

# **Historic District Commission**

## **Staff Report**

**Wednesday, February 04, 2026**

**Project Address:**     304 Maplewood Avenue

**Permit Requested:**   Work Session/Public Hearing

**Application:**           Work Session/ Public Hearing #1

**A.     Property Information - General:**

**Existing Conditions:**

- Zoning District: Character District 4-L2 (CD4-L2)
- Land Use: Commercial
- Land Area: 14,025 SF +/-
- Estimated Age of Structure: c.1940
- Building Style: Modern
- Number of Stories: 1
- Historical Significance: Non-Contributing/ Intrusive
- Public View of Proposed Work: Maplewood Avenue
- Neighborhood Association: North End

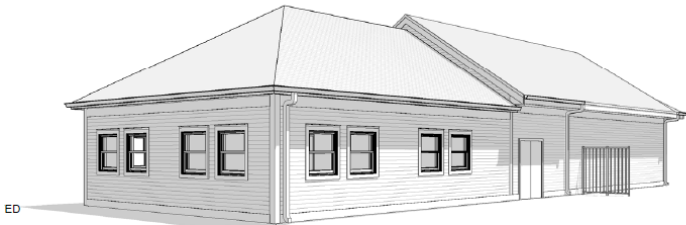


**B.     Proposed Work:**   Construct rear 1-story addition

**C.     Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Construct rear 1-story addition



2 3D VIEW - ADDITION

**HISTORIC  
SURVEY  
RATING  
NC/I**

**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



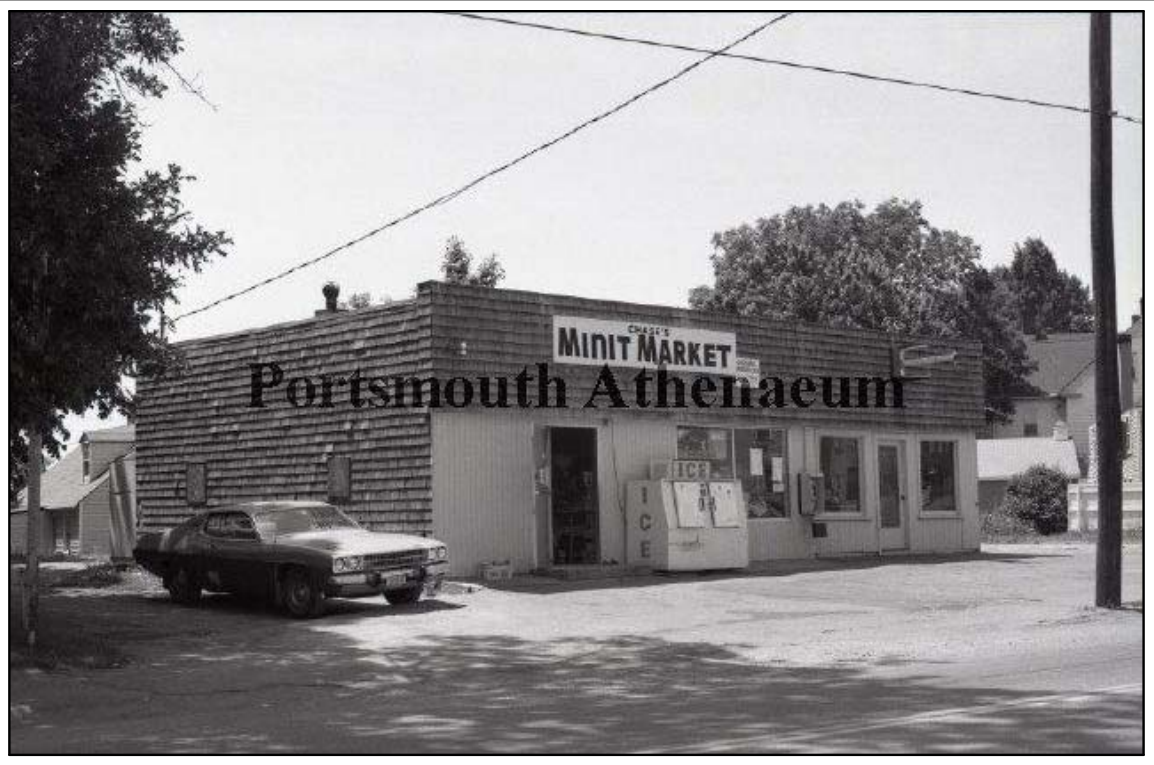
# 304 MAPLEWOOD AVENUE OFFICE ADDITION

HISTORIC DISTRICT COMMISSION PUBLIC HEARING, FEBRUARY 2026

- BUILDING HISTORY:
- BUILT IN 1940, ORIGINALLY A MODERN STYLE COMMERCIAL BUILDING OCCUPIED BY CHASE'S MINIT MARKET
  - THE STRUCTURE IS A ONE STORY, RECTANGULAR BUILDING WITH REAR ELL
  - WHEN RENOVATED, THE ROOF CHANGED FROM A FLAT ROOF TO A GABLE/HIP ROOF
  - STRUCTURE IS NOW AN OFFICE BUILDING
  - REMOVE REAR SHED ADDITION

- GENERAL PROJECT DESCRIPTION:
- EXISTING BUILDING TO REMAIN
  - EXISTING REAR SHED DORMER ADDITION TO BE REMOVED
  - 1,000 SF OFFICE ADDITION ON REAR OF BUILDING

