey map or updated data based on LiDAR at a scale of one inch equals 2,000 feet showing the location of the subject property and proposed project (Env-Wt 311.06(c)).
- A narrative that describes the work sequence, including pre-construction through post-construction, and the relative timing and progression of all work (Env-Wt 311.06(d)).

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- For all projects in the protected tidal zone, a copy of the recorded deed with book and page numbers for the property (Env-Wt 311.06(e)).
- If the applicant is not the owner in fee of the subject property, documentation of the applicant's legal interest in the subject property, provided that for utility projects in a utility corridor, such documentation may comprise a list that:
 - (1) Identifies the county registry of deeds and book and page numbers of all of the easements or other recorded instruments that provide the necessary legal interest.
 - (2) Has been certified as complete and accurate by a knowledgeable representative of the applicant (Env-Wt 311.06(f)).
- DataCheck results letter containing the DataCheck identification number from NHDES as well as documentation of any ecological review requests made to NHDES, communications and information related to the requested ecological review, and the results of the ecological review. (Env-Wt 311.06(g)). See [Wetlands Permitting: Protected Species and Habitat](#) fact sheet.
- A statement of whether the applicant has received comments from the local conservation commission and, if so, how the applicant has addressed the comments (Env-Wt 311.06(h)).
- For projects in LAC jurisdiction, a statement of whether the applicant has received comments from the LAC and, if so, how the applicant has addressed the comments (Env-Wt 311.06(i)).
- If the applicant is also seeking to be covered by state general permits, a statement of whether comments have been received from any federal agency and, if so, how the applicant has addressed the comments (Env-Wt 311.06(j)).
- [Avoidance and Minimization Written Narrative](#), [Avoidance and Minimization Checklist](#) or your own avoidance and minimization narrative (Env-Wt 311.07).
- For after-the-fact applications, information required by Env-Wt 311.12.
- [Coastal Resource Worksheet](#) for coastal projects as required under Env-Wt 600.
- Prime wetlands information required under Env-Wt 700. See [LRMPPT](#) for prime wetland mapping.
- For non-tidal shoreline structure projects, the length of shoreline frontage per Env-Wt 311.09(b)(1).

REQUIRED ATTACHMENTS FOR MINOR AND MAJOR PROJECTS

- [Attachment A: Minor and Major Projects](#) (Env-Wt 313.03).
- [Functional Assessment Worksheet](#) or others means of documenting the results of actions required by Env-Wt 311.10 as part of an application preparation for a standard permit (Env-Wt 311.03(b)(3); Env-Wt 311.03(b)(10)). See [Functional Assessments for Wetlands and Other Aquatic Resources](#) fact sheet. For shoreline structures, see shoreline structures exemption in Env-Wt 311.03(b)(10))

OPTIONAL MATERIALS

- [Stream Crossing Worksheet](#) which summarizes the requirements for stream crossings under Env-Wt 900.
- Request for [concurrent processing of related shoreland / wetlands permit applications](#) (Env-Wt 313.05).

July 21, 2025

AUTHORIZATION

**Double Mc, LLC
134 Pleasant Street
Portsmouth, New Hampshire 03801**

I, Mark A. McNabb, as Manager and Member of Double Mc, LLC, owns property located in the City of Portsmouth as depicted on Tax Assessor Map U-116 as Lot 30 having an address of 134 Pleasant Street, Portsmouth New Hampshire.

I hereby authorize Tracy Kozak from Arcove, LLC, as the project architect, and John Chagnon from Haley Ward Engineering, as the project Civil Engineer, to submit any applications, materials and represent our interests before any land use boards in the City or Portsmouth and State of New Hampshire.



Mark A. McNabb, Manager & Member

Dated: July 21, 2025

RELEASE DEED

The **CATHEDRAL CHURCH OF ST. JOHN THE DIVINE IN THE CITY AND DIOCESE OF NEW YORK**, 1047 Amsterdam Avenue, in the City, County and State of New York

for consideration paid, grants and releases to **THE CITY OF PORTSMOUTH**, a municipality with principal place of business located at 1 Junkins Avenue, Portsmouth, County of Rockingham, State of New Hampshire

all of its remaining right, title and interest in certain property located in the vicinity of Pleasant Street and Parrott Avenue in the City of Portsmouth, County of Rockingham and State of New Hampshire previously conveyed by the Cathedral Church of St. John the Divine to the City of Portsmouth by deed recorded in the Rockingham County Registry of Deeds at Volume 1093, Page 64. In particular, but without limitation, the Cathedral Church of St. John the Divine expressly releases the City of Portsmouth from a provision in that deed which reads as follows:

"This conveyance is made upon the condition that it shall forever be limited in its use to public purposes of the City of Portsmouth and that no buildings shall be erected thereon except in connection with such use and located on the westerly end of the premises".

By execution of this deed the Cathedral Church of St. John the Divine means and intends to convey any remaining right, title and interest which it may have in the property which it conveyed to the City by deed dated the 26th day of November 1947 and received and recorded in the Rockingham County Registry of Deeds on January 20, 1948 as referenced above at Volume 1093, Page 64.

IN WITNESS WHEREOF, the Cathedral Church of St. John the Divine has set its hand and seal this 9th day of FEBRUARY, 2000.

CATHEDRAL CHURCH OF ST. JOHN THE DIVINE IN THE CITY AND DIOCESE OF NEW YORK

Adrienne E. Sawt
Witness

By: *Stephen Facey*
Stephen Facey
Executive Vice President
Executed pursuant to vote of the Board of Trustees of the Cathedral Church of St. John the Divine in the City and Diocese of New York taken on DECEMBER 14, 2000.
1999

ROCKINGHAM COUNTY
REGISTRY OF DEEDS

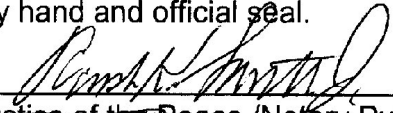
0007317

2000 FEB 14 AM 8:03

STATE OF NEW YORK
COUNTY OF NEW YORK

On this 9th day of FEBRUARY, 2000, before me,
RALPH K. SMITH, JR., the undersigned officer, personally
appeared STEPHEN FACEY, who acknowledged himself to be the
EXECUTIVE VICE PRESIDENT, of THE CATHEDRAL CHURCH OF ST.
JOHN THE DIVINE IN THE CITY AND DIOCESE OF NEW YORK, and that he,
as such EXECUTIVE VICE PRESIDENT, being authorized to execute the
document by vote of the Board of Trustees of the Cathedral Church of St. John
the Divine has executed the foregoing instrument for the purposes therein
contained.

In witness whereof I hereunto set my hand and official seal.



Justice of the Peace / Notary Public
My commission expires: _____



RALPH K. SMITH, JR.
Notary Public, State of New York
No. 30-3741450, Qualified in Nassau County
Cert. filed in New York County
Commission Expires ~~March 30, 18~~
Aug. 31, 2001



HALEY WARD

PROJECT INFORMATION

Double MC, LLC – 134 Pleasant Street, Portsmouth, NH

Introduction

The applicant, Double MC, LLC, proposes site improvements on two lots within the City of Portsmouth for the intended use as the Kennebunk Savings Bank headquarters. The project spans two lots, consisting of the lot at 134 Pleasant Street (Map 116, Lot 30) and the Parrot Avenue parking lot (Map 115, Lot 4-1).

The project site currently consists of a Citizens bank building with associated parking and a drive-through. The Citizens Bank parking lot connects into the Parrot Avenue parking lot on the western end of the parcel. The entirety of both of the lots are currently developed with significant impervious areas and landscaping.

The project consists of the adaptive reuse of the existing structure on the 134 Pleasant Street lot, including both horizontal and vertical building expansions, a below-grade (basement) parking area, new exterior treatments and entrance locations, redevelopment of the parking lot to improve traffic flow, landscaping improvements, and stormwater management improvements.

The building additions are intended to serve as both a method to expand professional offices and banking services for the inclusion of the Kennebunk Savings Bank headquarters and to add additional apartments. The addition of below-grade parking will result in a net increase of 53 spaces compared to the current site configuration while minimizing the need for additional impervious areas on site. Site landscaping has been designed to provide a more pedestrian-friendly layout with a seating area and benches in the western end of the development while preserving the current extent of street trees on the south, west, and east sides of the parking lot. Improvements to stormwater management will not result in any significant grading as drainage patterns will remain the same; however, the project proposes the addition of an off-site connection to the city's separated drainage system, thereby removing stormwater flow from sewer treatment. The proposed re-design is intended to meet the City's stormwater management and treatment requirements. The stormwater runoff will be treated in a new Jellyfish stormwater treatment system design to meet Low Impact Development standards. Added treatment prior to the Jellyfish is provided in the Cascade pre-treatment device.

Double MC, LLC | 04.03.2026 | 5010156.1532



Proposed Impacts and Permitting

The proposed project will include impacts within the 250' shoreland zone and the 100' tidal buffer zone (TBZ) of South Mill Pond. Because the project is split across two properties, separate permitting will be required for both the 134 Pleasant Street lot and the Parrot Avenue parking lot. The applicant has already received approval for a Shoreland Permit-By-Notification (2026-00409, dated March 2, 2026) for development associated with the redevelopment of the southwestern corner of the parking area on the 134 Pleasant Street lot. The construction of the building expansions, below-grade parking, and associated landscape are all located outside the shoreland zone.

The remainder of the project will occur on the Parrot Avenue parking lot. The northwestern corner of the parking lot is proposed to be redeveloped to improve traffic flow. A new storm drain is proposed to cross the existing parking lot and will terminate adjacent to Parrot Avenue where it will connect to the city's separated drainage system.

The project does not propose any impacts to wetlands, wildlife habitat, or on-site PRAs. Data screening in accordance with Env-Wt 603.03 suggests that below the highest observable tide line (HOTL) the site contains salt marsh habitat but lacks eelgrass and shellfish habitat. However, the site does not propose any impacts below the HOTL.

The proposed project is categorized as a coastal project and therefore must meet the applicable submission standards outlined both within Env-Wt 300 and Env-Wt 600. Due to the project's limit of disturbance being located within 75 feet of a high marsh wetland in South Mill Pond, it is categorized as a minor impact project. A coastal functional assessment and a vulnerability assessment are included in this application. Additionally, due to the proposed project's footprint being located entirely above HOTL, water depth supporting information and impacts to navigation and passage as outlined in Env-Wt 603.08 and 603.09 are not provided.

Shoreland Impacts: In total, the development is expected to result in 3,691 SF of temporary impacts and 1,344 SF of permanent impacts to the shoreland zone. The extent of the impact of the project on this lot does not allow the applicant to submit a Shoreland PBN. Therefore, a full Shoreland permit application is required.

The total impervious area on the site will be reduced as a result of the redevelopment of the northwestern corner of the parking lot as shown on the submitted impact plan and outlined in the shoreland application.



The project site does not consist of any natural woodland buffer (NWB). The entire lot is developed as a parking lot with landscaped area. Therefore, the proposed development will not result in any change to the NWB.

TBZ Impacts: Of the proposed shoreland impacts, 562 SF of temporary impacts and 39 SF of permanent impacts are proposed within the TBZ. The proposed development is not one of the allowed project types under a Wetlands PBN and due to its proximity to a salt marsh wetland, it is not eligible for a minimum impact classification either. Therefore, the project is being categorized as a minor impact project.

The project site contains a Priority Resource Area (PRA) due to the potential presence of marsh elder (*Iva frutescens*) in the high marsh located below the HOTL of South Mill Pond; however, no impacts below the HOTL are proposed and no further ecological review is needed as outlined with the included DataCheck report (DCT26-0564).

Avoidance, Minimization, and Alternatives

Off-site alternatives: Based on the developer's needs, this site was considered to be the best option for the developer to conduct their project. The site is currently operating as a Citizens bank, therefore the new development and continued use as a banking service by Kennebunk Savings Bank will be consistent with its current use. The existing structure will be utilized for the new development, which eliminates the need to construct additional structure. Additionally, the majority of the project site is located outside of the shoreland zone. Only the construction of the new storm drain to aid in stormwater management and a small portion of parking redevelopment will require shoreland/TBZ impacts. All shoreland/TBZ impacts will occur in previously developed areas and after project completion, the site will have a net decrease in overall impervious area compared to existing conditions. The chosen project site also does not result in any direct impacts to sensitive species/habitat, wetlands, or other protected natural areas.

On-site alternatives: Several alternative layouts and designs were considered during the conceptualization of the project. The first alternative was a no-action alternative. However, given the intended use as the Kennebunk Savings Bank headquarters, the existing office space and on-site parking were not practicable for the amount of intended users for the site.

The project design is the most efficient and low-impact design that could conceptually fit the space. At first, the applicant intended to make larger improvement to the on-site parking to accommodate the additional use of the bank. However, after municipal



review, the design was changed to incorporate sub-surface parking to reduce over area of impact on the lot and within the shoreland zone.

The proposed stormwater system has been designed to connect into an existing municipal stormdrain that runs parallel to Parrot Avenue. This particular storm drain is the closest drain that runs as a part of the City of Portsmouth's separated stormwater and sewer system. In general, the minimal project impacts to the TBZ and shoreland zone are the result of improving stormwater management on the overall site by separating stormwater discharge from the current sewer system. Additionally, the project has limited all construction footprints to previously developed areas and overall impervious area will be reduced post-construction. The Parrot Avenue parking lot will essentially remain the same pre- and post-construction.

Construction Sequencing

Construction is anticipated to begin upon receipt of all applicable local, state, and federal permits. Construction is anticipated to start in the late spring/early summer of 2026 and be completed before the winter of 2026. The general construction sequence and details can be found on the utility plan within the provided plan set – Sheet C103.

Erosion and Sedimentation Control

The applicants propose the use of erosion and sedimentation control measures during all phases of project construction. Silt socks downgradient of all disturbed areas and above the coastal wetland are proposed to reduce the risk of sedimentation to the resource during site grading. All disturbed areas will be mulched and seeded and will be inspected frequently to ensure an 85% vegetation survival rate. The contractors will install and maintain erosion control measures in accordance with the "New Hampshire Stormwater Manual, Volume 3, Erosion and Sediment Controls During Construction" (NHDES, December 2008).

Conservation Commission Comments and Response

To be determined.



HALEY WARD

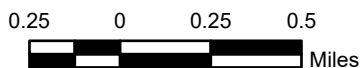
SITE LOCATION MAP

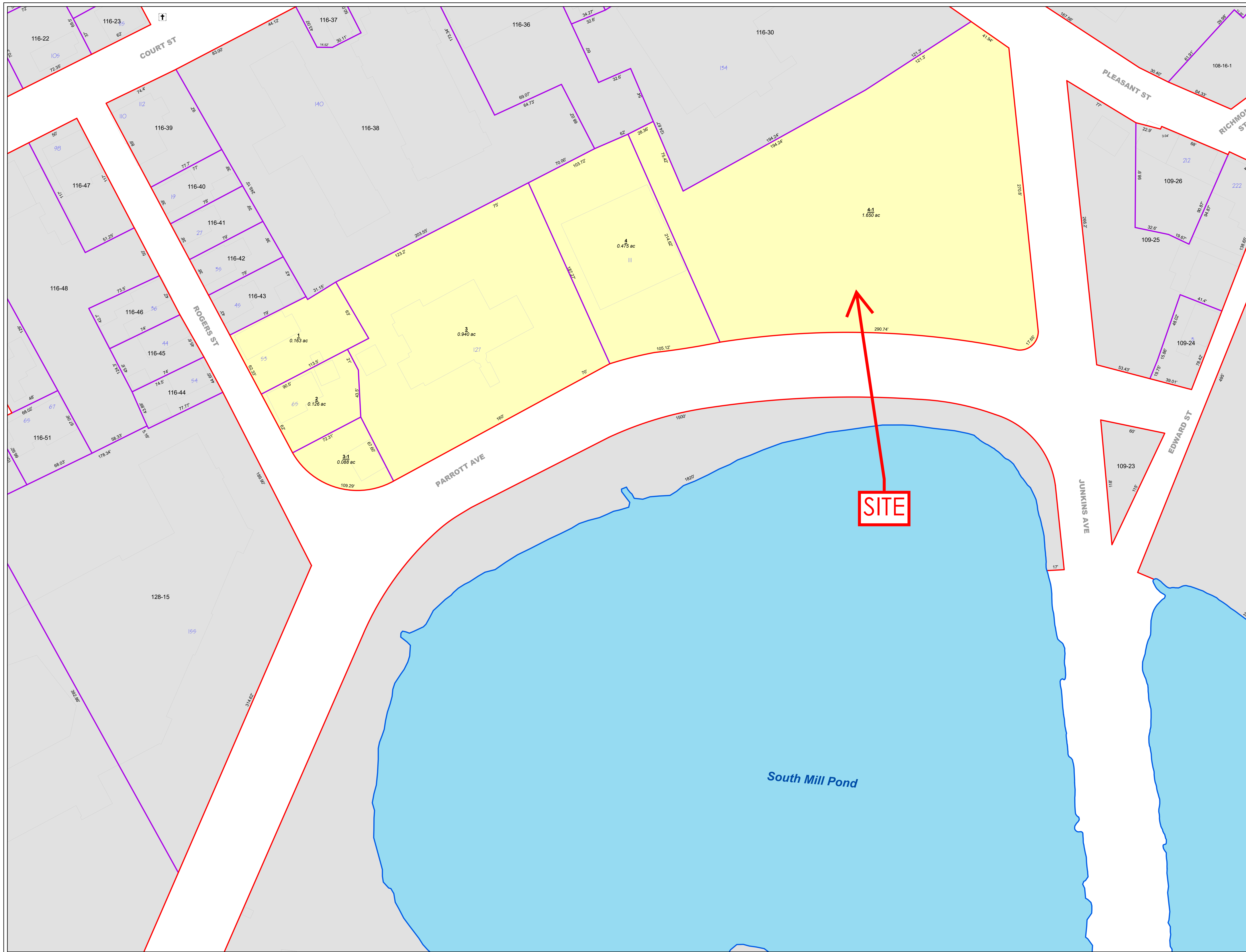
Double MC, LLC - 134 Pleasant Street, Portsmouth NH 03801



USGS The National Map: National Boundaries Dataset, 3DEP Elevation Program, Geographic Names Information System, National Hydrography Dataset, National Land Cover Database, National Structures Dataset, and National Transportation Dataset; USGS Global Ecosystems; U.S. Census Bureau TIGER/Line data; USFS Road data; Natural Earth Data; U.S. Department of State HIU; NOAA National Centers for Environmental Information. Data refreshed October 27, 2025.

 Project Parcel



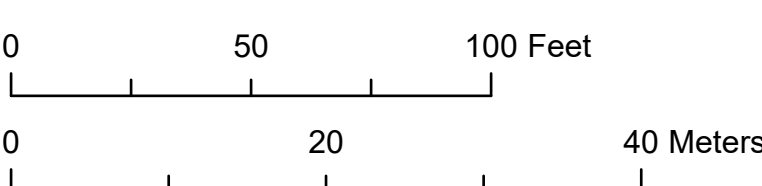


Partial Legend
 See the cover sheet for the complete legend.

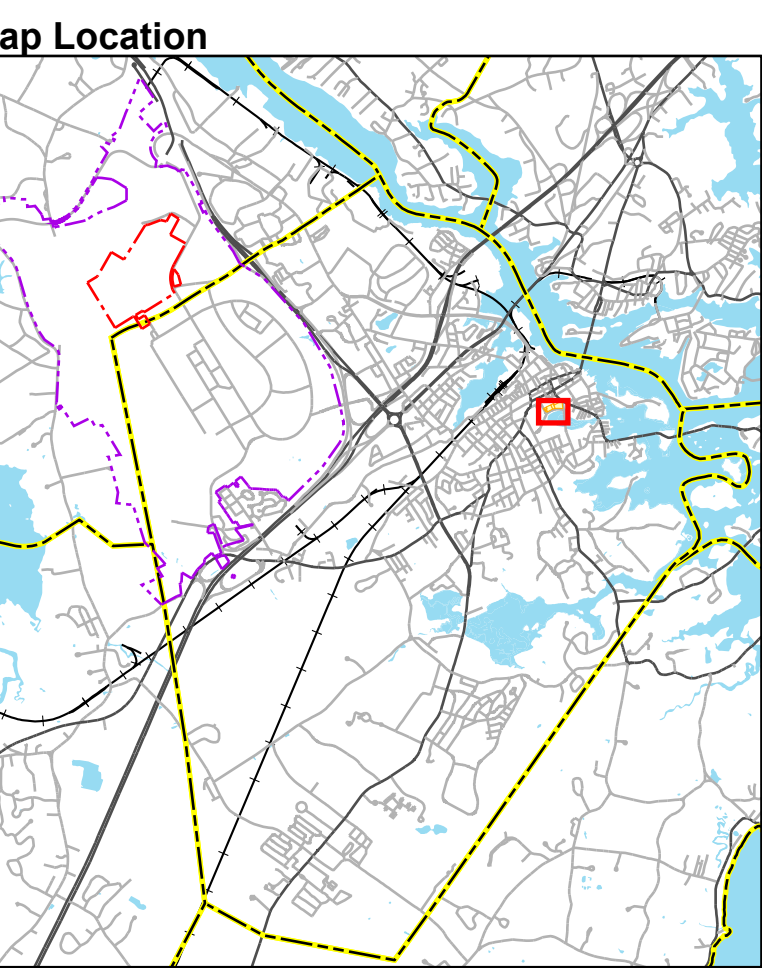
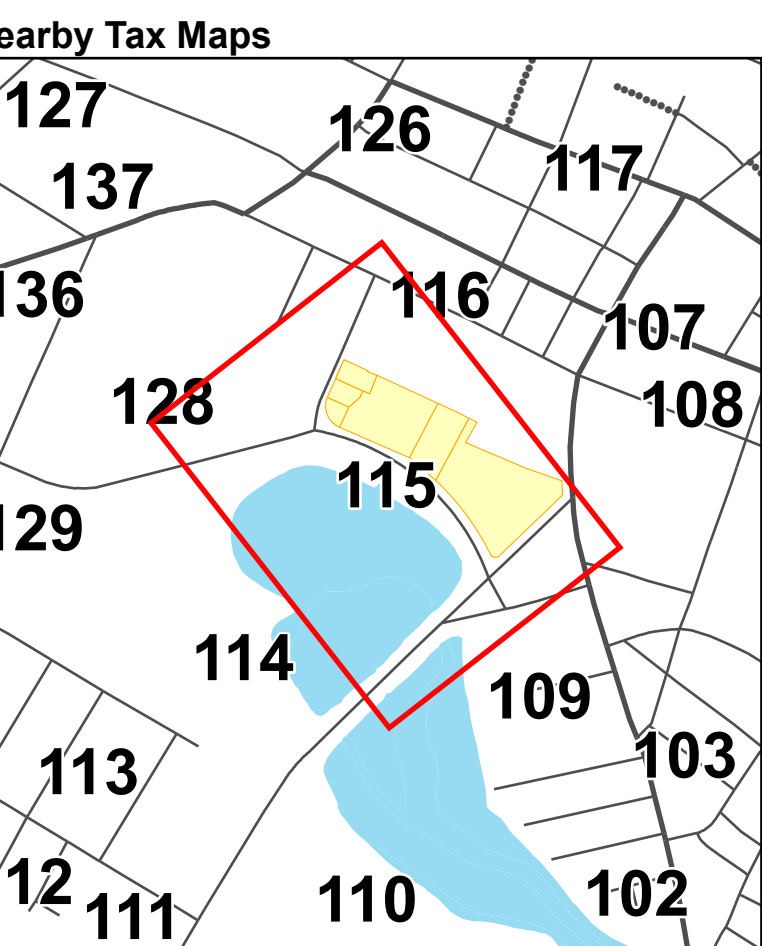
7-5A Lot or lot-unit number
 2.56 ac Parcel area in acres (ac) or square feet (sf)
 105 Address number
 233-137 Parcel number from a neighboring map
 68' Parcel line dimension
 Street name

SIMS AVE Street name

- Parcel/Parcel boundary
- Parcel/ROW boundary
- Water boundary
- Structure (1994 data)
- Parcel covered by this map
- Parcel from a neighboring map (see other map for current status)



This map is for assessment purposes only. It is not intended for legal description or conveyance. Parcels are mapped as of April 1. Building footprints are 2006 data and may not represent current structures. Streets appearing on this map may be paper (unbuilt) streets. Lot numbers take precedence over address numbers. Address numbers shown on this map may not represent posted or legal addresses.





HALEY WARD

SITE PHOTOS

Double MC, LLC – 134 Pleasant Street, Portsmouth, NH

Photo No. 1	
Photo Date: 03/14/2025	
Site Location: 43°04'25.9"N 70°45'24.4"W	
Description: Looking northeast towards parking area	
Photo By: JRC	

Photo No. 2	
Photo Date: 03/14/2025	
Site Location: 43°04'28.5"N 70°45'26.0"W	
Description: Looking south towards corner of parking lot proposed for redevelopment	
Photo By: JRC	




Photo No. 3	
Photo Date: 03/14/2025	
Site Location: 43°04'27.5"N 70°45'25.4"W	
Description: Looking southeast directly towards area to be redeveloped	
Photo By: JRC	

Photo No. 4	
Photo Date: 03/14/2025	
Site Location: 43°04'25.9"N 70°45'24.4"W	
Description: Looking northeast from Parrot Ave towards proposed termination of storm drain	
Photo By: JRC	



AVOIDANCE AND MINIMIZATION CHECKLIST

Water Division/Land Resources Management Wetlands Bureau



[Check the Status of your Application](#)

RSA/Rule: RSA 482-A/ Env-Wt 311.07(c)

This checklist can be used in lieu of the written narrative required by Env-Wt 311.07(a) to demonstrate compliance with requirements for Avoidance and Minimization (A/M), pursuant to RSA 482-A:1 and Env-Wt 311.07(c).

For the construction or modification of non-tidal shoreline structures over areas of surface waters without wetland vegetation, complete only Sections 1, 2, and 4 (or the applicable sections in [Attachment A: Minor and Major Projects \(NHDES-W-06-013\)](#)).

The following definitions and abbreviations apply to this worksheet:

- “A/M BMPs” stands for [Wetlands Best Management Practice Techniques for Avoidance and Minimization](#) dated 2019, published by the New England Interstate Water Pollution Control Commission (Env-Wt 102.18).
- “Practicable” means available and capable of being done after taking into consideration cost, existing technology, and logistics in light of overall project purposes (Env-Wt 103.62).

SECTION 1 - CONTACT/LOCATION INFORMATION		
APPLICANT LAST NAME, FIRST NAME, M.I.: Double MC, LLC		
PROJECT STREET ADDRESS: Parrot Avenue Parking Lot	PROJECT TOWN: Portsmouth	
TAX MAP/LOT NUMBER: 115 / 4-1		
SECTION 2 - PRIMARY PURPOSE OF THE PROJECT		
Env-Wt 311.07(b)(1)	Indicate whether the primary purpose of the project is to construct a water-access structure or requires access through wetlands to reach a buildable lot or the buildable portion thereof.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If you answered “no” to this question, describe the purpose of the “non-access” project type you have proposed: The project is the installation of a storm drain to serve a proposed development on an adjacent parcel. The storm drain will connect to an existing municipal stomrwater drain at the southern end of the Parrot Avenue Parking Lot.		

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SECTION 3 - A/M PROJECT DESIGN TECHNIQUES		
Check the appropriate boxes below in order to demonstrate that these items have been considered in the planning of the project. Use N/A (not applicable) for each technique that is not applicable to your project.		
Env-Wt 311.07(b)(2)	For any project that proposes new permanent impacts of more than one acre or that proposes new permanent impacts to a Priority Resource Area (PRA), or both, whether any other properties reasonably available to the applicant, whether already owned or controlled by the applicant or not, could be used to achieve the project's purpose without altering the functions and values of any jurisdictional area, in particular wetlands, streams, and PRAs.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
Env-Wt 311.07(b)(3)	Whether alternative designs or techniques, such as different layouts, construction sequencing, or alternative technologies could be used to avoid impacts to jurisdictional areas or their functions and values.	<input checked="" type="checkbox"/> Check <input type="checkbox"/> N/A
Env-Wt 311.07(b)(4) Env-Wt 311.10(c)(1) Env-Wt 311.10(c)(2)	The results of the functional assessment required by Env-Wt 311.03(b)(10) were used to select the location and design for the proposed project that has the least impact to wetland functions.	<input checked="" type="checkbox"/> Check <input type="checkbox"/> N/A
Env-Wt 311.07(b)(4) Env-Wt 311.10(c)(3)	Where impacts to wetland functions are unavoidable, the proposed impacts are limited to the wetlands with the least valuable functions on the site while avoiding and minimizing impacts to the wetlands with the highest and most valuable functions.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
Env-Wt 313.01(c)(1) Env-Wt 313.01(c)(2) Env-Wt 313.03(b)(1)	No practicable alternative would reduce adverse impact on the area and environments under the department's jurisdiction and the project will not cause random or unnecessary destruction of wetlands.	<input checked="" type="checkbox"/> Check <input type="checkbox"/> N/A
Env-Wt 313.01(c)(3)	The project would not cause or contribute to the significant degradation of waters of the state or the loss of any PRAs.	<input checked="" type="checkbox"/> Check <input type="checkbox"/> N/A
Env-Wt 313.03(b)(3) Env-Wt 904.07(c)(8)	The project maintains hydrologic connectivity between adjacent wetlands or stream systems.	<input checked="" type="checkbox"/> Check <input type="checkbox"/> N/A
Env-Wt 311.10 A/M BMPs	Buildings and/or access are positioned away from high function wetlands or surface waters to avoid impact.	<input checked="" type="checkbox"/> Check <input type="checkbox"/> N/A
Env-Wt 311.10 A/M BMPs	The project clusters structures to avoid wetland impacts.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
Env-Wt 311.10 A/M BMPs	The placement of roads and utility corridors avoids wetlands and their associated streams.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
A/M BMPs	The width of access roads or driveways is reduced to avoid and minimize impacts. Pullouts are incorporated in the design as needed.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
A/M BMPs	The project proposes bridges or spans instead of roads/driveways/trails with culverts.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A

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A/M BMPs	The project is designed to minimize the number and size of crossings, and crossings cross wetlands and/or streams at the narrowest point.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
Env-Wt 500 Env-Wt 600 Env-Wt 900	Wetland and stream crossings include features that accommodate aquatic organism and wildlife passage.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
Env-Wt 900	Stream crossings are sized to address hydraulic capacity and geomorphic compatibility.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
A/M BMPs	Disturbed areas are used for crossings wherever practicable, including existing roadways, paths, or trails upgraded with new culverts or bridges.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
SECTION 4 - NON-TIDAL SHORELINE STRUCTURES		
Env-Wt 313.03(c)(1)	The non-tidal shoreline structure has been designed to use the minimum construction surface area over surfaces waters necessary to meet the stated purpose of the structure.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
Env-Wt 313.03(c)(2)	The type of construction proposed for the non-tidal shoreline structure is the least intrusive upon the public trust that will ensure safe navigation and docking on the frontage.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
Env-Wt 313.03(c)(3)	The non-tidal shoreline structure has been designed to avoid and minimize impacts on the ability of abutting owners to use and enjoy their properties.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
Env-Wt 313.03(c)(4)	The non-tidal shoreline structure has been designed to avoid and minimize impacts to the public's right to navigation, passage, and use of the resource for commerce and recreation.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
Env-Wt 313.03(c)(5)	The non-tidal shoreline structure has been designed, located, and configured to avoid impacts to water quality, aquatic vegetation, and wildlife and finfish habitat.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
Env-Wt 313.03(c)(6)	The non-tidal shoreline structure has been designed to avoid and minimize the removal of vegetation, the number of access points through wetlands or over the bank, and activities that may have an adverse effect on shoreline stability.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A



STANDARD DREDGE AND FILL
WETLANDS PERMIT APPLICATION
ATTACHMENT A: MINOR AND MAJOR PROJECTS



Water Division/Land Resources Management
Wetlands Bureau

[Check the Status of your Application](#)

RSA/ Rule: RSA 482-A/ Env-Wt 311.10; Env-Wt 313.01(a)(1); Env-Wt 313.03

APPLICANT'S NAME: Double MC, LLC

TOWN NAME: Portsmouth

Attachment A is required for *all minor and major projects*, and must be completed *in addition* to the [Avoidance and Minimization Narrative](#) or [Checklist](#) that is required by Env-Wt 307.11.

For projects involving construction or modification of non-tidal shoreline structures over areas of surface waters having an absence of wetland vegetation, only Sections I.X through I.XV are required to be completed.

PART I: AVOIDANCE AND MINIMIZATION

In accordance with Env-Wt 313.03(a), the Department shall not approve any alteration of any jurisdictional area unless the applicant demonstrates that the potential impacts to jurisdictional areas have been avoided to the maximum extent practicable and that any unavoidable impacts have been minimized, as described in the [Wetlands Best Management Practice Techniques For Avoidance and Minimization](#).

SECTION I.I - ALTERNATIVES (Env-Wt 313.03(b)(1))

Describe how there is no practicable alternative that would have a less adverse impact on the area and environments under the Department's jurisdiction.

PLEASE REFER TO THE ATTACHED NARRATIVE.

SECTION I.II - MARSHES (Env-Wt 313.03(b)(2))

Describe how the project avoids and minimizes impacts to tidal marshes and non-tidal marshes where documented to provide sources of nutrients for finfish, crustacean, shellfish, and wildlife of significant value.

The project is located entirely in the upland within previously-developed area. No impacts to the the coastal marsh are proposed. The project will not remove any riparian vegetation and the post-construction state of the project site will mimic the pre-construction state as all new development is sub-grade.

SECTION I.III - HYDROLOGIC CONNECTION (Env-Wt 313.03(b)(3))

Describe how the project maintains hydrologic connections between adjacent wetland or stream systems.

The application does not propose any impacts to wetland systems. No crossings, impervious areas, or any other form development with the potential to disrupt the hydrologic connection of wetlands on site are proposed.

SECTION I.IV - JURISDICTIONAL IMPACTS (Env-Wt 313.03(b)(4))

Describe how the project avoids and minimizes impacts to wetlands and other areas of jurisdiction under RSA 482-A, especially those in which there are exemplary natural communities, vernal pools, protected species and habitat, documented fisheries, and habitat and reproduction areas for species of concern, or any combination thereof.

The project site contains a tidal wetland which abuts the site from the south. The installation of the storm drain at its closest point will be 70 feet from the edge of the high marsh habitat with no proposed wetland impacts. The only portion of development within the TBZ is the storm drain connect to the existing municipal storm drain within previously-developed area; therefore, no impacts to an undisturbed TBZ are proposed.

SECTION I.V - PUBLIC COMMERCE, NAVIGATION, OR RECREATION (Env-Wt 313.03(b)(5))

Describe how the project avoids and minimizes impacts that eliminate, depreciate or obstruct public commerce, navigation, or recreation.

The project does not propose any in-resource impacts. The proposed project is not anticipated to result in any change to public commerce, navigation, or recreation.

SECTION I.VI - FLOODPLAIN WETLANDS (Env-Wt 313.03(b)(6))

Describe how the project avoids and minimizes impacts to floodplain wetlands that provide flood storage.

South Mill Pond is a dammed wetland system which has its water level controlled by the City. The pond is surrounded by urban development; therefore, there are no floodplain wetlands.

SECTION I.VII - RIVERINE FORESTED WETLAND SYSTEMS AND SCRUB-SHRUB – MARSH COMPLEXES (Env-Wt 313.03(b)(7))

Describe how the project avoids and minimizes impacts to natural riverine forested wetland systems and scrub-shrub – marsh complexes of high ecological integrity.

These wetland systems do not exist near the project site. The site is surrounded by urban development.

SECTION I.VIII - DRINKING WATER SUPPLY AND GROUNDWATER AQUIFER LEVELS (Env-Wt 313.03(b)(8))

Describe how the project avoids and minimizes impacts to wetlands that would be detrimental to adjacent drinking water supply and groundwater aquifer levels.

All impacts are located upgradient of coastal wetland systems. The site is not underlain by an aquifer.

SECTION I.IX - STREAM CHANNELS (Env-Wt 313.03(b)(9))

Describe how the project avoids and minimizes adverse impacts to stream channels and the ability of such channels to handle runoff of waters.

No stream channels will be impacted as a result of the project.

SECTION I.X - SHORELINE STRUCTURES - CONSTRUCTION SURFACE AREA (Env-Wt 313.03(c)(1))

Describe how the project has been designed to use the minimum construction surface area over surface waters necessary to meet the stated purpose of the structures.

Does not apply - no structures are proposed over surface waters.

SECTION I.XI - SHORELINE STRUCTURES - LEAST INTRUSIVE UPON PUBLIC TRUST (Env-Wt 313.03(c)(2))

Describe how the type of construction proposed is the least intrusive upon the public trust that will ensure safe docking on the frontage.

Does not apply - no docking in this area.

SECTION I.XII - SHORELINE STRUCTURES – ABUTTING PROPERTIES (Env-Wt 313.03(c)(3))

Describe how the structures have been designed to avoid and minimize impacts on ability of abutting owners to use and enjoy their properties.

Does not apply - no shoreline structures.

SECTION I.XIII - SHORELINE STRUCTURES – COMMERCE AND RECREATION (Env-Wt 313.03(c)(4))

Describe how the structures have been designed to avoid and minimize impacts to the public's right to navigation, passage, and use of the resource for commerce and recreation.

Does not apply - no shoreline structures and no in-resource work.

SECTION I.XIV - SHORELINE STRUCTURES – WATER QUALITY, AQUATIC VEGETATION, WILDLIFE AND FINFISH HABITAT (Env-Wt 313.03(c)(5))

Describe how the structures have been designed, located, and configured to avoid impacts to water quality, aquatic vegetation, and wildlife and finfish habitat.

N/A.

SECTION I.XV - SHORELINE STRUCTURES – VEGETATION REMOVAL, ACCESS POINTS, AND SHORELINE STABILITY (Env-Wt 313.03(c)(6))

Describe how the structures have been designed to avoid and minimize the removal of vegetation, the number of access points through wetlands or over the bank, and activities that may have an adverse effect on shoreline stability.

N/A

PART II: FUNCTIONAL ASSESSMENT	
REQUIREMENTS	Ensure that project meets the requirements of Env-Wt 311.10 regarding functional assessment (Env-Wt 311.04(j); Env-Wt 311.10).
FUNCTIONAL ASSESSMENT METHOD USED:	All wetlands on the site have been delineated using the Highway Methodology Workbook, Wetland Functions and Values: A Descriptive Approach. This method bases function and value determinations on the presence or absence of specific criteria for each of the 13 wetland functions and values. These criteria are assessed through direct field observations and a review of existing resource maps and databases.
NAME OF CERTIFIED WETLAND SCIENTIST (FOR NON-TIDAL PROJECTS) OR QUALIFIED COASTAL PROFESSIONAL (FOR TIDAL PROJECTS) WHO COMPLETED THE ASSESSMENT:	KEEGAN FEERO, PERMITTING SPECIALIST
DATE OF ASSESSMENT:	04/01/2026
Check this box to confirm that the application includes a NARRATIVE ON FUNCTIONAL ASSESSMENT:	<input checked="" type="checkbox"/>
For minor or major projects requiring a standard permit without mitigation, the applicant shall submit a wetland evaluation report that includes completed checklists and information demonstrating the RELATIVE FUNCTIONS AND VALUES OF EACH WETLAND EVALUATED. Check this box to confirm that the application includes this information, if applicable:	<input checked="" type="checkbox"/>
Note: The Wetlands Functional Assessment worksheet can be used to compile the information needed to meet functional assessment requirements.	



COASTAL RESOURCE WORKSHEET

Water Division/Land Resources Management Wetlands Bureau



[Check the Status of your Application](#)

RSA/Rule: RSA 482-A/ Env-Wt 600

APPLICANT LAST NAME, FIRST NAME, M.I.: Double MC, LLC

This worksheet may be used to present the information required for projects in coastal areas, in addition to the information required for Lower-Scrutiny Approvals, Expedited Permits, and Standard Permits under Env-Wt 603.01.

Please refer to Env-Wt 605.03 for impacts requiring compensatory mitigation.

SECTION 1 - REQUIRED INFORMATION (Env-Wt 603.02; Env-Wt 603.06; Env-Wt 603.09)

The following information is required for projects in coastal areas.

Describe the purpose of the proposed project, including the overall goal of the project, the core project purpose consisting of a concise description of the facilities and work that could impact jurisdictional areas, and the intended project outcome. Specifically identify all natural resource assets in the area proposed to be impacted and include maps created through a data screening in accordance with Env-Wt 603.03 (refer to Section 2) and Env-Wt 603.04 (refer to Section 3) as attachments.

The purpose of the project is to redevelop the existing Citizens bank for use as the new headquarters for the Kennebunk Savings Bank. The proposed project includes new exterior treatments and entrance locations with new pedestrian-friendly sidewalks and landscaping improvements. The improvements also include the increase in the banking footprint, expanding professional offices, and adding apartments. Sub-surface parking is also proposed underneath the bank. A small portion of the adjacent parking lot will be redeveloped to decrease total impervious area while slightly increasing parking spaces in the lot to accommodate the increase in use. Stormwater improvements are also proposed with the installation of a new storm drain, catch basins, and jellyfish filter that will ultimately connect to a City-owned storm drain that runs along Parrot Avenue.

The majority of the project is located outside of the shoreland zone; however, some portions of the project - namely the installation of a new storm drain, catch basins, and jellyfish filter - will be located within the shoreland zone and will have some impacts to the tidal buffer zone.

Applicable data screening maps have been attached to this application.

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For standard permit projects, provide:

- A Coastal Functional Assessment (CFA) report in accordance with Env-Wt 603.04 (refer to Section 3).
- A vulnerability assessment in accordance with Env-Wt 603.05 (refer to Section 4).

Explain all recommended methods and other considerations to protect the natural resource assets during and as a result of project construction in accordance with Env-Wt 311.07, Env-Wt 313, and Env-Wt 603.04.

A coastal functional assessment (CFA) and vulnerability assessment have been included in the application as the project is classified as a minor impact project due to the proximity of a high marsh below the HOTL.

All development and construction access will occur from the upland. No crossings or disturbance of wetlands is required to install the proposed storm drain. Erosion and sedimentation control will be utilized downgradient of all disturbed areas and above all coastal salt marsh to minimize impacts from sedimentation during ground disturbance.

Provide a narrative showing how the project meets the standard conditions in Env-Wt 307 and the approval criteria in Env-Wt 313.01.

307.03, .04, .12 - The project will utilize erosion and sedimentation controls to prevent sediment leaving the site. These controls will be maintained through construction and removed following permanent site stabilization.

307.04 - Substantial earthwork or importation of materials which may contain seeds / propagules is not proposed.

307.06 - The project will not impact below HOTL where marsh elder occurs.

307.07 - Project will comply with RSA 483-B and has been designed to comply with env-Wq 1400. A shoreland application under separate cover will be submitted for the remaining development outside of the TBZ.

307.08, .09, .10 - The project does not impact designated prime wetland buffers or propose shoreline structures or dredging.

307.13 - The project proposes a catch basin and stormwater drain directly abutting Parrot Avenue; however, it is not within 10ft of any other properties.

307.16 - The contractor will be monitored to ensure compliance with the plans.

313 - Please refer to the attached functional assessment, vulnerability assessment, and plan set for compliance with Env-313.01.

Provide a project design narrative that includes the following:

- A discussion of how the proposed project:
 - Uses best management practices and standard conditions in Env-Wt 307;
 - Meets all avoidance and minimization requirements in Env-Wt 311.07 and Env-Wt 313.03;
 - Meets approval criteria in Env-Wt 313.01;
 - Meets evaluation criteria in Env-Wt 313.01(c);
 - Meets CFA requirements in Env-Wt 603.04; and
 - Considers sea-level rise and potential flooding evaluated pursuant to Env-Wt 603.05;
- A construction sequence, erosion/siltation control methods to be used, and a dewatering plan; and
- A discussion of how the completed project will be maintained and managed.

The project design is the most efficient and low-impact design that could conceptually fit the space. At first, the applicant intended to make larger improvement to the on-site parking to accommodate the additional use of the bank. However, after municipal review, the design was changed to incorporate sub-surface parking to reduce over area of impact on the lot and within the shoreland zone. The proposed stormwater system has been designed to connect into an existing municipal stormdrain that runs parallel to Parrot Avenue and outlets into South Mill Pond. In general, the minimal project impacts to the TBZ and shoreland zone are the result of improving stormwater management on the overall site. Additionally, the project has limited all construction footprint to previously developed areas and overall impervious area will be reduced post-construction.

CFA and vulnerability assessments are included in the application.

Construction sequence notes and erosion/siltation control methods are outlined in the attached civil design plan set.

The project will continue to be maintained as it has been currently. The overall use of the site will remain the same. The City of Portsmouth owns and maintains the parking lot and all associated stormwater conveyance measures.

- Provide design plans that meet the requirements of Env-Wt 603.07 (refer to Section 5);
- Provide water depth supporting information required by Env-Wt 603.08 (refer to Section 6); and
- For any major project that proposes to construct a structure in tidal waters/wetlands or to extend an existing structure seaward, provide a statement from the Pease Development Authority Division of Ports and Harbors (DP&H) chief harbormaster, or designee, for the subject location relative to the proposed structure's impact on navigation. If the proposed structure might impede existing public passage along the subject shoreline on foot or by non-motorized watercraft, the applicant shall explain how the impediments have been minimized to the greatest extent practicable.

N/A

The project is sited entirely within the upland; therefore, water depth measurements are not provided in this application. No structures in tidal waters/wetlands are proposed.

HOTL elevation has been measured at 6.7'.

SECTION 2 - DATA SCREENING (Env-Wt 603.03, in addition to Env-Wt 306.05)

Please use the Wetland Permit Planning Tool, or any other database or source, to indicate the presence of:

- Existing salt marsh and salt marsh migration pathways;
- Eelgrass beds;
- Documented shellfish sites;
- Projected sea-level rise; and
- 100-year floodplain.

Conduct data screening as described to identify documented essential fish habitat, and tides and currents that may be impacted by the proposed project, by using the following links:

- [National Oceanic and Atmospheric Administration \(NOAA\) Tides & Currents](#); and
- [NOAA Essential Fish Habitat Mapper](#).
- Verify or correct the information collected from the data screenings by conducting an on-site assessment of the subject property in accordance with Env-Wt 406 and Env-Wt 603.04.

SECTION 3 - COASTAL FUNCTIONAL ASSESSMENT/ AVOIDANCE AND MINIMIZATION (Env-Wt 603.04; Env-Wt 605.01; Env-Wt 605.02; Env-Wt 605.03)

Projects in coastal areas shall:

- Not impair the navigation, recreation, or commerce of the general public; and
- Minimize alterations in prevailing currents.

An applicant for a permit for work in or adjacent to tidal waters/wetlands or the tidal buffer zone shall demonstrate that the following have been avoided or minimized as required by Env-Wt 313.04:

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- Adverse impacts to beach or tidal flat sediment replenishment;
- Adverse impacts to the movement of sediments along a shore;
- Adverse impacts on a tidal wetland’s ability to dissipate wave energy and storm surge; and
- Adverse impacts of project runoff on salinity levels in tidal environments.

For standard permit applications submitted for minor or major projects:

- Attach a CFA based on the data screening information and on-site evaluation required by Env-Wt 603.03. The CFA for tidal wetlands or tidal waters shall be:
 - Performed by a qualified coastal professional; and
 - Completed using one of the following methods:
 - a. The US Army Corps of Engineers (USACE) Highway Methodology Workbook, dated 1993, together with the USACE New England District *Highway Methodology Workbook Supplement*, dated 1999; or
 - b. An alternative scientifically-supported method with cited reference and the reasons for the alternative method substantiated.

For any project that would impact tidal wetlands, tidal waters, or associated sand dunes, the applicant shall:

- Use the results of the CFA to select the location of the proposed project having the least impact to tidal wetlands, tidal waters, or associated sand dunes;
- Design the proposed project to have the least impact to tidal wetlands, tidal waters, or associated sand dunes;
- Where impact to wetland and other coastal resource functions is unavoidable, limit the project impacts to the least valuable functions, avoiding and minimizing impact to the highest and most valuable functions; and
- Include on-site minimization measures and construction management practices to protect coastal resource areas.

Projects in coastal areas shall use results of this CFA to:

- Minimize adverse impacts to finfish, shellfish, crustacean, and wildlife;
- Minimize disturbances to groundwater and surface water flow;
- Avoid impacts that could adversely affect fish habitat, wildlife habitat, or both; and
- Avoid impacts that might cause erosion to shoreline properties.

SECTION 4 - VULNERABILITY ASSESSMENT (Env-Wt 603.05)

Refer to the New Hampshire Coastal Flood Risk Summary Part 1: Science and New Hampshire Coastal Flood Risk Summary Part II: Guidance for Using Scientific Projections or other best available science to:

Determine the time period over which the project is designed to serve.

Please refer to the attached vulnerability assessment.

Identify the project's relative risk tolerance to flooding and potential damage or loss likely to result from flooding to buildings, infrastructure, salt marshes, sand dunes and other valuable coastal resource areas.

Please refer to the attached vulnerability assessment. [REDACTED]

Reference the projected sea-level rise (SLR) scenario that most closely matches the end of the project design life and the project's tolerance to risk or loss.

Please refer to the attached vulnerability assessment. [REDACTED]

Identify areas of the proposed project site subject to flooding from SLR.

Please refer to the attached vulnerability assessment. [REDACTED]

Identify areas currently located within the 100-year floodplain and subject to coastal flood risk.

Please refer to the attached vulnerability assessment. [REDACTED]

Describe how the project design will consider and address the selected SLR scenario within the project design life, including in the design plans.

Please refer to the attached vulnerability assessment. [REDACTED]

Where there are conflicts between the project’s purpose and the vulnerability assessment results, schedule a pre-application meeting with the department to evaluate design alternatives, engineering approaches, and use of the best available science.

Pre-application meeting date held: **N/A**

SECTION 5 - DESIGN PLANS (Env-Wt 603.07, in addition to Env-Wt 311)

Submit design plans for the project in both plan and elevation views that clearly depict and identify all required elements.

The plan view shall depict the following:

- The engineering scale used, which shall be no larger than one inch equals 50 feet;
- The location of tidal datum lines depicted as lines with the associated elevation noted, based on North American Vertical Datum of 1988 (NAVD 88), derived from https://tidesandcurrents.noaa.gov/datum_options.html, as described in Section 6.
- An imaginary extension of property boundary lines into the waterbody and a 20-foot setback from those property line extensions;
- The location of all special aquatic sites at or within 100 feet of the subject property;
- Existing bank contours;
- The name and license number, if applicable, of each individual responsible for the plan, including:
 - a. The agent for tidal docking structures who determined elevations represented on plans; and

b. The qualified coastal professional who completed the CFA report and located the identified resources on the plan;

- The location and dimensions of all existing and proposed structures and landscape features on the property;
- Tidal datum(s) with associated elevations noted, based on NAVD 88; and
- Location of all special aquatic sites within 100-feet of the property.

The elevation view shall depict the following:

- The nature and slope of the shoreline;
- The location and dimensions of all proposed structures, including permanent piers, pilings, float stop structures, ramps, floats, and dolphins; and
- Water depths depicted as a line with associated elevation at highest observable tide, mean high tide, and mean low tide, and the date and tide height when the depths were measured. Refer to Section 6 for more instructions regarding water depth supporting information.

See specific design and plan requirements for certain types of coastal projects:

- Overwater structures (Env-Wt 606).
- Dredging activities (Env-Wt 607).
- Tidal beach maintenance (Env-Wt 608).
- Tidal shoreline stabilization (Env-Wt 609).
- Protected tidal zone (Env-Wt 610).
- Sand Dunes (Env-Wt 611).

SECTION 6 - WATER DEPTH SUPPORTING INFORMATION REQUIRED (Env-Wt 603.08)

Using current predicted NOAA tidal datum for the location, and tying field measurements to NAVD 88, field observations of at least three tide events, including at least one minus tide event, shall be located to document the range of the tide in the proposed location showing the following levels:

- Mean lower low water;
- Mean low water;
- Mean high water;
- Mean tide level;
- Mean higher high water;
- Highest observable tide line; and
- Predicted sea-level rise as identified in the vulnerability assessment in Env-Wt 603.05.

The following data shall be presented in the application project narrative to support how water depths were determined:

- The date, time of day, and weather conditions when water depths were recorded; and
- The name and license number of the licensed land surveyor who conducted the field measurements.

For tidal stream crossing projects, provide:

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Water depth information to show how the tier 4 stream crossing is designed to meet Env-Wt 904.07(c) and (d).

For repair, rehabilitation or replacement of tier 4 stream crossings:

Demonstrate how the requirements of Env-Wt 904.09 are met.

SECTION 7 - GENERAL CRITERIA FOR TIDAL BEACHES, TIDAL SHORELINE, AND SAND DUNES (Env-Wt 604.01)

Any person proposing a project in or on a tidal beach, tidal shoreline, or sand dune, or any combination thereof, shall evaluate the proposed project based on:

- The standard conditions in Env-Wt 307;
- The avoidance and minimization requirements in Env-Wt 311.07 and Env-Wt 313.03;
- The approval criteria in Env-Wt 313.01;
- The evaluation criteria in Env-Wt 313.05;
- The project specific criteria in Env-Wt 600;
- The CFA required by Env-Wt 603.04; and
- The vulnerability assessment required by Env-Wt 603.05.

New permanent impacts to sand dunes that provide coastal storm surge protection for protected species or habitat shall not be allowed except:

- To protect public safety; and
- Only if constructed by a state agency, coastal resiliency project, or for a federal homeland security project.

Projects in or on a tidal beach, tidal shoreline, or sand dune shall support integrated shoreline management that:

- Optimizes the natural function of the shoreline, including protection or restoration of habitat, water quality, and self-sustaining stability to flooding and storm surge; and
- Protects upland infrastructure from coastal hazards with a preference for living shorelines over hardened shoreline practices.

SECTION 8 - GENERAL CRITERIA FOR TIDAL BUFFER ZONES (Env-Wt 604.02)

The 100-foot statutory limit on the extent of the tidal buffer zone shall be measured horizontally. Any person proposing a project in or on an undeveloped tidal buffer zone shall evaluate the proposed project based on:

- The standard conditions in Env-Wt 307;
- The avoidance and minimization requirements in Env-Wt 311.07 and Env-Wt 313.03;
- The approval criteria in Env-Wt 313.01;
- The evaluation criteria in Env-Wt 313.05;
- The project specific criteria in Env-Wt 600;
- The CFA required by Env-Wt 603.04; and
- The vulnerability assessment required by Env-Wt 603.05.

Projects in or on a tidal buffer zone shall preserve the self-sustaining ability of the buffer area to:

- Provide habitat values;
- Protect tidal environments from potential sources of pollution;
- Provide stability of the coastal shoreline; and

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Maintain existing buffers intact where the lot has disturbed area defined under RSA 483-B:4, IV.

SECTION 9 - GENERAL CRITERIA FOR TIDAL WATERS/WETLANDS (Env-Wt 604.03)

Except as allowed under Env-Wt 606, permanent new impacts to tidal wetlands shall be allowed only to protect public safety or homeland security. Evaluation of impacts to tidal wetlands and tidal waters shall be based on:

- The standard conditions in Env-Wt 307;
- The avoidance and minimization requirements in Env-Wt 311.07 and Env-Wt 313.03;
- The approval criteria in Env-Wt 313.01;
- The evaluation criteria in Env-Wt 313.05;
- The project specific criteria in Env-Wt 600;
- The CFA required by Env-Wt 603.04; and
- The vulnerability assessment required by Env-Wt 603.05.

Projects in tidal surface waters or tidal wetlands shall:

- Optimize the natural function of the tidal wetland, including protection or restoration of habitat, water quality, and self-sustaining stability to storm surge;
- Be designed with a preference for living shorelines over hardened stabilization practices; and
- Be limited to public infrastructure or restoration projects that are in the interest of the general public, including a road, a bridge, energy infrastructure, or a project that addresses predicted sea-level rise and coastal flood risk.

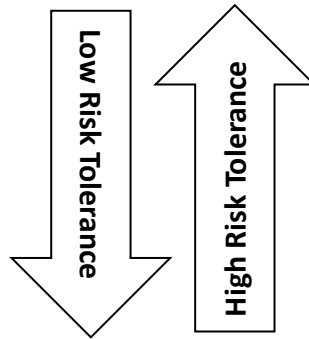
SECTION 10 – GUIDANCE

Your application must follow the New Hampshire Coastal Risk and Hazards Commission's Guiding Principles or other best available science. Below are some of these guidance principles:

- Incorporate science-based coastal flood risk projections into planning;
- Apply risk tolerance* to assessment, planning, design, and construction;
- Protect natural resources and public access;
- Create a bold vision, start immediately, and respond incrementally and opportunistically as projected coastal flood risks increase over time; and
- Consider the full suite of actions including effectiveness and consequences of actions.

*Risk tolerance is a project's willingness to accept a higher or lower probability of flooding impacts. The diagram below gives examples of project with lower and higher risk tolerance:

Critical infrastructures, historic sites, essential ecosystems, and high value assets typically have lower risk tolerance, and thus should be planned, designed, and constructed using higher coastal flood risk projections.



Sheds, pathways, and small docks typically have higher risk tolerance and thus may be planned, designed, and constructed using less protective coastal flood risk projections.



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Appendix B

New Hampshire General Permits (GPs) Required Information and Corps Secondary Impacts Checklist

In order for the Corps of Engineers to properly evaluate your application, applicants must submit the following information along with the New Hampshire DES Wetlands Bureau application or permit notification forms. Some projects may require more information. For a more comprehensive checklist, go to <https://www.nae.usace.army.mil/Missions/Regulatory/> “Useful Documents, Forms and Publications” and then “Corps Application Form and Guidance.” Check with the Corps at (978) 318-8832 for project-specific requirements. For your convenience, this Appendix B is also attached to the State of New Hampshire DES Wetlands Bureau application and Permit by Notification forms.

All Projects:

- New Hampshire Department of Environmental Services (DES) Wetlands Permit Application.
- Request for Project Review Form by the New Hampshire Division of Historical Resources (DHR).
<https://www.nh.gov/nhdhr/review/rpr.htm>.
- Photographs of wetland/waterway to be impacted.
- Purpose of the project.
- Legible, reproducible plans no larger than 11”x17” with bar scale. Provide locus map and plan views of the entire property.
- Typical cross-section views of all wetland and waterway fill areas and wetland replication areas.
- In navigable waters, show mean low water (MLW) and mean high water (MHW) elevations. Show the high tide line (HTL) elevations when fill is involved. In other waters, show ordinary high water (OHW) elevation.
- On each plan, show the following for the project:
 - Vertical datum and the NAVD 1988 equivalent with the vertical units as U.S. feet. In coastal waters this may be mean higher high water (MHHW), mean high water (MHW), mean low water (MLW), mean lower low water (MLLW) or other tidal datum with the vertical units as U.S. feet. MLLW and MHHW are preferred. Provide the correction factor detailing how the vertical datum (e.g., MLLW) was derived using the latest National Tidal Datum Epoch for that area, typically 1983-2001.
 - Horizontal state plane coordinates in U.S. survey feet based on the Traverse Mercator Grid system for the State of New Hampshire (Zone 2800) NAD 83.
 - Project limits with existing and proposed conditions.
 - Limits of any Federal Navigation Project in the vicinity of the project area and horizontal State Plane Coordinates in U.S. survey feet for the limits of the proposed work closest to the Federal Navigation Project;
 - Volume, type, and source of fill material to be discharged into waters and wetlands, including the area(s) (in square feet or acres) of fill in wetlands, below the OHW in inland waters and below the HTL in coastal waters.
 - Delineation of all waterways and wetlands on the project site,;
- Use Federal delineation methods and include Corps wetland delineation data sheets (GC 2).
- For activities involving discharges of dredged or fill material into waters of the U.S., include a statement describing how impacts to waters of the U.S. are to be avoided and minimized, and either a statement describing how impacts to waters of the U.S. are to be compensated for (or a conceptual or detailed mitigation plan) or a statement explaining why compensatory mitigation should not be required for the proposed impacts. Please contact the Corps for guidance.



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**New Hampshire General Permits (GPs)
Appendix B - Corps Secondary Impacts Checklist
(for inland wetland/waterway fill projects in New Hampshire)**

1. Attach any explanations to this checklist. Lack of information could delay a Corps permit determination.
2. All references to “work” include all work associated with the project construction and operation. Work includes filling, clearing, flooding, draining, excavation, dozing, stumping, etc.
3. See GC 5, regarding single and complete projects.
4. Contact the Corps at (978) 318-8832 with any questions.

1. Impaired Waters	Yes	No
1.1 Will any work occur within 1 mile upstream in the watershed of an impaired water? See http://des.nh.gov/organization/divisions/water/wmb/section401/impaired_waters.htm to determine if there is an impaired water in the vicinity of your work area.*		X
2. Wetlands	Yes	No
2.1 Are there are streams, brooks, rivers, ponds, or lakes within 200 feet of any proposed work?		X
2.2 Are there proposed impacts to SAS, special wetlands. Applicants may obtain information from the NH Department of Resources and Economic Development Natural Heritage Bureau (NHB) DataCheck Tool for information about resources located on the property at https://www2.des.state.nh.us/nhb_datacheck/ . The book Natural Community Systems of New Hampshire also contains specific information about the natural communities found in NH.		X
2.3 If wetland crossings are proposed, are they adequately designed to maintain hydrology, sediment transport & wildlife passage?	NA	
2.4 Would the project remove part or all of a riparian buffer? (Riparian buffers are lands adjacent to streams where vegetation is strongly influenced by the presence of water. They are often thin lines of vegetation containing native grasses, flowers, shrubs and/or trees that line the stream banks. They are also called vegetated buffer zones.)		X
2.5 The overall project site is more than 40 acres?		X
2.6 What is the area of the previously filled wetlands?	0 SF	
2.7 What is the area of the proposed fill in wetlands?	0 SF	
2.8 What is the % of previously and proposed fill in wetlands to the overall project site?		
3. Wildlife	Yes	No
3.1 Has the NHB & USFWS determined that there are known occurrences of rare species, exemplary natural communities, Federal and State threatened and endangered species and habitat, in the vicinity of the proposed project? (All projects require an NHB ID number & a USFWS IPAC determination.) NHB DataCheck Tool: https://www2.des.state.nh.us/nhb_datacheck/ USFWS IPAC website: https://ecos.fws.gov/ipac/location/index	X	

3.2 Would work occur in any area identified as either “Highest Ranked Habitat in N.H.” or “Highest Ranked Habitat in Ecological Region”? (These areas are colored magenta and green, respectively, on NH Fish and Game’s map, “2010 Highest Ranked Wildlife Habitat by Ecological Condition.”) Map information can be found at: <ul style="list-style-type: none"> • PDF: https://wildlife.state.nh.us/wildlife/wap-high-rank.html. • Data Mapper: www.granit.unh.edu. • GIS: www.granit.unh.edu/data/downloadfreedata/category/databycategory.html. 		X
3.3 Would the project impact more than 20 acres of an undeveloped land block (upland, wetland/waterway) on the entire project site and/or on an adjoining property(s)?		X
3.4 Does the project propose more than a 10-lot residential subdivision, or a commercial or industrial development?		X
3.5 Are stream crossings designed in accordance with the GC 21?	NA	
4. Flooding/Floodplain Values	Yes	No
4.1 Is the proposed project within the 100-year floodplain of an adjacent river or stream?		X
4.2 If 4.1 is yes, will compensatory flood storage be provided if the project results in a loss of flood storage?	NA	
5. Historic/Archaeological Resources		
For a minimum, minor or major impact project - a copy of the Request for Project Review (RPR) Form (www.nh.gov/nhdhr/review) with your DES file number shall be sent to the NH Division of Historical Resources as required on Page 11 GC 8(d) of the GP document**	NA	

*Although this checklist utilizes state information, its submittal to the Corps is a Federal requirement.

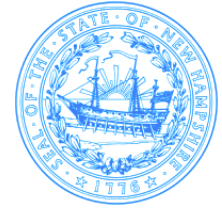
** If your project is not within Federal jurisdiction, coordination with NH DHR is not required under Federal law.

NOTE:

The project as proposed does not include any impacts to wetlands; therefore, an application to USACE is not required.



The State of New Hampshire
DEPARTMENT OF ENVIRONMENTAL SERVICES



Robert R. Scott, Commissioner

To: Keegan Feero, Haley Ward, Inc.
120 Main Street Suite 132
Saco, ME 04072
kfeero@haleyward.com

From: Ecological Review Section
New Hampshire Department of Environmental Services

cc:

Date: 03/12/2026 (valid until 03/12/2027)

Re: DataCheck Review by NHDES Ecological Review Section

Permits: NHDES - Shoreland Standard Permit, NHDES - Standard Dredge & Fill - Minimum; or Expedited

DCT ID: DCT26-0564

Town: Portsmouth
Location: 134 Pleasant Street

Project Description: This project is associated with a site improvement project located at 134 Pleasant Street. This portion of the project involves the redevelopment of the northwest corner of the parking lot and the installation of a new storm drain underneath the existing parking lot and catch basin adjacent to Parrot Avenue to assist in off-site stormwater management. The project will have some impacts within the TBZ and Shoreland Zone. TBZ impacts are 39 SF of permanent and 562 SF of temporary, and Shoreland impacts are 1,305 SF of permanent and 3,129 SF of temporary. All development is located in previously developed areas.

