

304 MAPLEWOOD AVENUE OFFICE ADDITION

HISTORIC DISTRICT COMMISSION PUBLIC HEARING, FEBRUARY 2026

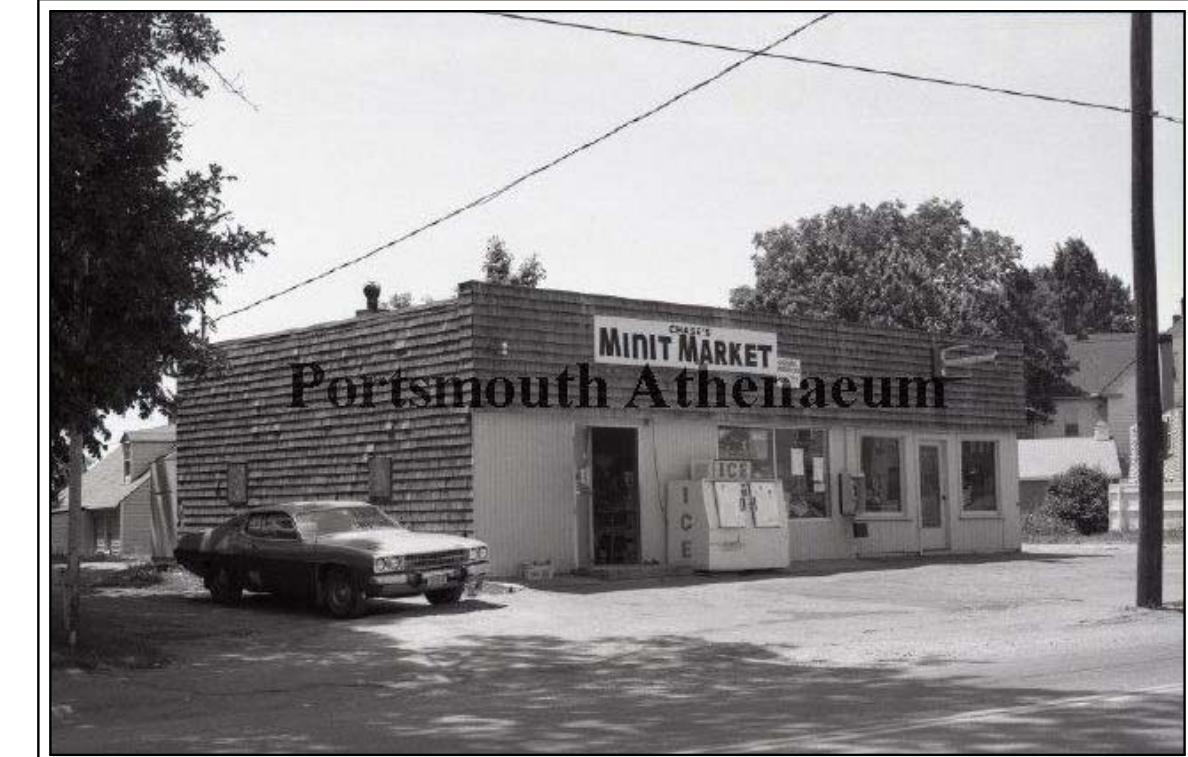
BUILDING HISTORY:

- BUILT IN 1940, ORIGINALLY A MODERN STYLE COMMERCIAL BUILDING OCCUPIED BY CHASE'S MINIT MARKET
- THE STRUCTURE IS A ONE STORY, RECTANGULAR BUILDING WITH REAR ELL
- WHEN RENOVATED, THE ROOF CHANGED FROM A FLAT ROOF TO A GABLE/HIP ROOF
- STRUCTURE IS NOW AN OFFICE BUILDING
- REMOVE REAR SHED ADDITION

GENERAL PROJECT DESCRIPTION:

- EXISTING BUILDING TO REMAIN
- EXISTING REAR SHED DORMER ADDITION TO BE REMOVED
- 1,000 SF OFFICE ADDITION ON REAR OF BUILDING

SHEET LIST - HDC	
Sheet Number	Sheet Name
A0	COVER
C1	EXISTING CONDITIONS PLAN
A1	SITE PLAN
A2	EXISTING IMAGES
A3	PROPOSED PLANS
A4	PROPOSED ELEVATIONS
A5	PROPOSED ELEVATIONS
A6	WINDOW SCHEDULE/MATERIALS