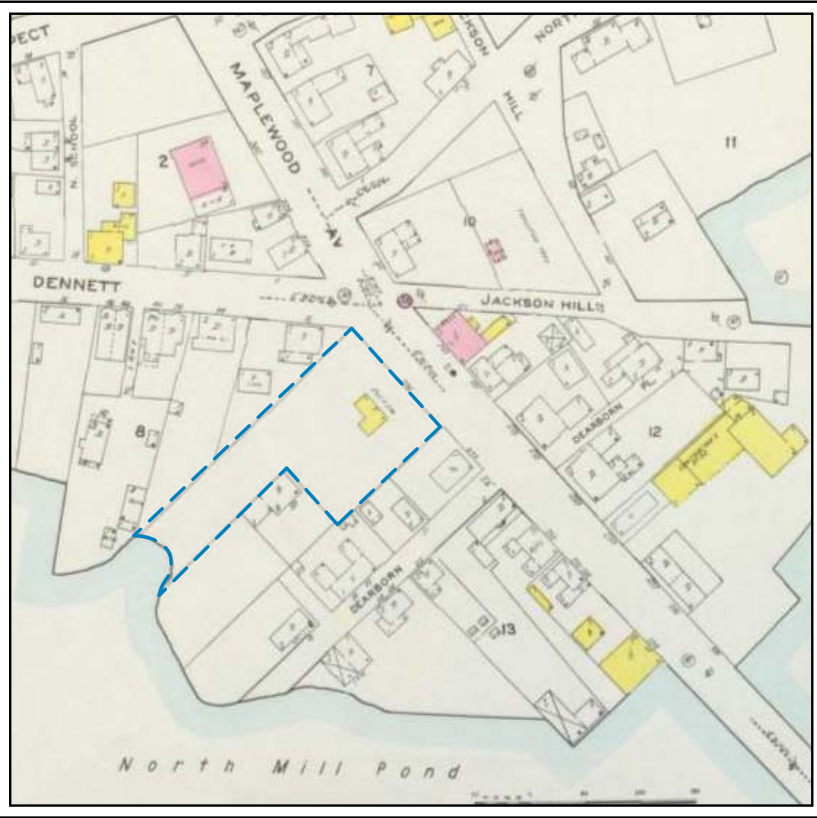
SHEET LIST - HDC	
Sheet Number	Sheet Name
A0	COVER
C1	EXISTING CONDITIONS PLAN
A1	SITE PLAN
A2	EXISTING IMAGES
A3	PROPOSED PLANS
A4	PROPOSED ELEVATIONS
A5	PROPOSED ELEVATIONS
A6	WINDOW SCHEDULE/MATERIALS



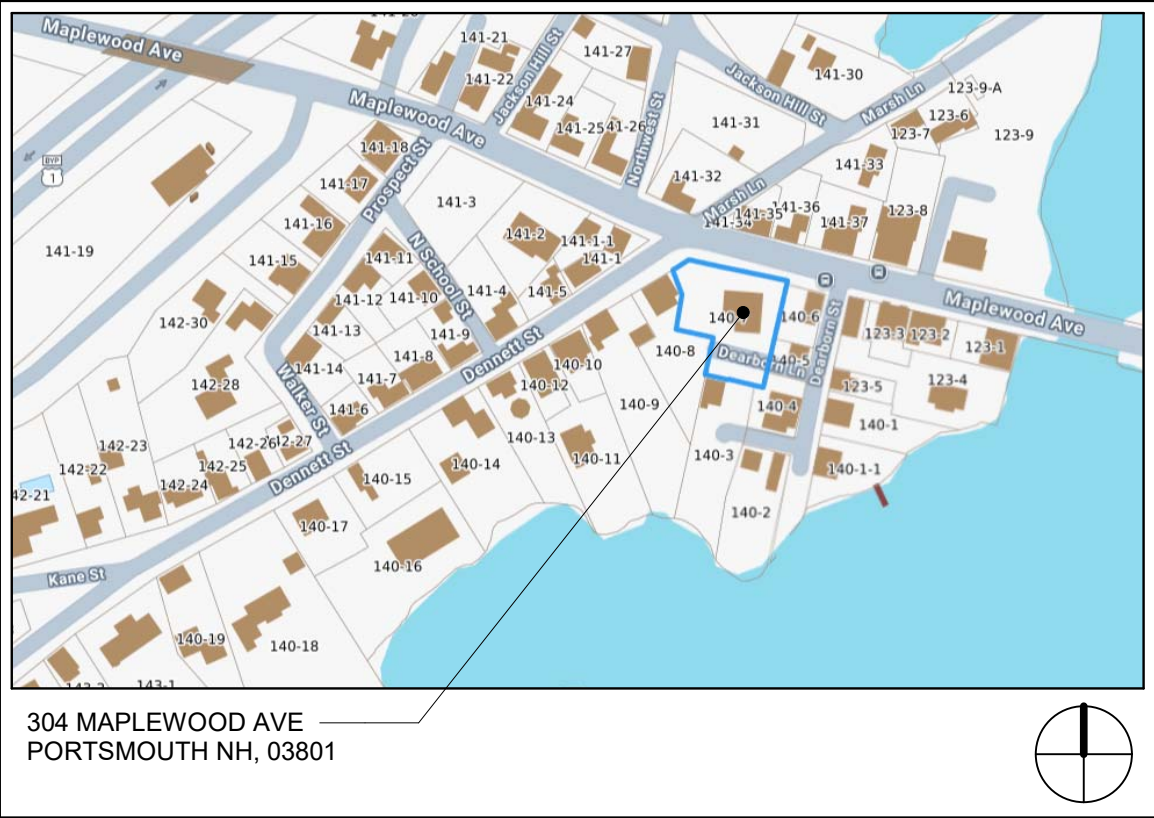
VIEW OF CHASE'S MINIT MARKET, 304 MAPLEWOOD AVE. IMAGE DATE: AUGUST 6, 1982  
PHOTOGRAPHER: WOODARD DORR OPENO, COURTESY OF PORTSMOUTH ATHENAEUM



