

HDC

ADMINISTRATIVE APPROVALS

February 04, 2026

1. 111 Gates Street

-Recommended Approval

1. 111 Gates Street

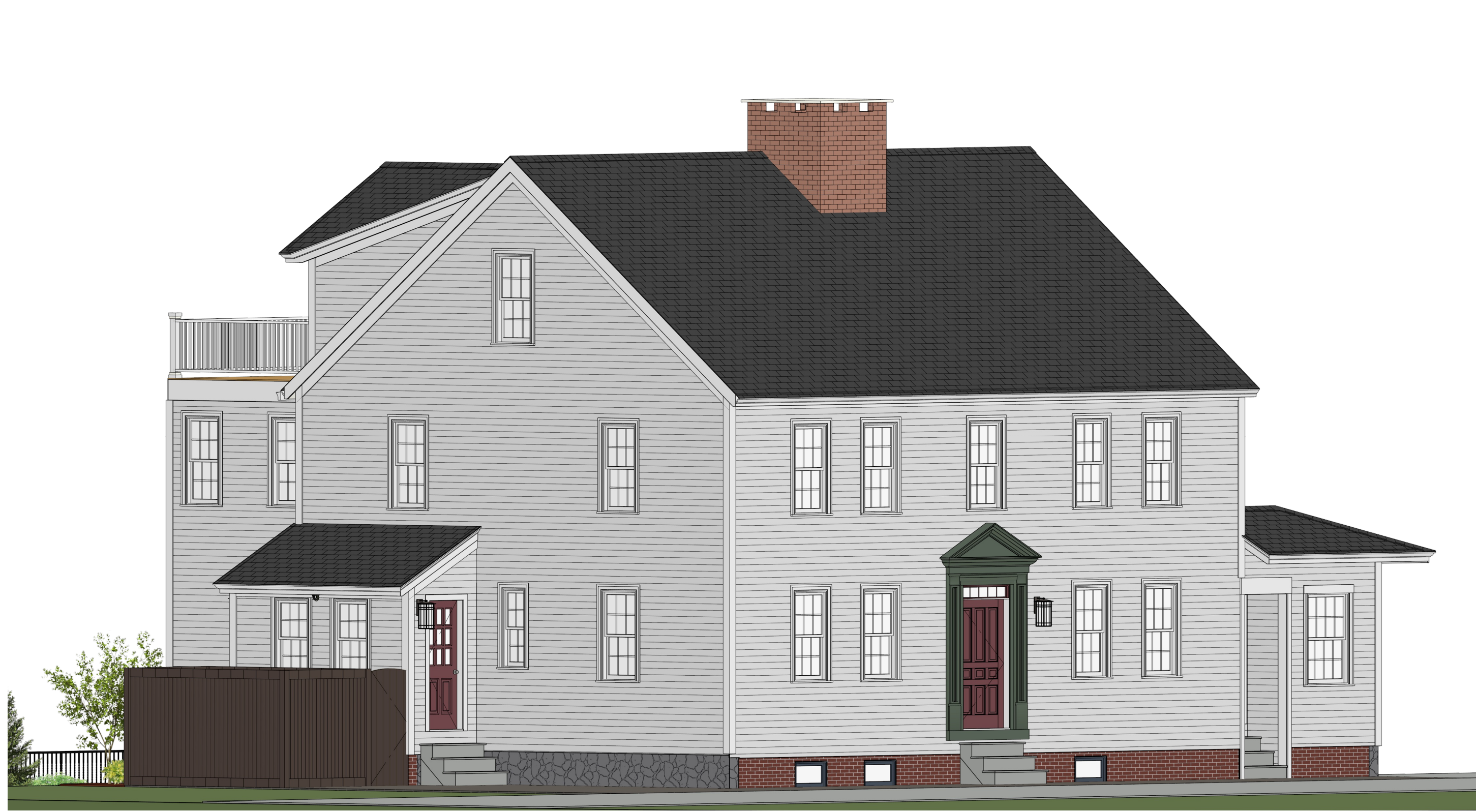
-Recommended Approval

Background: The applicant is seeking approval for a change to a previously approve design (change window series and restoration plan).

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



EXTERIOR CHANGES FROM V10 (HDC – FOURTH ROUND SUBMISSION)

- 1 NEW AND RESTORE WINDOWS OF THE ENTIRE FRONT FACADE
(SEE RED CLOUDED AREAS ON DRAWINGS FOR EXACT LOCATIONS.)
2 NEW TWO WINDOWS ON PLAYROOM.