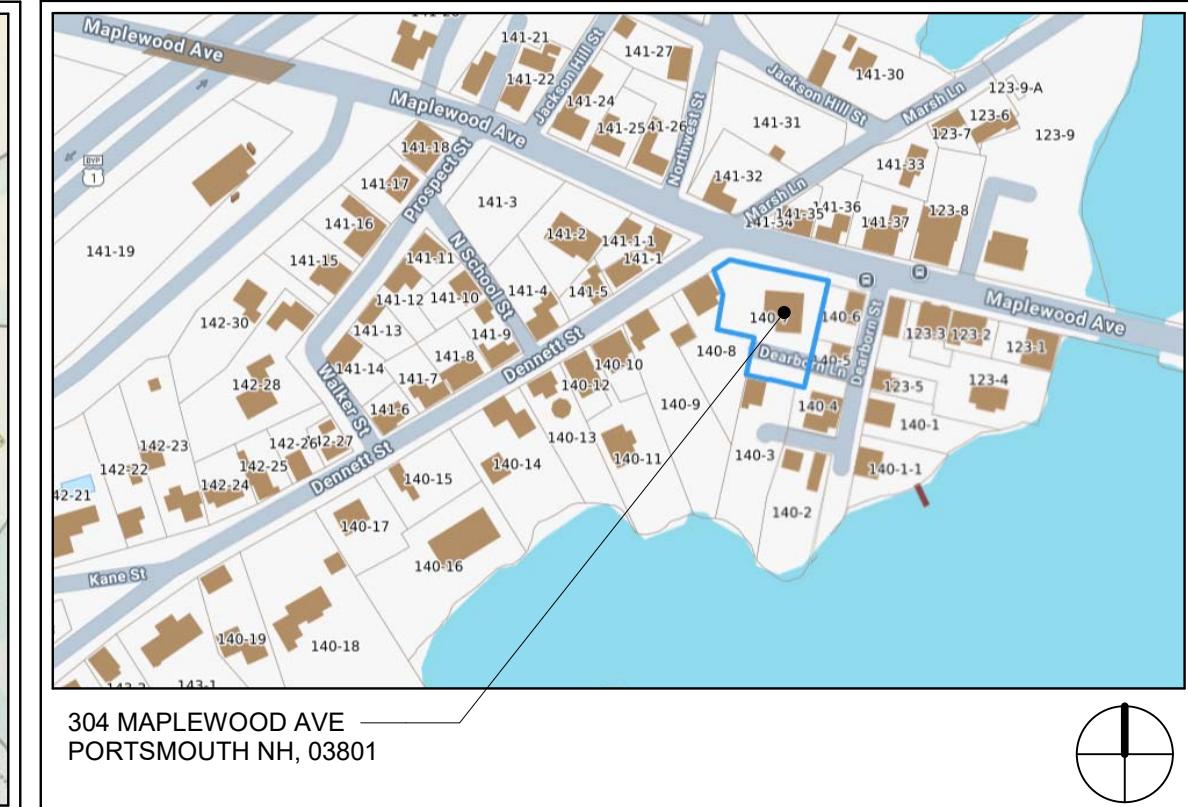
VIEW OF CHASE'S MINIT MARKET, 304 MAPLEWOOD AVE. IMAGE DATE: AUGUST 6, 1982
PHOTOGRAPHER: WOODARD DORR OPENO, COURTESY OF PORTSMOUTH ATHENAEUM



EXISTING PERSPECTIVE FROM MAPLEWOOD AVE LOOKING AT 304 MAPLEWOOD



ZONING PLAN FROM THE SANBORN FIRE INSURANCE MAPS IN 1956, PROVIDED BY THE PORTSMOUTH ATHENAEUM.



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OFFICE ADDITION
304 MAPLEWOOD AVE
PORTSMOUTH, NH 03801

COVER
HISTORIC DISTRICT COMMISSION- PUBLIC HEARING,
FEBRUARY 2026

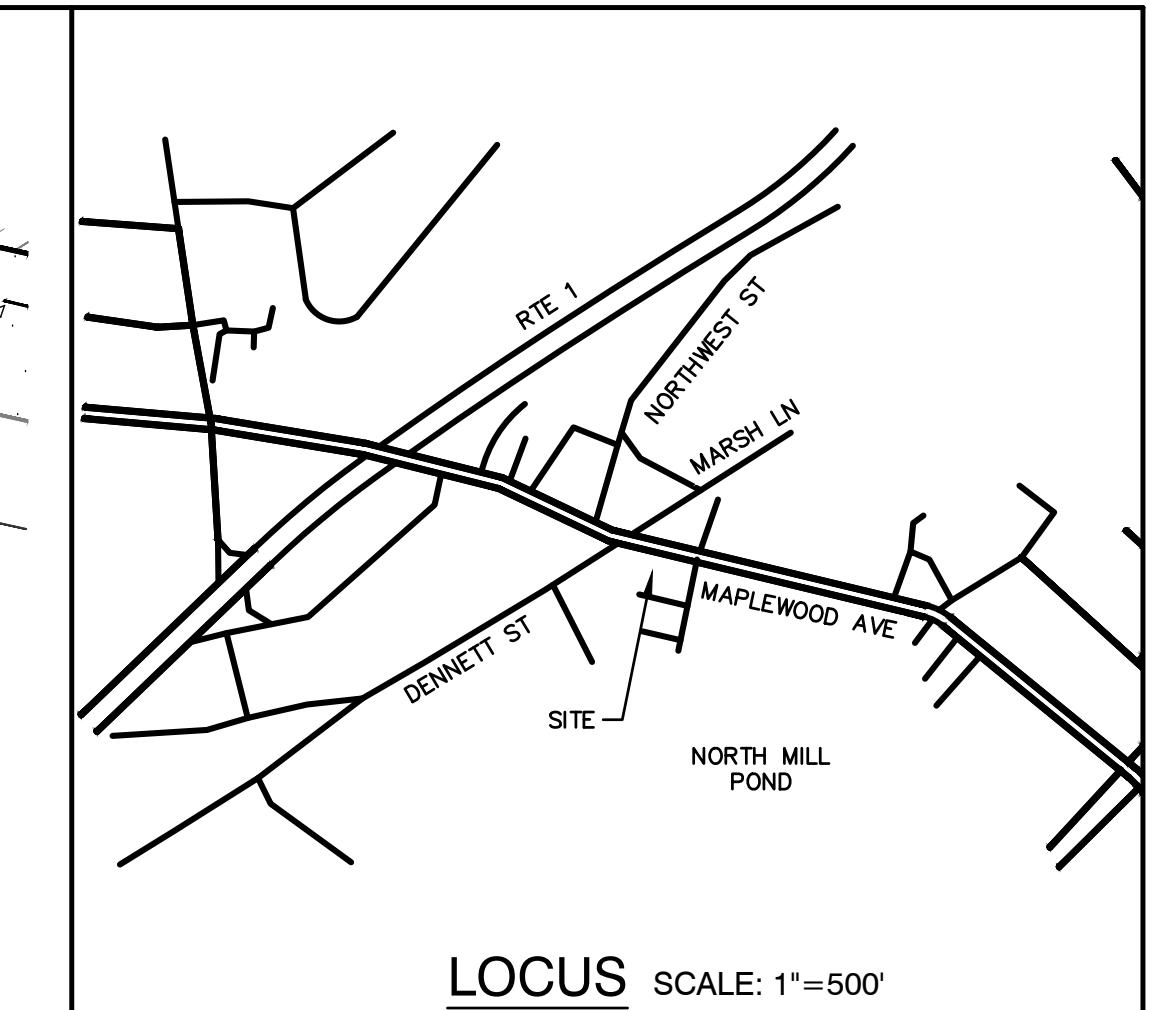
4 Market Street
Portsmouth, New Hampshire
603.430.0274
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AO