EXISTING PERSPECTIVE FROM MAPLEWOOD AVE LOOKING AT 304 MAPLEWOOD



ZONING PLAN FROM THE SANDBORN FIRE INSURANCE MAPS IN 1956, PROVIDED BY THE PORTSMOUTH ATHENAEUM.



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## OFFICE ADDITION

304 MAPLEWOOD AVE  
PORTSMOUTH, NH 03801

## COVER

HISTORIC DISTRICT COMMISSION- PUBLIC HEARING,  
FEBRUARY 2026

4 Market Street  
Portsmouth, New Hampshire  
603.430.0274  
brought to you by  
McHENRY ARCHITECTURE

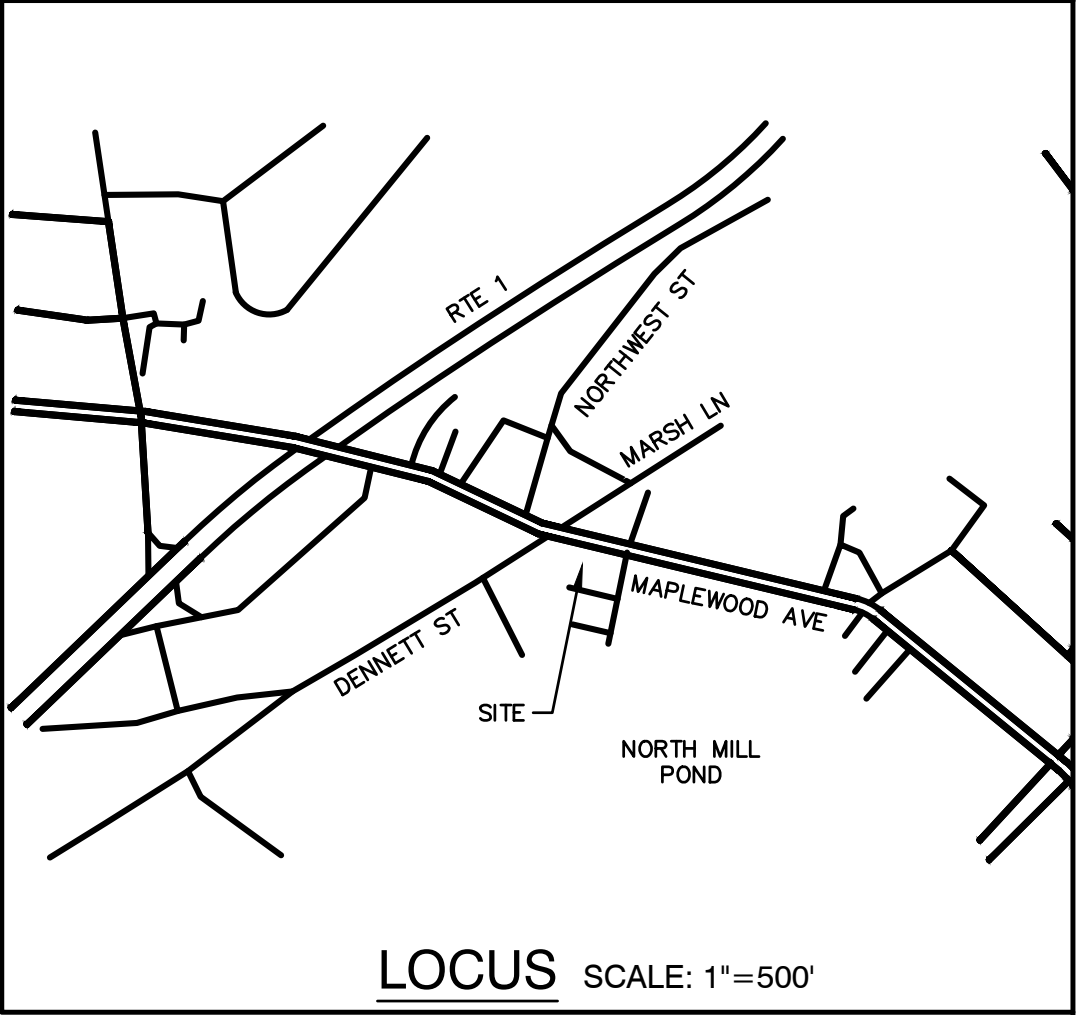


A0

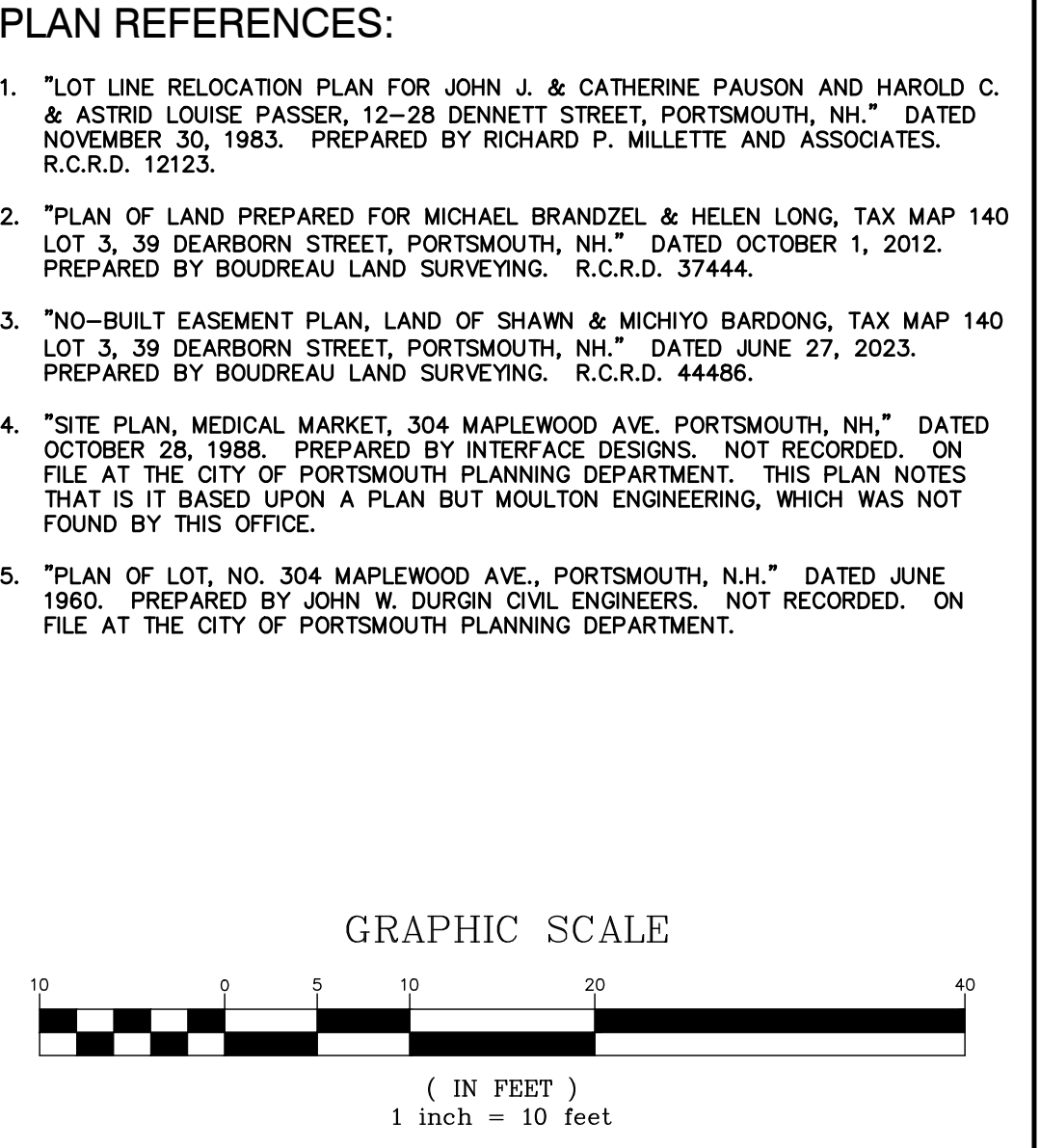
01/16/2026  
PA: MM / MG  
Project Number: 25081  
NOT TO SCALE



<b>PROJECT PARCEL</b> TOWN OF PORTSMOUTH TAX MAP 140, LOT 7
<b>APPLICANT/OWNER</b> 304 MAPLEWOOD LLC 304 MAPLEWOOD AVE PORTSMOUTH, NH 03801 BK 4849, PG 2483
<b>TOTAL LOT AREA</b> 14,396 SQ. FT. 0.33 ACRES



- NOTES:**
- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING SITE FEATURES OF TAX MAP 140 LOT 7.
  - THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
  - THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD ZONE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 33015C0259F, WITH EFFECTIVE DATE OF JANUARY, 29, 2021.
  - BASIS OF BEARING: HORIZONTAL - NH STATE PLANE. VERTICAL - NAVD88.
  - CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
  - ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
  - THE TAX MAP AND LOT NUMBERS ARE BASED ON THE TOWN OF PORTSMOUTH. TAX RECORDS AND ARE SUBJECT TO CHANGE.
  - RESEARCH WAS PERFORMED AT THE TOWN OF PORTSMOUTH ASSESSOR'S OFFICE AND THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
  - THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
  - ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL. TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
  - NO WETLANDS WERE OBSERVED ON THE SUBJECT PREMISES.
  - SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.



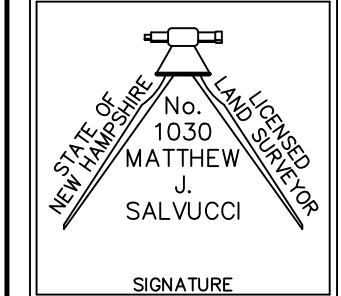
**CERTIFICATION:**

PURSUANT TO RSA 676:18-III AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEED BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.