Next Steps for Applicants:

The New Hampshire Department of Environmental Services (NHDES) Ecological Review Section has reviewed the provided mapped project area against available records of protected species, Exemplary Natural Communities (ENCs), and critical habitat. Based on the project mapping and submitted information, protected species may be impacted by the proposed work activities. Please carefully read the comments and instructions below for next steps to avoid and minimize impacts.

Plant and Exemplary Natural

Community Comments: Impacts to protected plants are not expected as long as there are no impacts proposed below the highest observable tide line. If all impacts are above the highest observable tide line, no ecological review is needed.

Wildlife and Critical Habitat

Comments: No ecological review needed based on provided information.

Ecological Review Instructions

Pursuant to Env-C 804.01, ecological reviews are either required by rule or recommended to comply with RSA 212-A and 217-A. Pursuant to Env-C 804.02, required ecological reviews that meet certain criteria must pay a \$500 fee to request an ecological review.

Instructions regarding how to request an ecological review for plants and/or wildlife are provided below:

When is an Ecological Review for Plants and Exemplary Natural Communities Needed

If this letter includes records of protected plants and/or exemplary natural communities, you may request an Ecological Review from NHDES (see further instructions below).

If no plant or exemplary natural communities are included on this letter, no further plant review is needed.

When is an Ecological Review for Wildlife and Critical Habitat Needed

If this letter includes records of protected wildlife and/or critical habitat, please refer to one of the following next steps:

- a. If your project requires an NHDES permit, authorization, or approval you may request an Ecological Review from NHDES (see further instructions below).
- b. If your project **does not** need an NHDES permit, authorization, or approval, then no ecological review with NHDES is needed. Instead, you can request a review from the New Hampshire Fish and Game (NHFG) Nongame and Endangered species program. Contact NHFGreview@wildlife.nh.gov or 603-271-2461 to request a review with NHFG.

If no wildlife species or critical habitat are included on this letter, then no further wildlife review is needed.

How to Request an Ecological Review from NHDES

To request an ecological review, access and complete the [Ecological Review Request form](#) found at onlineforms.nh.gov.

Submit the completed form and all required attachments by email, mail, or hand delivery to:

New Hampshire Department of Environmental Services
Attn: Ecological Review Section
P.O. Box 95
29 Hazen Drive
Concord, NH 03302-0095
EcologicalReviews@des.nh.gov

For questions about requesting an ecological review, call 603-271-7972.

Federal Compliance

This letter does not constitute compliance with the federal Endangered Species Act (ESA). There may be federally listed species in New Hampshire that are impacted by your activity not included in this letter. For ESA compliance, please visit the US Fish and Wildlife Service's (USFWS) [Information for Planning and Consultation \(iPaC\) website](#) for an official list of federally listed species that may be present in your project area. If a federal agency is involved in your project through funding, permit or other authorization, coordinate your iPaC results with your point of contact at the agency for further ESA review. If there is no federal agency nexus to your project, and you determine through iPaC, habitat evaluations etc. that a project may cause take of a federally listed species, we recommend coordinating with the USFWS' New England Field Office (newengland@fws.gov or [603-223-2541](tel:603-223-2541)).

Ecological Review Database records:

The following species and habitats may be impacted by the proposed work activities. Please refer to this list when coordinating.

Plant species	State¹	Federal	Notes
marsh elder (<i>Iva frutescens</i>)	T	--	Threats are primarily alterations to the hydrology of the wetland, such as ditching or tidal restrictions that might affect the sheet flow of tidal waters across the intertidal flat, activities that eliminate plants, and increased input of nutrients and pollutants in storm runoff.

¹Codes: "E" = Endangered, "T" = Threatened, "SC" = Special Concern, "--" = an exemplary natural community, or a rare species tracked by NH Natural Heritage that has not yet been added to the official state list.

Disclaimer:

DataCheck Tool screening only includes occurrences of protected species and exemplary natural communities that have been documented and verified by state biologists and ecologists. This letter does not guarantee these are the only protected species and habitat present at this location, only that their presence has not been documented and verified by state biologists and ecologists. As many areas have never been surveyed, or have only been surveyed for certain species, on site surveys are the best way to determine the resources present on your site.

DCT26-0564



Legend

- City/Town
- Site bounds

www.des.nh.gov
29 Hazen Drive • PO Box 95 • Concord, NH 03302-0095
(603) 271-3503 • Fax: (603) 271-2867 • TDD Access: Relay NH 1-800-735-2964

EFH Mapper Report

EFH Data Notice

Essential Fish Habitat (EFH) is defined by textual descriptions contained in the fishery management plans developed by the regional fishery management councils. In most cases mapping data can not fully represent the complexity of the habitats that make up EFH. This report should be used for general interest queries only and should not be interpreted as a definitive evaluation of EFH at this location. A location-specific evaluation of EFH for any official purposes must be performed by a regional expert. Please refer to the following links for the appropriate regional resources.

[Greater Atlantic Regional Office](#)
[Atlantic Highly Migratory Species Management Division](#)

Query Results







Degrees, Minutes, Seconds: Latitude = 43° 4' 26" N, Longitude = 71° 14' 37" W
Decimal Degrees: Latitude = 43.074, Longitude = -70.756



























The query location intersects with spatial data representing EFH and/or HAPCs for the following species/management units.

***** WARNING *****

Please note under "Life Stage(s) Found at Location" the category "ALL" indicates that all life stages of that species share the same map and are designated at the queried location.

EFH

Link	Data Caveats	Species/Management Unit	Lifestage(s) Found at Location	Management Council	FMP
		Atlantic Butterfish	Adult	Mid-Atlantic	Atlantic Mackerel, Squid,& Butterfish Amendment 11
		Atlantic Cod	Adult, Eggs, Larvae	New England	Amendment 14 to the Northeast Multispecies FMP
		Atlantic Herring	Adult, Juvenile, Larvae	New England	Amendment 3 to the Atlantic Herring FMP

Link	Data Caveats	Species/Management Unit	Lifestage(s) Found at Location	Management Council	FMP
		Atlantic Mackerel	Eggs, Juvenile, Larvae	Mid-Atlantic	Atlantic Mackerel, Squid,& Butterfish Amendment 11
		Atlantic Sea Scallop	ALL	New England	Amendment 14 to the Atlantic Sea Scallop FMP
		Atlantic Wolffish	ALL	New England	Amendment 14 to the Northeast Multispecies FMP
		Bluefish	Adult, Juvenile	Mid-Atlantic	Bluefish
		Little Skate	Adult, Juvenile	New England	Amendment 2 to the Northeast Skate Complex FMP
		Pollock	Eggs, Juvenile, Larvae	New England	Amendment 14 to the Northeast Multispecies FMP
		Red Hake	Adult, Eggs/Larvae/Juvenile	New England	Amendment 14 to the Northeast Multispecies FMP
		Smooth Skate	Juvenile	New England	Amendment 2 to the Northeast Skate Complex FMP
		Thorny Skate	Juvenile	New England	Amendment 2 to the Northeast Skate Complex FMP
		White Hake	Adult, Eggs, Juvenile	New England	Amendment 14 to the Northeast Multispecies FMP
		Windowpane Flounder	Adult, Eggs, Juvenile, Larvae	New England	Amendment 14 to the Northeast Multispecies FMP
		Winter Flounder	Eggs, Juvenile, Larvae/Adult	New England	Amendment 14 to the Northeast Multispecies FMP
		Winter Skate	Juvenile	New England	Amendment 2 to the Northeast Skate Complex FMP

Pacific Salmon EFH

No Pacific Salmon Essential Fish Habitat (EFH) were identified at the report location.

Atlantic Salmon

No Atlantic Salmon were identified at the report location.

HAPCs

No Habitat Areas of Particular Concern (HAPC) were identified at the report location.

EFH Areas Protected from Fishing

No EFH Areas Protected from Fishing (EFHA) were identified at the report location.

Spatial data does not currently exist for all the managed species in this area. The following is a list of species or management units for which there is no spatial data.

****For links to all EFH text descriptions see the complete data inventory: [open data inventory -->](#)**

All EFH species have been mapped for the Greater Atlantic region,

Atlantic Highly Migratory Species EFH,

Bigeye Sand Tiger Shark,

Bigeye Sixgill Shark,

Caribbean Sharpnose Shark,

Galapagos Shark,

Narrowtooth Shark,

Sevengill Shark,

Sixgill Shark,

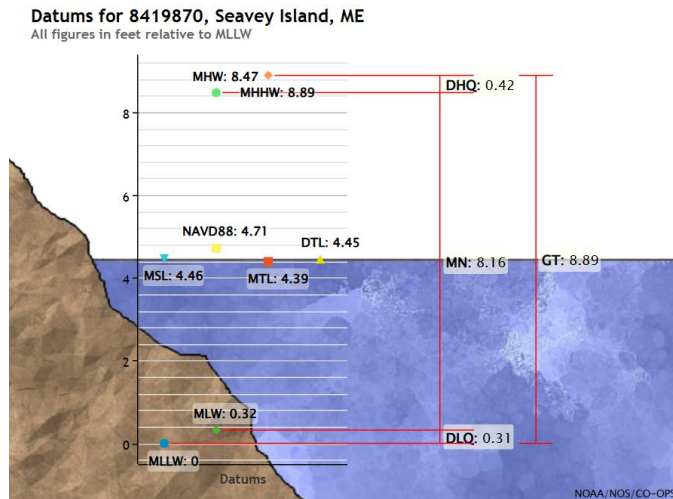
Smooth Hammerhead Shark,

Smalltail Shark



TIDE INFORMATION

Double MC, LLC – Parrot Avenue Parking Lot, Portsmouth, NH 03801



Elevations on Mean Lower Low Water

Station: 8419870, Seavey Island, ME

Status: Accepted (Dec 06 2021)

Units: Feet

Control Station: 8418150 Portland, ME

T.M.: 75

Epoch: 1983-2001

Datum: MLLW

Datum	Value	Description
MHHW	8.89	Mean Higher-High Water
MHW	8.47	Mean High Water
MTL	4.39	Mean Tide Level
MSL	4.46	Mean Sea Level
DTL	4.45	Mean Diurnal Tide Level
MLW	0.32	Mean Low Water
MLLW	0.00	Mean Lower-Low Water
NAVD88	4.71	North American Vertical Datum of 1988
STND	-2.27	Station Datum
GT	8.89	Great Diurnal Range
MN	8.16	Mean Range of Tide
DHQ	0.42	Mean Diurnal High Water Inequality
DLQ	0.31	Mean Diurnal Low Water Inequality
HWI	3.92	Greenwich High Water Interval (in hours)
LWI	10.04	Greenwich Low Water Interval (in hours)
Max Tide	13.07	Highest Observed Tide
Max Tide Date & Time	01/13/2024 22:18	Highest Observed Tide Date & Time
Min Tide	-3.27	Lowest Observed Tide
Min Tide Date & Time	11/30/1955 00:00	Lowest Observed Tide Date & Time
HAT	10.58	Highest Astronomical Tide
HAT Date & Time	05/19/2034 04:30	HAT Date and Time
LAT	-1.80	Lowest Astronomical Tide
LAT Date & Time	01/14/2036 23:00	LAT Date and Time

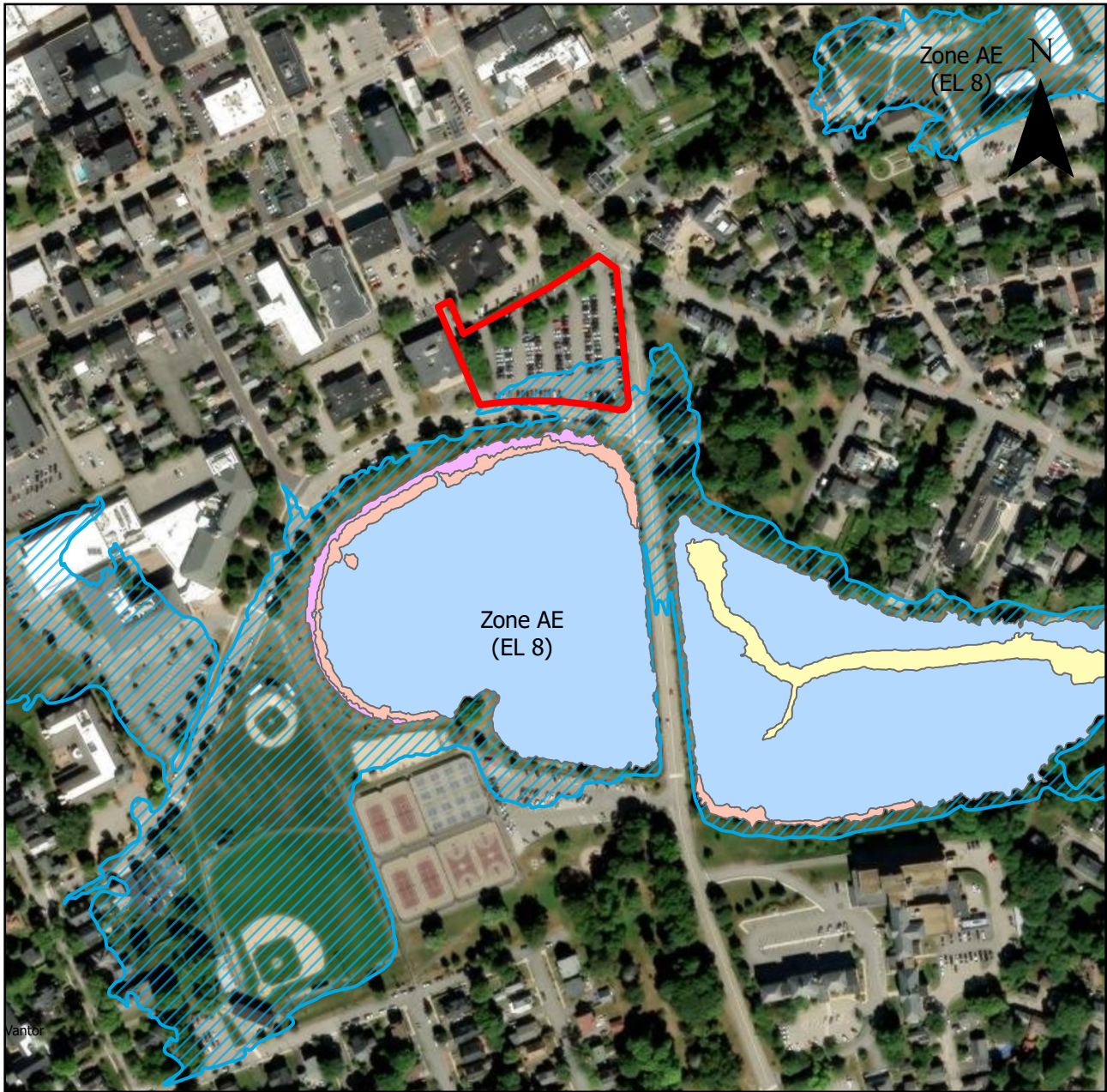
Double MC, LLC | 04.03.2026 | 5010156.1532



HALEY WARD

FLOODPLAIN & TIDAL WETLANDS

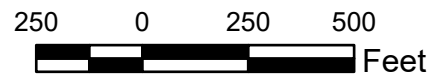
Double MC, LLC - 134 Pleasant Street, Portsmouth, NH



Tidal Wetlands

- High marsh
- Low Marsh
- Mudflat
- Open Water
- Panne or Pool

- Project Parcel
- Flood Zone



Marsh Migration - Initial Conditions

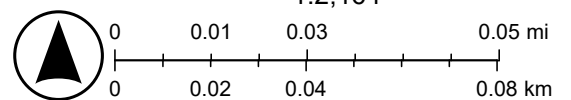


4/2/2026, 3:30:45 PM

134 pleasant
SLAMM 2022 - Initial Conditions

- Impervious
- Mud flat
- Salt marsh
- Tidal water

World Imagery
Low Resolution 15m Imagery
High Resolution 60cm Imagery
High Resolution 30cm Imagery
Citations








Microsoft, Vantor

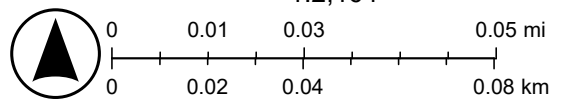
Marsh Migration - 0.3m 2050



4/2/2026, 3:31:11 PM

-  134 pleasant
- SLAMM 2022 - 0.3-m SLR at Year 2050
-  Mud flat
-  Salt marsh
-  Tidal water
-  Transitional salt marsh

World Imagery
Low Resolution 15m Imagery
High Resolution 60cm Imagery
High Resolution 30cm Imagery
Citations








Microsoft, Vantor

Marsh Migration - 0.5m 2050



4/2/2026, 3:31:31 PM

-  134 pleasant
- SLAMM 2022 - 0.5-m SLR at Year 2050
-  Mud flat
-  Salt marsh
-  Tidal water
-  Transitional salt marsh

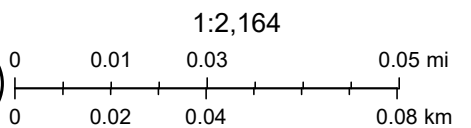
World Imagery

Low Resolution 15m Imagery

High Resolution 60cm Imagery

High Resolution 30cm Imagery Microsoft, Vantor

Citations



Marsh Migration - 0.75m 2100

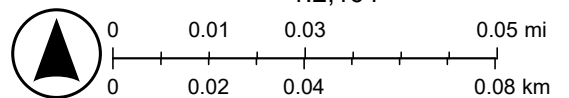


4/2/2026, 3:31:48 PM

134 pleasant
SLAMM 2022 - 0.75-m SLR at Year 2100

- Mud flat
- Salt marsh
- Tidal water
- Transitional salt marsh

World Imagery
Low Resolution 15m Imagery
High Resolution 60cm Imagery
High Resolution 30cm Imagery
Citations








Microsoft, Vantor

Marsh Migration - 1.2m 2100



4/2/2026, 3:32:14 PM

-  134 pleasant
- SLAMM 2022 - 1.2-m SLR at Year 2100
-  Mud flat
-  Salt marsh
-  Tidal water
-  Transitional salt marsh

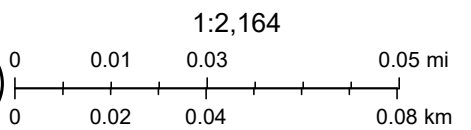
World Imagery

Low Resolution 15m Imagery

High Resolution 60cm Imagery

High Resolution 30cm Imagery Microsoft, Vantor

Citations



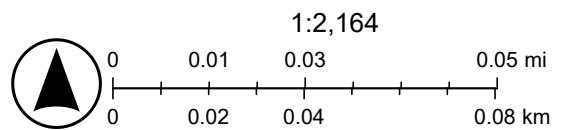
Marsh Migration - 1.5m 2100



4/2/2026, 3:32:30 PM

- 134 pleasant
- SLAMM 2022 - 1.5-m SLR at Year 2100
- Mud flat
- Salt marsh
- Tidal water
- Transitional salt marsh
- World Imagery
- World Imagery

- Low Resolution 15m Imagery
- Low Resolution 15m Imagery
- High Resolution 60cm Imagery
- High Resolution 60cm Imagery
- High Resolution 30cm Imagery
- High Resolution 30cm Imagery
- Citations
- Citations



Microsoft, Vantor



COASTAL FUNCTIONAL ASSESSMENT

Double MC, LLC – Parrot Avenue Parking Lot, Portsmouth, NH 03801

INTRODUCTION

The applicant proposes to install a new storm drain across the Parrot Avenue Parking Lot in Portsmouth, NH. The property is identified as Lot 4-1 on Map 115 of the City of Portsmouth's tax maps and is approximately X acres in size. As currently designed, the project proposes impacts to the shoreland zone and the Tidal Buffer Zone (TBZ).

The purpose of this report is to present the existing functions and values of the tidal wetlands and to assess any impacts the proposed project may have on their ability to continue to perform these functions and values. The tidal wetlands being impacted were assessed with consideration to their association with the Piscataqua River and the larger marine ecosystem and was not limited to the tidal wetlands immediately on-site.

METHODS

DATA COLLECTION

The tidal wetlands associated with this project area were identified and characterized through field surveys and review of existing information. Haley Ward Inc. (HW) conducted site visits in March and April, 2026 to characterize the tidal wetlands and collect the necessary information to complete a functions and values assessment. In addition, HW contacted the New Hampshire Natural Heritage Bureau (NHB) regarding existing information of documented rare species or natural communities within the vicinity of the project site.

WETLAND FUNCTIONS AND VALUES ASSESSMENT

HW assessed the ability of the tidal wetlands to provide certain functions and values and analyzed the potential effects the proposed project may have on their ability to continue to provide those functions and values. Wetland functions and values were assessed using the *Highway Methodology Workbook, Wetland Functions and Values: A Descriptive Approach*. This method bases function and value determinations on the presence or absence of specific criteria for each of the 13 wetland functions and values (see definitions below). These criteria are assessed through direct field observations and a review of existing resource maps and databases. As part of the evaluation, the most important functions and values associated with the on-site wetlands are identified. In addition, the ecological integrity of the wetlands is evaluated based on the existing levels of disturbance and the overall significance of the wetlands within the local watershed.



RESULTS

° **Groundwater Interchange (Recharge/Discharge)**

This function considers the potential for the project area wetlands to serve as groundwater recharge and/or discharge areas. It refers to the fundamental interaction between wetlands and aquifers, regardless of the size or importance of either.

Because there is no identified sand and gravel aquifer underlying the project area, and the wetlands are not underlain by sands or gravel, it is unlikely that significant groundwater recharge is occurring within the tidal wetlands.

° **Floodwater Alteration (Storage and Desynchronization)**

This function considers the effectiveness of the wetlands in reducing flood damage by attenuating and gradually releasing floodwaters for prolonged periods following precipitation and snow melt events.

The tidal wetlands associated with the project site lie directly adjacent to the Piscataqua River and the Atlantic Ocean. The tidal wetland and the Piscataqua River receive floodwater from the surrounding watershed and connected waterways. Additionally, South Mill Pond is a dammed wetland and retains water longer than a natural wetland with unimpeded flow; therefore, this is a suitable function.

° **Fish and Shellfish Habitat**

This function considers the effectiveness of seasonally or permanently flooded areas within the subject wetlands for their ability to provide fish and shellfish habitat.

The tidal wetland does provide fish and shellfish habitat and is directly associated with the Piscataqua River and the Atlantic Ocean; therefore, fish and shellfish habitat is considered a principal function.

° **Sediment/Toxicant Retention**

This function reduces or prevents degradation of water quality. It relates to the effectiveness of the wetland to function as a trap for sediments, toxicants, or pathogens, and is generally related to factors such as the type of soils, the density of vegetation, and the position in the landscape.

In the vicinity of the project, the tidal wetland is primarily vegetated with emergent salt marsh vegetation and mudflats in the subtidal area. Sources of sediments or toxicants exist upstream of the wetland from the heavily developed, urban upland and accumulate in this portion of South Mill Pond; therefore, this is considered a principal function for the larger wetland complex.



° **Nutrient Removal/Retention/Transformation**

This wetland function relates to the effectiveness of the wetland to prevent or reduce the adverse effects of excess nutrients entering aquifers or surface waters such as ponds, lakes, streams, rivers, or estuaries.

As with sediment and toxicant retention, the greater tidal wetland contains dense vegetation and a significant source of sediments or toxicants; therefore, nutrient removal/retention/transformation is considered a principal function.

° **Production Export (Nutrient)**

This function relates to the effectiveness of the wetland to produce food or usable products for humans or other living organisms.

Production export is a wetland function that typically occurs in the form of nutrient or biomass transport via watercourses, foraging by wildlife species, and removal of timber and other natural products. Because the greater tidal wetland provides fish and wildlife habitat, commercial and recreational fisheries opportunities, and nutrients are transferred over several trophic levels in the marine ecosystem, this is a principal function.

° **Sediment/Shoreline Stabilization**

This function considers the effectiveness of a wetland to stabilize stream banks and shorelines against erosion, primarily through the presence of persistent, well-rooted vegetation.

Because South Mill Pond is dammed and has a controlled flow, the embankments surrounding this wetland do not receive heavy flow and therefore are not prone to excessive erosive forces. However, the dense vegetation in this area provides additional benefits to velocity reduction and promote sediment deposition; therefore, sediment/shoreline stabilization is still considered a principal function.

° **Wildlife Habitat**

This function considers the effectiveness of the wetland to provide habitat for various types and populations of animals typically associated with wetlands and the wetland edge. Both resident and/or migrating species must be considered.

The greater tidal wetland provides a variety of coastal and marine habitats and the project site is designated as Highest Ranked Wildlife Habitat according to the Wildlife Action Plan; therefore, wildlife habitat is a principal function.



° **Recreation (Consumptive and Non-Consumptive)**

This value considers the suitability of the wetland and associated watercourses to provide recreational opportunities such as hiking, canoeing, boating, fishing, hunting, and other active or passive recreational activities.

The greater tidal wetland provides a variety of consumptive and non-consumptive recreational opportunities including trail walking, hunting, fishing and bird watching; therefore, recreation is considered to be a principal value.

° **Educational/Scientific Value**

This value considers the effectiveness of the wetland as a site for an "outdoor classroom" or as a location for scientific study or research.

The Piscataqua River and the associated tidal wetlands are part of a larger marine ecosystem with multiple areas of public access and spartina salt marshes, a heavily studied system. South Mill Pond provides access to the public to admire coastal marsh systems easily with nearby schools and parking areas; therefore, educational/scientific value is considered to be a principal function.

° **Uniqueness/Heritage**

This value relates to the effectiveness of the wetland or its associated water bodies to provide certain special values such as archaeological sites, unusual aesthetic quality, historical events, or unique plants, animals, or geologic features.

Tidal wetlands are unique to the seacoast area. Additionally, there are pre- and post-colonial historical components associated with the Piscataqua River and the surrounding areas making this a principal value.

° **Visual Quality/Aesthetics**

This value relates to the visual and aesthetic qualities of the wetland.

The Piscataqua River provides aesthetically pleasing views that are viewable from surrounding uplands as well as from the water and provide a distinct contrast compared to the surrounding urban land development, which makes this a principal value.

° **Endangered Species Habitat**

This value considers the suitability of the wetland to support threatened or endangered species.

An online inquiry with the NHB identified records of marsh elder (*Iva frutescens*) in proximity to the proposed project area. Therefore, it is assumed this species may utilize this site given its proximity to the main channel of the Piscataqua River and the Atlantic Ocean. However, the site itself is not mapped as a critical habitat. Therefore, the wetland



likely has the ability to function as an endangered/threatened species habitat but has not been identified as a principal function.

PROPOSED IMPACTS

This report is accompanying a New Hampshire Department of Environmental Services (NHDES) Minor Impact Wetland Permit Application request to permit 39 SF of permanent impacts and 562 SF of temporary impacts to the previously developed 100' Tidal Buffer Zone for the installation of a new storm drain within the existing parking lot.

SUMMARY AND CONCLUSIONS

The jurisdictional tidal wetland is part of a large marine system and provides 11 principal functions and values when evaluated as a whole. These functions and values include: floodflow alteration, fish and shellfish habitat, production export, sediment/shoreline stabilization, nutrient removal/retention, sediment/toxicant retention, wildlife habitat, recreation, education/scientific value, uniqueness/heritage, and visual quality aesthetics. While the entire marine system provides these principal functions and values, the proposed TBZ impacts associated with the installation of the storm drain and will impact only a small portion adjacent to the larger wetland and will not impact the wetland directly. The pre-construction and post-construction sites will remain virtually identical and will not result in the loss of any additional buffer vegetation, nor will it increase the encroachment of the development on the tidal marsh. Therefore, the proposed project will not have any effect on the wetland's ability to continue providing its principal functions.

The proposed impacts have been minimized to the greatest extent practicable by placing the storm drain in a previously developed area. The installation of the storm drain will increase stormwater treatment as it will be connected to a new Jellyfish filter on an adjacent lot and will connect with the City's separated stormwater system. No increase in impervious area is proposed as a result of installation as the placement of the pipe is beneath an existing parking lot. It is anticipated that there will be no effect on any fish or wildlife species that currently use the site for food, cover, and/or habitat given the limit of impacts to previously developed areas and no removal of vegetation. The project will not impede tidal flow or alter hydrology, will not deter use by wildlife species that currently use the wetland area, and it will not impede any migratory fish movement.

Based on our assessment of the current functions and values, the proposed deck design, placement, and proposed buffer plantings; it is our belief that the proposed project will have no significant impact on the tidal wetlands or greater marine systems' ability to continue to provide their current functions and values.

Wetland Function-Value Evaluation Form

Total area of wetland _____ Human made? _____ Is wetland part of a wildlife corridor? _____ or a "habitat island"? _____

Adjacent land use _____ Distance to nearest roadway or other development _____

Dominant wetland systems present _____ Contiguous undeveloped buffer zone present _____

Is the wetland a separate hydraulic system? _____ If not, where does the wetland lie in the drainage basin? _____

How many tributaries contribute to the wetland? _____ Wildlife & vegetation diversity/abundance (see attached list)

Wetland I.D. _____

Latitude _____ Longitude _____

Prepared by: _____ Date _____

Wetland Impact:
Type _____ Area _____

Evaluation based on:
Office _____ Field _____

Corps manual wetland delineation completed? Y _____ N _____

Function/Value	Suitability Y / N	Rationale (Reference #)*	Principal Function(s)/Value(s)	Comments
 Groundwater Recharge/Discharge				
 Floodflow Alteration				
 Fish and Shellfish Habitat				
 Sediment/Toxicant Retention				
 Nutrient Removal				
 Production Export				
 Sediment/Shoreline Stabilization				
 Wildlife Habitat				
 Recreation				
 Educational/Scientific Value				
 Uniqueness/Heritage				
 Visual Quality/Aesthetics				
ES Endangered Species Habitat				
Other				

Notes:

* Refer to backup list of numbered considerations.



HALEY WARD

COASTAL VULNERABILITY ASSESSMENT

Double MC, LLC – Parrot Avenue Parking Lot, Portsmouth, NH 03801

INTRODUCTION

This Coastal Vulnerability Assessment (CVA) is being provided in support of a New Hampshire Department of Environmental Services (NHDES) Wetland Permit Application for the installation of a new storm drain at the Parrot Avenue parking lot, Portsmouth, NH 03801 (herein referred to as “project site”). The parcel is identified as Lot 4-1 on Map 115 of the City of Portsmouth's tax maps. The project site is a parking lot located on the north shore of South Mill Pond. The surrounding land use is primarily urban and commercial.

METHODS

In March and April, 2026, Keegan Feero, Permitting Specialist from Haley Ward, Inc. conducted a site visit to evaluate coastal characteristics of the project site. This CVA was completed utilizing the NH Coastal Flood Risk Science and Technical Advisory Panel (2019) New Hampshire Coastal Flood Risk Summary Part II: Guidance for Using Scientific Projections. Report Published by the University of New Hampshire (herein referred to as Guidance Document).

PART 1.1 – PROJECT TYPE

This project proposes the installation of a storm drain to serve an associated development located adjacent to the parcel at 134 Pleasant Street. For more details regarding construction and sequencing of the storm drain; please refer to the NH DES Wetlands Bureau Application attached NHDES Permit Plan – Sheet C103.

PART 1.2 – PROJECT LOCATION

The project location is the Parrot Avenue Parking Lot, Tax Map 115, Lot 4-1 and consists of +/- 1.65 acres of upland. The project site abuts South Mill Pond, a dammed wetland which outlets directly to the Piscataqua River. Access to the project site will be from the upland and will occur within the existing impervious areas on the lot.

PART 1.3 – TIMELINE FOR DESIRED USEFUL LIFE

This analysis will use 2100 for a timeframe, as the storm drain is intended to be a permanent fixture to the existing development.

2.1 – PROJECT RISK TOLERANCE

Double MC, LLC | 04.03.2026 | 5010156.1532



The proposed project is considered to have a high risk tolerance due to the short distance the storm drain covers, the alternative locations the storm drain could tie into if needed, the relatively low cost of installing the storm drain, proposes little to no implications on public function and/or safety, and has little sensitivity to inundation. Additionally, South Mill Pond is dammed which allows the City to control the flow of water into the pond and reduce flood risk.

2.2 – RISK TOLERANCE OF IMPORTANT ACCESS AND SERVICE AREAS

The risk tolerance of surrounding access and service areas is slightly lower than the proposed project. The surrounding area is comprised of public roadways, a bridge, and associated municipal storm and sewer systems which can be considered as having a medium tolerance for flood risk due to their associated use by the public. However, as stated above, the water level of South Mill Pond is controlled.

3.1 – RELATIVE SEA LEVEL RISE SCENARIO (RSLR)

Based on Table 3 in the Guidance Document (see table below), the RSLR for this project (based on the previously determined high/medium risk tolerance) is considered to be on the lower magnitude, and higher probability. The following table depicts the probable sea level rise from 2000 through 2150.

Table 3 from the Guidance Document:

Risk Tolerance	High	Medium	Low	Extremely Low
Example Project	Walking Trail *Deck Construction & Stone Revetment	Local Road Culvert	Wastewater Treatment Facility	Hospital
Timeframe	Manage to the following sea level rise (ft*) <i>Compared to the sea level in the year 2000</i>			
	Lower magnitude Higher probability	←————→		Higher magnitude Lower probability
2030	0.7	0.9	1.0	1.1
2050	1.3	1.6	2.0	2.3
2100	2.9	3.8	5.3	6.2
2150	4.6	6.4	9.9	11.7

*Added by Haley Ward, Inc. based on the application of the Guidance Document towards our project.

3.2 – RELATIVE SEA LEVEL RISE (RSLR) IMPACTS TO THE PROJECT EVALUATION

Estimates of Projected SLR's which depict the project site and projected water depth at high tide for 1 foot, 2 foot, 4 foot, 6 foot, and 8 foot sea level rise scenarios are attached. Relative to surrounding topography and considering the High-Risk/Medium-Risk Tolerance of this project and surrounding access/service areas; the projected RSLR initially appears to warrant consideration for the proposed project. The 2.9ft – 3.8ft RSLR estimate is being used for this project, and based on the provided 4ft SLR map, it appears



the project site will be inundated. However, as stated previously, South Mill Pond is a dammed waterway and is capable of being controlled by the City. The South Mill Pond dam extends vertically to an elevation of 13.5 feet, therefore protecting the development around South Mill Pond from flood risk. The project also does not propose any structures which may be susceptible to flood waters as the project is only the installation of a storm drain. With these considerations, the RSLR is not likely to significantly impact the proposed project.

3.3 – OTHER FACTORS

Other factors were evaluated in conjunction with RSLR including surface water levels, groundwater levels, and current velocities - which will increase with sediment erosion and deposition. The project's position in the landscape was also considered relative to other infrastructure.

The Highest Observable Tide Line (HOTL) associated with the project site is located approximately at elevation 6.7. Considering a 2.9-3.8 foot RSLR in the year 2100, the resulting HOTL in the year 2100 would have a maximum elevation of 10.5 if no damming would occur. This elevation is approximately located halfway through the Parrot Avenue Parking Lot. However, the elevation of South Mill Pond is likely not to increase given the capacity of the dam.

4.1 – RSLR AND COASTAL STORMS

Due to the project site location being adjacent to South Mill Pond, the anticipated impact by RSLR and storm surge is minimal. The project site does not directly receive storm surge and has a controlled water elevation. The site lacks an open fetch and the area surrounding the site is buffered by significant urban development, and water movement within the pond is diffuse in nature. It is not anticipated that this project has a significant level of vulnerability to RSLR and coastal storms given the type of development, controlled nature of South Mill Pond, and lack of significant erosive forces.

4.2 – OTHER FACTORS

Other factors such as surface water levels, groundwater levels, wind and current velocities have been considered. Considering the relatively high-risk tolerance of this project, it is not anticipated that this project has a significant level of vulnerability to groundwater levels, wind and current velocities. Groundwater depths at this location measure at least five feet below the surface.

5.1 – PROJECTED RSL-INDUCED GROUNDWATER RISE

Based on the Sea-Level Rise Mapper, there is projected groundwater rise associated with RSLR on the project site. Based on predictions by the New Hampshire Sea-Level Rise, Storm Surge, and Groundwater Rise Mapper managed by the New Hampshire Department of Environmental Services, the predicted groundwater rise in this area is



expected to be approximately 1.2 – 2.2ft by the year 2100 given an estimated increase of 4ft in SLR (note the RSLR of 2.9 - 3.8ft as identified in Table 3 above). However, given the relatively low seasonal high water table in this location, groundwater rise is not anticipated to significantly affect the proposed storm drain.

5.2 – PROJECTED GROUNDWATER DEPTH AT THE PROJECT LOCATION

Projected groundwater depth on the subject site would likely rise with projected RSLR. The project site currently has a seasonal high water table depth of more than five feet. Given the current depth to groundwater, the expected groundwater rise is not anticipated to significantly affect the project.

6.1 – BEST AVAILABLE PRECIPITATION ESTIMATES

Please see the attached Extreme Precipitation Tables from the Northeast Regional Climate Center.

7.1 – CUMULATIVE COASTAL FLOOD RISK TO THE PROJECT

Based on the high-risk tolerance of this project combined with all other factors including RSLR, coastal storms, RSLR-induced groundwater rise, extreme precipitation and/or freshwater flooding occurring together; this project is not considered to be at high risk from coastal flooding. South Mill Pond is a controller water feature and will remain resilient to sea level change through the use of the South Mill Pond dam.

7.2 – POSSIBLE ACTIONS TO MITIGATE COASTAL FLOOD RISK

Given the high-risk tolerance of the proposed project and the likelihood that South Mill Pond will continue to be controlled by the associated dam, it is not anticipated that it is necessary to mitigate for coastal flood risk.

Extreme Precipitation Tables

Northeast Regional Climate Center

Data represents point estimates calculated from partial duration series. All precipitation amounts are displayed in inches.

Metadata for Point	
Smoothing	Yes
State	New Hampshire
Location	New Hampshire, United States
Latitude	43.074 degrees North
Longitude	70.756 degrees West
Elevation	0 feet
Date/Time	Thu Apr 02 2026 19:24:12 GMT-0400 (Eastern Daylight Time)

24hr Storms:

1yr = 2.66in * 1.15 = 3.06in
 2yr = 3.21in * 1.15 = 3.69in
 5yr = 4.07in * 1.15 = 4.68in
 10yr = 4.86in * 1.15 = 5.59in
 25yr = 6.17in * 1.15 = 7.10in
 50yr = 7.39in * 1.15 = 8.50in
 100yr = 8.85in * 1.15 = 10.18in

Extreme Precipitation Estimates

	5min	10min	15min	30min	60min	120min	1hr	2hr	3hr	6hr	12hr	24hr	48hr	1day	2day	4day	7day	10day		
1yr	0.26	0.40	0.50	0.65	0.81	1.04	0.70	0.98	1.21	1.56	2.03	2.66	2.92	1yr	2.35	2.81	3.22	3.94	4.55	1yr
2yr	0.32	0.50	0.62	0.82	1.02	1.30	0.88	1.18	1.52	1.94	2.49	3.21	3.57	2yr	2.84	3.43	3.94	4.68	5.33	2yr
5yr	0.37	0.58	0.73	0.98	1.25	1.61	1.08	1.47	1.89	2.43	3.14	4.07	4.58	5yr	3.60	4.40	5.04	5.94	6.70	5yr
10yr	0.41	0.65	0.82	1.12	1.45	1.89	1.25	1.73	2.23	2.89	3.75	4.86	5.53	10yr	4.31	5.32	6.09	7.11	7.98	10yr
25yr	0.48	0.76	0.97	1.34	1.78	2.34	1.53	2.14	2.78	3.63	4.74	6.17	7.10	25yr	5.46	6.83	7.81	9.03	10.05	25yr
50yr	0.54	0.86	1.10	1.54	2.08	2.76	1.79	2.53	3.29	4.33	5.67	7.39	8.58	50yr	6.54	8.25	9.43	10.81	11.97	50yr
100yr	0.60	0.97	1.25	1.77	2.42	3.26	2.09	2.98	3.91	5.16	6.77	8.85	10.38	100yr	7.83	9.98	11.39	12.96	14.27	100yr
200yr	0.68	1.10	1.43	2.05	2.83	3.84	2.44	3.52	4.62	6.14	8.08	10.60	12.55	200yr	9.38	12.06	13.76	15.55	17.01	200yr
500yr	0.80	1.32	1.72	2.49	3.49	4.78	3.01	4.39	5.78	7.72	10.22	13.47	16.14	500yr	11.92	15.52	17.68	19.78	21.48	500yr

Lower Confidence Limits

	5min	10min	15min	30min	60min	120min	1hr	2hr	3hr	6hr	12hr	24hr	48hr	1day	2day	4day	7day	10day		
1yr	0.23	0.36	0.44	0.59	0.72	0.88	0.63	0.86	0.93	1.33	1.69	2.24	2.49	1yr	1.98	2.39	2.87	3.19	3.90	1yr
2yr	0.31	0.49	0.60	0.81	1.00	1.19	0.86	1.16	1.37	1.82	2.34	3.06	3.45	2yr	2.71	3.32	3.82	4.55	5.09	2yr
5yr	0.35	0.54	0.67	0.92	1.17	1.40	1.01	1.37	1.61	2.12	2.73	3.78	4.19	5yr	3.35	4.03	4.72	5.53	6.24	5yr
10yr	0.39	0.59	0.73	1.03	1.33	1.60	1.14	1.56	1.80	2.39	3.05	4.37	4.85	10yr	3.87	4.67	5.43	6.41	7.19	10yr
25yr	0.44	0.67	0.83	1.19	1.56	1.90	1.35	1.86	2.10	2.75	3.53	4.73	5.88	25yr	4.19	5.65	6.64	7.78	8.67	25yr
50yr	0.48	0.73	0.91	1.31	1.76	2.17	1.52	2.12	2.35	3.06	3.92	5.35	6.78	50yr	4.73	6.52	7.71	9.03	10.00	50yr
100yr	0.54	0.81	1.01	1.46	2.01	2.47	1.73	2.41	2.62	3.40	4.33	6.02	7.82	100yr	5.32	7.52	8.95	10.49	11.55	100yr
200yr	0.59	0.89	1.13	1.63	2.27	2.81	1.96	2.75	2.93	3.77	4.77	6.75	9.02	200yr	5.97	8.68	10.38	12.20	13.35	200yr
500yr	0.68	1.02	1.31	1.90	2.71	3.36	2.33	3.28	3.41	4.30	5.43	7.86	10.89	500yr	6.95	10.47	12.63	14.92	16.17	500yr



Upper Confidence Limits

	5min	10min	15min	30min	60min	120min	1hr	2hr	3hr	6hr	12hr	24hr	48hr	1day	2day	4day	7day	10day		
1yr	0.28	0.44	0.54	0.72	0.89	1.08	0.77	1.06	1.26	1.74	2.20	2.98	3.17	1yr	2.64	3.05	3.58	4.37	5.04	1yr
2yr	0.34	0.52	0.64	0.87	1.07	1.27	0.92	1.24	1.48	1.96	2.52	3.42	3.71	2yr	3.03	3.56	4.09	4.84	5.63	2yr
5yr	0.40	0.62	0.77	1.05	1.34	1.62	1.15	1.59	1.89	2.54	3.25	4.34	4.97	5yr	3.84	4.78	5.38	6.38	7.16	5yr
10yr	0.47	0.72	0.89	1.25	1.61	1.98	1.39	1.93	2.28	3.11	3.96	5.34	6.21	10yr	4.72	5.97	6.83	7.85	8.76	10yr
25yr	0.58	0.88	1.09	1.56	2.05	2.57	1.77	2.52	2.96	4.08	5.16	7.76	8.36	25yr	6.87	8.04	9.17	10.35	11.42	25yr
50yr	0.67	1.02	1.27	1.83	2.47	3.13	2.13	3.06	3.60	5.01	6.34	9.71	10.48	50yr	8.59	10.08	11.48	12.74	13.98	50yr
100yr	0.79	1.20	1.50	2.16	2.97	3.82	2.56	3.73	4.38	6.17	7.79	12.15	13.14	100yr	10.75	12.63	14.36	15.72	17.11	100yr
200yr	0.93	1.39	1.77	2.56	3.57	4.66	3.08	4.56	5.35	7.60	9.57	15.23	16.48	200yr	13.48	15.85	18.00	19.38	20.94	200yr
500yr	1.15	1.71	2.20	3.20	4.55	6.06	3.93	5.92	6.94	10.05	12.62	20.58	22.27	500yr	18.21	21.41	24.26	25.55	27.37	500yr

Sea Level Rise - MHHW Base



4/2/2026, 4:42:54 PM

-  134 Pleasant Street
-  MHHW Baseline Extent

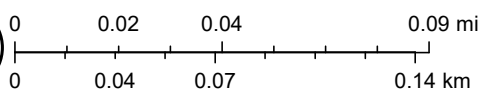
World Imagery

Low Resolution 15m Imagery

High Resolution 60cm Imagery

High Resolution 30cm Imagery

Citations



Vantor





Sea Level Rise - MHHW +2ft



4/2/2026, 4:41:26 PM

 134 Pleasant Street

MHHW + 2-ft SLR

-  0 - 2
-  2 - 4
-  4 - 6
-  6 - 8

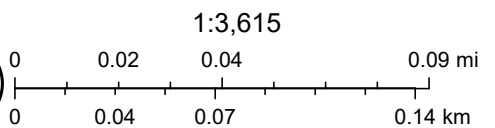
World Imagery

Low Resolution 15m Imagery

High Resolution 60cm Imagery

High Resolution 30cm Imagery

Citations

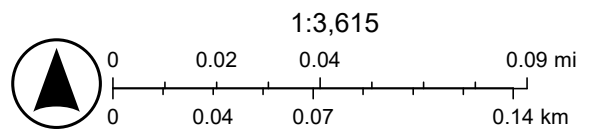


Vantor

Sea Level Rise - MHHW +4ft



4/2/2026, 4:41:55 PM



Vantor

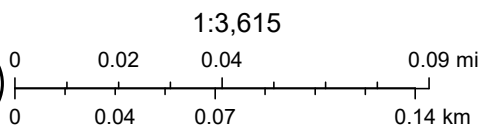
Sea Level Rise - MHHW +6ft



4/2/2026, 4:42:16 PM

- 134 Pleasant Street
- MHHW + 6-ft SLR
- 0 - 2
- 2 - 4
- 4 - 6
- 6 - 8
- 8 - 10
- 10 +
- World Imagery
- World Imagery
- Low Resolution 15m Imagery
- Low Resolution 15m Imagery

- High Resolution 60cm Imagery
- High Resolution 60cm Imagery
- High Resolution 30cm Imagery
- High Resolution 30cm Imagery
- Citations
- Citations




Vantor

Sea Level Rise - MHHW +8ft



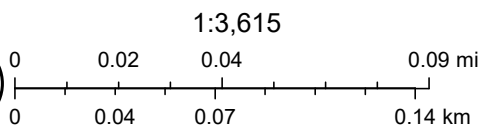
4/2/2026, 4:42:30 PM

 134 Pleasant Street
MHHW + 8-ft SLR

-  0 - 2
-  2 - 4
-  4 - 6
-  6 - 8
-  8 - 10

 10 +

- World Imagery
- Low Resolution 15m Imagery
- High Resolution 60cm Imagery
- High Resolution 30cm Imagery
- Citations



Vantor



ABUTTER'S LIST

MAP	LOT	NAME AND MAILING ADDRESS
108	14	SOC Press NE Antiquities of MA 141 Cambridge Street, Boston, MA 02114
108	15	Mill Pond View, LLC P.O. Box 399, Nottingham, NH 03290
109	23	City of Portsmouth 1 Junkins Avenue, Portsmouth, NH 03801
109	25	Ronald P. Bourgeault Revocable Trust 222 Pleasant Street, Portsmouth NH 03801
115	4	State of New Hampshire State House, Concord, NH 03301
116	30	Applicant's property
116	36	City of Portsmouth 1 Junkins Avenue, Portsmouth, NH 03801
116	31	118 Pleasant Street, LLC 99 Marne Avenue, Portsmouth, NH 03801
116	35	202 Court Street Property Group, LLC One Middle Street, Suite 4 Portsmouth, NH 03801

Notes:

1. Map/lot numbers and account information correspond to the Town of Portsmouth's tax map/tax records.
2. The table includes direct abutters to the project property that are also within 0.25 miles from the proposed project.
3. Notification also sent to the City of Portsmouth.



HALEY WARD

ABUTTER NOTIFICATION FOR SHORELAND AND WETLAND PERMIT APPLICATION

VIA CERTIFIED MAIL

03/17/2026

118 Pleasant Street, LLC
99 Marne Avenue
Portsmouth, NH 03801

Re: Shoreland and Wetland Permit Application to be Filed to NHDES

To Whom It May Concern:

This letter is to inform you of our intent to file an application with the New Hampshire Department of Environmental Services (NHDES) for a Shoreland impact permit under RSA 483-B and a Wetland impact permit under RSA 482-A for work at the following address:

134 Pleasant Street, Portsmouth, NH 03801

The application was or will be filed with the department on or about 03/30/2026. Under state law RSA 483-B:5-b, IV-a, and RSA 482-A:3, I-e, I am required to notify you about the application which proposes work abutting your property. Once it is filed, the permit application, including plans that show the proposed project will be available for viewing at the NHDES Offices. Requests to view the application at NHDES should be made to the NHDES Public Information and Permitting Unit at (603) 271-2919.

Sincerely,

Keegan Feero
Permitting Specialist
kfeero@haleyward.com



HALEY WARD

ABUTTER NOTIFICATION FOR SHORELAND AND WETLAND PERMIT APPLICATION

VIA CERTIFIED MAIL

03/17/2026

202 Court Street Property Group, LLC
One Middle Street, Suite 4
Portsmouth, NH 03801

Re: Shoreland and Wetland Permit Application to be Filed to NHDES

To Whom It May Concern:

This letter is to inform you of our intent to file an application with the New Hampshire Department of Environmental Services (NHDES) for a Shoreland impact permit under RSA 483-B and a Wetland impact permit under RSA 482-A for work at the following address:

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Sincerely,

Keegan Feero
Permitting Specialist
kfeero@haleyward.com



HALEY WARD

ABUTTER NOTIFICATION FOR SHORELAND AND WETLAND PERMIT APPLICATION

VIA CERTIFIED MAIL

03/17/2026

City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

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Sincerely,

Keegan Feero
Permitting Specialist
kfeero@haleyward.com



HALEY WARD

ABUTTER NOTIFICATION FOR SHORELAND AND WETLAND PERMIT APPLICATION

VIA CERTIFIED MAIL

03/17/2026

Mill Pond View LLC
P.O. Box 399
Nottingham, NH 03290

Re: Shoreland and Wetland Permit Application to be Filed to NHDES

To Whom It May Concern:

This letter is to inform you of our intent to file an application with the New Hampshire Department of Environmental Services (NHDES) for a Shoreland impact permit under RSA 483-B and a Wetland impact permit under RSA 482-A for work at the following address:

134 Pleasant Street, Portsmouth, NH 03801

The application was or will be filed with the department on or about 03/30/2026. Under state law RSA 483-B:5-b, IV-a, and RSA 482-A:3, I-e, I am required to notify you about the application which proposes work abutting your property. Once it is filed, the permit application, including plans that show the proposed project will be available for viewing at the NHDES Offices. Requests to view the application at NHDES should be made to the NHDES Public Information and Permitting Unit at (603) 271-2919.

Sincerely,

Keegan Feero
Permitting Specialist
kfeero@haleyward.com



HALEY WARD

ABUTTER NOTIFICATION FOR SHORELAND AND WETLAND PERMIT APPLICATION

VIA CERTIFIED MAIL

03/17/2026

Ronald P. Bourgeault Revocable Trust
222 Pleasant Street
Portsmouth, NH 03801

Re: Shoreland and Wetland Permit Application to be Filed to NHDES

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Permitting Specialist
kfeero@haleyward.com



HALEY WARD

ABUTTER NOTIFICATION FOR SHORELAND AND WETLAND PERMIT APPLICATION

VIA CERTIFIED MAIL

03/17/2026

SOC Press NE Antiquities of MA
141 Cambridge Street
Boston, MA 02114

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Permitting Specialist
kfeero@haleyward.com



HALEY WARD

ABUTTER NOTIFICATION FOR SHORELAND AND WETLAND PERMIT APPLICATION

VIA CERTIFIED MAIL

03/17/2026

State of New Hampshire
State House
Concord, NH 03301

Re: Shoreland and Wetland Permit Application to be Filed to NHDES

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Sincerely,

Keegan Feero
Permitting Specialist
kfeero@haleyward.com

9589 0710 5270 3399 2654 15

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 Extra Services & Fees (check box, add fee as appropriate)
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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total \$
 Sent \$
 Street 107 North Main Street
 City, State, ZIP+4® Concord, NH 03301

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PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

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 Return Receipt (electronic) \$
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 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total \$
 Sent \$
 Street P.O. Box 399
 City, State, ZIP+4® Nottingham, NH 03290

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total \$
 Sent \$
 Street 222 Pleasant Street
 City, State, ZIP+4® Portsmouth, NH 03801

Postmark Here

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total \$
 Sent \$
 Street 141 Cambridge Street
 City, State, ZIP+4® Boston, MA 02114

Postmark Here

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total \$
 Sent \$
 Street 118 Pleasant Street, LLC
 City, State, ZIP+4® 99 Marne Avenue
 Portsmouth, NH 03801

Postmark Here

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

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Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total \$
 Sent \$
 Street 202 Court Street Property Group, LLC
 City, State, ZIP+4® One Middle Street, Suite 4
 Portsmouth, NH 03801

Postmark Here

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

9589 0710 5270 3399 2653 61

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OFFICIAL USE

Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total \$
 Sent \$
 Street 1 Junkins Avenue
 City, State, ZIP+4® Portsmouth, NH 03801

Postmark Here

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

PROPOSED MIXED USE DEVELOPMENT

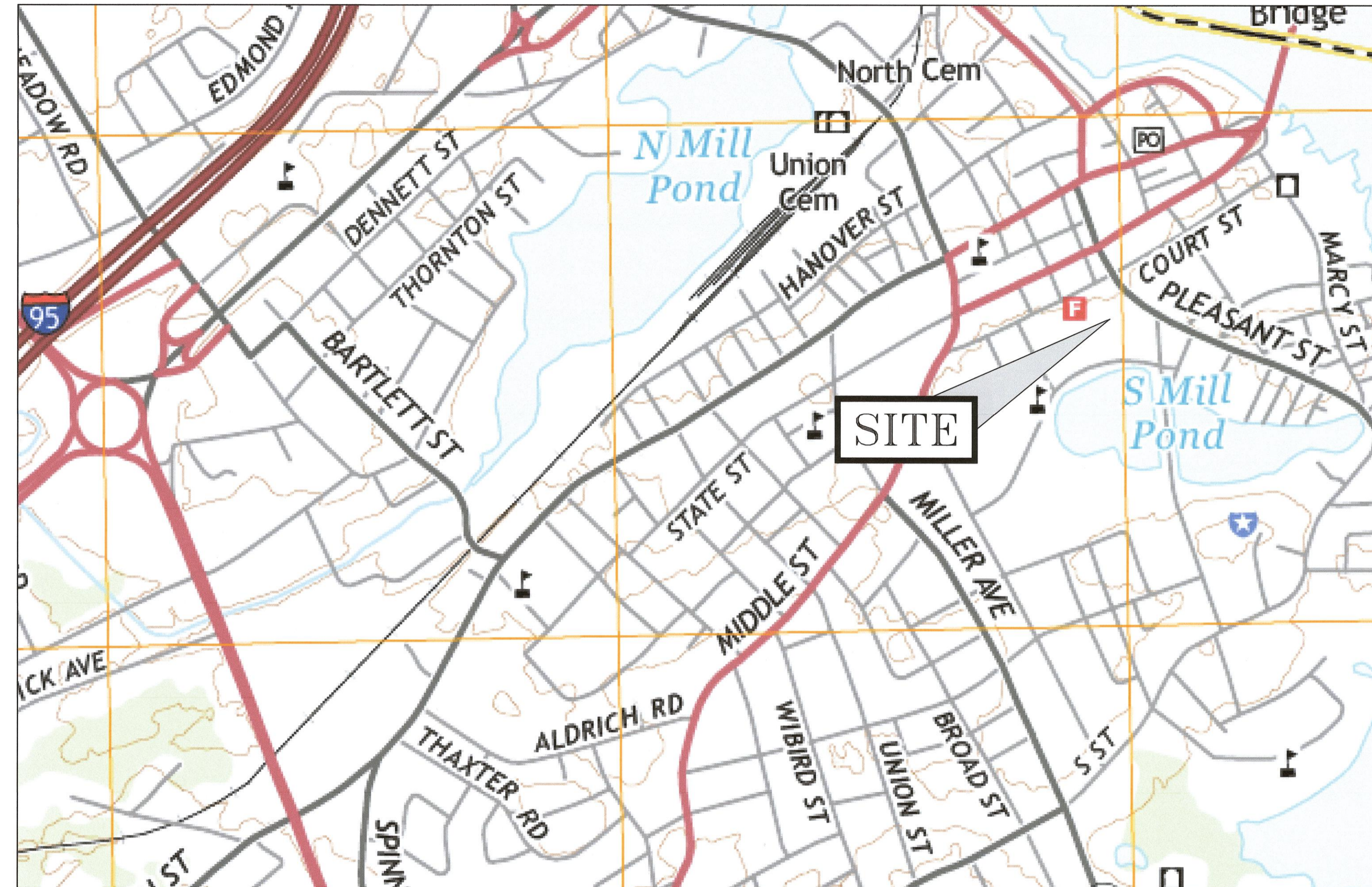
PERMIT LIST:
SITE PLAN: TBD
HISTORIC DISTRICT: TBD

134 PLEASANT STREET, PORTSMOUTH, NEW HAMPSHIRE

PERMIT PLANS

LEGEND:

N/F	NOW OR FORMERLY		
RP	RECORD OF PROBATE		
RCRD	ROCKINGHAM COUNTY		
	REGISTRY OF DEEDS		
	MAP 11/LOT 21		
11 21			
● IR FND	IRON ROD FOUND		
○ IP FND	IRON PIPE FOUND		
● IR SET	IRON ROD SET		
○ DH FND	DRILL HOLE FOUND		
○ DH SET	DRILL HOLE SET		
□	GRANITE BOUND w/IRON ROD FOUND		
EXISTING	PROPOSED		
FM	FM	FORCE MAIN	
S	S	SEWER PIPE	
SL	SL	SEWER LATERAL	
G	PG	GAS LINE	
D	D	STORM DRAIN	
FD	FD	FOUNDATION DRAIN	
W	W	WATER LINE	
FS	FS	FIRE SERVICE LINE	
UE	UGE	UNDERGROUND ELECTRIC SUPPLY	
		UNDERGROUND ELECTRIC SERVICE	
OHW	OHW	OVERHEAD ELECTRIC/WIRES	
		RETAINING WALL	
		EDGE OF PAVEMENT (EP)	
100	100	CONTOUR	
97x3	98x0	SPOT ELEVATION	
○	○	UTILITY POLE	
□	□	ELECTRIC METER	
□	□	TRANSFORMER ON CONCRETE PAD	
⊥	⊥	WATER SHUT OFF/CURB STOP	
○ C.O.	○ C.O.	PIPE CLEANOUT	
⊥	⊥	GATE VALVE	
⊙	⊙	HYDRANT	
⊙ CB	⊙ CB	CATCH BASIN	
⊙ SMH	⊙ SMH	SEWER MANHOLE	
⊙ DMH	⊙ DMH	DRAIN MANHOLE	
⊙ WMH	⊙ WMH	WATER METER MANHOLE	
⊕ #5		TEST BORING	
TP 1		TEST PIT	
LA	LA	LANDSCAPED AREA	
CI	CI	CAST IRON PIPE	
COP	COP	COPPER PIPE	
CMP	CMP	CORRUGATED METAL PIPE	
DI	DI	DUCTILE IRON PIPE	
PVC	PVC	POLYVINYL CHLORIDE PIPE	
RCP	RCP	REINFORCED CONCRETE PIPE	
HYD	HYD	HYDRANT	
⊕	⊕	CENTERLINE	
EP	EP	EDGE OF PAVEMENT	
EL	EL	ELEVATION	
FF	FF	FINISHED FLOOR	
INV	INV	INVERT	
TBM	TBM	TEMPORARY BENCH MARK	
TYP	TYP	TYPICAL	
TBR	TBR	TO BE REMOVED	



SCALE: NTS

INDEX OF SHEETS

V101	EXISTING CONDITIONS PLAN
V102	EXISTING UTILITY PLAN
V103	ORTHO PHOTO PLAN
V105	PARROT AVENUE PARKING LOT
C101	DEMOLITION PLAN
C102	SITE PLAN
C102A	ALTERNATE SITE PLAN
L1-L2	LANDSCAPE PLANS
L1	ALTERNATIVE LANDSCAPE PLAN
PB0.1-2.1	ARCHITECTURAL PLANS
C103	UTILITY PLAN
C103A	BASEMENT PLAN
C104	ON SITE GRADING & DRAINAGE PLAN
C104A	OFF SITE GRADING & DRAINAGE PLAN/PROFILE
C104B	OFF SITE GRADING & DRAINAGE PLAN ORTHOPHOTO
C104C	DRAINAGE AREA PLAN
C105	LIGHTING PLAN
C105A	NIGHT TIME LIGHTING PLAN
C106	TRUCK TURNING PLAN
C107	FIRE TRUCK TURNING PLAN
D501-D507	DETAILS

UTILITY CONTACTS

ELECTRIC:
EVERSOURCE
1700 LAFAYETTE ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 436-7708
ATTN: NICHOLAS KOSKO X3327565

NATURAL GAS:
UNITIL
325 WEST ROAD
PORTSMOUTH, N.H. 03801
TEL. (603) 294-5144
ATTN: DAVE BEAULIEU

CABLE:
XFINITY BY COMCAST
180 GREENLEAF AVE.
PORTSMOUTH, N.H. 03801
Tel. (603) 266-2278
ATTN: MIKE COLLINS

SEWER & WATER:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H. 03801
TEL. (603) 427-1530
ATTN: DOUG SPARKS

COMMUNICATIONS:
CONSOLIDATED COMMUNICATIONS
1575 GREENLAND ROAD
GREENLAND, N.H. 03840
Tel. (603) 427-5525
ATTN: BENJAMIN WILLS



PORTSMOUTH APPROVAL CONDITIONS NOTE:
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

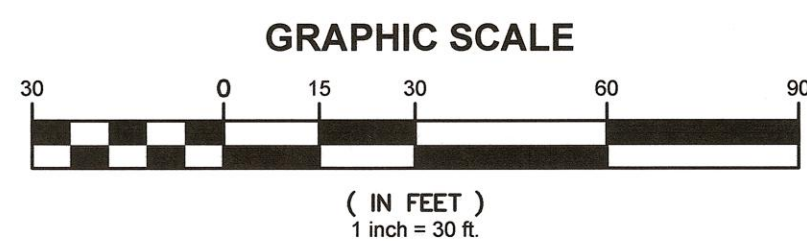
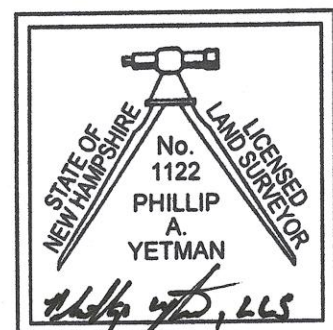
PROPOSED MIXED USE DEVELOPMENT
134 PLEASANT STREET
PORTSMOUTH, N.H.
PERMIT PLANS



