

HDC

ADMINISTRATIVE APPROVALS

February 04, 2026

1. 111 Gates Street -Recommended Approval

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-Recommended Approval

Background: The applicant is seeking approval for a change to a previously approved design (change window series and restoration plan).

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



EXTERIOR CHANGES FROM V10 (HDC - FOURTH ROUND SUBMISSION)

- 1 NEW AND RESTORE WINDOWS OF THE ENTIRE FRONT FAÇADE (SEE RED CLOUDED AREAS ON DRAWINGS FOR EXACT LOCATIONS.)
- 2 NEW TWO WINDOWS ON PLAYROOM.

SPECIFICATIONS + NOTES

*ROOFING MATERIAL
*ALL TRIM PACKAGE: PVC OR BORAL
*SIDING:

*BRACKETS: ProWood Market - Bracket 02T9 - F 32", H:42", T: 5.5" (Ptd: WHITE)

*COLUMNS:

*STAIR SYSTEM:

- _EXTERIOR:
 - BROSCO: Liberty Extruded Rail System
 - RISER: AZEC- WHITE
 - TREAD: SELECTWOOD, ZURI "Weathered Grey"

_INTERIOR:

- NEVEL
- HANDRAIL
- BALUSTERS
- RISER FINISH
- TREAD

*WINDOWS:

MANUFACTURER:

EXT. FINISH:

INT. FINISH:

*DOORS:

- MANUFACTURER:
- EXT. FINISH:
- INT. FINISH:

*BATHROOMS:

- FLOORING
- TUB DESIGN
- SHOWER FLOOR
- SHOWER WALLS
- SHOWER HEADS
- SHOWER NICHE VS. SHELVES
- SHOWER DOOR
- NOTE: MAJOR PLUMBING CHANGES

*FLOORING:
_1ST FLOOR:
_2ND FLOOR:
_HEATED FLOOR:
_REFINISH AREAS:
*KITCHEN:
_CABINETRY NOTES: Specs to be prepared on 11 x 17 doc.
_BUILT-IN NOTES:
_APPLIANCES
*MANTLE:
*FIREPLACE:
_GAS
_WOOD: INT. FIREBOX: RED BRICK VS. YELLOW BRICK
_HEARTH: RAISED VS. FLUSH
*MATERIAL:

NOTES:
*CEILING HEIGHTS: 1ST FLOOR: ____ | 2ND FLOOR: ____
*CORNER BOARDS: 6" TYP.
*WATER TABLE: 10" W/ COPPER FLASHING TYP.
*RAKE BOARD: 8" TYP. PVC OR BORAL. (FILLED & PAINTED)
*SOFFIT - BEADBOARD AZEC OR EQ.
*ROOF VENT - RIDGE VENT VS. BROSCO LOUVERED VENT VS. SOFFIT VENT
*ARCHITECTURAL DETAIL:
*WINDOW TRIM: 4-1/2" TYP. PVC

TOTAL SQUARE FOOTAGE:
_NEW
_RENOVATED SF
_TOTAL

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DRAWINGS USED EXPRESSIVELY FOR
DESIGN ONLY FOR NOTED CLIENT. ALL
STRUCTURAL ENGINEERING PROVIDED BY
OTHER.

Building contractor / home owner to review and verify all dimensions, specs and connections before construction begins.
PRIMARY:

- INTERNATIONAL RESIDENTIAL CODE (IRC 2021)

SECONDARY:

- ELECTRICAL CODE SYSTEM: NEC 2020
- MECHANICAL SYSTEM CODE: IMC 2021
- PLUMBING SYSTEM CODE: (IPC 2021)
- INTERNATIONAL ENERGY CONSERVATION CODE (IECC 2021)

FINAL CD SET DATE: 01.30.2026

LIVING AREA

FIRST FLOOR	1582 sqft
SECOND FLOOR	1294 sqft
ATTIC	570sqft
TOTAL	3446 sqft

DIM DISCLAIMER

BUILDING CONTRACTOR/HOME OWNER
TO REVIEW AND VERIFY ALL DIMENSIONS,
SPECS, AND CONNECTIONS BEFORE
CONSTRUCTION BEGINS.