**MATTHEW J. SALVUCCI, LLS 1030**      **DATE:** \_\_\_\_\_  
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

Design: XXX	Draft: KDR	Date: 01/14/26
Checked: JAC	Scale: AS SHOWN	Project No.: 23169
Drawing Name: 23169-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		

0	1/14/26	ISSUED FOR REVIEW	KDR
REV.	DATE	REVISION	BY

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave.      Civil Engineering Services      603-772-4746  
PO Box 219  
Stratham, NH 03885      E-MAIL: JBE@JONESANDBEACH.COM

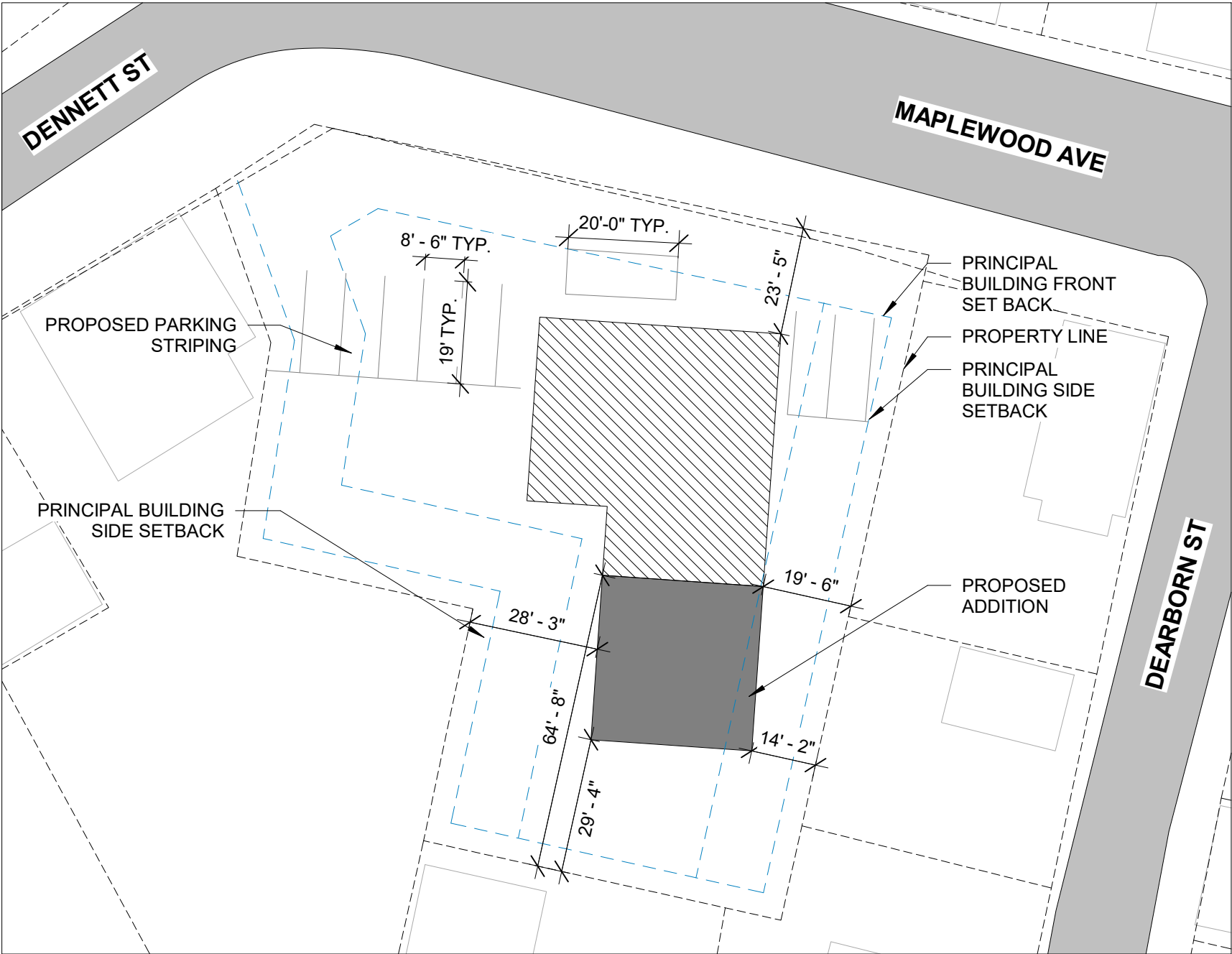
Plan Name:	<b>EXISTING CONDITIONS PLAN</b>
Project:	<b>304 MAPLEWOOD AVE, PORTSMOUTH, NH</b>
Owner of Record:	<b>304 MAPLEWOOD LLC 304 MAPLEWOOD AVE, PORTSMOUTH, NH 03801</b>

DRAWING No.

**C1**

SHEET 1 OF 2  
JBE PROJECT NO. 23169

ZONING SUMMARY	
ZONE	CHARACTER DISTRICT (CD4-L2)
MINIMUM LOT AREA	3,000 SF
MAXIMUM FRONT YARD SETBACK	15'
SIDE YARD SETBACK	5' MIN; 20' MAX
MINIMUM REAR YARD SETBACK	5' FROM REAR LOT LINE; 10' FROM CENTER LINE OF ALLEY
MAXIMUM BUILDING HEIGHT	60' (2-5 STORIES)
MAXIMUM BUILDING COVERAGE	60% OF LOT
MAXIMUM BUILDING FOOTPRINT	2,500 S.F.
MINIMUM OPEN SPACE	25% OF LOT