PLAN SET SUBMITTAL DATE: 25 FEBRUARY 2026

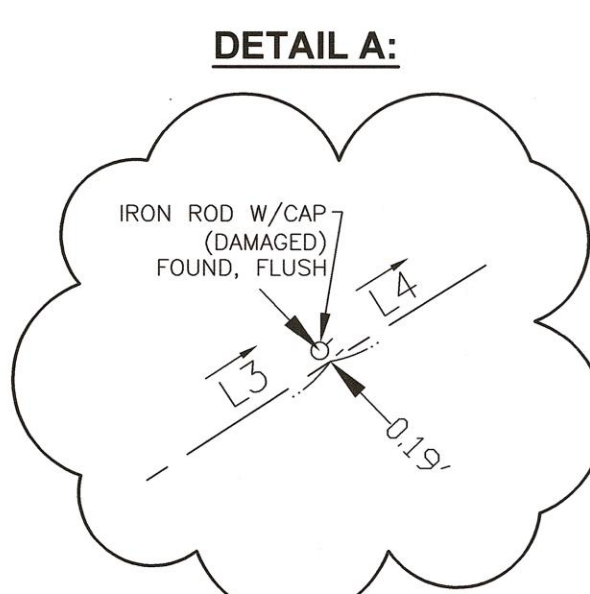
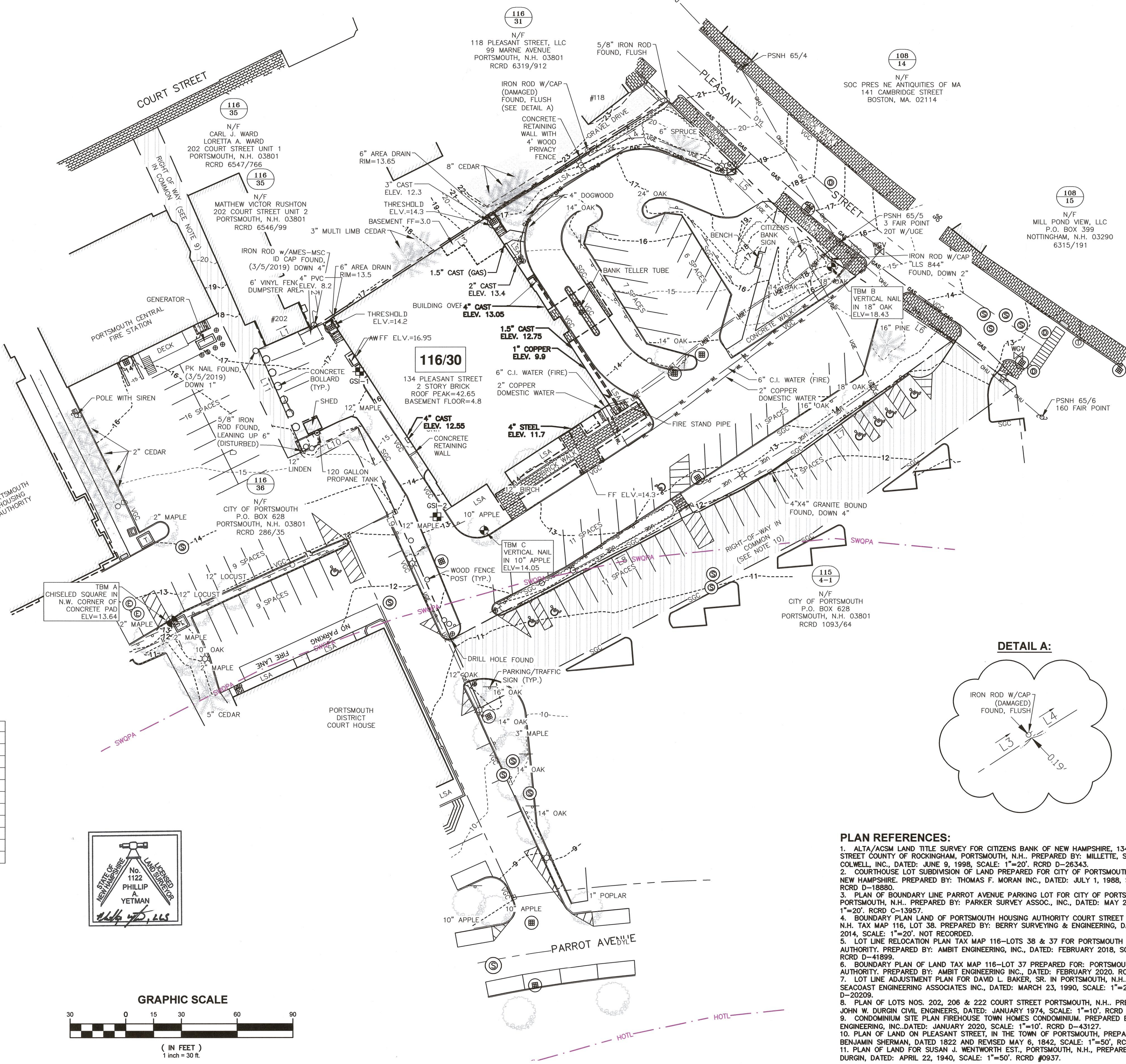
DESCRIPTION	EXISTING
RCDR 1234/123	ROCKINGHAM COUNTY REGISTRY OF DEEDS
N/F	DEED BOOK/PAGE
TYP.	NOW OR FORMALLY
TBS	TO BE SET
LSA	LANDSCAPE AREA
INV.	INVERT
ELV.	ELEVATION
FF	FINISHED FLOOR
DYL	DOUBLE YELLOW LINE
SGC	SLOPED GRANITE CURB
VGC	VERTICAL GRANITE CURB
MAP 21 LOT 8	
BENCHMARK	
RAILROAD SPIKE	
BOUND	
IRON ROD/PIPE FOUND	
SET 5/8" REBAR WITH SURVEYOR'S CAP	
SEWER MANHOLE	
DRAIN MANHOLE	
COMMUNICATIONS MANHOLE	
ELECTRIC MANHOLE	
UTILITY POLE	
CATCH BASIN	
HYDRANT	
GATE VALVE	
GAS/WATER SHUTOFF	
BOLLARD	
BORING	
TREES	
GAS/ELECTRIC METER	
LIGHT POLE	
MAIL BOX	
AIR CONDITIONER	
SIGN	
SPOT GRADE	
ELECTRIC PEDESTAL	
ELECTRIC HANDHOLD	
PROPERTY LINE	
APPROXIMATE EXTERIOR PROPERTY LINE	
EDGE OF PAVEMENT	
EDGE OF GRAVEL	
STONE WALL	
FENCE	
SHRUBLINE	
MINOR FOOT CONTOUR	
MAJOR FOOT CONTOUR	
GAS LINE	
WATER LINE	
STORM DRAIN LINE	
SANITARY SEWER LINE	
OVERHEAD UTILITY LINE	
UNDERGROUND ELECTRICAL LINE	
UNDERGROUND COMMUNICATIONS LINE	
SHORELAND SETBACK LINE	

LINE	BEARING	DISTANCE
L1	N66°28'05"E	32.60'
L2	S04°27'10"E	0.98'
L3	N57°05'10"E	175.24'
L4	N58°07'10"E	50.44'
L5	S45°49'50"E	122.39'
L6	S56°42'50"E	79.29'
L7	S54°09'10"W	121.33'
L8	S62°18'10"W	194.24'
L9	N23°38'50"W	124.67'
L10	S66°22'00"W	32.60'
L11	N23°20'25"W	60.00'

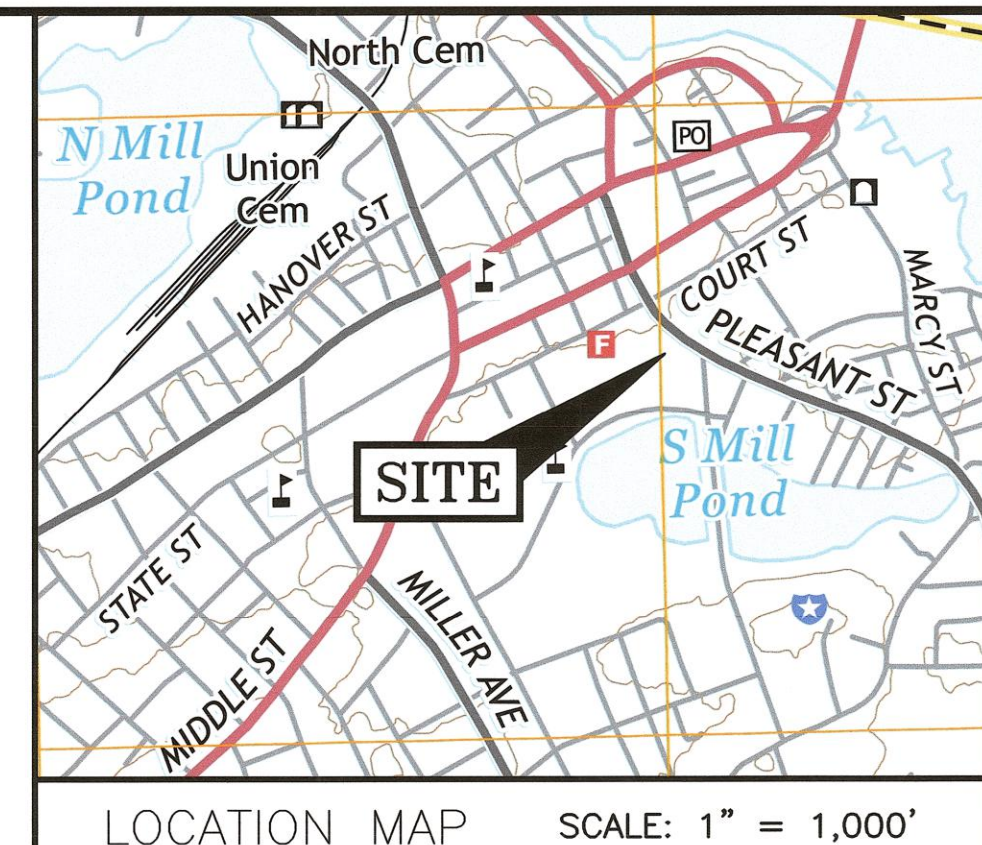


"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

PHILIP A. YETMAN, LLS 1122 DATE 1/20/2026



- PLAN REFERENCES:**
- ALTA/ACSM LAND TITLE SURVEY FOR CITIZENS BANK OF NEW HAMPSHIRE, 134 PLEASANT STREET COUNTY OF ROCKINGHAM, PORTSMOUTH, N.H., PREPARED BY: MILLETTE, SPRAGUE & COLWELL, INC., DATED: JUNE 9, 1998, SCALE: 1"=20'. RCRD D-26343.
 - COURTHOUSE LOT SUBDIVISION OF LAND PREPARED FOR CITY OF PORTSMOUTH, PORTSMOUTH NEW HAMPSHIRE. PREPARED BY: THOMAS F. MORAN INC., DATED: JULY 1, 1988, SCALE: 1"=40'. RCRD D-18880.
 - PLAN OF BOUNDARY LINE PARROT AVENUE PARKING LOT FOR CITY OF PORTSMOUTH IN PORTSMOUTH, N.H., PREPARED BY: PARKER SURVEY ASSOC., INC., DATED: MAY 22, 1984, SCALE: 1"=20'. RCRD C-13957.
 - BOUNDARY PLAN LAND OF PORTSMOUTH HOUSING AUTHORITY COURT STREET PORTSMOUTH, N.H., TAX MAP 116, LOT 38. PREPARED BY: BERRY SURVEYING & ENGINEERING, DATED: MAY 30, 2014, SCALE: 1"=20'. NOT RECORDED.
 - LOT LINE RELOCATION PLAN TAX MAP 116-LOTS 38 & 37 FOR PORTSMOUTH HOUSING AUTHORITY. PREPARED BY: AMBIT ENGINEERING, INC., DATED: FEBRUARY 2018, SCALE: 1"=30'. RCRD D-41899.
 - BOUNDARY PLAN OF LAND TAX MAP 116-LOT 37 PREPARED FOR: PORTSMOUTH HOUSING AUTHORITY. PREPARED BY: AMBIT ENGINEERING INC., DATED: FEBRUARY 2020, RCRD D-42016.
 - LOT LINE ADJUSTMENT PLAN FOR DAVID L. BAKER, SR. IN PORTSMOUTH, N.H., PREPARED BY: SEACOAST ENGINEERING ASSOCIATES INC., DATED: MARCH 23, 1990, SCALE: 1"=20'. RCRD D-20209.
 - PLAN OF LOTS NOS. 202, 206 & 222 COURT STREET PORTSMOUTH, N.H., PREPARED BY: JOHN W. DURGIN CIVIL ENGINEERS, DATED: JANUARY 1974, SCALE: 1"=10'. RCRD C-4259.
 - CONDOMINIUM SITE PLAN FIREHOUSE TOWN HOMES CONDOMINIUM. PREPARED BY: AMBIT ENGINEERING, INC., DATED: JANUARY 2020, SCALE: 1"=10'. RCRD D-43127.
 - PLAN OF LAND ON PLEASANT STREET, IN THE TOWN OF PORTSMOUTH, PREPARED BY: BENJAMIN SHERMAN, DATED: 1922 AND REVISED MAY 6, 1942, SCALE: 1"=50', RCRD #00537.
 - PLAN OF LAND FOR SUSAN J. WENTWORTH EST., PORTSMOUTH, N.H., PREPARED BY: JOHN W. DURGIN, DATED: APRIL 22, 1940, SCALE: 1"=50'. RCRD #0937.



- NOTES:**
- PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S TAX MAP 116 AS LOT 30.
 - OWNERS OF RECORD: DOUBLE MC, LLC 10 PLEASANT STREET SUITE 400 PORTSMOUTH, N.H. 03801 RCRD 8505/2411
 - PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE JANUARY 29, 2021.
 - EXISTING LOT AREA: 53,084 S.F. 1.22 ACRES
 - PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4 (CD4) DISTRICT.
 - DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
 - THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF AN EXISTING CONDITIONS SURVEY OF ASSESSOR'S MAP 116, LOT 30 IN THE CITY OF PORTSMOUTH.
 - VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTM GNSS OBSERVATIONS.
 - PARCEL IS BENEFITED BY A RIGHT OF WAY TO COURT STREET AS DESCRIBED IN RCRD 1257/466.
 - PARCEL IS BENEFITED BY A RIGHT OF WAY AS DESCRIBED IN RCRD 2975/349 AND SHOWN ON RCRD D-18880 AND RCRD D-26343.
 - ABUTTER INFORMATION TAKEN FROM THE CITY OF PORTSMOUTH ASSESSORS GIS WEBSITE.
 - UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

REV.	DATE	DESCRIPTION	BY	CHK.
1	01-21-26	UPDATE EXISTING BLDG. UTILITIES	SJR	JRC
0	07-18-2025	ISSUED FOR COMMENT	RJB	PAY

SITE SURVEY

HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
200 Griffin Road, Unit 14
Portsmouth, NH 03801
603-430-9282

DOUBLE MC, LLC
134 PLEASANT STREET PORTSMOUTH, N.H.

EXISTING CONDITIONS PLAN

DATE: MARCH 2025 SCALE: 1"=30'

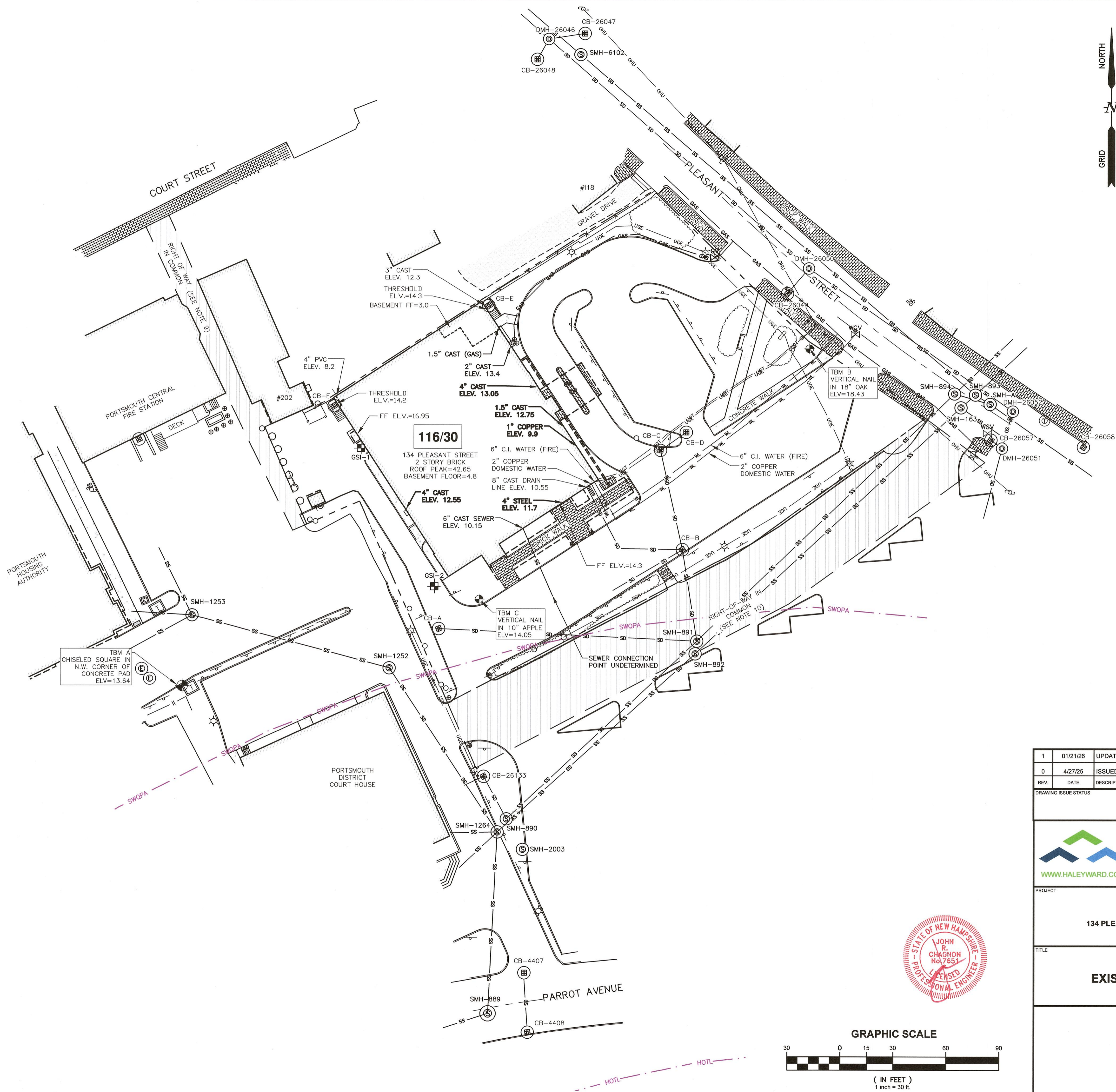
DRAWN BY: RJB DESIGNED BY: --- CHECKED BY: PAY

PROJECT No: 5010156.1532 FIELD BOOK/PAGE: FB 276 PG 60

DRAWING No: **V101** REV: **1**

SEWER MANHOLE STRUCTURE TABLE						
STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INVERT IN	INVERT OUT	DIRECTION
SMH-889	EX	8.96	30" AC	0.30		SW
			30" AC		-0.14	N
SMH-1264	EX	9.90	18" VCP	-0.55		SE
			30" RCP	-0.15		SW
			18" AC	COULD NOT MEASURE		NW
			30" CAST		-0.65	NE
SMH-890	EX	10.48	12" RCP	3.88		NW
			30" CAST		0.13	NE
SMH-2003	EX	9.96	18" VCP	-0.54		NW
					N/A	
SMH-851	EX	9.96				
SMH-1252	EX	11.79	18" CLAY	3.19		NW
			18" CLAY		3.14	SE
SMH-1253	EX	13.98	8" CLAY	6.98		SW
			6" CLAY	6.68		W
			18" CLAY	6.68		NW
			18" CLAY		6.63	SE
SMH-891	EX	11.00	30" CAST	-0.05		SW
			12" AC	6.25		NW
			18" AC	6.30		NE
			30" CAST		-0.05	NE
SMH-892	EX	10.91	30" CAST	-0.29		SW
			30" CAST		-0.29	NE
SMH-163	EX	13.13	36" CAST	-0.87		SW
			6" PVC	1.43		SE
			36" CAST		-0.87	NE
SMH-893	EX	13.24	36" CAST	-0.86		SW
			12" PVC	4.54		NW
			12" CLAY	4.54		SE
			36" CAST		-0.86	NE
SMH-A	EX	13.12	12" RCP (ENCLOSED)	3.57		NW
			12" RCP (ENCLOSED)		3.57	SE
			12" CLAY	4.57		NW
SMH-894	EX	13.43	36" CAST	-0.27		SW
			12" CLAY	4.33		SE
			36" CAST		-0.32	NE
SMH-6102	EX	22.87	8" PVC	14.27		NW
			8" PVC		14.22	SE

DRAINAGE STRUCTURE TABLE						
STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INVERT IN	INVERT OUT	DIRECTION
CB-4407	EX	8.30	NO VISIBLE PIPES			
			WATER ELEVATION: 5.30			
			SUMP ELEVATION: 4.20			
CB-26133	EX	10.86	12" CLAY	4.31		SW
			12" CLAY		4.31	SE
CB-A	EX	12.22	12" AC		8.42	SE
CB-B	EX	12.80	8" CLAY	7.10		NW
			12" AC	7.10		NE
			12" AC	7.00		SW
			18" AC		7.00	S
CB-C	EX	13.47	12" AC	8.87		NE
			12" AC		8.82	S
CB-D	EX	13.54	4" AC	9.34		NW
			12" AC		9.34	SW
CB-E	EX	13.67	SILTED/LOCKED			
CB-F	EX	13.48	SILTED/LOCKED			
CB-26057	EX	12.53	12" CPP W/OIL SEPERATOR		8.33	SE
DMH-26046	EX	22.99	12" CPP	18.49		SW
			12" CPP	18.49		NE
			12" CPP	19.79		NW
			12" CPP		18.44	SE
CB-26048	EX	22.70				
CB-26047	EX	22.89				
DMH-26050	EX	17.45	12" PVC	12.80		NW
			12" PVC	12.80		SW
			12" PVC		12.80	SE
CB-26049	EX	17.08	12" PVC W/OIL SEPERATOR		11.78	NE
DMH-26052	EX	12.93	12" CPP	8.18		NW
			12" CPP		8.13	S
DMH-26051	EX	12.61	12" CPP	7.86		N
			12" CPP	8.11		NW
			12" CPP		7.81	S



NORTH
 NAD83(2011)
 GRID
 NHSPC

1	01/21/26	UPDATE EXISTING UTILITIES	SJR	JRC
0	4/27/25	ISSUED FOR COMMENT	RJB	PAY
REV.	DATE	DESCRIPTION	BY	CHK

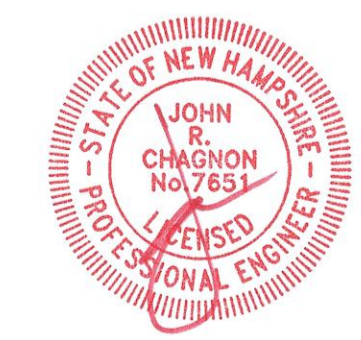
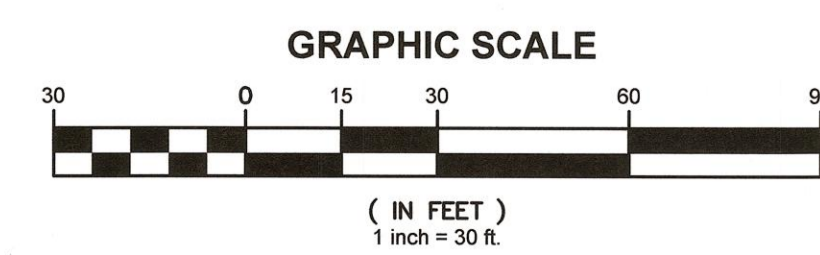
SITE SURVEY

200 Griffin Road, Unit 14
 Portsmouth, NH 03801
 603-430-9282

DOUBLE MC, LLC
 134 PLEASANT STREET PORTSMOUTH, N.H.

EXISTING UTILITIES PLAN

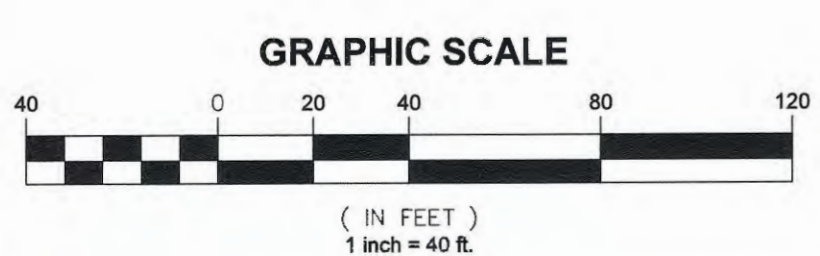
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CHECKED BY	PAY		
PROJECT No.	5010156.1532	FIELD BOOK / PAGE	FB 276 PG 60
DRAWING No.	V102	REV.	1

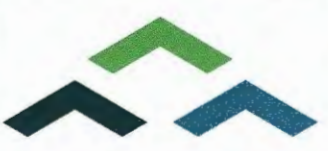


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NORTH
 NAD83(2011)
 GRID
 NHSPC

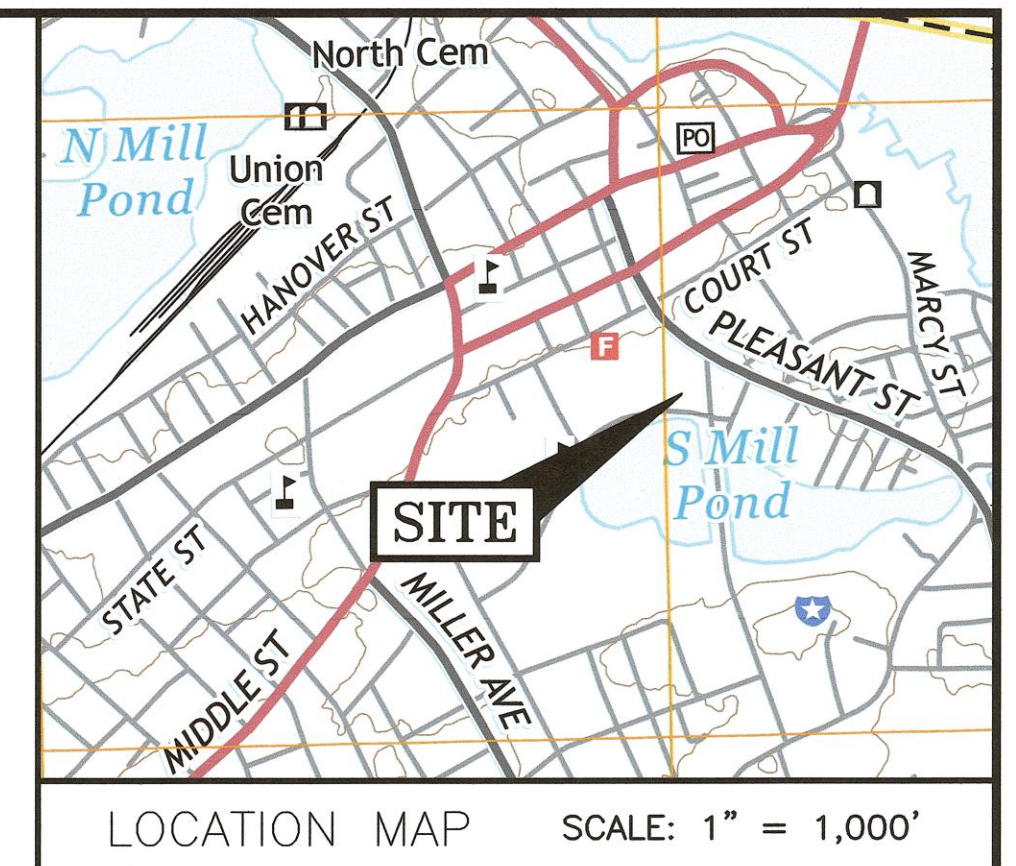


0	7/25/25	ISSUED FOR COMMENT	RJB	JRC
REV.	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				
SITE SURVEY				
		HALEY WARD		
ENGINEERING ENVIRONMENTAL SURVEYING		200 Griffin Road, Unit 14 Portsmouth, NH 03801 603-430-9282		
www.haleyward.com				
PROJECT				
DOUBLE MC, LLC 134 PLEASANT STREET PORTSMOUTH, N.H.				
TITLE				
ORTHOPHOTO PLAN				
DATE		SCALE		
JULY 2025		1"=40'		
DRAWN BY	DESIGNED BY	CHECKED BY		
RJB	---	PAY		
PROJECT No.		FIELD BOOK / PAGE		
5010156.1532		FB 276 PG 80		
DRAWING No.				REV.
V103				0

FILE LOCATION: P:\MINISOFT\ANON\B\PROPERTIES\1532-14 PLEASANT ST. - PORTSMOUTH-NH\2025\CAD_FILES\8010156_1532-14.ECDWG, 2025.07.25, 10:08 AM

LEGEND:

DESCRIPTION	EXISTING
RCRD 1234/123 N/F	ROCKINGHAM COUNTY REGISTRY OF DEEDS DEED BOOK/PAGE NOW OR FORMALLY
MAP 21 LOT 8 BOUND	
IRON ROD/PIPE FOUND PROPERTY LINE	
EDGE OF PAVEMENT	

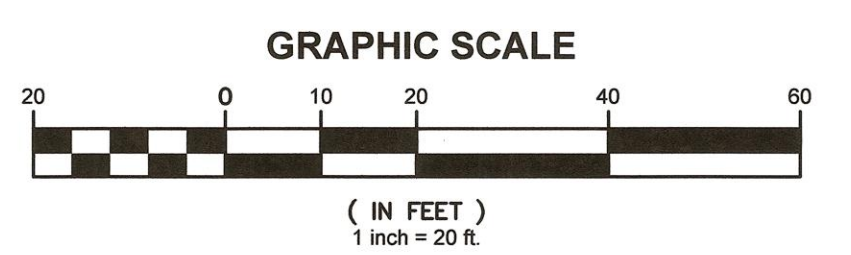


CURVE TABLE:

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	872.00'	290.98'	289.64'	N89°10'46"W	19°07'10"
C2	10.00'	17.54'	15.37'	S46°43'10"W	100°28'14"

LINE TABLE:

LINE	BEARING	DISTANCE
L2	N62°33'25"E	28.42'
L3	S23°46'15"E	75.06'
L4	N62°18'10"E	194.20'
L5	N54°09'10"E	121.33'
L6	S53°21'44"E	42.18'



REV.	DATE	ISSUED FOR COMMENT	RJB	JRC
0	2/12/26			

SITE SURVEY

HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
200 Griffin Road, Unit 14
Portsmouth, NH 03801
603-430-9282
WWW.HALEYWARD.COM

PROJECT: **DOUBLE MC, LLC**
134 PLEASANT STREET PORTSMOUTH, N.H.

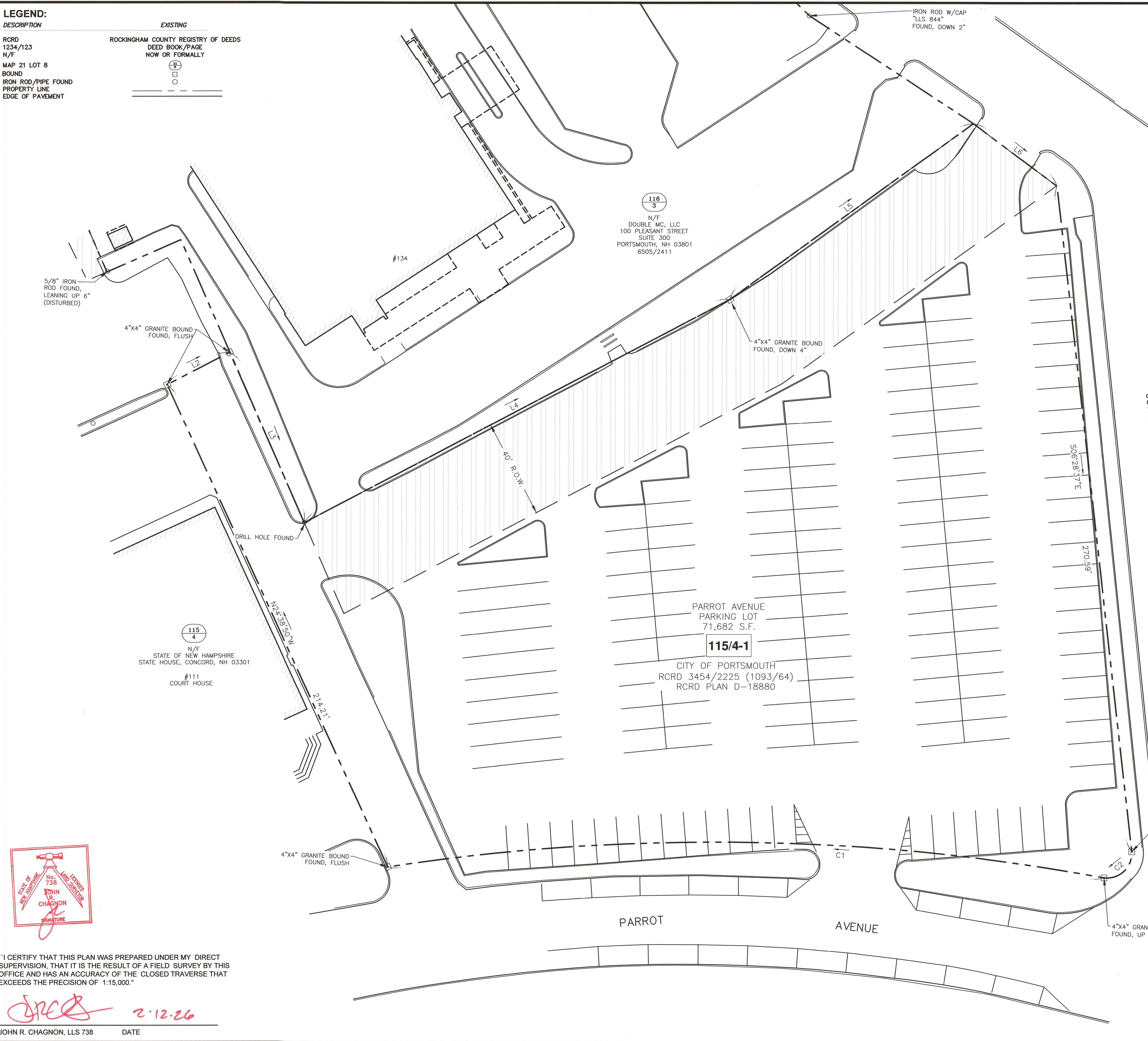
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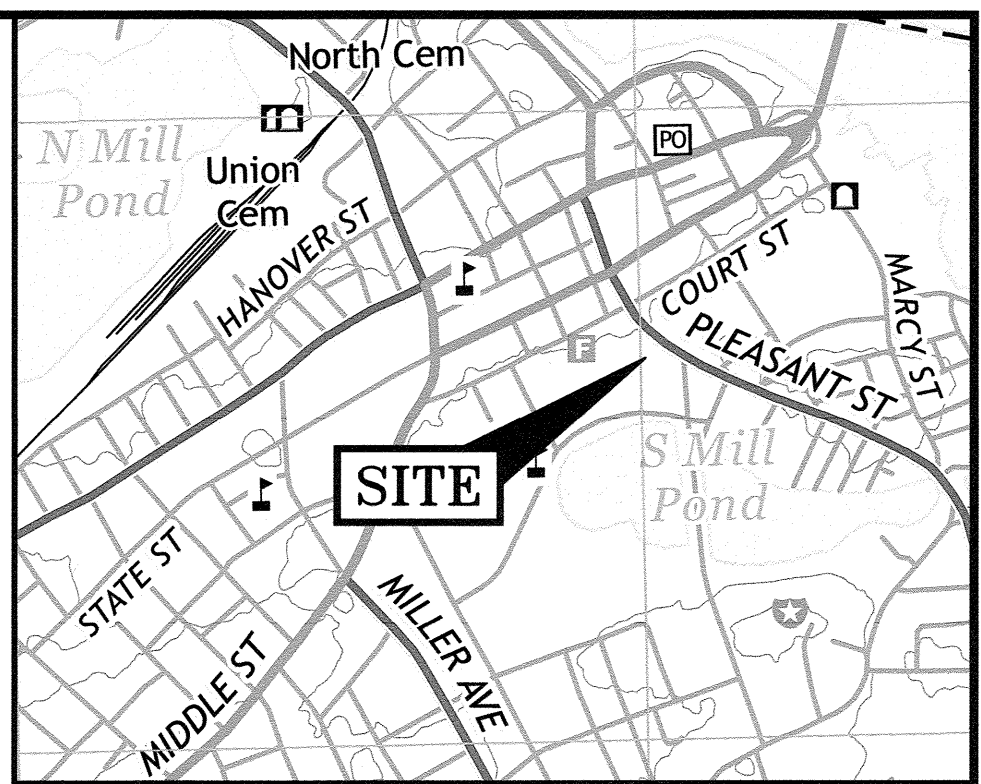
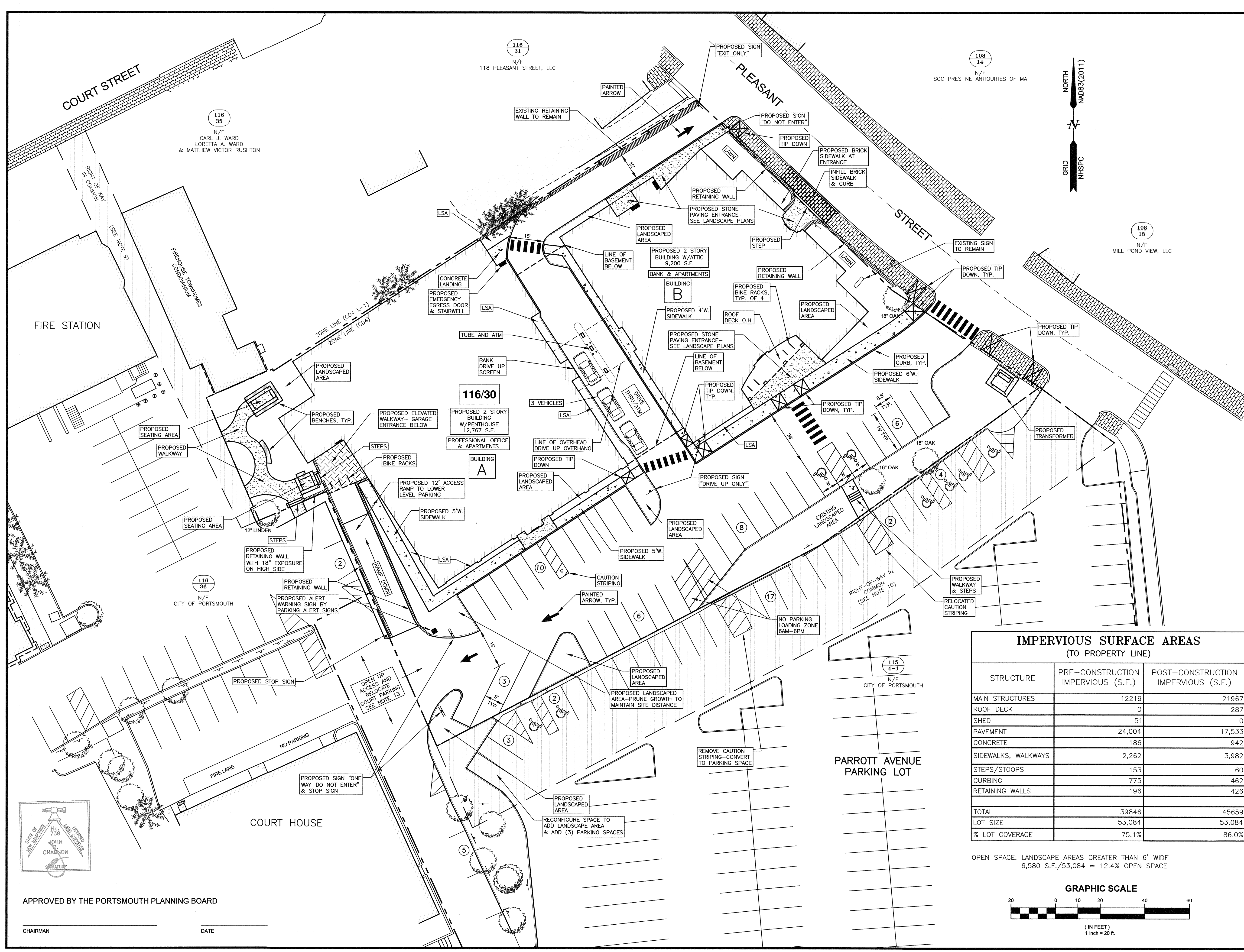
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FEBRUARY 2026	1"=20'
DRAWN BY: RJB	DESIGNED BY: ---
CHECKED BY: JRC	
PROJECT No: 5010156.1532	FIELD BOOK / PAGE: FB 276 PG 60
DRAWING No: V105	REV: 0

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

2-12-26
JOHN R. CHAGNON, LLS 738 DATE

FILE LOCATION: P:\NHSP0156\AC\N\B\PROJECTS\1532-14 PLEASANT ST - PORTSMOUTH - RCRD CAD - FILEB010156.1532.VAEC.DWG, 2026.02.13, 7:29 AM





LOCATION MAP SCALE: 1" = 1,000'

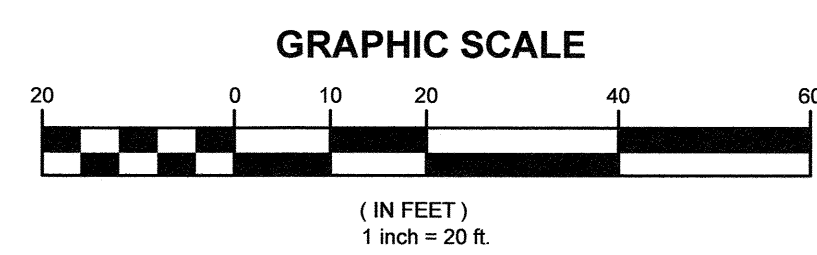
- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S TAX MAP 116 AS LOT 30.
 - 2) OWNERS OF RECORD:
DOUBLE MC, LLC
10 PLEASANT STREET SUITE 400
PORTSMOUTH, N.H. 03801
RCRD 6505/2411
 - 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 330150C0259F. EFFECTIVE JANUARY 29, 2021.
 - 4) EXISTING LOT AREA:
53,084 S.F.
1.22 ACRES
 - 5) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4 (CD4) DISTRICT.
 - 6) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED MIXED USE DEVELOPMENT ON ASSESSOR'S MAP 116, LOT 30 IN THE CITY OF PORTSMOUTH.
 - 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
 - 9) PARCEL IS BENEFITED BY A RIGHT OF WAY TO COURT STREET AS DESCRIBED IN RCRD 1257/466.
 - 10) PARCEL IS BENEFITED BY A RIGHT OF WAY AS DESCRIBED IN RCRD 2975/349 AND SHOWN ON RCRD D-18880 AND RCRD D-26343.
 - 11) ABUTTER INFORMATION TAKEN FROM THE CITY OF PORTSMOUTH ASSESSOR'S GIS WEBSITE.
 - 12) PROPOSED USES:
-RETAIL BANKING
-BANK HEADQUARTERS
-APARTMENTS
-PROFESSIONAL OFFICE
 - 13) CITY COUNCIL APPROVAL REQUIRED FOR WORK ON CITY PROPERTY. COORDINATION AND INSPECTIONS OF CONSTRUCTION REQUIRED.

REV.	DATE	DESCRIPTION	BY	CHK.
7	02-03-2026	STOP, ONE-WAY SIGNS, USE	SJR	JRC
6	01-21-2026	TIP DOWNS, EXIT DOOR, PARKING, NOTE 13	SJR	JRC
5	12-30-2025	LANDSCAPE DETAIL	SJR	JRC
4	12-22-2025	BUILDING & SITE LAYOUT	SJR	JRC
3	10-08-2025	PLAN NOTES	SJR	JRC
2	09-22-2025	REVISED DRIVE THROUGH	SJR	JRC
1	09-05-2025	REVISED LAYOUT	SJR	JRC
0	07-18-2025	ISSUED FOR COMMENT	SJR	JRC

**IMPERVIOUS SURFACE AREAS
(TO PROPERTY LINE)**

STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURES	12219	21967
ROOF DECK	0	287
SHED	51	0
PAVEMENT	24,004	17,533
CONCRETE	186	942
SIDEWALKS, WALKWAYS	2,262	3,982
STEPS/STOOPS	153	60
CURBING	775	462
RETAINING WALLS	196	426
TOTAL	39846	45659
LOT SIZE	53,084	53,084
% LOT COVERAGE	75.1%	86.0%

OPEN SPACE: LANDSCAPE AREAS GREATER THAN 6' WIDE
6,580 S.F./53,084 = 12.4% OPEN SPACE



PERMIT PLANS

HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
200 Griffin Road, Unit 14
Portsmouth, NH 03801
603-430-9282

PROJECT

DOUBLE MC, LLC
134 PLEASANT STREET PORTSMOUTH, N.H.

TITLE

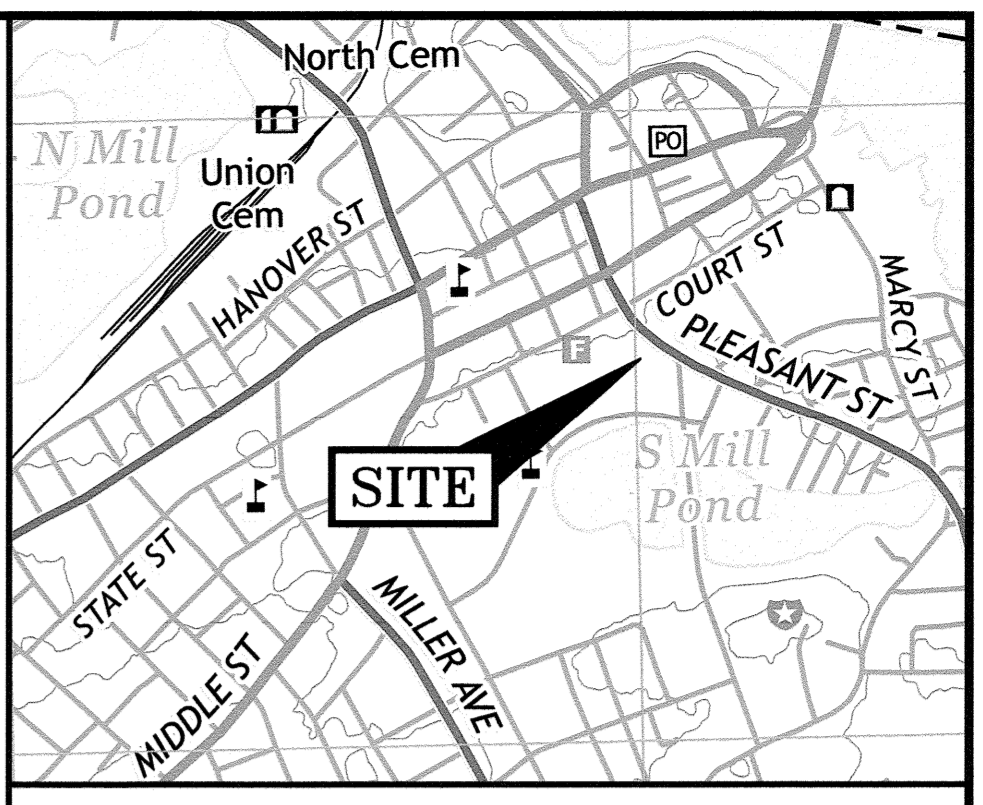
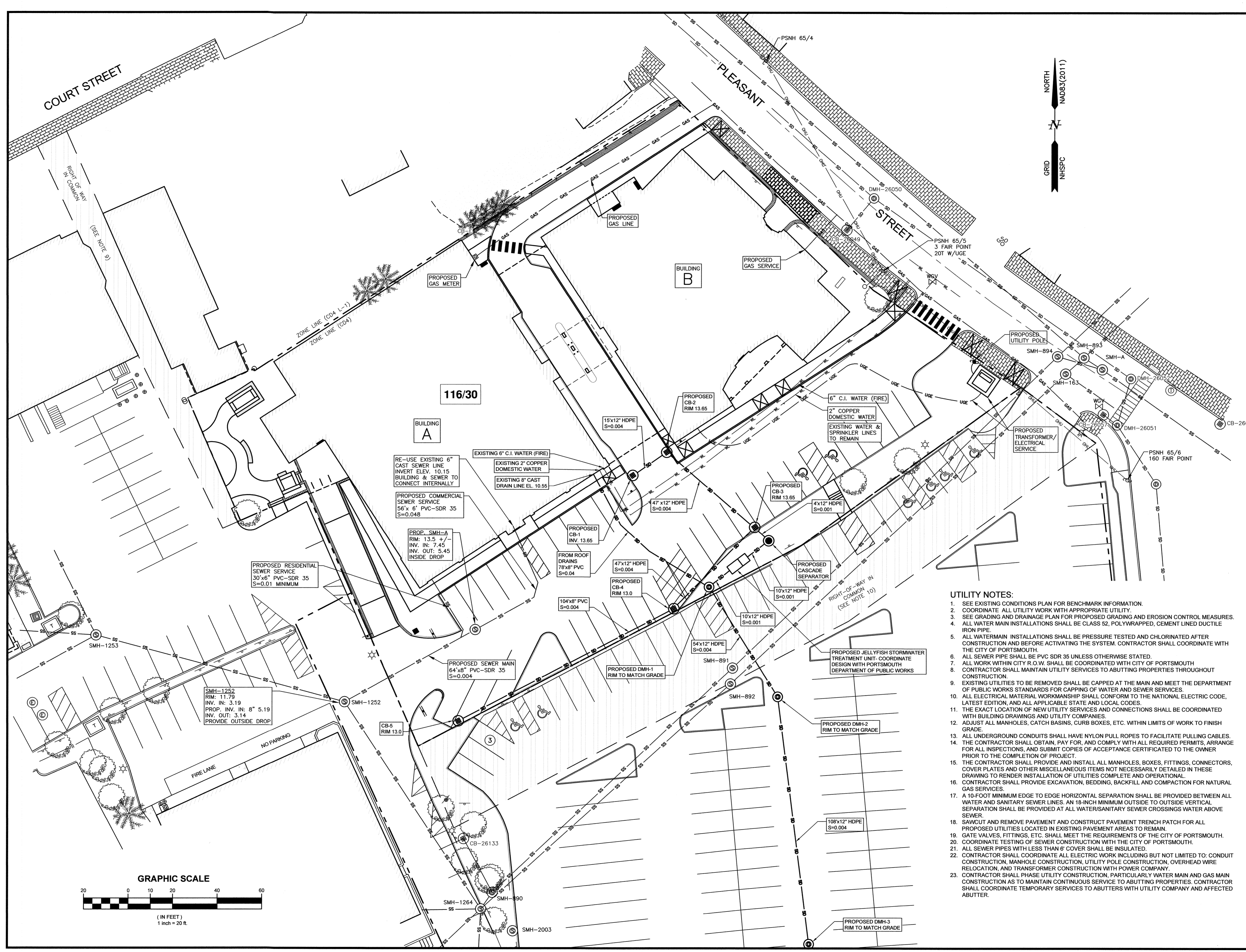
SITE PLAN

DATE	SCALE
JULY 2025	1"=20'
DRAWN BY SJR	DESIGNED BY —
PROJECT No. 5010156-1532	CHECKED BY JRC
DRAWING No.	FIELD BOOK / PAGE FB 276 PG 60
C102	
7	

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

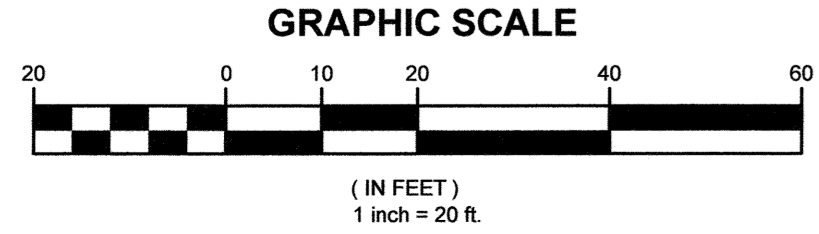
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LOCATION MAP SCALE: 1" = 1,000'

- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
 - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION." (NHDES DECEMBER 2008).
 - 4) PROVIDE TEMPORARY WATER AND SEWER SERVICES TO ALL IMPACTED PROPERTIES DURING NEW WATER AND SEWER MAIN INSTALLATION.
 - 5) PROPOSED SEWER FLOW:
 PROFESSIONAL OFFICE: 13,956 S.F. X 2.5 GPD/100 S.F. = 349 GPD
 BANK AND BANK OFFICE: 10,358 S.F. X 2.5 GPD/100 S.F. = 259 GPD
 22 APARTMENTS X 216 GPD/APARTMENT = 4,752 GPD
 TOTAL FLOW 5,360 GPD.
 - 6) APPLICANT, AND AUTHORIZED AGENTS, SHALL WORK WITH THE CITY OF PORTSMOUTH AND UTILITY PROVIDERS TO CONSTRUCT NEW, PERMANENT SERVICE CONNECTIONS TO PROPOSED WATER, SEWER, STORMDRAIN, POWER, AND COMMUNICATIONS.

- UTILITY NOTES:**
1. SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
 2. COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.
 3. SEE GRADING AND DRAINAGE PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
 4. ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, POLYWRAPPED, CEMENT LINED DUCTILE IRON PIPE.
 5. ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION AND BEFORE ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTSMOUTH.
 6. ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
 7. ALL WORK WITHIN CITY R.O.W. SHALL BE COORDINATED WITH CITY OF PORTSMOUTH.
 8. CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
 9. EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
 10. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
 11. THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH BUILDING DRAWINGS AND UTILITY COMPANIES.
 12. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
 13. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
 14. THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATED TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT.
 15. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED IN THESE DRAWING TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
 16. CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
 17. A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS WATER ABOVE SEWER.
 18. SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
 19. GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
 20. COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
 21. ALL SEWER PIPES WITH LESS THAN 6" COVER SHALL BE INSULATED.
 22. CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
 23. CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ABUTTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH UTILITY COMPANY AND AFFECTED ABUTTER.



REV	DATE	DESCRIPTION	BY	CHK
4	02-25-2026	CATCH BASINS, DRAINAGE	SJR	JRC
3	02-03-2026	JELLYFISH, DRAINAGE	SJR	JRC
2	01-21-2026	UPDATE PROPOSED UTILITIES	SJR	JRC
1	12-22-2025	ISSUED FOR APPROVAL	SJR	JRC
0	09-05-2025	ISSUED FOR COMMENT	SJR	JRC

PERMIT PLANS

HALEY WARD
 ENGINEERING | ENVIRONMENTAL | SURVEYING
 200 Griffin Road, Unit 14
 Portsmouth, NH 03801
 603-430-9282

PROJECT: **DOUBLE MC, LLC**
 134 PLEASANT STREET PORTSMOUTH, N.H.

UTILITY PLAN

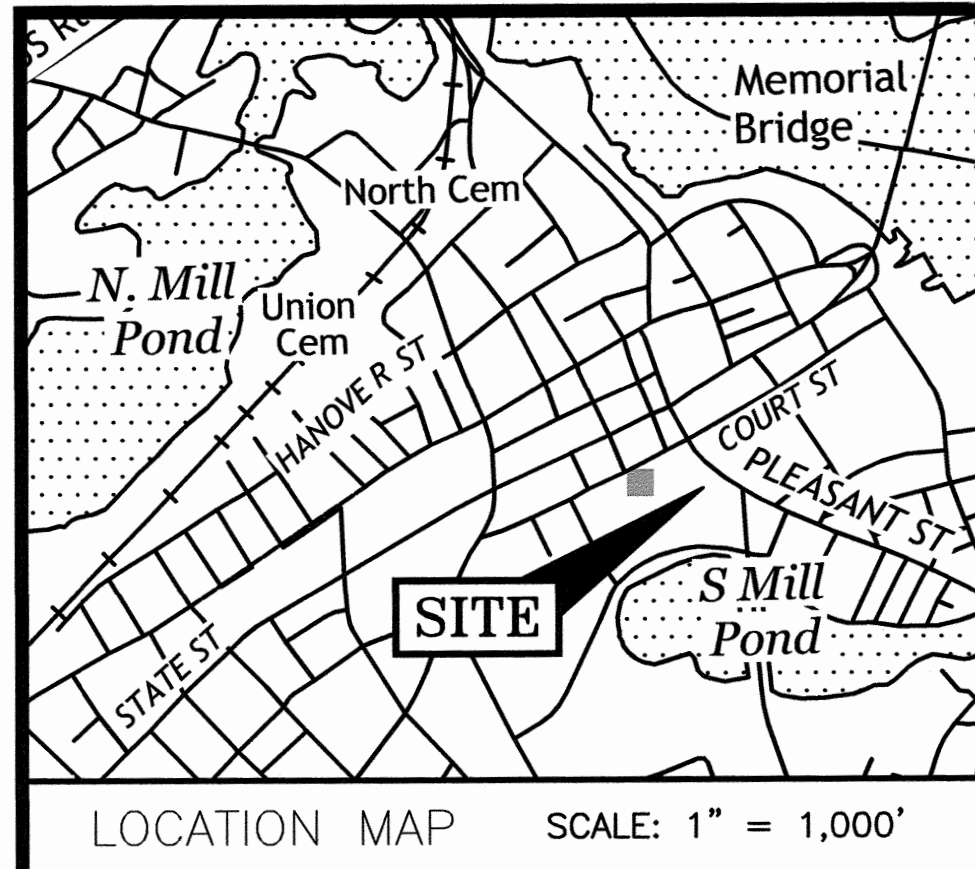
DATE: JULY 2025 SCALE: 1"=20'

DRAWN BY: SJR DESIGNED BY: --- CHECKED BY: JRC

PROJECT No: 5010156.1532 FIELD BOOK / PAGE: FB 276 PG 60

DRAWING No: **C103** REV: **4**

FILE LOCATION: P:\NH010156\MCH\ABLE_P\PORTSMOUTH-JRC02-CAD_FILES\CAL\15010156_1532_RITE_2025.DWG, 2026.02.24, 1:47 PM

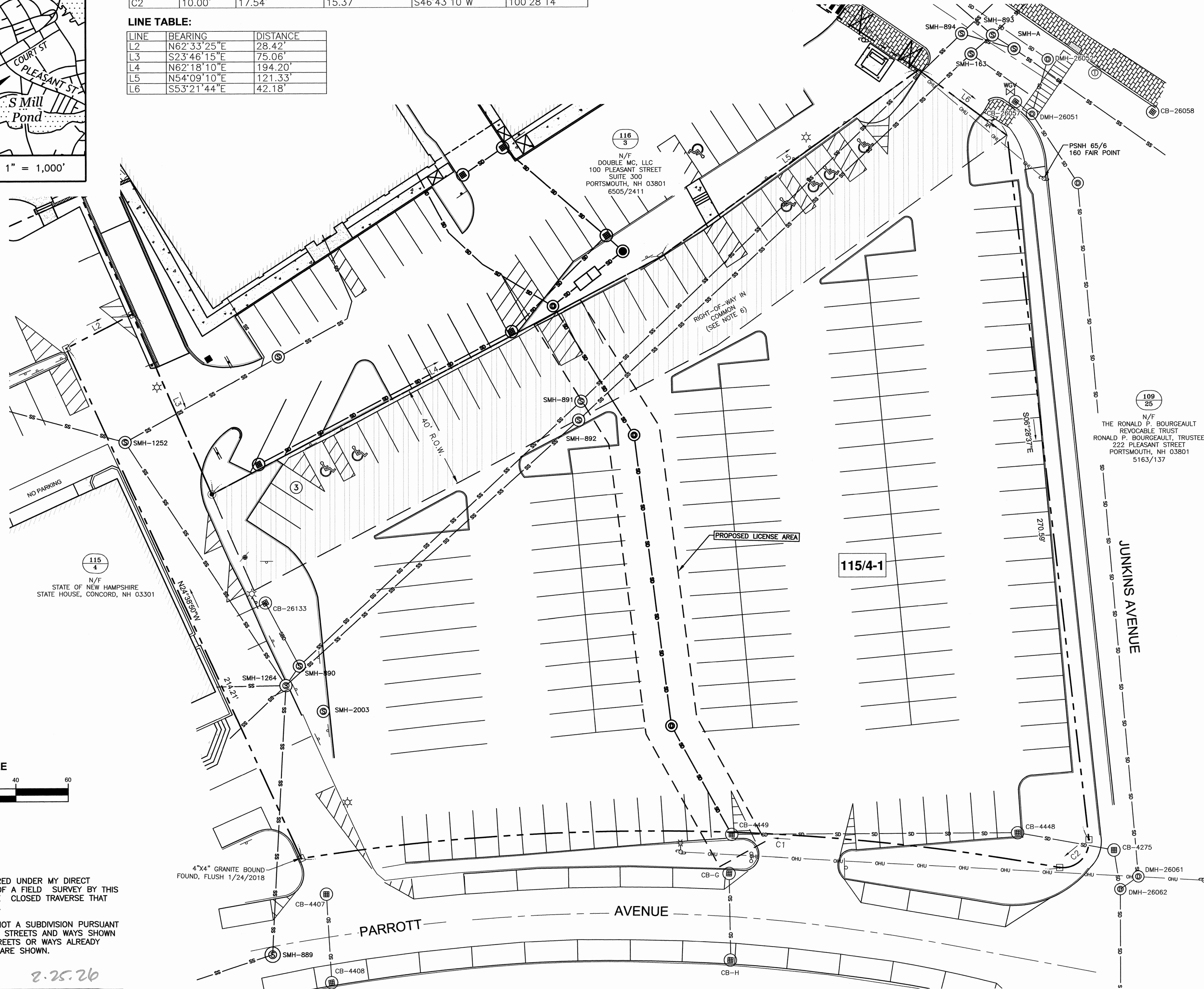


CURVE TABLE:

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	872.00'	290.98'	289.64'	N89°10'46"W	19°07'10"
C2	10.00'	17.54'	15.37'	S46°43'10"W	100°28'14"

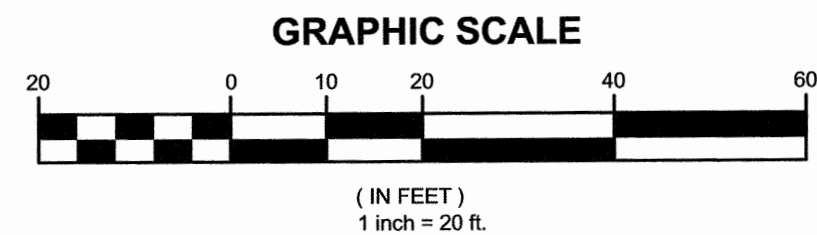
LINE TABLE:

LINE	BEARING	DISTANCE
L2	N62°33'25"E	28.42'
L3	S23°46'15"E	75.06'
L4	N62°18'10"E	194.20'
L5	N54°09'10"E	121.33'
L6	S53°21'44"E	42.18'



- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S TAX MAP 115 AS LOT 4-1.
 - 2) OWNERS OF RECORD:
CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH, N.H. 03801
RCRD 1093/64
 - 3) EXISTING LOT AREA:
71,682 S.F.
1.65 ACRES
 - 4) THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED LICENSE AREA ON ASSESSOR'S MAP 115, LOT 4-1 IN THE CITY OF PORTSMOUTH.
 - 5) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
 - 6) PARCEL IS BENEFITED BY A RIGHT OF WAY AS DESCRIBED IN RCRD 2975/349 AND SHOWN ON RCRD D-18880 AND RCRD D-26343.