OVERVIEW

SCALE: NTS

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E-1	ELECTRICAL
E-2	ELECTRICAL
L-1	LANDSCAPE PLAN

OVERVIEW

CLIENT:
BLACK DOMBROWSKI
111 Gates Street
Portsmouth, NH

CONTACT:
AMY DUTTON HOME / KITTERY, ME
9 WALKER STREET / KITTERY, ME
amy@myduttonhome.com
2013-2020

DATE:
1/30/2026

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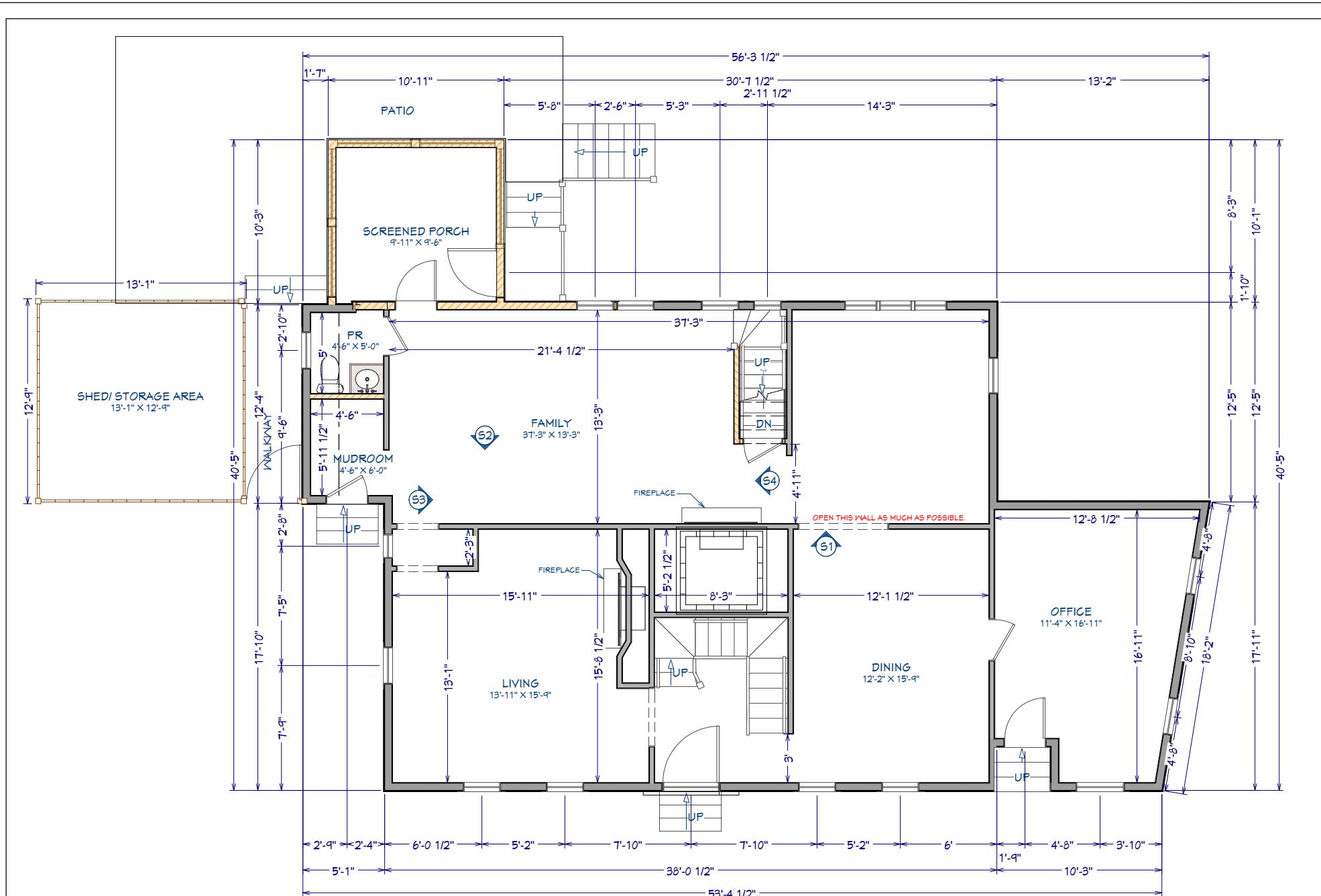
SCALED FOR:
24" X 36"

SCALE:

