

3 June 2026

Samantha Collins, Chair  
City of Portsmouth Conservation Commission  
1 Junkins Avenue  
Portsmouth, NH 03801

**Re: City of Portsmouth Wetland Conditional Use Permit at 218 Griffin Road, Proposed FedEx Expansion**

Dear Ms. Collins:

This letter transmits a City of Portsmouth Wetland Conditional Use Permit request for 4,753 square feet of disturbance within the 100' City of Portsmouth Wetland Buffer. With submission of this application, we kindly request to be placed on the agenda for the June 10, 2026, Conservation Commission meeting.

The site is shown on Tax Map 263 as Lot 1-5 and is owned by Griffin Road Realty, LLC. The need for the impact is generated by the site occupant, FedEx, to improve their existing distribution facility and security on site. Improvements to the site include: a new mobile trailer loading dock, new security fencing/gates, and added ADA accessible parking spaces. The impacts to the wetland buffer are resultant from the loading dock and the fencing. The loading dock consists of the replacement of existing paved impervious area with concrete. The proposed mobile trailer loading dock will remain in the existing footprint of impervious surface on site and will result in no change in overall impervious area.

The impacts are associated with the existing building and impervious parking lot footprint where 86,175 square feet of the parcel are within the 100-year Wetland Buffer Zone. The proposed installation of the mobile loading dock and chain-link fence will disturb approximately 4,753 square feet of the Wetland Buffer Zone.

Listed below are applicable sections from the Portsmouth Zoning Ordinance and a demonstration of how the standard has been met.

**10.1017.21**

1. The site is shown on Tax Map 263 as Lot 1-5 and is owned by Griffin Road Realty, LLC. The existing lot area is 4.55 acres. The site is currently used as a FedEx distribution facility. There are no proposed changes to the use. The proposed activities within the City's 100' Wetland Buffer include the addition of a mobile trailer loading dock, and the installation security fencing. The mobile trailer loading dock will include the replacement of existing paved area with concrete.
2. The locations of wetlands can be seen on the provided drawings.
3. The locations of wetland buffers can be seen on the provided drawings.
4. There are no alterations to wetlands proposed for this development. Improvements within the wetland buffer are described above.



5. Setbacks are shown on the provided drawings.
6. Locations of wetland buffer impact are shown on the provided drawings.
7. The extents of proposed improvements are shown on the provided drawings.
8. There are no buildings or structures proposed for this development.
9. N/A

#### **10.1017.22**

1. N/A
2. N/A
3. There will be more than 250 SF of impact within the 100' wetland buffer. Approximately 86,175 square feet of the parcel are within the 100-year Wetland Buffer Zone. Under Existing Conditions, approximately 30,750 SF of this buffer zone is occupied by impervious area. This number will remain unchanged by the proposed development. There is also a manmade stormwater conveyance swale between the perimeter of the existing parking area and the resource, which will remain unchanged. The remainder of the buffer area is undisturbed brush wooded area.

#### **10.1017.23**

According to the City of Portsmouth Zoning Ordinance *Article 10.1017.50 Criteria for Approval*, the proposal shall comply with the following criteria:

##### **1. The land is reasonably suited to the use, activity or alteration.**

The proposal is to construct a mobile loading dock. This dock will require the replacement of existing paved area with concrete. These details are insignificant changes to the existing use of the area. There will be no impact on previously undisturbed areas as a result of this project. Given that the existing lot use will not change, the land is reasonably suited to the use, activity, or alteration.

##### **2. There is no alternative location outside of the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.**

Due to the configuration of the existing building and the location of the proposed loading dock, changes in existing impacts are insignificant. As mentioned prior, the proposed disturbances is limited to areas which are currently impervious. We believe that the proposed connection location provides a reasonable use and minimizes additional impacts to the wetland buffer.

##### **3. There will be no adverse impact on the wetland functional values of the site or surrounding properties.**

We believe the proposal will not impact the existing wetland resource located adjacent to the site and its current functions and values. The proposed project is constructing a concrete pad within the existing surface area of impervious surface, as well as installation surrounding the pavement. The change of impervious surface will have little to no impact on surrounding wetland function.



**4. Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.**

The proposed project does not include alteration of any naturally vegetated area to accommodate the construction. All construction is in an existing paved area.

**5. The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this Section.**

The project represents the alternative with the least adverse impacts to the buffer areas and environments while allowing development on the existing impervious area. The project provides components which will serve to improve site security and function of the site's industrial use. The mobile dock is required to be located in the southeast corner of the existing facility in order to be accommodated by the facilities' existing interior layout.

**6. Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.**

There are no areas within the vegetated buffer strip that will be impacted or altered by this project.

Please contact me if you have any questions or concerns regarding this application. We look forward to your response.

Respectfully submitted,

Drew Olehowski, PE  
Project Manager

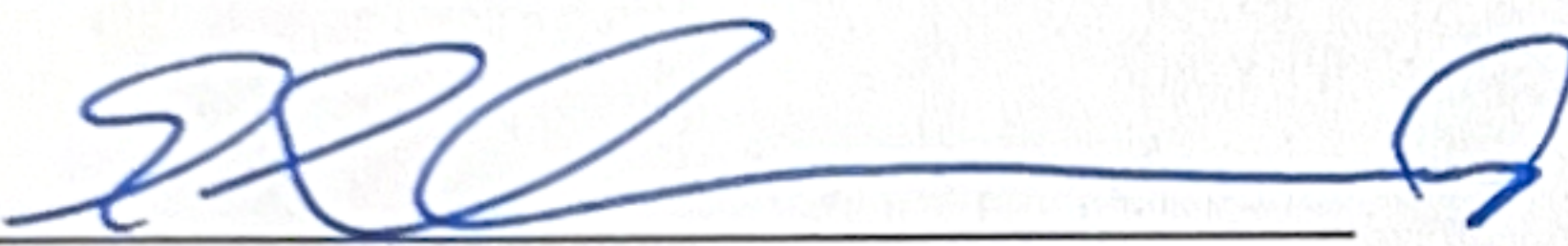


March 30, 2026

To Whom It May Concern:

I, Eric Adamczyk, hereby authorize Haley Ward, Inc., to act on behalf of Federal Express Corporation regarding Municipal, State and Federal permitting matters for the proposed development at the existing FedEx facility at 218 Griffin Road, Portsmouth, NH 03801.

Eric Adamczyk - Manager, Project Engineering  
Printed Name and Title

  
Signature

4/2/26  
Date

FedEx | 03.18.2026 | 10457.021



## City of Portsmouth, New Hampshire

# *Wetland Conditional Use Permit Application Checklist*

This wetland conditional use permit application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Conservation Commission and Planning Board review. The checklist is required to be uploaded as part of your wetland conditional use permit application to ensure a full and complete application is submitted to the Planning and Sustainability Department and to the online portal. A pre-application conference with a member of the Planning and Sustainability Department is encouraged as additional project information may be required depending on the size and scope of the project. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all wetland conditional use permit requirements. Please refer to Article 10 of the City of Portsmouth Zoning Ordinance for full details.

**Applicant Responsibilities:** Applicable fees are due upon application submittal to the Planning Board (no fees are required for Conservation Commission submission). The application will be reviewed by Planning and Sustainability Department staff to determine completeness. Incomplete applications which do not provide required information for the evaluation of the proposed site development shall not be provided review by the Conservation Commission or Planning Board.

Name of Applicant: \_\_\_\_\_ Date Submitted: \_\_\_\_\_

Application # (in City's online permitting): \_\_\_\_\_

Site Address: \_\_\_\_\_ Map: \_\_\_\_\_ Lot: \_\_\_\_\_

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)
<input type="checkbox"/>	Complete <a href="#">application</a> form submitted via the City's web-based permitting program	
<input type="checkbox"/>	All application documents, plans, supporting documentation, this checklist and other materials uploaded to the application form in OpenGov in digital <b>Portable Document Format (PDF)</b> . One hard copy of all plans and materials shall be submitted to the Planning and Sustainability Department by the published deadline.	

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)
<input type="checkbox"/>	Basic property and wetland resource information. <b>(10.1017.21)</b>	
<input type="checkbox"/>	Additional information required for projects proposing greater than 250 square feet of permanent or temporary impacts. <b>(10.1017.22)</b>	
<input type="checkbox"/>	Demonstrate impacts as they relate to the criteria for approval set forth in Section 10.1017.50 (or Section 10.1017.60 in the case of utility installation in a right-of-way). <b>(10.1017.23)</b>	
<input type="checkbox"/>	Balance impervious surface impacts with removal and/or wetland buffer enhancement plan. <b>(10.1017.24)</b>	

<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>
<input type="checkbox"/>	Wetland buffer enhancement plan. <b>(10.1017.25)</b>	
<input type="checkbox"/>	Living shoreline strategy provided for tidal wetland and/or tidal buffer impacts. <b>(10.1017.26)</b>	
<input type="checkbox"/>	Stormwater management must be in accordance with Best Management Practices including but not limited to: <i>1. New Hampshire Stormwater Manual, NHDES, current version.</i> <i>2. Best Management Practices to Control Non-point Source Pollution: A Guide for Citizens and City Officials, NHDES, January 2004.</i> <b>(10.1018.10)</b>	
<input type="checkbox"/>	Vegetated Buffer Strip slope of greater than or equal to 10%. <b>(10.1018.22)</b>	
<input type="checkbox"/>	Removal or cutting of vegetation, use of fertilizers, pesticides and herbicides. <b>(10.1018.23/10.1018.24/10.1018.25)</b>	
<input type="checkbox"/>	All new pavement within a wetland buffer shall be porous pavement. <b>(10.1018.31)</b>	
<input type="checkbox"/>	An application that proposes porous pavement in a wetland buffer shall include a pavement maintenance plan. <b>(10.1018.32)</b>	
<input type="checkbox"/>	Permanent wetland boundary markers shall be shown on the plan submitted with an application for a conditional use permit and shall be installed during project construction. <b>(10.1018.40)</b>	
<input checked="" type="checkbox"/>	<b>Requested Items for Submittal</b>	<b>Item Location (e.g. Page or Plan Sheet/Note #)</b>
<input type="checkbox"/>	A narrative/letter addressed to the Conservation Commission Chair (if recommended to Planning Board then an additional narrative addressed to the Planning Board Chair at that time) describing the project and any proposed wetland and/or wetland buffer impacts. Please visit the <a href="#">WCUP instruction page</a> for further application instructions.	
<input type="checkbox"/>	If New Hampshire Department of Environmental Services (NHDES) Standard Dredge and Fill Permit is required for this work, please provide this permit application at the same time as your submission for a Wetland Conditional Use Permit.	