01/16/2026
PA: MM / MG
Project Number: 25081
NOT TO SCALE

PROJECT PARCEL TOWN OF PORTSMOUTH TAX MAP 140, LOT 7
APPLICANT/OWNER 304 MAPLEWOOD LLC 304 MAPLEWOOD AVE PORTSMOUTH, NH 03801 BK 4849, PG 2483
TOTAL LOT AREA 14,396 SQ. FT. 0.33 ACRES

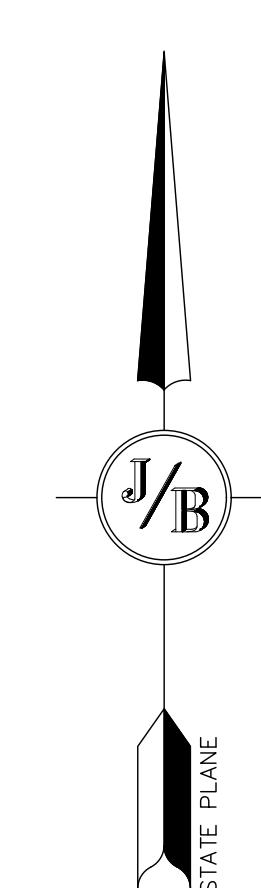


NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING SITE FEATURES OF TAX MAP 140 LOT 7.
- THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE, AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD ZONE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP NO. S301SC0259F, WITH EFFECTIVE DATE OF JANUARY, 29, 2021.
- BASIS OF BEARING: HORIZONTAL - NH STATE PLANE. VERTICAL - NAVD88.
- CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
- ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS ARE BASED ON THE TOWN OF PORTSMOUTH. TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED AT THE TOWN OF PORTSMOUTH ASSESSOR'S OFFICE AND THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS OWNED. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED, OR DESCRIPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- NO WETLANDS WERE OBSERVED ON THE SUBJECT PREMISES.
- SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.

PLAN REFERENCES:

- "LOT LINE RELOCATION PLAN FOR JOHN J. & CATHERINE PAUSON AND HAROLD C. & ASTRID LOUISE PASSER, 12-28 DENNETT STREET, PORTSMOUTH, NH." DATED NOVEMBER 30, 1983. PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES. R.C.R.D. 12123.
- "PLAN OF LAND PREPARED FOR MICHAEL BRANDZEL & HELEN LONG, TAX MAP 140 LOT 3, 39 DEARBORN STREET, PORTSMOUTH, NH." DATED OCTOBER 1, 2012. PREPARED BY BOUDREAU LAND SURVEYING. R.C.R.D. 37444.
- "NO-BUILT EASEMENT PLAN, LAND OF SHAWN & MICHIOY BARDONG, TAX MAP 140 LOT 3, 39 DEARBORN STREET, PORTSMOUTH, NH." DATED JUNE 27, 2023. PREPARED BY BOUDREAU LAND SURVEYING. R.C.R.D. 44486.
- "SITE PLAN, MEDICAL MARKET, 304 MAPLEWOOD AVE, PORTSMOUTH, NH." DATED OCTOBER 28, 1988. PREPARED BY INTERFACE DESIGNS, NOT RECORDED. ON FILE AT THE CITY OF PORTSMOUTH PLANNING DEPARTMENT. THIS PLAN NOTES THAT IT IS BASED UPON A PLAN BUT MOLTON ENGINEERING, WHICH WAS NOT FOUND BY THIS OFFICE.
- "PLAN OF LOT, NO. 304 MAPLEWOOD AVE., PORTSMOUTH, N.H." DATED JUNE 1960. PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS. NOT RECORDED. ON FILE AT THE CITY OF PORTSMOUTH PLANNING DEPARTMENT.