1 ARCHITECTURAL SITE PLAN  
1" = 30'-0"

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OFFICE ADDITION

304 MAPLEWOOD AVE  
PORTSMOUTH, NH 03801

SITE PLAN

HISTORIC DISTRICT COMMISSION- PUBLIC HEARING,  
FEBRUARY 2026

4 Market Street  
Portsmouth, New Hampshire  
603.430.0274  
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A1

01/16/2026  
PA: MM / MG  
Project Number: 25081  
AS INDICATED





PERSPECTIVE FROM MAPLEWOOD AVE



PERSPECTIVE OF BACK OF BUILDING, REAR SHED ADDITION TO BE REMOVED



VIEW OF EXISTING UTILITIES AND SERVICES ON WEST SIDE OF BUILDING



PERSPECTIVE OF BACK SIDE OF BUILDING



PERSPECTIVE OF EAST SIDE OF BUILDING



PERSPECTIVE FROM BACK OF BUILDING, SHOWING THE YARD

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# OFFICE ADDITION

304 MAPLEWOOD AVE  
PORTSMOUTH, NH 03801

# EXISTING IMAGES

HISTORIC DISTRICT COMMISSION- PUBLIC HEARING,  
FEBRUARY 2026

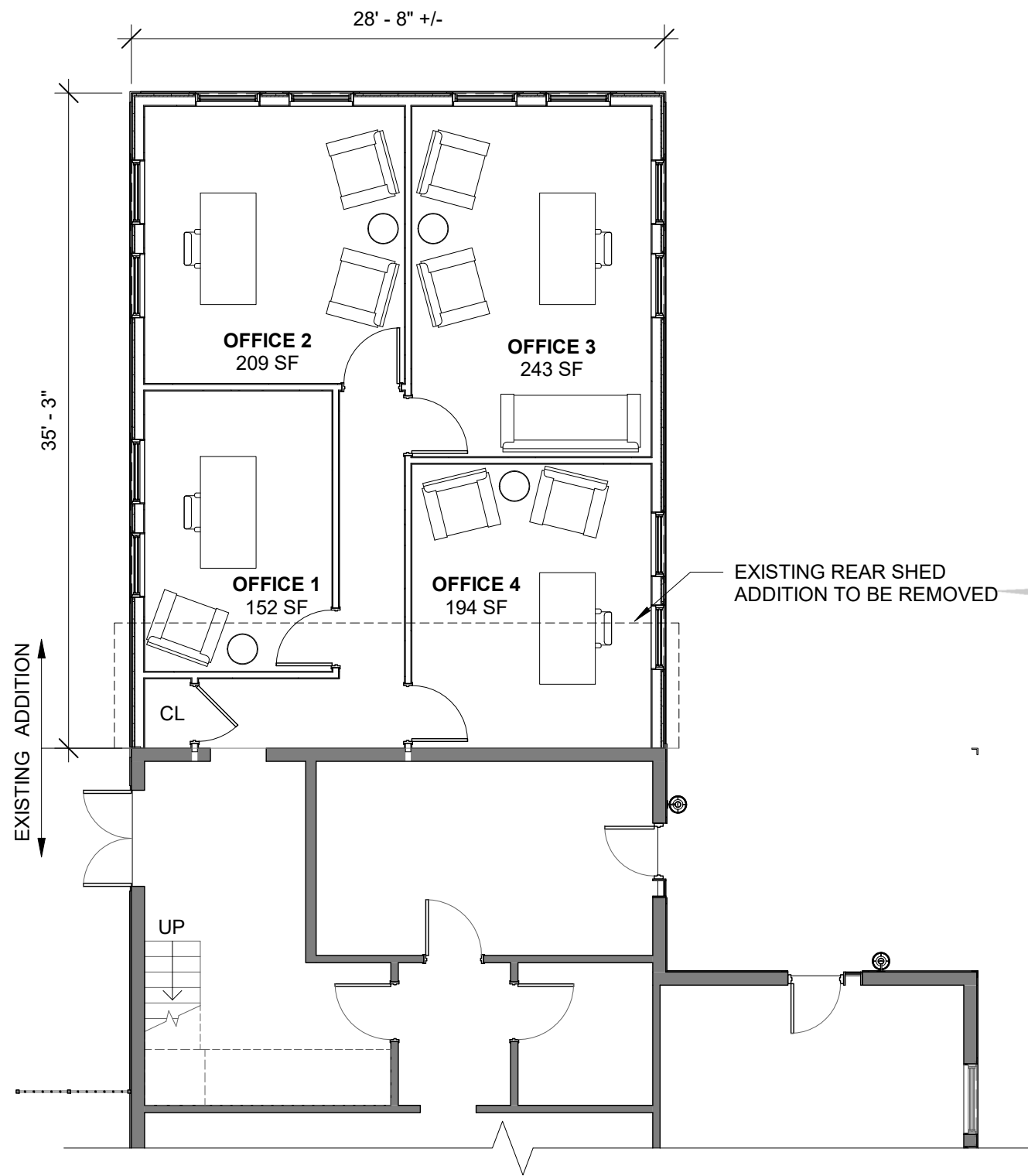
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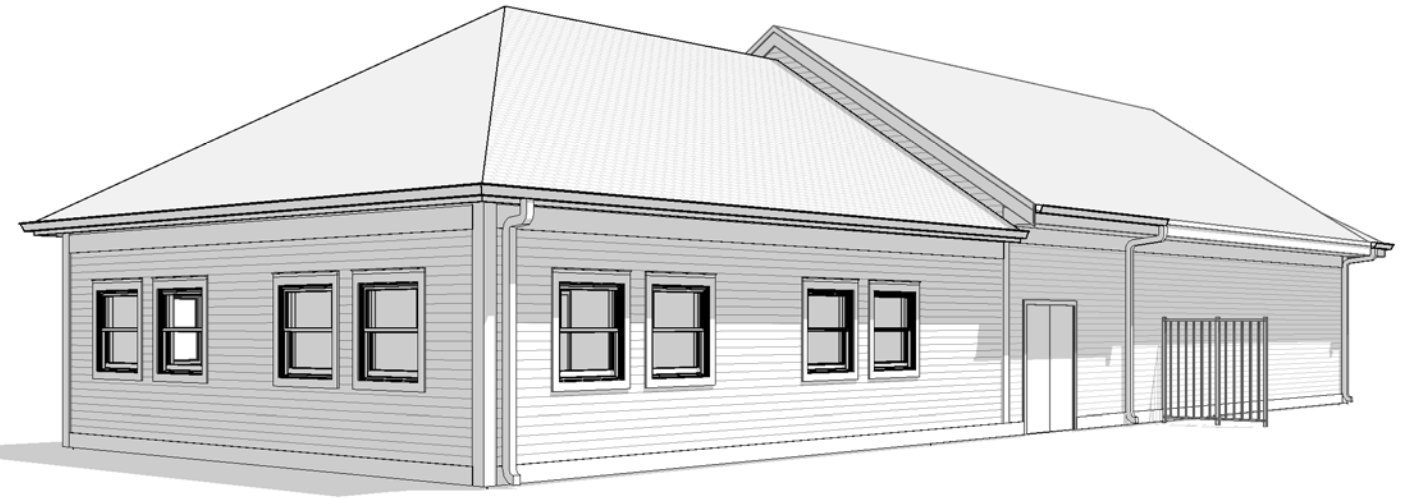
A2