**Applicant's Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

# Tax Map



**Property Information**

**Property ID** 0263-0001-0005  
**Location** 218 GRIFFIN RD  
**Owner** GRIFFIN ROAD REALTY LLC



**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 03/06/2026

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

# Zoning Map



### Property Information

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Geometry updated 03/06/2026

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# Map Theme Legends

## Zoning

### Residential Districts

	R	Rural
	SRA	Single Residence A
	SRB	Single Residence B
	GRA	General Residence A
	GRB	General Residence B
	GRC	General Residence C
	GA/MH	Garden Apartment/Mobile Home Park




### Mixed Residential Districts

	MRO	Mixed Residential Office
	MRB	Mixed Residential Business
	G1	Gateway Corridor
	G2	Gateway Center





### Business Districts

	GB	General Business
	B	Business
	WB	Waterfront Business



### Industrial Districts

	OR	Office Research
	I	Industrial
	WI	Waterfront Industrial






### Airport Districts

	AIR	Airport
	AI	Airport Industrial
	PI	Pease Industrial
	ABC	Airport Business Commercial


### Conservation Districts

	M	Municipal
	NRP	Natural Resource Protection


### Character Districts

	CD5	Character District 5
	CD4	Character District 4
	CD4W	Character District 4-W
	CD4-L1	Character District 4-L1
	CD4-L2	Character District 4-L2




### Civic District

	Civic District
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### Municipal District

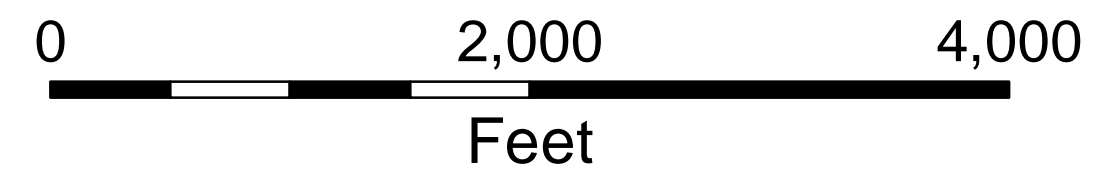
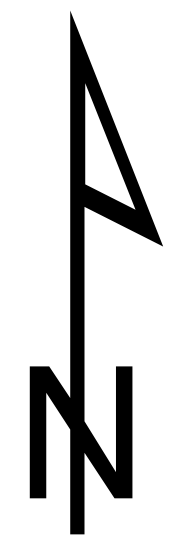
	Municipal District
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### Overlay Districts

	OLOD	Osprey Landing Overlay District
	Downtown Overlay District	
	Historic District	

City of Portsmouth

# City of Portsmouth Wetlands



## Legend

-  Wetlands
-  100ft Wetlands Buffer
-  Prime Wetlands- Portsmouth
-  Prime Wetlands Eligible- Pease
-  Parcels


## Prime Wetlands Acreage Table

Wetland Number	Acres	Location
001	106.12	Portsmouth
002	222.85	Portsmouth
003A	542.26	Portsmouth
005	203.83	Portsmouth
006	48.5	Portsmouth
007	99.39	Pease*
015	35.22	Portsmouth
018	22.16	Portsmouth
019	15.07	Portsmouth
023	55.08	Portsmouth
026	10.38	Portsmouth
062	43.54	Portsmouth
061A	67.46	Portsmouth
061B	13.38	Portsmouth

\*This wetland not designated as prime.



**Site Visit Photos**  
**218 Griffin Road – Proposed FedEx Expansion / Portsmouth, NH**


<b>Photo No. 1</b>	
<b>Photo Date:</b> March 25, 2026	
<b>Site Location:</b> FedEx Facility/ Portsmouth, NH	
<b>Description:</b> Existing loading dock area, looking northeast.	
<b>Photo By:</b> NMK	

<b>Photo No. 2</b>	
<b>Photo Date:</b> March 25, 2026	
<b>Site Location:</b> FedEx Facility/ Portsmouth, NH	
<b>Description:</b> Existing pad and loading dock area, looking west.	
<b>Photo By:</b> NMK	



**Site Visit Photos**  
**218 Griffin Road – Proposed FedEx Expansion / Portsmouth, NH**

<b>Photo No. 3</b>	
<b>Photo Date:</b> March 25, 2026	
<b>Site Location:</b> FedEx Facility/ Portsmouth, NH	
<b>Description:</b> Southern face of existing building, looking north.	
<b>Photo By:</b> NMK	

<b>Photo No. 4</b>	
<b>Photo Date:</b> March 25, 2026	
<b>Site Location:</b> FedEx Facility/ Portsmouth, NH	
<b>Description:</b> Existing loading dock area, looking southwest.	
<b>Photo By:</b> NMK	

**LEGEND:**

DESCRIPTION	EXISTING
RORD 1234/123	ROCKINGHAM COUNTY REGISTRY OF DEEDS DEED BOOK/PAGE
NF	NOW OR FORMALLY TYPICAL
TBS	TO BE SET
LSA	LANDSCAPE AREA
INV	INVERT
ELV	ELEVATION
FF	FINISHED FLOOR
VGC	VERTICAL GRANITE CURB
CCB	CAPE COD BERM
VCC	VERTICAL CONCRETE CURB
MAP 21 LOT 8	
BENCHMARK	
RAILROAD SPIKE	
BOUND	
IRON ROD/PIPE FOUND	
DRILL HOLE FOUND	
SEWER MANHOLE	
DRAIN MANHOLE	
UTILITY POLE	
CATCH BASIN	
HYDRANT	
GATE VALVE	
GAS/WATER SHUTOFF	
BOLLARD	
TREES	
GAS/ELECTRIC METER	
SIGN	
SPOT GRADE	
MONITORING WELL	
PROPERTY LINE	
APPROXIMATE EXTERIOR PROPERTY LINE	
EDGE OF PAVEMENT	
EDGE OF GRAVEL	
STONE WALL	
TREELINE	
MINOR FOOT CONTOUR	
MAJOR FOOT CONTOUR	
WETLAND FLAG/WETLAND	
FRESH WATER WETLAND LINE	
WETLAND BUFFER LINE	
GAS LINE	
WATER LINE	
STORM DRAIN LINE	
SANITARY SEWER LINE	
OVERHEAD UTILITY LINE	
UNDERGROUND ELECTRIC LINE	

**PLAN REFERENCES:**

- ALTA/ACSM LAND TITLE SURVEY, TAX MAP 263 - LOT 1-5, OWNER OF RECORD: ELDER FAMILY PORTLAND ASSOCIATION, 218 GRIFFIN ROAD, PORTSMOUTH, N.H., SCALE: 1"=50', DATED: JULY 2016, PREPARED BY: AMBIT ENGINEERING, INC., NOT RECORDED.
- UTILITY EASEMENT PLAN, OWNER: GRIFFIN PARK PROFESSIONAL BUILDING UNIT OWNERS ASSOCIATION TO BAY RING COMMUNICATIONS, 200 GRIFFIN ROAD, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE, SCALE: 1"=50', DATED: OCTOBER 2015, PREPARED BY: AMBIT ENGINEERING INC., RCRD 0-38303
- SITE PLAN FOR ELDER FAMILY PORTLAND ASSOC., GRIFFIN ROAD, COUNTY OF ROCKINGHAM, PORTSMOUTH, N.H., SCALE: 1"=40', DATED: JANUARY 12, 1990, REVISED THROUGH 6/5/90, PREPARED BY: RICHARD P. MILLETTE AND ASSOCIATES, FILE #89128, NOT RECORDED.
- AMENDED SUBDIVISION PLAN OF GRIFFIN INDUSTRIAL PARK, GRIFFIN ROAD, COUNTY OF ROCKINGHAM, PORTSMOUTH, N.H., SCALE: 1"=100', DATED: MAY 17, 1990, PREPARED BY: RICHARD P. MILLETTE AND ASSOCIATES, RCRD D-20411.
- ALTA/ACSM LAND TITLE SURVEY FOR ELDER FAMILY PORTLAND ASSOC. LIMITED PARTNERSHIP, 218 GRIFFIN ROAD, COUNTY OF ROCKINGHAM, PORTSMOUTH, N.H., SCALE: 1"=40', DATED: NOVEMBER 22, 1989, REVISED THROUGH 1/20/89, PREPARED BY: MILLETTE, SPRAGUE & COLWELL, INC. FILE #89128-99, NOT RECORDED.
- CONDOMINIUM SITE PLAN, 155 GRIFFIN ROAD, PORTSMOUTH, N.H., COUNTY OF ROCKINGHAM, SCALE: 1"=30', DATED: FEBRUARY 2005, PREPARED BY: AMBIT ENGINEERING, INC., RCRD D-33348.