SPECIFICATIONS + NOTES

- *ROOFING MATERIAL
*ALL TRIM PACKAGE: PVC OR BORAL
*SIDING:
*BRACKETS: ProWood Market - Bracket 02T9 - P 32", H:42", T: 5.5" (Ptd: WHITE)
*COLUMNS:
*STAIR SYSTEM:
 _EXTERIOR:
 *BROSCO: Liberty Extruded Rail System
 *RISER: AZEC- WHITE
 *TREAD: SELECTWOOD, ZURI "Weathered Grey"
 _INTERIOR:
 *NEWEL
 *HANDRAIL
 *BALUSTERS
 *RISER FINISH
 *TREAD
*WINDOWS:
 _MANUFACTURER:
 _EXT. FINISH:
 _INT. FINISH:
*DOORS:
 _MANUFACTURER:
 _EXT. FINISH:
 _INT. FINISH:
*BATHROOMS:
 _FLOORING
 _TUB DESIGN
 _SHOWER FLOOR
 _SHOWER WALLS
 _SHOWER HEADS
 _SHOWER NICHE VS. SHELVES
 _SHOWER DOOR
 _NOTE: MAJOR PLUMBING CHANGES
- *FLOORING:
 _1ST FLOOR:
 _2ND FLOOR:
 _HEATED FLOOR:
 _REFINISH AREAS:
*KITCHEN:
 _CABINETRY NOTES: Specs to be prepared on 11 x 17 doc.
 _BUILT-IN NOTES:
 _APPLIANCES
*MANTLE:
*FIREPLACE:
 _GAS
 _WOOD: INT. FIREBOX: RED BRICK VS. YELLOW BRICK
 _HEARTH: RAISED VS. FLUSH
 *MATERIAL:
NOTES:
*CEILING HEIGHTS: 1ST FLOOR: _____ | 2ND FLOOR: _____
*CORNER BOARDS: 6" TYP
*WATER TABLE: 10" W/ COPPER FLASHING TYP.
*RAKE BOARD: 8" TYP. PVC OR BORAL. (FILLED & PAINTED)
*SOFFIT - BEADBOARD AZEC OR EQ.
*ROOF VENT - RIDGE VENT VS. BROSCO LOUVERED VENT VS. SOFFIT VENT
*ARCHITECTURAL DETAIL:
*WINDOW TRIM: 4-1/2" TYP. PVC
TOTAL SQUARE FOOTAGE:
 _NEW
 _RENOVATED SF
 _TOTAL

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DRAWINGS USED EXPRESSIVELY FOR
DESIGN ONLY FOR NOTED CLIENT. ALL
STRUCTURAL ENGINEERING PROVIDED BY
OTHER.

Building contractor / home owner to review and verify all
dimensions, specs and connections before construction
begins.
PRIMARY:
● INTERNATIONAL RESIDENTIAL CODE (IRC 2021)
SECONDARY:
● ELECTRICAL CODE SYSTEM: NEC 2020
● MECHANICAL SYSTEM CODE: IMC 2021
● PLUMBING SYSTEM CODE: (IPC 2021)
● INTERNATIONAL ENERGY CONSERVATION CODE
(IECC 2021)

FINAL CD SET DATE: 01.30.2026

LIVING AREA

FIRST FLOOR	1582 sqft
SECOND FLOOR	1294 sqft
ATTIC	510sqft
TOTAL	3446 sqft

DIM DISCLAIMER

BUILDING CONTRACTOR/HOME OWNER
TO REVIEW AND VERIFY ALL DIMENSIONS,
SPECS, AND CONNECTIONS BEFORE
CONSTRUCTION BEGINS.

OVERVIEW

SCALE: NTS

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Revision Table	
Number	Description

OVERVIEW

CLIENT:
BLACK DOBROWSKI
111 Gates Street
Portsmouth, NH

CONTACT:
AMY DUTTON HOME
9 WALKER STREET | KITTERY, ME
amy@amyduttonhome.com
207.397.2020

DATE:

1/30/2026

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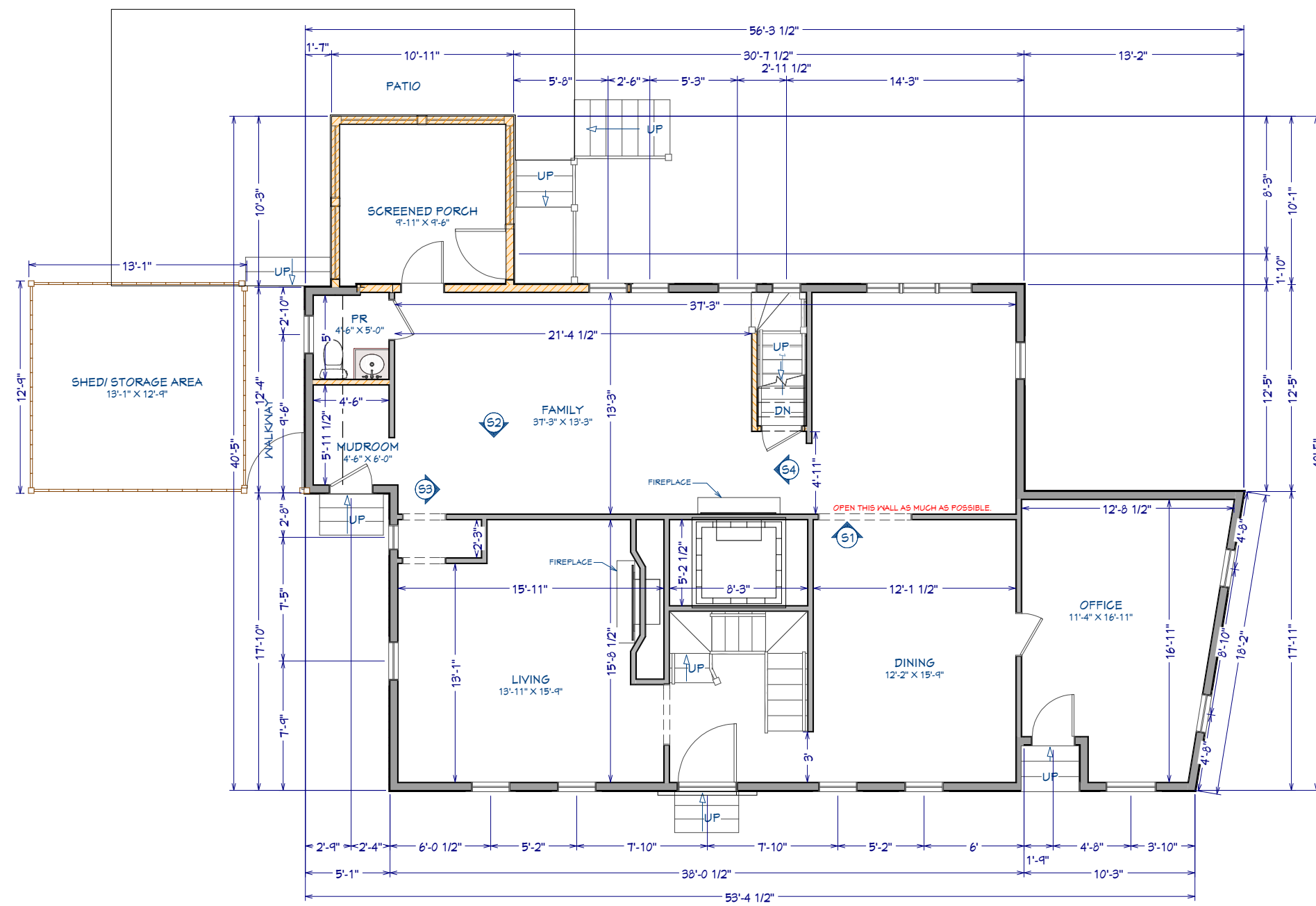
SCALED FOR:
24" X 36"

SCALE:

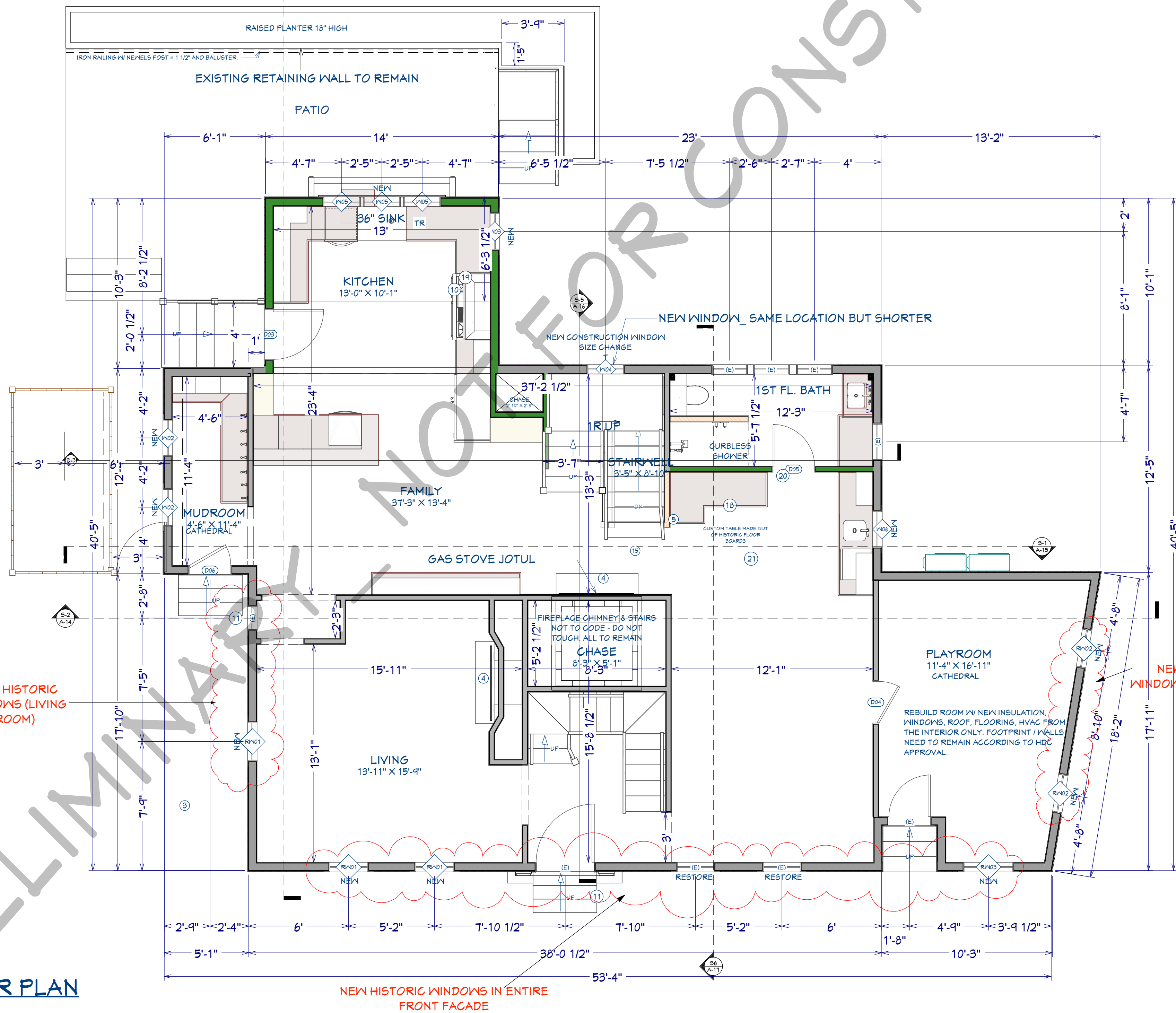
SEE SCALE
ON DRAWINGS

SHEET:

O-1



EXISTING FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTES SCHEDULE	
1	6" CORNER BOARD, TYP.
2	ALL 2ND FLR WINDOWS HUNG AT 66"
3	BRICK WALKWAY
4	FIREPLACE
5	HALF WALL
6	NEW ROOF PLANE
7	RENOVATED ROOF
8	ROOF DECK
9	SHED/STORAGE AREA
10	48" WOLF RANGE W/ HOOD
11	STAIRS TO GRADE
12	HALF WALL
13	NEW WOOD FLOORING IN GIRL'S ROOM
14	OPTIONAL CONSIDERATION OF COVERING UP FIREPLACE
15	REFINISH ALL FLOORING - PATCH WHERE NECESSARY. ANY NEW FLOORING WILL BE WIDE PINE.
16	TOWEL WARMER

WALL LEGEND

- = EXTERIOR WALL - 2x6 wood stud
- = INTERIOR WALL - 2x4 wood stud, unless noted
- = GLASS TOP TILE BOTTOM PONY WALL
- = GLASS SHOWER WALL
- = NEW WALL

NOTE: 2X6 & 2X4 Wood stud, 16" oc unless otherwise noted.

Revision Table	
Number	Description

FIRST FLOOR

CLIENT:
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CONTACT:
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207.357.1920