SEE SCALE
ON DRAWINGS

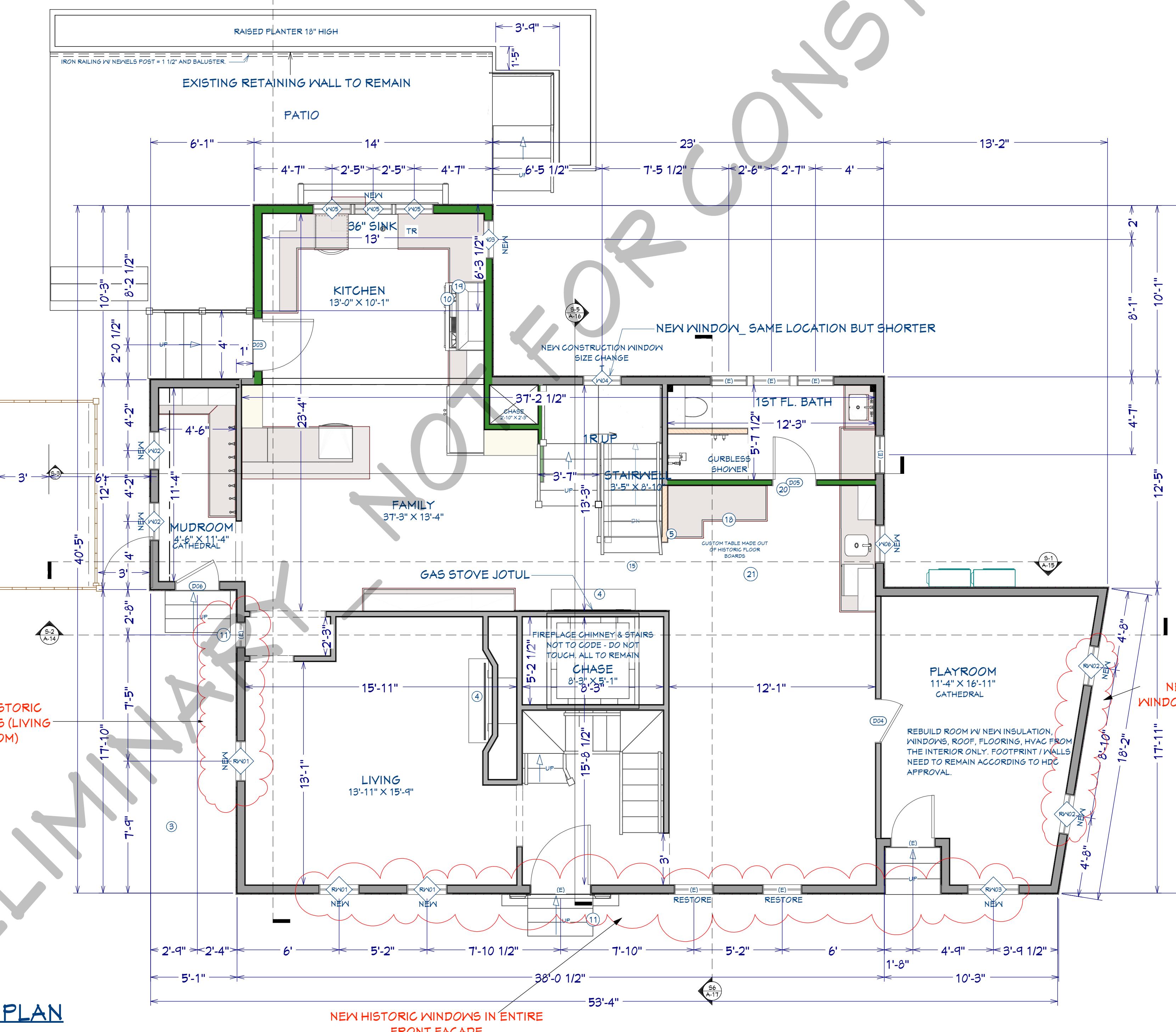
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0-1



EXISTING FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE SCHEDULE	
①	6" CORNER BOARD, TYP.
②	ALL 2ND FLR WINDOWS HUNG AT 56"
③	BRICK WALKWAY
④	FIREPLACE
⑤	HALF WALL
⑥	NEW ROOF PLANE
⑦	RENOVATED ROOF
⑧	ROOF DECK
⑨	SHED/ STORAGE AREA
⑩	48" WOLF RANGE IN HOOD
⑪	STAIRS TO GRADE
⑫	HALF WALL
⑬	NEW WOOD FLOORING IN GIRL'S ROOM
⑭	OPTIONAL CONSIDERATION OF COVERING UP FIREPLACE.
⑮	REFINISH ALL FLOORING - PATCH WHERE NECESSARY. ANY NEW FLOORING WILL BE WIDE PINE.
⑯	TOWEL WARMER

WALL LEGEND

- = EXTERIOR WALL - 2x6 wood stud
- = INTERIOR WALL - 2x4 wood stud, unless noted
- = GLASS TOP TILE BOTTOM PONY WALL
- = GLASS SHOWER WALL
- = NEW WALL

NOTE: 2x6 & 2x4 Wood stud, 16" oc unless otherwise noted.