**WETLAND NOTES:**

MAN-MADE, ALTERED AND/OR NATURAL JURISDICTIONAL FRESHWATER WETLAND BOUNDARIES WERE DELINEATED BY MARC JACOBS, CERTIFIED WETLAND SCIENTIST NUMBER 090, IN MARCH AND APRIL 2026 ACCORDING TO THE STANDARDS OF THE U.S. ARMY CORPS OF ENGINEERS - 1987 WETLANDS DELINEATION MANUAL; THE 2012 REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL - NORTH-CENTRAL AND NORTHEAST REGION; THE CODE OF ADMINISTRATIVE RULES, NH DEPARTMENT OF ENVIRONMENTAL SERVICES - WETLANDS BUREAU - ENV WT 100-900 AND CHAPTER 10, ARTICLE 10 OF THE PORTSMOUTH, NH ZONING PREDOMINANT HYDRIC SOILS WERE IDENTIFIED UTILIZING THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 5, JUNE 2025 AND THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 9.2, 2025. THE INDICATOR STATUS OF DOMINANT VEGETATION AS HYDROPHYTIC WAS DETERMINED ACCORDING TO THE U.S. ARMY CORPS OF ENGINEERS - NORTH-CENTRAL AND NORTHEAST 2022 REGIONAL WETLAND PLANT LIST. COPIES OF SITE PLANS DEPICTING THE WETLAND DELINEATION WHICH HAVE BEEN REVIEWED BY THE WETLAND SCIENTIST ARE INDIVIDUALLY STAMPED, SIGNED AND DATED. THIS NOTE HAS BEEN CUSTOMIZED FOR THIS PROJECT.

**GRID**  
NHSPC  
**NORTH**  
NAD83(2011)

**LOCATION MAP**  
SCALE: 1" = 50'

**NOTES:**

- PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 263 AS LOT 1-5.
- OWNER OF RECORD: GRIFFIN ROAD REALTY TRUST, LLC, 304 MAPLEWOOD AVENUE, PORTSMOUTH, NH 03801, RCRD 5743/2256
- THE PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0270F, EFFECTIVE JANUARY 29, 2021.
- EXISTING LOT AREA: 198,456 S.F., 4.5559 ACRES
- PARCEL IS LOCATED IN THE INDUSTRIAL (I) DISTRICT.
- DIMENSIONAL REQUIREMENTS:  
MINIMUM LAND AREA: 2 ACRES  
MINIMUM STREET FRONTAGE: 200 FEET  
MINIMUM LOT DEPTH: 200 FEET  
SETBACKS: FRONT 70 FEET, REAR 50 FEET, SIDE 50 FEET  
MAXIMUM BUILDING COVERAGE: 50%  
MAXIMUM BUILDING/STRUCTURE HEIGHT: 70 FEET  
MAXIMUM ROOF PITCH/TENANCE: 10 FEET  
MINIMUM OPEN SPACE: 20%
- THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF AN EXISTING CONDITIONS SURVEY/STANDARD BOUNDARY SURVEY OF ASSESSOR'S MAP 263, LOT 1-5 IN THE CITY OF PORTSMOUTH.
- VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
- ADDITIONAL INFORMATION TAKEN FROM THE CITY OF PORTSMOUTH ASSESSOR'S GIS WEBSITE.
- THIS IS AN ABOVE THE GROUND SURVEY. THE UNDERGROUND UTILITIES, IF SHOWN, ARE BASED UPON BEST AVAILABLE EVIDENCE AND SURFACE FEATURES VISIBLE AT THE TIME OF THE SURVEY. THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN ON THIS PLAN. IT IS RECOMMENDED THAT FIELD VERIFICATION OF THE TRUE LOCATION OF ANY UNDERGROUND UTILITIES IS PERFORMED PRIOR TO ANY EXCAVATION.
- THIS PLAN IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY HALEY WARD, INC., 4/2/2026.
- PARCEL IS SUBJECT TO EASEMENTS, AGREEMENTS, COVENANTS, CONDITIONS, RESTRICTIONS, AND RESERVATIONS AS LISTED IN RCRD 5743/2256.

**CURVE TABLE**

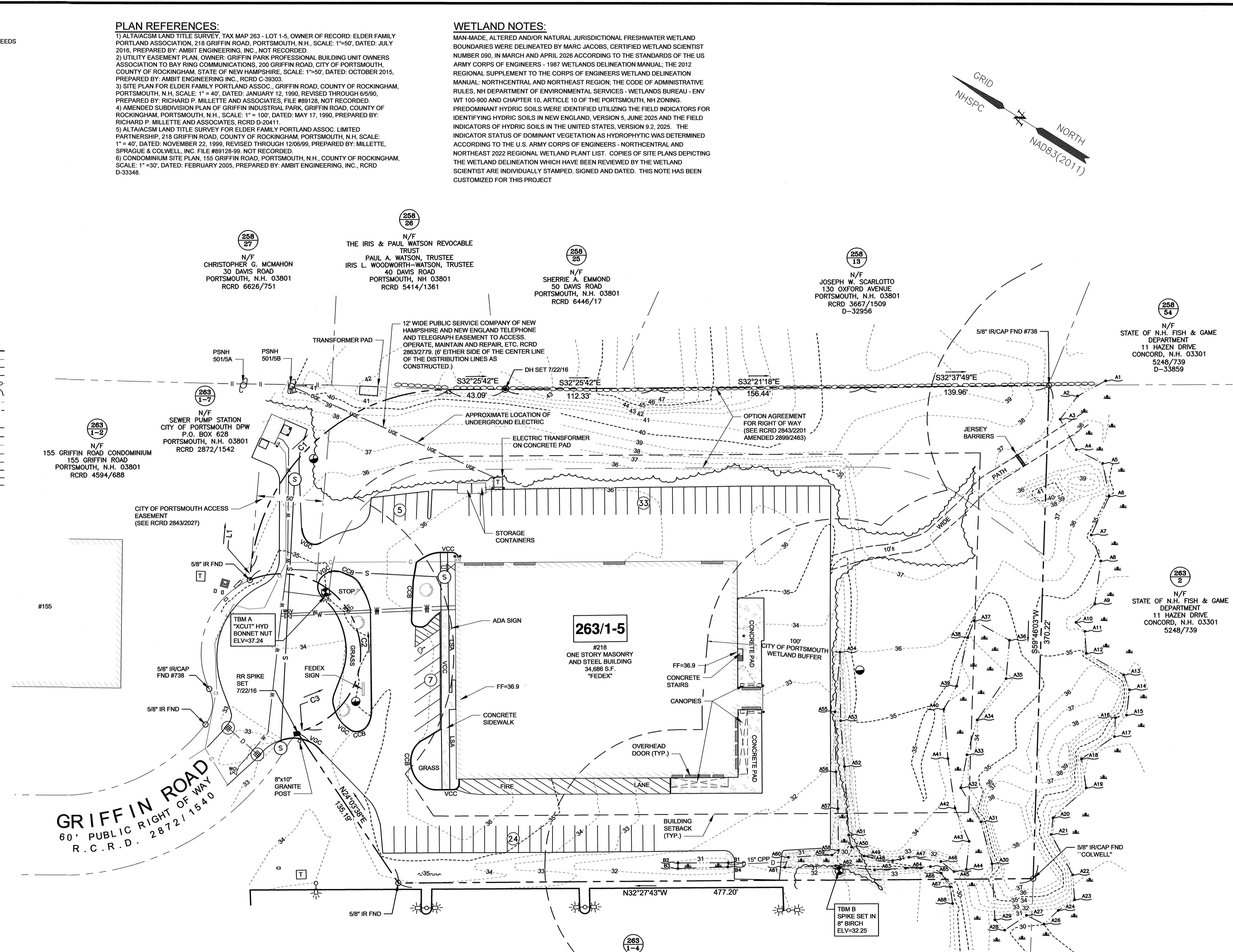
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	150.00'	218.66'	199.81'	S74°11'20"E	83°31'15"
C2	59.93'	192.82'	119.77'	N37°05'39"E	184°21'31"
C3	25.09'	7.02'	7.00'	S58°52'32"E	16°01'44"

**LINE TABLE**

LINE	BEARING	DISTANCE
L1	N62°45'09"E	8.86'

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

CHARLES S. ADAMS, LLS 1622  
DATE: 05-27-2026



**GRiffin ROAD**  
60' PUBLIC RIGHT OF WAY  
R.C.R.D. 2872/1540

**263/1-5**  
#218 ONE STORY MASONRY AND STEEL BUILDING  
34,686 S.F. "FEDEX"

**ASTORIA GRIFFIN PARK, LLC**  
GRIFFIN PARK PROFESSIONAL BUILDING,  
11 CORPORATE DRIVE  
BELMONT, NH 03220  
RCRD 4376/2649  
D-32047 & D-32161