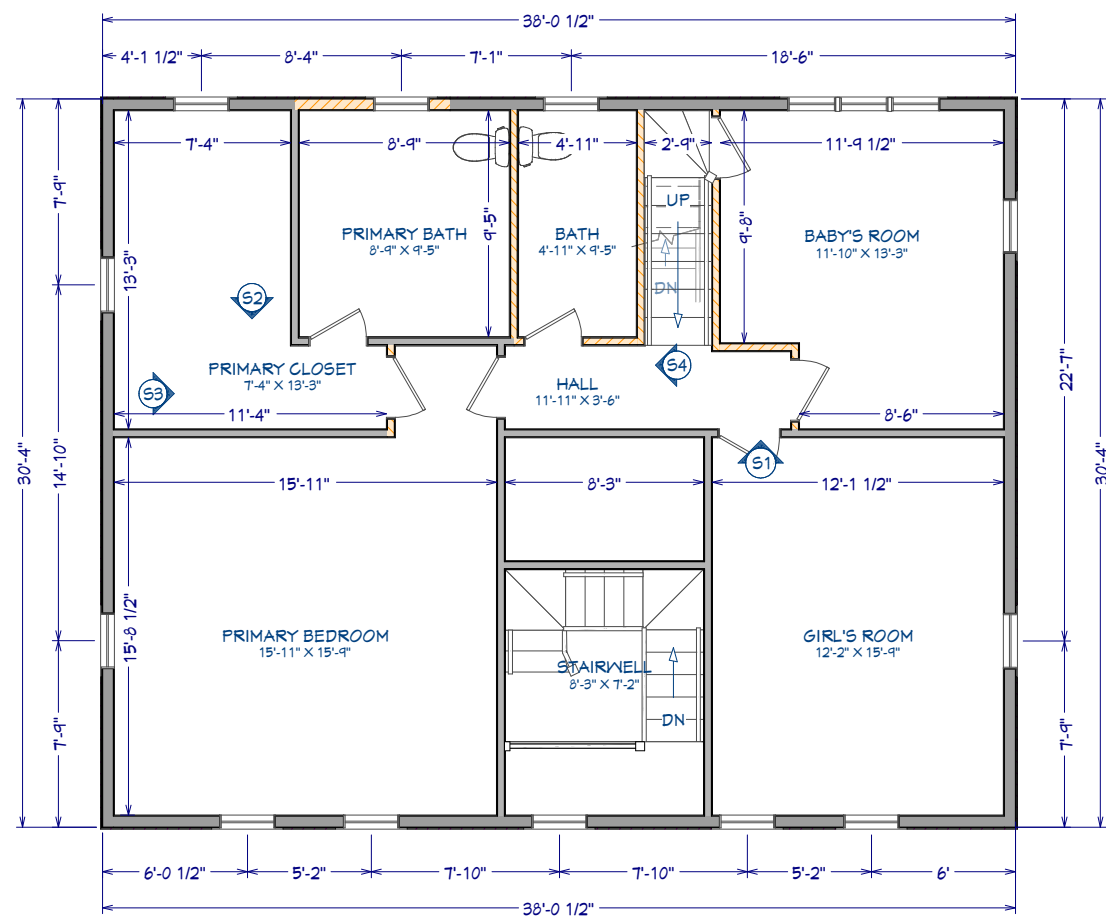
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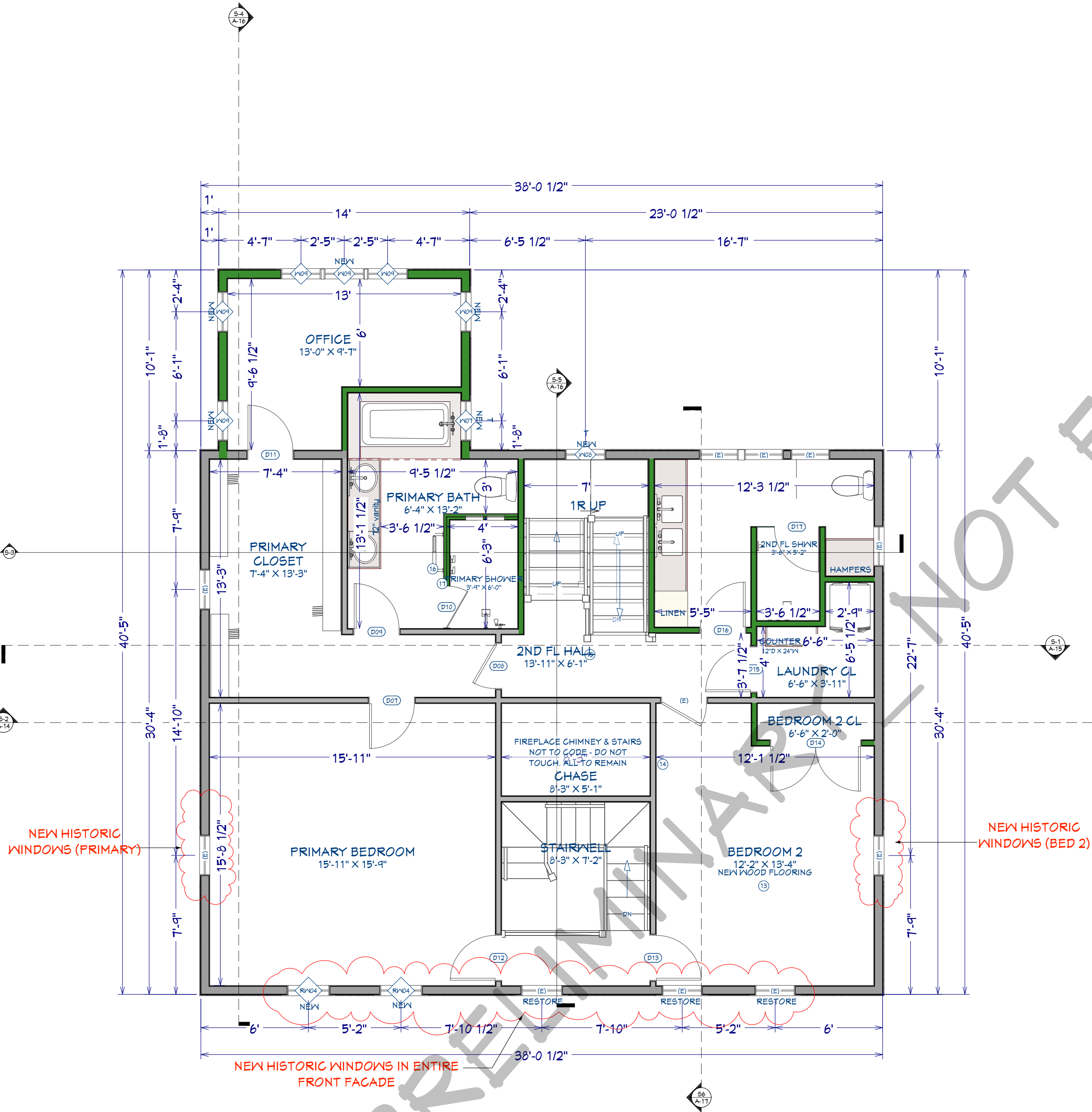
SCALE:
SEE SCALE
ON DRAWINGS