STATE OF NEW HAMPSHIRE
No. 738
JOHN R. CHAGNON
SIGNATURE



I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

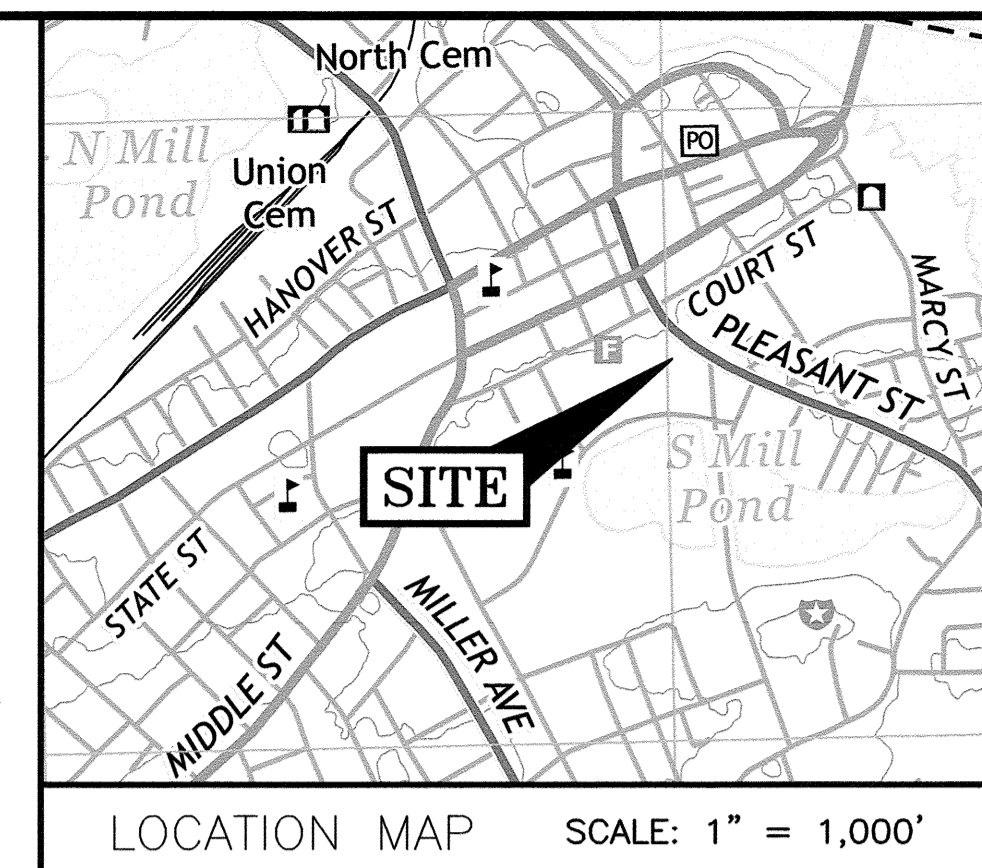
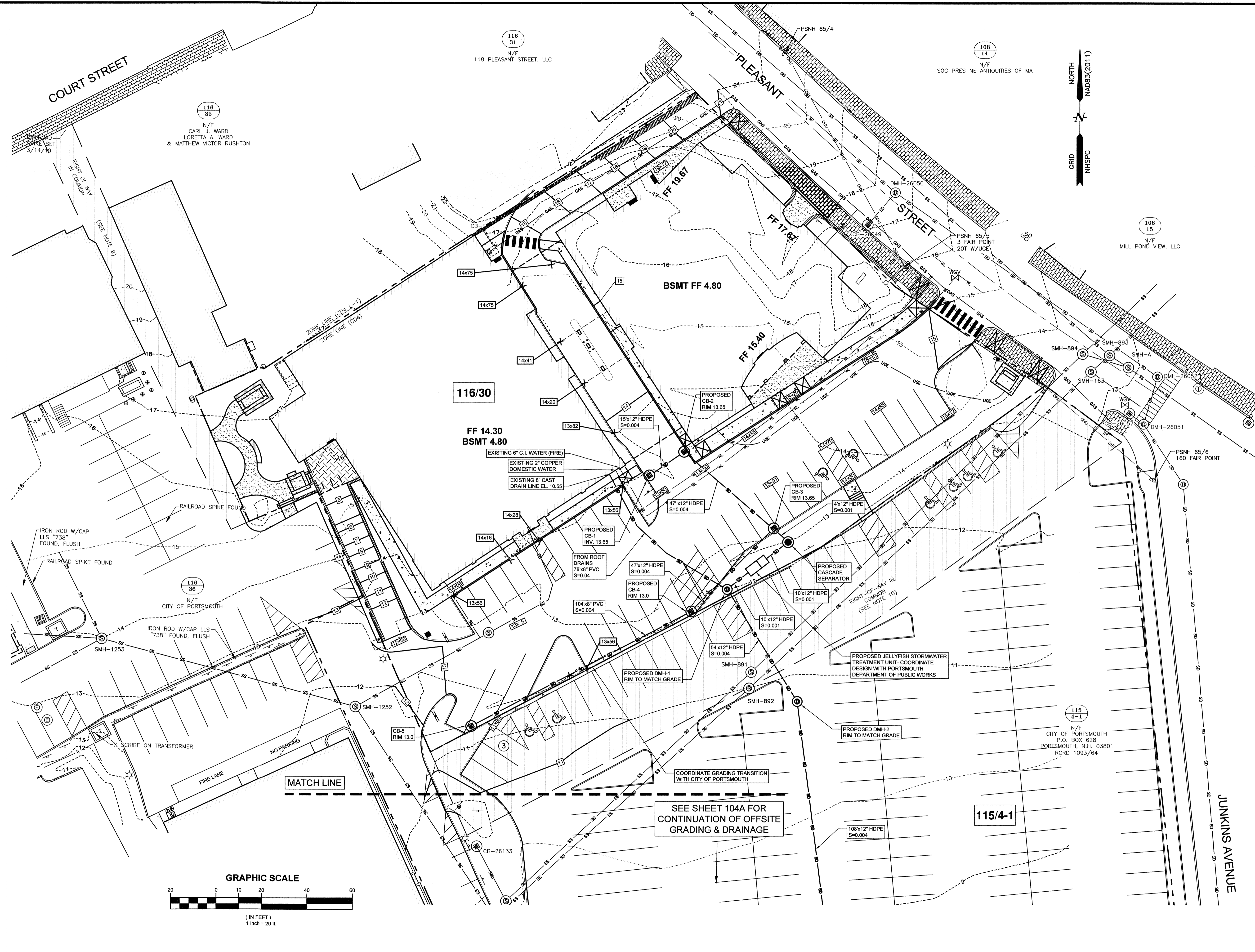
[Signature] 2.25.26
JOHN R. CHAGNON, LLS 738 DATE

REV.	DATE	DESCRIPTION	BY	CHK.
0	02/25/26	ISSUED FOR COMMENT	SJR	JRC

DRAWING ISSUE STATUS

PERMIT PLANS

**PROPOSED LICENSE PLAN
TAX MAP 115 - LOT 4-1
CITY OF PORTSMOUTH
TO:
DOUBLE MC, LLC
134 PLEASANT STREET
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE**



- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
 - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE 'NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
 - 4) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
 - 5) CITY OF PORTSMOUTH STORMWATER CONNECTION PERMIT REQUIRED.

REV.	DATE	DESCRIPTION	BY	CHK
2	02-25-26	DRAINAGE LAYOUT, GRADES	SJR	JRC
1	01-21-26	DRAINAGE & GRADING UPDATES	SJR	JRC
0	12-22-25	ISSUED FOR APPROVAL	SJR	JRC

DRAWING ISSUE STATUS

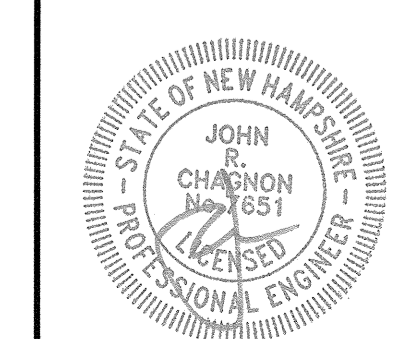
PERMIT PLANS

HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
200 Griffin Road, Unit 14
Portsmouth, NH 03801
603-430-9282

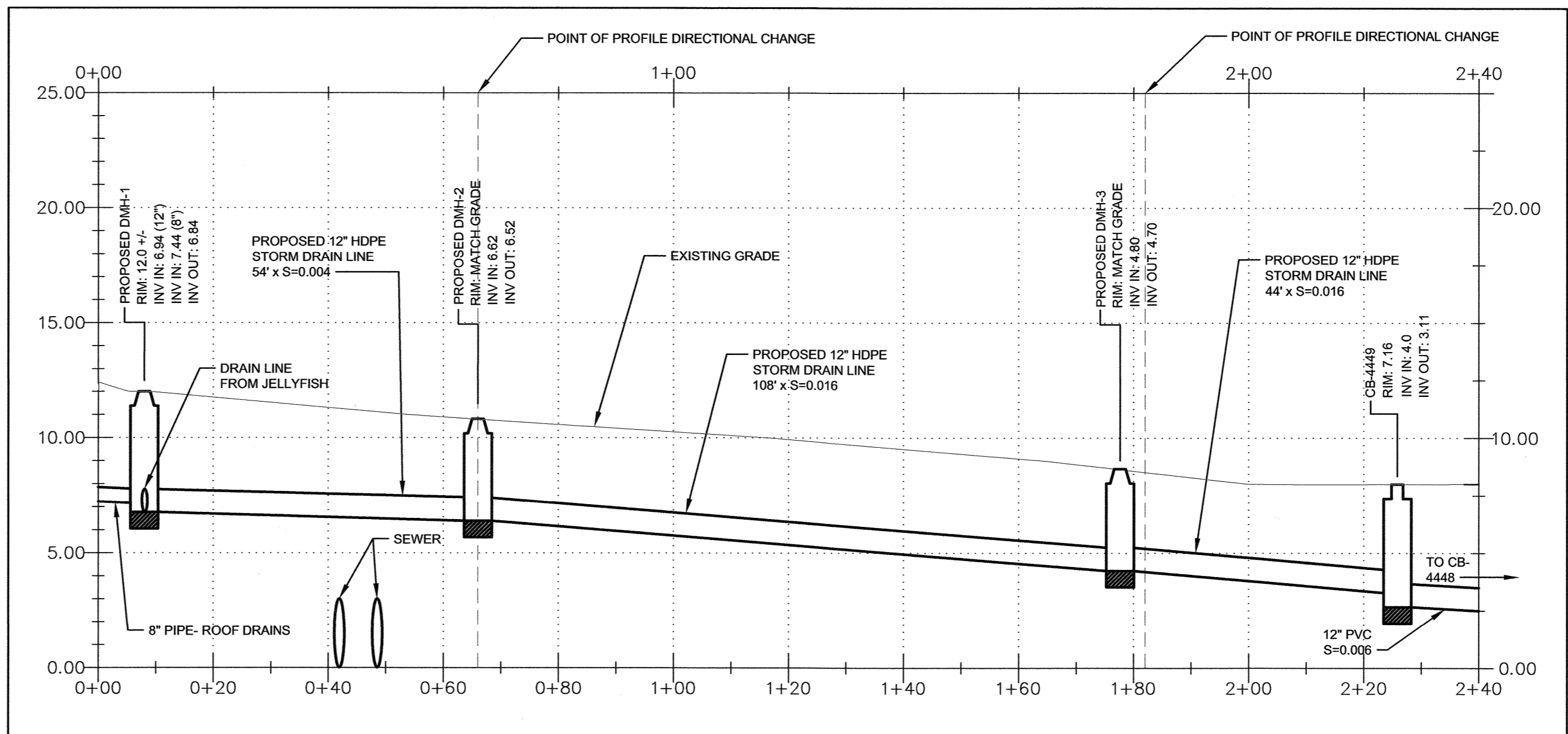
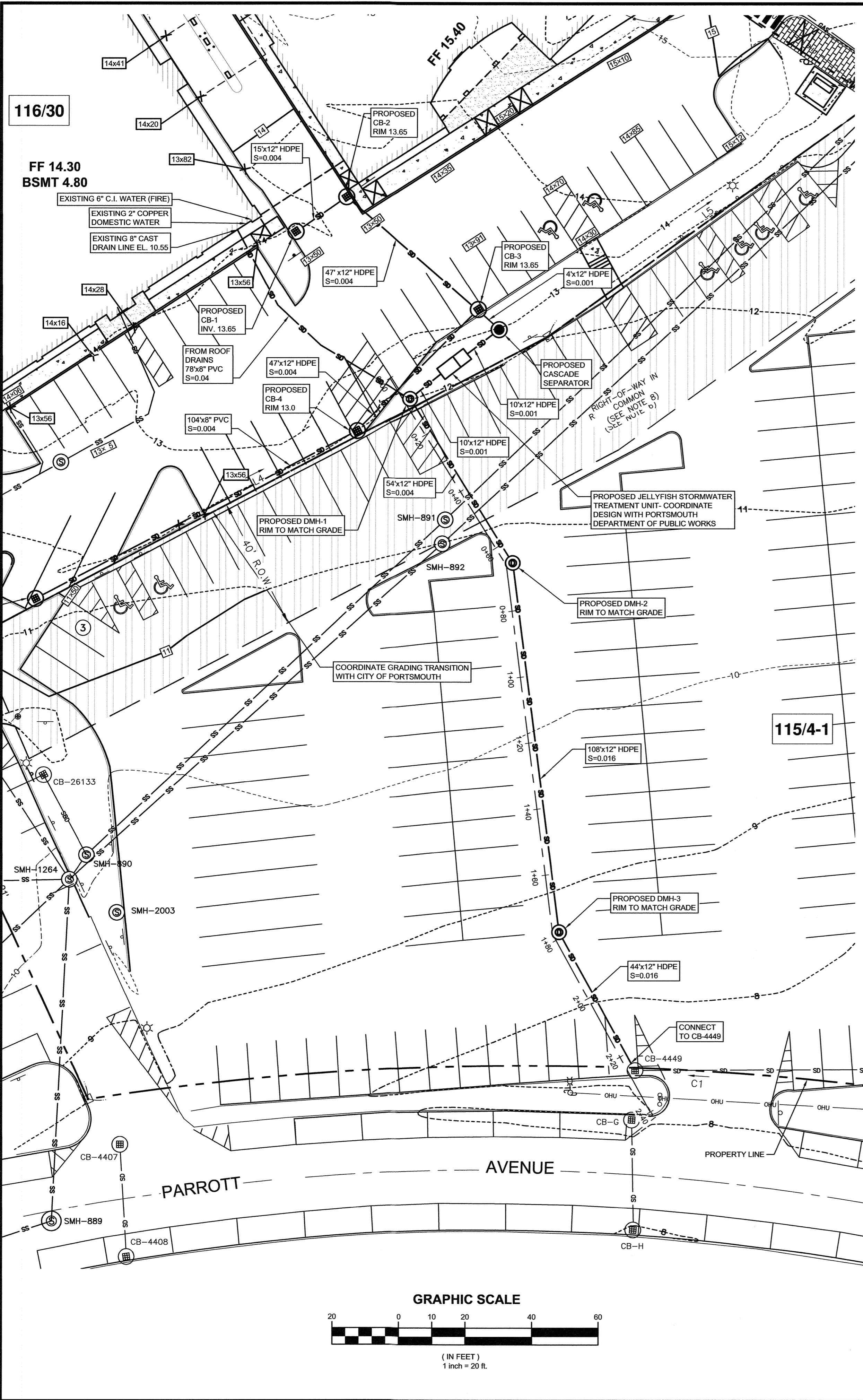
PROJECT: **DOUBLE MC, LLC**
134 PLEASANT STREET PORTSMOUTH, N.H.

ON SITE GRADING & DRAINAGE PLAN

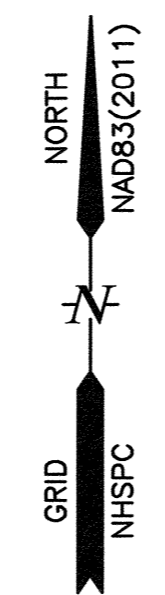
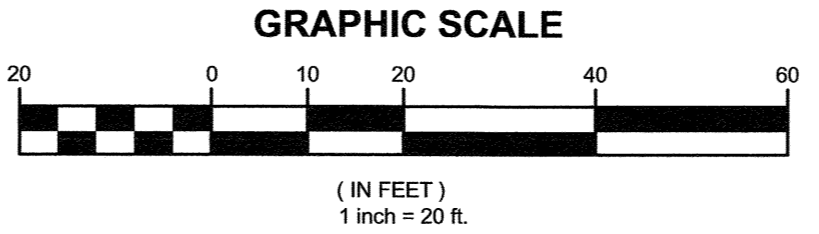
DATE: JULY 2025	SCALE: 1"=20'
DRAWN BY: SJR	DESIGNED BY: ---
CHECKED BY: JRC	
PROJECT No: 5010156.1532	FIELD BOOK / PAGE: FB 276 PG 60
DRAWING No: C104	REV: 2



FILE LOCATION: P:\NH010196\ACI\NAB...PORTSMOUTH...118 PLEASANT ST...PORTSMOUTH, NH 03801...DATE: 02/25/26 11:15 PM



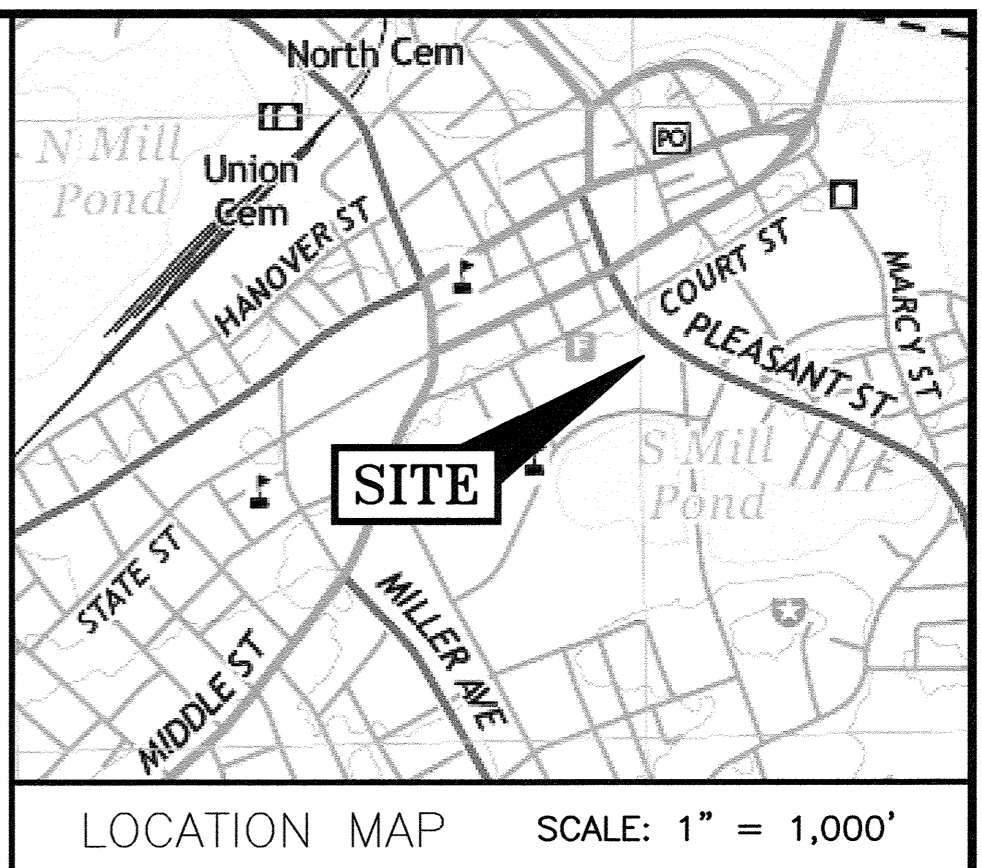
PROFILE VIEW OF PROPOSED SITE DRAINAGE TO PARROTT AVE. - STA 0+00 TO 2+40
SCALE: H: 1"=20' / V: 1"=5'



EXISTING DRAINAGE STRUCTURE TABLE						
STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INV. IN	INV. OUT	DIRECTION
CB-4407	EX	8.30	NO VISIBLE PIPES			
WATER ELEVATION: 5.30						
SUMP ELEVATION: 4.20						
CB-26133	EX	10.86	12" CLAY	4.31	4.31	SW
CB-A	EX	12.22	12" AC		8.42	SE
CB-B	EX	12.80	8" CLAY	7.10		NW
			12" AC	7.10		NE
			12" AC	7.00		SW
CB-C	EX	13.47	18" AC		7.00	S
			12" AC	8.87		NE
CB-D	EX	13.54	4" AC	9.34		S
			12" AC		9.34	NW
CB-E	EX	13.67	SILTED/LOCKED			SW
CB-F	EX	13.48	SILTED/LOCKED			
CB-G	EX	7.76	4" CLAY		4.76	
CB-H	EX	7.94	6" CLAY	4.24		
CB 26057	EX	12.53	12" CPP W/OIL SEPERATOR		8.33	SE
CB 26048	EX	22.70				
CB 26047	EX	22.89				
CB-26049	EX	17.08	12" PVC W/OIL SEPERATOR		11.78	NE
CB-4275	EX	7.46		2.56	2.56	NW
CB-4448	EX	6.73	12" PVC	2.53		S
			12" PVC		2.53	SE
CB-4449	EX	7.16	12" PVC		3.11	E
DMH 26046	EX	22.99	12" CPP	18.49		SW
			12" CPP	18.49		NE
			12" CPP	19.79		NW
			12" CPP		18.44	SE
DMH 26050	EX	17.45	12" PVC	12.80		NW
			12" PVC	12.80		SW
			12" PVC		12.80	SE
DMH-26052	EX	12.93	12" CPP	8.18		NW
			12" CPP		8.13	S
DMH-26051	EX	12.61	12" CPP	7.86		N
			12" CPP	8.11		NW
DMH-26061	EX	8.02	12" CPP		7.81	S
DMH-26062	EX	7.84				

PROPOSED DRAINAGE STRUCTURE TABLE						
STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INV. IN	INV. OUT	DIRECTION
CB-1	PROP	13.65			10.90	E
CB-2	PROP	13.65		10.84		W
CB-3	PROP	13.65		10.55		N&W
CB-4	PROP	13.00		10.84		W
					10.74	E
CB-5	PROP	13.31		11.26		E
SEPARATOR	PROP	13.00		10.41		N
JELLYFISH	PROP	12.50	12" HDPE	10.31	10.41	W
DMH 1	PROP	XGD	12" HDPE	6.94	7.04	E
			12" HDPE		6.84	S
DMH 2	PROP	XGD	8" PVC	7.44		N
			12" HDPE	6.62		N
DMH 3	PROP	XGD	12" HDPE		6.52	S
			12" HDPE	4.70		N
					4.80	S

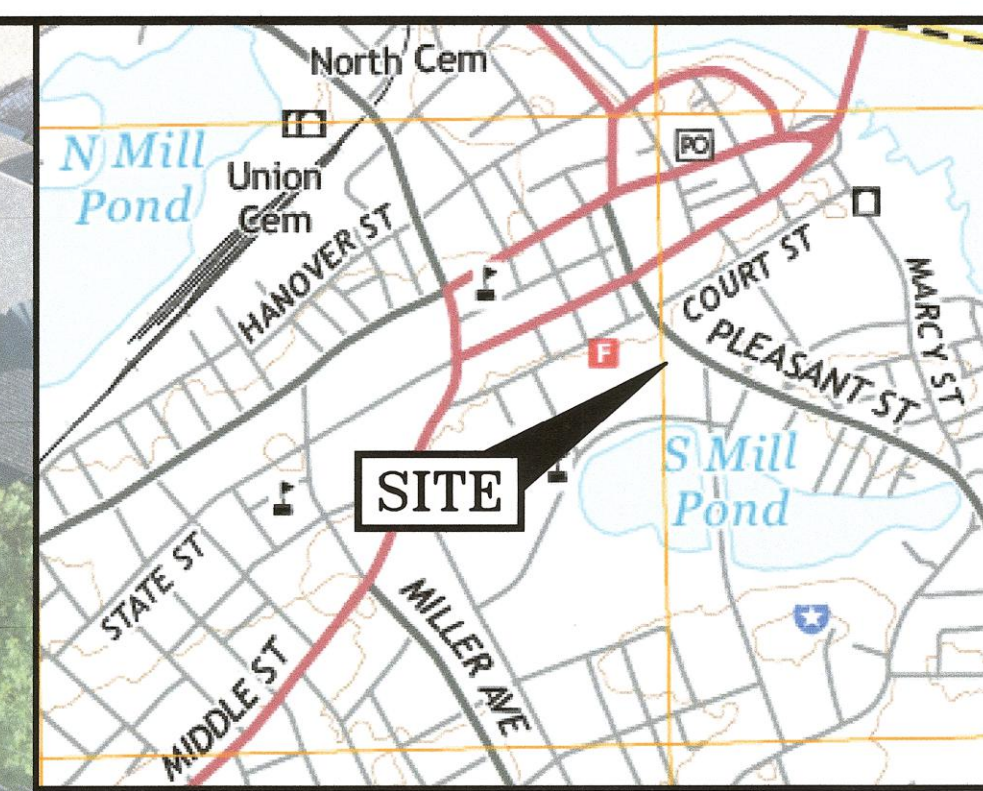
XGD = EXISTING GRADE



- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
 - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
 - 4) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
 - 5) CITY OF PORTSMOUTH STORMWATER CONNECTION PERMIT REQUIRED.

0	02-25-26	ISSUED FOR COMMENT	SJR	JRC
REV.	DATE	DESCRIPTION	BY	CHK
DRAWING ISSUE STATUS				
PERMIT PLANS				
 HALEY WARD ENGINEERING ENVIRONMENTAL SURVEYING 200 Griffin Road, Unit 14 Portsmouth, NH 03801 603-430-9282				
PROJECT				
DOUBLE MC, LLC 134 PLEASANT STREET PORTSMOUTH, N.H.				
TITLE				
OFF SITE GRADING & DRAINAGE/PROFILE				
DATE		SCALE		
JULY 2025		1"=20'		
DRAWN BY	DESIGNED BY	CHECKED BY		
SJR		JRC		
PROJECT No.	FIELD BOOK / PAGE			
5010156.1532	FB 276 PG 60			
DRAWING No.			REV.	
C104A			0	

FILE LOCATION: P:\NH\2015\1532-14 PLEASANT ST - PORTSMOUTH-ARCH-CAD-FILES\CAD\1532 SITE 025.DWG, 2025.03.04, 1:17 PM



LOCATION MAP SCALE: 1" = 1,000'

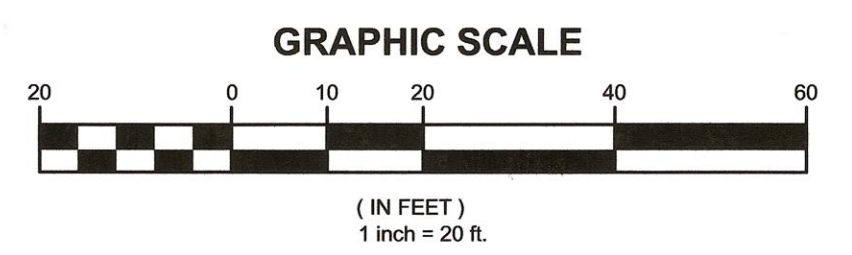
- NOTES:
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
 - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

115
4-1
N/F
CITY OF PORTSMOUTH
P.O. BOX 628
PORTSMOUTH, N.H. 03801
RCRD 1093/64

115/4-1

JUNKINS AVENUE

PARROT AVENUE



1	02-25-26	DRAINAGE LAYOUT	SJR	JRC
0	02-03-26	ISSUED FOR COMMENT	SJR	JRC
REV.	DATE	DESCRIPTION	BY	CHK.

DRAWING ISSUE STATUS

PERMIT PLANS



HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
200 Griffin Road, Unit 14
Portsmouth, NH 03801
603-430-9282



PROJECT

DOUBLE MC, LLC
134 PLEASANT STREET PORTSMOUTH, N.H.

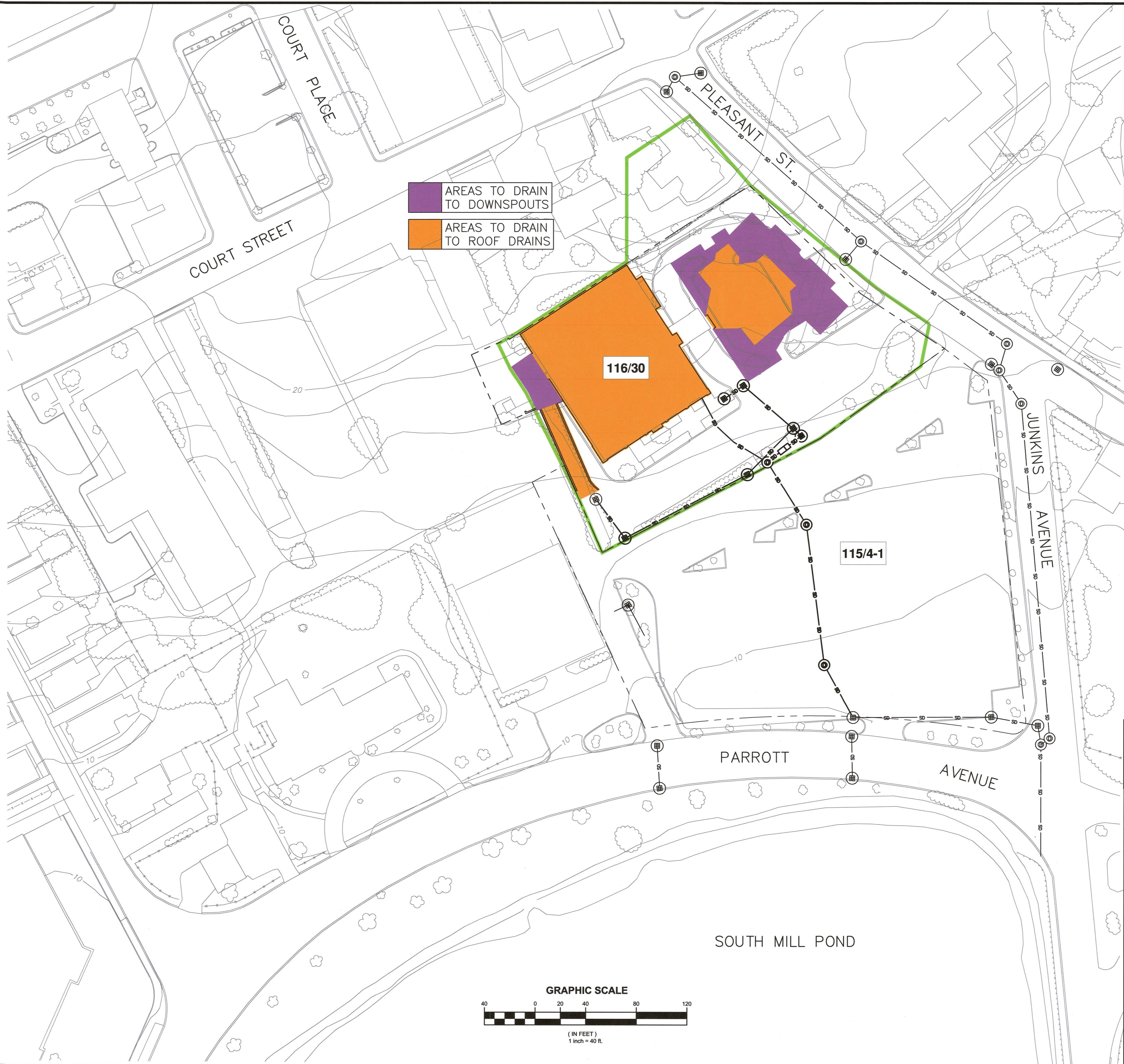
OFF SITE GRADING & DRAINAGE PLAN ORTHOPHOTO



DATE	JULY 2025	SCALE	1"=20'
DRAWN BY	SJR	DESIGNED BY	—
CHECKED BY	JRC		
PROJECT No.	5010156.1532	FIELD BOOK / PAGE	FB 276 PG 60
DRAWING No.	C104B		REV.
			1

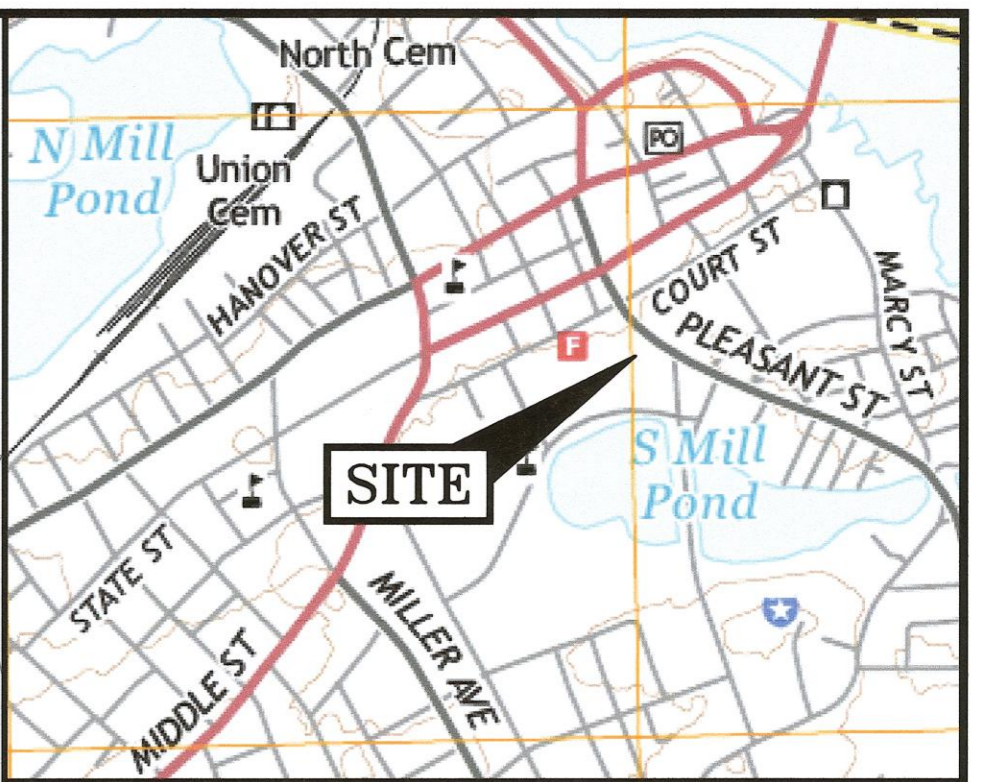
FILE LOCATION: P:\NH\5010156\MCH\488_P\PORTSMOUTH-RCRD\CAD_FILES\CAD\1503 SITE 2025.DWG, 2025.02.24, 6:18 AM

DRAINAGE AREAS		
TOTAL SUBCATCHMENT AREA		59,274 S.F.
BUILDINGS & RAMP EXCLUSION (ROOF DRAINS)		16,963 S.F.
TOTAL DRAINAGE CONTRIBUTING AREA		42,311 S.F.

NOTE: ROOF DRAINS WILL NOT BE CONNECTED TO THE STORMWATER TREATMENT SYSTEM.

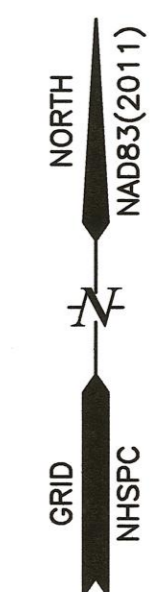


 AREAS TO DRAIN TO DOWNSPOUTS
 AREAS TO DRAIN TO ROOF DRAINS



LOCATION MAP SCALE: 1" = 1,000'

- NOTES:**
- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 116 AS LOT 30, AND MAP 115 AS LOT 4-1.
 - 2) THE PURPOSE OF THIS PLAN IS TO SHOW THE SITE DEVELOPMENT DRAINAGE AREA FOR THE 134 PLEASANT STREET PROJECT.



REV.	DATE	DESCRIPTION	BY	CHK.
1	02-25-26	REVISED DRAINAGE AREAS	SJR	JRC
0	02-10-26	ISSUED FOR COMMENT	SJR	JRC

DRAWING ISSUE STATUS

PERMIT PLANS

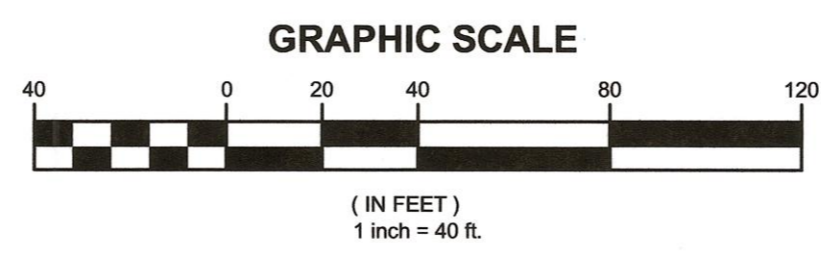
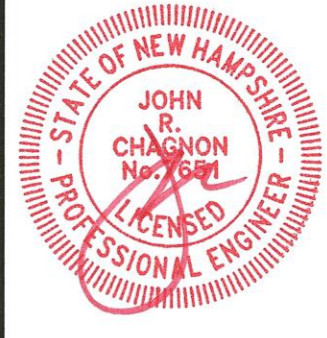
HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
200 Griffin Road, Unit 14
Portsmouth, NH 03801
603-430-9282

PROJECT

DOUBLE MC, LLC
134 PLEASANT STREET PORTSMOUTH, N.H.

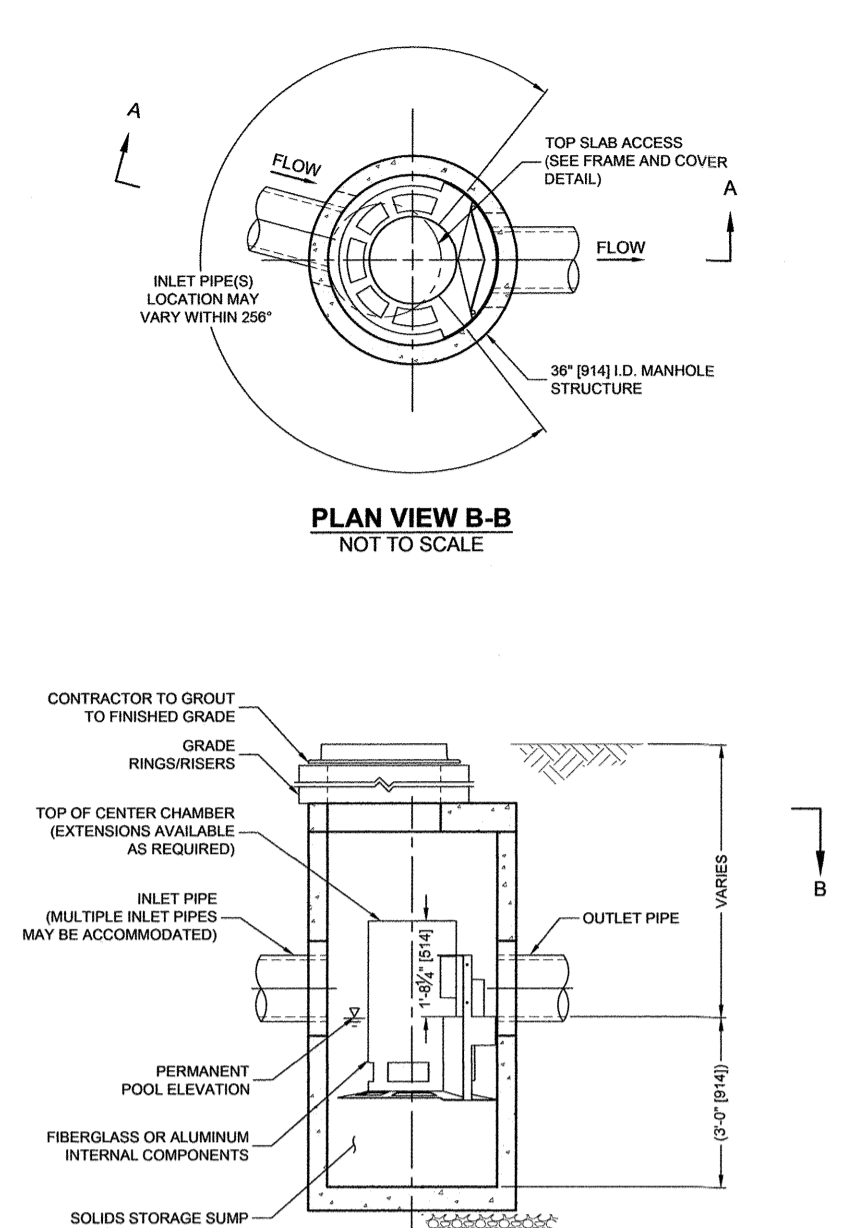
DRAINAGE AREA PLAN

DATE	JULY 2025	SCALE	1"=40'
DRAWN BY	SJR	DESIGNED BY	---
CHECKED BY	JRC	FIELD BOOK / PAGE	FB 276 PG 60
PROJECT No.	5010156.1532	DRAWING No.	C104C
REV.			1



FILE LOCATION: P:\NH\5010156\NCH\B_PROJ\PERMITS\1532_14_PLEASANT_ST_PORTSMOUTH\ARC\CAD_FILES\DWG\10156_1532_SITE_2025.DWG, 2025.02.24, 7:53 AM

COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL AFFAIRS DIVISION OF WATER RESOURCES STANDARD DRAWING PROCESSING DETAIL DWG. 07/02/2022 2:40 PM



PLAN VIEW B-B
NOT TO SCALE

ELEVATION A-A
NOT TO SCALE

CASCADE separator™

CASCADE SEPARATOR DESIGN NOTES

THE STANDARD CS-3 CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION

WATER QUALITY FLOW RATE (gpm @ 1.0)

PEAK FLOW RATE (gpm @ 1.0)

RETURN PERIOD OF PEAK FLOW (hrs)

RIM ELEVATION

PIPE DATA: INVERT MATERIAL DIAMETER

INLET PIPE 1

INLET PIPE 2

OUTLET PIPE

NOTES/SPECIAL REQUIREMENTS:

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	*
WATER QUALITY FLOW RATE (gpm)	*
PEAK FLOW RATE (gpm)	*
RETURN PERIOD OF PEAK FLOW (hrs)	*
RIM ELEVATION	*
PIPE DATA: INVERT MATERIAL DIAMETER	*
INLET PIPE 1	*
INLET PIPE 2	*
OUTLET PIPE	*
NOTES/SPECIAL REQUIREMENTS:	*

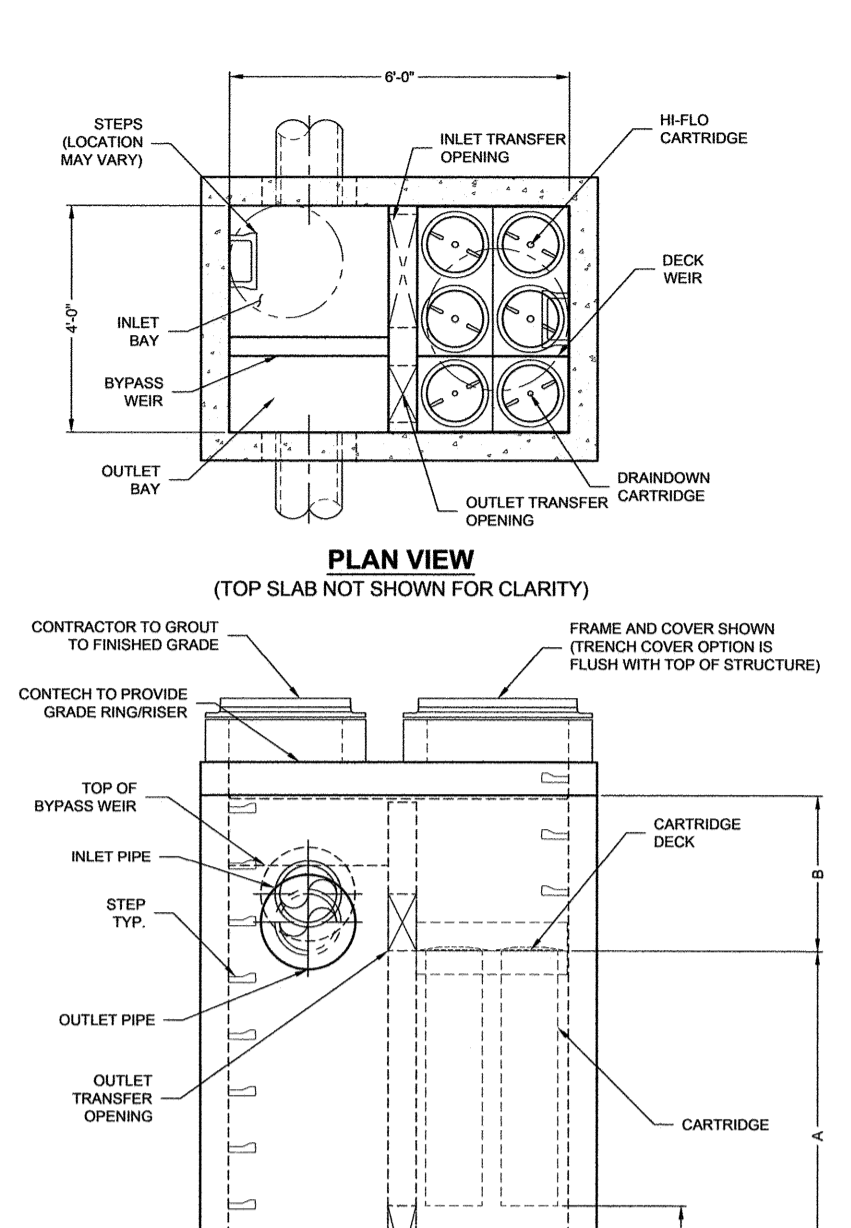
SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	*
WATER QUALITY FLOW RATE (gpm)	*
PEAK FLOW RATE (gpm)	*
RETURN PERIOD OF PEAK FLOW (hrs)	*
RIM ELEVATION	*
PIPE DATA: INVERT MATERIAL DIAMETER	*
INLET PIPE 1	*
INLET PIPE 2	*
OUTLET PIPE	*
NOTES/SPECIAL REQUIREMENTS:	*

CONTECH ENGINEERED SOLUTIONS LLC
www.contechES.com
9100 Centre Pointe Dr., Suite 400, West Chester, OH 45399
800-338-1122 513-845-7000 513-845-7893 FAX

CS-3 CASCADE SEPARATOR STANDARD DETAIL

COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL AFFAIRS DIVISION OF WATER RESOURCES STANDARD DRAWING PROCESSING DETAIL DWG. 11/15/2022 2:37 PM



PLAN VIEW
(TOP SLAB NOT SHOWN FOR CLARITY)

ELEVATION VIEW

Jellyfish Filter

JELLYFISH DESIGN NOTES

JELLYFISH TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE LENGTH AND THE NUMBER OF CARTRIDGES. THE STANDARD SURFACE INLET STYLE WITH TRENCH GRATE AND COVER IS SHOWN. ALTERNATE OFFLINE VALVE, CURB INLET OR SHALLOW PIPE INLET OPTIONS ARE AVAILABLE. PEAK CONVEYANCE CAPACITY TO BE DETERMINED BY ENGINEER OF RECORD.

CARTRIDGE SELECTION

CARTRIDGE LENGTH	54"	42"	37"	15"
OUTLET INVERT TO STRUCTURE INVERT (A)	6'-6"	5'-4"	4'-3"	3'-3"
FLOW RATE HIGH FLO / DRAINDOWN (GPM) (PER CART)	0.178 / 0.089	0.133 / 0.067	0.089 / 0.045	0.049 / 0.025
MAX. TREATMENT (GPM)	6.89	5.07	4.45	2.05
DECK TO INSIDE TOP (MIN) (B)	5'-0"	4'-0"	4'-0"	4'-0"

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	*
WATER QUALITY FLOW RATE (gpm)	*
PEAK FLOW RATE (gpm)	*
RETURN PERIOD OF PEAK FLOW (hrs)	*
RIM ELEVATION	*
PIPE DATA: INVERT MATERIAL DIAMETER	*
INLET PIPE 1	*
INLET PIPE 2	*
OUTLET PIPE	*
NOTES/SPECIAL REQUIREMENTS:	*

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	*
WATER QUALITY FLOW RATE (gpm)	*
PEAK FLOW RATE (gpm)	*
RETURN PERIOD OF PEAK FLOW (hrs)	*
RIM ELEVATION	*
PIPE DATA: INVERT MATERIAL DIAMETER	*
INLET PIPE 1	*
INLET PIPE 2	*
OUTLET PIPE	*
NOTES/SPECIAL REQUIREMENTS:	*

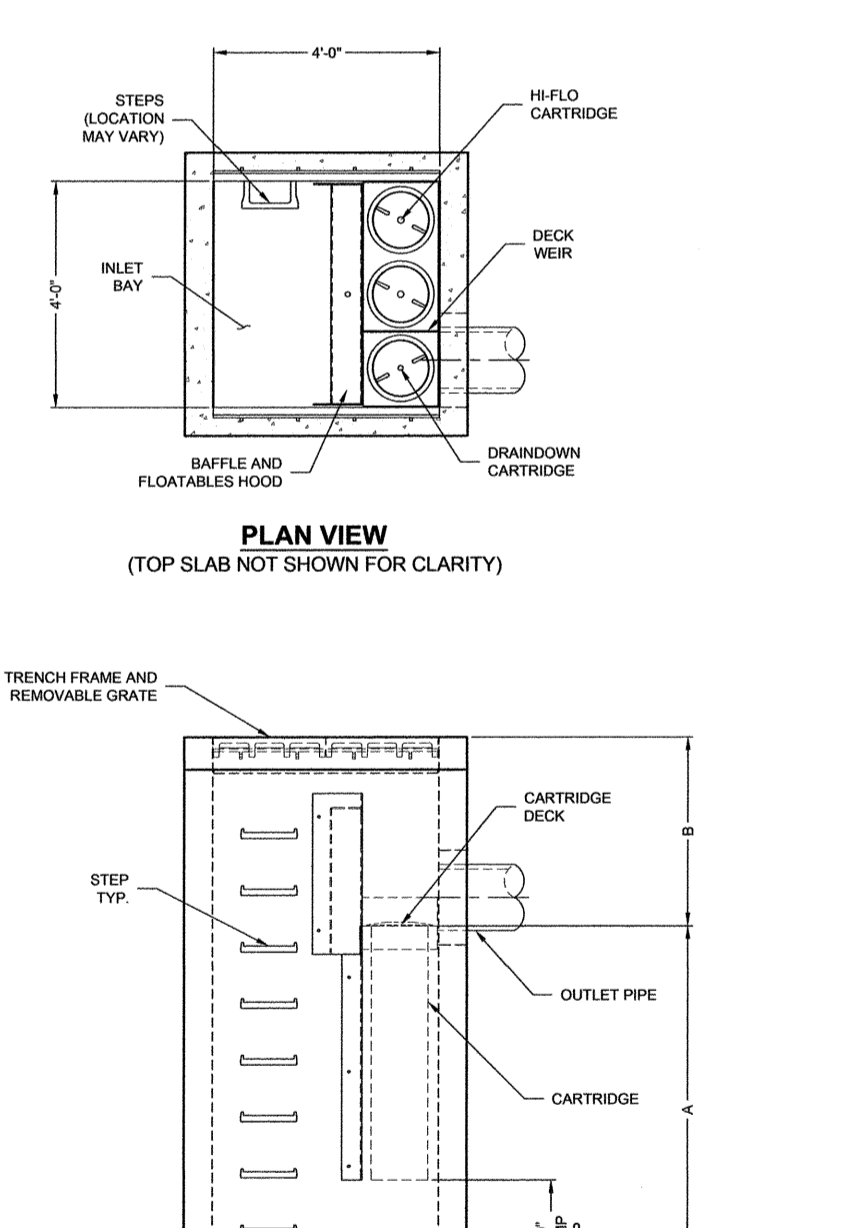
CONTECH ENGINEERED SOLUTIONS LLC
www.contechES.com
9100 Centre Pointe Dr., Suite 400, West Chester, OH 45399
800-338-1122 513-845-7000 513-845-7893 FAX

JELLYFISH JFPD0406 STANDARD DETAIL PEAK DIVERSION CONFIGURATION

NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL AFFAIRS DIVISION OF WATER RESOURCES STANDARD DRAWING PROCESSING DETAIL DWG. 11/08/2022 2:40 PM



PLAN VIEW
(TOP SLAB NOT SHOWN FOR CLARITY)

ELEVATION VIEW

Jellyfish Filter

JELLYFISH DESIGN NOTES

JELLYFISH TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE LENGTH AND THE NUMBER OF CARTRIDGES. THE STANDARD SURFACE INLET STYLE WITH TRENCH GRATE AND COVER IS SHOWN. ALTERNATE CURB INLET OR PIPE INLET OPTIONS ARE AVAILABLE. MAXIMUM 0.5 GPM PEAK FLOW CAPACITY.

CARTRIDGE SELECTION

CARTRIDGE LENGTH	54"	42"	37"	15"
OUTLET INVERT TO STRUCTURE INVERT (A)	6'-6"	5'-4"	4'-3"	3'-3"
FLOW RATE HIGH FLO / DRAINDOWN (GPM) (PER CART)	0.178 / 0.089	0.133 / 0.067	0.089 / 0.045	0.049 / 0.025
MAX. TREATMENT (GPM)	6.89	5.07	4.45	2.05
OUTLET INVERT TO RIM (MIN) (B)	5'-4"	5'-4"	5'-4"	5'-4"

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	*
WATER QUALITY FLOW RATE (gpm)	*
PEAK FLOW RATE (gpm)	*
RETURN PERIOD OF PEAK FLOW (hrs)	*
RIM ELEVATION	*
PIPE DATA: INVERT MATERIAL DIAMETER	*
INLET PIPE 1	*
INLET PIPE 2	*
OUTLET PIPE	*
NOTES/SPECIAL REQUIREMENTS:	*

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	*
WATER QUALITY FLOW RATE (gpm)	*
PEAK FLOW RATE (gpm)	*
RETURN PERIOD OF PEAK FLOW (hrs)	*
RIM ELEVATION	*
PIPE DATA: INVERT MATERIAL DIAMETER	*
INLET PIPE 1	*
INLET PIPE 2	*
OUTLET PIPE	*
NOTES/SPECIAL REQUIREMENTS:	*

CONTECH ENGINEERED SOLUTIONS LLC
www.contechES.com
9100 Centre Pointe Dr., Suite 400, West Chester, OH 45399
800-338-1122 513-845-7000 513-845-7893 FAX

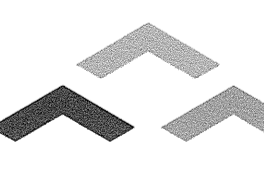
JELLYFISH JFSI0404 STANDARD DETAIL SURFACE INLET CONFIGURATION

DD C104A JELLYFISH FILTRATION SYSTEM BY CONTECH ENGINEERED SOLUTIONS, LLC NTS

SEE INSPECTION & MAINTENANCE ON SHEET C507

1	02/25/26	JELLYFISH DETAILS	SJR	JRC
0	10/21/25	ISSUED FOR COMMENT	SJR	JRC
REV.	DATE	DESCRIPTION	BY	CHK

PERMIT PLANS



HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
www.halleyward.com

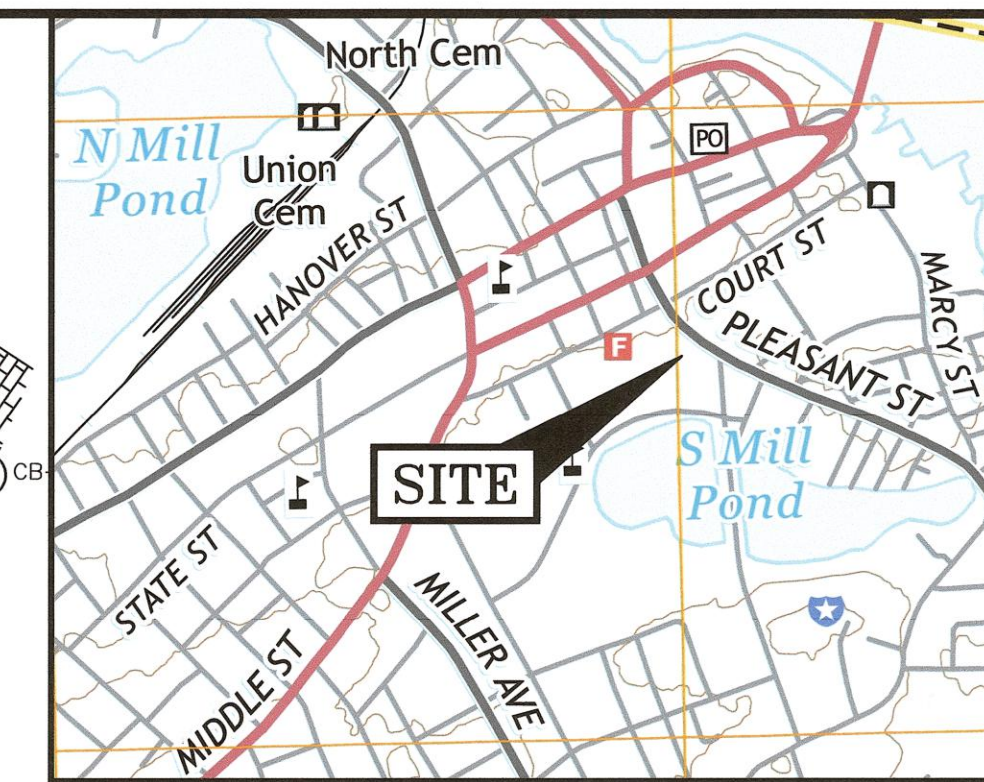
200 Griffin Road, Unit 14
Portsmouth, NH 03801
603-430-9282

DOUBLE MC, LLC
134 PLEASANT STREET PORTSMOUTH, N.H.

DETAILS

DATE SEPTEMBER 2025	SCALE 1"=20'	
DRAWN BY SJR	DESIGNED BY ---	CHECKED BY JRC
PROJECT No. 5010156.1532	FIELD BOOK / PAGE FB 276 PG 60	
DRAWING No. C506	REV. 1	

FILE LOCATION: P:\NH01016\NOM\NAB_PROPERTIES\51532-14_PLEASANT ST - PORTSMOUTH - RCT02-CAD_FILES\CAD\01016_1532_RTE_2025.DWG, 2025-02-24, 7:39 AM



LOCATION MAP SCALE: 1" = 1,000'

- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S TAX MAP 115 AS LOT 4-1.
 - 2) OWNERS OF RECORD:
CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH, N.H. 03801
RCRD 1093/64
 - 3) PARCEL IS PARTIALLY IN SPECIAL FLOOD HAZARD AREA ZONE AE AS SHOWN ON FIRM PANEL 3301SC0259F. EFFECTIVE JANUARY 29, 2021.
 - 4) EXISTING LOT AREA:
71,740 S.F.
1.65 ACRES
 - 5) PARCEL IS LOCATED IN THE MUNICIPAL (M) DISTRICT.
 - 6) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW SHORELAND AND TIDAL BUFFER ZONE IMPACTS ON ASSESSOR'S MAP 115, LOT 4-1 IN THE CITY OF PORTSMOUTH.
 - 8) PARCEL IS BENEFITED BY A RIGHT OF WAY AS DESCRIBED IN RCRD 2975/349 AND SHOWN ON RCRD D-18880 AND RCRD D-26343.



TEMPORARY IMPACT AREA 1,119 S.F.
PERMANENT IMPACT AREA 1,151 S.F.

TEMPORARY IMPACT AREA 2,010 S.F.
PERMANENT IMPACT AREA 154 S.F.

TEMPORARY IMPACT AREA 562 S.F.
PERMANENT IMPACT AREA 39 S.F.

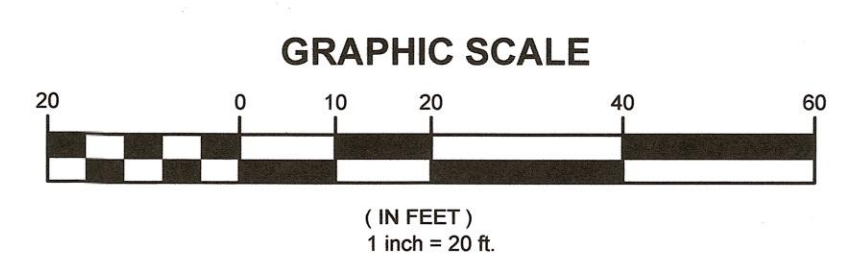
INDICATES EXISTING CONDITIONS TBR

IMPACT AREAS (WITHIN THE 250' SWQPA ZONE)

ZONE	TEMPORARY IMPACT (S.F.)	PERMANENT IMPACT (S.F.)
250' PROTECTED SHORELAND	3,129	1,305
100' TIDAL BUFFER	562	39

LOT 115/4-1 IMPACT AREAS (WITHIN THE 250' SWQPA ZONE)

	EXISTING	PROPOSED
LOT AREA IN 250' (S.F.)	57,087	57,087
TOTAL IMPERVIOUS AREA (S.F.)	53,487	52,941



REV.	DATE	DESCRIPTION	BY	CHK.
2	03-11-2026	ADDED IMPACT AREA	SJR	JRC
1	02-25-2026	REVISED LAYOUT	SJR	JRC
0	02-09-2026	ISSUED FOR COMMENT	SJR	JRC

DRAWING ISSUE STATUS

PERMIT PLANS

HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
WWW.HALEYWARD.COM
200 Griffin Road, Unit 14
Portsmouth, NH 03801
603-430-9282

PROJECT
CITY OF PORTSMOUTH
P.O. BOX 628 PORTSMOUTH, N.H.

TITLE
**NHDES PERMIT PLAN-
CITY PROPERTY**

DATE	JULY 2025	SCALE	1"=20'
DRAWN BY	SJR	DESIGNED BY	---
CHECKED BY	JRC		
PROJECT No.	5010156.1532	FIELD BOOK / PAGE	FB 276 PG 60
DRAWING No.	C108		REV.
			2

STATE OF NEW HAMPSHIRE
No. 738
JOHN CHAGNON
SIGNATURE

FILE LOCATION: P:\WORK\1016\1016\MCHUBB_PROPERTIES\1016-14_PLEASANT_ST_-_PORTSMOUTH_NH\RCRD\1016-14_PLEASANT_ST_-_PORTSMOUTH_NH_11-11-25.DWG, 2026-03-11, 11:49 AM



25 March 2026

Samantha Collins, Chair
City of Portsmouth Conservation Commission
1 Junkins Avenue
Portsmouth, NH 03801

**Re: City of Portsmouth Wetland Conditional Use Permit Request | Tax Map 204, Lot 14 |
5 Curriers Cove, Portsmouth, New Hampshire**

Dear Ms. Collins:

This letter transmits a City of Portsmouth Wetland Conditional Use Permit request for disturbance within the 100' City of Portsmouth Wetland Buffer for the construction of a new deck, landscaping, removal of impervious surfaces, grading, and the installation of new walking paths (see attached plan set).

The property currently contains a single-family residential structure, a paved driveway with vehicle turnaround, a connected garage and associated stone walking path exiting the garage, a retaining wall around the southern portion of the garage, a stone patio, an artificial putting green, a stone wall abutting the shoreline, a wooden residential pier and associated landscaping.

Per the City of Portsmouth Zoning Ordinance, *Article 10.1017.22 (3)*, approximately 29.9% (7,793 SF) of the wetland buffer area that occurs on the subject lot (29,066 SF) is vegetated and occurs in a natural state.

The project also includes a planted wetland buffer enhancement area, located directly adjacent to Little Harbor, which includes the planting of 28 native shrubs, grasses, and perennials to provide a naturally vegetated buffer in an area where one does not currently exist. Please see the Buffer Planting Area and Buffer Planting Schedule on Permit Plan-Sheet C103. These plantings bring the site into conformance with the DES Shoreland Buffer Plant Score regulations. The additional plantings, comprised of native shrubs within the wetland buffer, will aid in habitat connectivity and provide a stabilization component to areas adjacent to the wetland resources.

Per the City of Portsmouth Zoning Ordinance, *Article 10.1017.25 (2)*, where the vegetated buffer strip contains grass or non-native plantings, or is otherwise not intact, the first priority of the **wetland buffer** enhancement plan shall include revegetation of the vegetated buffer strip with native, low-maintenance shrubs and other woody vegetation. A portion of the existing buffer currently **does not** exist in a natural vegetated state (see attached photo log). The applicant proposes a planting area located in an area that is currently maintained lawn directly adjacent to their shoreline of Little Harbor.



According to the City of Portsmouth Zoning Ordinance *Article 10.1017.50 Criteria for Approval*, the proposal shall comply with the following criteria:

1. The land is reasonably suited to the use, activity or alteration.

The proposed project is to construct a new deck on the existing lot on the northeastern side of the primary structure. Other site improvements include the removal of impervious surfaces, site grading to place new structures and impervious areas 2 feet above the Flood Hazard Zone elevation, a new walkway, and substantial planting and landscaping. Due to the proximity of the existing structure to the shoreline, the majority of the project will be located within the 100' City of Portsmouth Wetland Buffer. However, the applicants wish to offset these impacts through extensive plantings and buffer enhancements. Given that the existing lot currently contains a residential structure and provides a residential use, and the proposed structure is not located in the Flood Hazard Zone (base flood elevation 8), the land is reasonably suited to the use, activity, or alteration.

2. There is no alternative location outside of the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.

Due to the configuration of the lot, and the placement of the existing structure within the wetland buffer, there does not exist an area to propose the deck and achieve a reasonable use while avoiding the 100' City of Portsmouth Wetland Buffer. The only other location on the lot that the deck could connect to the existing structure is on the northern end. However, the placement of a deck here would require more extensive site grading, additional soil disturbance, removal of an existing stone wall and generator pad, removal of mature trees within the shoreland zone, and would result in a greater overall impervious area. Additionally, the area north of the existing structure is comprised of several ledge outcroppings and shallow soils. The current location of the deck is placed over existing disturbed areas including lawn and impervious patios. These areas will be removed during construction. We believe that the proposed deck in the proposed location provides a reasonable use and minimizes cumulative impacts to the shoreland zone and overall property.

3. There will be no adverse impact on the wetland functional values of the site or surrounding properties.

We believe the proposal will not significantly impact the existing wetland resource located adjacent to the site and its current functions and values. The proposed project removes a significant amount of impervious surfaces within the fifty-foot buffer, and although the amount of impervious area removed is not equivalent to the amount of impervious area proposed, the applicant has proposed extensive planting both adjacent to the structure and to enhance the vegetative buffer strip adjacent to Little Harbor. These buffer plantings will provide additional protections that do not currently exist on the site as well as serving as a benefit to stormwater control and treatment. With the above measures being taken, the above project will improve water quality entering



the nearby wetland resource, and therefore have no adverse impact on the wetland functional values and the surrounding properties.

4. Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.

The proposed project does not include alteration of any naturally vegetated area to accommodate the construction of the new home.

5. The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this Section.

The project represents the alternative with the least adverse impacts to areas and environments while allowing reasonable use of the property. The proposal avoids all naturally vegetated areas and construction is placed entirely on existing developed areas. The design avoids unnecessary shoreland impacts and proposes to enhance the overall vegetative state of the shoreland zone and the vegetative buffer zone with woody shrub plantings.

6. Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.