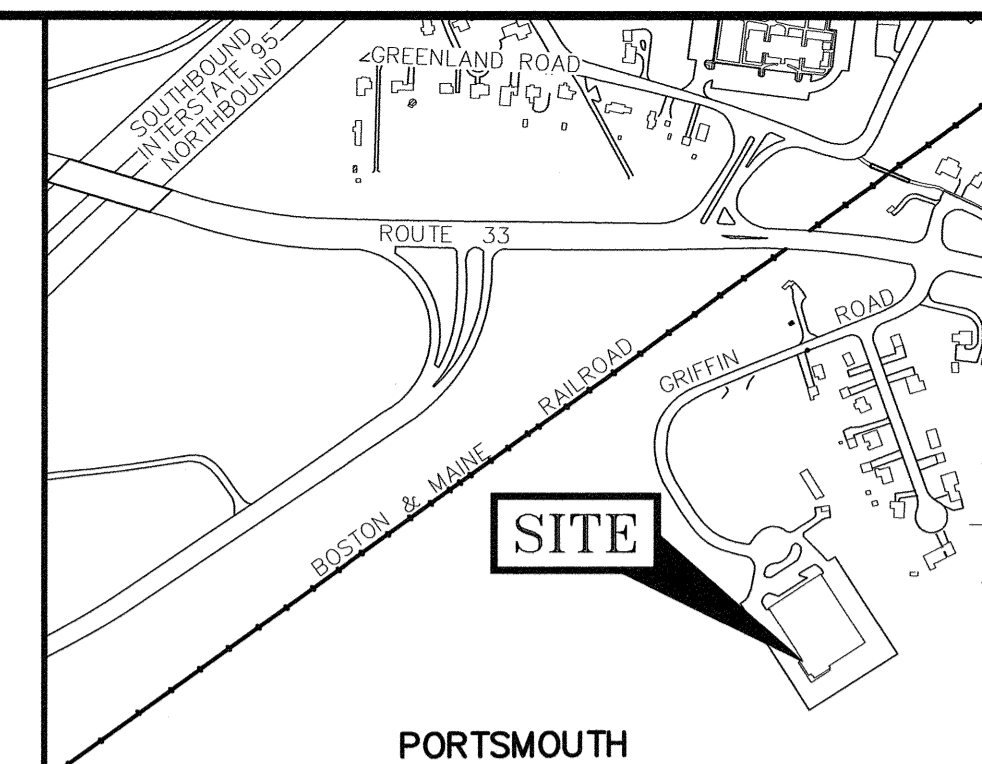
**STATE OF N.H. FISH & GAME DEPARTMENT**  
11 HAZEN DRIVE  
CONCORD, N.H. 03301  
5248/739

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11 HAZEN DRIVE  
CONCORD, N.H. 03301  
5248/739

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11 HAZEN DRIVE  
CONCORD, N.H. 03301  
5248/739

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11 HAZEN DRIVE  
CONCORD, N.H. 03301  
5248/739

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11 HAZEN DRIVE  
CONCORD, N.H. 03301  
5248/739



**PORTSMOUTH**  
**LOCATION MAP**  
SCALE: 1" = 50'

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- THIS IS AN ABOVE THE GROUND SURVEY. THE UNDERGROUND UTILITIES, IF SHOWN, ARE BASED UPON BEST AVAILABLE EVIDENCE AND SURFACE FEATURES VISIBLE AT THE TIME OF THE SURVEY. THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN ON THIS PLAN. IT IS RECOMMENDED THAT FIELD VERIFICATION OF THE TRUE LOCATION OF ANY UNDERGROUND UTILITIES IS PERFORMED PRIOR TO ANY EXCAVATION.
- THIS PLAN IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY HALEY WARD, INC., 4/2/2026.
- PARCEL IS SUBJECT TO EASEMENTS, AGREEMENTS, COVENANTS, CONDITIONS, RESTRICTIONS, AND RESERVATIONS AS LISTED IN RCRD 5743/2256.

**DRAWING ISSUE STATUS**

REV.	DATE	DESCRIPTION	BY	CHK.
0	4/12/26	ISSUED FOR COMMENT	RJB	CSA

**SITE SURVEY**

**HALEY WARD**  
ENGINEERING | ENVIRONMENTAL | SURVEYING  
WWW.HALEYWARD.COM  
200 Griffin Road, Unit 14  
Portsmouth, NH 03801  
603-430-9282

**PROJECT**  
**FEDEX DISTRIBUTION CENTER**  
218 GRIFFIN ROAD, PORTSMOUTH, NH

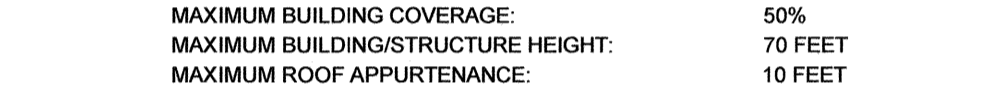
**TITLE**  
**EXISTING CONDITIONS PLAN**

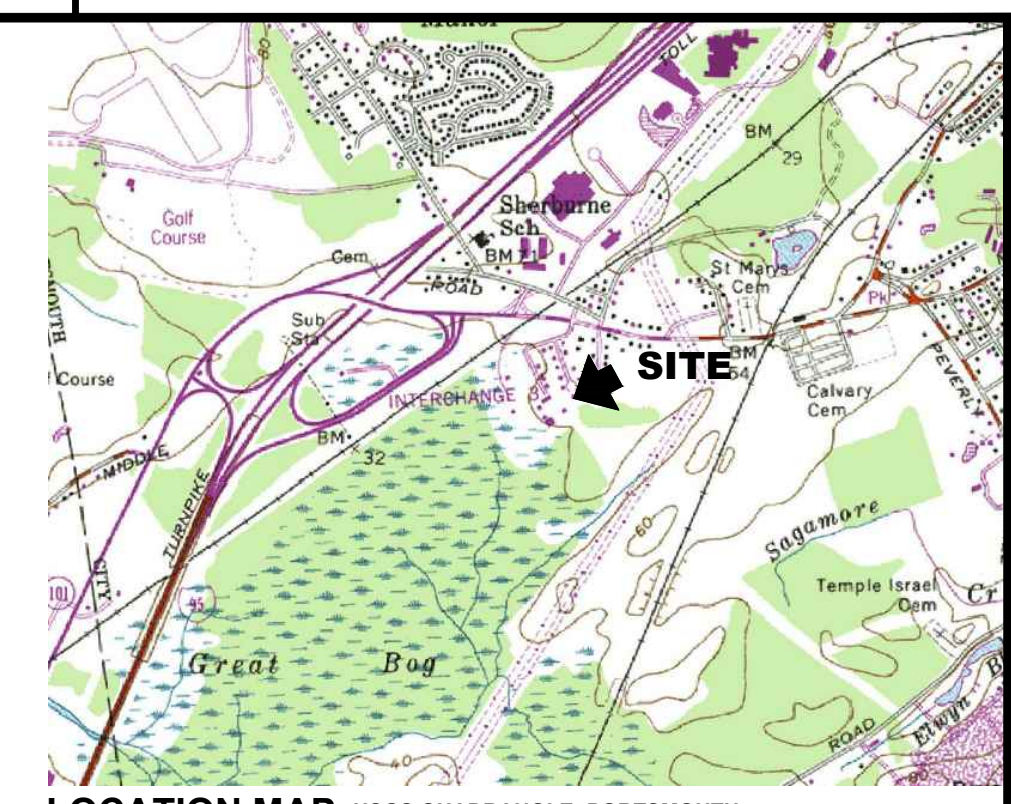
DATE	SCALE
APRIL 2026	1"=40'

DRAWN BY	DESIGNED BY	CHECKED BY
RJB	---	PAY

PROJECT No.	FIELD BOOK/PAGE
10457.021	FB 440 PG 9

DRAWING No.	REV.
V101	0





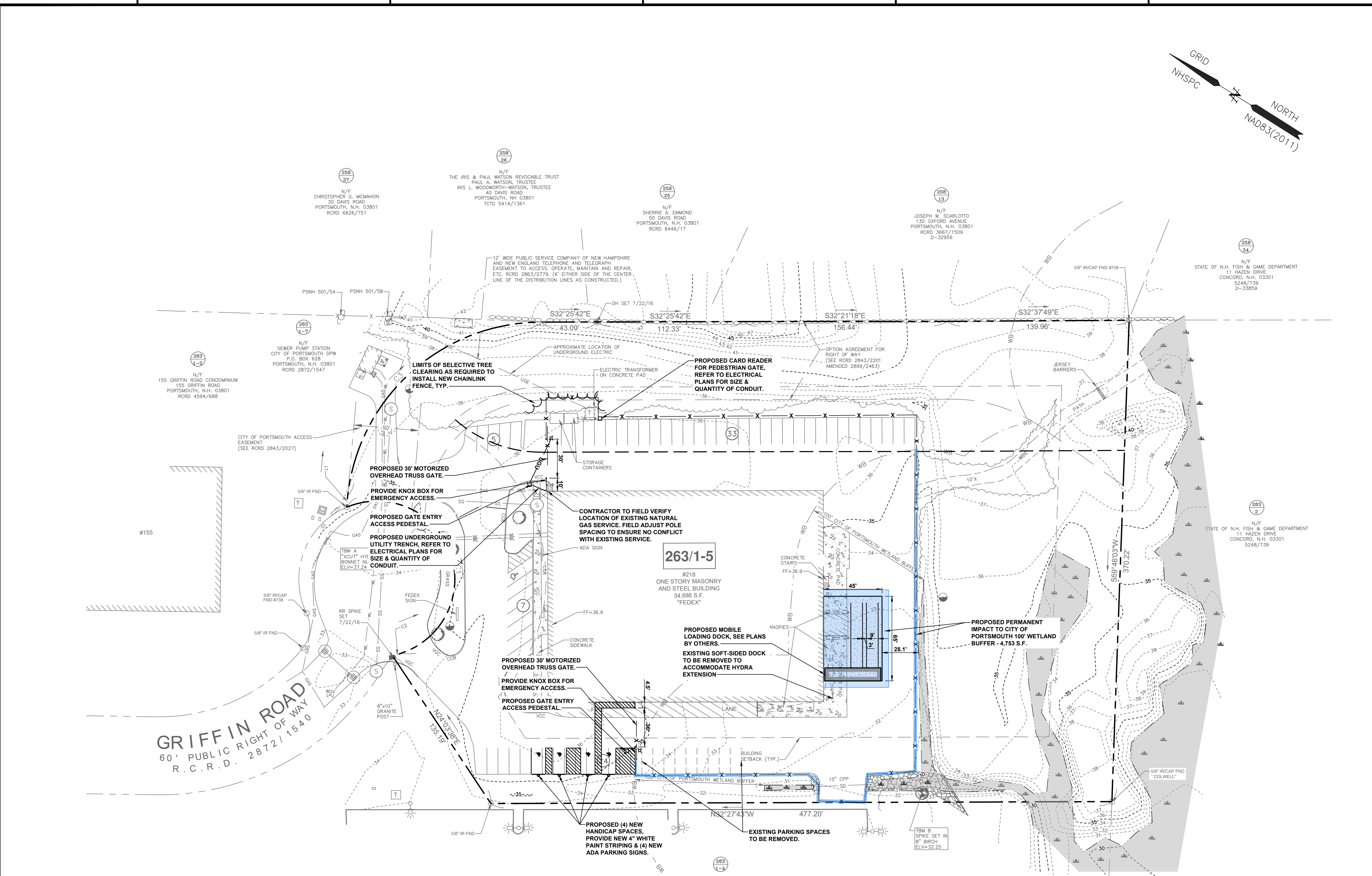
**LOCATION MAP:** USGS QUADRANGLE: PORTSMOUTH  
 MAPTECH® USGS TOPOGRAPHIC SERIES™  
 SCALE: 1"=2000'  
 ©MAPTECH®, INC. 978-933-3000  
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**LEGEND:**