Number	Revision Table	Date	Description

FIRST FLOOR

CLIENT:
BLACK DOMBROWSKI
111 Gates Street
Portsmouth, NH

CONTACT:
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9 WALKER STREET KITTERY, ME
amy@myduttonhome.com
207.331-2020

DATE:
1/30/2026

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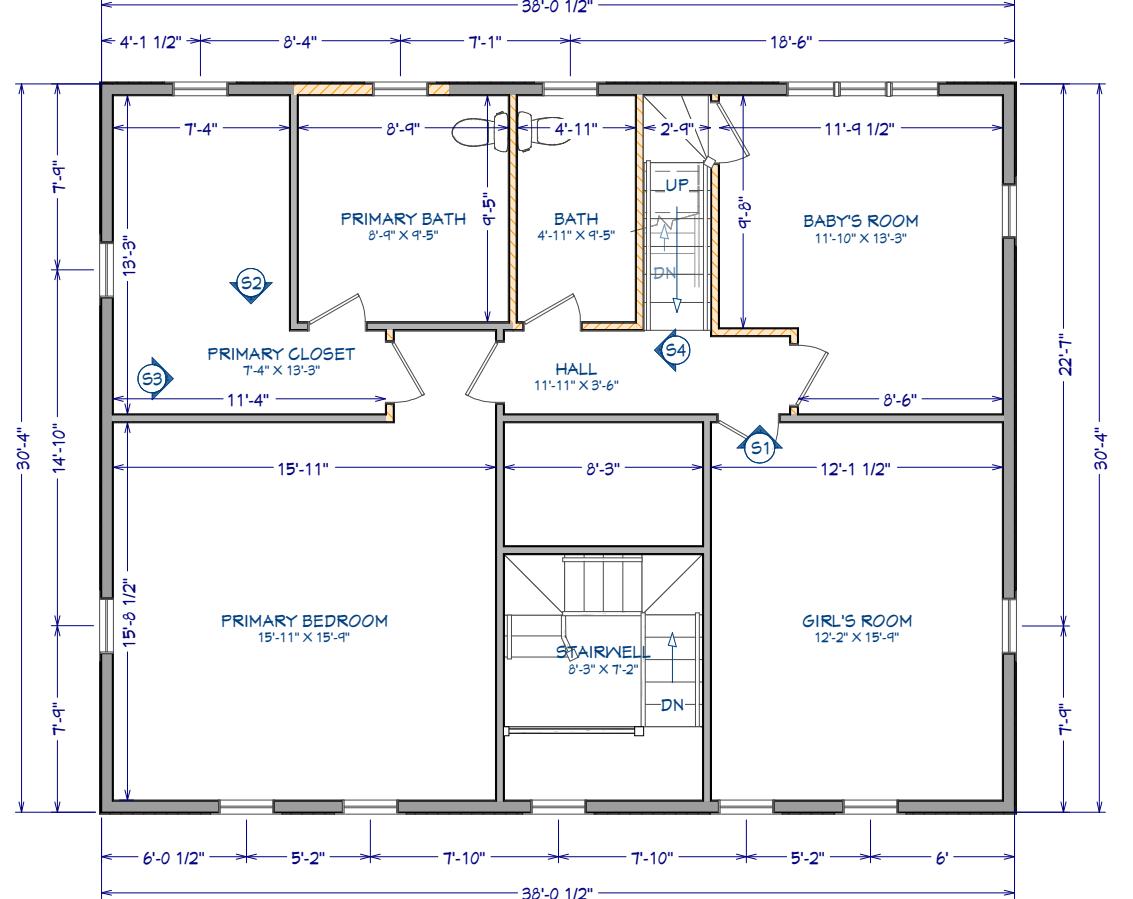
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24" x 36"

SCALE:

SEE SCALE
ON DRAWINGS

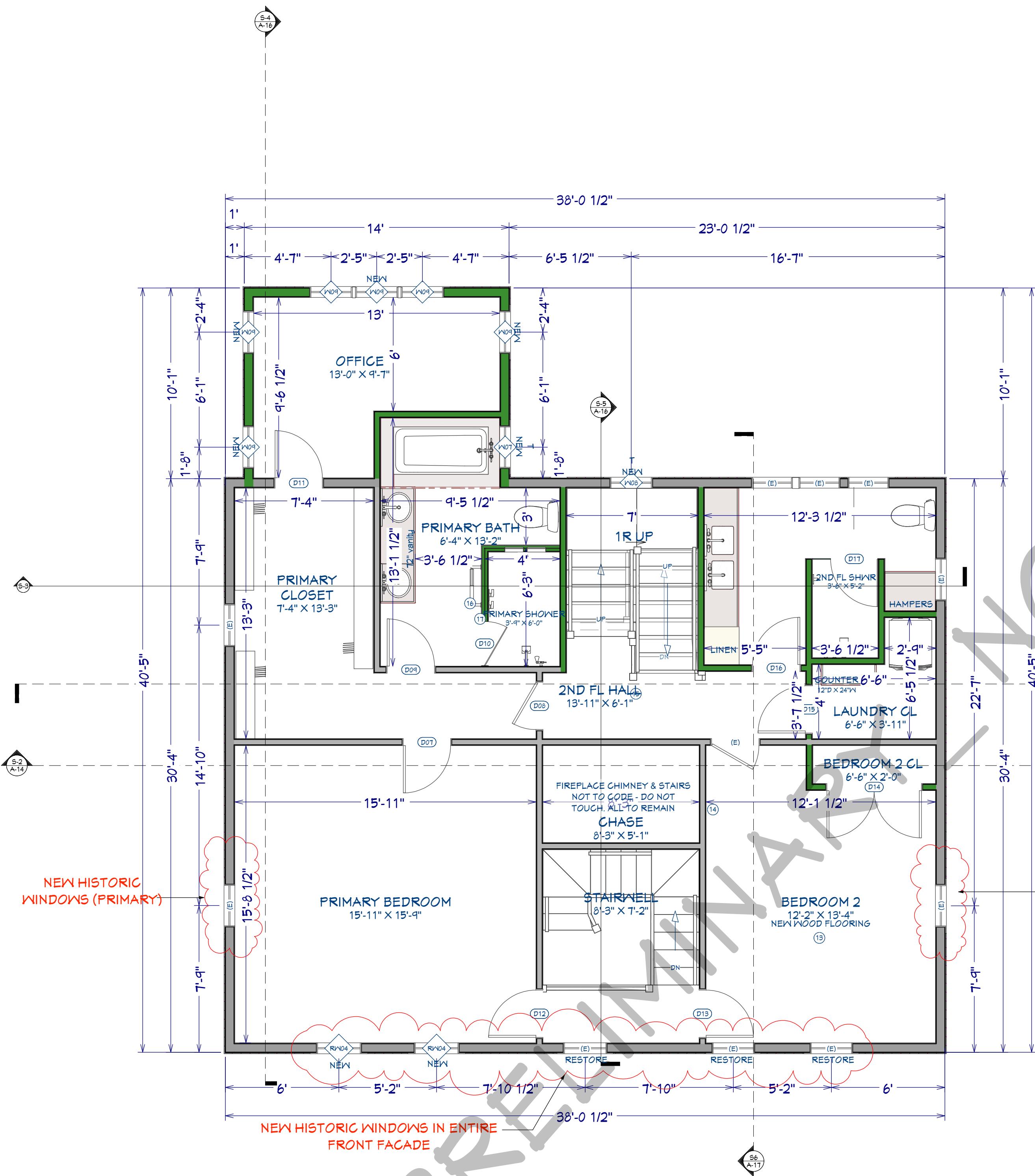
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A-3



EXISTING SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE SCHEDULE	
①	6' CORNER BOARD, TYP.
②	ALL 2ND FLR WINDOWS HUNG AT 86"
③	BRICK Walkway
④	FIREPLACE
⑤	HALF WALL
⑥	NEW ROOF PLANE
⑦	RENOVATED ROOF
⑧	ROOF DECK
⑨	SHED/ STORAGE AREA
⑩	48" WOLF RANGE W/ HOOD
⑪	STAIRS TO GRADE
⑫	HALF WALL
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⑯	TOWEL WARMER

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- = GLASS TOP TILE BOTTOM PONY WALL
- = GLASS SHOWER WALL
- = NEW WALL

NOTE: 2x6 & 2x4 Wood stud, 16" oc unless otherwise noted.

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SECOND FLOOR

CLIENT:
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207.331-2020

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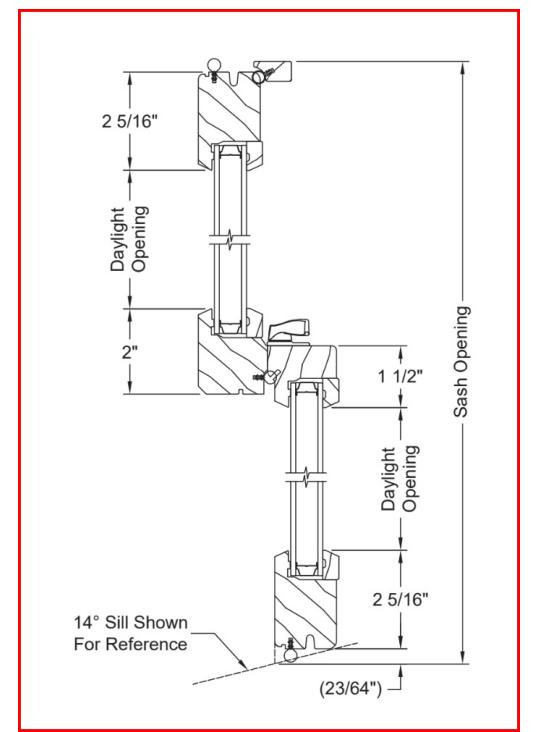
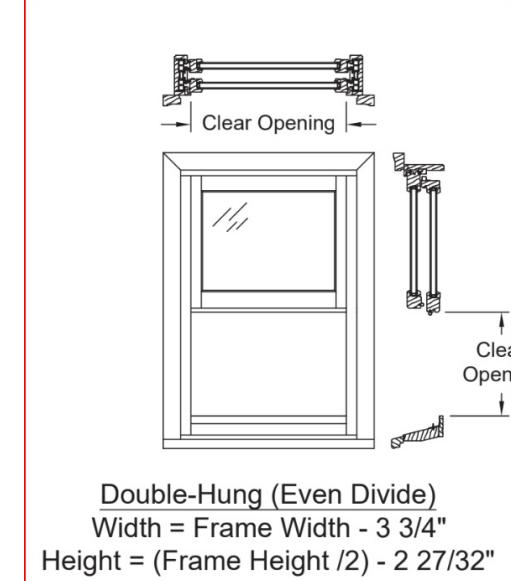
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SCALE:
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SHEET:
A-4