There are no areas within the vegetated buffer strip that will be impacted or altered by this project. The applicant proposes to enhance the existing vegetated buffer strip, which currently consists of a small buffer of native roses, to a buffer over twice as large comprised of woody shrubs.

Please contact me if you have any questions or concerns regarding this application.

Respectfully submitted,

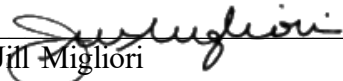
John Chagnon, PE
Project Manager
jchagnon@haleyward.com

P:\NH\5010600-Jill_&_Scott_Migliori\3340-5 Curriers Cove, Portsmouth-JRC\03-WIP_Files\2025 Site Planning\Portsmouth CUP\Migliori Conservation Commission CUP Submission Letter 3-25-26.docx

AUTHORIZATION
5 Curriers Cove, Portsmouth, New Hampshire
Proposed Deck Addition

We, Jill and Scott Migliori, hereby authorize representatives of Haley Ward, Inc., to represent our interests before land use boards of the City of Portsmouth, State of New Hampshire DES, and any other jurisdictional agency necessary to obtain permits for the above referenced property, and to submit any and all applications and materials related thereto on our behalf.

Date: 03/24/2026



Jill Migliori

Date: 03/24/2026



Scott Migliori

DECK ADDITION SITE PLANS

5 CURRIERS COVE, PORTSMOUTH, NEW HAMPSHIRE

PROJECT INFORMATION

CIVIL ENGINEER
HALEY WARD
ATTN: JOHN R. CHAGNON
200 GRIFFIN ROAD, SUITE 14
PORTSMOUTH, NEW HAMPSHIRE 03801
T: 603.430.9282

OWNER/ CLIENT
JILL & SCOTT MIGLIORI
5 CURRIERS COVE
PORTSMOUTH, NEW HAMPSHIRE 03801

SURVEYOR
HALEY WARD
ATTN: PHIL YETMAN
200 GRIFFIN ROAD, SUITE 14
PORTSMOUTH, NEW HAMPSHIRE 03801
T: 603.430.9282

ARCHITECT
KNICKERBOCKER GROUP
ATTN: JULIEN JALBERT
82 HANOVER STREET, SUITE 3
PORTLAND, MAINE 04101
T: 207.633.3818

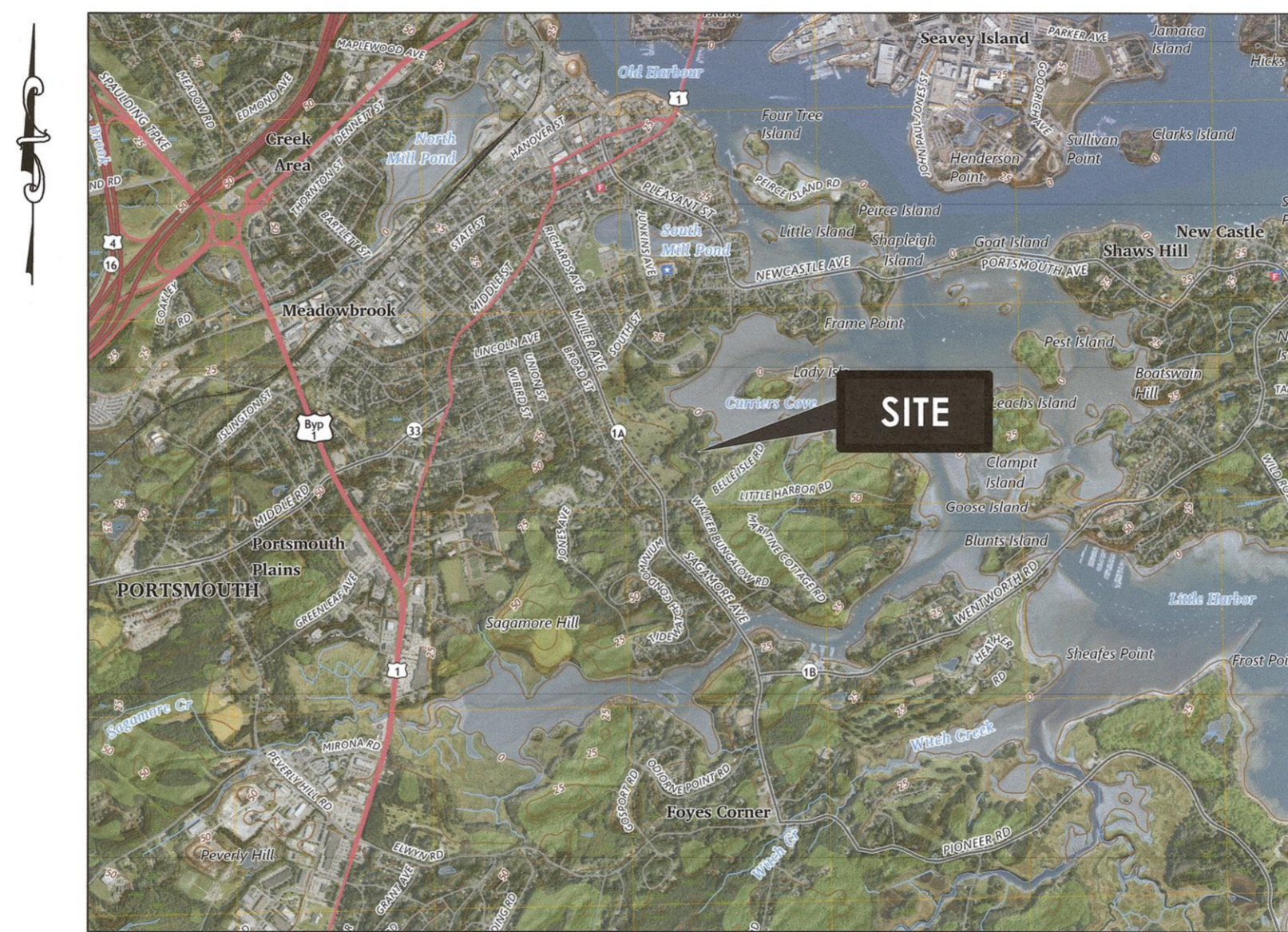
UTILITY PROVIDERS

SEWER & WATER:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
ATTN: DOUG SPARKS
680 PEVERLY HILL ROAD
PORTSMOUTH, NEW HAMPSHIRE 03801
T: 603.427.1530

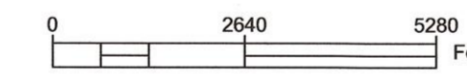
ELECTRIC:
EVERSOURCE
ATTN: NICHOLAS KOSKO
1700 LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE 03801
T: 603.436.7708

NATURAL GAS:
UNITIL
ATTN: DAVE BEAULIEU
325 WEST ROAD
PORTSMOUTH, NEW HAMPSHIRE 03801
T: 603.294.5144

COMMUNICATIONS:
CONSOLIDATED COMMUNICATIONS
ATTN: BENJAMIN WILLIS
1575 GREENLAND ROAD
GREENLAND, NEW HAMPSHIRE 03840
T: 603.427.5525



LOCATION MAP



INDEX OF DRAWINGS

- G001 COVER SHEET
- V101 EXISTING CONDITIONS PLAN
- C101 PROPOSED SITE PLAN
- C102 GRADING & UTILITY PLAN
- C103 LANDSCAPE PLAN
- C104 NHDES PLAN
- C105 CSPA TREE SCORE PLAN
- C501 SITE DETAILS

LEGEND

EXISTING	PROPOSED		
FM	FM	FORCE MAIN	N/F
S	SS	SEWER PIPE	RP
SL	SL	SEWER LATERAL	RCRD
G	GAS	GAS LINE	(11/21)
D	SD	STORM DRAIN	IR FND
FD	UD	FOUNDATION DRAIN	IP FND
W	W	WATER LINE	IR SET
FS	FS	FIRE SERVICE LINE	OH FND
UE	UE	UNDERGROUND ELECTRIC SUPPLY	OH SET
UGU	UGU	UNDERGROUND ELECTRIC SERVICE	
OHW	OHU	OVERHEAD ELECTRIC WIRES	
	---	RETAINING WALL	
	EP	EDGE OF PAVEMENT (EP)	
100	100	CONTOUR	
97x3	98x0	SPOT ELEVATION	
		UTILITY POLE	
		ELECTRIC METER	
		TRANSFORMER ON CONCRETE PAD	
		WATER SHUT OFF/CURB STOP	
C.O.	C.O.	PIPE CLEANOUT	
		GATE VALVE	
		HYDRANT	
		CATCH BASIN	
		SEWER MANHOLE	
		DRAIN MANHOLE	
		WATER METER MANHOLE	
		TEST BORING	
		TEST PIT	
LA		LANDSCAPED AREA	
		NOW OR FORMERLY RECORD OF PROBATE ROCKINGHAM COUNTY REGISTRY OF DEEDS MAP 11/LOT 21	
		IRON ROD FOUND	
		IRON PIPE FOUND	
		IRON ROD SET	
		DRILL HOLE FOUND	
		DRILL HOLE SET	
		GRANITE BOUND w/IRON ROD FOUND	

ABBREVIATIONS

CI	CAST IRON PIPE
COP	COPPER PIPE
CMP	CORRUGATED METAL PIPE
DI	DUCTILE IRON PIPE
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
HYD	HYDRANT
CL	CENTERLINE
EP	EDGE OF PAVEMENT
EL	ELEVATION
FF	FINISHED FLOOR
INV	INVERT
TBM	TEMPORARY BENCH MARK
TYP	TYPICAL
TBR	TO BE REMOVED

ISSUED FOR PERMITTING
MARCH 25, 2026



APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE

DECK ADDITION
SITE PLANS
5 CURRIERS COVE
PORTSMOUTH, NH

LEGEND:

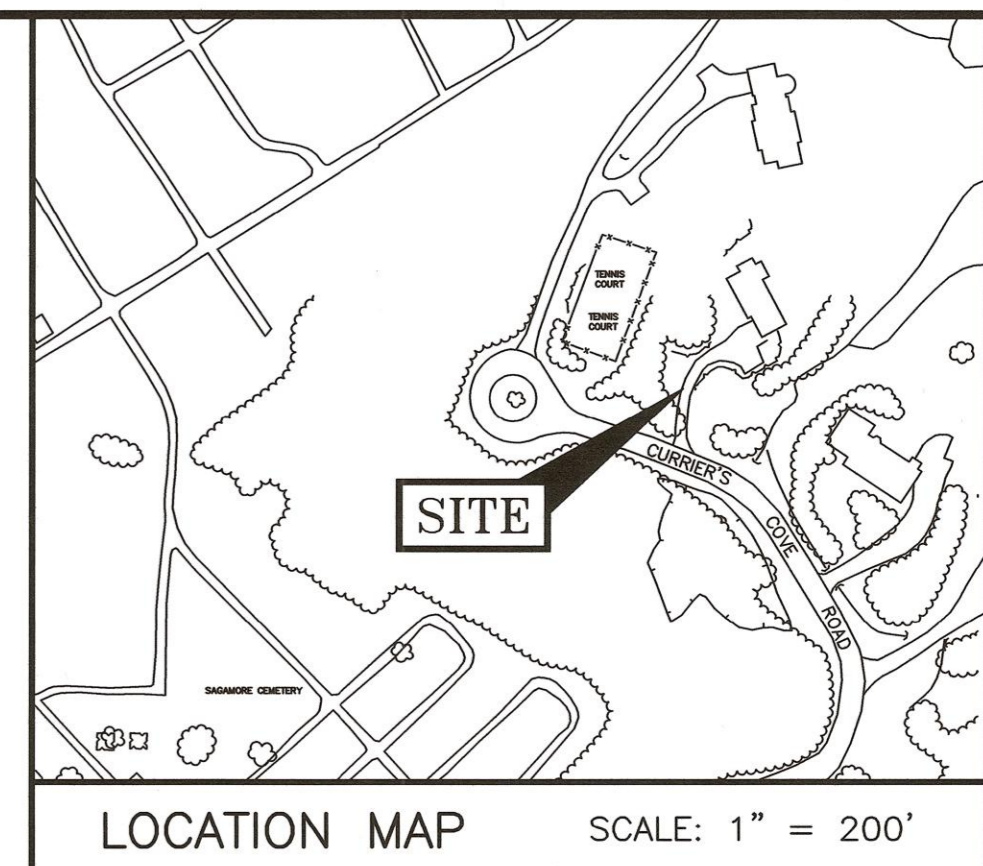
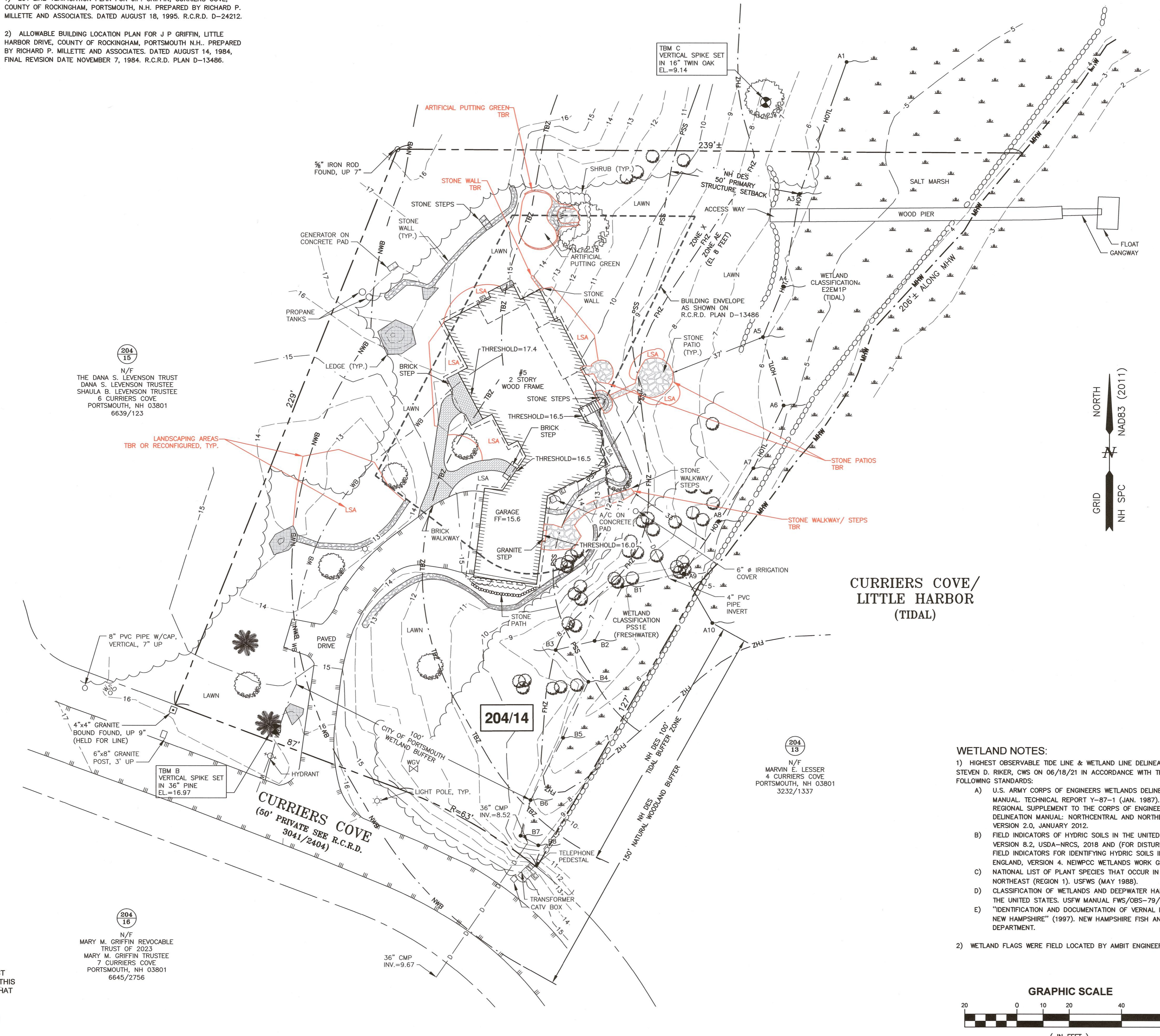
EXISTING	DESCRIPTION
N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCRD	ROCKINGHAM COUNTY REGISTER OF DEEDS
17/27	MAP 11 / LOT 21
---	BOUNDARY
- - -	SETBACK
○	RAILROAD SPIKE FOUND
○	IRON ROD/PIPE FOUND
○	DRILL HOLE FOUND
○	STONE/CONCRETE BOUND FOUND
○	RAILROAD SPIKE SET
○	IRON ROD SET
○	DRILL HOLE SET
○	GRANITE BOUND SET
S	SEWER LINE
G	GAS LINE
D	STORM DRAIN
W	WATER LINE
---	UNDERGROUND ELECTRIC
---	OVERHEAD ELECTRIC/WIRES
---	CONTOUR
---	SPOT ELEVATION
---	EDGE OF PAVEMENT (EP)
---	WOODS / TREE LINE
○	UTILITY POLE (w/ GUY)
○	GAS SHUT OFF
○	WATER SHUT OFF/CURB STOP
○	GATE VALVE
○	HYDRANT
○	METER (GAS, WATER, ELECTRIC)
○	CATCH BASIN
○	TELEPHONE MANHOLE
○	SEWER MANHOLE
○	DRAIN MANHOLE
○	AIR CONDITIONER UNIT
○	SIGNS
EL	ELEVATION
EP	EDGE OF PAVEMENT
F.F.	FINISHED FLOOR
INV.	INVERT
TBM	TEMPORARY BENCHMARK
TYP.	TYPICAL
VGC/SGC	VERTICAL/SLOPED GRANITE CURB
LSA	LANDSCAPED AREA

PLAN REFERENCE:

- 1) LOT LINE VERIFICATION PLAN FOR J.P. GRIFFIN, CURRIERS COVE, COUNTY OF ROCKINGHAM, PORTSMOUTH, N.H. PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES. DATED AUGUST 18, 1995. R.C.R.D. D-24212.
- 2) ALLOWABLE BUILDING LOCATION PLAN FOR J.P. GRIFFIN, LITTLE HARBOR DRIVE, COUNTY OF ROCKINGHAM, PORTSMOUTH N.H. PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES. DATED AUGUST 14, 1984. FINAL REVISION DATE NOVEMBER 7, 1984. R.C.R.D. PLAN D-13486.

IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)

STRUCTURE	EXISTING IMPERVIOUS (S.F.)
MAIN STRUCTURE	3727
WALKS/PATIOS	894
PAVEMENT	1889
UTILITY PADS	23
RETAINING WALLS	636
ACCESS WAY (TO HOTEL)	49
STEPS/PORCHES	216
LEDGE	254
TOTAL	7,688
LOT SIZE	49,418
% LOT COVERAGE	15.6%



- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 204 AS LOT 14.
 - 2) OWNERS OF RECORD: SCOTT GEORGE MIGLIORI & JILL LIBBY MIGLIORI, 5 CURRIERS COVE, PORTSMOUTH, NH 03801, 6134/2679, D-24212 (LOT 5)
 - 3) PARCEL IS PARTIALLY IN A SPECIAL FLOOD HAZARD AREA ZONE AE (EL.8) AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE DATE JANUARY 29, 2021.
 - 4) EXISTING LOT AREA: (PER REF. PLAN 1) 49,418± S.F. 1.1± ACRES
 - 5) PARCEL IS LOCATED IN THE SINGLE RESIDENCE A (SRA) ZONING DISTRICT.
 - 6) DIMENSIONAL REQUIREMENTS:

MIN. LOT AREA:	1 ACRE
FRONTAGE:	150 FEET
MIN. DEPTH:	200 FEET
SETBACKS:	FRONT SIDE REAR
	30 FEET 20 FEET 40 FEET
MAXIMUM STRUCTURE HEIGHT:	35 FEET
MAXIMUM BUILDING COVERAGE:	50%
MINIMUM OPEN SPACE:	
 - 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
 - 9) THE SUBJECT PARCEL IS ENTIRELY WITHIN THE NH DES 250' PROTECTED SHORELAND.
 - 10) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON ASSESSOR'S MAP 204 LOT 14 IN THE CITY OF PORTSMOUTH.
 - 11) BOUNDARY LINES SHOWN HEREON ARE BASED SOLELY FROM PLAN REFERENCE 1. EASEMENTS, RIGHTS OF OTHERS, ETC., HAVE NOT BEEN RESEARCHED OR NOTED HEREON.
 - 12) PARCEL IS SUBJECT TO COVENANTS & RESTRICTIONS IN R.C.R.D. 2556/2949.
 - 13) THIS IS AN ABOVE THE GROUND SURVEY. THE UNDERGROUND UTILITIES, IF SHOWN, ARE BASED UPON BEST AVAILABLE EVIDENCE AND SURFACE FEATURES VISIBLE AT THE TIME OF THE SURVEY. THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN ON THIS PLAN. IT IS RECOMMENDED THAT THE FIELD VERIFICATION OF THE TRUE LOCATION OF ANY UNDERGROUND UTILITIES IS PERFORMED PRIOR TO ANY EXCAVATION.

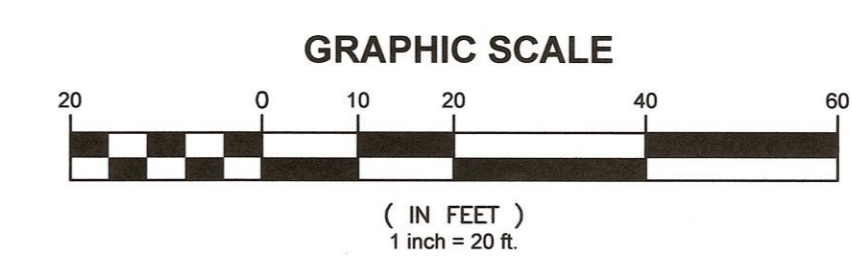
- WETLAND NOTES:**
- 1) HIGHEST OBSERVABLE TIDE LINE & WETLAND LINE DELINEATED BY STEVEN D. RIKER, CWS ON 06/18/21 IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
 - A) U.S. ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 (JAN. 1987), AND REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012.
 - B) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 8.2, USDA-NRCS, 2018 AND (FOR DISTURBED SITES) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4. NEWPPCC WETLANDS WORK GROUP (2019).
 - C) NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: NORTHEAST (REGION 1). USFWS (MAY 1988).
 - D) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. USFW MANUAL FWS/OBS-79/31 (1997).
 - E) "IDENTIFICATION AND DOCUMENTATION OF VERNAL POOLS IN NEW HAMPSHIRE" (1997). NEW HAMPSHIRE FISH AND GAME DEPARTMENT.
 - 2) WETLAND FLAGS WERE FIELD LOCATED BY AMBIT ENGINEERING, INC.

I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

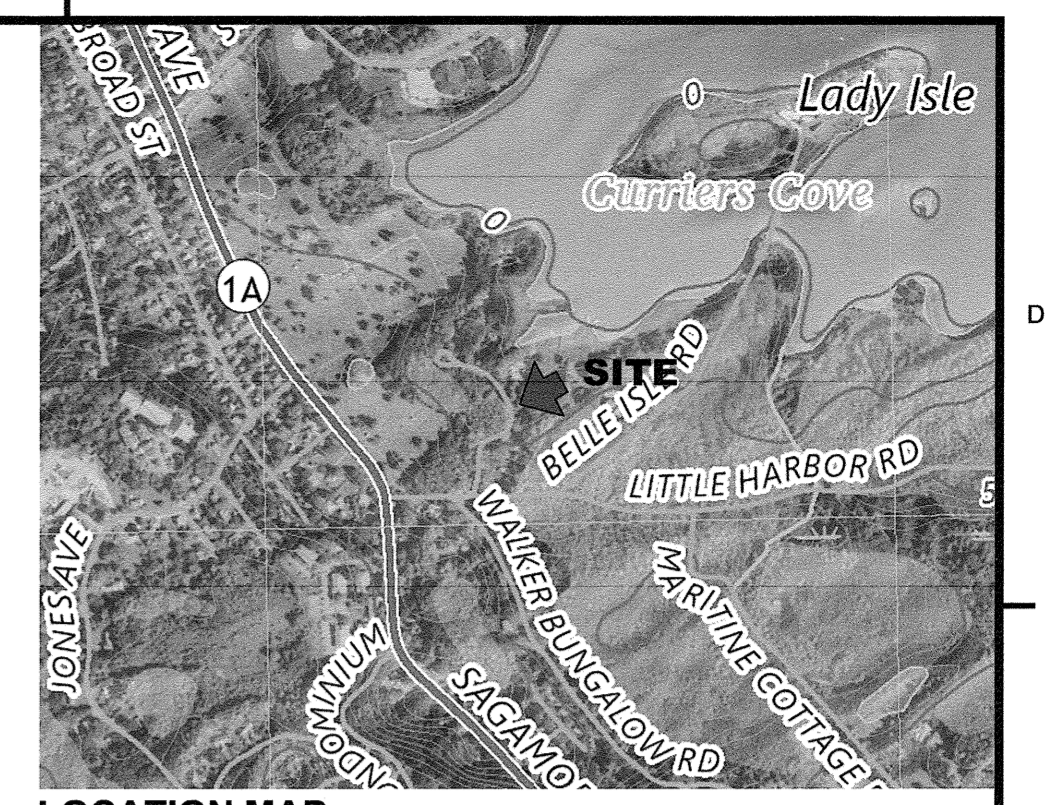
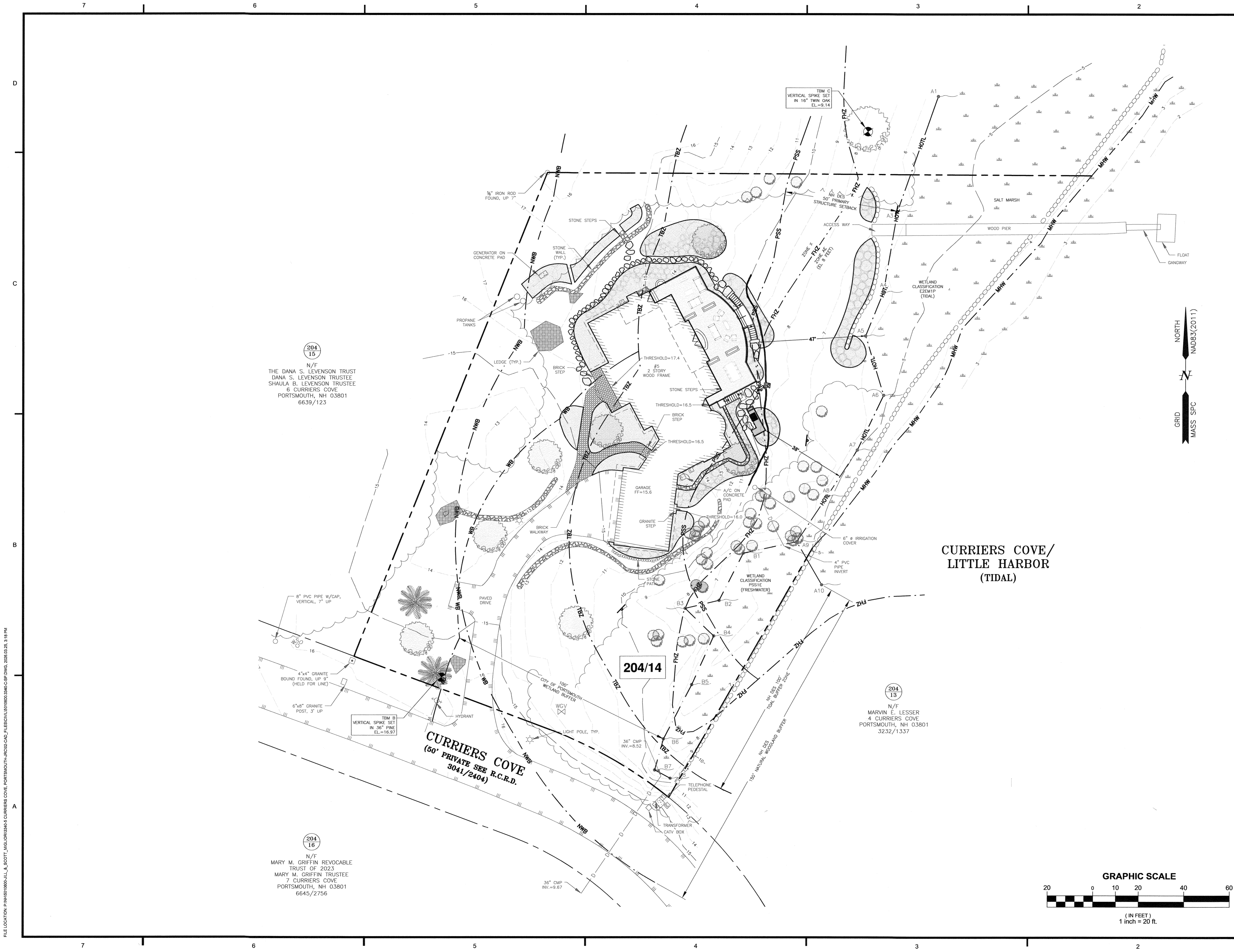
JRC 11.4.25

JOHN R. CHAGNON, LLS 738 DATE

MARY M. GRIFFIN REVOCABLE TRUST OF 2023
 MARY M. GRIFFIN TRUSTEE
 7 CURRIERS COVE
 PORTSMOUTH, NH 03801
 6645/2756



1	11/4/25	ISSUED FOR COMMENT	RJB	JRC
REV.	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				
SITE SURVEY				
HALEY WARD ENGINEERING ENVIRONMENTAL SURVEYING 200 Griffin Road, Unit 14 Portsmouth, NH 03801 603-430-9282 WWW.HALEYWARD.COM				
PROJECT				
MIGLIORI RESIDENCE 5 CURRIERS COVE, PORTSMOUTH, NH				
TITLE				
EXISTING CONDITIONS & DEMOLITION PLAN				
DATE	NOVEMBER 2025	SCALE	1"=20'	
DRAWN BY	RJB	DESIGNED BY	CHECKED BY JRC	
PROJECT No.	5010600.3340	FIELD BOOK / PAGE	FB 385 PG 26	
DRAWING No.			V101	0



LOCATION MAP: USGS QUADRANGLE: PORTSMOUTH
 SCALE: 1"=2000'
 MAPTECH® USGS TOPOGRAPHIC SERIES™
 ©MAPTECH®, INC. 978-933-3000
 WWW.MAPTECH.COM/TOPO

- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 204 AS LOT 14.
 - 2) OWNERS OF RECORD:
 SCOTT GEORGE MIGLIORI &
 JILL LIBBY MIGLIORI
 5 CURRIERS COVE
 PORTSMOUTH, NH 03801
 6134/2679
 D-24212 (LOT 5)
 - 3) PARCEL IS PARTIALLY IN A SPECIAL FLOOD HAZARD AREA ZONE AE (EL.8) AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE DATE JANUARY 29, 2021.
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 1.1± ACRES
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 - 6) DIMENSIONAL REQUIREMENTS:

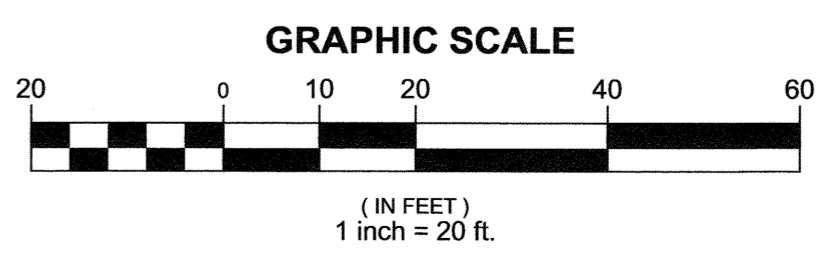
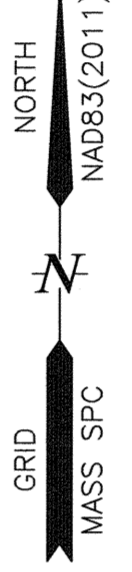
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SETBACKS:	FRONT 30 FEET
	SIDE 20 FEET
	REAR 40 FEET
MAXIMUM STRUCTURE HEIGHT:	35 FEET
MAXIMUM BUILDING COVERAGE:	10%
MINIMUM OPEN SPACE:	50%
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 - 11) PARCEL IS SUBJECT TO COVENANTS & RESTRICTIONS IN R.C.R.D. 2556/2949.

204
15
N/F
 THE DANA S. LEVENSON TRUST
 DANA S. LEVENSON TRUSTEE
 SHAULA B. LEVENSON TRUSTEE
 6 CURRIERS COVE
 PORTSMOUTH, NH 03801
 6639/123

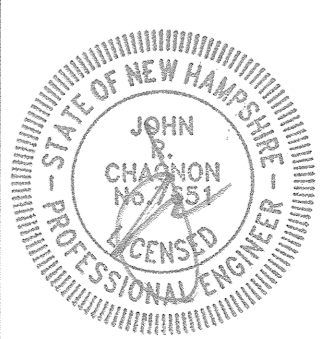
204
13
N/F
 MARVIN E. LESSER
 4 CURRIERS COVE
 PORTSMOUTH, NH 03801
 3232/1337

204
16
N/F
 MARY M. GRIFFIN REVOCABLE
 TRUST OF 2023
 MARY M. GRIFFIN TRUSTEE
 7 CURRIERS COVE
 PORTSMOUTH, NH 03801
 6645/2756

**CURRIERS COVE/
 LITTLE HARBOR
 (TIDAL)**



0	3/25/26	ISSUED FOR COMMENT	CBA	JRC
REV	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				
ISSUED FOR PERMITTING				
		HALEY WARD 200 Griffin Rd. Unit 14 Portsmouth, NH 03801 603.430.9282 WWW.HALEYWARD.COM		
PROJECT				
MIGLIORI RESIDENCE 5 CURRIERS COVE PORTSMOUTH, NEW HAMPSHIRE				
TITLE				
GRADING PLAN				
DATE		SCALE		
MARCH 2026		1" = 20'		
DRAWN BY	DESIGNED BY	CHECKED BY		
CBA	JRC	JRC		
PROJECT No.	FIELD BOOK AND PAGE			
5010600.3340	FB 385 PG 26			
DRAWING No.	REV.			
C102				0



FILE LOCATION: P:\NH\010000-ILL & SCOTT\JMG\03030605 CURRIERS COVE\PORTSMOUTH\RC\26\2026\2026.03.26_3119.PLA

IMPACT AREAS
(WITHIN 250' SWQPA ZONE)

ZONE	PERMANENT IMPACT (SF)	TEMPORARY IMPACT (SF)
50' PRIMARY STRUCTURE	94	2,938
100' TIDAL BUFFER	1,305	2,367
250' PROTECTED SHORELAND	124	2,116
TOTAL	1,523	4,483

NATURAL WOODLAND CALCULATIONS
(WITHIN LOT PERIMETER)

DESCRIPTION	AREA (S.F.)
UNALTERED NW AREA	12,890
NWB TOTAL AREA	26,726
25% OF TOTAL NWB	6,682
DESIGNATED NW TO REMAIN	6,682

*NW - NATURAL WOODLAND
*NWB - NATURAL WOODLAND BUFFER
*AREA [PER RSA 483-B:9, V(b)(2)(A)]



LOCATION MAP: USGS QUADRANGLE: PORTSMOUTH
SCALE: 1"=2000'
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- NOTES:**
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JILL LIBBY MIGLIORI
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PORTSMOUTH, NH 03801
6134/2679
D-24212 (LOT 5)
 - 3) PARCEL IS PARTIALLY IN A SPECIAL FLOOD HAZARD AREA ZONE AE (EL.8) AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE DATE JANUARY 29, 2021.
 - 4) EXISTING LOT AREA: (PER REF. PLAN 1)
49,418± S.F.
1.1± ACRES
 - 5) PARCEL IS LOCATED IN THE SINGLE RESIDENCE A (SRA) ZONING DISTRICT.
 - 6) DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA: 1 ACRE
FRONTAGE: 150 FEET
MIN. DEPTH: 200 FEET
SETBACKS: FRONT 30 FEET, SIDE 20 FEET, REAR 40 FEET
MAXIMUM STRUCTURE HEIGHT: 35 FEET
MAXIMUM BUILDING COVERAGE: 10%
MINIMUM OPEN SPACE: 50%
 - 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
 - 9) THE SUBJECT PARCEL IS ENTIRELY WITHIN THE NH DES 250' PROTECTED SHORELAND.
 - 10) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED STRUCTURES ON ASSESSOR'S MAP 204 LOT 14 IN THE CITY OF PORTSMOUTH.
 - 11) PARCEL IS SUBJECT TO COVENANTS & RESTRICTIONS IN R.C.R.D. 2556/2949.



**CURRIERS COVE/
LITTLE HARBOR
(TIDAL)**

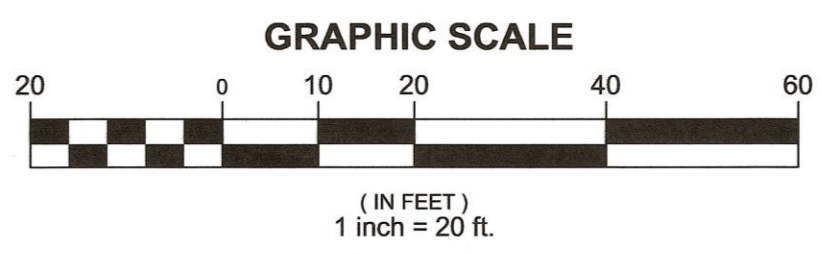
WETLAND NOTES:

- 1) HIGHEST OBSERVABLE TIDE LINE & WETLAND LINE DELINEATED BY STEVEN D. RIKER, CWS ON 06/18/21 IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
 - A) U.S. ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 (JAN. 1987), AND REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012.
 - B) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 8.2, USDA-NRCS, 2018 AND (FOR DISTURBED SITES) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4. NEWIPCC WETLANDS WORK GROUP (2019).
 - C) NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: NORTHEAST (REGION 1), USFWS (MAY 1988).
 - D) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. USFW MANUAL FWS/OBS-79/31 (1997).
 - E) "IDENTIFICATION AND DOCUMENTATION OF VERNAL POOLS IN NEW HAMPSHIRE" (1997). NEW HAMPSHIRE FISH AND GAME DEPARTMENT.
- 2) WETLAND FLAGS WERE FIELD LOCATED BY AMBIT ENGINEERING, INC.

204/15
N/F
THE DANA S. LEVENSON TRUST
DANA S. LEVENSON TRUSTEE
SHAULA B. LEVENSON TRUSTEE
6 CURRIERS COVE
PORTSMOUTH, NH 03801
6639/123

204/16
N/F
MARY M. GRIFFIN REVOCABLE TRUST OF 2023
MARY M. GRIFFIN TRUSTEE
7 CURRIERS COVE
PORTSMOUTH, NH 03801
6645/2756

204/13
N/F
MARVIN E. LESSER
4 CURRIERS COVE
PORTSMOUTH, NH 03801
3232/1337



0	3/25/26	ISSUED FOR COMMENT	CBA	JRC
REV	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				
ISSUED FOR PERMITTING				
		HALEY WARD		
		200 Griffin Rd. Unit 14 Portsmouth, NH 03801 603.430.9282		
PROJECT				
MIGLIORI RESIDENCE 5 CURRIERS COVE PORTSMOUTH, NEW HAMPSHIRE				
TITLE				
NHDES PERMIT PLAN				
DATE		SCALE		
MARCH 2026		1" = 20'		
DRAWN BY	DESIGNED BY	CHECKED BY		
CBA	JRC	JRC		
PROJECT No.	FIELD BOOK AND PAGE			
5010600.3340	FB 385 PG 26			
DRAWING No.		REV.		
C104		0		

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EROSION CONTROL NOTES

CONSTRUCTION SEQUENCE

DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

IF REQUIRED THE CONTRACTOR SHALL OBTAIN AN NPDES PHASE II STORMWATER PERMIT AND SUBMIT A NOTICE OF INTENT (N.O.I) BEFORE BEGINNING CONSTRUCTION AND SHALL HAVE ON SITE A STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.) AVAILABLE FOR INSPECTION BY THE PERMITTING AUTHORITY DURING THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARRYING OUT THE S.W.P.P. AND INSPECTING AND MAINTAINING ALL BMP'S CALLED FOR BY THE PLAN. THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION (N.O.T.) FORM TO THE REGIONAL EPA OFFICE WITHIN 30 DAYS OF FINAL STABILIZATION OF THE ENTIRE SITE OR TURNING OVER CONTROL OF THE SITE TO ANOTHER OPERATOR.

INSTALL PERIMETER CONTROLS, I.E., SILT/SOXX AROUND THE LIMITS OF DISTURBANCE BEFORE ANY EARTH MOVING OPERATIONS. THE USE OF HAYBALES IS NOT ALLOWED.

CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE.

CUT AND GRUB ALL TREES, SHRUBS, SAPLINGS, BRUSH, VINES AND REMOVE OTHER DEBRIS AND RUBBISH AS REQUIRED.

PERFORM DEMOLITION.

BULLDOZE TOPSOIL INTO STOCKPILES, AND CIRCLE WITH SILT FENCING OR SILT/SOXX. IF EROSION IS EXCESSIVE, THEN COVER WITH MULCH.

INSTALL DECK AND STAIRS

CONSTRUCT SITE IMPROVEMENTS

FINISH ALL REMAINING LANDSCAPED WORK.

REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

GENERAL CONSTRUCTION NOTES

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" OF THE NHDOT, AND "STORM WATER MANAGEMENT AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE". THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR MORE THAN 45 DAYS.

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

DUST CONTROL: IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING, DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

SILT FENCES AND SILT/SOXX SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILT FENCES AND SILT/SOXX SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.

AVOID THE USE OF FUTURE OPEN SPACES (LOAM AND SEED AREAS) WHEREVER POSSIBLE DURING CONSTRUCTION. CONSTRUCTION TRAFFIC SHALL USE THE ROADBEDS OF FUTURE ACCESS DRIVES AND PARKING AREAS.

ADDITIONAL TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS—CONSTRUCT SILT FENCE OR SILT/SOXX AROUND TOPSOIL STOCKPILE.

AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL. STUMPS SHALL BE DISPOSED OF IN AN APPROVED FACILITY.

ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.

ALL NON-STRUCTURAL, SITE-FILL SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED.

FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL, TRASH, WOODY DEBRIS, LEAVES, BRUSH OR ANY DELETERIOUS MATTER SHALL NOT BE INCORPORATED INTO FILLS.

FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.

DURING CONSTRUCTION AND UNTIL ALL DEVELOPED AREAS ARE FULLY STABILIZED, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH ONE HALF INCH OF RAINFALL.

THE CONTRACTOR SHALL MODIFY OR ADD EROSION CONTROL MEASURES AS NECESSARY TO ACCOMMODATE PROJECT CONSTRUCTION.

ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL CUT AND FILL SLOPES SHALL BE SEED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED ON AREAS TO BE PAVED
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
 - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED
 - EROSION CONTROL BLANKETS HAVE BEEN INSTALLED

VEGETATIVE PRACTICE

FOR PERMANENT MEASURES AND PLANTINGS:
 APPLY NOFA STANDARDS

SEED SHALL BE SOWN AT THE RATES SHOWN IN THE TABLE BELOW. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE, AND SHALL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.

THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED SHALL BE RESEEDED, AND ALL NOXIOUS WEEDS REMOVED.

A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE:

SEED WITH BUFFER PLANTING FROM PIERSON NURSERIES (207) 499-2994

FOR TEMPORARY PROTECTION OF DISTURBED AREAS:
 MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:
 PERENNIAL RYE: 0.7 LBS/1,000 S.F.
 MULCH: 1.5 TONS/ACRE

MAINTENANCE AND PROTECTION

THE CONTRACTOR SHALL MAINTAIN ALL LOAM & SEED AREAS UNTIL FINAL ACCEPTANCE AT THE COMPLETION OF THE CONTRACT. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REMOVAL OF STONES AND OTHER FOREIGN OBJECTS OVER 1/2 INCHES IN DIAMETER WHICH MAY APPEAR AND THE FIRST TWO (2) CUTTINGS OF GRASS NO CLOSER THEN TEN (10) DAYS APART. THE FIRST CUTTING SHALL BE ACCOMPLISHED WHEN THE GRASS IS FROM 2 1/2 TO 3 INCHES HIGH. ALL BARE AND DEAD SPOTS WHICH BECOME APPARENT SHALL BE PROPERLY PREPARED, LIMED AND FERTILIZED, AND RESEEDED BY THE CONTRACTOR AT HIS EXPENSE AS MANY TIMES AS NECESSARY TO SECURE GOOD GROWTH. THE ENTIRE AREA SHALL BE MAINTAINED, WATERED AND CUT UNTIL ACCEPTANCE OF THE LAWN BY THE OWNER'S REPRESENTATIVE.

THE CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PROTECT THE GRASS WHILE IT IS DEVELOPING.

TO BE ACCEPTABLE, SEEDED AREAS SHALL CONSIST OF A UNIFORM STAND OF AT LEAST 90 PERCENT ESTABLISHED PERMANENT GRASS SPECIES, WITH UNIFORM COUNT OF AT LEAST 100 PLANTS PER SQUARE FOOT.

SEEDED AREAS WILL BE FERTILIZED AND RESEEDED AS NECESSARY TO INSURE VEGETATIVE ESTABLISHMENT.

THE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATION IS ESTABLISHED.

THE SILT FENCE OR SILT/SOXX BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

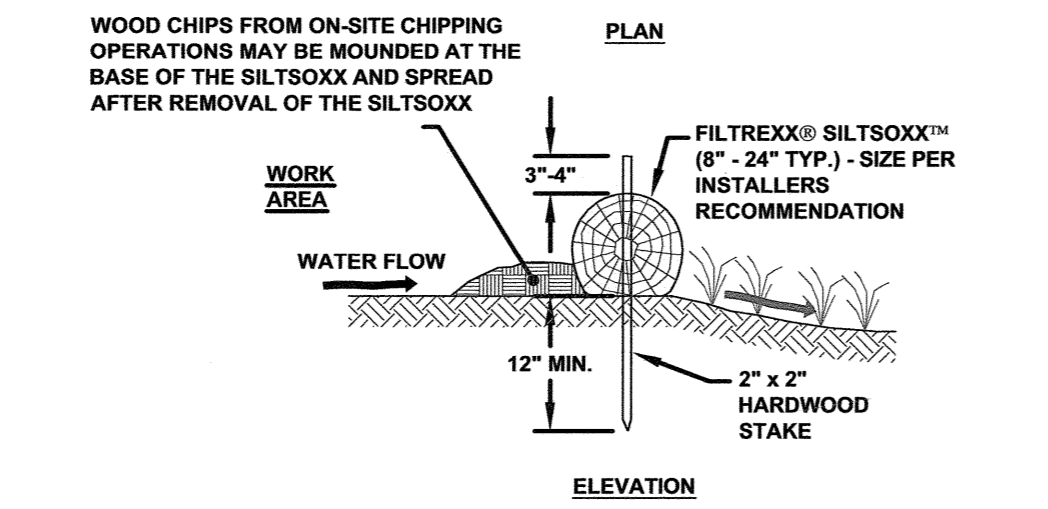
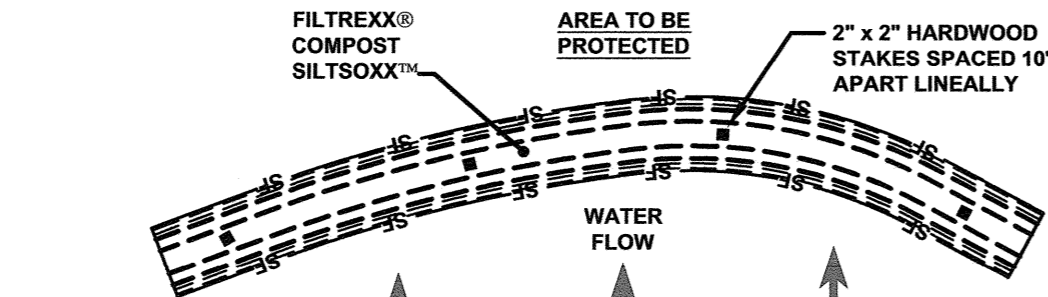
SILT FENCING AND SILT/SOXX SHALL BE REMOVED ONCE VEGETATION IS ESTABLISHED, AND DISTURBED AREAS RESULTING FROM SILT FENCE AND SILT/SOXX REMOVAL SHALL BE PERMANENTLY SEEDED.

WINTER NOTES

ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

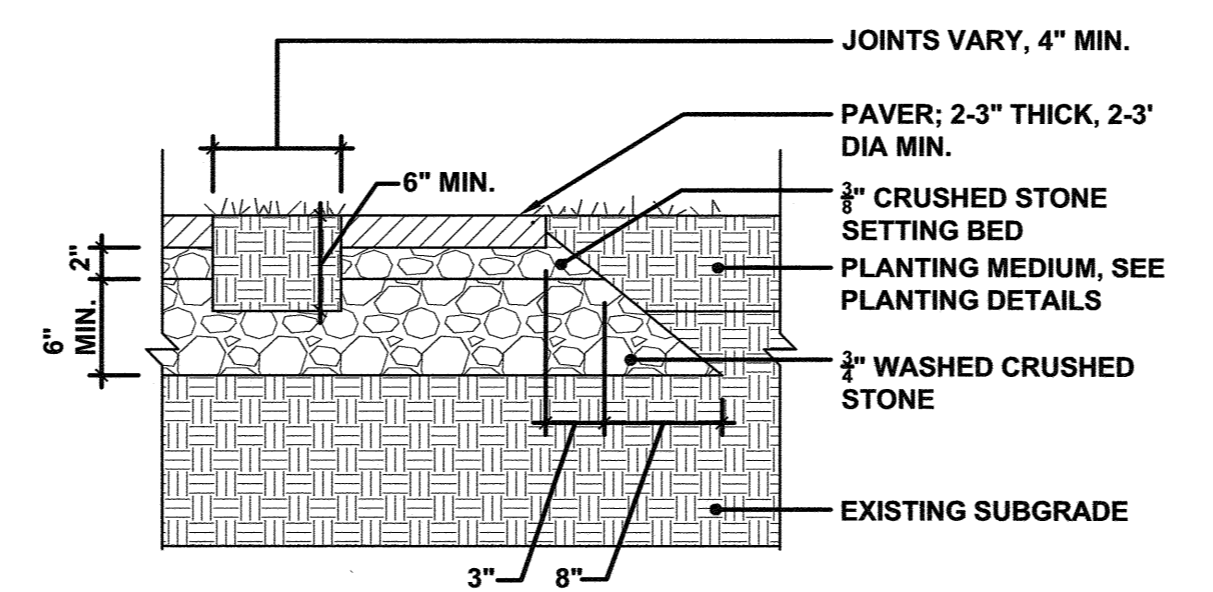
ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.

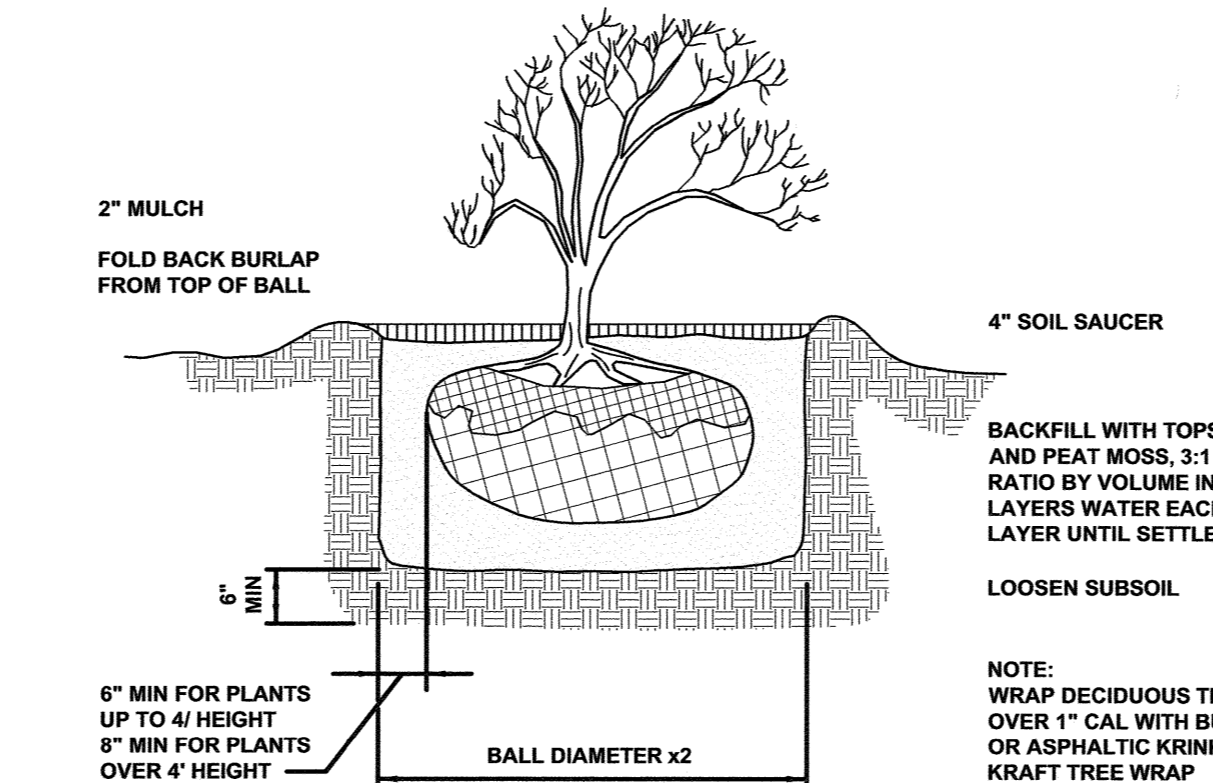


- NOTES:**
1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
 2. FILTREXX SYSTEM SHALL BE INSTALLED BY A CERTIFIED FILTREXX INSTALLER.
 3. THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTRATION SYSTEM IN A FUNCTIONAL CONDITION AT ALL TIMES. IT WILL BE ROUTINELY INSPECTED AND REPAIRED WHEN REQUIRED.
 4. SILT/SOXX DEPICTED IS FOR MINIMUM SLOPES, GREATER SLOPES MAY REQUIRE ADDITIONAL PLACEMENTS.
 5. THE COMPOST FILTER MATERIAL WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER.

A FILTREXX® SILT/SOXX™ DETAIL
 C102 N.T.S.



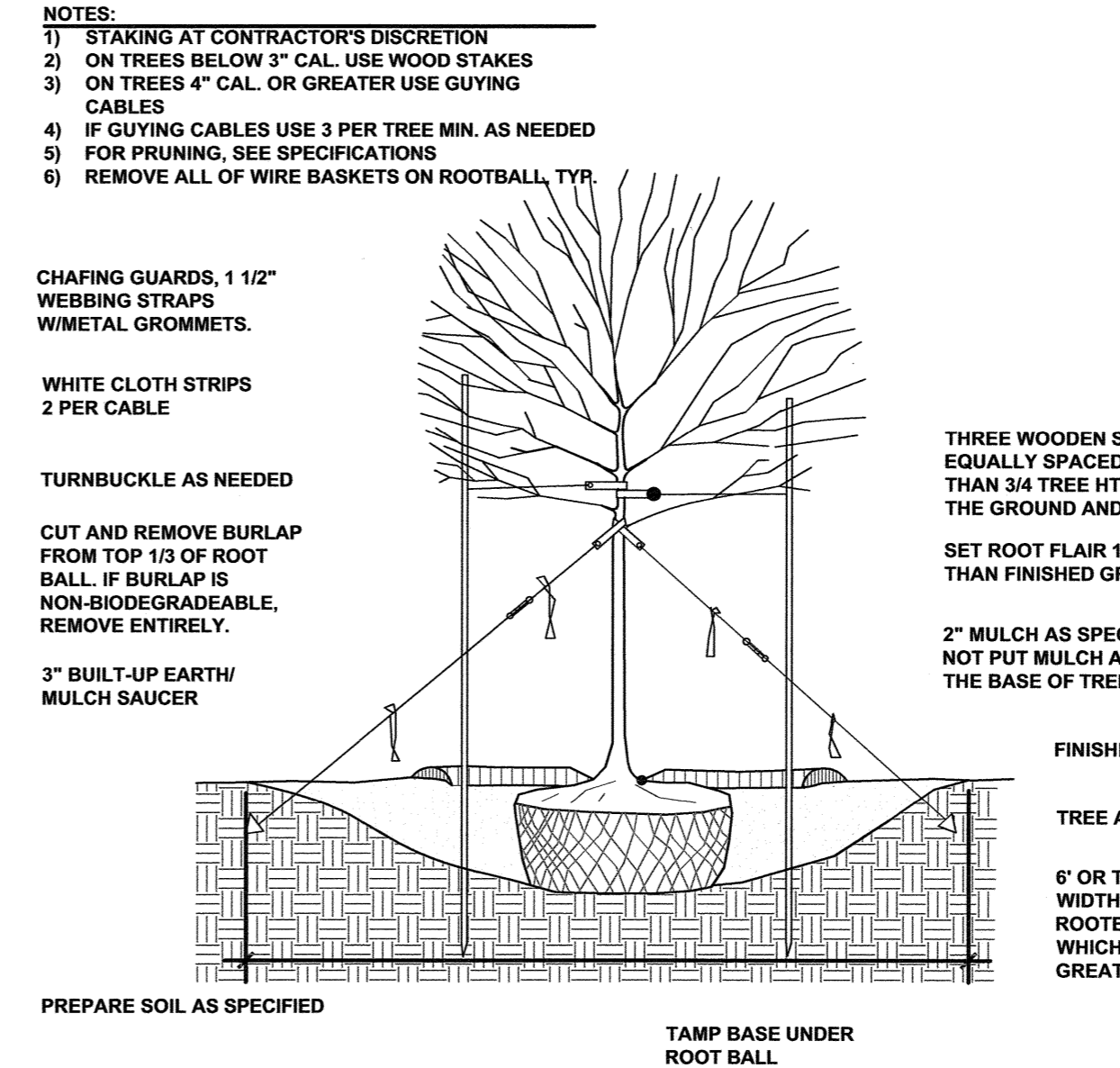
B STONE STEPPERS IN LAWN DETAIL
 C101 NTS



D SHRUB PLANTING DETAIL
 C103 NTS



C WETLAND BUFFER SIGN
 C101 NTS



E TREE PLANTING DETAIL
 C103 SCALE: NTS

- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
 - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

0	3/19/26	ISSUED FOR COMMENT	CBA	JRC
REV	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				
ISSUED FOR PERMITTING				
		HALEY WARD		
		200 Griffin Rd. Unit 14 Portsmouth, NH 03801 603.430.9282		
PROJECT				
MIGLIORI RESIDENCE 5 CURRIERS COVE PORTSMOUTH, NEW HAMPSHIRE				
TITLE				
SITE DETAILS				
DATE		SCALE		
MARCH 2026		AS NOTED		
DRAWN BY	DESIGNED BY	CHECKED BY		
CBA	JRC	JRC		
PROJECT No.	FIELD BOOK AND PAGE			
5010600.3340	FB 385 PG 26			
DRAWING No.	REV.			
C501			0	

FILE LOCATION: P:\NH030800\JILL_Scott\INGLORIS3403 CURRIERS COVE PORTSMOUTH\PROJECT\CADD_FILES\DWG\01\000033403.CAD (COT.DWG), 2026.03.26, 2:37 PM



STANDARD DREDGE AND FILL WETLANDS PERMIT APPLICATION



Water Division / Land Resources Management Program /
Wetlands Bureau

[Check the status of your application](#)

RSA/Rule: RSA 482-A/Env-Wt 100-900

Applicant name:		Town name:	
<i>Administrative Use Only</i>	<i>File number:</i>	<i>Initials:</i>	
	<i>Check number:</i>	<i>Amount:</i>	

A person may request a waiver of the requirements in Rules Env-Wt 100-900 to accommodate situations where strict adherence to the requirements would not be in the best interest of the public or the environment but is still in compliance with RSA 482-A. A person may also request a waiver of the standards for existing dwellings over water pursuant to RSA 482-A:26, III(b). For more information, please consult the [Waiver Request Form](#).

SECTION 1 - REQUIRED PLANNING FOR ALL PROJECTS (Env-Wt 306.05; RSA 482-A:3, I(d)(2))	
<i>Please use the Land Resources Management Permit Planning Tool (LRMPPT), the DataCheck Tool, the Stream Crossing Initiative Data Viewer or other sources to assist in identifying key features such as Priority Resource Areas (PRAs), protected species or habitats, coastal areas, designated rivers or designated prime wetlands.</i>	
Has the required planning been completed?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Does the property contain a PRA? If yes, provide the following information:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Does the project qualify for an Impact Classification Adjustment (such as an agreement from the NHDES Ecological Review Section for a classification downgrade) or a Project-Type Exception (such as a Maintenance or Statutory Permit-by-Notification (SPN) project)? See Env-Wt 407.02 and Env-Wt 407.04.	<input type="checkbox"/> Yes <input type="checkbox"/> No
Protected species or habitat?	<input type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> • If yes, species or habitat name(s): • DataCheck project ID number: 	
Bog?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Floodplain wetland contiguous to a tier 3 or higher watercourse?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Designated prime wetland or duly-established 100-foot buffer?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Sand dune, tidal wetland, tidal water, or undeveloped tidal buffer zone?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is the property within a Designated River corridor? If yes, provide the following information:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> • Name of Local River Management Advisory Committee (LAC): • A copy of the application was sent to the LAC on (mm/dd/yyyy): 	
For dredging projects, is the subject property contaminated?	<input type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> • If yes, list contaminant: 	
Is there potential to impact impaired waters, Class A waters or Outstanding Resource Waters?	<input type="checkbox"/> Yes <input type="checkbox"/> No
For stream crossing projects, provide watershed size (see LRMPPT or Stream Stats):	

SECTION 2 - PROJECT DESCRIPTION (Env-Wt 311.04(i))			
<i>Provide a description of the project and the purpose of the project, the need for the proposed impacts to jurisdictional areas, an outline of the scope of work to be performed, and whether impacts are temporary or permanent.</i>			
<p>The proposed project is the construction of a deck, walking paths, grill area, site regrading, and landscaping. The project involves 1,523 SF of permanent impacts and 7,421 SF of temporary impacts to the shoreland zone, of which 94 SF of permanent impacts and 2,938 square feet of temporary impacts are within the waterfront buffer. 1,399 SF of permanent impacts and 5,305 SF of temporary impacts are proposed within the TBZ and 100' Prime Wetland Buffer. A waiver is requested for these impacts and is included in the application.</p>			
SECTION 3 - PROJECT LOCATION			
<i>Separate wetland permit applications must be submitted for each municipality within which wetland impacts occur.</i>			
Address:			
Town or city:			
Tax map/block/lot/unit:			
U.S. Geological Survey (USGS) topo map waterbody name: <input type="checkbox"/> n/a			
(Optional) Latitude / longitude in decimal degrees (to five decimal places):			
SECTION 4 - APPLICANT (DESIRED PERMIT HOLDER) INFORMATION (Env-Wt 311.04(a))			
<i>If the applicant is a trust or a company, then complete with the trust or company information.</i>			
Name:			
Mailing address:			
Town or city:			State:
			ZIP:
Email address:		Phone:	
Electronic communication: By initialing here, I hereby authorize NHDES to communicate all matters relative to this application electronically:			
SECTION 5 - AUTHORIZED AGENT INFORMATION (Env-Wt 311.04(c)) <input type="checkbox"/> N/A			
Last name, first name, middle initial:			
Company name:			
Mailing address:			
Town or city:			State:
			ZIP:
Email address:		Phone:	
Electronic communication: By initialing here, I hereby authorize NHDES to communicate all matters relative to this application electronically:			

SECTION 6 - PROPERTY OWNER INFORMATION (IF DIFFERENT THAN APPLICANT) (Env-Wt 311.04(b))			
<i>If the owner is a trust or a company, then complete with the trust or company information.</i> <input type="checkbox"/> Same as applicant			
Name:			
Mailing address:			
Town or city:		State:	ZIP:
Email address:		Phone:	
Electronic communication: By initialing here, I hereby authorize NHDES to communicate all matters relative to this application electronically:			
SECTION 7 - RESOURCE-SPECIFIC CRITERIA ESTABLISHED IN Env-Wt 400, Env-Wt 500, Env-Wt 600, Env-Wt 700, OR Env-Wt 900 HAVE BEEN MET (Env-Wt 313.01(a)(3))			
Describe how the resource-specific criteria have been met for each chapter listed above (please attach information about stream crossings, coastal resources, prime wetlands, or non-tidal wetlands and surface waters):			
SECTION 8 - AVOIDANCE AND MINIMIZATION			
Impacts within wetland jurisdiction must be avoided to the maximum extent practicable (Env-Wt 313.03(a)).* Any project with unavoidable jurisdictional impacts must then be minimized as described in the Wetlands Best Management Practice Techniques For Avoidance and Minimization and the Wetlands Permitting: Avoidance, Minimization and Mitigation fact sheet. For minor or major projects, a functional assessment of all wetlands on the project site is required (Env-Wt 311.03(b)(10)).*			
Please refer to the application checklist to ensure you have attached all documents related to avoidance and minimization, as well as functional assessment (where applicable). Use the Avoidance and Minimization Checklist , the Avoidance and Minimization Narrative , or your own avoidance and minimization narrative.			
*See Env-Wt 311.03(b)(6) and Env-Wt 311.03(b)(10) for shoreline structure exemptions.			
SECTION 9 - MITIGATION REQUIREMENT (Env-Wt 311.02)			
<i>If unavoidable jurisdictional impacts require mitigation, a mitigation pre-application meeting must occur at least 30 days but not more than 90 days prior to submitting this Standard Dredge and Fill Permit Application.</i>			
Mitigation pre-application meeting date (mm-dd-yyyy):		<input type="checkbox"/> N/A - Mitigation is not required.	
SECTION 10 - THE PROJECT MEETS COMPENSATORY MITIGATION REQUIREMENTS (ENV-WT 313.01(A)(1)C)			
<i>Confirm that you have submitted a compensatory mitigation proposal that meets the requirements of Env-Wt 800 for all permanent unavoidable impacts that will remain after avoidance and minimization techniques have been exercised to the maximum extent practicable</i>			
<input type="checkbox"/> I confirm submittal.		<input type="checkbox"/> N/A – Compensatory mitigation is not required)	

Prime Wetland waiver submitted with application

SECTION 11 - IMPACT AREA (Env-Wt 311.04(g))


For each jurisdictional area that will be or has been impacted, provide square feet (SF) and, if applicable, linear feet (LF) of impact, and note whether the impact is After-The-Fact (ATF; meaning work was started or completed without a permit).