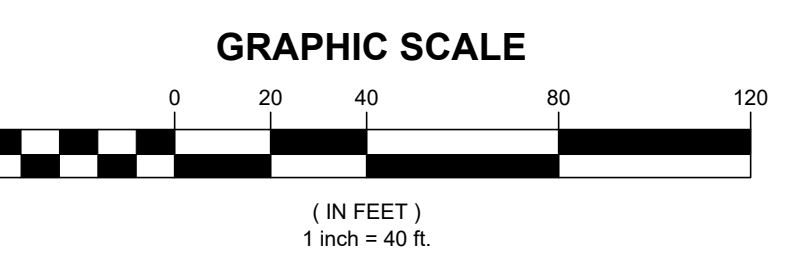
DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE	---	---
BENCHMARK	⊕	⊕
SURVEY STATION	⊕	⊕
MANHOLE	⊕	⊕
UTILITY POLE	⊕	⊕
WELL	⊕	⊕
WATER VALVE	⊕	⊕
SIGN	⊕	⊕
CATCH BASIN	⊕	⊕
HYDRANT	⊕	⊕
EDGE OF GRAVEL	---	---
EDGE OF PAVEMENT	---	---
MAJOR FOOT CONTOUR	---	---
MINOR FOOT CONTOUR	---	---
WATERLINE	---	---
STORM DRAIN	---	---
SANITARY SEWER	---	---
OVERHEAD UTILITIES	---	---
UNDERGROUND UTILITIES	---	---
CHAIN LINK FENCE	---	---
SILT FENCE	---	---
TREE LINE	---	---
GRAVEL SURFACE	---	---
PAVED SURFACE	---	---

**PLAN REFERENCE:**  
 INFORMATION BASED ON A PLAN ENTITLED 'FEDEX DISTRIBUTION CENTER - 218 GRIFFIN ROAD, PORTSMOUTH, NH - EXISTING CONDITIONS PLAN' PREPARED BY HALEY WARD, INC. AND DATED MARCH 2026.

No.	DATE	DESCRIPTION	BY	CHK
DRAWING ISSUE STATUS				
<b>NOT FOR CONSTRUCTION</b>				
		<b>HALEY WARD</b>		
WWW.HALEYWARD.COM		200 Griffin Rd. Unit 14 Portsmouth, New Hampshire 03801 603.430.9282		
PROJECT				
<b>FEDEX PORTSMOUTH EXPANSION</b> 218 GRIFFIN ROAD, PORTSMOUTH, NH				
TITLE				
<b>PROPOSED SITE PLAN</b>				
DATE		SCALE		
2026.04.17		1"=40'		
DRAWN BY	DESIGNED BY	CHECKED BY		
PJM	PJM	DJO		
PROJECT No.				
10457.021				
SHEET No.				DWG No.
<b>C101</b>				-



**NATURAL RESOURCE NOTE:**  
 MAN-MADE, ALTERED AND/OR NATURAL JURISDICTIONAL FRESHWATER WETLAND BOUNDARIES WERE DELINEATED BY MARC JACOBS, CERTIFIED WETLAND SCIENTIST NUMBER 090, IN MARCH AND APRIL 2026 ACCORDING TO THE STANDARDS OF THE US ARMY CORPS OF ENGINEERS - 1987 WETLANDS DELINEATION MANUAL; THE 2012 REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL; NORTH-CENTRAL AND NORTHEAST REGION; THE CODE OF ADMINISTRATIVE RULES, NH DEPARTMENT OF ENVIRONMENTAL SERVICES - WETLANDS BUREAU - ENV WT 100-900 AND CHAPTER 10, ARTICLE 10 OF THE PORTSMOUTH, NH ZONING. PREDOMINANT HYDRIC SOILS WERE IDENTIFIED UTILIZING THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 5, JUNE 2025 AND THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 9.2, 2025. THE INDICATOR STATUS OF DOMINANT VEGETATION AS HYDROPHYTIC WAS DETERMINED ACCORDING TO THE U.S. ARMY CORPS OF ENGINEERS - NORTH-CENTRAL AND NORTHEAST 2022 REGIONAL WETLAND PLANT LIST. COPIES OF SITE PLANS DEPICTING THE WETLAND DELINEATION WHICH HAVE BEEN REVIEWED BY THE WETLAND SCIENTIST ARE INDIVIDUALLY STAMPED, SIGNED AND DATED. THIS NOTE HAS BEEN CUSTOMIZED FOR THIS PROJECT.



- CONDITIONS OF APPROVAL:**
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
  - THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
  - ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.

**APPROVED BY THE PORTSMOUTH PLANNING BOARD**

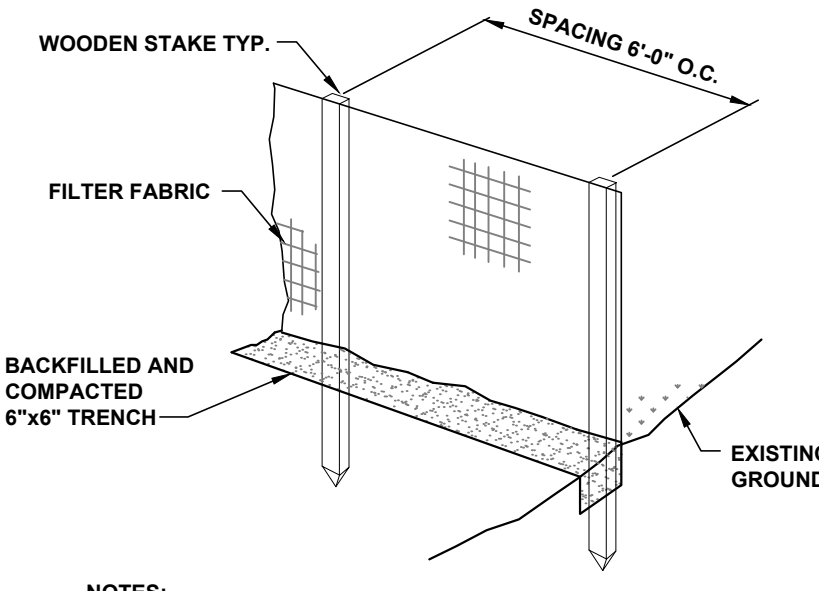
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