01/16/2026  
PA: MM / MG  
Project Number: 25081  
NOT TO SCALE





2 3D VIEW - ADDITION



1 FLOOR PLAN  
1/8" = 1'-0"

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## OFFICE ADDITION

304 MAPLEWOOD AVE  
PORTSMOUTH, NH 03801

## PROPOSED PLANS

HISTORIC DISTRICT COMMISSION- PUBLIC HEARING,  
FEBRUARY 2026

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A3

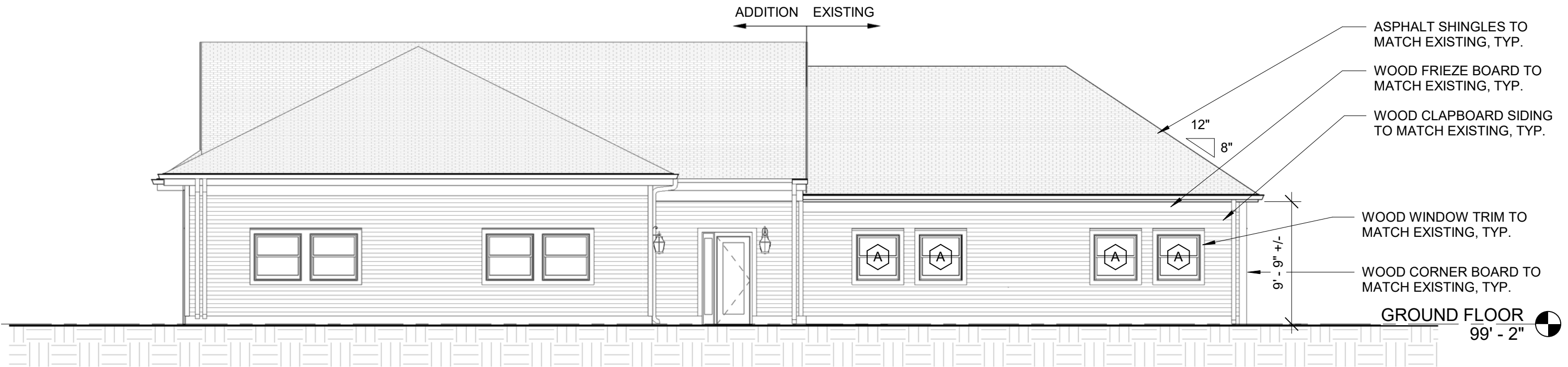
01/16/2026

PA: MM / MG

Project Number: 25081

AS INDICATED





2 WEST ELEVATION  
1/8" = 1'-0"



1 SOUTH ELEVATION  
1/8" = 1'-0"

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## OFFICE ADDITION

304 MAPLEWOOD AVE  
PORTSMOUTH, NH 03801

## PROPOSED ELEVATIONS

HISTORIC DISTRICT COMMISSION- PUBLIC HEARING,  
FEBRUARY 2026

4 Market Street  
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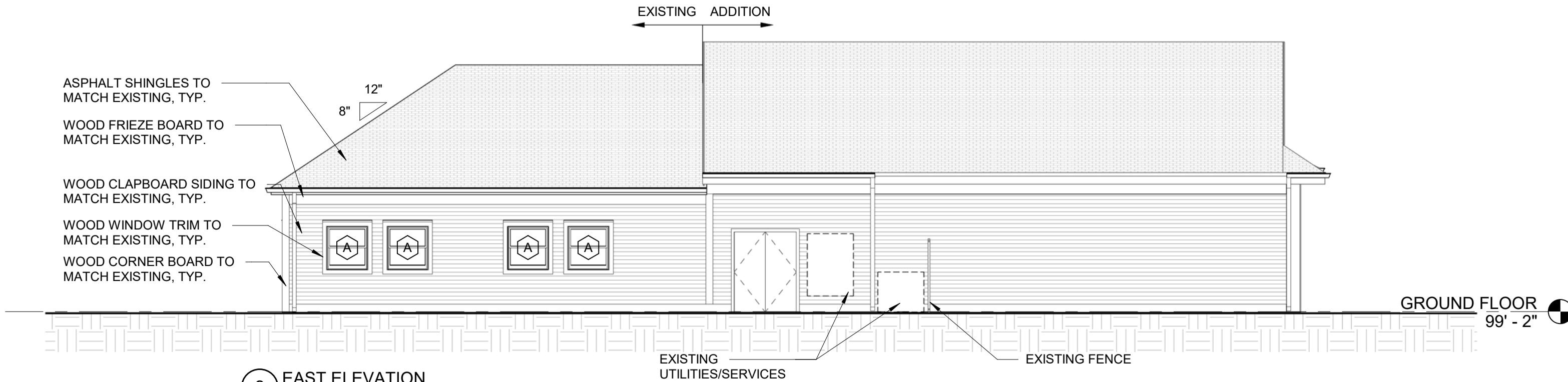
A4

01/16/2026

PA: MM / MG

Project Number: 25081

Scale: 1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"



1 NORTH ELEVATION  
1/8" = 1'-0"