Design: XXX Draft: KDR Date: 01/14/26
Checked: JAC Scale: AS SHOWN Project No.: 23169
Drawing Name: 23169-PLAN.dwg
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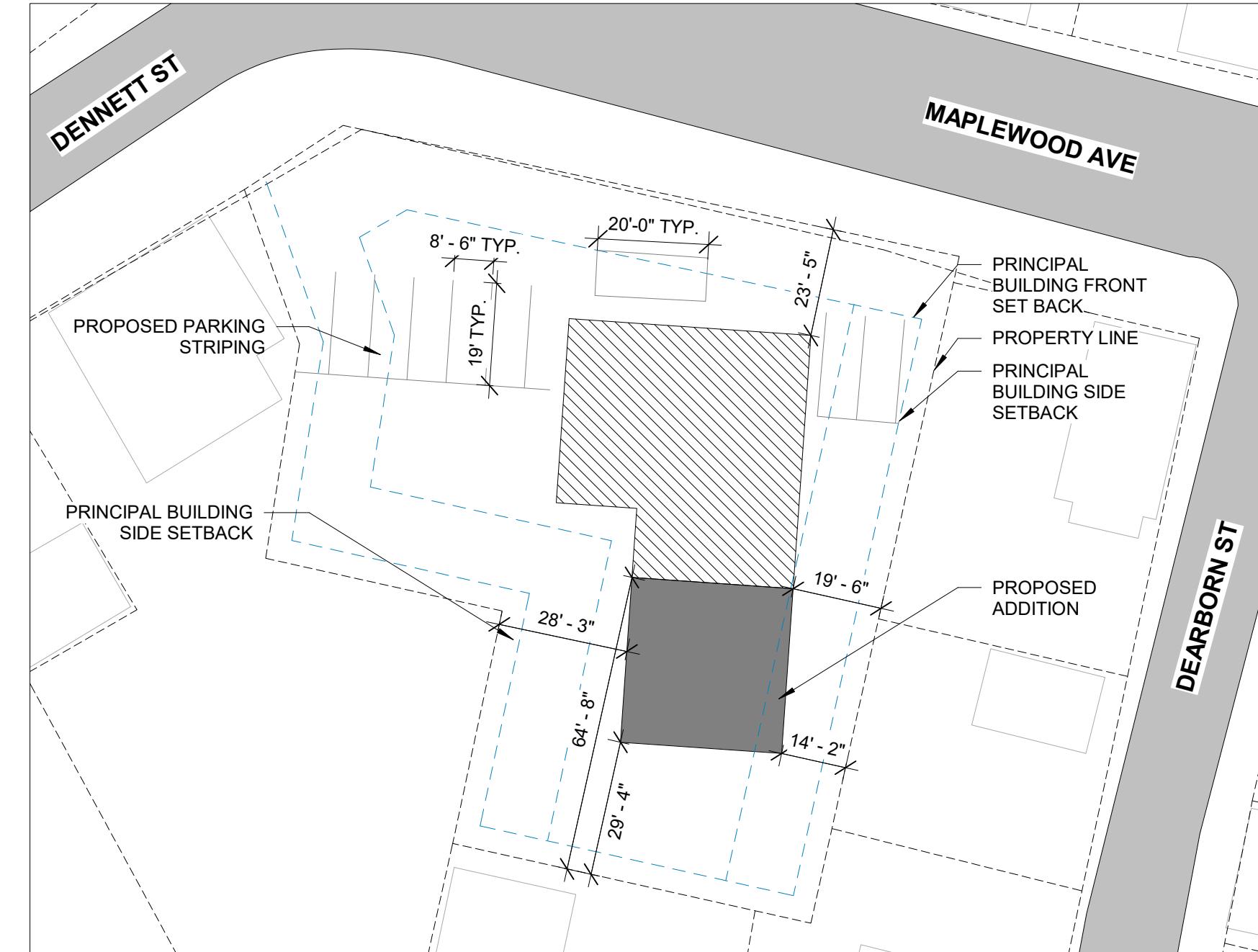
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REV.	DATE	REVISION
		BY

Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
Civil Engineering Services 603-772-4746
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: EXISTING CONDITIONS PLAN
Project: 304 MAPLEWOOD AVE, PORTSMOUTH, NH
Owner of Record: 304 MAPLEWOOD LLC
304 MAPLEWOOD AVE, PORTSMOUTH, NH 03801

DRAWING No. C1
SHEET 1 OF 2
JBE PROJECT NO. 23169

ZONING SUMMARY	
ZONE	CHARACTER DISTRICT (CD4-L2)
MINIMUM LOT AREA	3,000 SF
MAXIMUM FRONT YARD SETBACK	15'
SIDE YARD SETBACK	5' MIN; 20' MAX
MINIMUM REAR YARD SETBACK	5' FROM REAR LOT LINE; 10' FROM CENTER LINE OF ALLEY
MAXIMUM BUILDING HEIGHT	60' (2-5 STORIES)
MAXIMUM BUILDING COVERAGE	60% OF LOT
MAXIMUM BUILDING FOOTPRINT	2,500 S.F.
MINIMUM OPEN SPACE	25% OF LOT



1 ARCHITECTURAL SITE PLAN
1" = 30'-0"

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OFFICE ADDITION
304 MAPLEWOOD AVE
PORTSMOUTH, NH 03801

SITE PLAN
HISTORIC DISTRICT COMMISSION- PUBLIC HEARING,
FEBRUARY 2026

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A1

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PERSPECTIVE FROM MAPLEWOOD AVE