For intermittent and ephemeral streams, linear feet of impact are measured along the thread of the channel. Please note, installation of a stream crossing in an ephemeral stream may be undertaken without a permit per Rule Env-Wt 309.02(d), however other dredge or fill impacts should be included below.

For perennial streams/ivers, linear feet of impact are calculated by summing the lengths of disturbances to the channel and banks.

Permanent (PERM) impacts are impacts that will remain after the project is complete (e.g., changes in grade or surface materials). Temporary (TEMP) impacts are impacts not intended to remain (and will be restored to pre-construction conditions) after the project is completed.

JURISDICTIONAL AREA		PERM. SF	PERM. LF	PERM. ATF	TEMP. SF	TEMP. LF	TEMP. ATF
Wetlands	Forested Wetland			<input type="checkbox"/>			<input type="checkbox"/>
	Scrub-shrub Wetland			<input type="checkbox"/>			<input type="checkbox"/>
	Emergent Wetland			<input type="checkbox"/>			<input type="checkbox"/>
	Wet Meadow			<input type="checkbox"/>			<input type="checkbox"/>
	Vernal Pool			<input type="checkbox"/>			<input type="checkbox"/>
	Designated Prime Wetland			<input type="checkbox"/>			<input type="checkbox"/>
	Duly-established 100-foot Prime Wetland Buffer			<input type="checkbox"/>			<input type="checkbox"/>
Surface Water	Intermittent / Ephemeral Stream			<input type="checkbox"/>			<input type="checkbox"/>
	Perennial Stream or River			<input type="checkbox"/>			<input type="checkbox"/>
	Lake / Pond			<input type="checkbox"/>			<input type="checkbox"/>
	Docking - Lake / Pond			<input type="checkbox"/>			<input type="checkbox"/>
	Docking - River			<input type="checkbox"/>			<input type="checkbox"/>
Banks	Bank - Intermittent Stream			<input type="checkbox"/>			<input type="checkbox"/>
	Bank - Perennial Stream / River			<input type="checkbox"/>			<input type="checkbox"/>
	Bank / Shoreline - Lake / Pond			<input type="checkbox"/>			<input type="checkbox"/>
Tidal	Tidal Waters			<input type="checkbox"/>			<input type="checkbox"/>
	Tidal Marsh			<input type="checkbox"/>			<input type="checkbox"/>
	Sand Dune			<input type="checkbox"/>			<input type="checkbox"/>
	Undeveloped Tidal Buffer Zone (TBZ)			<input type="checkbox"/>			<input type="checkbox"/>
	Previously-developed TBZ			<input type="checkbox"/>			<input type="checkbox"/>
	Docking - Tidal Water			<input type="checkbox"/>			<input type="checkbox"/>
TOTAL							

SECTION 12 - APPLICATION FEE (RSA 482-A:3, I)			
<input type="checkbox"/> Minimum impact: flat fee of \$600. <input type="checkbox"/> Non-enforcement related, publicly funded and supervised restoration projects, regardless of impact classification: flat fee of \$600 (refer to R2-A:3, 1(c) for restrictions). <input type="checkbox"/> Minor or major impact fee: calculate using the table below.			
Permanent and temporary (non-docking):	SF	× \$0.60 =	\$
Seasonal docking structure:	SF	× \$3.00 =	\$
Permanent docking structure:	SF	× \$6.00 =	\$
Projects proposing shoreline structures (including docks): add \$600.			\$
Total			\$
The application fee for minor or major impact is the above calculated total or \$600, whichever is greater.			\$
SECTION 13 - PROJECT CLASSIFICATION (Env-Wt 306.05) Indicate the project classification.			
<input type="checkbox"/> Minimum impact project		<input type="checkbox"/> Minor project	
		<input type="checkbox"/> Major project	
SECTION 14 - REQUIRED CERTIFICATIONS (Env-Wt 311.11) Initial each box below to certify.			
Initials:	To the best of the signer's knowledge and belief, all required notifications have been provided.		
Initials:	The information submitted on or with the application is true, complete, and not misleading to the best of the signer's knowledge and belief.		
Initials:	The signer understands that submission of false, incomplete, or misleading information constitutes grounds for NHDES to: <ol style="list-style-type: none"> 1. Deny the application. 2. Revoke any approval that is granted based on the information. 3. If the signer is a certified wetland scientist, licensed surveyor, or professional engineer licensed to practice in New Hampshire, refer the matter to the office of professional licensure and certification established by RSA 310. 		
Initials:	If the applicant is not the owner, each property owner's signature shall constitute certification by the signer that he or she is aware of the application being filed and does not object to the filing.		
SECTION 15 - REQUIRED SIGNATURES (Env-Wt 311.04(d); Env-Wt 311.11)			
Signature (owner):	Print name legibly:	Date:	
Signature (applicant, if different from owner):	Print name legibly:	Date:	
Signature (agent, if applicable):	Print name legibly:	Date:	
			

SECTION 16 - TOWN / CITY CLERK SIGNATURE (Env-Wt 311.04(f))	
As required by RSA 482-A:3, I(a)(1), I hereby certify that the applicant has provided a hard copy and a digital copy of a completed application form, with required attachments, to the town or city indicated below.	
Town or city clerk signature:	Print name legibly:
Town or city:	Date:

DIRECTIONS FOR TOWN OR CITY CLERK

1. Upon confirming receipt of one paper copy and one digital copy of this application, with its attachments, Immediately sign a copy of the application and return it to the applicant for submittal to the department.
2. Retain the hard copy for review by the public and immediately distribute a digital copy of the application package to each of the following bodies:
 - a. Local conservation commission.
 - b. Local governing body such as select board or town or city council.
 - c. Local planning board.

DIRECTIONS FOR APPLICANT

1. Bring one hard copy of the application and its attachments, and one digital copy of the same, to the municipal clerk(s) of the town(s) in which proposed jurisdictional impacts are located. Digital copies shall be in PDF format or other formats approved by NHDES.
2. Submit the copy of the complete application package signed by the municipal clerk(s) to NHDES.
3. State agency applicants may file simultaneously with NHDES and the municipal clerk.

Keep this checklist for your reference. Do not submit it with your application.

APPLICATION CHECKLIST

Unless specified, all items below are required. Failure to provide the required items will delay a decision on your project and may result in denial of your application. Please reference statute RSA 482-A and [Wetland Rules Env-Wt 100-900](#).

- Completed, dated, signed, and certified application (Env-Wt 311.03(b)(1)).
- Correct fee as determined in RSA 482-A:3, I(b) or (c), subject to any cap established by RSA 482-A:3, X (Env-Wt 311.03(b)(2)). If not filing electronically, make check or money order payable to "Treasurer – State of NH".
- Required planning actions required by Env-Wt 311.01(a)-(c) and Env-Wt 311.03(b)(3).
- [US Army Corps of Engineers \(ACE\) "Appendix B, New Hampshire General Permits \(GPs\), Required Information and Corps Secondary Impacts Checklist"](#) and its required attachments (Env-Wt 307.02). This includes the [US Fish and Wildlife Service IPAC review](#) and [Section 106 Historic/Archaeological Resource review](#).
- Project plans described in Env-Wt 311.05 (Env-Wt 311.03(b)(4)).
- Maps, or electronic shape files and meta data, and other attachments specified in Env-Wt 311.06 (Env-Wt 311.03(b)(5)).
- Explanation of the methods, timing and manner as to how the project will meet standard permit conditions required in Env-Wt 307 (Env-Wt 311.03(b)(7)).
- If applicable, the information regarding proposed compensatory mitigation specified in Env-Wt 311.08 and Chapter Env-Wt 800, unless not required under Env-Wt 313.04 (Env-Wt 311.03(b)(8); Env-Wt 311.08; Env-Wt 313.04).
- Any additional information specific to the type of resource as specified in Env-Wt 311.09 (Env-Wt 311.03(b)(9); Env-Wt 311.04(j)).
- Project specific information required by Env-Wt 500, Env-Wt 600, and Env-Wt 900 (Env-Wt 311.03(b)(11)).
- A list containing the name, mailing address and tax map/lot number of each abutter to the subject property (Env-Wt 311.03(b)(12)).
- Copies of certified postal receipts or other proof of receipt of the notices that are required by RSA 482-A:3, I(d) (Env-Wt 311.03(b)(13)).
- Project design considerations required by Env-Wt 313 (Env-Wt 311.04(j)).
- Town tax map showing the subject property, the location of the project on the property, and the location of properties of abutters with each lot labeled with the name and mailing address of the abutter (Env-Wt 311.06(a)).
- Dated and labeled color photographs that:
 - (1) Clearly depict:
 - a. All jurisdictional areas, including but not limited to portions of wetland, shoreline, or surface water where impacts have or are proposed to occur.
 - b. All existing shoreline structures.
 - (2) Are mounted or printed no more than two per sheet on 8.5 x 11-inch sheets (Env-Wt 311.06(b)).
- A copy of the appropriate US Geological Survey map or updated data based on LiDAR at a scale of one inch equals 2,000 feet showing the location of the subject property and proposed project (Env-Wt 311.06(c)).
- A narrative that describes the work sequence, including pre-construction through post-construction, and the relative timing and progression of all work (Env-Wt 311.06(d)).

irm@des.nh.gov or (603) 271-2147

29 Hazen Drive, PO Box 95, Concord, NH 03302-0095

des.nh.gov

- For all projects in the protected tidal zone, a copy of the recorded deed with book and page numbers for the property (Env-Wt 311.06(e)).
- If the applicant is not the owner in fee of the subject property, documentation of the applicant's legal interest in the subject property, provided that for utility projects in a utility corridor, such documentation may comprise a list that:
 - (1) Identifies the county registry of deeds and book and page numbers of all of the easements or other recorded instruments that provide the necessary legal interest.
 - (2) Has been certified as complete and accurate by a knowledgeable representative of the applicant (Env-Wt 311.06(f)).
- DataCheck results letter containing the DataCheck identification number from NHDES as well as documentation of any ecological review requests made to NHDES, communications and information related to the requested ecological review, and the results of the ecological review. (Env-Wt 311.06(g)). See [Wetlands Permitting: Protected Species and Habitat](#) fact sheet.
- A statement of whether the applicant has received comments from the local conservation commission and, if so, how the applicant has addressed the comments (Env-Wt 311.06(h)).
- For projects in LAC jurisdiction, a statement of whether the applicant has received comments from the LAC and, if so, how the applicant has addressed the comments (Env-Wt 311.06(i)).
- If the applicant is also seeking to be covered by state general permits, a statement of whether comments have been received from any federal agency and, if so, how the applicant has addressed the comments (Env-Wt 311.06(j)).
- [Avoidance and Minimization Written Narrative](#), [Avoidance and Minimization Checklist](#) or your own avoidance and minimization narrative (Env-Wt 311.07).
- For after-the-fact applications, information required by Env-Wt 311.12.
- [Coastal Resource Worksheet](#) for coastal projects as required under Env-Wt 600.
- Prime wetlands information required under Env-Wt 700. See [LRMPPT](#) for prime wetland mapping.
- For non-tidal shoreline structure projects, the length of shoreline frontage per Env-Wt 311.09(b)(1).

REQUIRED ATTACHMENTS FOR MINOR AND MAJOR PROJECTS

- [Attachment A: Minor and Major Projects](#) (Env-Wt 313.03).
- [Functional Assessment Worksheet](#) or others means of documenting the results of actions required by Env-Wt 311.10 as part of an application preparation for a standard permit (Env-Wt 311.03(b)(3); Env-Wt 311.03(b)(10)). See [Functional Assessments for Wetlands and Other Aquatic Resources](#) fact sheet. For shoreline structures, see shoreline structures exemption in Env-Wt 311.03(b)(10))

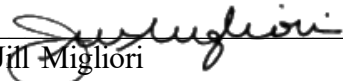
OPTIONAL MATERIALS

- [Stream Crossing Worksheet](#) which summarizes the requirements for stream crossings under Env-Wt 900.
- Request for [concurrent processing of related shoreland / wetlands permit applications](#) (Env-Wt 313.05).

AUTHORIZATION
5 Curriers Cove, Portsmouth, New Hampshire
Proposed Deck Addition

We, Jill and Scott Migliori, hereby authorize representatives of Haley Ward, Inc., to represent our interests before land use boards of the City of Portsmouth, State of New Hampshire DES, and any other jurisdictional agency necessary to obtain permits for the above referenced property, and to submit any and all applications and materials related thereto on our behalf.

Date: 03/24/2026



Jill Migliori

Date: 03/24/2026



Scott Migliori

DECLARATION OF COVENANTS AND RESTRICTIONS
OF

CURRIERS COVE,
PORTSMOUTH, NEW HAMPSHIRE

THIS DECLARATION OF COVENANTS AND RESTRICTIONS, made as of the 5th day of August, 1985, by J. Paul Griffin, Mary M. Griffin, and Conrad Farr, Declarants, Curriers Cove Subdivision, Little Harbor Road in the City of Portsmouth, County of Rockingham and State of New Hampshire, Declarant.

WITNESSETH:

WHEREAS, Declarants are the owners of certain real property shown on the "Plan" as defined hereinbelow and are creating thereon an environmentally oriented and ecologically conscious residential community including lots, private road, open space for the benefit of the said real property; and

WHEREAS, Declarants are the owners of the real property shown on said Plan, excepting Lot 3, and are desirous of subjecting said real property to the restrictions, covenants, easements, and conditions hereinafter set forth, each and all of which is and are for the benefit of said property and for each Owner thereof, and shall inure to the benefit of and pass with said property, and each and every parcel thereof, and shall apply to and bind the successors in interest, and any Owner thereof. The area lying West of the road described in the legal description as set out in this Declaration is also subject to the covenants and restrictions of this Declaration, and can only be used for residential purposes, or remain open as a buffer strip for the cemetery. If the Land Use Regulations of the City of Portsmouth change in the future and permit residential homes to be built on the property lying West of the road, the lot Owners shall contribute a pro rata share of common maintenance for the entire subdivision.

NOW, THEREFORE, Declarants declare that said real property is and shall be held, transferred, leased, encumbered, conveyed, improved and occupied subject to the covenants, restrictions, easements, charges, and liens hereinafter set forth which are intended to create mutual and equitable servitudes upon each of said lots in favor of each and all other said lots; to create reciprocal rights between the respective Owners of said lots; to create a privity of contract and estate between the grantees of said lots, their heirs, successors and assigns; and shall, as to the Owners of each said lot, their heirs, successors, grantees or assignees operate as covenants running with the land for the benefit of each and all said lots and their respective owners present and future.

AUG 5 3 44 PM '85

Rockingham County
Registry of Deeds

35479

Section 1. Definitions

The following words when used in this Declaration of Covenants and Restrictions (unless the context shall prohibit or clearly indicate otherwise) shall have the following meanings:

(a) "Declaration" means this Declaration of Covenants and Restrictions, as supplemented and amended from time to time.

(b) "Maintenance Committee" or "Committee" means the group of not more than five (5) Owners established in accordance with Section 4 hereinbelow.

(c) "Envelope" means a dwelling location specified on the "Plan" for the location of a single family dwelling.

(d) "Property" means all of the real property owned by Declarants shown on said Plan.

(e) "Plan" means the subdivision plan of Curriers Cove Subdivision, Little Harbor Road, as recorded in the Rockingham County Registry of Deeds Plan #D13486.

(f) "Lot" means a parcel of land bearing any numerical lot designation, and shown on the Plan.

(g) "Single Family Dwelling" or "Dwelling" means a building designed and intended for use and occupancy as a residence by a single family.

(h) "Owner" generally means the record owner, whether one or more persons, of the fee simple title to any Lot but shall not include any mortgagee unless and until such mortgagee has acquired title pursuant to foreclosure or any procedure in lieu of foreclosure.

(i) "Improvements" means, but shall not be limited to, all buildings, roads, driveways, parking areas, fences, retaining and other walls, hedges, gardens, poles or any other structures of any kinds constructed within the boundaries of any Lot.

Section 2. Land Use and Building Type

No lot shall be used except for residential purposes. No buildings shall be erected, altered, placed or permitted to remain on any lot other than one detached single-family dwelling, constructed for year-round occupancy, not to exceed two and one-half stories in height, except for Lot 2 which cannot exceed one and one-half stories in height, and a private garage for not more than three cars. No home occupations, professional or business offices of any sort shall be permitted on any lot.

Only one house of any specific exterior design and finish shall be permitted within this subdivision, it being the purpose of this covenant to avoid duplication of exterior appearance of houses therein.

Section 3. Architectural Control Committee

No building, garage, breezeway, patio, septic system, walkway, driveway, fence, wall, swimming pool, antenna or any other structure shall be commenced, erected, placed, altered or maintained on any lot, nor shall any exterior addition to or change or alteration therein be made until the building plans, specifications and plot plan showing the nature, kind, shape, height, materials and location of the same shall have been submitted to and approved in writing as to conformity and harmony of external design and location in and relation to existing structure, topograph, and finish grade elevation by an Architectural Control Committee composed of J. Paul Griffin and Mary M. Griffin or their appointed successors.

The Architectural Control Committee shall designate a representative to act for it. In the event of death or resignation of any member of the Architectural Control Committee, the remaining member shall have full authority to designate a successor. Neither the members of the Architectural Control Committee, nor its designated representative shall be entitled to any compensation for services performed pursuant to this covenant.

The Architectural Control Committee's approval or disapproval as required in these covenants shall be in writing. In the event the Architectural Control Committee, its designated representative, fails to approve or disapprove within sixty (60) days after plans and specifications have been submitted to it, or in any event, if no suit to enjoin the construction has been commenced prior to the completion thereof, approval will not be required and the related covenants shall be deemed to have been fully complied with.

Section 4. Maintenance Committee

Appointment. The Maintenance Committee shall consist of two (2) members appointed initially by the Declarant to serve on the Maintenance Committee until fee simple title to fifty (50) percent or more of the Lots have been conveyed subject to this Declaration by the Declarant to an Owner by deed on record at the Rockingham County Registry of Deeds (the "Transition Date") and their successors have been duly appointed. Prior to the Transition Date, members of the Maintenance Committee may, but need not be, Owners and vacancies in the Maintenance Committee shall be filled by appointment by Declarant. The term of office of each such member initially appointed by the Declarant shall automatically expire as soon after the Transition Date as the Owners of a majority of the Lots shall elect new members of the Maintenance Committee (all of whom shall be Owners) and shall establish the term of office of such new members.

BK2556 P2952

The Maintenance Committee shall be empowered as attorney in fact for all Owners to order any Owner to change or remove any construction or alteration undertaken in violation of this Section. In the event any Owner fails to comply with an order of the Maintenance Committee, the Maintenance Committee may enter the Lot and correct such condition at the Owner's expense, or at its option may commence legal proceedings as attorney for the Owners to enforce such order. The costs of such legal proceedings initially shall be treated as a special assessment pursuant to Section 4(d) hereof and the Maintenance Committee, on behalf of the Owners shall recover its costs, including reasonable attorneys' fees, in any successful proceeding.

In the unlikely event that the Maintenance Committee ceases to function, or is unable to function, then the declarant, or his personal representative or heirs, or any one of them, shall select a reputable property maintenance firm active in the City of Portsmouth to discharge the duties of the Maintenance Committee. The charges and fees of the property maintenance firm so selected shall be treated as a special assessment as provided in the previous paragraph.

In addition to its other duties and responsibilities as set forth herein the Maintenance Committee shall provide all maintenance of the following property:

(a) Private Roads. The Maintenance Committee shall provide for maintenance of, and snow removal from, the common roadway within the Property except for those driveways which are located within a Lot.

(b) Open Fields. The Maintenance Committee shall be responsible for mowing and maintaining those portions of the Property for which it is responsible as shown on the subdivision plan. The Maintenance Committee shall not be responsible for mowing and maintaining those portions of the Property which are lawns, immediately adjacent to a Dwelling or related structures and shall not be responsible for mowing fields where the Owners of such Lots are entitled to mow.

(c) Miscellaneous. The Maintenance Committee shall provide such other services, such as maintenance of all lights and signs and perform such other duties as will be determined by the Owners of a majority of the Lots.

(d) Duration. These covenants are to run with the land and shall be binding on all parties and all persons claiming under them, for a period of twenty (20) years from the date these covenants are recorded, after which time said covenants shall automatically be extended for successive periods of twenty (20) years unless an instrument signed by a majority of the then Owners of the improved lots has been recorded, agreeing to change said covenants in whole or in part.

(c) Enforcement. Enforcement of these covenants and restrictions shall be by any proceeding at law or in equity against any person or persons violating or attempting to violate any covenant or restriction either to restrain violation or to recover damages and failure by either Committee or any Owner to enforce any covenant or restriction herein contained shall in no event be deemed a waiver of the right to do so thereafter.

(f) Separability. Invalidation of any one of these covenants by judgment or court order shall in no way affect any of the other provisions which shall remain in full force and effect.

(g) Notices. Any notice required to be sent to any Owner under the provisions of this Declaration shall be deemed to have been properly sent when mailed, postpaid, to the last known address of the person who appears as Owner on the records of the City of Portsmouth, New Hampshire, at the time of such mailing.

(h) Completion of Construction. No excavation shall be made on any Lot except for the purposes of building thereon, and construction of all buildings and other structures on any Lot shall be completed within one year from the date of commencement of excavation or other building operation. However, the construction of all residences shall be completed not later than two years after the purchase of the lot from the declarant, his personal representatives, heirs, or assigns; this provision shall not apply to Lot No. 7, as long as the ownership of said lot remains with the declarant, his personal representative, legatees, or heirs-at-law.

(i) Subdivision. No Lot shall be further subdivided except for purposes of conveying normal and customary utility easements, or permitting an exchange or other conveyance between Owners of contiguous Lots which does not increase the number of Owners and does not violate pertinent state and local subdivision or zoning laws or building codes.

(j) Use of Property. The property shall not be used in a manner which is inconsistent with the residential and natural ecological character of the Property, and no noxious or offensive use shall be made of any part of the Property and nothing shall be done therein which will result in the disturbance of the natural quality, environmental condition or tranquility of the Property or which is or will become an annoyance or nuisance to the other Owners.

(k) Trees and Other Natural Vegetation. The live trees and other natural vegetation providing a visual screen between Lots may be thinned or pruned only with the permission of the Architectural Control Committee. Otherwise, live trees of less than five inches in diameter and other natural vegetation may be cut without the permission of the Architectural Control Committee, but such permission shall be required prior to cutting live trees of more than five inches in diameter.

(l) Domestic Animals. Domestic animals may be kept by an Owner on his lot for non-commercial purposes only. No dog kennels are permitted.

(m) Fences, Walls, Swimming Pools, Hedges, and Clothes Lines, Etc. No fence, wall, swimming pool, hedge, or mass planting shall be erected, placed or altered on any lot unless approved by the Architectural Control Committee in writing as provided in Section 3. No stone wall shall be removed.

No fence, wall, hedge, or mass planting shall be permitted to extend beyond the minimum building setback line established except upon approval by the Architectural Control Committee as provided in Section 3.

There shall be no above-ground swimming pools or permanent in-ground or other outside clothes lines on any lots covered by these covenants.

(n) Aerial Antennas. No permanent installation of a television, receiving or transmitting antenna shall be constructed on the exterior of any building nor on the premises of any lot except upon approval by the Architectural Control Committee as provided in Section 3.

(o) Density of Trees. The purchaser of a lot agrees that trees on said lot of five (5) inches or more in diameter shall be maintained at a density of one (1) tree for each one hundred (100) square feet of lot area other than the building site and the additional 20 foot wide strip surrounding the same. Additional clearing requires Architectural Control Committee review.

(p). Storage of Boats and Trailers. The keeping of a mobile home or travel trailer, either with or without wheels, on any parcel of property covered by these covenants is prohibited. A motor boat, house boat or other similar water borne vehicle, motorcycle, snowmobile or other motor unit may be maintained, stored, or kept on any parcel of property covered by these covenants only if housed completely within a structure which has been architecturally approved by the Architectural Control Committee.

(q). Oil and Mining Operations. No oil drilling, oil development operations, oil refining, quarrying or mining operations of any kind shall be permitted upon or in any lot, nor shall oil wells, tanks, tunnels, mineral excavations or shafts be permitted upon or in any lot. No derrick or other structure designed for use in boring for oil or natural gas shall be erected, maintained or permitted upon any lot.

Section 5. Covenant for Maintenance Assessments

(a) Creation of the Lien and Personal Obligation of Assessments. The Declarant for each Lot owned by it hereby covenants, and each subsequent Owner of any Lot by acceptance of a deed hereof, whether or not it shall be so expressed in any such deed, shall be deemed to covenant and agree to pay to the Maintenance Committee annual and special assessments to be fixed and collected from time to time as hereinafter provided. The annual and special assessments, together with such interest thereon and costs of collection thereof as hereinafter provided, shall be a charge and a continuing lien upon the property against which each such assessment is made and shall also be the personal obligation of the person who was the Owner of such property at the time when the assessment fell due. The Maintenance Committee may designate an agent to whom payment of assessments shall be made and said agent may be authorized to collect said assessments.

(b) Building Location. Shall be in accordance with the plan and shall be placed within the "envelope" of each lot as shown on said plan.

(c) Easements. Easements for driveways and for installation and maintenance of utilities and drainage facilities are reserved as shown on the recorded plat. Within these easements, no structure, planting or other material shall be placed or permitted to remain which may damage or interfere with the installation and maintenance of utilities, or which may change the direction of flow of drainage channels in the easements, or which may obstruct or retard the flow of water through the drainage channels in the easements. The easement area of each lot and all improvements in it shall be maintained continuously by the Owner of the lot, except for those improvements for which a public authority or utility company is responsible.

(d) Stone Walls. No stone wall shall be removed except to the extent as may be required for access to a Lot.

(e) Sanitation. Garbage and rubbish shall not be dumped or allowed to remain on any Lot except as contained in a suitable closed receptacle screened from public view.

(f) Certain Mechanized Vehicles. No motorbikes, motorcycles, minibikes, snowmobiles or terrain vehicles shall be operated on the Property except such a vehicle may be used for purpose of access to and from Lots over common, private driveways from and to a public road, provided that such vehicle may be legally operated on such public road.

(g) Occupancy. No Single Family Dwelling constructed on any Lot shall be occupied or used for residential purposes until substantially completed nor shall any structure on any Lot, other than a Single Family Dwelling, be used or occupied for residential purposes.

(h) Purpose of Assessments. The assessments levied by the Maintenance Committee shall be used exclusively for the management, maintenance and care of certain portions of the Property, pursuant to Section 5 hereof.

(i) Amount of Annual Assessments. The annual assessment shall be in the same amount for each Lot. The Maintenance Committee shall, after consideration of its current costs and future needs, fix the annual assessments for each year, provided that it shall be an affirmative obligation of the Maintenance Committee, to fix such assessments at an amount sufficient to properly discharge its duties and obligations set forth herein with respect to the maintenance of portions of the Property.

(j) Special Assessments. In addition to the annual assessments authorized hereinabove, the Maintenance Committee may levy in any assessment year a special assessment, applicable to that year only, for the purpose of defraying, in whole or in part, an operating loss or the cost of any construction or unexpected repair or replacement to the portions of the Property for which the Maintenance Committee is responsible to provide maintenance, provided that any such assessment shall be authorized by the votes of Owners of a majority of the Lots subject to the respective assessment.

(k) Date of Commencement of Annual Assessments and Due Dates. The annual assessments for the year 1986 shall become due and payable on January 1, 1986. Thereafter, annual assessments shall become due and payable on the first day of February each year. The due date of any special assessment shall be fixed in the vote authorizing such assessment. The annual assessment for the year 1985 shall be prorated in the discretion of the Architectural Control Committee.

(l) Certificate of Payment. The Maintenance Committee, upon demand by an Owner liable for an assessment, shall furnish to such Owner a certificate in writing signed by a member of said Maintenance Committee, setting forth whether said assessment has been paid. Such certificate shall be conclusive evidence of payment of any assessment therein stated to have been paid.

(m) Effect of Non-Payment of Assessment. Any assessment which is not paid when due, (being the dates specified in Subsection (e) hereof), shall be deemed delinquent and shall, together with such interest thereon and costs of collection thereof as hereinafter provided, become a continuing lien on the Lot and appurtenant interests of the delinquent Owner, which shall bind such property in the hands of said Owner, his heirs, devisees, representatives and assigns. The personal obligation of the said Owner to pay such assessment, notwithstanding the continuing lien, shall remain his personal obligation and shall not pass to his successors in title unless expressly assumed by them.



HALEY WARD

PROJECT INFORMATION

Migliori Residence – 5 Curriers Cove, Portsmouth, NH 03801

Introduction

The applicants, Jill & Scott Migliori, propose site improvements at a residential lot within the City of Portsmouth. The parcel is identified as Lot 14 on Map 204 of the City of Portsmouth's tax maps.

The project site currently consists of a single-family residential structure, a paved driveway with vehicle turnaround, a connected garage and associated stone walking path exiting the garage, a retaining wall around the southern portion of the garage, a stone patio, an artificial putting green, a stone wall abutting the shoreline, a wooden residential pier and associated landscaping.

The proposed project consists of the installation of a deck on the northeastern side of the dwelling, the installation of a new stone walking path that encompasses the northern portion of the dwelling, the installation of a small grill/recreational area, the removal of existing impervious areas, site regrading, and a robust landscaping and planting plan.

The purpose of the project is to provide the applicants with a recreational area outside the boundary of the Flood Hazard Zone. The deck and grill area will be constructed at an elevation of at least 10' above sea level, which is two feet above the FEMA mapped AE Flood Hazard Zone (EL 8). The proposed site regrading will also increase the flood resilience of the property by raising the elevation of the existing developed and landscaped areas directly adjacent to the dwelling. The applicant further intends to limit development within the Flood Hazard Zone by removing existing impervious areas next to the shoreline such as the removal of a stone patio and sitting area. The applicant proposes additional flood protection through a robust planting plan, which proposes to drastically increase the vegetative capacity of the waterfront buffer to withstand flood waters and increase habitat connectivity. The applicant proposes the planting of 28 native shrubs, grasses, and perennials in an area which currently exists as mowed lawn (directly adjacent to the shoreline and abutting the residential pier), and additional planting of 273 plants consisting of trees, shrubs, ferns, grasses, and perennials directly adjacent to the house and replacing removed impervious areas.

Proposed Impacts and Permitting

The proposed project will include impacts within the 250' shoreland zone and the 100' tidal buffer zone (TBZ) of the Piscataqua River. Additionally, the City of Portsmouth has

Migliori Residence | 04.01.2026 | 5010600.3340



mapped this shoreline of the Piscataqua River as a Prime Wetland; therefore, impacts to the duly-established 100' Prime Wetland Buffer area also proposed.

Due to the presence of the prime wetland directly adjacent to the project site, the project proposes impacts to a Prime Resource Area (PRA). However, the project does not propose any direct impacts to wetlands or wildlife habitats. Data screening in accordance with Env-Wt 603.03 suggests that the site contains salt marsh habitat and mudflats below the highest observable tide line (HOTL), but lacks the presence of shellfish and eelgrass beds. In the provided DataCheck report (DCT26-0753), some endangered species may utilize this habitat such as marsh elder (*Iva frutescens*), Atlantic sturgeon (*Acipenser oxyrinchus oxyrinchus*), and shortnose sturgeon (*Acipenser brevirostrum*). However, the project does not propose any impacts below the HOTL; therefore, impacts to these species are not anticipated and no further ecological review is not required pursuant to the findings of the report.

The project is categorized as a coastal project and therefore must meet the applicable submission standards outlined both within Env-Wt 300 and Env-Wt 600. Additionally, due to the proposed 100' Prime Wetland Buffer impacts, additional submission materials pursuant to both Env-Wt 700 and Env-Wt 800 are also required. Due to the project's categorization as a minor impact project with impacts to a PRA, a coastal functional assessment and a vulnerability assessment are included in this application. The project's footprint is located entirely above HOTL; therefore, water depth supporting information and impacts to navigation and passage as outlined in Env-Wt 603.08 and 603.09 are not applicable to this project and are not provided.

Shoreland Impacts: In total, the development is expected to result in 7,421 SF of temporary impacts and 1,523 SF of permanent impacts to the shoreland zone. The extent of the impact of the project does not allow the applicant to apply for a PBN; therefore, a full Shoreland permit application is required.

The total impervious area on the site will be increased as a result of the site improvements. A breakdown of the current and proposed impervious areas are supplied in this application on Sheet C101 of the included plan set. Although the total impervious area will increase on the lot, the applicant has proposed the removal of existing impervious areas to maintain a relatively small amount of impervious area within the shoreland zone. The projected impervious area is anticipated to cover 17.3% of the lot; therefore, stormwater management is not proposed for this project.

The project site contains forested areas both to the north and southeast of the existing development. The natural woodland buffer on the site totals approximately 26,726 SF, of which 12,890 SF is currently unaltered. The applicant proposes to retain at least 25% of the



natural woodland buffer as unaltered woodland. The area proposed to remain unaltered is shown on Sheet C104 of the provided plan set.

Tidal Buffer Zone Impacts: Of the proposed shoreland impacts, 5,305 SF of temporary impacts and 1,399 SF of permanent impacts are proposed within the TBZ. Due to the proposed cumulative impacts surpassing 3,000 SF, the applicant is required to submit a Standard Dredge and Fill Wetlands permit application.

The project site contains a PRA. All TBZ impacts are also considered direct impacts to the 100' Prime Wetland Buffer that encompasses this area of the Piscataqua River. As such, Env-Wt 700 and 800 requires that the applicant offsets these impacts through a compensatory mitigation plan that specifically requires on-site mitigation pursuant to Env-Wt 704.03(c). However, Env-Wt 706.01(b) allows the applicant to submit a waiver for activities within a 100' Prime Wetland Buffer. Due to the proposed project occurring entirely in previously-developed areas, a waiver is requested for the project and is included in this application.

Avoidance, Minimization, and Alternatives Analysis

Off-site alternatives: The proposed project does not have any off-site alternatives. The applicants do not own any other properties within the vicinity of the project site to meet the project's purpose.

On-site alternatives: Alternative layouts and designs were considered during the conceptualization of the project.

1. **No-action alternative:** The applicant considered the option of leaving the site as-is with the existing stone patios for a recreational area. However, the size of the patio is too small to accommodate guests. Additionally, the location and elevation of the patio makes the recreational area susceptible to flooding as it is located entirely within the Flood Hazard Zone. The purpose of the project is to also make the dwelling and overall property more resilient to flooding and sea level rise, which a no-action alternative would not accomplish.
2. **Alternative locations for the deck:** The applicants considered placing the deck on the north side of the dwelling to reduce TBZ impacts. However, this design was not chosen as the placement of the deck in this location would require more extensive site grading, additional soil disturbance, removal of an existing stone wall and generator pad, removal of mature trees within the shoreland zone, and would result in a greater overall impervious area. Additionally, the area north of the existing structure is comprised of several ledge outcroppings and shallow soils. The



current location of the deck is placed over existing disturbed areas including lawn and impervious patios. These areas will be removed during construction. We believe that the proposed deck in the proposed location provides a reasonable use and minimizes cumulative impacts to the shoreland zone and overall property.

3. **Reducing size of the deck:** The applicants considered reducing the size of the deck to further reduce impacts to the shoreland zone. However, the size of the deck has been chosen specifically to accommodate the recreational needs of a large family while allowing a general meeting area of all guests away from the Flood Hazard Zone and surrounding wetlands.

Avoidance and Minimization: Several measures were taken to minimize overall impacts to the shoreland zone, TBZ, and adjacent wetland areas. The proposed development is located entirely within previously-disturbed areas that currently consist of lawn and impervious areas (stone patios, putting greens, etc.). The applicants proposed to place the deck in an area that would require the removal of a significant amount of impervious areas, therefore redeveloping a disturbed space. Additional impervious areas are being removed as well to reduce the increase in total impervious areas within the shoreland zone, such as the removal of the putting green. Vegetation is not anticipated to be removed during the construction of the deck and associated development. Additionally, the applicants propose a robust planting/landscaping plan comprised of 300 individual plantings of trees, shrubs, grasses, ferns, and perennials to bolster the riparian area of the salt marsh directly adjacent to the project site. Planting beds will be incorporated directly next to the salt marsh where lawn currently exists which will improve wildlife habitat connectivity between the upland and intertidal area as well as improve wetland/embankment functions such shoreline/sediment stabilization.

Construction Sequencing

Construction is anticipated to begin upon receipt of all applicable local, state, and federal permits. Construction is anticipated to start in the late spring/early summer of 2026 and be completed before the winter of 2026.

The general construction sequence is as follows:

1. Install perimeter erosion and sedimentation control measures prior to disturbance.
2. Construct a stabilized construction entrance to reduce removal of debris and sediments off-site.
3. Remove all debris and brush in vicinity of project location.
4. Perform demolition/removal of impervious areas.
5. Bulldoze topsoil into stockpiles and circle with silt socks.
6. Install deck and stairs.



7. Construct site improvements.
8. Finish all planting/landscaping work.
9. Remove temporary stabilization measures upon final site stabilization.

Additional construction sequencing details can be seen on Sheet C501 of the provided site plan set.

Erosion and Sedimentation Control

The applicants propose the use of erosion and sedimentation control measures during all phases of project construction. Silt socks downgradient of all disturbed areas and above the coastal wetland are proposed to reduce the risk of sedimentation to the resource during site grading. All disturbed areas will be mulched and seeded and will be inspected frequently to ensure an 85% vegetation survival rate.

Additional erosion control details, including vegetation planting details, are provided on Sheet C501 of the provided site plan set.

Conservation Commission Comments and Response

To be determined.

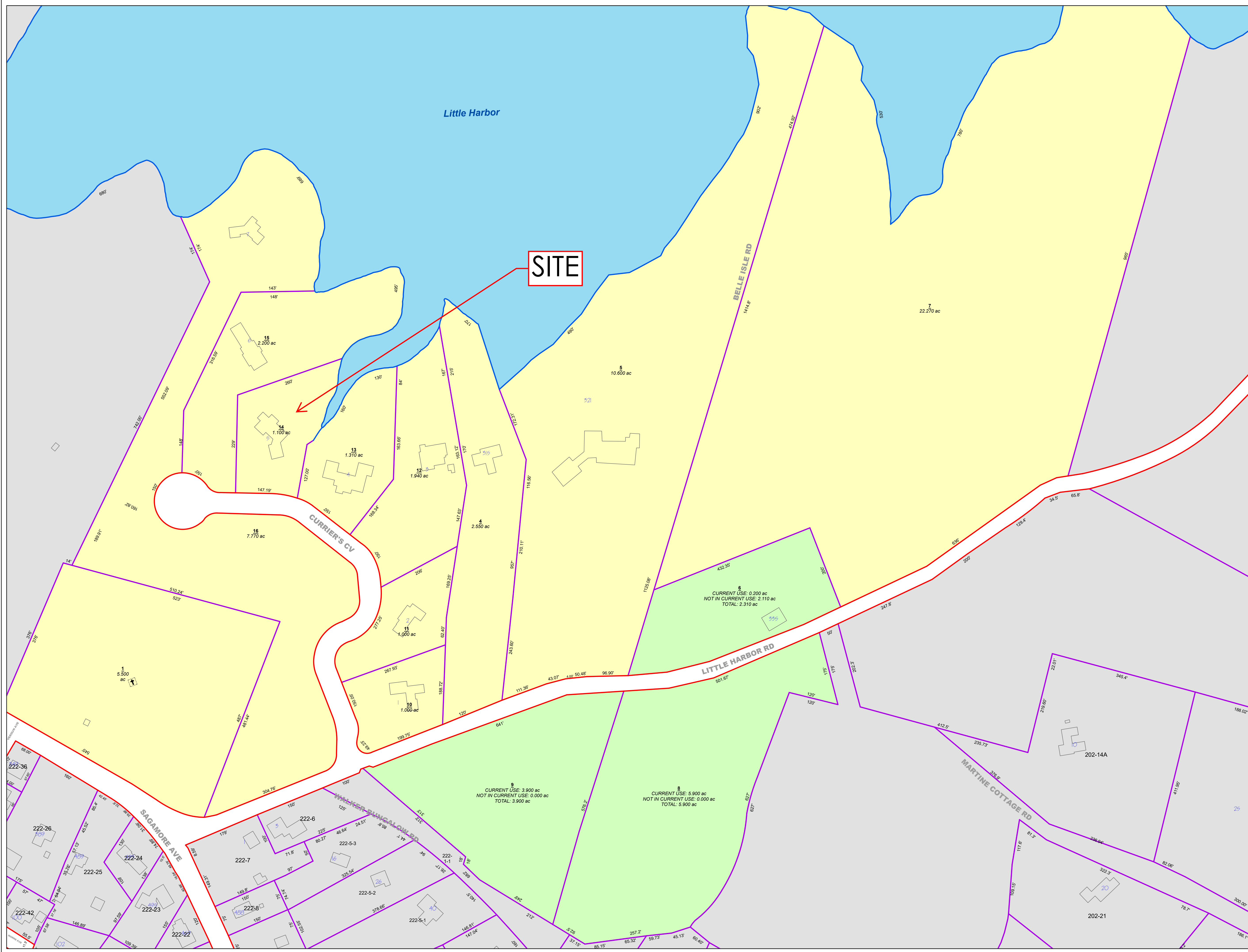


HALEY WARD

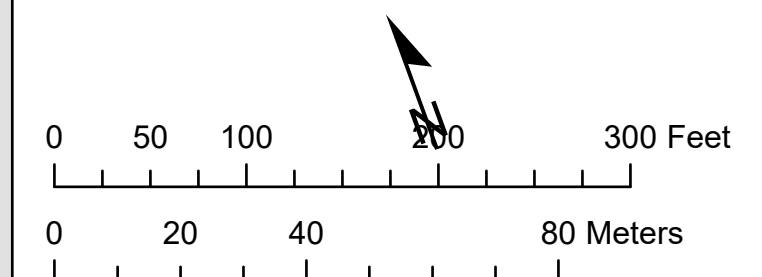
SITE LOCATION MAP

Migliori Residence - 5 Curriers Cove, Portsmouth, NH 03801

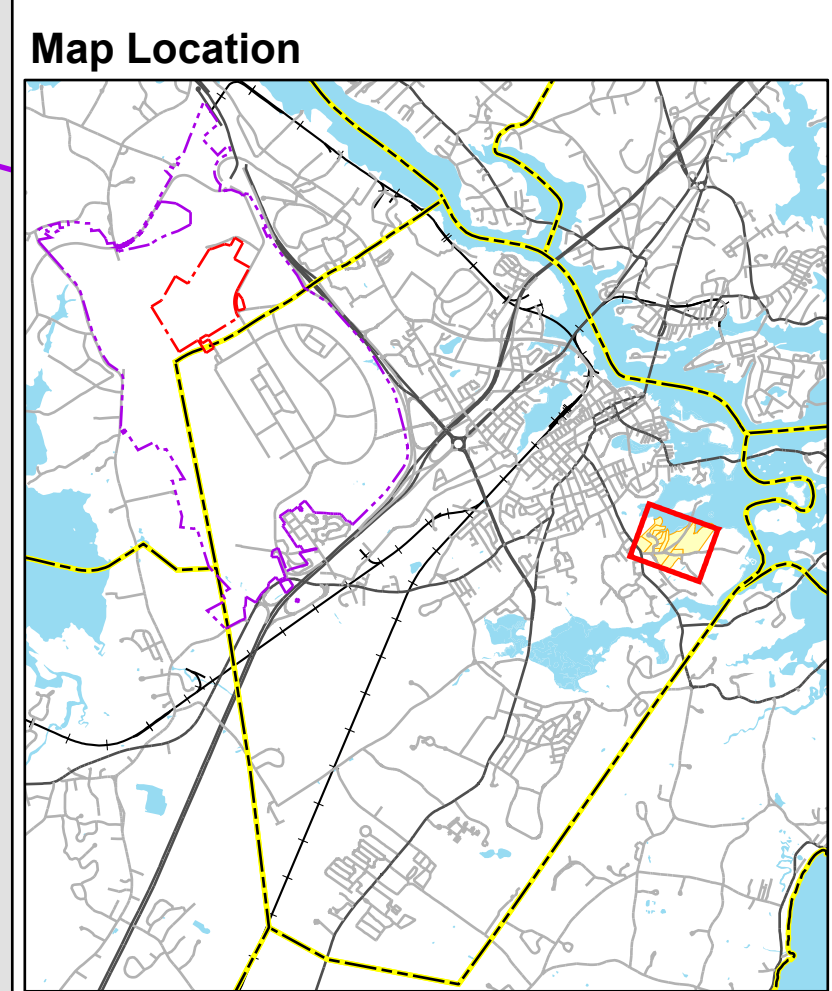
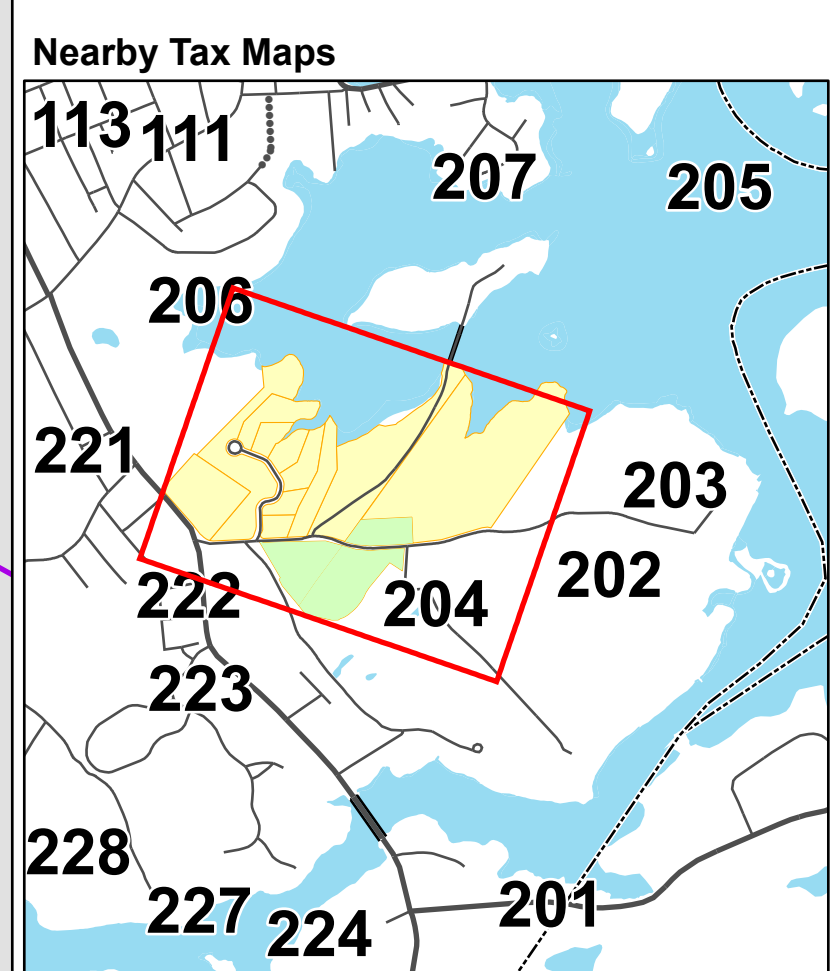




- Partial Legend**
 See the cover sheet for the complete legend.
- 7-5A** Lot or lot-unit number
 - 2.56 ac Parcel area in acres (ac) or square feet (sf)
 - 1234 Address number
 - 233-137 Parcel number from a neighboring map
 - 68' Parcel line dimension
 - SIMS AVE Street name
 - Parcel/Parcel boundary
 - Parcel/ROW boundary
 - Water boundary
 - Structure (1994 data)
 - Parcel covered by this map
 - Parcel from a neighboring map (see other map for current status)



This map is for assessment purposes only. It is not intended for legal description or conveyance. Parcels are mapped as of April 1. Building footprints are 2006 data and may not represent current structures. Streets appearing on this map may be paper (unbuilt) streets. Lot numbers take precedence over address numbers. Address numbers shown on this map may not represent posted or legal addresses.



Portsmouth, New Hampshire
 2024
Tax Map 204



HALEY WARD

SITE PHOTOS

Migliori Residence - 5 Curriers Cove, Portsmouth, NH 03801

Photo No. 1	
Photo Date: 03/20/2026	
Site Location: 43°03'46.5"N 70°45'05.4"W	
Description: Stone patio proposed to be removed	
Photo By: KGF	

Photo No. 2	
Photo Date: 03/20/2026	
Site Location: 43°03'46.8"N 70°45'05.6"W	
Description: Proposed attachment point of deck on back of house	
Photo By: KGF	

Migliori Residence | 04.01.2026 | 5010600.3340



Photo No. 3	
Photo Date: 03/20/2026	
Site Location: 43°03'46.8"N 70°45'05.6"W	
Description: Proposed area of buffer plantings	
Photo By: KGF	

Photo No. 4	
Photo Date: 03/20/2026	
Site Location: 43°03'47.1"N 70°45'06.1"W	
Description: Putting green to be removed and replaced with landscaping	
Photo By: KGF	



Photo No. 5	
Photo Date: 03/20/2026	
Site Location: 43°03'47.1"N 70°45'06.1"W	
Description: Proposed location of stone path at north of residence	
Photo By: KGF	

Photo No. 6	
Photo Date: 03/20/2026	
Site Location: 43°03'45.8"N 70°45'05.9"W	
Description: Natural wooded buffer on southeastern end of property	
Photo By: KGF	



AVOIDANCE AND MINIMIZATION CHECKLIST

Water Division/Land Resources Management Wetlands Bureau



[Check the Status of your Application](#)

RSA/Rule: RSA 482-A/ Env-Wt 311.07(c)

This checklist can be used in lieu of the written narrative required by Env-Wt 311.07(a) to demonstrate compliance with requirements for Avoidance and Minimization (A/M), pursuant to RSA 482-A:1 and Env-Wt 311.07(c).

For the construction or modification of non-tidal shoreline structures over areas of surface waters without wetland vegetation, complete only Sections 1, 2, and 4 (or the applicable sections in [Attachment A: Minor and Major Projects \(NHDES-W-06-013\)](#)).

The following definitions and abbreviations apply to this worksheet:

- “A/M BMPs” stands for [Wetlands Best Management Practice Techniques for Avoidance and Minimization](#) dated 2019, published by the New England Interstate Water Pollution Control Commission (Env-Wt 102.18).
- “Practicable” means available and capable of being done after taking into consideration cost, existing technology, and logistics in light of overall project purposes (Env-Wt 103.62).

SECTION 1 - CONTACT/LOCATION INFORMATION		
APPLICANT LAST NAME, FIRST NAME, M.I.: Migliori, Jill & Scott		
PROJECT STREET ADDRESS: 5 Curriers Cove	PROJECT TOWN: Portsmouth	
TAX MAP/LOT NUMBER: 204/14		
SECTION 2 - PRIMARY PURPOSE OF THE PROJECT		
Env-Wt 311.07(b)(1)	Indicate whether the primary purpose of the project is to construct a water-access structure or requires access through wetlands to reach a buildable lot or the buildable portion thereof.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>If you answered “no” to this question, describe the purpose of the “non-access” project type you have proposed:</p> <p>The proposed project consists of the installation of a deck on the northeastern side of the dwelling, the installation of a new stone walking path that encompasses the northern portion of the dwelling, the installation of a small grill/recreational area, the removal of existing impervious areas, site regrading, and a robust landscaping and planting plan.</p> <p>The purpose of the project is to provide the applicants with a recreational area outside the boundary of the Flood Hazard Zone. The deck and grill area will be constructed at an elevation of at least 10’ above sea level, which is two feet above the FEMA mapped AE Flood Hazard Zone (EL 8). The proposed site regrading will also increase the flood resilience of the property by raising the elevation of the existing developed and landscaped areas directly adjacent to the dwelling. The applicant further intends to limit development with the Flood Hazard Zone by removing existing impervious areas next to the shoreline such as the removal of a stone patio and sitting area. The applicant proposes additional flood protection through a robust planting plan, which proposes to drastically increase the vegetative capacity of the waterfront buffer to withstand flood waters and increase habitat connectivity. The applicant proposes the planting of 28 native shrubs, grasses, and perennials in an area which currently exists as mowed lawn (directly adjacent to the shoreline and abutting the residential pier), and additional planting of 273 pla</p>		

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SECTION 3 - A/M PROJECT DESIGN TECHNIQUES		
Check the appropriate boxes below in order to demonstrate that these items have been considered in the planning of the project. Use N/A (not applicable) for each technique that is not applicable to your project.		
Env-Wt 311.07(b)(2)	For any project that proposes new permanent impacts of more than one acre or that proposes new permanent impacts to a Priority Resource Area (PRA), or both, whether any other properties reasonably available to the applicant, whether already owned or controlled by the applicant or not, could be used to achieve the project's purpose without altering the functions and values of any jurisdictional area, in particular wetlands, streams, and PRAs.	<input checked="" type="checkbox"/> Check <input type="checkbox"/> N/A
Env-Wt 311.07(b)(3)	Whether alternative designs or techniques, such as different layouts, construction sequencing, or alternative technologies could be used to avoid impacts to jurisdictional areas or their functions and values.	<input checked="" type="checkbox"/> Check <input type="checkbox"/> N/A
Env-Wt 311.07(b)(4) Env-Wt 311.10(c)(1) Env-Wt 311.10(c)(2)	The results of the functional assessment required by Env-Wt 311.03(b)(10) were used to select the location and design for the proposed project that has the least impact to wetland functions.	<input checked="" type="checkbox"/> Check <input type="checkbox"/> N/A
Env-Wt 311.07(b)(4) Env-Wt 311.10(c)(3)	Where impacts to wetland functions are unavoidable, the proposed impacts are limited to the wetlands with the least valuable functions on the site while avoiding and minimizing impacts to the wetlands with the highest and most valuable functions.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
Env-Wt 313.01(c)(1) Env-Wt 313.01(c)(2) Env-Wt 313.03(b)(1)	No practicable alternative would reduce adverse impact on the area and environments under the department's jurisdiction and the project will not cause random or unnecessary destruction of wetlands.	<input checked="" type="checkbox"/> Check <input type="checkbox"/> N/A
Env-Wt 313.01(c)(3)	The project would not cause or contribute to the significant degradation of waters of the state or the loss of any PRAs.	<input checked="" type="checkbox"/> Check <input type="checkbox"/> N/A
Env-Wt 313.03(b)(3) Env-Wt 904.07(c)(8)	The project maintains hydrologic connectivity between adjacent wetlands or stream systems.	<input checked="" type="checkbox"/> Check <input type="checkbox"/> N/A
Env-Wt 311.10 A/M BMPs	Buildings and/or access are positioned away from high function wetlands or surface waters to avoid impact.	<input checked="" type="checkbox"/> Check <input type="checkbox"/> N/A
Env-Wt 311.10 A/M BMPs	The project clusters structures to avoid wetland impacts.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
Env-Wt 311.10 A/M BMPs	The placement of roads and utility corridors avoids wetlands and their associated streams.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
A/M BMPs	The width of access roads or driveways is reduced to avoid and minimize impacts. Pullouts are incorporated in the design as needed.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
A/M BMPs	The project proposes bridges or spans instead of roads/driveways/trails with culverts.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A

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A/M BMPs	The project is designed to minimize the number and size of crossings, and crossings cross wetlands and/or streams at the narrowest point.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
Env-Wt 500 Env-Wt 600 Env-Wt 900	Wetland and stream crossings include features that accommodate aquatic organism and wildlife passage.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
Env-Wt 900	Stream crossings are sized to address hydraulic capacity and geomorphic compatibility.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
A/M BMPs	Disturbed areas are used for crossings wherever practicable, including existing roadways, paths, or trails upgraded with new culverts or bridges.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
SECTION 4 - NON-TIDAL SHORELINE STRUCTURES		
Env-Wt 313.03(c)(1)	The non-tidal shoreline structure has been designed to use the minimum construction surface area over surfaces waters necessary to meet the stated purpose of the structure.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
Env-Wt 313.03(c)(2)	The type of construction proposed for the non-tidal shoreline structure is the least intrusive upon the public trust that will ensure safe navigation and docking on the frontage.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
Env-Wt 313.03(c)(3)	The non-tidal shoreline structure has been designed to avoid and minimize impacts on the ability of abutting owners to use and enjoy their properties.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
Env-Wt 313.03(c)(4)	The non-tidal shoreline structure has been designed to avoid and minimize impacts to the public's right to navigation, passage, and use of the resource for commerce and recreation.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
Env-Wt 313.03(c)(5)	The non-tidal shoreline structure has been designed, located, and configured to avoid impacts to water quality, aquatic vegetation, and wildlife and finfish habitat.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A
Env-Wt 313.03(c)(6)	The non-tidal shoreline structure has been designed to avoid and minimize the removal of vegetation, the number of access points through wetlands or over the bank, and activities that may have an adverse effect on shoreline stability.	<input type="checkbox"/> Check <input checked="" type="checkbox"/> N/A



STANDARD DREDGE AND FILL
WETLANDS PERMIT APPLICATION
ATTACHMENT A: MINOR AND MAJOR PROJECTS
Water Division/Land Resources Management
Wetlands Bureau



[Check the Status of your Application](#)

RSA/ Rule: RSA 482-A/ Env-Wt 311.10; Env-Wt 313.01(a)(1); Env-Wt 313.03

APPLICANT'S NAME: Jill & Scott Migliori

TOWN NAME: Portsmouth

Attachment A is required for *all minor and major projects*, and must be completed *in addition* to the [Avoidance and Minimization Narrative](#) or [Checklist](#) that is required by Env-Wt 307.11.

For projects involving construction or modification of non-tidal shoreline structures over areas of surface waters having an absence of wetland vegetation, only Sections I.X through I.XV are required to be completed.

PART I: AVOIDANCE AND MINIMIZATION

In accordance with Env-Wt 313.03(a), the Department shall not approve any alteration of any jurisdictional area unless the applicant demonstrates that the potential impacts to jurisdictional areas have been avoided to the maximum extent practicable and that any unavoidable impacts have been minimized, as described in the [Wetlands Best Management Practice Techniques For Avoidance and Minimization](#).

SECTION I.I - ALTERNATIVES (Env-Wt 313.03(b)(1))

Describe how there is no practicable alternative that would have a less adverse impact on the area and environments under the Department's jurisdiction.

PLEASE REFER TO THE ATTACHED NARRATIVE.

SECTION I.II - MARSHES (Env-Wt 313.03(b)(2))

Describe how the project avoids and minimizes impacts to tidal marshes and non-tidal marshes where documented to provide sources of nutrients for finfish, crustacean, shellfish, and wildlife of significant value.

The project is located entirely in the upland within previously-developed area. No impacts to the freshwater wetland on site or the coastal marsh are proposed. The applicant proposes buffer plantings along the shoreline to increase habitat connectivity.

SECTION I.III - HYDROLOGIC CONNECTION (Env-Wt 313.03(b)(3))

Describe how the project maintains hydrologic connections between adjacent wetland or stream systems.

The application does not propose any impacts to wetland systems. No crossings, impervious areas, or any other form development with the potential to disrupt the hydrologic connection of wetlands on site are proposed.

SECTION I.IV - JURISDICTIONAL IMPACTS (Env-Wt 313.03(b)(4))

Describe how the project avoids and minimizes impacts to wetlands and other areas of jurisdiction under RSA 482-A, especially those in which there are exemplary natural communities, vernal pools, protected species and habitat, documented fisheries, and habitat and reproduction areas for species of concern, or any combination thereof.

The project site contains a freshwater wetland located in the southeastern portion of the parcel and a tidal wetland which abuts the site on the east. Site grading has been limited to areas outside the boundaries of these wetland systems with no proposed wetland impacts. The applicant intends to bolster the riparian area by planting additional shrubs and grasses, thus increasing the value of habitat and stabilization adjacent to the coastal system.

SECTION I.V - PUBLIC COMMERCE, NAVIGATION, OR RECREATION (Env-Wt 313.03(b)(5))

Describe how the project avoids and minimizes impacts that eliminate, depreciate or obstruct public commerce, navigation, or recreation.

The project does not propose any in-resource impacts. The proposed project is not anticipated to result in any change to public commerce, navigation, or recreation.

SECTION I.VI - FLOODPLAIN WETLANDS (Env-Wt 313.03(b)(6))

Describe how the project avoids and minimizes impacts to floodplain wetlands that provide flood storage.

The freshwater wetland to the southeast of the project site will not be impacted. No vegetation will be removed from this area nor will any site grading occur in this area.

SECTION I.VII - RIVERINE FORESTED WETLAND SYSTEMS AND SCRUB-SHRUB – MARSH COMPLEXES (Env-Wt 313.03(b)(7))

Describe how the project avoids and minimizes impacts to natural riverine forested wetland systems and scrub-shrub – marsh complexes of high ecological integrity.

A small forested floodplain exists on the southeastern portion of the parcel. The project proposes that this area is to be maintained as an unaltered natural wooded buffer and does not propose any removal of vegetation or site grading in this area.

SECTION I.VIII - DRINKING WATER SUPPLY AND GROUNDWATER AQUIFER LEVELS (Env-Wt 313.03(b)(8))

Describe how the project avoids and minimizes impacts to wetlands that would be detrimental to adjacent drinking water supply and groundwater aquifer levels.

All impacts are located upgradient of coastal and riparian freshwater wetland systems.

SECTION I.IX - STREAM CHANNELS (Env-Wt 313.03(b)(9))

Describe how the project avoids and minimizes adverse impacts to stream channels and the ability of such channels to handle runoff of waters.

No stream channels will be impacted as a result of the project.

SECTION I.X - SHORELINE STRUCTURES - CONSTRUCTION SURFACE AREA (Env-Wt 313.03(c)(1))

Describe how the project has been designed to use the minimum construction surface area over surface waters necessary to meet the stated purpose of the structures.

Does not apply - no structures are proposed over surface waters.

SECTION I.XI - SHORELINE STRUCTURES - LEAST INTRUSIVE UPON PUBLIC TRUST (Env-Wt 313.03(c)(2))

Describe how the type of construction proposed is the least intrusive upon the public trust that will ensure safe docking on the frontage.

Does not apply - no public trust in this area.

SECTION I.XII - SHORELINE STRUCTURES – ABUTTING PROPERTIES (Env-Wt 313.03(c)(3))

Describe how the structures have been designed to avoid and minimize impacts on ability of abutting owners to use and enjoy their properties.

Does not apply - no shoreline structures.

SECTION I.XIII - SHORELINE STRUCTURES – COMMERCE AND RECREATION (Env-Wt 313.03(c)(4))

Describe how the structures have been designed to avoid and minimize impacts to the public's right to navigation, passage, and use of the resource for commerce and recreation.

Does not apply - no shoreline structures and no in-resource work.

SECTION I.XIV - SHORELINE STRUCTURES – WATER QUALITY, AQUATIC VEGETATION, WILDLIFE AND FINFISH HABITAT (Env-Wt 313.03(c)(5))

Describe how the structures have been designed, located, and configured to avoid impacts to water quality, aquatic vegetation, and wildlife and finfish habitat.

N/A.

SECTION I.XV - SHORELINE STRUCTURES – VEGETATION REMOVAL, ACCESS POINTS, AND SHORELINE STABILITY (Env-Wt 313.03(c)(6))

Describe how the structures have been designed to avoid and minimize the removal of vegetation, the number of access points through wetlands or over the bank, and activities that may have an adverse effect on shoreline stability.