SHEET:
A-3



EXISTING SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE SCHEDULE	
1	6" CORNER BOARD, TYP.
2	ALL 2ND FLR WINDOWS HUNG AT 26"
3	BRICK WALKWAY
4	FIREPLACE
5	HALF WALL
6	NEW ROOF PLANE
7	RENOVATED ROOF
8	ROOF DECK
9	SHED/ STORAGE AREA
10	48" WOLF RANGE W/ HOOD
11	STAIRS TO GRADE
12	HALF WALL
13	NEW WOOD FLOORING IN GIRL'S ROOM
14	OPTIONAL CONSIDERATION OF COVERING UP FIREPLACE.
15	REFINISH ALL FLOORING - PATCH WHERE NECESSARY. ANY NEW FLOORING WILL BE WIDE PINE.
16	TOXEL WARMER

WALL LEGEND

- [Solid Grey Line] = EXTERIOR WALL - 2x6 wood stud
- [Thin Grey Line] = INTERIOR WALL - 2x4 wood stud, unless noted
- [Double Grey Line] = GLASS TOP TILE BOTTOM PONY WALL
- [Blue Line] = GLASS SHOWER WALL
- [Green Line] = NEW WALL

NOTE: 2X6 & 2X4 Wood stud, 16" oc unless otherwise noted.

Revision Table	
Number	Description

SECOND FLOOR

CLIENT:
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111 Gates Street
Portsmouth, NH

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9 WALKER STREET | KITTERY, ME
amy@amyduttonhome.com
207.357.2020

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1/30/2026

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SCALED FOR:
24" X 36"

SCALE:
SEE SCALE ON DRAWINGS

SHEET:
A-4

WINDOWS SPEC DETAILS

Double-Hung (Even Divide)
Width = Frame Width - 3 3/4"
Height = (Frame Height / 2) - 2 27/32"

Daylight Opening
Sash Opening
14" Sill Shown For Reference (23/64")

WITH THIS JELD WEN WINDOW WE WILL BE ABLE TO MAINTAIN THIS WINDOW INSTALLATION & DETAIL



APPROVED FRONT VIEW
SCALE: 1/4" = 1'-0"

Charlie Turner
58 Old Rochester Rd.
Dover NH 03820

QUOTE BY : Charlie Turner
SOLD TO : HAVEN HILL
111 Gates Street
Portsmouth NH

PO# :
Ship Via : Ground
U-Factor Weighted Average: 0.29
Volume: 3.24

QUOTE # : JW260100LVW - Version 0
SHIP TO :
PROJECT NAME: 111 GATES STREET
REFERENCE : HAVEN HILL
SHGC Weighted Average: 0.18
Weight: 46.46

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 1	Sash Opening : 28 1/2 X 55	Siteline Wood Double Hung, Auralast Pine, Sash Replacement Kit, Sash Opening= 28 1/2 X 55 Primed Exterior, Primed Interior, 10 Deg Sill, White Jambliner, Matte Black Hardware, Recessed Sash Lock, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Bead SDL, w/Perm Wood Trad1, Bead Int BAR, Light Bronze Shadow Bar, Colonial All Life(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, *Custom-Width*, *Custom-Height*, 1GThick=0.726(1/8 / 1/8), U-Factor: 0.29, SHGC: 0.18, VLT: 0.41, Energy Rating: 13.00, CPD: JEL-N- 885-05921-00001 PEV 2025.4.0.5399/PDV 8.143 (12/04/25)CW	\$1,003.50	1	\$1,003.50
Total:					\$1,003.50
Tariff Surcharge:					\$7.63
Net Total:					\$1,011.13
Total Units:				1	

Protect yourself when you choose JELD-WEN Auralast pine products backed by a limited lifetime warranty against wood rot and termite damage.

cust-57876
Quote Date: 01/28/2026

Page 1 of 1 (Prices are subject to change.) JW260100LVW (Ver:0) 01/29/2026 6:46 PM
Drawings are for visual reference only and may not be to exact scale. Last Modified: 01/29/2026

PROPOSED FRONT VIEW
SCALE: 1/4" = 1'-0"



ACTUAL GRADE LEVEL MAY VARY. WHERE ZONING HEIGHT RESTRICTIONS APPLY, BUILDER SHALL VERIFY CONFORMANCE. MANUAL MARKUP OF DRAWINGS TO DEMONSTRATE COMPLIANCE IS RECOMMENDED.