**EROSION CONTROL NOTES**

- ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENTATION CONTROL BMPs, PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION.
- SILT FENCE WILL BE INSPECTED, REPLACED AND/OR REPAIRED IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR LOSS OF SERVICEABILITY DUE TO SEDIMENT ACCUMULATION. AT A MINIMUM, ALL EROSION CONTROL DEVICES WILL BE OBSERVED WEEKLY.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO CONSTRUCTION SITE.
- SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY A SUITABLE GROWTH OF GRASS. ONCE A SUITABLE GROWTH OF GRASS HAS BEEN OBTAINED, ALL TEMPORARY EROSION CONTROL ITEMS SHALL BE REMOVED BY THE CONTRACTOR. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THEY ARE REMOVED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED, SEEDED, AND MULCHED IMMEDIATELY.
- ALL DISTURBED AREAS WILL BE SEEDED WITH 2.5 LBS. RED FESCUE AND 0.5 LBS. RYE GRASS PER 1,000 SQUARE FEET AND MULCHED AT A RATE OF 90 LBS. PER 1,000 SQUARE FEET OR EQUIVALENT APPLICATION OF SEED AND MULCH.
- A SUITABLE BINDER SUCH AS CURASOL OR TERRTACK WILL BE USED ON THE HAY MULCH FOR WIND CONTROL.
- IF FINAL SEEDING OF DISTURBED AREAS IS NOT COMPLETED BY SEPTEMBER 15th OF THE YEAR OF CONSTRUCTION, THEN ON THAT DATE THESE AREAS WILL BE GRADED AND SEEDED WITH WINTER RYE AT THE RATE OF 112 POUNDS PER ACRE OR 3 POUNDS PER 1000 SQUARE FEET. THE RYE SEEDING WILL BE PRECEDED BY AN APPLICATION OF 3 TONS OF LIME AND 800 LBS. OF 10-20-20 FERTILIZER OR ITS EQUIVALENT. MULCH WILL BE APPLIED AT A RATE OF 90 POUNDS PER 1000 SQUARE FEET.
- IF THE RYE SEEDING CANNOT BE COMPLETED BY OCTOBER 1st OR IF THE RYE DOES NOT MAKE ADEQUATE GROWTH BY DECEMBER 1st, THEN ON THOSE DATES, HAY MULCH WILL BE APPLIED AT 150 POUNDS PER 1000 SQUARE FEET.
- ALL CATCH BASINS ARE TO BE PROTECTED BY STRAW BALE OR SILTFENCE IN ACCORDANCE WITH SECTION B-3 STORM DRAIN INLET PROTECTION OF THE MAINE BMP HANDBOOK. SURROUNDING AREAS CAN BE EXCAVATED OR LEFT LOW AS A SEDIMENT TRAP. CURB INLETS SHALL BE PROTECTED BY GUTTERGATORS, OR APPROVED EQUIVALENT.
- INTERIOR SILT FENCES ALONG CONTOUR DIVIDING FLAT AND STEEP SLOPES, AREAS WITH DIFFERENT DISTURBANCE SCHEDULES, AROUND TEMPORARY STOCKPILES OR IN OTHER UNSPECIFIED POSSIBLE CIRCUMSTANCES SHOULD BE CONSIDERED BY THE CONTRACTOR. THE INTENT OF SUCH INTERIOR SILT FENCES IS TO LIMIT SEDIMENT TRANSPORT WITHIN THE SITE TOWARD THE PROTECTED CATCH BASIN INLETS TO MINIMIZE SEDIMENT REMOVAL REQUIRED BY THE EROSION CONTROL, NOTE 9 PROTECTIONS AND EXTEND LIFE OF SUCH DEVICES.
- THE CONTRACTOR SHALL PROVIDE A SEDIMENT BASIN FOR ALL WATER PUMPED FROM EXCAVATIONS. BASIN SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENTATION CONTROL PRACTICES FIELD GUIDE FOR CONTRACTORS" (PUBLISHED MARCH 2015). THE PUBLICATION CAN BE FOUND AT: [HTTP://WWW.MAINE.GOV/DEPLAND/EROSION/ESCB/INDEX.HTML](http://www.maine.gov/depland/erosion/escb/escb/index.html)
- DEWATERING  
A DEWATERING PLAN IS NEEDED TO ADDRESS EXCAVATION DE-WATERING FOLLOWING HEAVY RAINFALL EVENTS OR WHERE THE EXCAVATION MAY INTERCEPT THE GROUNDWATER TABLE DURING CONSTRUCTION. THE COLLECTED WATER NEEDS TREATMENT AND A DISCHARGE POINT THAT WILL NOT CAUSE DOWNGRADE EROSION AND OFFSITE SEDIMENTATION OR WITHIN A RESOURCE. PLEASE FOLLOW THE DETAILS OF SUCH A PLAN.
- BASIC STANDARDS - EROSION CONTROL MEASURES:  
MINIMUM EROSION CONTROL MEASURES WILL NEED TO BE IMPLEMENTED AND THE CONTRACTOR WILL BE RESPONSIBLE TO MAINTAIN ALL COMPONENTS OF THE EROSION CONTROL PLAN UNTIL THE SITE IS FULLY STABILIZED. HOWEVER, BASED ON SITE AND WEATHER CONDITIONS DURING CONSTRUCTION, ADDITIONAL EROSION CONTROL MEASURES MAY NEED TO BE IMPLEMENTED. ALL AREAS OF INSTABILITY AND EROSION MUST BE REPAIRED IMMEDIATELY DURING CONSTRUCTION AND NEED TO BE MAINTAINED UNTIL THE SITE IS FULLY STABILIZED OR VEGETATION IS ESTABLISHED. A CONSTRUCTION LOG MUST BE MAINTAINED FOR THE EROSION AND SEDIMENTATION CONTROL INSPECTIONS AND MAINTENANCE

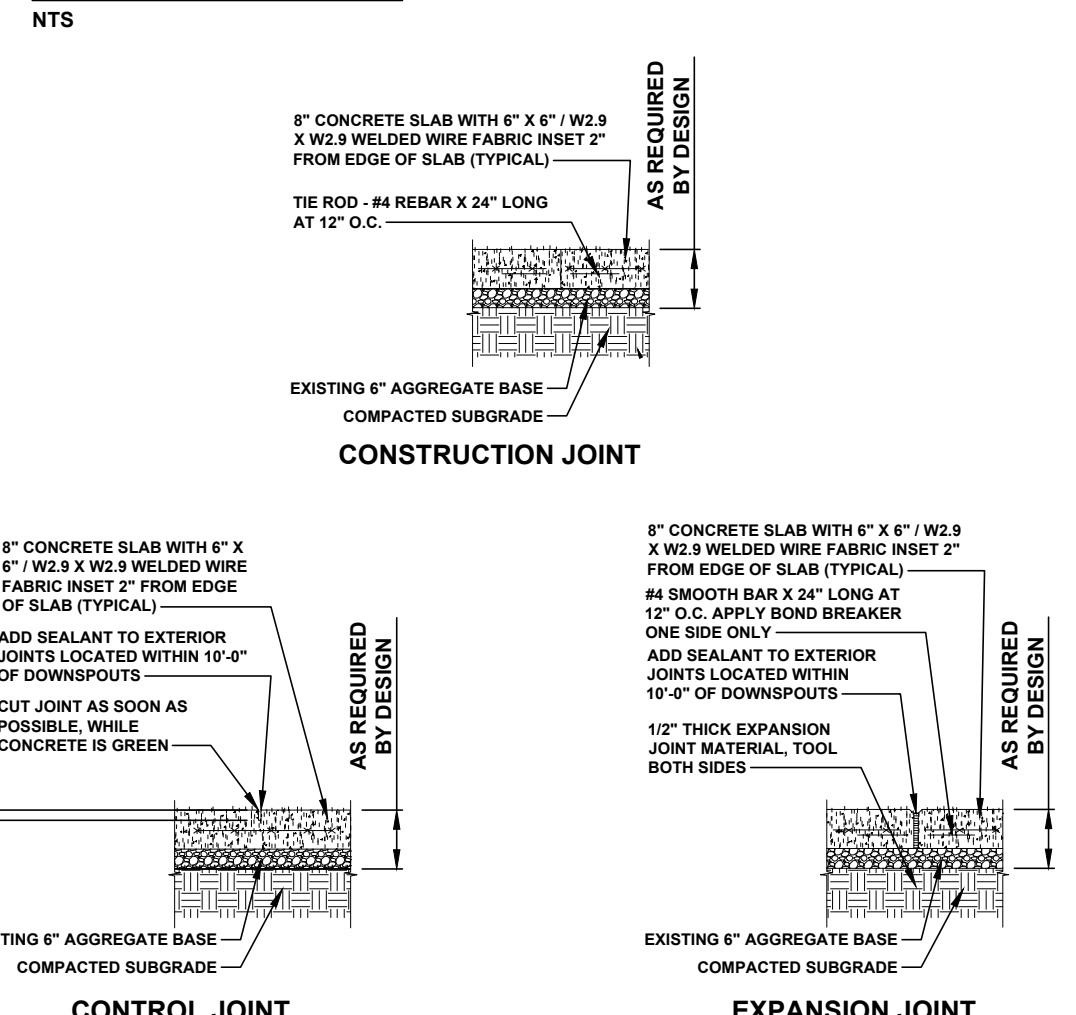
CONTRACTOR WILL BE RESPONSIBLE FOR FOLLOWING PROCEDURES FOUND IN THE "MAINE EROSION AND SEDIMENT CONTROL PRACTICES FIELD GUIDE FOR CONTRACTORS" (PUBLISHED MARCH 2015). THE PUBLICATION CAN BE FOUND AT: [HTTP://WWW.MAINE.GOV/DEPLAND/EROSION/ESCB/INDEX.HTML](http://www.maine.gov/depland/erosion/escb/escb/index.html)

- PROPOSED EROSION CONTROL DEVICES ARE INTENDED TO BE THE MINIMUM LEVEL NECESSARY TO STABILIZE THE SITE AND PREVENT EROSION AND SEDIMENTATION. ADDITIONAL MEASURES MAY BE REQUIRED BASED ON THE FINDING OF THE SITE INSPECTIONS AND THE CHARACTERISTICS OF THE SITE.