N/A

PART II: FUNCTIONAL ASSESSMENT
<p>REQUIREMENTS</p> <p>Ensure that project meets the requirements of Env-Wt 311.10 regarding functional assessment (Env-Wt 311.04(j); Env-Wt 311.10).</p>
<p>FUNCTIONAL ASSESSMENT METHOD USED:</p> <p>All wetlands on the site have been delineated using the Highway Methodology Workbook, Wetland Functions and Values: A Descriptive Approach. This method bases function and value determinations on the presence or absence of specific criteria for each of the 13 wetland functions and values. These criteria are assessed through direct field observations and a review of existing resource maps and databases.</p>
<p>NAME OF CERTIFIED WETLAND SCIENTIST (FOR NON-TIDAL PROJECTS) OR QUALIFIED COASTAL PROFESSIONAL (FOR TIDAL PROJECTS) WHO COMPLETED THE ASSESSMENT: KEEGAN FEERO, PERMITTING SPECIALIST</p>
<p>DATE OF ASSESSMENT: 04/01/2026</p>
<p>Check this box to confirm that the application includes a NARRATIVE ON FUNCTIONAL ASSESSMENT:</p> <p><input checked="" type="checkbox"/></p>
<p>For minor or major projects requiring a standard permit without mitigation, the applicant shall submit a wetland evaluation report that includes completed checklists and information demonstrating the RELATIVE FUNCTIONS AND VALUES OF EACH WETLAND EVALUATED. Check this box to confirm that the application includes this information, if applicable:</p> <p><input checked="" type="checkbox"/></p> <p>Note: The Wetlands Functional Assessment worksheet can be used to compile the information needed to meet functional assessment requirements.</p>



COASTAL RESOURCE WORKSHEET
 Water Division/Land Resources Management
 Wetlands Bureau



[Check the Status of your Application](#)

RSA/Rule: RSA 482-A/ Env-Wt 600

APPLICANT LAST NAME, FIRST NAME, M.I.: Migliori, Jill & Scott

This worksheet may be used to present the information required for projects in coastal areas, in addition to the information required for Lower-Scrutiny Approvals, Expedited Permits, and Standard Permits under Env-Wt 603.01.

Please refer to Env-Wt 605.03 for impacts requiring compensatory mitigation.

SECTION 1 - REQUIRED INFORMATION (Env-Wt 603.02; Env-Wt 603.06; Env-Wt 603.09)

The following information is required for projects in coastal areas.

Describe the purpose of the proposed project, including the overall goal of the project, the core project purpose consisting of a concise description of the facilities and work that could impact jurisdictional areas, and the intended project outcome. Specifically identify all natural resource assets in the area proposed to be impacted and include maps created through a data screening in accordance with Env-Wt 603.03 (refer to Section 2) and Env-Wt 603.04 (refer to Section 3) as attachments.

The purpose of the project is to provide the applicants with a recreational area outside the boundary of the Flood Hazard Zone. The deck and grill area will be constructed at an elevation of at least 10' above sea level, which is two feet above the FEMA mapped AE Flood Hazard Zone (EL 8). The proposed site regrading will also increase the flood resilience of the property by raising the elevation of the existing developed and landscaped areas directly adjacent to the dwelling. The applicant further intends to limit development with the Flood Hazard Zone by removing existing impervious areas next to the shoreline such as the removal of a stone patio and sitting area. The applicant proposes additional flood protection through a robust planting plan.

The project involves impacts to the shoreland zone, Tidal Buffer Zone, and a 100' Prime Wetland Buffer. The majority of temporary impacts consist of the planting of additional vegetation.

Applicable data screening maps have been attached to this application.

A prime wetlands waiver request for development in a developed tidal buffer zone is submitted alongside this application.

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For standard permit projects, provide:

- A Coastal Functional Assessment (CFA) report in accordance with Env-Wt 603.04 (refer to Section 3).
- A vulnerability assessment in accordance with Env-Wt 603.05 (refer to Section 4).

Explain all recommended methods and other considerations to protect the natural resource assets during and as a result of project construction in accordance with Env-Wt 311.07, Env-Wt 313, and Env-Wt 603.04.

A coastal functional assessment (CFA) and vulnerability assessment have been included in the application as the project is classified as a minor impact project due to the proximity of a high marsh below the HOTL and the amount of impact to the TBZ.

All development and construction access will occur from the upland. No crossings or disturbance of wetlands is required to install the proposed deck. Erosion and sedimentation control will be utilized downgradient of all disturbed areas and above all coastal salt marsh to minimize impacts from sedimentation during ground disturbance.

Provide a narrative showing how the project meets the standard conditions in Env-Wt 307 and the approval criteria in Env-Wt 313.01.

307.03, .04, .12 - The project will utilize erosion and sedimentation controls to prevent sediment leaving the site. These controls will be maintained through construction and removed following permanent site stabilization.

307.04 - Substantial earthwork or importation of materials which may contain seeds / propagules is not proposed.

307.06 - The project will not impact below HOTL where marsh elder occurs.

307.07 - Project will comply with RSA 483-B and has been designed to comply with env-Wq 1400. A shoreland application under separate cover will be submitted for the remaining development outside of the TBZ.

307.08, .09, .10 - The project does impact a prime wetland buffer; however, a waiver request will be submitted as all impact is within the developed TBZ.

307.13 - No portion of the development is within 10ft of any other properties.

307.16 - The contractor will be monitored to ensure compliance with the plans.

313 - Please refer to the attached functional assessment, vulnerability assessment, and plan set for compliance with Env-313.01.

Provide a project design narrative that includes the following:

- A discussion of how the proposed project:
 - Uses best management practices and standard conditions in Env-Wt 307;
 - Meets all avoidance and minimization requirements in Env-Wt 311.07 and Env-Wt 313.03;
 - Meets approval criteria in Env-Wt 313.01;
 - Meets evaluation criteria in Env-Wt 313.01(c);
 - Meets CFA requirements in Env-Wt 603.04; and
 - Considers sea-level rise and potential flooding evaluated pursuant to Env-Wt 603.05;
- A construction sequence, erosion/siltation control methods to be used, and a dewatering plan; and
- A discussion of how the completed project will be maintained and managed.

The project information narrative includes information regarding how the proposed project avoided/minimized impacts and meets approval/evaluation criteria in Env-Wt 313.01.

CFA and vulnerability assessments are included in the application.

Construction sequence notes and erosion/siltation control methods are outlined in the attached civil design plan set.

The deck will be maintained by the landowners. Planting beds will be monitored for 85% survival.

- Provide design plans that meet the requirements of Env-Wt 603.07 (refer to Section 5);
- Provide water depth supporting information required by Env-Wt 603.08 (refer to Section 6); and
- For any major project that proposes to construct a structure in tidal waters/wetlands or to extend an existing structure seaward, provide a statement from the Pease Development Authority Division of Ports and Harbors (DP&H) chief harbormaster, or designee, for the subject location relative to the proposed structure's impact on navigation. If the proposed structure might impede existing public passage along the subject shoreline on foot or by non-motorized watercraft, the applicant shall explain how the impediments have been minimized to the greatest extent practicable.

N/A

The project is sited entirely within the upland; therefore, water depth measurements are not provided in this application. No structures in tidal waters/wetlands are proposed.

HOTL elevation has been measured at 6'.

SECTION 2 - DATA SCREENING (Env-Wt 603.03, in addition to Env-Wt 306.05)

Please use the Wetland Permit Planning Tool, or any other database or source, to indicate the presence of:

- Existing salt marsh and salt marsh migration pathways;
- Eelgrass beds;
- Documented shellfish sites;
- Projected sea-level rise; and
- 100-year floodplain.

Conduct data screening as described to identify documented essential fish habitat, and tides and currents that may be impacted by the proposed project, by using the following links:

- [National Oceanic and Atmospheric Administration \(NOAA\) Tides & Currents](#); and
- [NOAA Essential Fish Habitat Mapper](#).
- Verify or correct the information collected from the data screenings by conducting an on-site assessment of the subject property in accordance with Env-Wt 406 and Env-Wt 603.04.

SECTION 3 - COASTAL FUNCTIONAL ASSESSMENT/ AVOIDANCE AND MINIMIZATION (Env-Wt 603.04; Env-Wt 605.01; Env-Wt 605.02; Env-Wt 605.03)

Projects in coastal areas shall:

- Not impair the navigation, recreation, or commerce of the general public; and
- Minimize alterations in prevailing currents.

An applicant for a permit for work in or adjacent to tidal waters/wetlands or the tidal buffer zone shall demonstrate that the following have been avoided or minimized as required by Env-Wt 313.04:

- Adverse impacts to beach or tidal flat sediment replenishment;
- Adverse impacts to the movement of sediments along a shore;
- Adverse impacts on a tidal wetland's ability to dissipate wave energy and storm surge; and
- Adverse impacts of project runoff on salinity levels in tidal environments.

For standard permit applications submitted for minor or major projects:

- Attach a CFA based on the data screening information and on-site evaluation required by Env-Wt 603.03. The CFA for tidal wetlands or tidal waters shall be:
 - Performed by a qualified coastal professional; and
 - Completed using one of the following methods:
 - a. The US Army Corps of Engineers (USACE) Highway Methodology Workbook, dated 1993, together with the USACE New England District *Highway Methodology Workbook Supplement*, dated 1999; or
 - b. An alternative scientifically-supported method with cited reference and the reasons for the alternative method substantiated.

For any project that would impact tidal wetlands, tidal waters, or associated sand dunes, the applicant shall:

- Use the results of the CFA to select the location of the proposed project having the least impact to tidal wetlands, tidal waters, or associated sand dunes;
- Design the proposed project to have the least impact to tidal wetlands, tidal waters, or associated sand dunes;
- Where impact to wetland and other coastal resource functions is unavoidable, limit the project impacts to the least valuable functions, avoiding and minimizing impact to the highest and most valuable functions; and
- Include on-site minimization measures and construction management practices to protect coastal resource areas.

Projects in coastal areas shall use results of this CFA to:

- Minimize adverse impacts to finfish, shellfish, crustacean, and wildlife;
- Minimize disturbances to groundwater and surface water flow;
- Avoid impacts that could adversely affect fish habitat, wildlife habitat, or both; and
- Avoid impacts that might cause erosion to shoreline properties.

SECTION 4 - VULNERABILITY ASSESSMENT (Env-Wt 603.05)

Refer to the New Hampshire Coastal Flood Risk Summary Part 1: Science and New Hampshire Coastal Flood Risk Summary Part II: Guidance for Using Scientific Projections or other best available science to:

Determine the time period over which the project is designed to serve.

Please refer to the attached vulnerability assessment.

Identify the project's relative risk tolerance to flooding and potential damage or loss likely to result from flooding to buildings, infrastructure, salt marshes, sand dunes and other valuable coastal resource areas.

Please refer to the attached vulnerability assessment.

Reference the projected sea-level rise (SLR) scenario that most closely matches the end of the project design life and the project's tolerance to risk or loss.

Please refer to the attached vulnerability assessment.

Identify areas of the proposed project site subject to flooding from SLR.

Please refer to the attached vulnerability assessment.

Identify areas currently located within the 100-year floodplain and subject to coastal flood risk.

Please refer to the attached vulnerability assessment.

Describe how the project design will consider and address the selected SLR scenario within the project design life, including in the design plans.

Please refer to the attached vulnerability assessment.

Where there are conflicts between the project's purpose and the vulnerability assessment results, schedule a pre-application meeting with the department to evaluate design alternatives, engineering approaches, and use of the best available science.

Pre-application meeting date held: **N/A**

SECTION 5 - DESIGN PLANS (Env-Wt 603.07, in addition to Env-Wt 311)

Submit design plans for the project in both plan and elevation views that clearly depict and identify all required elements.

The plan view shall depict the following:

- The engineering scale used, which shall be no larger than one inch equals 50 feet;
- The location of tidal datum lines depicted as lines with the associated elevation noted, based on North American Vertical Datum of 1988 (NAVD 88), derived from https://tidesandcurrents.noaa.gov/datum_options.html, as described in Section 6.
- An imaginary extension of property boundary lines into the waterbody and a 20-foot setback from those property line extensions;
- The location of all special aquatic sites at or within 100 feet of the subject property;
- Existing bank contours;
- The name and license number, if applicable, of each individual responsible for the plan, including:
 - a. The agent for tidal docking structures who determined elevations represented on plans; and
 - b. The qualified coastal professional who completed the CFA report and located the identified resources on the plan;
- The location and dimensions of all existing and proposed structures and landscape features on the property;
- Tidal datum(s) with associated elevations noted, based on NAVD 88; and
- Location of all special aquatic sites within 100-feet of the property.

The elevation view shall depict the following:

- The nature and slope of the shoreline;
- The location and dimensions of all proposed structures, including permanent piers, pilings, float stop structures, ramps, floats, and dolphins; and
- Water depths depicted as a line with associated elevation at highest observable tide, mean high tide, and mean low tide, and the date and tide height when the depths were measured. Refer to Section 6 for more instructions regarding water depth supporting information.

See specific design and plan requirements for certain types of coastal projects:

- Overwater structures (Env-Wt 606).
- Dredging activities (Env-Wt 607).
- Tidal beach maintenance (Env-Wt 608).
- Tidal shoreline stabilization (Env-Wt 609).
- Protected tidal zone (Env-Wt 610).
- Sand Dunes (Env-Wt 611).

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SECTION 6 - WATER DEPTH SUPPORTING INFORMATION REQUIRED (Env-Wt 603.08)

Using current predicted NOAA tidal datum for the location, and tying field measurements to NAVD 88, field observations of at least three tide events, including at least one minus tide event, shall be located to document the range of the tide in the proposed location showing the following levels:

- Mean lower low water;
- Mean low water;
- Mean high water;
- Mean tide level;
- Mean higher high water;
- Highest observable tide line; and
- Predicted sea-level rise as identified in the vulnerability assessment in Env-Wt 603.05.

The following data shall be presented in the application project narrative to support how water depths were determined:

- The date, time of day, and weather conditions when water depths were recorded; and
- The name and license number of the licensed land surveyor who conducted the field measurements.

For tidal stream crossing projects, provide:

- Water depth information to show how the tier 4 stream crossing is designed to meet Env-Wt 904.07(c) and (d).

For repair, rehabilitation or replacement of tier 4 stream crossings:

- Demonstrate how the requirements of Env-Wt 904.09 are met.

SECTION 7 - GENERAL CRITERIA FOR TIDAL BEACHES, TIDAL SHORELINE, AND SAND DUNES (Env-Wt 604.01)

Any person proposing a project in or on a tidal beach, tidal shoreline, or sand dune, or any combination thereof, shall evaluate the proposed project based on:

- The standard conditions in Env-Wt 307;
- The avoidance and minimization requirements in Env-Wt 311.07 and Env-Wt 313.03;
- The approval criteria in Env-Wt 313.01;
- The evaluation criteria in Env-Wt 313.05;
- The project specific criteria in Env-Wt 600;
- The CFA required by Env-Wt 603.04; and
- The vulnerability assessment required by Env-Wt 603.05.

New permanent impacts to sand dunes that provide coastal storm surge protection for protected species or habitat shall not be allowed except:

- To protect public safety; and
- Only if constructed by a state agency, coastal resiliency project, or for a federal homeland security project.

Projects in or on a tidal beach, tidal shoreline, or sand dune shall support integrated shoreline management that:

- Optimizes the natural function of the shoreline, including protection or restoration of habitat, water quality, and self-sustaining stability to flooding and storm surge; and
- Protects upland infrastructure from coastal hazards with a preference for living shorelines over hardened shoreline practices.

SECTION 8 - GENERAL CRITERIA FOR TIDAL BUFFER ZONES (Env-Wt 604.02)

The 100-foot statutory limit on the extent of the tidal buffer zone shall be measured horizontally. Any person proposing a project in or on an undeveloped tidal buffer zone shall evaluate the proposed project based on:

- The standard conditions in Env-Wt 307;
- The avoidance and minimization requirements in Env-Wt 311.07 and Env-Wt 313.03;
- The approval criteria in Env-Wt 313.01;
- The evaluation criteria in Env-Wt 313.05;
- The project specific criteria in Env-Wt 600;
- The CFA required by Env-Wt 603.04; and
- The vulnerability assessment required by Env-Wt 603.05.

Projects in or on a tidal buffer zone shall preserve the self-sustaining ability of the buffer area to:

- Provide habitat values;
- Protect tidal environments from potential sources of pollution;
- Provide stability of the coastal shoreline; and
- Maintain existing buffers intact where the lot has disturbed area defined under RSA 483-B:4, IV.

SECTION 9 - GENERAL CRITERIA FOR TIDAL WATERS/WETLANDS (Env-Wt 604.03)

Except as allowed under Env-Wt 606, permanent new impacts to tidal wetlands shall be allowed only to protect public safety or homeland security. Evaluation of impacts to tidal wetlands and tidal waters shall be based on:

- The standard conditions in Env-Wt 307;
- The avoidance and minimization requirements in Env-Wt 311.07 and Env-Wt 313.03;
- The approval criteria in Env-Wt 313.01;
- The evaluation criteria in Env-Wt 313.05;
- The project specific criteria in Env-Wt 600;
- The CFA required by Env-Wt 603.04; and
- The vulnerability assessment required by Env-Wt 603.05.

Projects in tidal surface waters or tidal wetlands shall:

- Optimize the natural function of the tidal wetland, including protection or restoration of habitat, water quality, and self-sustaining stability to storm surge;
- Be designed with a preference for living shorelines over hardened stabilization practices; and
- Be limited to public infrastructure or restoration projects that are in the interest of the general public, including a road, a bridge, energy infrastructure, or a project that addresses predicted sea-level rise and coastal flood risk.



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Appendix B

New Hampshire General Permits (GPs) Required Information and Corps Secondary Impacts Checklist

In order for the Corps of Engineers to properly evaluate your application, applicants must submit the following information along with the New Hampshire DES Wetlands Bureau application or permit notification forms. Some projects may require more information. For a more comprehensive checklist, go to <https://www.nae.usace.army.mil/Missions/Regulatory/> “Useful Documents, Forms and Publications” and then “Corps Application Form and Guidance.” Check with the Corps at (978) 318-8832 for project-specific requirements. For your convenience, this Appendix B is also attached to the State of New Hampshire DES Wetlands Bureau application and Permit by Notification forms.

All Projects:

- New Hampshire Department of Environmental Services (DES) Wetlands Permit Application.
- Request for Project Review Form by the New Hampshire Division of Historical Resources (DHR).
<https://www.nh.gov/nhdhr/review/rpr.htm>.
- Photographs of wetland/waterway to be impacted.
- Purpose of the project.
- Legible, reproducible plans no larger than 11”x17” with bar scale. Provide locus map and plan views of the entire property.
- Typical cross-section views of all wetland and waterway fill areas and wetland replication areas.
- In navigable waters, show mean low water (MLW) and mean high water (MHW) elevations. Show the high tide line (HTL) elevations when fill is involved. In other waters, show ordinary high water (OHW) elevation.
- On each plan, show the following for the project:
 - Vertical datum and the NAVD 1988 equivalent with the vertical units as U.S. feet. In coastal waters this may be mean higher high water (MHHW), mean high water (MHW), mean low water (MLW), mean lower low water (MLLW) or other tidal datum with the vertical units as U.S. feet. MLLW and MHHW are preferred. Provide the correction factor detailing how the vertical datum (e.g., MLLW) was derived using the latest National Tidal Datum Epoch for that area, typically 1983-2001.
 - Horizontal state plane coordinates in U.S. survey feet based on the Traverse Mercator Grid system for the State of New Hampshire (Zone 2800) NAD 83.
 - Project limits with existing and proposed conditions.
 - Limits of any Federal Navigation Project in the vicinity of the project area and horizontal State Plane Coordinates in U.S. survey feet for the limits of the proposed work closest to the Federal Navigation Project;
 - Volume, type, and source of fill material to be discharged into waters and wetlands, including the area(s) (in square feet or acres) of fill in wetlands, below the OHW in inland waters and below the HTL in coastal waters.
 - Delineation of all waterways and wetlands on the project site,;
- Use Federal delineation methods and include Corps wetland delineation data sheets (GC 2).
- For activities involving discharges of dredged or fill material into waters of the U.S., include a statement describing how impacts to waters of the U.S. are to be avoided and minimized, and either a statement describing how impacts to waters of the U.S. are to be compensated for (or a conceptual or detailed mitigation plan) or a statement explaining why compensatory mitigation should not be required for the proposed impacts. Please contact the Corps for guidance.



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**New Hampshire General Permits (GPs)
Appendix B - Corps Secondary Impacts Checklist
(for inland wetland/waterway fill projects in New Hampshire)**

1. Attach any explanations to this checklist. Lack of information could delay a Corps permit determination.
2. All references to “work” include all work associated with the project construction and operation. Work includes filling, clearing, flooding, draining, excavation, dozing, stumping, etc.
3. See GC 5, regarding single and complete projects.
4. Contact the Corps at (978) 318-8832 with any questions.

1. Impaired Waters	Yes	No
1.1 Will any work occur within 1 mile upstream in the watershed of an impaired water? See http://des.nh.gov/organization/divisions/water/wmb/section401/impaired_waters.htm to determine if there is an impaired water in the vicinity of your work area.*		X
2. Wetlands	Yes	No
2.1 Are there are streams, brooks, rivers, ponds, or lakes within 200 feet of any proposed work?	X	
2.2 Are there proposed impacts to SAS, special wetlands. Applicants may obtain information from the NH Department of Resources and Economic Development Natural Heritage Bureau (NHB) DataCheck Tool for information about resources located on the property at https://www2.des.state.nh.us/nhb_datacheck/ . The book Natural Community Systems of New Hampshire also contains specific information about the natural communities found in NH.		X
2.3 If wetland crossings are proposed, are they adequately designed to maintain hydrology, sediment transport & wildlife passage?		NA
2.4 Would the project remove part or all of a riparian buffer? (Riparian buffers are lands adjacent to streams where vegetation is strongly influenced by the presence of water. They are often thin lines of vegetation containing native grasses, flowers, shrubs and/or trees that line the stream banks. They are also called vegetated buffer zones.)		X
2.5 The overall project site is more than 40 acres?		X
2.6 What is the area of the previously filled wetlands?	0	
2.7 What is the area of the proposed fill in wetlands?	0	
2.8 What is the % of previously and proposed fill in wetlands to the overall project site?	0	
3. Wildlife	Yes	No
3.1 Has the NHB & USFWS determined that there are known occurrences of rare species, exemplary natural communities, Federal and State threatened and endangered species and habitat, in the vicinity of the proposed project? (All projects require an NHB ID number & a USFWS IPAC determination.) NHB DataCheck Tool: https://www2.des.state.nh.us/nhb_datacheck/ USFWS IPAC website: https://ecos.fws.gov/ipac/location/index	X	

3.2 Would work occur in any area identified as either “Highest Ranked Habitat in N.H.” or “Highest Ranked Habitat in Ecological Region”? (These areas are colored magenta and green, respectively, on NH Fish and Game’s map, “2010 Highest Ranked Wildlife Habitat by Ecological Condition.”) Map information can be found at: <ul style="list-style-type: none"> • PDF: https://wildlife.state.nh.us/wildlife/wap-high-rank.html. • Data Mapper: www.granit.unh.edu. • GIS: www.granit.unh.edu/data/downloadfreedata/category/databycategory.html. 	X	
3.3 Would the project impact more than 20 acres of an undeveloped land block (upland, wetland/waterway) on the entire project site and/or on an adjoining property(s)?		X
3.4 Does the project propose more than a 10-lot residential subdivision, or a commercial or industrial development?		X
3.5 Are stream crossings designed in accordance with the GC 21?		NA
4. Flooding/Floodplain Values	Yes	No
4.1 Is the proposed project within the 100-year floodplain of an adjacent river or stream?	X	
4.2 If 4.1 is yes, will compensatory flood storage be provided if the project results in a loss of flood storage?	X	
5. Historic/Archaeological Resources		
For a minimum, minor or major impact project - a copy of the Request for Project Review (RPR) Form (www.nh.gov/nhdhr/review) with your DES file number shall be sent to the NH Division of Historical Resources as required on Page 11 GC 8(d) of the GP document**		NA

*Although this checklist utilizes state information, its submittal to the Corps is a Federal requirement.

** If your project is not within Federal jurisdiction, coordination with NH DHR is not required under Federal law.

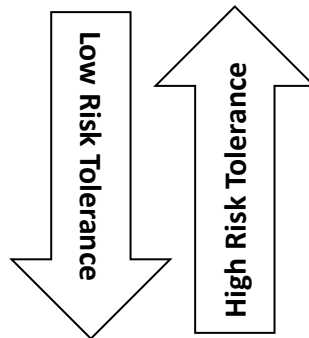
SECTION 10 – GUIDANCE

Your application must follow the New Hampshire Coastal Risk and Hazards Commission’s Guiding Principles or other best available science. Below are some of these guidance principles:

- Incorporate science-based coastal flood risk projections into planning;
- Apply risk tolerance* to assessment, planning, design, and construction;
- Protect natural resources and public access;
- Create a bold vision, start immediately, and respond incrementally and opportunistically as projected coastal flood risks increase over time; and
- Consider the full suite of actions including effectiveness and consequences of actions.

*Risk tolerance is a project’s willingness to accept a higher or lower probability of flooding impacts. The diagram below gives examples of project with lower and higher risk tolerance:

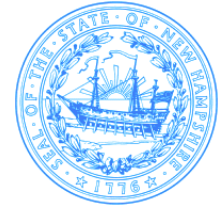
Critical infrastructures, historic sites, essential ecosystems, and high value assets typically have lower risk tolerance, and thus should be planned, designed, and constructed using higher coastal flood risk projections.



Sheds, pathways, and small docks typically have higher risk tolerance and thus may be planned, designed, and constructed using less protective coastal flood risk projections.



The State of New Hampshire
DEPARTMENT OF ENVIRONMENTAL SERVICES



Robert R. Scott, Commissioner

To: Keegan Feero, Haley Ward, Inc.
120 Main Street Suite 132
Saco, ME 04072
kfeero@haleyward.com

From: Ecological Review Section
New Hampshire Department of Environmental Services

cc: NHFG Review, David Simmons

Date: 03/27/2026 (valid until 03/27/2027)

Re: DataCheck Review by NHDES Ecological Review Section

Permits: NHDES - Shoreland Standard Permit, NHDES - Wetlands Standard Dredge & Fill

DCT ID: DCT26-0753

Town: Portsmouth
Location: 5 Curriers Cove

Project Description: The proposed project is the construction of a deck, walking paths, grill area, and site regrading. The project involves 1,523 SF of permanent impacts and 5,743 SF of temporary impacts to the shoreland zone, of which 94 SF of permanent impacts and 2,071 square feet of temporary impacts are within the waterfront buffer. 1,305 SF of permanent impacts and 2,367 SF of temporary impacts are proposed within the TBZ.

Next Steps for Applicants:

The New Hampshire Department of Environmental Services (NHDES) Ecological Review Section has reviewed the provided mapped project area against available records of protected species, Exemplary Natural Communities (ENCs), and critical habitat. Based on the project mapping and submitted information, protected species may be impacted by the proposed work activities. Please carefully read the comments and instructions below for next steps to avoid and minimize impacts.

Plant and Exemplary Natural

Community Comments: If no impacts are proposed to occur below the highest observable tide line, then there is no need for an ecological review for plants. If impacts are proposed to occur below the highest observable tide line, then an ecological review with NHDES is required, and a \$500 ecological review fee is NOT required. Please refer to the list below of plant species, protected pursuant to RSA 217-A, that could be impacted by the proposed project if there will be impacts below the highest observable tide line. To request an ecological review and receive conservation measures to avoid and minimize impacts, follow the instructions provided below.

Wildlife and Critical Habitat

Comments: As long as proper erosion and sediment controls are used and no work is proposed below the highest observable tide line, impacts to protected wildlife are not expected and no ecological review is needed.

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(603) 271-3503 • Fax: (603) 271-2867 • TDD Access: Relay NH 1-800-735-2964

Ecological Review Instructions

Pursuant to Env-C 804.01, ecological reviews are either required by rule or recommended to comply with RSA 212-A and 217-A. Pursuant to Env-C 804.02, required ecological reviews that meet certain criteria must pay a \$500 fee to request an ecological review.

Instructions regarding how to request an ecological review for plants and/or wildlife are provided below:

When is an Ecological Review for Plants and Exemplary Natural Communities Needed

If this letter includes records of protected plants and/or exemplary natural communities, you may request an Ecological Review from NHDES (see further instructions below).

If no plant or exemplary natural communities are included on this letter, no further plant review is needed.

When is an Ecological Review for Wildlife and Critical Habitat Needed

If this letter includes records of protected wildlife and/or critical habitat, please refer to one of the following next steps:

- a. If your project requires an NHDES permit, authorization, or approval you may request an Ecological Review from NHDES (see further instructions below).
- b. If your project **does not** need an NHDES permit, authorization, or approval, then no ecological review with NHDES is needed. Instead, you can request a review from the New Hampshire Fish and Game (NHFG) Nongame and Endangered species program. Contact NHFGreview@wildlife.nh.gov or 603-271-2461 to request a review with NHFG.

If no wildlife species or critical habitat are included on this letter, then no further wildlife review is needed.

How to Request an Ecological Review from NHDES

To request an ecological review, access and complete the [Ecological Review Request form](#) found at onlineforms.nh.gov.

Submit the completed form and all required attachments by email, mail, or hand delivery to:

New Hampshire Department of Environmental Services
Attn: Ecological Review Section
P.O. Box 95
29 Hazen Drive
Concord, NH 03302-0095
EcologicalReviews@des.nh.gov

For questions about requesting an ecological review, call 603-271-7972.

Federal Compliance

This letter does not constitute compliance with the federal Endangered Species Act (ESA). There may be federally listed species in New Hampshire that are impacted by your activity not included in this letter. For ESA compliance, please visit the US Fish and Wildlife Service's (USFWS) [Information for Planning and Consultation \(iPaC\) website](#) for an official list of federally listed species that may be present in your project area. If a federal agency is involved in your project through funding, permit or other authorization, coordinate your iPaC results with your point of contact at the agency for further ESA review. If there is no federal agency nexus to your project, and you determine through iPaC, habitat evaluations etc. that a project may cause take of a federally listed species, we recommend coordinating with the USFWS' New England Field Office (newengland@fws.gov or [603-223-2541](tel:603-223-2541)).

Ecological Review Database records:

The following species and habitats may be impacted by the proposed work activities. Please refer to this list when coordinating.

Plant species	State¹	Federal	Notes
marsh elder (<i>Iva frutescens</i>)	T	--	Threats are primarily alterations to the hydrology of the wetland, such as ditching or tidal restrictions that might affect the sheet flow of tidal waters across the intertidal flat, activities that eliminate plants, and increased input of nutrients and pollutants in storm runoff.

Vertebrate species	State¹	Federal	Notes
Atlantic Sturgeon (<i>Acipenser oxyrinchus oxyrinchus</i>)	T	T	Contact the NH Fish & Game Dept and the US Fish & Wildlife Service (see above).
Shortnose Sturgeon (<i>Acipenser brevirostrum</i>)	E	E	Contact the NH Fish & Game Dept and the US Fish & Wildlife Service (see above).

¹Codes: "E" = Endangered, "T" = Threatened, "SC" = Special Concern, "--" = an exemplary natural community, or a rare species tracked by NH Natural Heritage that has not yet been added to the official state list.

Disclaimer:

DataCheck Tool screening only includes occurrences of protected species and exemplary natural communities that have been documented and verified by state biologists and ecologists. This letter does not guarantee these are the only protected species and habitat present at this location, only that their presence has not been documented and verified by state biologists and ecologists. As many areas have never been surveyed, or have only been surveyed for certain species, on site surveys are the best way to determine the resources present on your site.

DCT26-0753



Legend

- City/Town
- Site bounds

www.des.nh.gov
29 Hazen Drive • PO Box 95 • Concord, NH 03302-0095
(603) 271-3503 • Fax: (603) 271-2867 • TDD Access: Relay NH 1-800-735-2964

EFH Mapper Report

EFH Data Notice

Essential Fish Habitat (EFH) is defined by textual descriptions contained in the fishery management plans developed by the regional fishery management councils. In most cases mapping data can not fully represent the complexity of the habitats that make up EFH. This report should be used for general interest queries only and should not be interpreted as a definitive evaluation of EFH at this location. A location-specific evaluation of EFH for any official purposes must be performed by a regional expert. Please refer to the following links for the appropriate regional resources.

[Greater Atlantic Regional Office](#)
[Atlantic Highly Migratory Species Management Division](#)

Query Results







Degrees, Minutes, Seconds: Latitude = 43° 3' 47" N, Longitude = 71° 14' 55" W
Decimal Degrees: Latitude = 43.063, Longitude = -70.751



























The query location intersects with spatial data representing EFH and/or HAPCs for the following species/management units.

***** WARNING *****

Please note under "Life Stage(s) Found at Location" the category "ALL" indicates that all life stages of that species share the same map and are designated at the queried location.

EFH

Link	Data Caveats	Species/Management Unit	Lifestage(s) Found at Location	Management Council	FMP
		Atlantic Butterfish	Adult	Mid-Atlantic	Atlantic Mackerel, Squid,& Butterfish Amendment 11
		Atlantic Cod	Adult, Eggs, Larvae	New England	Amendment 14 to the Northeast Multispecies FMP
		Atlantic Herring	Adult, Juvenile, Larvae	New England	Amendment 3 to the Atlantic Herring FMP

Link	Data Caveats	Species/Management Unit	Lifestage(s) Found at Location	Management Council	FMP
		Atlantic Mackerel	Eggs, Juvenile, Larvae	Mid-Atlantic	Atlantic Mackerel, Squid,& Butterfish Amendment 11
		Atlantic Sea Scallop	ALL	New England	Amendment 14 to the Atlantic Sea Scallop FMP
		Atlantic Wolffish	ALL	New England	Amendment 14 to the Northeast Multispecies FMP
		Bluefish	Adult, Juvenile	Mid-Atlantic	Bluefish
		Little Skate	Adult, Juvenile	New England	Amendment 2 to the Northeast Skate Complex FMP
		Pollock	Eggs, Juvenile, Larvae	New England	Amendment 14 to the Northeast Multispecies FMP
		Red Hake	Adult, Eggs/Larvae/Juvenile	New England	Amendment 14 to the Northeast Multispecies FMP
		Smooth Skate	Juvenile	New England	Amendment 2 to the Northeast Skate Complex FMP
		Thorny Skate	Juvenile	New England	Amendment 2 to the Northeast Skate Complex FMP
		White Hake	Adult, Eggs, Juvenile	New England	Amendment 14 to the Northeast Multispecies FMP
		Windowpane Flounder	Adult, Eggs, Juvenile, Larvae	New England	Amendment 14 to the Northeast Multispecies FMP
		Winter Flounder	Eggs, Juvenile, Larvae/Adult	New England	Amendment 14 to the Northeast Multispecies FMP
		Winter Skate	Juvenile	New England	Amendment 2 to the Northeast Skate Complex FMP

Pacific Salmon EFH

No Pacific Salmon Essential Fish Habitat (EFH) were identified at the report location.

Atlantic Salmon

No Atlantic Salmon were identified at the report location.

HAPCs

No Habitat Areas of Particular Concern (HAPC) were identified at the report location.

EFH Areas Protected from Fishing

No EFH Areas Protected from Fishing (EFHA) were identified at the report location.

Spatial data does not currently exist for all the managed species in this area. The following is a list of species or management units for which there is no spatial data.

****For links to all EFH text descriptions see the complete data inventory: [open data inventory -->](#)**

All EFH species have been mapped for the Greater Atlantic region,

Atlantic Highly Migratory Species EFH,

Bigeye Sand Tiger Shark,

Bigeye Sixgill Shark,

Caribbean Sharpnose Shark,

Galapagos Shark,

Narrowtooth Shark,

Sevengill Shark,

Sixgill Shark,

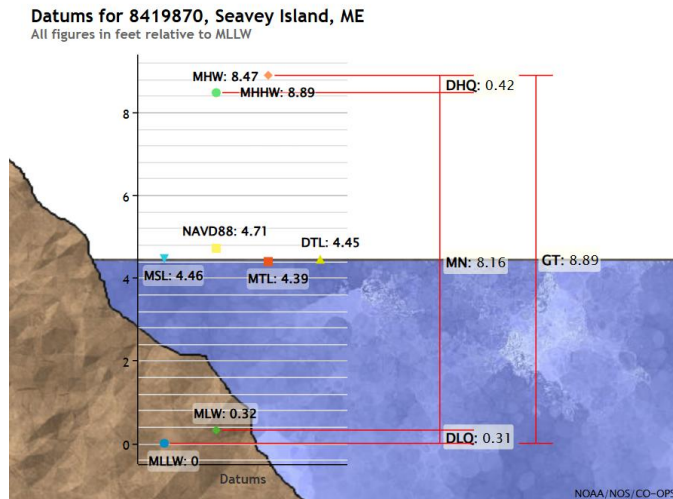
Smooth Hammerhead Shark,

Smalltail Shark



TIDE INFORMATION

Migliori Residence -5 Curriers Cove, Portsmouth, NH 03801



Elevations on Mean Lower Low Water

Station: 8419870, Seavey Island, ME

Status: Accepted (Dec 06 2021)

Units: Feet

Control Station: 8418150 Portland, ME

T.M.: 75

Epoch: 1983-2001

Datum: MLLW

Datum	Value	Description
MHHW	8.89	Mean Higher-High Water
MHW	8.47	Mean High Water
MTL	4.39	Mean Tide Level
MSL	4.46	Mean Sea Level
DTL	4.45	Mean Diurnal Tide Level
MLW	0.32	Mean Low Water
MLLW	0.00	Mean Lower-Low Water
NAVD88	4.71	North American Vertical Datum of 1988
STND	-2.27	Station Datum
GT	8.89	Great Diurnal Range
MN	8.16	Mean Range of Tide
DHQ	0.42	Mean Diurnal High Water Inequality
DLQ	0.31	Mean Diurnal Low Water Inequality
HWI	3.92	Greenwich High Water Interval (in hours)
LWI	10.04	Greenwich Low Water Interval (in hours)
Max Tide	13.07	Highest Observed Tide
Max Tide Date & Time	01/13/2024 22:18	Highest Observed Tide Date & Time
Min Tide	-3.27	Lowest Observed Tide
Min Tide Date & Time	11/30/1955 00:00	Lowest Observed Tide Date & Time
HAT	10.58	Highest Astronomical Tide
HAT Date & Time	05/19/2034 04:30	HAT Date and Time
LAT	-1.80	Lowest Astronomical Tide
LAT Date & Time	01/14/2036 23:00	LAT Date and Time

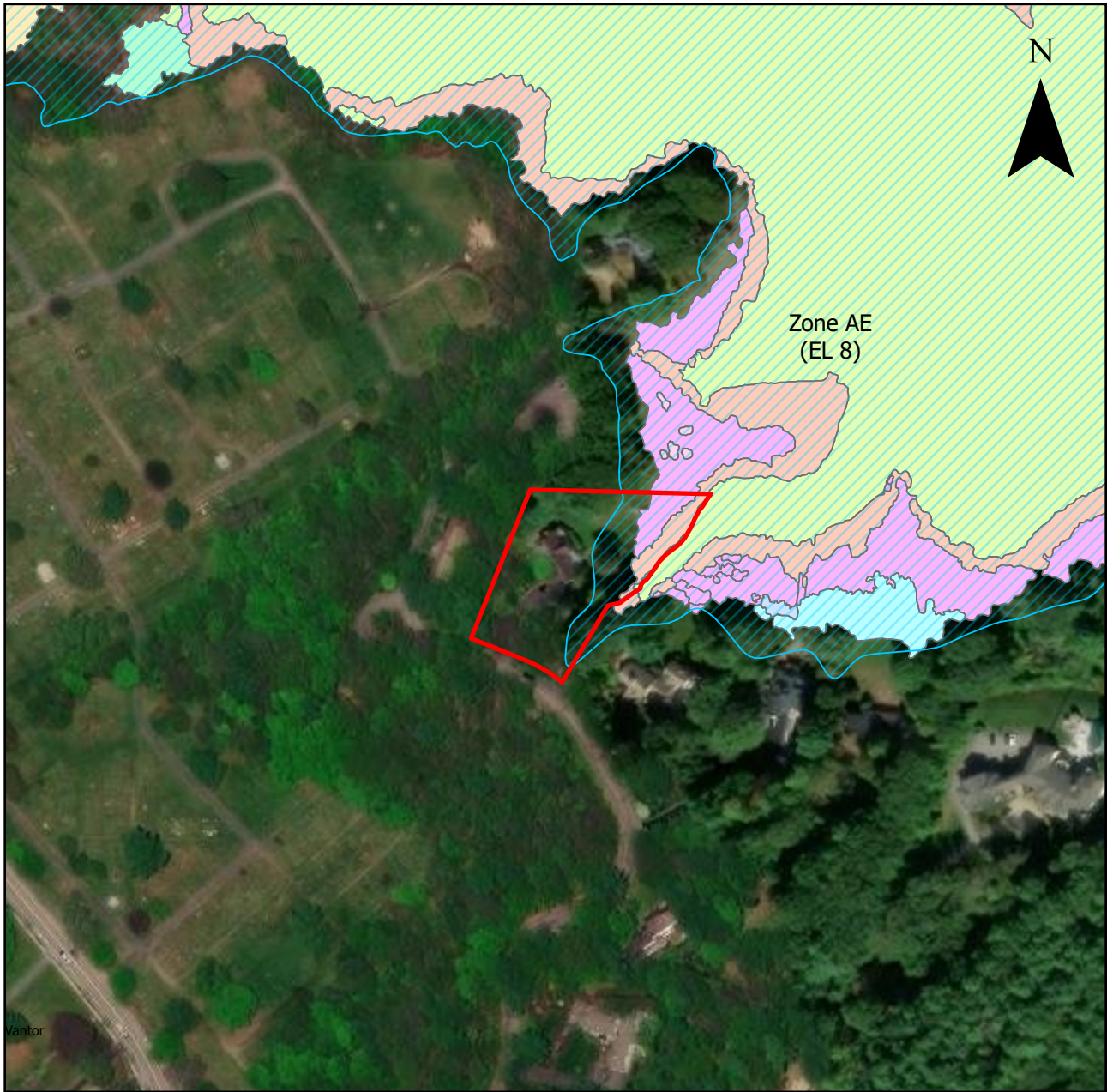
Migliori Residence | 04.03.2026 | 5010600.3340











HALEY WARD

Floodplain and Tidal Wetlands


Migliori Residence - 5 Curriers Cove, Portsmouth NH 03801

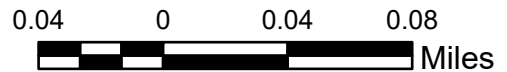


Wetland Type

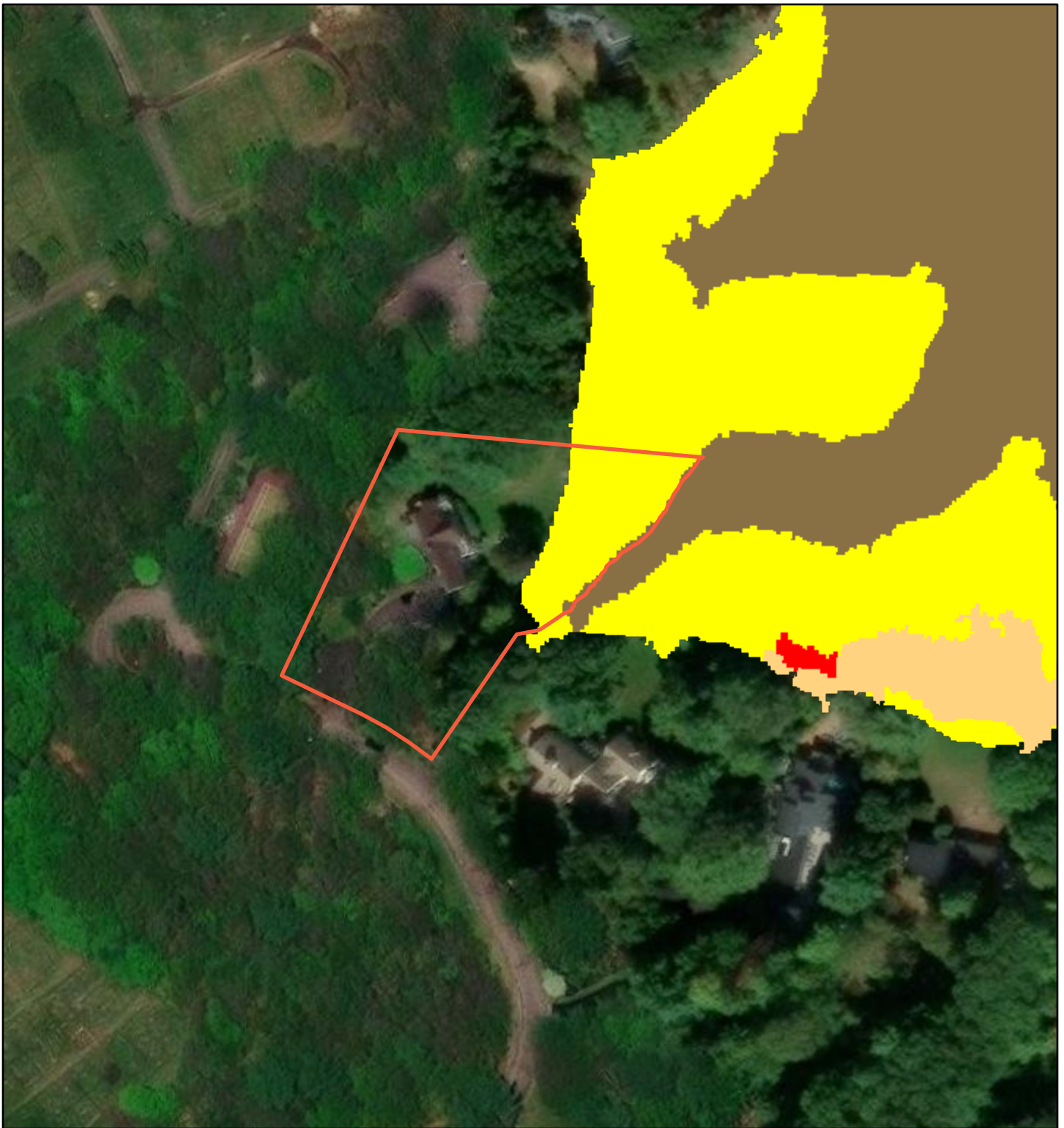
-  Brackish Marsh
-  High marsh
-  Low Marsh
-  Mudflat
-  Panne or Pool
-  Phragmites australis
-  Recently Flooded Forest
-  Terrestrial border

 Project Parcel






 Flood Hazard Zone



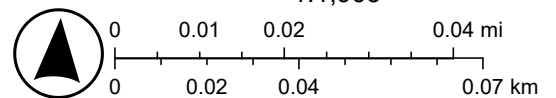
Marsh Migration - Initial Conditions



3/30/2026, 11:19:28 AM

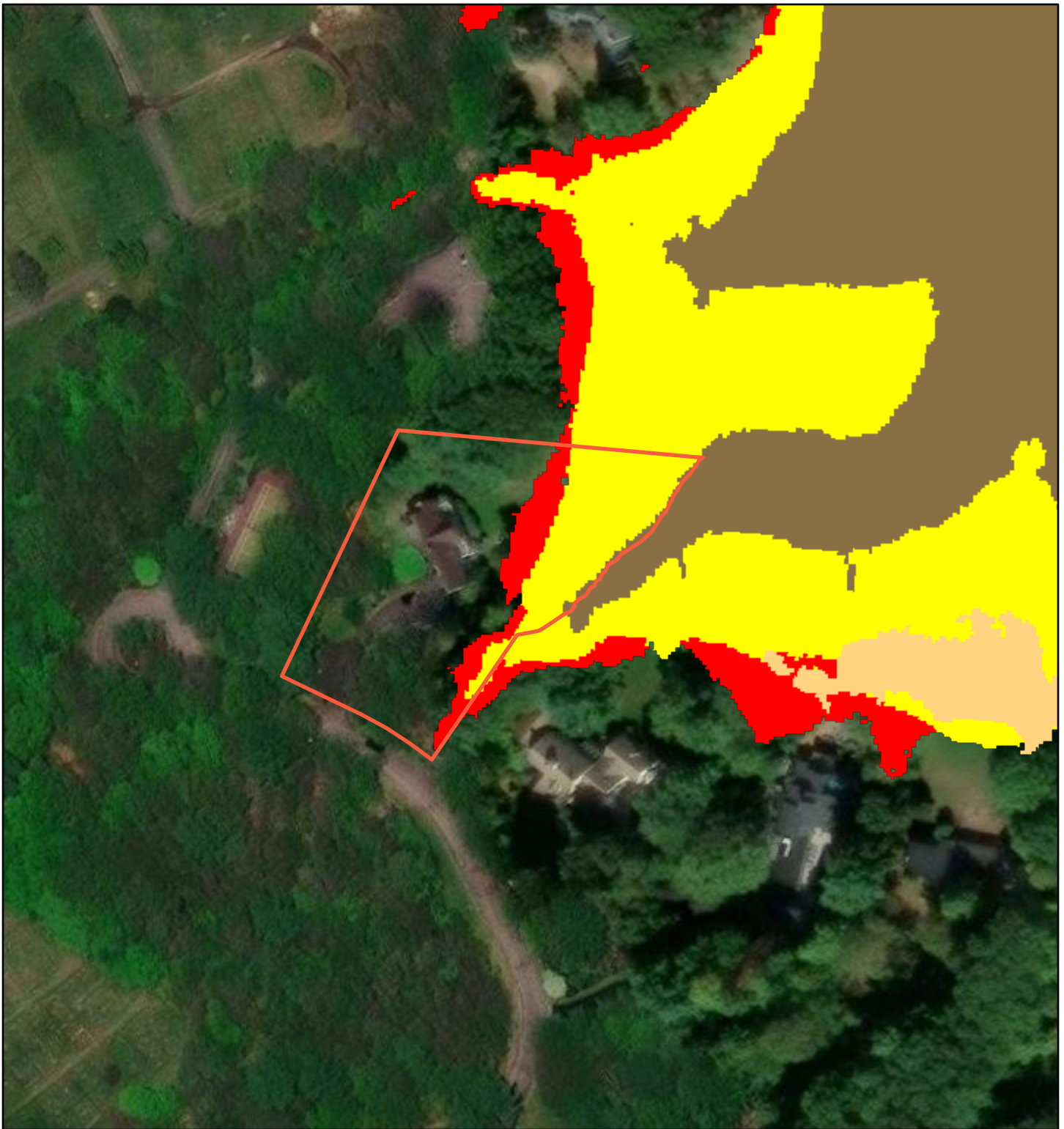
-  Project Parcel
- SLAMM 2022 - Initial Conditions
 -  Mud flat
 -  Salt marsh
 -  Tidal wetland
 -  Transitional salt marsh

World Imagery
Low Resolution 15m Imagery
High Resolution 60cm Imagery
High Resolution 30cm Imagery
Citations








Microsoft, Vantor

Marsh Migration - 0.3m 2050



3/30/2026, 11:22:14 AM

-  Project Parcel
- SLAMM 2022 - 0.3-m SLR at Year 2050
-  Mud flat
-  Salt marsh
-  Tidal wetland
-  Transitional salt marsh

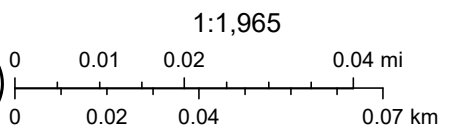
World Imagery

Low Resolution 15m Imagery

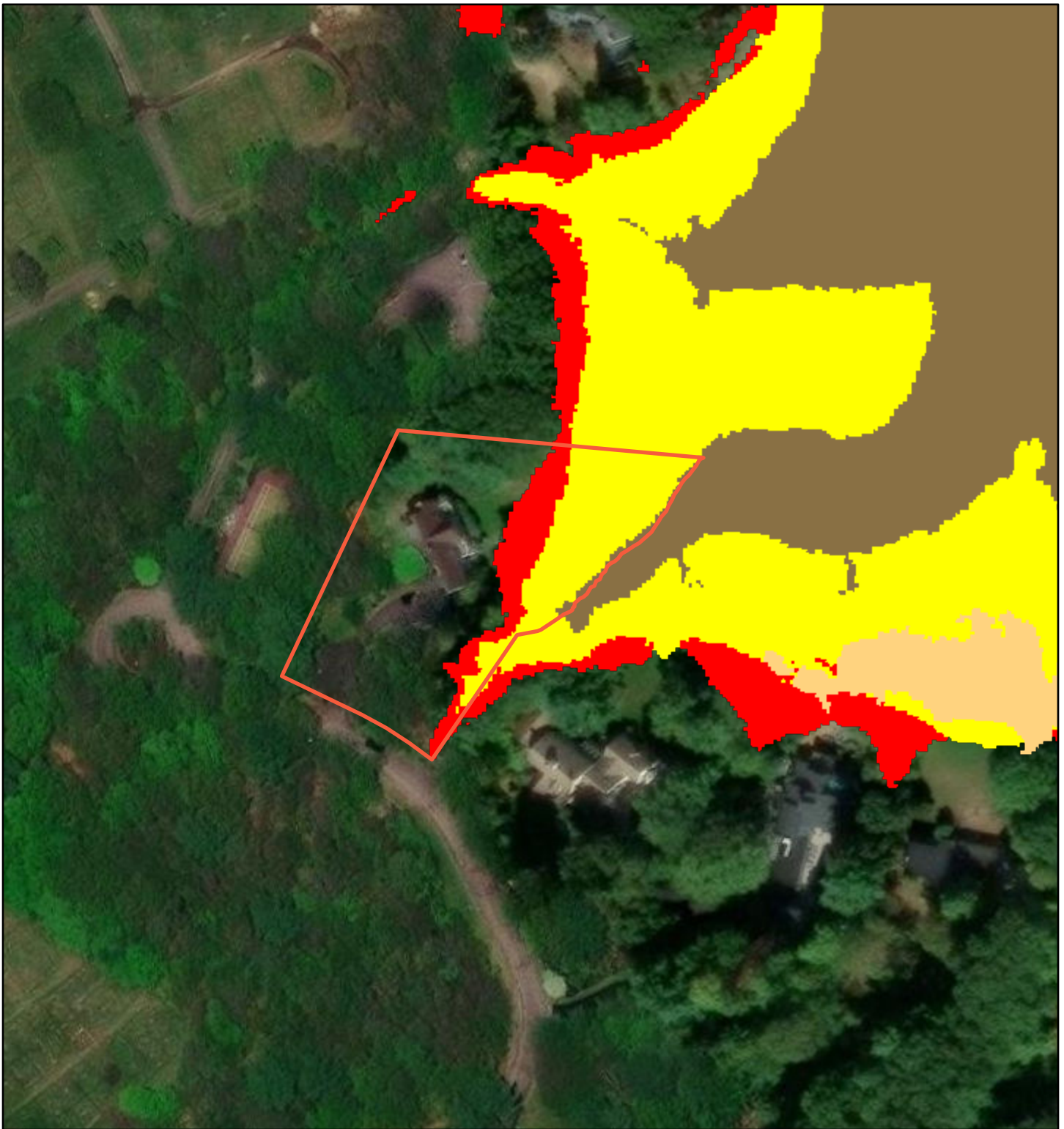
High Resolution 60cm Imagery

High Resolution 30cm Imagery Microsoft, Vantor

Citations




Marsh Migration - 0.5m 2050



3/30/2026, 11:25:11 AM

 Project Parcel

SLAMM 2022 - 0.5-m SLR at Year 2050

 Mud flat

 Salt marsh

 Tidal water

 Tidal wetland

 Transitional salt marsh

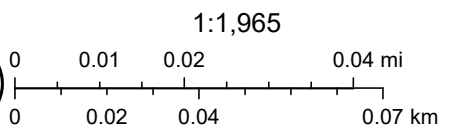
World Imagery

Low Resolution 15m Imagery

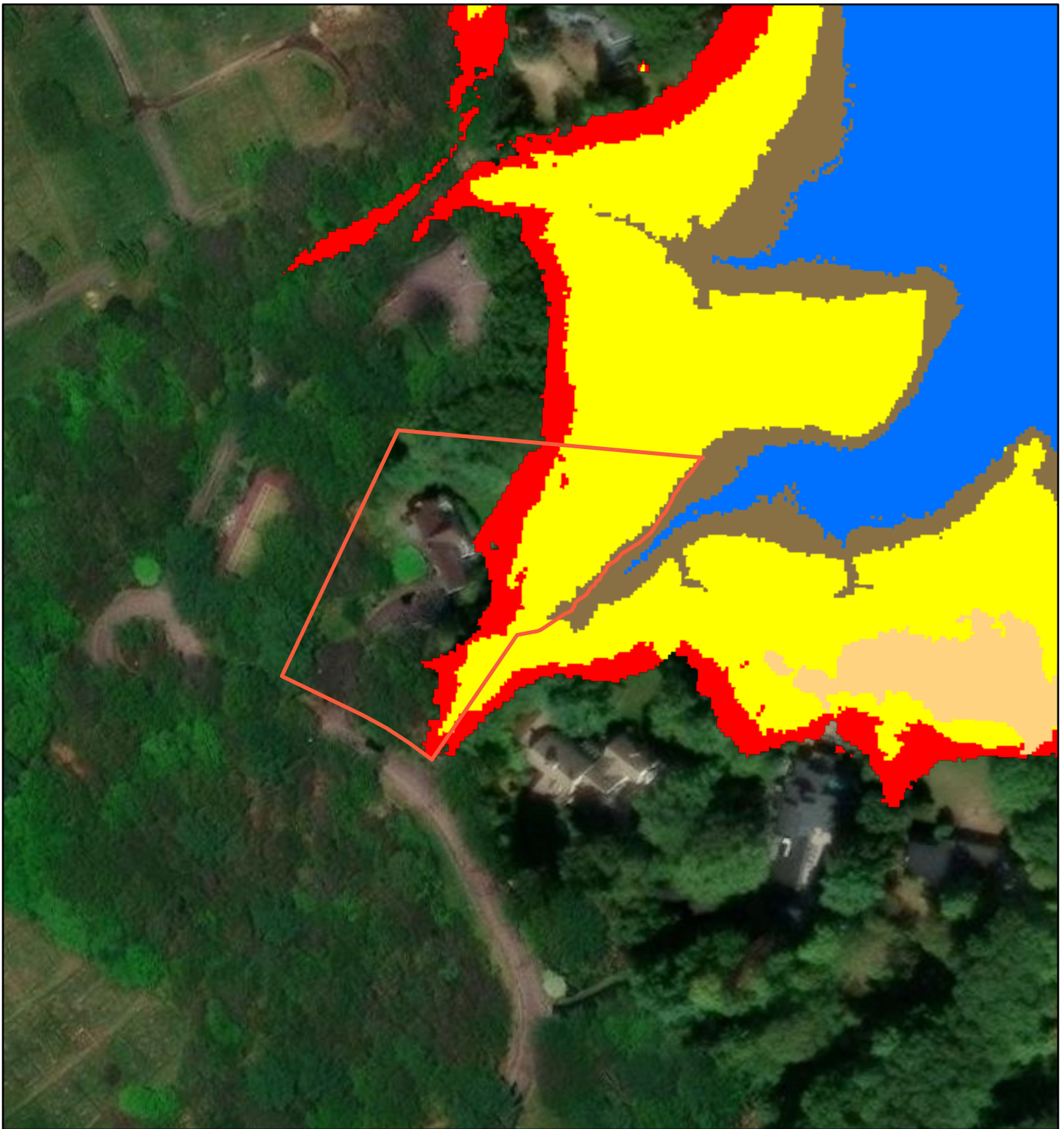
High Resolution 60cm Imagery Microsoft, Vantor

High Resolution 30cm Imagery

Citations




Marsh Migration - 0.75m 2100



3/30/2026, 11:28:40 AM

 Project Parcel


SLAMM 2022 - 0.75-m SLR at Year 2100

 Mud flat

 Salt marsh

 Tidal water

 Tidal wetland

 Transitional salt marsh

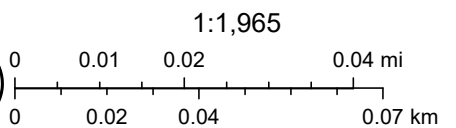
World Imagery

Low Resolution 15m Imagery

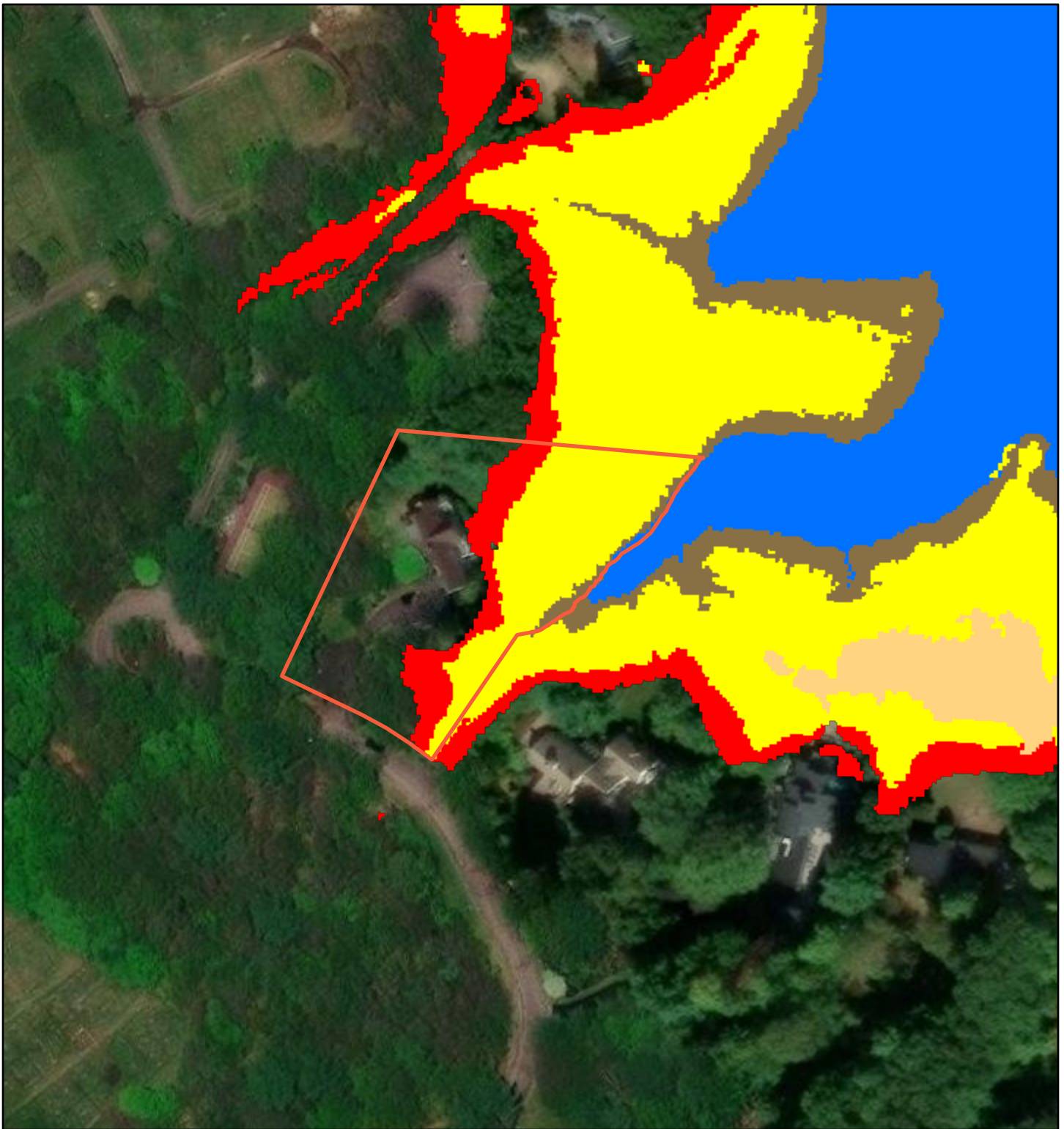
High Resolution 60cm Imagery Microsoft, Vantor

High Resolution 30cm Imagery

Citations




Marsh Migration - 1.2m 2100



3/30/2026, 11:30:33 AM

 Project Parcel

SLAMM 2022 - 1.2-m SLR at Year 2100

 Mud flat

 Salt marsh

 Tidal water

 Tidal wetland

 Transitional salt marsh

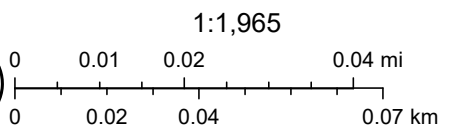
World Imagery

Low Resolution 15m Imagery

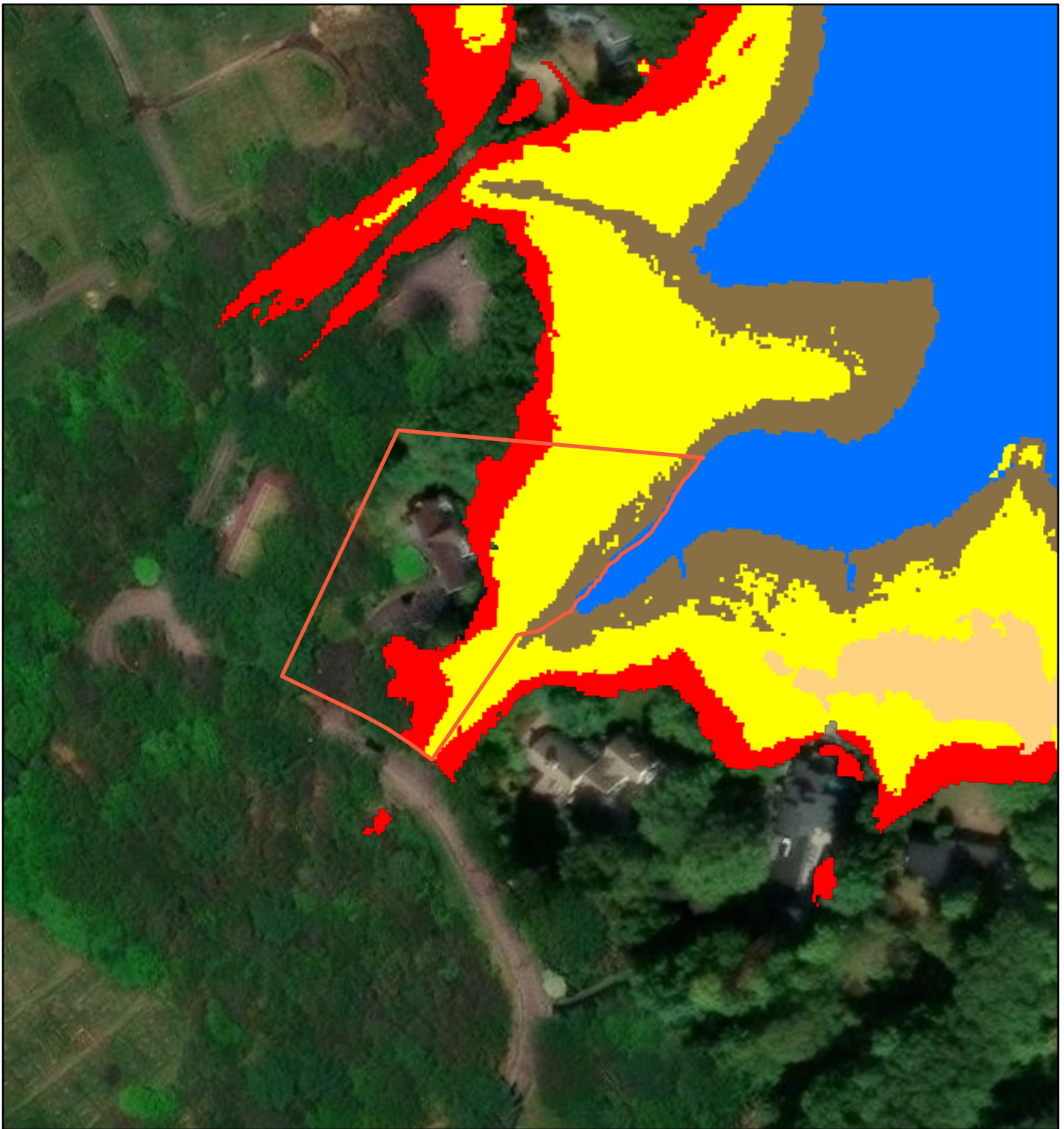
High Resolution 60cm Imagery Microsoft, Vantor

High Resolution 30cm Imagery

Citations




Marsh Migration - 1.5m 2100



3/30/2026, 11:33:18 AM


 Project Parcel

SLAMM 2022 - 1.5-m SLR at Year 2100

 Mud flat

 Salt marsh

 Tidal water

 Tidal wetland

 Transitional salt marsh

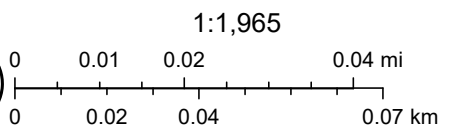
World Imagery

Low Resolution 15m Imagery

High Resolution 60cm Imagery Microsoft, Vantor

High Resolution 30cm Imagery

Citations





FUNCTIONS AND VALUES ASSESSMENT

Migliori Residence – 5 Curriers Cove, Portsmouth, NH 03801

INTRODUCTION

The applicant proposes to construct a new deck among other site improvements at 5 Curriers Cove, Portsmouth, NH 03801. The property is identified as Lot 14 on Map 204 of the City of Portsmouth's tax maps and is approximately 1.10 acres in size. As currently designed, the project proposes impacts to the shoreland zone and the Tidal Buffer Zone (TBZ).