WINDOWS SPEC DETAILS



APPROVED FRONT VIEW

SCALE: 1/4" = 1'-0"



JELD-WEN®		QuickLive®		
Charlie Turner	58 Old Rochester Rd.	QUOTE #	JW260100LVW - Version 0	
SOLD TO	HAVEN HILL	SHIP TO	:	
PO#	111 Gates Street	PROJECT NAME:	111 GATES STREET	
Ship Via	Portsmouth NH	REFERENCE	HAVEN HILL	
U-Factor Weighted Average:	0.29	SHGC Weighted Average:	0.18	
Volume:	3.24	Weight:	46.46	
LINE	LOCATION	BOOK CODE	NET UNIT PRICE	
SIZE INFO	DESCRIPTION	QTY	EXTENDED PRICE	
Line 1	Sash Opening: 28 1/2 X 55	Siteline Wood Double Hung, Auralast Pine, Sash Replacement Kit, Sash Opening: 28 1/2 X 55, Primed Exterior, Primed Interior, 10 Deg Sill, White Liner, Matte Black Hardware, Recessed Sash Lock, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Bead SDL w/Perrn Wood Trdl, Bead Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm.	1	\$1,003.50
	Viewed from Exterior. Scale: 1/2"=1"	"Custom-Width*", "Custom-Height", IGThick=0.726(1/8 / 1/8), U-Factor: 0.29, SHGC: 0.18, VLT: 0.41, Energy Rating: 13.00, CPD: JEL-N-885-05921-00001 PEV 025.4 0.539/PDV 8.143 (12/04/25)CW		\$1,003.50
	Total:	\$1,003.50		
	Tariff Surcharge:	\$7.63		
	Net Total:	\$1,011.13		
	Total Units:	1		

▼Auralast® Protect yourself when you choose JELD-WEN Auralast pine products backed by a limited lifetime warranty against wood rot and termite damage.

cust-57876 Page 1 of 1 (Prices are subject to change.) JW260100LVW (Ver:0) 01/29/2026 6:46 PM Drawings are for visual reference only and may not be to exact scale. Last Modified: 01/29/2026 Quote Date: 01/28/2026

ELEVATIONS

PROPOSED FRONT VIEW

SCALE: 1/4" = 1'-0"



ACTUAL GRADE LEVEL MAY VARY. WHERE ZONING HEIGHT RESTRICTIONS APPLY, BUILDER SHALL VERIFY CONFORMANCE. MANUAL MARKUP OF DRAWINGS TO DEMONSTRATE COMPLIANCE IS RECOMMENDED.

Revision Table	Description

ELEVATIONS

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DATE:
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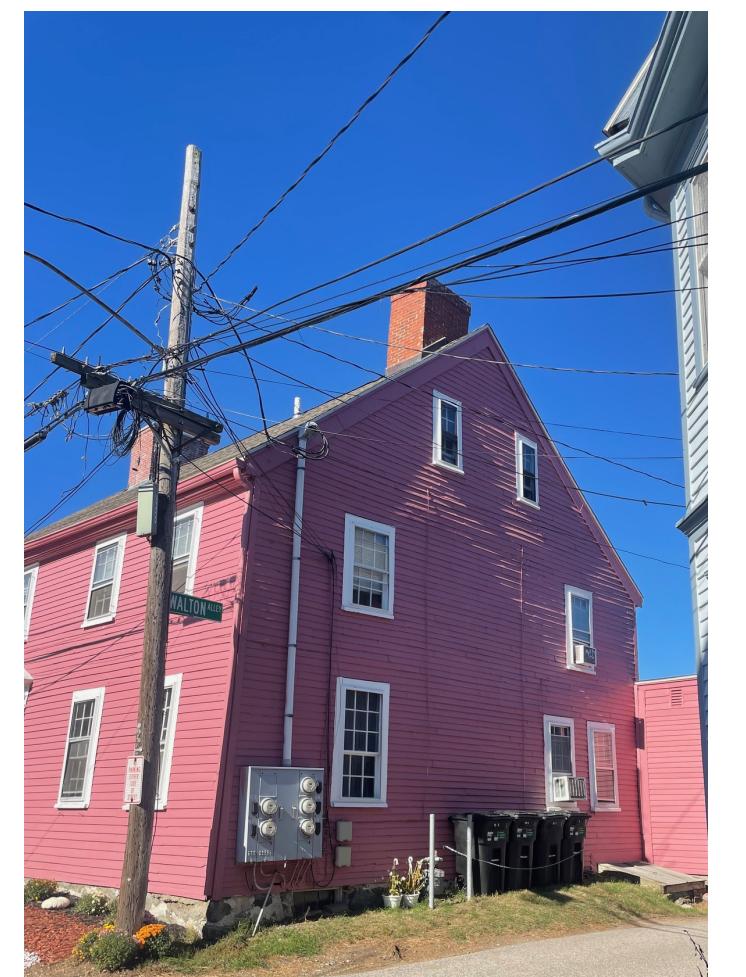
SCALE:

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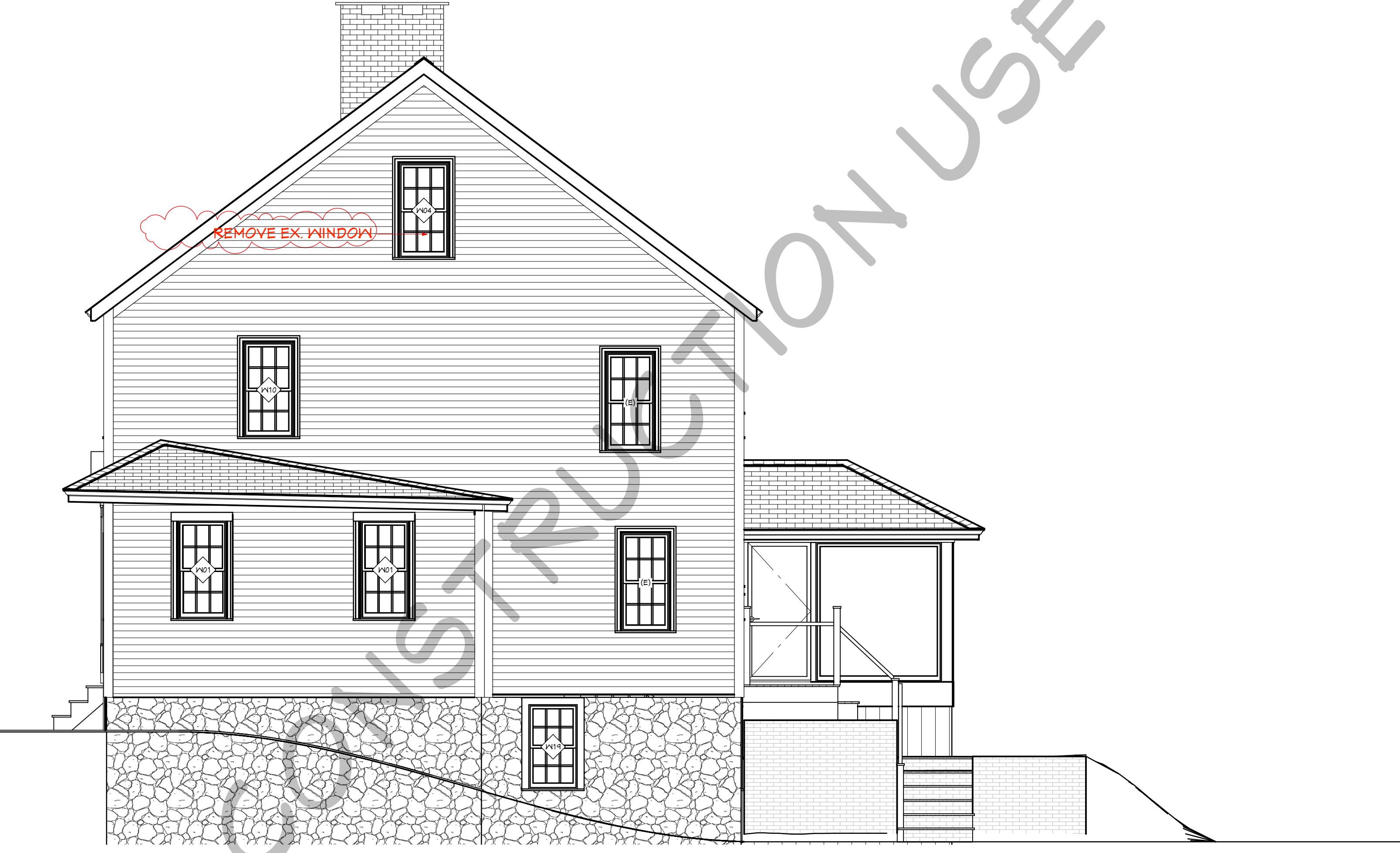
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A-10