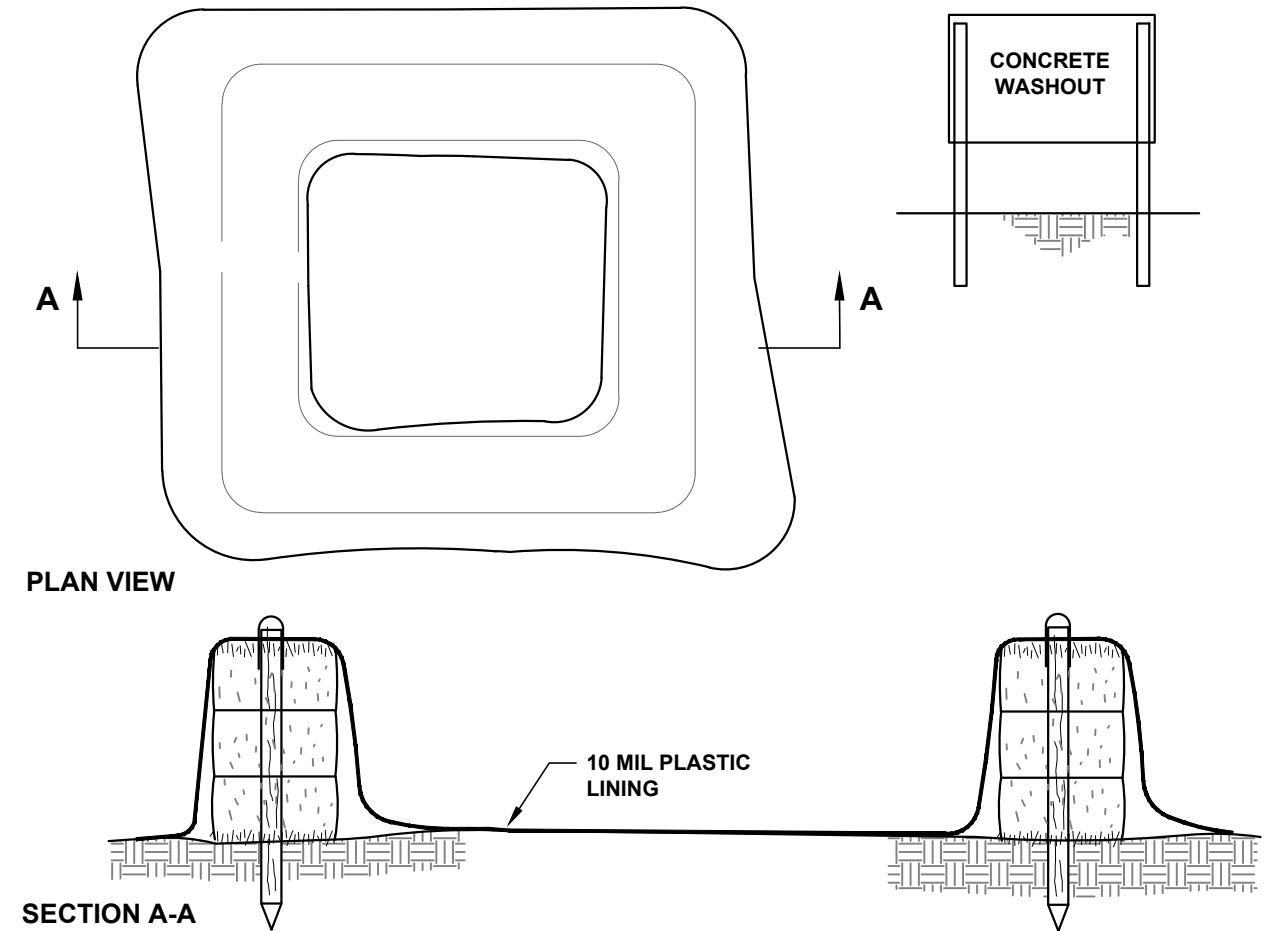
- NOTES:
- KEY FABRIC IN A 6"x6" TRENCH W/BACKFILL AND COMPACT.
  - SILT FENCE SHALL BE A 3' FENCE WITH A MINIMUM GRAB STRENGTH OF 120 LBS.

**SILT FENCE DETAIL**



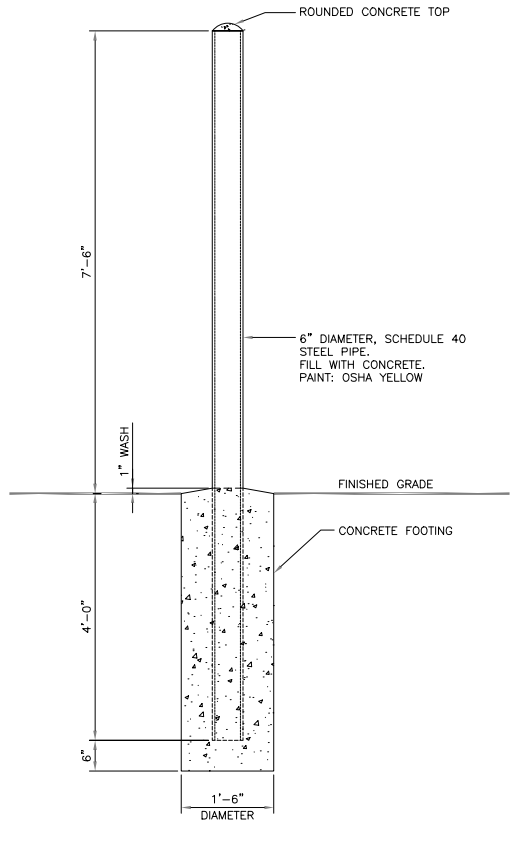
**CONCRETE SLAB JOINT DETAILS**

NTS SOURCE: FEDEX GROUND PACKAGE SYSTEM, INC.



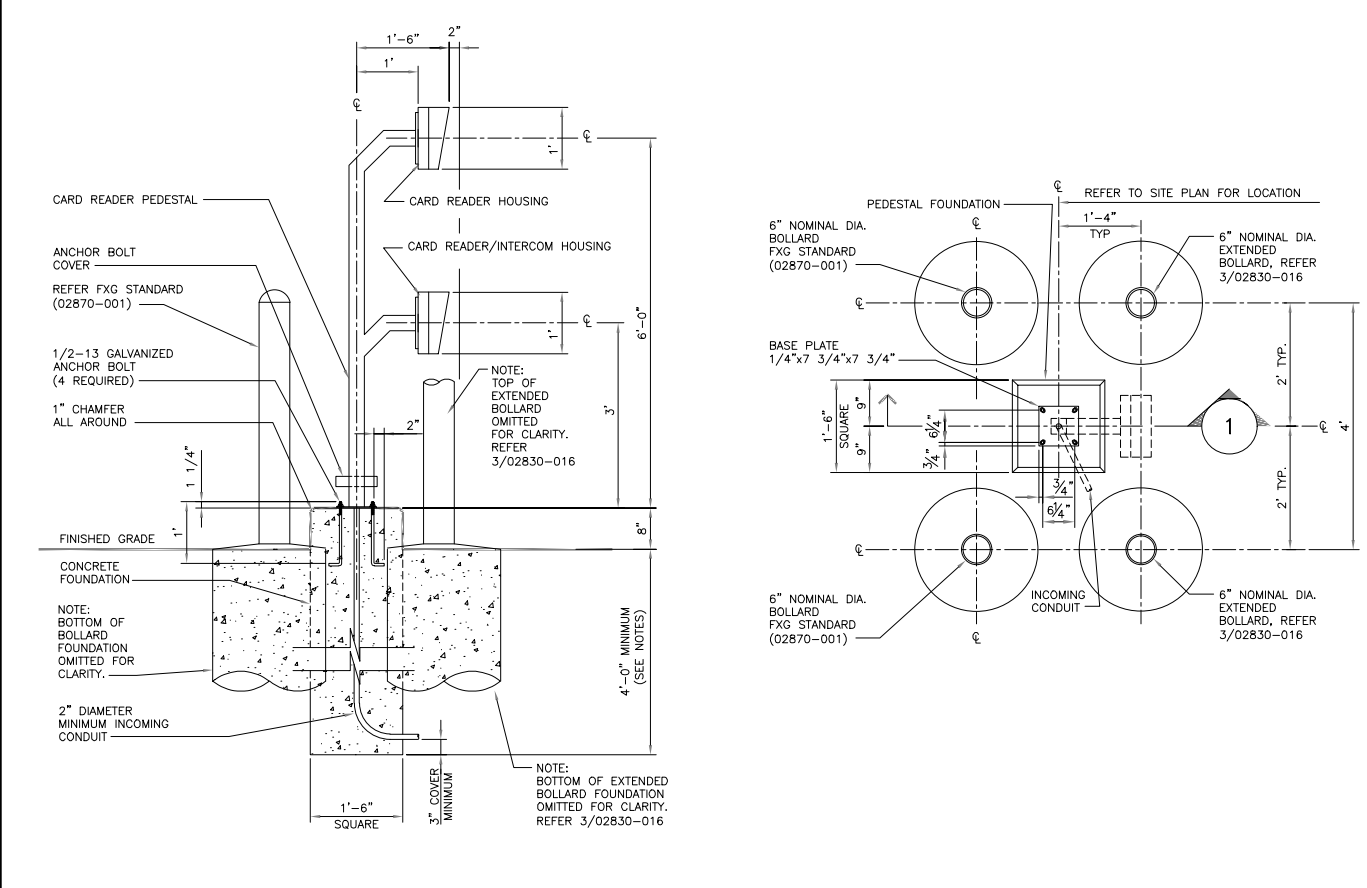
**CONCRETE WASHOUT DETAIL**

- CONSTRUCTION SPECIFICATIONS:
- A CONCRETE WASHOUT STATION SHOULD BE SIZED TO HANDLE ALL THE WASH WATER, SOLIDS AND RAINFALL WITHOUT OVERFLOWING. TYPICALLY, 7 GALLONS OF WATER ARE REQUIRED TO CLEAN A TRUCK CHUTE AND 50 GALLONS FOR THE HOPPER OF A CONCRETE TRUCK.
  - A BELOW-GRADE WASHOUT SHOULD BE SIZED TO CONTAIN ALL LIQUID WASTES WITH A 4-INCH FREEBOARD.
  - ACCESS TO THE WASHOUT PIT SHOULD BE STABLE AND SECURE (I.E. BASE OF GRAVEL OR CRUSHED ROCK).
  - A WASHOUT FACILITY SHOULD NOT BE PLACED WITHIN 50 FEET OF A STORM DRAIN OR DISCHARGE POINT UNLESS THE PIT IS LINED WITH ANCHORED PLASTIC SHEETING (MIN. 10-MIL THICKNESS) AND IS NOT ALLOWED TO OVERFLOW.
  - INSPECT THE STRUCTURE ON A DAILY BASIS TO ASSESS USAGE AND IDENTIFY LEAKS AND BREACHES. DISPOSE OF THE SOLIDS APPROPRIATELY.
  - WOOD PLANKS AND EARTHEN BERM PERIMETER IS ACCEPTABLE IN LIEU OF STRAW BALES.