PERSPECTIVE OF BACK OF BUILDING, REAR SHED ADDITION TO BE REMOVED



VIEW OF EXISTING UTILITIES AND SERVICES ON WEST SIDE OF BUILDING



PERSPECTIVE OF BACK SIDE OF BUILDING



PERSPECTIVE OF EAST SIDE OF BUILDING



PERSPECTIVE FROM BACK OF BUILDING, SHOWING THE YARD

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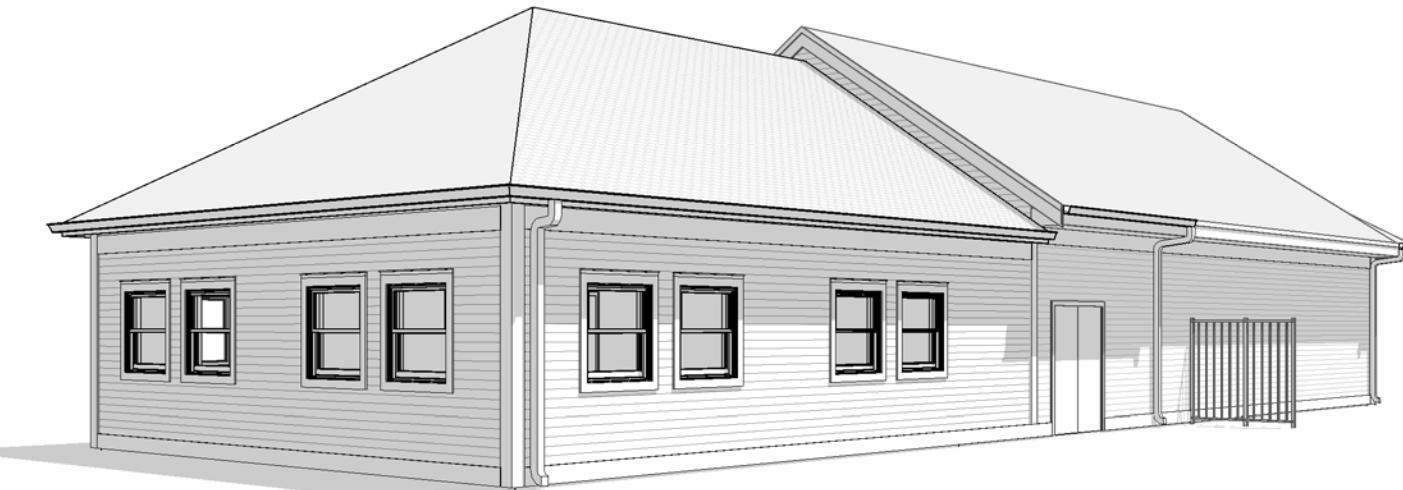
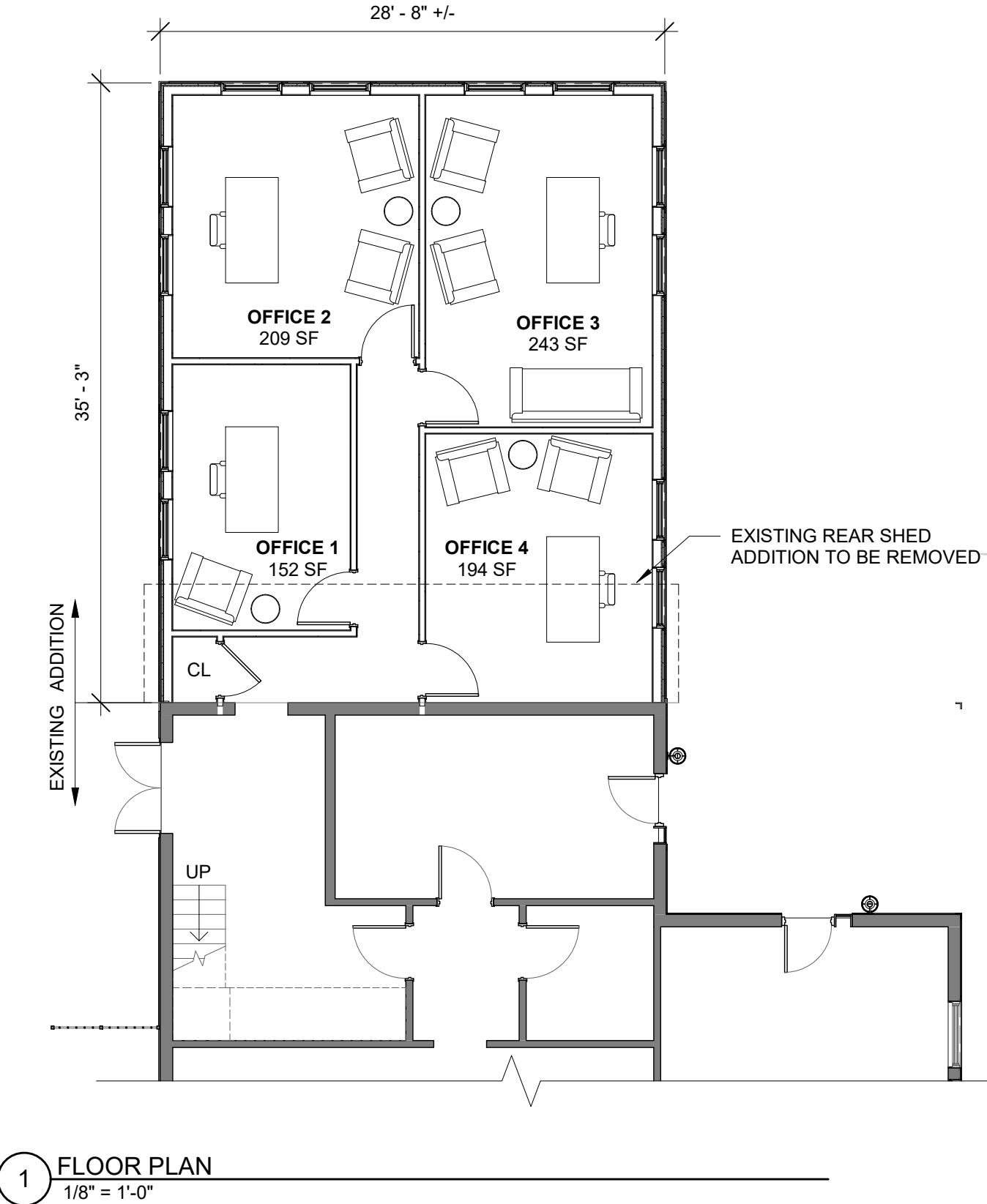
EXISTING IMAGES
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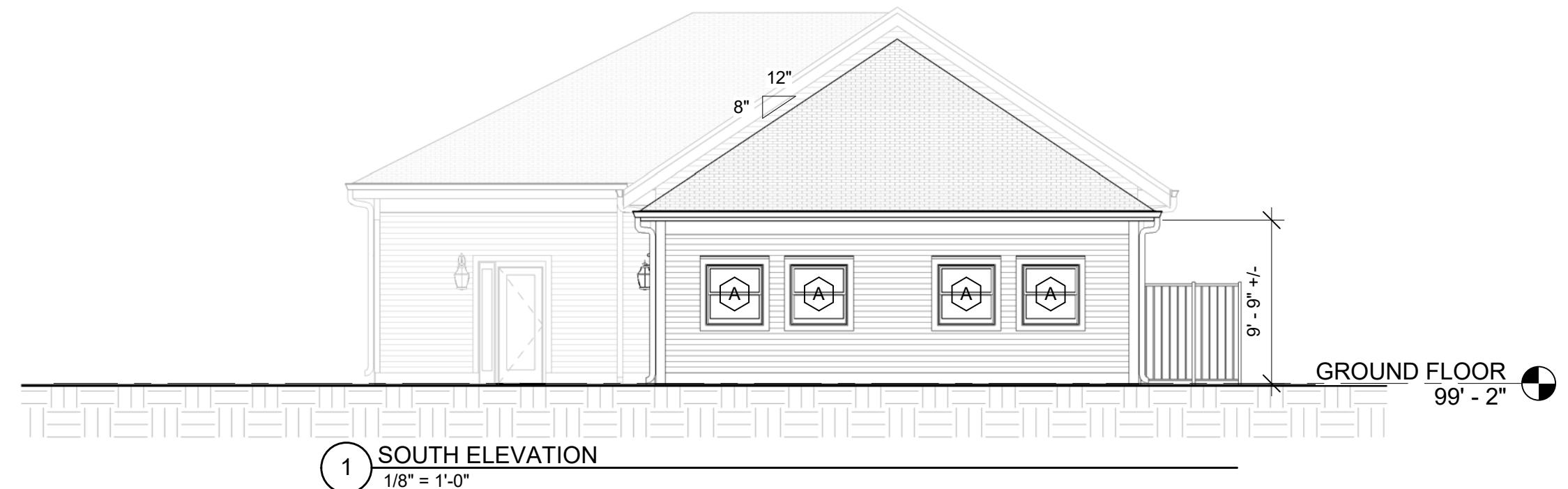