The purpose of this report is to present the existing functions and values of the tidal wetlands and to assess any impacts the proposed project may have on their ability to continue to perform these functions and values. The tidal wetlands being impacted were assessed with consideration to their association with the Piscataqua River and the larger marine ecosystem and was not limited to the tidal wetlands immediately on-site.

METHODS

DATA COLLECTION

The tidal wetlands associated with this project area were identified and characterized through field surveys and review of existing information. Haley Ward Inc. (HW) conducted site visits in March and April, 2026 to characterize the tidal wetlands and collect the necessary information to complete a functions and values assessment. In addition, HW contacted the New Hampshire Natural Heritage Bureau (NHB) regarding existing information of documented rare species or natural communities within the vicinity of the project site.

WETLAND FUNCTIONS AND VALUES ASSESSMENT

HW assessed the ability of the tidal wetlands to provide certain functions and values and analyzed the potential effects the proposed project may have on their ability to continue to provide those functions and values. Wetland functions and values were assessed using the *Highway Methodology Workbook, Wetland Functions and Values: A Descriptive Approach*. This method bases function and value determinations on the presence or absence of specific criteria for each of the 13 wetland functions and values (see definitions below). These criteria are assessed through direct field observations and a review of existing resource maps and databases. As part of the evaluation, the most important functions and values associated with the on-site wetlands are identified. In addition, the ecological integrity of the wetlands is evaluated based on the existing levels of disturbance and the overall significance of the wetlands within the local watershed.



RESULTS

° **Groundwater Interchange (Recharge/Discharge)**

This function considers the potential for the project area wetlands to serve as groundwater recharge and/or discharge areas. It refers to the fundamental interaction between wetlands and aquifers, regardless of the size or importance of either.

Because there is no identified sand and gravel aquifer underlying the project area, and the wetlands are not underlain by sands or gravel, it is unlikely that significant groundwater recharge is occurring within the tidal wetlands.

° **Floodwater Alteration (Storage and Desynchronization)**

This function considers the effectiveness of the wetlands in reducing flood damage by attenuating and gradually releasing floodwaters for prolonged periods following precipitation and snow melt events.

The tidal wetlands associated with the project site lie directly adjacent to the Piscataqua River and the Atlantic Ocean. The tidal wetland and the Piscataqua River do receive floodwater from the surrounding watershed and connected waterways; therefore, this is a suitable function.

° **Fish and Shellfish Habitat**

This function considers the effectiveness of seasonally or permanently flooded areas within the subject wetlands for their ability to provide fish and shellfish habitat.

The tidal wetland does provide fish and shellfish habitat and is directly associated with the Piscataqua River and the Atlantic Ocean; therefore, fish and shellfish habitat is considered a principal function.

° **Sediment/Toxicant Retention**

This function reduces or prevents degradation of water quality. It relates to the effectiveness of the wetland to function as a trap for sediments, toxicants, or pathogens, and is generally related to factors such as the type of soils, the density of vegetation, and the position in the landscape.

In the vicinity of the project, the tidal wetland is primarily vegetated with emergent salt marsh vegetation and mudflats in the subtidal area. Sources of sediments or toxicants exist upstream of the wetland from the heavily developed, urban upland and accumulate in the bay; therefore, this is considered a principal function for the larger wetland complex.



° **Nutrient Removal/Retention/Transformation**

This wetland function relates to the effectiveness of the wetland to prevent or reduce the adverse effects of excess nutrients entering aquifers or surface waters such as ponds, lakes, streams, rivers, or estuaries.

As with sediment and toxicant retention, the greater tidal wetland contains dense vegetation and a significant source of sediments or toxicants; therefore, nutrient removal/retention/transformation is considered a principal function.

° **Production Export (Nutrient)**

This function relates to the effectiveness of the wetland to produce food or usable products for humans or other living organisms.

Production export is a wetland function that typically occurs in the form of nutrient or biomass transport via watercourses, foraging by wildlife species, and removal of timber and other natural products. Because the greater tidal wetland provides fish and wildlife habitat, commercial and recreational fisheries opportunities, and nutrients are transferred over several trophic levels in the marine ecosystem, this is a principal function.

° **Sediment/Shoreline Stabilization**

This function considers the effectiveness of a wetland to stabilize stream banks and shorelines against erosion, primarily through the presence of persistent, well-rooted vegetation.

Due to the tidal nature and wave action at this wetland; sediment/shoreline stabilization is considered a principal function.

° **Wildlife Habitat**

This function considers the effectiveness of the wetland to provide habitat for various types and populations of animals typically associated with wetlands and the wetland edge. Both resident and/or migrating species must be considered.

The greater tidal wetland provides a variety of coastal and marine habitats; therefore, wildlife habitat is a principal function.

° **Recreation (Consumptive and Non-Consumptive)**

This value considers the suitability of the wetland and associated watercourses to provide recreational opportunities such as hiking, canoeing, boating, fishing, hunting, and other active or passive recreational activities.

The greater tidal wetland provides a variety of consumptive and non-consumptive recreational opportunities including hunting, fishing and bird watching; therefore, recreation is considered to be a principal value.



° **Educational/Scientific Value**

This value considers the effectiveness of the wetland as a site for an “outdoor classroom” or as a location for scientific study or research.

The Piscataqua River and the associated tidal wetlands are part of a larger marine ecosystem with multiple areas of public access and spartina salt marshes, a heavily studied system, making this a principal value.

° **Uniqueness/Heritage**

This value relates to the effectiveness of the wetland or its associated water bodies to provide certain special values such as archaeological sites, unusual aesthetic quality, historical events, or unique plants, animals, or geologic features.

Tidal wetlands are unique to the seacoast area. Additionally, there are pre- and post-colonial historical components associated with the Piscataqua River and the surrounding areas making this a principal value.

° **Visual Quality/Aesthetics**

This value relates to the visual and aesthetic qualities of the wetland.

The Piscataqua River provides aesthetically pleasing views that are viewable from surrounding uplands as well as from the water, making this a principal value.

° **Endangered Species Habitat**

This value considers the suitability of the wetland to support threatened or endangered species.

An online inquiry with the NHB identified records of marsh elder (*Iva frutescens*), Atlantic sturgeon (*Acipenser oxyrinchus oxyrinchus*), and shortnose sturgeon (*Acipenser brevirostrum*) in proximity to the proposed project area. Therefore, it is assumed these species may utilize this site given its proximity to the main channel of the Piscataqua River and the Atlantic Ocean. However, the site itself is not mapped as a critical habitat. Therefore, the wetland likely has the ability to function as an endangered species habitat but has not been identified as a principal function.

PROPOSED IMPACTS

This report is accompanying a New Hampshire Department of Environmental Services (NHDES) Minor Impact Wetland Permit Application request to permit 1,399 SF of permanent impacts and 5,305 SF of temporary impacts to the previously developed 100' Tidal Buffer Zone for the construction of a new deck on the northeastern side of the existing dwelling, the installation of a new stone walking path that encompasses the northern portion of the dwelling, the installation of a small grill/recreational area, the



removal of existing impervious areas, site regrading, and a robust landscaping and planting plan.

SUMMARY AND CONCLUSIONS

The jurisdictional tidal wetland is part of a large marine system and provides 11 principal functions and values when evaluated as a whole. These functions and values include: floodflow alteration, fish and shellfish habitat, production export, sediment/shoreline stabilization, nutrient removal/retention, sediment/toxicant retention, wildlife habitat, recreation, education/scientific value, uniqueness/heritage, and visual quality aesthetics. While the entire marine system provides these principal functions and values, the proposed impacts associated with the installation of the deck and associated development will impact only a small portion adjacent to the larger wetland and will not impact the wetland directly. Additionally, the application proposes to supplement the riparian area with additional woody shrub plantings that will increase habitat connectivity and improve functions such as sediment/shoreline stabilization and sediment/toxicant retention. Therefore, the proposed project will not have any effect on the wetland's ability to continue providing its principal functions.

The proposed impacts have been minimized to the greatest extent practicable, while allowing for a deck structure of sufficient size to create a recreational area for the applicant outside the area of the Flood Hazard Zone. The project will not contribute to additional storm water or pollution as the increase in impervious area is minimal and supplemented with significant plantings. It is anticipated that there will be no effect on any fish or wildlife species that currently use the site for food, cover, and/or habitat given the limit of impacts to previously developed areas, no removal of vegetation, and the significant planting proposed. The project will not impede tidal flow or alter hydrology, will not deter use by wildlife species that currently use the wetland area, and it will not impede any migratory fish movement.

Based on our assessment of the current functions and values, the proposed deck design, placement, and proposed buffer plantings; it is our belief that the proposed project will have no significant impact on the tidal wetlands or greater marine systems' ability to continue to provide their current functions and values.

Wetland Function-Value Evaluation Form

Total area of wetland _____ Human made? _____ Is wetland part of a wildlife corridor? _____ or a "habitat island"? _____

Adjacent land use _____ Distance to nearest roadway or other development _____

Dominant wetland systems present _____ Contiguous undeveloped buffer zone present _____

Is the wetland a separate hydraulic system? _____ If not, where does the wetland lie in the drainage basin? _____

How many tributaries contribute to the wetland? _____ Wildlife & vegetation diversity/abundance (see attached list)

Wetland I.D. _____













Latitude _____ Longitude _____

Prepared by: _____ Date _____

Wetland Impact:
Type _____ Area _____

Evaluation based on:
Office _____ Field _____

Corps manual wetland delineation completed? Y _____ N _____

Function/Value	Suitability Y / N	Rationale (Reference #)*	Principal Function(s)/Value(s)	Comments
 Groundwater Recharge/Discharge				
 Floodflow Alteration				
 Fish and Shellfish Habitat				
 Sediment/Toxicant Retention				
 Nutrient Removal				
 Production Export				
 Sediment/Shoreline Stabilization				
 Wildlife Habitat				
 Recreation				
 Educational/Scientific Value				
 Uniqueness/Heritage				
 Visual Quality/Aesthetics				
ES Endangered Species Habitat				
Other				

Notes:

* Refer to backup list of numbered considerations.



HALEY WARD

COASTAL VULNERABILITY ASSESSMENT

Migliori Residence – 5 Curriers Cove, Portsmouth, NH 03801

INTRODUCTION

This Coastal Vulnerability Assessment (CVA) is being provided in support of a New Hampshire Department of Environmental Services (NHDES) Wetland Permit Application for the construction of a deck and associated site improvements at 5 Curriers Cove, Portsmouth, NH 03801 (herein referred to as “project site”). The project site is a residential lot located on the south shore of the Piscataqua River with one existing structure and associated walkways, driveways, and landscaped areas. The surrounding land use is primarily residential and forested.

METHODS

In March and April, 2026, Keegan Feero, Permitting Specialist from Haley Ward, Inc. conducted a site visit to evaluate coastal characteristics of the project site. This CVA was completed utilizing the NH Coastal Flood Risk Science and Technical Advisory Panel (2019) New Hampshire Coastal Flood Risk Summary Part II: Guidance for Using Scientific Projections. Report Published by the University of New Hampshire (herein referred to as Guidance Document).

PART 1.1 – PROJECT TYPE

This project proposes the construction of a deck and associated site improvements on the residential lot to provide the applicants with a recreational area outside of the Flood Hazard Zone. For more details regarding construction and sequencing of the structure; please refer to the NH DES Wetlands Bureau Application attached NHDES Permit Plan – Sheet C501.

PART 1.2 – PROJECT LOCATION

The project location is 5 Curriers Cove, Tax Map 204, Lot 14 and consists of +/- 1.10 acres of upland. The project site abuts the Piscataqua River on a relatively protected cove. Access to the project site will be from Curriers Cove, with equipment operating from adjacent uplands.

PART 1.3 – TIMELINE FOR DESIRED USEFUL LIFE

This analysis will use 2100 for a timeframe, as the deck is intended to be a permanent fixture to the existing residence. The expected lifespan of a wooden deck can vary drastically, but a conservative estimate of 50 years will be chosen as it will likely be utilized and maintained by the applicants well into the future.

Migliori Residence | 04.03.2026 | 5010600.3340



2.1 – PROJECT RISK TOLERANCE

The proposed project is considered to have a high risk tolerance considering the deck has a relatively low cost, is attached to a house which can be relocated on the lot should flood waters become an issue, proposes little to no implications on public function and/or safety; and has no sensitivity to inundation given the purpose of the project is to increase the resilience of the residence/property to flooding.

2.2 – RISK TOLERANCE OF IMPORTANT ACCESS AND SERVICE AREAS

The risk tolerance of surrounding access and service areas is not applicable to this project, as the project occurs on a residential, private lot and is intended for private use; primary access of which would be from the residence.

3.1 – RELATIVE SEA LEVEL RISE SCENARIO (RSLs)

Based on Table 3 in the Guidance Document (see table below), the RSLs for this project (based on the previously determined high risk tolerance) is considered to be on the lower magnitude, and higher probability. The following table depicts the probable sea level rise from 2000 through 2150.

Table 3 from the Guidance Document:

Risk Tolerance	High	Medium	Low	Extremely Low
Example Project	Walking Trail *Deck Construction & Stone Revetment	Local Road Culvert	Wastewater Treatment Facility	Hospital
Timeframe	Manage to the following sea level rise (ft*) <i>Compared to the sea level in the year 2000</i>			
	Lower magnitude Higher probability	←————→		Higher magnitude Lower probability
2030	0.7	0.9	1.0	1.1
2050	1.3	1.6	2.0	2.3
2100	2.9	3.8	5.3	6.2
2150	4.6	6.4	9.9	11.7

*Added by Haley Ward, Inc. based on the application of the Guidance Document towards our project.

3.2 – RELATIVE SEA LEVEL RISE (RSLR) IMPACTS TO THE PROJECT EVALUATION

Estimates of Projected SLR's which depict the project site and projected water depth at high tide for 1 foot, 2 foot, 4 foot, 6 foot, and 8 foot sea level rise scenarios are attached. Relative to surrounding topography and considering the High-Risk Tolerance of this project; the projected RSLR is not expected to be a major consideration for this project. The 2.9ft RSLR estimate is being used for this project, and the overall site regrading to accommodate the City of Portsmouth's MHHW + 2ft structure elevation requirement



addresses any potential future flooding risk associated with the shoreland development. There are no restrictions on the project site or associated with the proposed project.

3.3 – OTHER FACTORS

Other factors were evaluated in conjunction with RSLR including surface water levels, groundwater levels, and current velocities - which will increase with sediment erosion and deposition. The project's position in the landscape was also considered relative to other infrastructure.

The Highest Observable Tide Line (HOTL) associated with the project site is located approximately at elevation 6. Considering a 2.9-foot RSLR in the year 2100, the resulting HOTL in the year 2100 will have an elevation of 8.9. The proposed deck will be placed at elevation 10. Additionally, the proposed deck will be supported by pilings that will withstand flood waters from extreme precipitation events well into the future. As such, the proposed deck structure will function as intended throughout its expected useful life.

4.1 – RSLR AND COASTAL STORMS

Due to the project site location being immediately adjacent to the Piscataqua River, it will be directly affected by RSLR and storm surge; however, these have been reviewed during engineering and design. The project site is located in a protected cove and does not have an open fetch. Wave action is typically diffuse in this area, meaning storm surge is not anticipated to influence the stability of the embankment in this area even considering sea level rise. Considering the high risk tolerance of this project, the relatively diffuse nature of the wave action in this location, and the protected nature of the cove, it is not anticipated that this project has a significant level of vulnerability to RSLR and coastal storms given the standard to which modern deck structures are constructed.

4.2 – OTHER FACTORS

Other factors such as surface water levels, groundwater levels, wind and current velocities have been considered. Considering the high risk tolerance of this project, it is not anticipated that this project has a significant level of vulnerability to groundwater levels, wind and current velocities given the standard to which modern deck structures are constructed.

5.1 – PROJECTED RSL-INDUCED GROUNDWATER RISE

Based on the Sea-Level Rise Mapper, there is projected groundwater rise associated with RSLR on the project site. Based on predictions by the New Hampshire Sea-Level Rise, Storm Surge, and Groundwater Rise Mapper managed by the New Hampshire Department of Environmental Services, the predicted groundwater rise in this area is expected to be approximately 1.2 – 2.2 feet by the year 2100 given an estimated increase of 4 feet in SLR (note the RSLR of 2.9 feet as identified in Table 3 above).



However, given the proposed site regrading and additional fill, groundwater rise is not anticipated to significantly affect the proposed deck structure.

5.2 – PROJECTED GROUNDWATER DEPTH AT THE PROJECT LOCATION

Projected groundwater depth on the subject site would likely rise with projected RSLR. The project site currently has a seasonal high water table depth of less than five feet which approaches the surface depending on proximity to the shoreline as the site slopes downwards from west to east. However, the proposed deck will be placed on an elevated portion of the lot directly adjacent to the existing structure and will be located 2 feet above MHHW. Therefore, groundwater depth at the project location is not anticipated to be an issue as the structure has been designed to accommodate RSLR.

6.1 – BEST AVAILABLE PRECIPITATION ESTIMATES

Please see the attached Extreme Precipitation Tables from the Northeast Regional Climate Center.

7.1 – CUMULATIVE COASTAL FLOOD RISK TO THE PROJECT

Based on the high risk tolerance of this project combined with all other factors including RSLR, coastal storms, RSLR-induced groundwater rise, extreme precipitation and/or freshwater flooding occurring together; this project is not considered to be at high risk from coastal flooding. The site is proposed to be regraded to accommodate a higher elevation for the structure to be installed.

7.2 – POSSIBLE ACTIONS TO MITIGATE COASTAL FLOOD RISK

Given the high-risk tolerance of the proposed project, it is not anticipated that it is necessary to mitigate for coastal flood risk beyond what has already been incorporated into the design plan for the proposed deck. The projected SLR scenario through 2100 is 2.9' and the proposed deck has been designed at an elevation to accommodate this expected increase in sea level rise considering the current HOTL which is at an elevation of 6.

Extreme Precipitation Tables

Northeast Regional Climate Center

Data represents point estimates calculated from partial duration series. All precipitation amounts are displayed in inches.

Metadata for Point	
Smoothing	Yes
State	New Hampshire
Location	New Hampshire, United States
Latitude	43.074 degrees North
Longitude	70.756 degrees West
Elevation	0 feet
Date/Time	Thu Apr 02 2026 19:24:12 GMT-0400 (Eastern Daylight Time)

24hr Storms:

1yr = 2.66in * 1.15 = 3.06in
 2yr = 3.21in * 1.15 = 3.69in
 5yr = 4.07in * 1.15 = 4.68in
 10yr = 4.86in * 1.15 = 5.59in
 25yr = 6.17in * 1.15 = 7.10in
 50yr = 7.39in * 1.15 = 8.50in
 100yr = 8.85in * 1.15 = 10.18in

Extreme Precipitation Estimates

	5min	10min	15min	30min	60min	120min	1hr	2hr	3hr	6hr	12hr	24hr	48hr	1day	2day	4day	7day	10day		
1yr	0.26	0.40	0.50	0.65	0.81	1.04	0.70	0.98	1.21	1.56	2.03	2.66	2.92	1yr	2.35	2.81	3.22	3.94	4.55	1yr
2yr	0.32	0.50	0.62	0.82	1.02	1.30	0.88	1.18	1.52	1.94	2.49	3.21	3.57	2yr	2.84	3.43	3.94	4.68	5.33	2yr
5yr	0.37	0.58	0.73	0.98	1.25	1.61	1.08	1.47	1.89	2.43	3.14	4.07	4.58	5yr	3.60	4.40	5.04	5.94	6.70	5yr
10yr	0.41	0.65	0.82	1.12	1.45	1.89	1.25	1.73	2.23	2.89	3.75	4.86	5.53	10yr	4.31	5.32	6.09	7.11	7.98	10yr
25yr	0.48	0.76	0.97	1.34	1.78	2.34	1.53	2.14	2.78	3.63	4.74	6.17	7.10	25yr	5.46	6.83	7.81	9.03	10.05	25yr
50yr	0.54	0.86	1.10	1.54	2.08	2.76	1.79	2.53	3.29	4.33	5.67	7.39	8.58	50yr	6.54	8.25	9.43	10.81	11.97	50yr
100yr	0.60	0.97	1.25	1.77	2.42	3.26	2.09	2.98	3.91	5.16	6.77	8.85	10.38	100yr	7.83	9.98	11.39	12.96	14.27	100yr
200yr	0.68	1.10	1.43	2.05	2.83	3.84	2.44	3.52	4.62	6.14	8.08	10.60	12.55	200yr	9.38	12.06	13.76	15.55	17.01	200yr
500yr	0.80	1.32	1.72	2.49	3.49	4.78	3.01	4.39	5.78	7.72	10.22	13.47	16.14	500yr	11.92	15.52	17.68	19.78	21.48	500yr

Lower Confidence Limits

	5min	10min	15min	30min	60min	120min	1hr	2hr	3hr	6hr	12hr	24hr	48hr	1day	2day	4day	7day	10day		
1yr	0.23	0.36	0.44	0.59	0.72	0.88	0.63	0.86	0.93	1.33	1.69	2.24	2.49	1yr	1.98	2.39	2.87	3.19	3.90	1yr
2yr	0.31	0.49	0.60	0.81	1.00	1.19	0.86	1.16	1.37	1.82	2.34	3.06	3.45	2yr	2.71	3.32	3.82	4.55	5.09	2yr
5yr	0.35	0.54	0.67	0.92	1.17	1.40	1.01	1.37	1.61	2.12	2.73	3.78	4.19	5yr	3.35	4.03	4.72	5.53	6.24	5yr
10yr	0.39	0.59	0.73	1.03	1.33	1.60	1.14	1.56	1.80	2.39	3.05	4.37	4.85	10yr	3.87	4.67	5.43	6.41	7.19	10yr
25yr	0.44	0.67	0.83	1.19	1.56	1.90	1.35	1.86	2.10	2.75	3.53	4.73	5.88	25yr	4.19	5.65	6.64	7.78	8.67	25yr
50yr	0.48	0.73	0.91	1.31	1.76	2.17	1.52	2.12	2.35	3.06	3.92	5.35	6.78	50yr	4.73	6.52	7.71	9.03	10.00	50yr
100yr	0.54	0.81	1.01	1.46	2.01	2.47	1.73	2.41	2.62	3.40	4.33	6.02	7.82	100yr	5.32	7.52	8.95	10.49	11.55	100yr
200yr	0.59	0.89	1.13	1.63	2.27	2.81	1.96	2.75	2.93	3.77	4.77	6.75	9.02	200yr	5.97	8.68	10.38	12.20	13.35	200yr
500yr	0.68	1.02	1.31	1.90	2.71	3.36	2.33	3.28	3.41	4.30	5.43	7.86	10.89	500yr	6.95	10.47	12.63	14.92	16.17	500yr



Upper Confidence Limits

	5min	10min	15min	30min	60min	120min	1hr	2hr	3hr	6hr	12hr	24hr	48hr	1day	2day	4day	7day	10day		
1yr	0.28	0.44	0.54	0.72	0.89	1.08	0.77	1.06	1.26	1.74	2.20	2.98	3.17	1yr	2.64	3.05	3.58	4.37	5.04	1yr
2yr	0.34	0.52	0.64	0.87	1.07	1.27	0.92	1.24	1.48	1.96	2.52	3.42	3.71	2yr	3.03	3.56	4.09	4.84	5.63	2yr
5yr	0.40	0.62	0.77	1.05	1.34	1.62	1.15	1.59	1.89	2.54	3.25	4.34	4.97	5yr	3.84	4.78	5.38	6.38	7.16	5yr
10yr	0.47	0.72	0.89	1.25	1.61	1.98	1.39	1.93	2.28	3.11	3.96	5.34	6.21	10yr	4.72	5.97	6.83	7.85	8.76	10yr
25yr	0.58	0.88	1.09	1.56	2.05	2.57	1.77	2.52	2.96	4.08	5.16	7.76	8.36	25yr	6.87	8.04	9.17	10.35	11.42	25yr
50yr	0.67	1.02	1.27	1.83	2.47	3.13	2.13	3.06	3.60	5.01	6.34	9.71	10.48	50yr	8.59	10.08	11.48	12.74	13.98	50yr
100yr	0.79	1.20	1.50	2.16	2.97	3.82	2.56	3.73	4.38	6.17	7.79	12.15	13.14	100yr	10.75	12.63	14.36	15.72	17.11	100yr
200yr	0.93	1.39	1.77	2.56	3.57	4.66	3.08	4.56	5.35	7.60	9.57	15.23	16.48	200yr	13.48	15.85	18.00	19.38	20.94	200yr
500yr	1.15	1.71	2.20	3.20	4.55	6.06	3.93	5.92	6.94	10.05	12.62	20.58	22.27	500yr	18.21	21.41	24.26	25.55	27.37	500yr

Sea Level Rise - MHHW Current



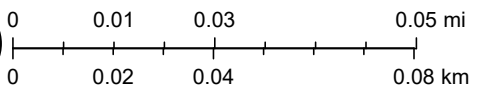
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-  Project Parcel
-  MHHW Baseline Extent
- World Imagery
- Low Resolution 15m Imagery

High Resolution 60cm Imagery

High Resolution 30cm Imagery

Citations



1:2,061

Microsoft, Vantor

Sea Level Rise - MHHW + 2ft




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 Project Parcel

 8 - 10

MHHW + 2-ft SLR

World Imagery

 0 - 2

Low Resolution 15m Imagery

 2 - 4

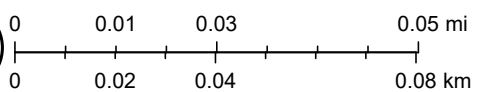
High Resolution 60cm Imagery

 4 - 6

High Resolution 30cm Imagery

 6 - 8

Citations















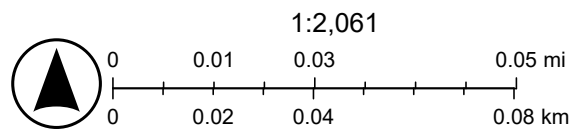
Microsoft, Vantor

Sea Level Rise - MHHW + 4ft



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- | | | | |
|--|----------------|---|------------------------------|
|  | Project Parcel |  | 10 + |
| MHHW + 4-ft SLR | | | |
|  | 0 - 2 |  | World Imagery |
|  | 2 - 4 |  | Low Resolution 15m Imagery |
|  | 4 - 6 |  | High Resolution 60cm Imagery |
|  | 6 - 8 |  | High Resolution 30cm Imagery |
|  | 8 - 10 |  | Citations |








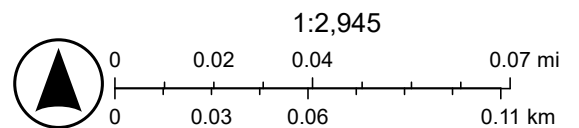
Microsoft, Vantor

Sea Level Rise - MHHW + 6ft



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- | | |
|---|--|
|  Project Parcel |  10 + |
| MHHW + 6-ft SLR | World Imagery |
|  0 - 2 | Low Resolution 15m Imagery |
|  2 - 4 | High Resolution 60cm Imagery |
|  4 - 6 | High Resolution 30cm Imagery |
|  6 - 8 | Citations |
|  8 - 10 | 60cm Resolution Metadata |





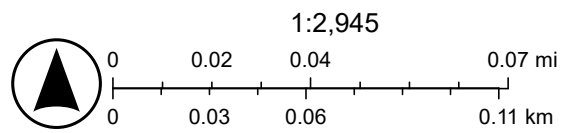
Microsoft, Vantor

Sea Level Rise - MHHW + 8ft



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- | | |
|---|--|
|  Project Parcel |  10 + |
| MHHW + 8-ft SLR | World Imagery |
|  0 - 2 | Low Resolution 15m Imagery |
|  2 - 4 | High Resolution 60cm Imagery |
|  4 - 6 | High Resolution 30cm Imagery |
|  6 - 8 | Citations |
|  8 - 10 | 60cm Resolution Metadata |



Microsoft, Vantor



**PRIME WETLAND WAIVER
FORESTRY & OTHER ACTIVITIES**
Water Division / Land Resources Management
Wetlands Bureau



RSA/Rule: RSA 482-A:11/ Env-Wt 706

**To be submitted to
DES with application**

APPLICANT LAST NAME, FIRST NAME, M.I.:

Administrative Use Only	Administrative Use Only	Administrative Use Only	File No.:
			Check No.:
			Amount:
			Initials:

As provided in RSA 482-A:11, IV(b)(1), to be eligible for the [Forestry Statutory Permit-by-Notification \(Forestry SPN\)](#), a property owner must obtain a waiver to perform any forest management work and related activities in the forested portion of a designated **prime wetland*** or **duly-established 100-foot buffer†** from the department. *For a waiver request for Forestry Activities within a designated prime wetland or duly-established 100-foot buffer, please complete Part I of this form.*

As provided in RSA 482-A:11, IV(c), a property owner may request a waiver from the department to perform work not addressed above within a portion of any **duly-established 100-foot buffer†** of a prime wetland on his or her property. Please note that waivers for such activities may only be requested for work within a duly-established 100-foot buffer, not for work within prime wetlands. *For a waiver request for Activities Other than Forest Management within a duly-established 100-foot buffer, please complete Part II of this form.*

A waiver request for work in a prime wetland or duly-established 100-foot buffer must be submitted to the department at the same time as a notification for an SPN or other application, as applicable.

*Prime Wetlands: Any contiguous areas falling within the jurisdictional definitions of RSA 482-A:2, X and RSA 482-A:4 that, because of their size, unspoiled character, fragile condition, or other relevant factors, make them of substantial significance (482-A:15, I-a).

†Duly-Established 100-foot Buffer: The buffer recognized in RSA 482-A:11, IV for prime wetlands designated on or after September 11, 2009 but before August 17, 2012 (Env-Wt 102.63).

PART I: WAIVER REQUEST FOR FORESTRY ACTIVITIES	
SECTION 1 - REQUESTED WAIVER AND FILING FEE (Env-Wt 706.02(b)(3))	
Check or money order for the applicable filing fee payable to "Treasurer – State of NH" (RSA 482-A:3, I(c)).	
<input type="checkbox"/>	\$200 for a project that would otherwise qualify for a Forestry SPN if it was not located in or near a designated prime wetland or duly-established 100-foot buffer.
<input type="checkbox"/>	\$500 for a minor impact project that does not otherwise qualify as minimum or major impact project.
<input type="checkbox"/>	\$1,250 for a major impact project classified regardless of prime wetlands designation.

lrm@des.nh.gov or (603) 271-2147

29 Hazen Drive, PO Box 95, Concord, NH 03302-0095

des.nh.gov

SECTION 2 - PROPOSED WORK (Env-Wt 706.02(b); RSA 482-A:11, IV(b)(1))

Provide a brief written description of the work to be performed.

SECTION 3 - PRIME WETLANDS VALUES (Env-Wt 706.02(b); RSA 482-A:11, IV(b)(1))

Provide a list of the prime wetlands values as identified by the municipality when the prime wetland or duly-established 100-foot buffer was designated. Demonstrate that the project will not create a significant net loss of these wetland values.

SECTION 4 - REQUIRED ATTACHMENTS (Env-Wt 706.02; RSA 482-A:11, IV(b)(1))

- A sketch of the property depicting the best approximate location of each prime wetlands/buffer in which work is proposed and the location of proposed work, including access roads.
- A copy of the notice of intent to cut, if applicable.
- Other information to demonstrate that there will be no significant net loss of wetland values identified by the municipality when the prime wetland/buffer was designated.

SECTION 5 - ADDITIONAL INSTRUCTIONS (Env-Wt 706.02; RSA 482-A:11, IV(b)(3))

- At the time the applicant submits the waiver request to the department, the applicant also shall submit, **via certified mail**, a copy of the waiver request and all supporting documentation to the local governing body, the planning board, if any, and the conservation commission, if any, of the municipalities in which any prime wetlands/buffers associated with the application are located.
- If a prime wetland/buffer associated with the application extends into an abutting property, the property owner requesting the waiver shall provide a copy of the waiver request and all supporting documentation to the owner of that abutting property. The applicant shall send the notice required **by certified mail**.

Please note:

- As provided in RSA 482-A:11, IV(b)(3), the department shall not issue a waiver for forestry activities prior to 14 days after receipt of the waiver request, provided however that a municipal conservation commission may request an extension on such waiver issuance, not to exceed 14 days, which the department shall grant if requested.

lrn@des.nh.gov or (603) 271-2147

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- As provided by RSA 482-A:11, IV(b)(2), the department shall not issue a waiver unless the department determines that there will be no significant net loss of wetland values as identified by the local conservation commission/local governing authority or in RSA 482-A:1.
- If the department determines that the criteria for issuing a waiver are met, the waiver shall be issued as part of the Forestry SPN or permit, as applicable.
- If the department is unable to determine, based on the information submitted, that the proposed work will not cause a significant net loss of wetland values, the department shall notify the applicant of what additional information is needed and establish a deadline in consultation with the applicant for the submission of the additional information.
- If the department determines that the project would not cause a significant net loss of wetland values if certain conditions were met, the department shall place such conditions on the waiver as are necessary to protect the prime wetland resource.
- Any waiver issued shall be valid for the term of the permit or SPN with which it is associated, but may be extended.

irm@des.nh.gov or (603) 271-2147

29 Hazen Drive, PO Box 95, Concord, NH 03302-0095

des.nh.gov

PART II: WAIVER REQUEST FOR ACTIVITIES OTHER THAN FOREST MANAGEMENT

SECTION 1 - REQUESTED WAIVER AND FILING FEE (Env-Wt 706.04(b)(5))

Check or money order for the applicable filing fee payable to "Treasurer – State of NH" (RSA 482-A:3, I(c)).

- \$200 for projects that would otherwise qualify as a minimum impact project if it was not located in a designated prime wetlands buffer.
- \$500 for a minor impact project that does not otherwise qualify as minimum or major impact project.
- \$1,250 for a major impact projects.

SECTION 2 - PROPOSED WORK (Env-Wt 706.04(b)(2))

Provide a written description of the work to be performed.

SECTION 3 - PRIME WETLANDS VALUES (Env-Wt 706.04(b))

Provide a list of the prime wetlands values identified by the municipality when the prime wetlands associated with the buffer was designated. Demonstrate that the project will not create a significant net loss of these wetland values.

SECTION 4 - REQUIRED ATTACHMENTS (Env-Wt 706.04)

- A sketch of the property depicting the best approximate location of the duly-established 100-foot buffer in which work is proposed and the location of proposed work, including access roads.
- Other information to demonstrate that there will be no significant net loss of wetland values identified by the municipality when the prime wetlands associated with the buffer was designated.

SECTION 5 - ADDITIONAL INSTRUCTIONS (Env-Wt 706.04; RSA 482-A:11, IV(c))

- At the time the applicant submits the waiver request to the department, the applicant also shall notify, **by certified mail**, the local governing body, the planning board, if any, and the conservation commission, if any, of the municipalities in which the waiver is being sought that the waiver is being requested.
- If the buffer associated with the application extends onto an abutting property, the property owner requesting the waiver shall provide notice that the waiver is being requested to the owner of that abutting property.

Please note:

- As provided in Env-Wt 706.05, the department shall not issue a waiver under Env-Wt 706.01(b) prior to 14 days after receipt of the waiver request, provided however that a municipal conservation commission may request an extension on such waiver issuance, not to exceed 14 days, which the department shall grant if and as requested.
- The department shall not issue a waiver unless the department determines that there will be no significant net loss of wetland values as identified by the local conservation commission/local governing authority and in RSA 482-A:1.
- If the department determines that the criteria for issuing a waiver are met, the waiver shall be issued as part of the SPN or permit, as applicable.
- If the department is unable to determine, based on the information submitted, that the proposed work will not cause a significant net loss of wetland values, the department shall notify the applicant of what additional information is needed and establish a deadline in consultation with the applicant for the submission of the additional information.
- If the department determines that the project would not cause a significant net loss of wetland values if certain conditions were met, the department shall place such conditions on the waiver as are necessary to protect the prime wetlands resource.
- Any waiver issued shall be valid for the term of the permit or SPN with which it is associated, but may be extended.

irm@des.nh.gov or (603) 271-2147

29 Hazen Drive, PO Box 95, Concord, NH 03302-0095

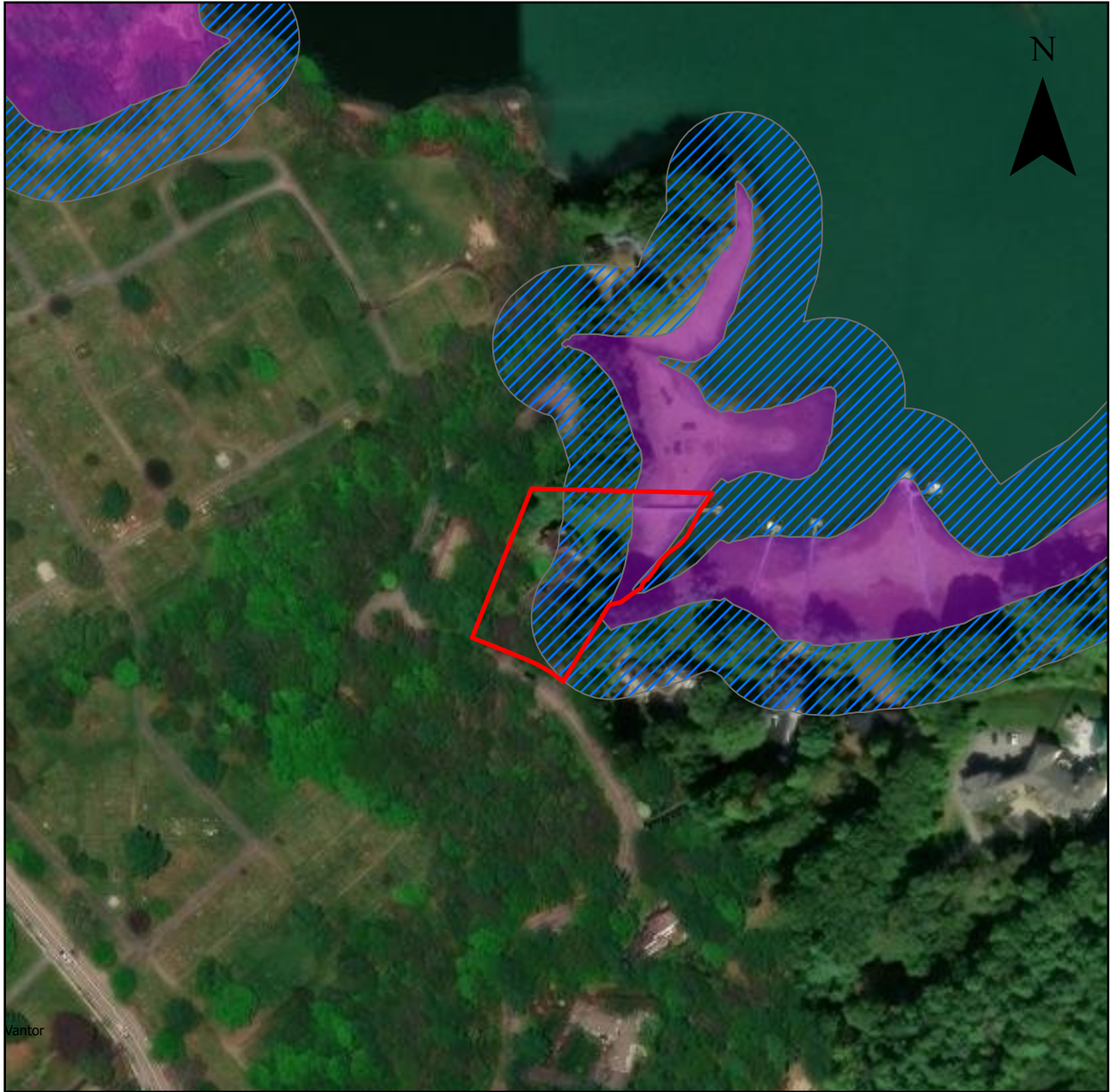
des.nh.gov






HALEY WARD

Prime Wetlands

Migliori Residence - 5 Curriers Cove, Portsmouth NH 03801



-  Project Parcel
-  Prime Wetlands
-  100' Prime Wetland Buffer



Abutter/Notice information
to be provided prior to
submittal to NH DES

Conservation Commission

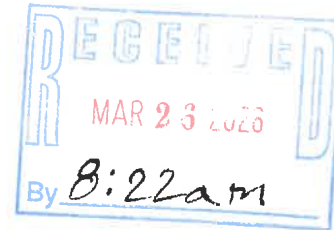
John Chagnon

April 8

From: John Chagnon
Sent: Wednesday, March 25, 2026 2:39 PM
To: kehomet@portsmouthnh.gov
Cc: james Dumont; Michael Griffin (mjggipper@aol.com); Keegan Feero
Subject: Elks Club - 500 Jones Avenue
Attachments: 500 Jones Avenue Elks Lodge Work Session Plan 3-25-26.pdf

Kate,
Thanks for the return phone call. Please add 500 Jones Avenue, the Elks Club, to the Agenda for the April 8 Conservation Commission meeting. We are preparing an application to repair the shoreline and want to review in a Work Session.
Existing plan with location attached.

Sincerely,



John Chagnon, PE, CFS, LLS
Senior Project Manager | Vice President
t: 603.430.9282 dd: 603.766.2988
a: 200 Griffin Rd Unit 14, Portsmouth, NH 03801

Chat With Me On Teams



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PLAN REFERENCES:

1) "BOUNDARY SURVEY LOCATED IN PORTSMOUTH, NH." PREPARED FOR TIDEWATCH ASSOCIATES INC. PREPARED BY: KIMBALL CHASE COMPANY, INC., SCALE: 1"=100', DATED: MARCH 19, 1986. RCRD D-14771.

2) "AS-BUILT PLAN FOR ORDER OF THE ELKS LODGE #97 JONES AVE COUNTY OF ROCKINGHAM PORTSMOUTH, NH." PREPARED BY: MILLETTE, SPRAGUE, & COLWELL, INC, SCALE: 1"=40', DATED: SEPTEMBER 19, 1994 AND REVISED MARCH 30, 1999. RCRD D-27545.

3) "PLAN OF PROPERTY IN PORTSMOUTH, NH" OWNED BY: HARTLEY W MASON. PREPARED BY: WILLIAM GROVER, SCALE: 1"=40', DATED: DECEMBER 1908. RCRD #0254.

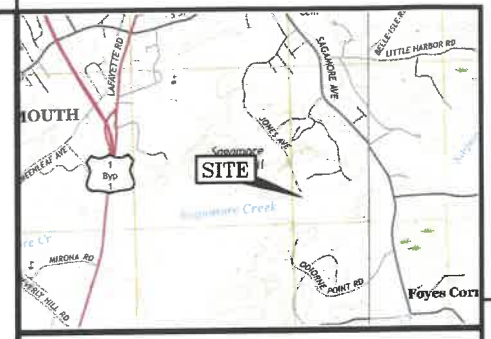
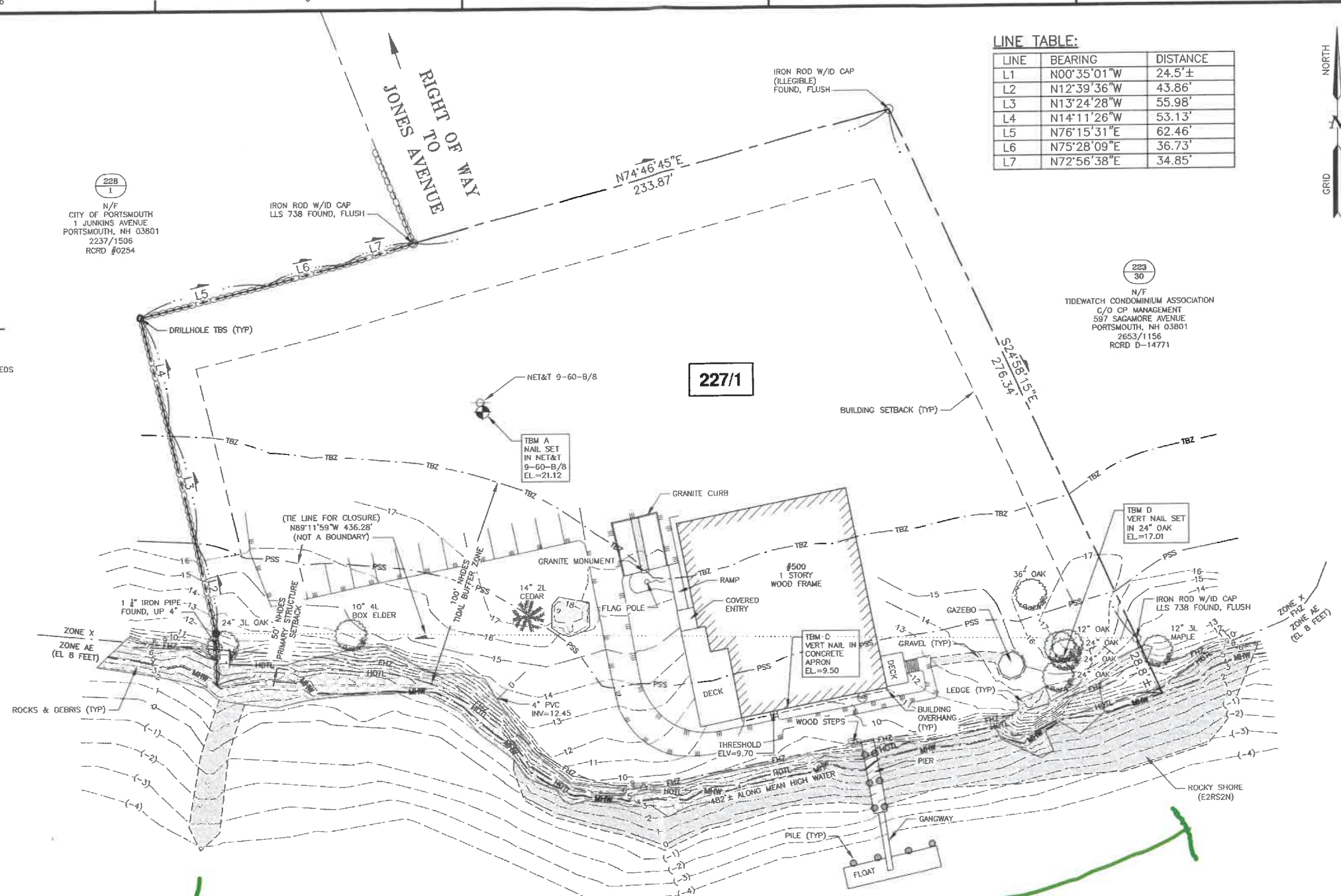
228
1
N/F
CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH, NH 03801
2237/1506
RCRD #0254

LINE TABLE:

LINE	BEARING	DISTANCE
L1	N00°35'01"W	24.5'±
L2	N12°39'36"W	43.86'
L3	N13°24'28"W	55.98'
L4	N14°11'26"W	53.13'
L5	N76°15'31"E	62.46'
L6	N75°28'09"E	36.73'
L7	N72°56'38"E	34.85'

LEGEND:

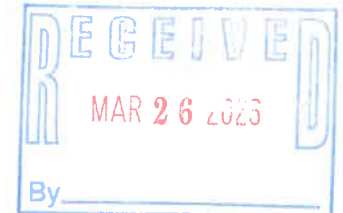
- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
- 11/27 MAP 11 / LOT 21
- RAILROAD SPIKE FOUND
- IRON ROD/IRON PIPE FOUND
- IRON PIPE FOUND
- STONE/CONCRETE BOUND FOUND
- RAILROAD SPIKE SET
- IRON ROD SET
- DRILL HOLE SET
- GRANITE BOUND SET
- BOUNDARY
- BUILDING SETBACK
- MEAN HIGH WATER LINE
- HOTEL HIGHEST OBSERVABLE TIDE LINE
- PSS NH DES PRIMARY STRUCTURE SETBACK
- TBZ NH DES TIDAL BUFFER ZONE
- SWQPA NH DES NATURAL WOODLAND BUFFER
- FB NH DES PROTECTED SHORELAND
- WB FRESHWATER WETLAND LINE
- WETLAND BUFFER LINE
- OVERHEAD ELECTRIC/WIRES
- 100 CONTOUR
- 97x3 SPOT ELEVATION
- 4-7 EDGE OF PAVEMENT (EP)
- WOODS / TREE LINE
- UTILITY POLE (w/ GUY)
- METER (GAS, WATER, ELECTRIC)
- EDGE OF WETLAND FLAGGING
- SWAMP / MARSH
- ELEVATION
- EL EDGE OF PAVEMENT
- FF FINISHED FLOOR
- INV INVERT
- TBM TEMPORARY BENCHMARK
- TYP TYPICAL
- LSA LANDSCAPED AREA



LOCATION MAP 1" = 2000'

NOTES:

- PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 227 AS LOT 1.
- OWNERS OF RECORD: PORTSMOUTH LODGE #97 OF THE BENEVOLENT AND PROTECTIVE ORDER OF ELKS, 500 JONES AVENUE, PORTSMOUTH, NH 03801, 2785/1590, 2785/1587, & 1408/85.
- A PORTION OF THE PARCEL IS IN A SPECIAL FLOOD HAZARD AREA, ZONE AE (EL. 8) AS SHOWN ON FIRM PANEL 33015C0270F. EFFECTIVE DATE JANUARY 29, 2021.
- EXISTING LOT AREA: 104,242± S.F. TO MEAN HIGH WATER, 2.3931± ACRES TO MEAN HIGH WATER.
- PARCEL IS LOCATED IN THE SINGLE RESIDENCE A (SRA) ZONING DISTRICT.
- DIMENSIONAL REQUIREMENTS: MIN. LOT AREA: 43,560 S.F., FRONTAGE: 150 FEET, DEPTH: 200 FEET, SETBACKS: FRONT 30 FEET, SIDE 20 FEET, REAR 40 FEET, MAXIMUM STRUCTURE HEIGHT: 35 FEET, MAXIMUM BUILDING COVERAGE: 10%, MINIMUM OPEN SPACE: 50%.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON A PORTION OF ASSESSOR'S MAP 227 LOT 1 IN THE CITY OF PORTSMOUTH.
- VERTICAL DATUM IS MEAN SEA LEVEL NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GPS OBSERVATIONS.
- MEAN HIGH WATER LINE SHOWN AT ELEVATION 3.81 (NAVD88) PER NOAA STATION 8419870 SEAVEY ISLAND, PORTSMOUTH HARBOR.
- PARCEL IS SUBJECT TO AND BENEFITED BY A LICENSE AGREEMENT AND UTILITY EASEMENTS WITH THE TIDEWATCH CONDOMINIUM ASSOCIATION, SEE RCRD 5680/725 & 3429/25.
- PARCEL IS BENEFITED BY A RIGHT TO PASS AND REPASS BY THE COMMON WAY NOW IN USE TO AND FROM JONES AVENUE.



Proposed Shoreline Stabilization

SAGAMORE CREEK (TIDAL)

WETLAND NOTES:

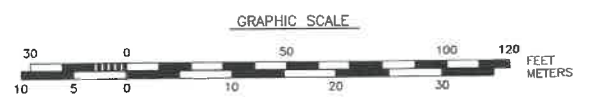
- HIGHEST OBSERVABLE TIDE LINE DELINEATED BY STEVEN D. RIKER, CWS ON 1/30/24 IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
 - U.S. ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL TECHNICAL REPORT Y-87-1 (JAN. 1987), AND REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012.
 - FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 8.2, USDA-NRCS, 2018 AND (FOR DISTURBED SITES) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4, NEWPPC WETLANDS WORK GROUP (2019).
 - NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: NORTHEAST (REGION 1), USFWS (MAY 1988).
 - CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. USFW MANUAL FWS/OBS-79/31 (1997).
 - "IDENTIFICATION AND DOCUMENTATION OF VERNAL POOLS IN NEW HAMPSHIRE" (1997). NEW HAMPSHIRE FISH AND GAME DEPARTMENT.
- HOTL LINE FIELD LOCATED BY HALEY WARD, INC.

ADDITIONAL ABUTTERS:

- 224
1
N/F
175 GOSPORT ROAD LLC
175 GOSPORT ROAD
PORTSMOUTH, NH 03801
5651/1589
- 224
10-18
N/F
ZACHARY RYAN SHORE
JULIANA SOUZA SHORE
340 ODIORNE POINT ROAD
PORTSMOUTH, NH 03801
6335/151
- 227
2
N/F
CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH, NH 03801
5358/2357
- 251
1
N/F
STATE OF NEW HAMPSHIRE
PO BOX 856
CONCORD, NH 03301
2260/1484
- 227
3
N/F
JUDY M WILBUR-ALBERTSON
REVOCABLE TRUST
DONAVON R ALBERTSON TRUSTEE
345 ODIORNE POINT ROAD
PORTSMOUTH, NH 03801
4127/2477

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

JOHN R. CHAGNON, LLS 738 DATE 2-19-24



0	2/19/24	ISSUED FOR COMMENT	RJB	JRC
No.	DATE	DESCRIPTION	BY	CHK
DRAWING ISSUE STATUS				
SITE SURVEY				
HALEY WARD ENGINEERING ENVIRONMENTAL SURVEYING 200 Griffin Rd. Unit 14 Portsmouth, New Hampshire 03801 603.430.9282 WWW.HALEYWARD.COM				
PROJECT				
ORDER OF THE ELKS LODGE #97 500 JONES AVENUE PORTSMOUTH, NH				
TITLE				
EXISTING CONDITIONS SURVEY				
DATE	FEBRUARY 2024	SCALE	1" = 30'	
DRAWN BY	RJB	DESIGNED BY	—	
CHECKED BY	JRC			
PROJECT NO.	6010293-3593	FIELD BOOK & PAGE	FB 413 PG 37	
SHEET NO.				DWG NO.
SHEET 1 C1				



The State of New Hampshire
Department of Environmental Services



Robert R. Scott, Commissioner

February 26, 2026

CITY OF PORTSMOUTH
KEN LINCHY, PORTSMOUTH SCHOOL DEPARTMENT
1 JUNKINS AVE
PORTSMOUTH NH 03801

Re: Received Shoreland Permit Application (RSA 483-B)
NHDES File Number: 2026-00434
Subject Property: 50 Clough Dr, Portsmouth, Tax Map/Block/Lot(s): 206/no block/20

Dear Applicant:

On February 26, 2026, the New Hampshire Department of Environmental Services (NHDES) Shoreland Program received the above-referenced Shoreland Permit Application (Application). This application shall be reviewed in accordance with the timeframes established under RSA 483-B:5-b, V. The language of RSA 483-B:5-b, V has been provided on the reverse of this document for your reference. The status of the Application is available on OneStop at <https://www4.des.state.nh.us/lrmonestop/>.

If you have any questions, please contact the Shoreland Program at (603) 271-2147.

Sincerely,

Jennifer Punsalang-Cloutier
PROGRAM ASSISTANT I, Shoreland Program
Wetlands Bureau, Land Resources Management
Water Division

Copied: Property Owner
Agent
Municipal Clerk

RSA 483-B:5-b, V

- (a) Within 30 days of receipt of an application for a permit or 30 days of receipt of an application for a permit that will require a waiver of the minimum standards of RSA 483-B:9, the department shall request any additional information reasonably required to complete its evaluation of the application, and provide the applicant with any written technical comments the department deems necessary. Any request for additional information shall specify that the applicant submit such information as soon as practicable and notify the applicant that if all of the requested information is not received within 60 days of the request, the department shall deny the application.
- (b) When the department requests additional information pursuant to subparagraph (a), the department shall, within 30 days of the department's receipt of the information:
 - (1) Approve the application and issue a permit; or
 - (2) Deny the application, and issue written findings in support of the denial; or
 - (3) Extend the time for rendering a decision on the application for good cause and with the written agreement of the applicant.
- (c) Where no request for additional information is made, the department shall, within 30 days of receipt of the application for a permit or 30 days of receipt of an application for a permit that will require a waiver of the minimum standards of RSA 483-B:9, approve or deny the application with written findings in support of the decision.
- (d) Within 5 business days of receipt of a permit by notification filing, the department shall issue a written notice to the property owner or agent stating that the notification has either been accepted or rejected. If the department does not respond within the 5-day period, the property owner or agent may submit to the department a written request for a response. A request submitted electronically by the applicant shall constitute a written request provided that the applicant has previously agreed to accept electronic communication. If the department fails to respond to the written request within an additional 5 days the property owner or agent shall be deemed to have a permit by notification and may proceed with the project as presented in the notification filing. The authorization provided by this subparagraph shall not relieve the applicant of complying with all requirements applicable to the project, including but not limited to requirements established in or under this chapter and RSA 485-A relative to water quality.
- (e) (1) The time limits prescribed by this paragraph shall supersede any time limits provided in any other provision of law. If the department fails to act within the applicable time frame established in subparagraphs (b) and (c), the applicant may ask the department to issue the permit by submitting a written request. If the applicant has previously agreed to accept communications from the department by electronic means, a request submitted electronically by the applicant shall constitute a written request.
 - (2) Within 14 days of the date of receipt of a written request from the applicant to issue the permit, the department shall:
 - (A) Approve the application, in whole or in part, and issue a permit; or
 - (B) Deny the application and issue written findings in support of the denial.
 - (3) If the department does not issue either a permit or a written denial within the 14-day period, the applicant shall be deemed to have a permit by default and may proceed with the project as presented in the application. The authorization provided by this subparagraph shall not relieve the applicant of complying with all requirements applicable to the project, including but not limited to requirements established in or under this chapter and RSA 485-A relating to water quality.
 - (4) Upon receipt of a written request from an applicant, the department shall issue written confirmation that the applicant has a permit by default pursuant to subparagraph (e)(3), which authorizes the applicant to proceed with the project as presented in the application and requires the work to comply with all requirements applicable to the project, including but not limited to requirements established in or under this chapter and RSA 485-A relating to water quality.
- (f) All applications filed in accordance with the rules adopted by the department under RSA 483-B:17 and which meet the minimum standards of this chapter shall be approved and a permit shall be issued.
- (g) The department may extend the time for rendering a decision under subparagraphs (b)(3) and (c)(3), without the applicant's agreement, on an application from an applicant who previously has been determined, after the exhaustion of available appellate remedies, to have failed to comply with this chapter or any rule adopted or permit or approval issued under this chapter, or to have misrepresented any material fact made in connection with any activity regulated or prohibited by this chapter, pursuant to an action initiated under RSA 483-B:18. The length of such an extension shall be no longer than reasonably necessary to complete the review of the application, and shall not exceed 30 days unless the applicant agrees to a longer extension. The department shall notify the applicant of the length of the extension.
- (h) The department may suspend review of an application for a proposed project on a property with respect to which the department has commenced an enforcement action against the applicant for any violation of this chapter, RSA 482-A, RSA 485-A:17, or RSA 485-A:29-44, or of any rule adopted or permit or approval issued pursuant to this chapter, RSA 482-A, RSA 485-A:17, or RSA 485-A:29-44. Any such suspension shall expire upon conclusion of the enforcement action and completion of any remedial actions the department may require to address the violation; provided, however, that the department may resume its review of the application sooner if doing so will facilitate resolution of the violation. The department shall resume its review of the application at the point the review was suspended, except that the department may extend any of the time limits under this paragraph and its rules up to a total of 30 days for all such extensions. For purposes of this subparagraph, "enforcement action" means an action initiated under RSA 482-A:13, RSA 482-A:14, RSA 482-A:14-b, RSA 483-B:18, RSA 485-A:22, RSA 485-A:42, or RSA 485-A:43.



The State of New Hampshire
Department of Environmental Services



Robert R. Scott, Commissioner

February 26, 2026

PORTSMOUTH MUNICIPAL CLERK/CONSERVATION COMMISSION
1 JUNKINS AVE
PORTSMOUTH NH 03801

Re: Received Standard Dredge and Fill Wetlands Permit Application (RSA 482-A)
NHDES File Number: 2026-00433
Subject Property: 50 Clough Dr, Portsmouth, Tax Map/Block/Lot(s): 206/no block/20

Dear Sir or Madam:

On February 26, 2026, the New Hampshire Department of Environmental Services (NHDES) Wetlands Bureau received the above-referenced Standard Dredge and Fill Wetlands Permit Application (Application). On February 26, 2026, NHDES determined the Application was administratively complete in accordance with RSA 482-A:3, XIV. *Please note this letter is **not** a permit or authorization to begin work.*

Pursuant to RSA 482-A:11, III, if notification by a local conservation commission, local river management advisory committee, or the New Hampshire Rivers Council pursuant to this paragraph is not received by the department within 14 days (**March 11, 2026**) following the date the notice is filed with the municipal clerk, the department shall not suspend its normal action, but shall proceed as if no notification has been made. Please include the NHDES file number on the written notification.

Please provide a copy of this letter to all local level departments, boards, and commissions. Pursuant to current state laws and regulations, NHDES is not authorized to consider local zoning and regulatory issues pertaining to a project. These issues must be addressed at the local level.

If you have any questions, please contact the Wetlands Bureau at (603) 271-2147.

Sincerely,

Jennifer Punsalang-Cloutier
Application Receipt Center, Wetlands Bureau
Land Resources Management, Water Division