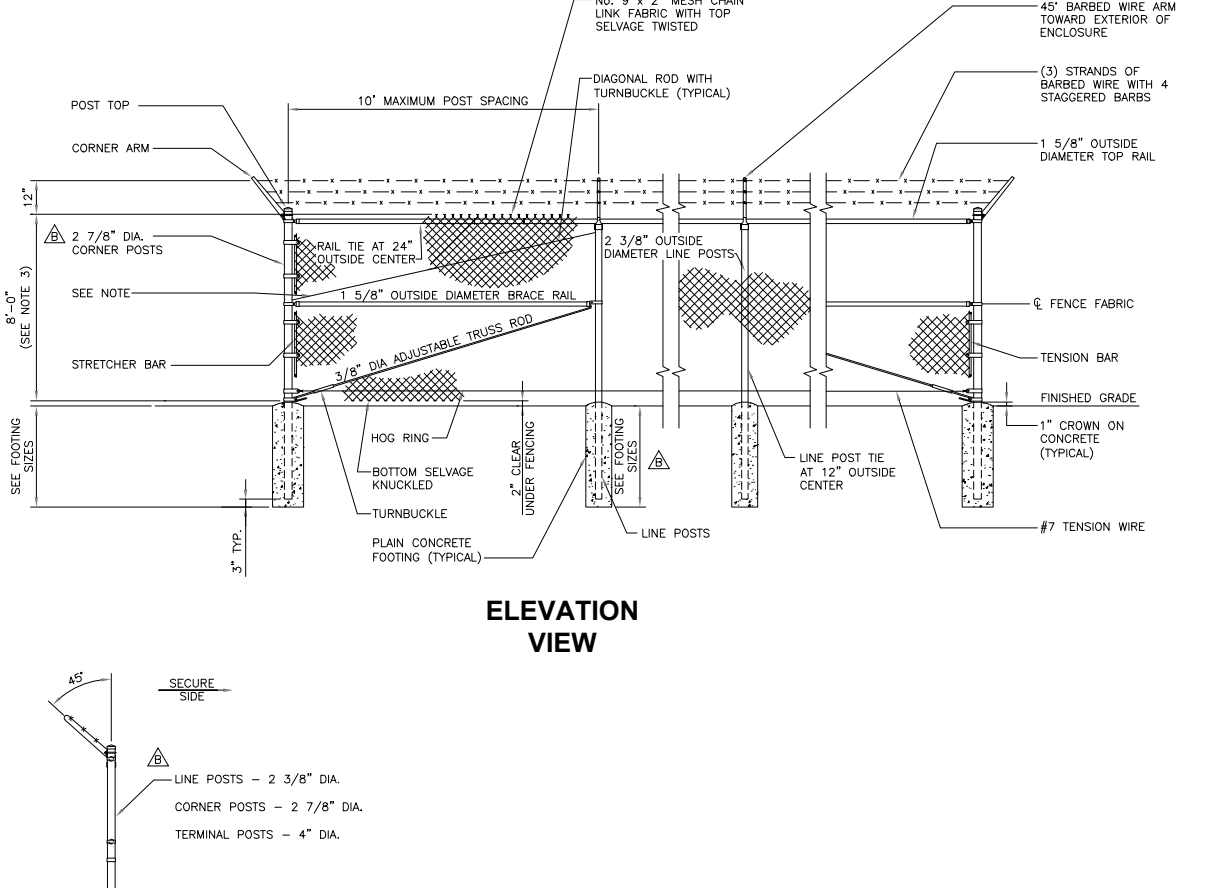
**6" STEEL BOLLARD DETAIL**

NTS SOURCE: FEDEX GROUND PACKAGE SYSTEM, INC.



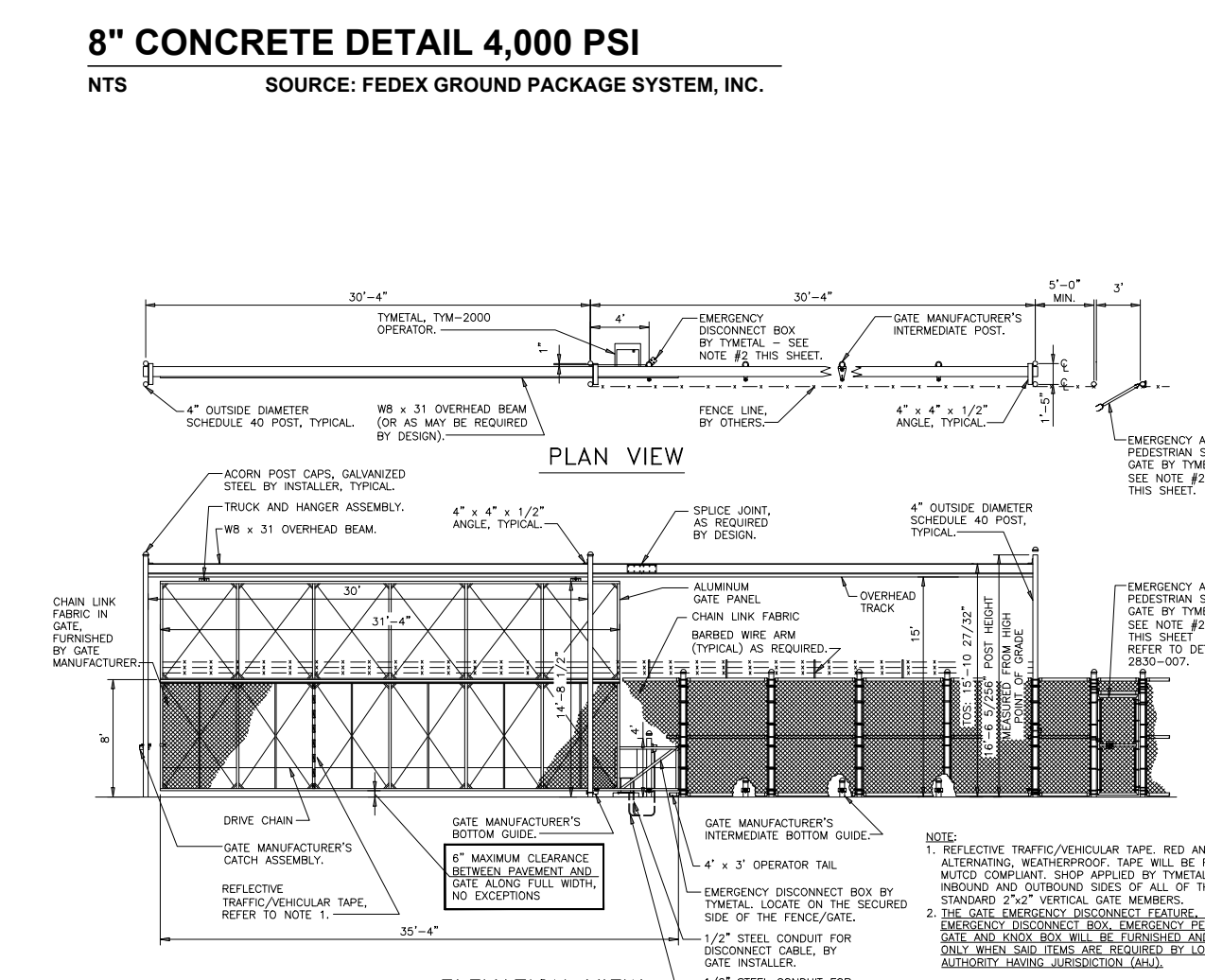
**GATE ENTRY ACCESS PEDESTAL DETAIL**

NTS SOURCE: FEDEX GROUND PACKAGE SYSTEM, INC.



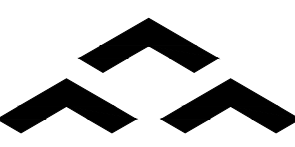
**CHAINLINK FENCE DETAIL**

NTS SOURCE: FEDEX GROUND PACKAGE SYSTEM, INC.



**OVERHEAD TRUSS GATE DETAIL**

NTS SOURCE: FEDEX GROUND PACKAGE SYSTEM, INC.

No.	DATE	DESCRIPTION	BY	CHK
DRAWING ISSUE STATUS				
<b>SITE SURVEY</b>				
				
<b>HALEY WARD</b>				
200 Griffin Rd, Unit 14 Portsmouth, New Hampshire 03801 603.430.9282				
PROJECT				
<b>FEDEX PORTSMOUTH EXPANSION</b>				
218 GRIFFIN ROAD, PORTSMOUTH, NH				
TITLE				
<b>SITE DETAILS</b>				
DATE		SCALE		
2026.04.17		NTS		
DRAWN BY		DESIGNED BY		CHECKED BY
PJM		PJM		DJO
PROJECT No.				
10457.021				
SHEET No.				
C501				
DWG No.				