ELEVATIONS
SCALE: 1/4" = 1'-0"

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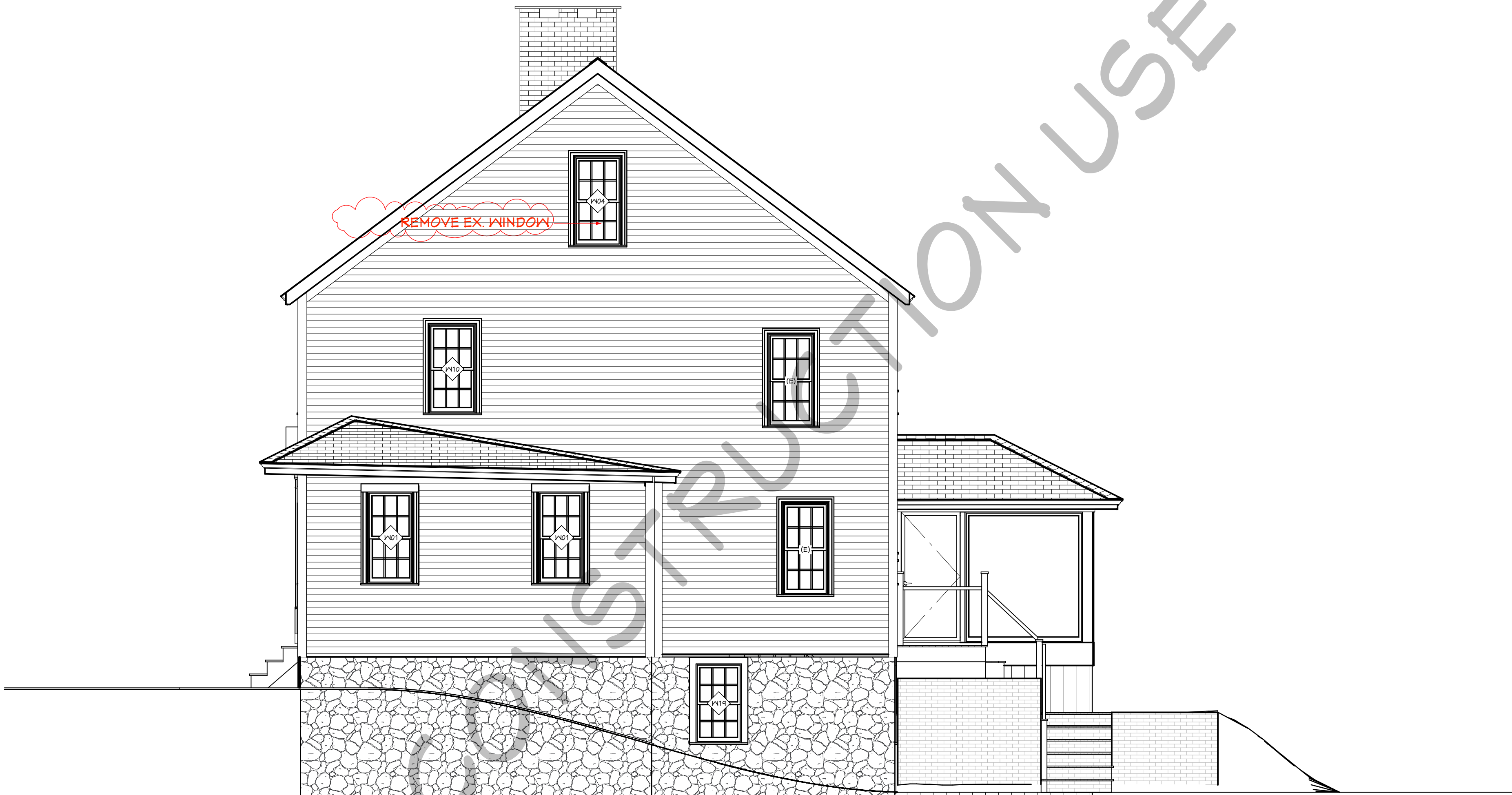
SHEET:

A-10

EXAMPLES OF TWO WINDOWS IN THE GABLE END
ALL LOCATED WITHIN THE HISTORIC DISTRICT OF PORTSMOUTH, NH



ELEVATIONS
SCALE: 1/4" = 1'-0"



APPROVED EAST ELEVATION | SIDE VIEW
SCALE: 1/8" = 1'-0"



PROPOSED EAST ELEVATION | SIDE VIEW
SCALE: 1/4" = 1'-0"

ACTUAL GRADE LEVEL MAY VARY. WHERE ZONING HEIGHT RESTRICTIONS APPLY, BUILDER SHALL VERIFY CONFORMANCE. MANUAL MARKUP OF DRAWINGS TO DEMONSTRATE COMPLIANCE IS RECOMMENDED.