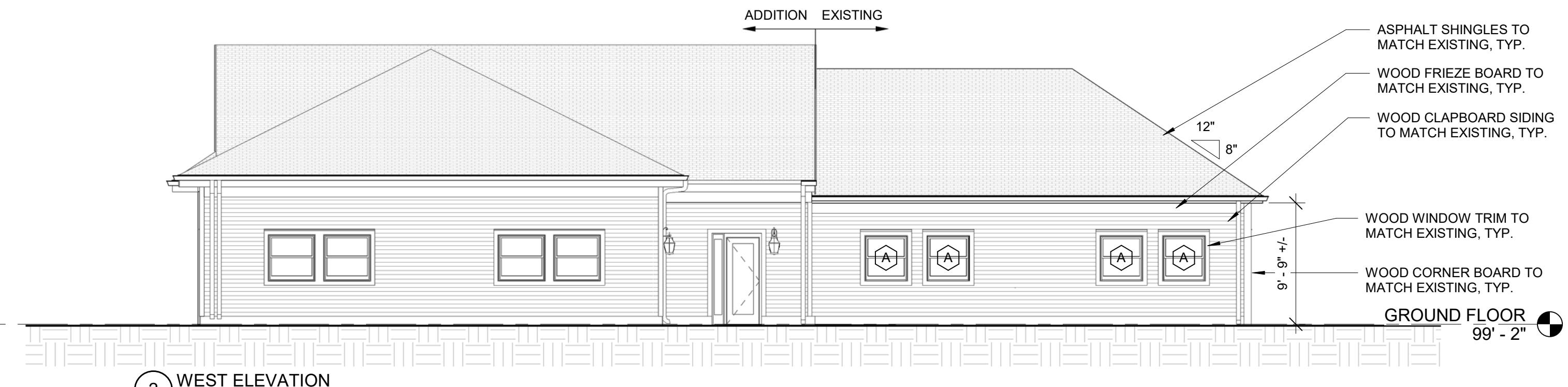
PROPOSED PLANS
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PROPOSED ELEVATIONS
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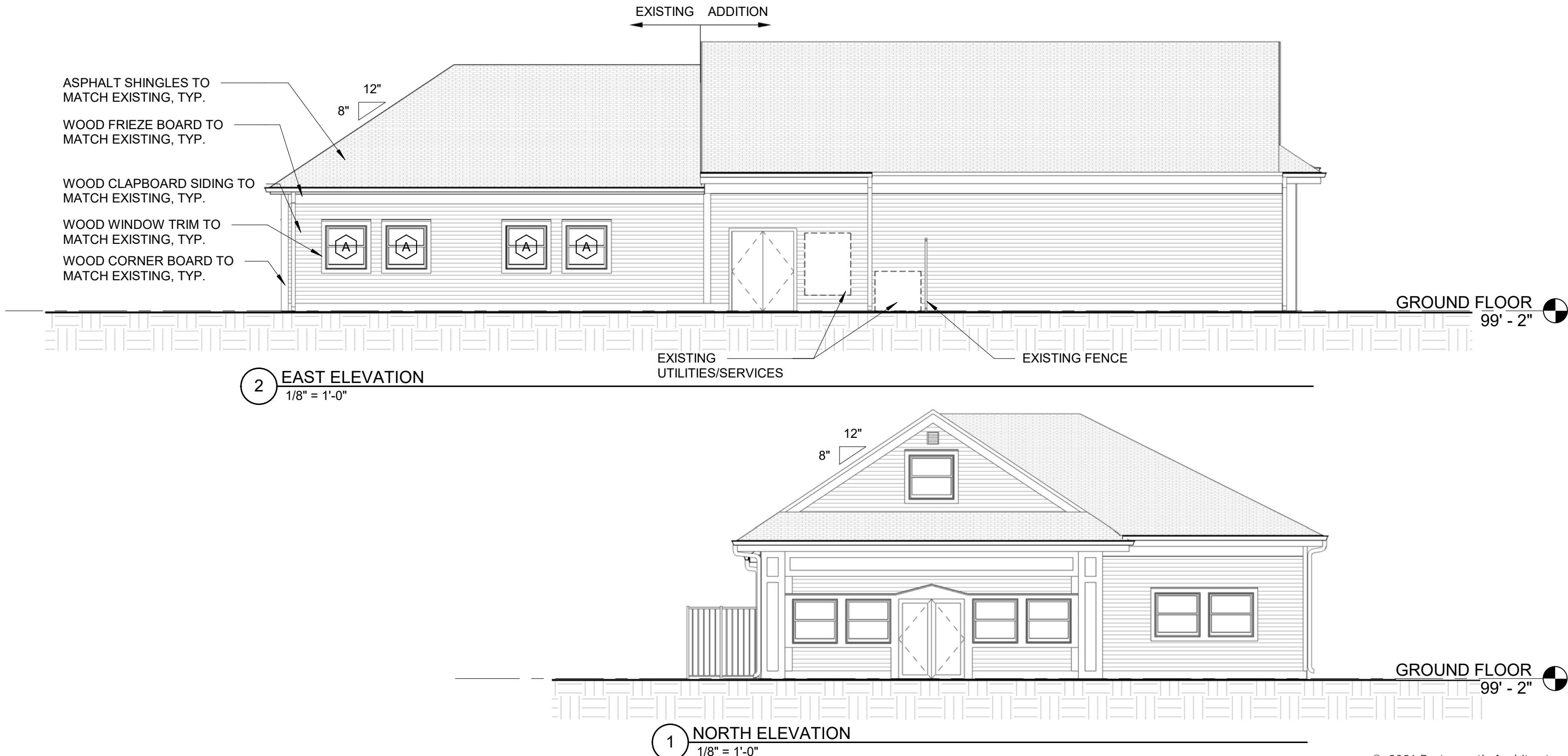
A4