EXAMPLES OF TWO WINDOWS IN THE GABLE END
ALL LOCATED WITHIN THE HISTORIC DISTRICT OF PORTSMOUTH, NH



ELEVATIONS
SCALE: 1/4" = 1'-0"



APPROVED EAST ELEVATION | SIDE VIEW

SCALE: 1/8" = 1'-0"



PROPOSED EAST ELEVATION | SIDE VIEW

SCALE: 1/4" = 1'-0"

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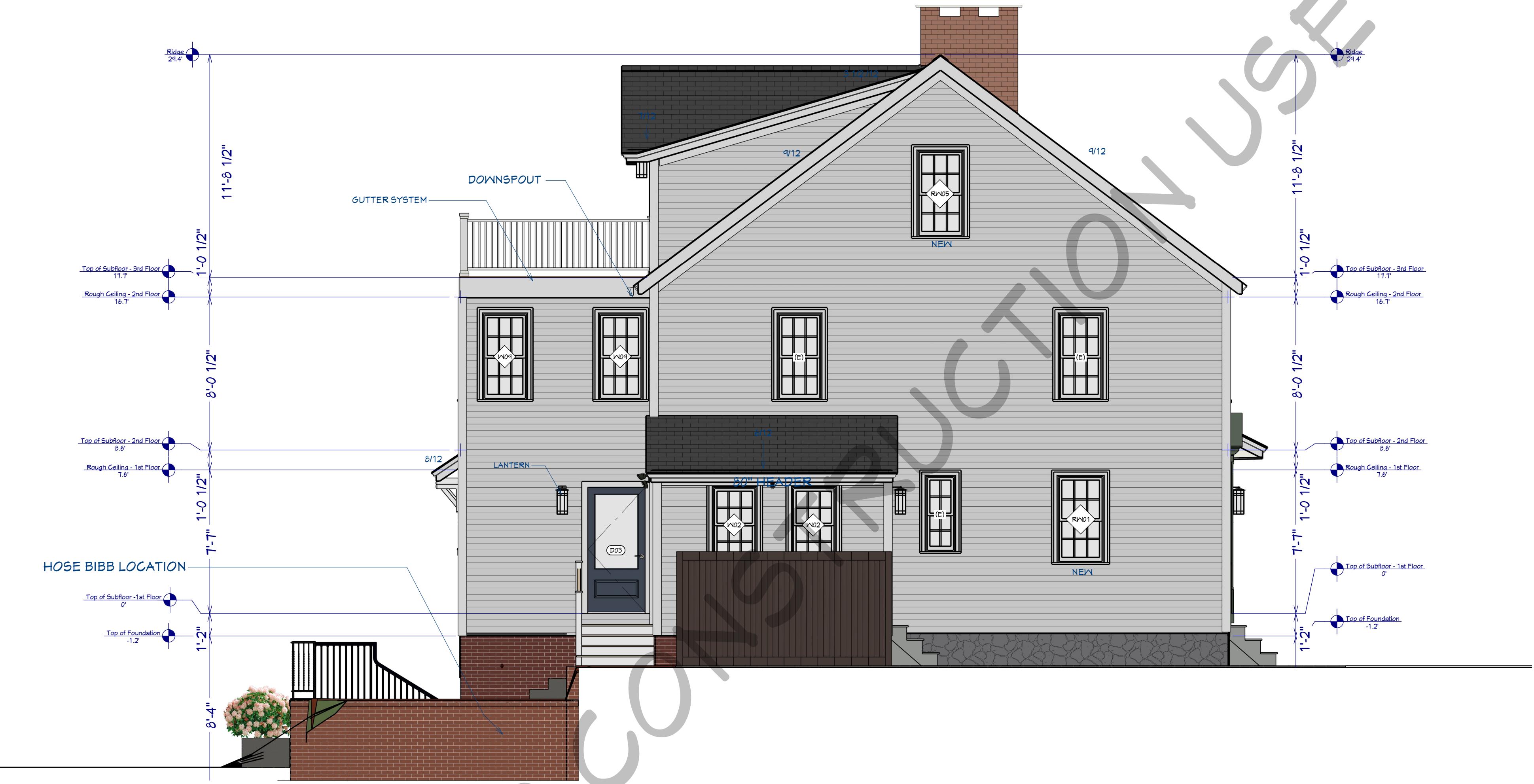
ELEVATIONS

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SCALE:
SEE SCALE ON DRAWINGS
SHEET:

A-12



APPROVED WEST ELEVATION | SIDE VIEW

SCALE: 1/8" = 1'-0"



PROPOSED WEST ELEVATION | SIDE VIEW

SCALE: 1/4" = 1'-0"

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SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-13