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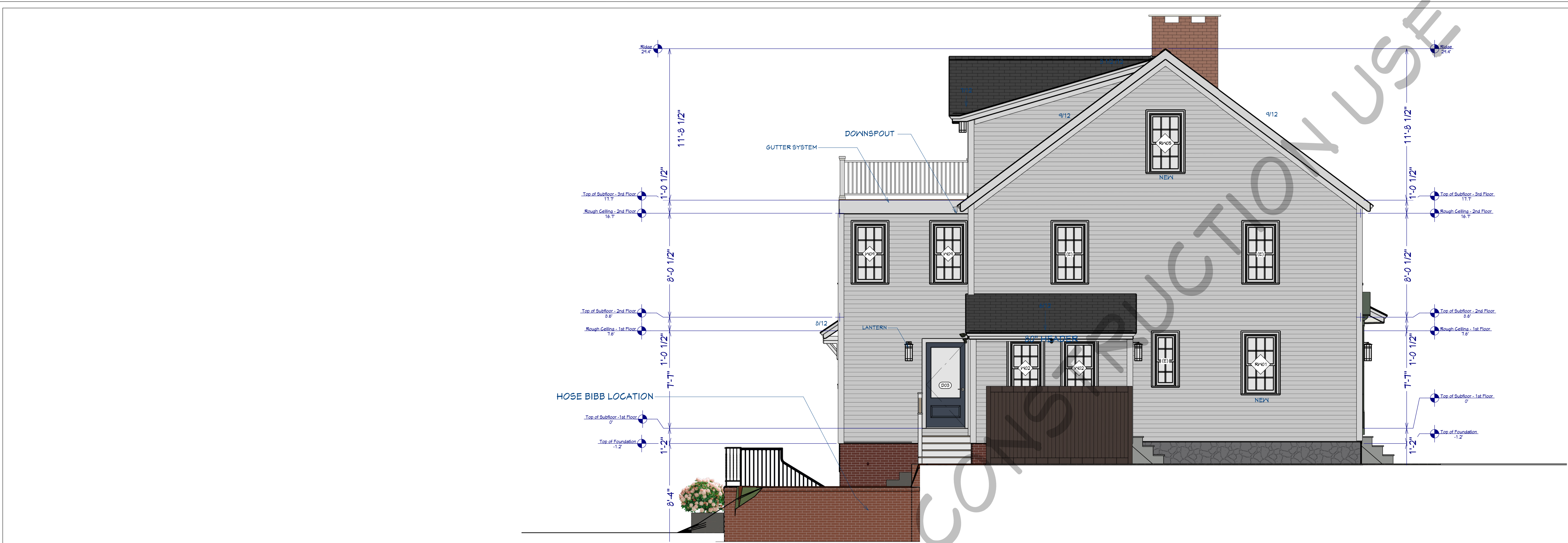
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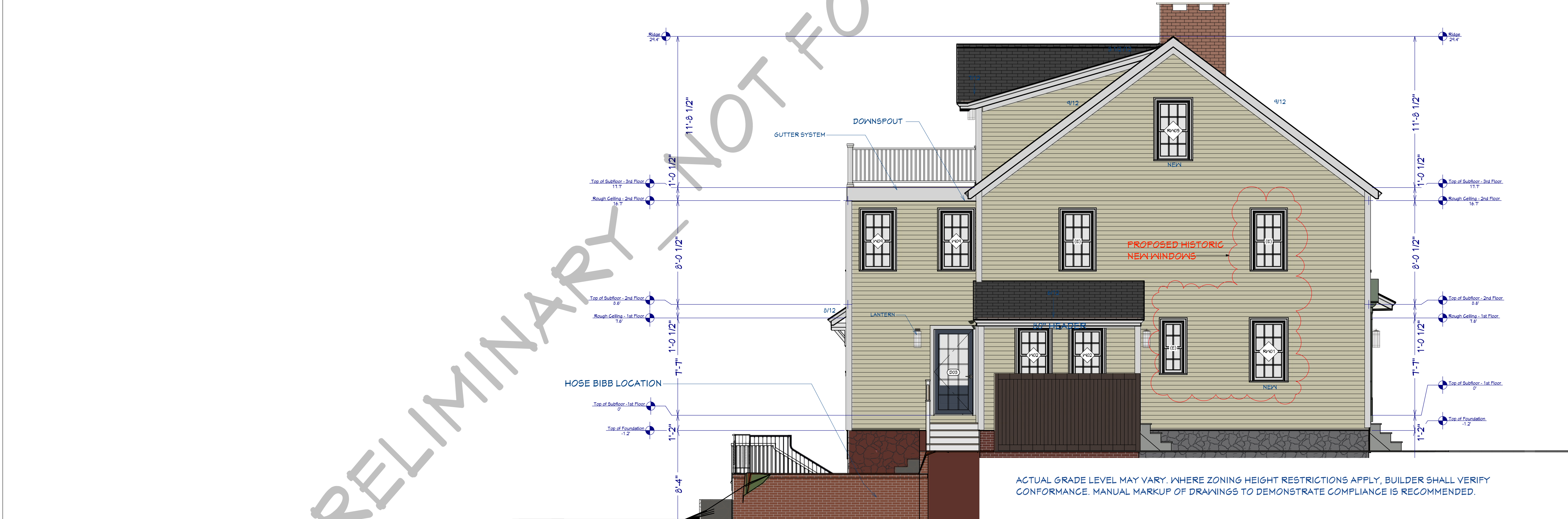
SEE SCALE
ON DRAWINGS

SHEET:

A-12



APPROVED WEST ELEVATION | SIDE VIEW
SCALE: 1/8" = 1'-0"



PROPOSED WEST ELEVATION | SIDE VIEW
SCALE: 1/4" = 1'-0"

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SCALE:

SEE SCALE
ON DRAWINGS

SHEET:

A-13