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Project Number: 25081

Scale: 1/8" = 1'-0"



OFFICE ADDITION
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PROPOSED ELEVATIONS
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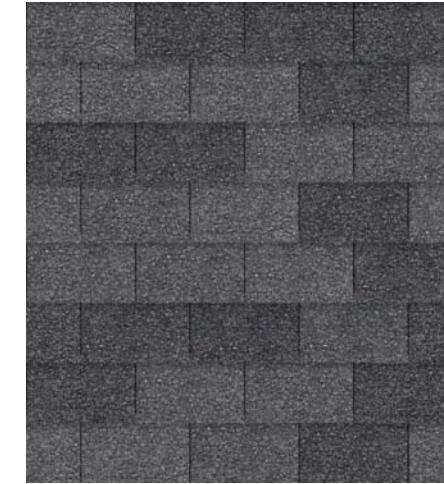


A5

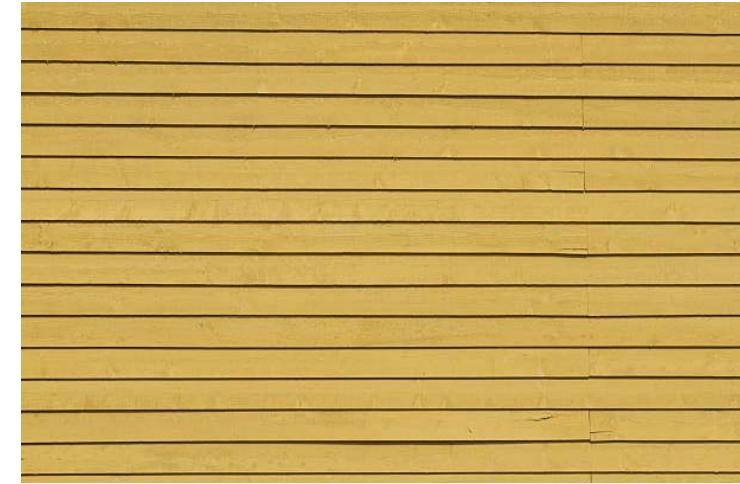
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WINDOW SCHEDULE

Type Mark	Manufacturer	Material / Cladding	Width	Height
A	Marvin Windows and Doors	Fiberglass	3' - 5 1/2"	3' - 7 3/4"



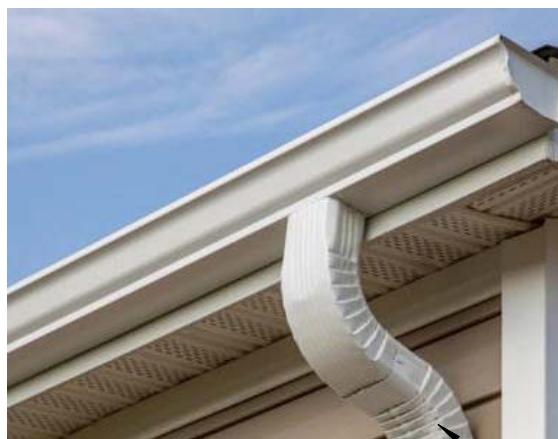
ASPHALT SHINGLES



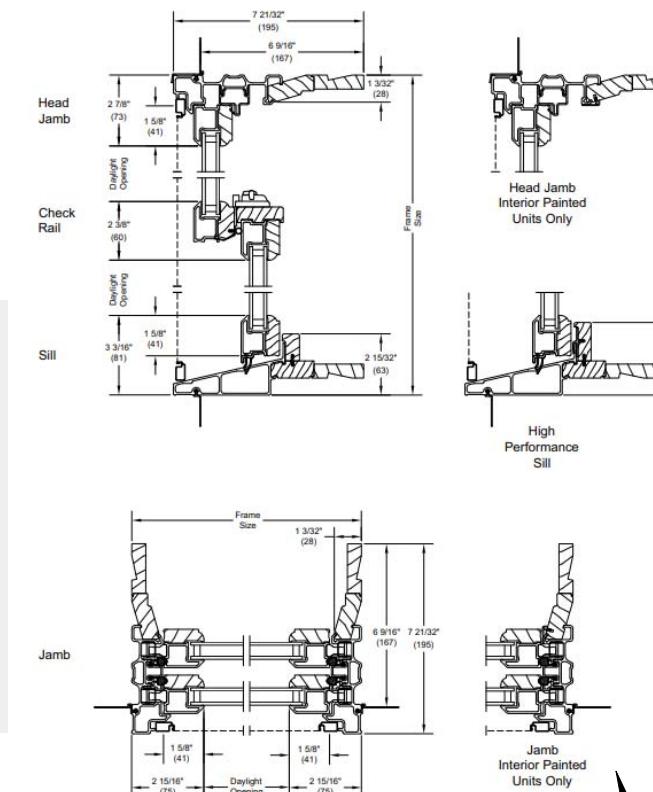
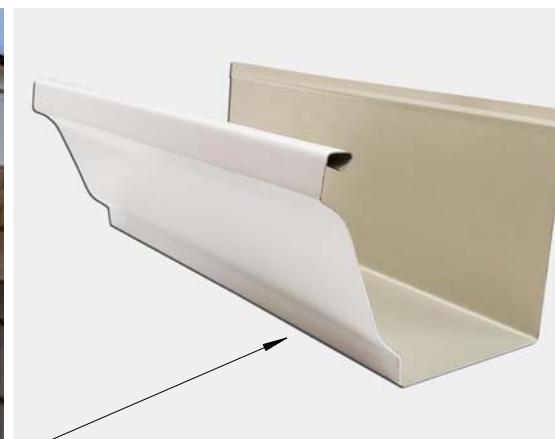
CLAPBOARD SIDING
4" EXPOSURE TO MATCH EXISTING

WINDOW TYPES

TYPE A:
FIBERGLASS CLAD
WOOD DOUBLE
HUNG WINDOW



**K-STYLE GUTTER AND
RECTANGULAR DOWNSPOUT TO
MATCH EXISTING**



WINDOWS
MARVIN ELEVATE DOUBLE HUNG G2



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WINDOW SCHEDULE/MATERIALS
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