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OFFICE ADDITION  
304 MAPLEWOOD AVE  
PORTSMOUTH, NH 03801

PROPOSED ELEVATIONS  
HISTORIC DISTRICT COMMISSION- PUBLIC HEARING,  
FEBRUARY 2026

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Portsmouth, New Hampshire  
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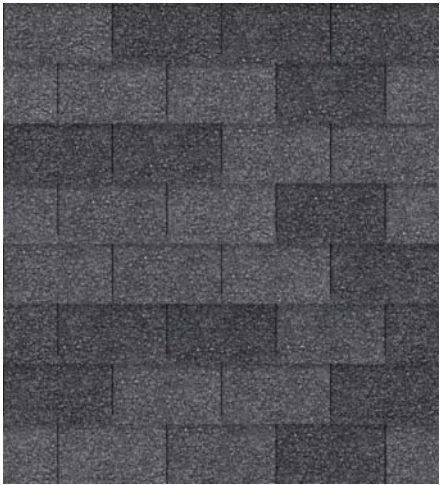


A5

01/16/2026
PA: MM / MG
Project Number: 25081
Scale: 1/8" = 1'-0"



WINDOW SCHEDULE				
Type Mark	Manufacturer	Material / Cladding	Width	Height
A	Marvin Windows and Doors	Fiberglass	3' - 5 1/2"	3' - 7 3/4"



ASPHALT SHINGLES



CLAPBOARD SIDING  
4" EXPOSURE TO MATCH EXISTING

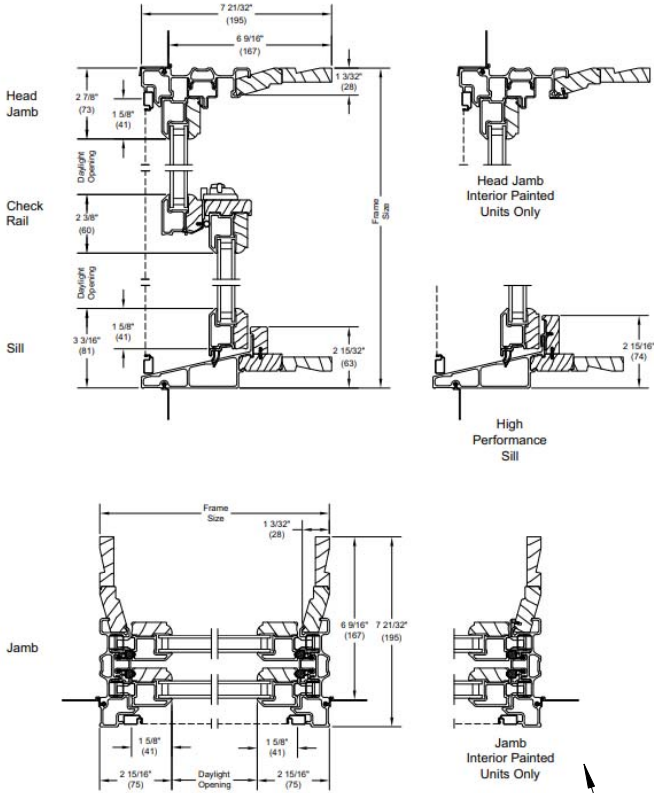
WINDOW TYPES

TYPE A:

FIBERGLASS CLAD  
WOOD DOUBLE  
HUNG WINDOW



K-STYLE GUTTER AND  
RECTANGULAR DOWNSPOUT TO  
MATCH EXISTING



WINDOWS  
MARVIN ELEVATE DOUBLE HUNG G2



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OFFICE ADDITION

304 MAPLEWOOD AVE  
PORTSMOUTH, NH 03801

WINDOW SCHEDULE/MATERIALS

HISTORIC DISTRICT COMMISSION- PUBLIC HEARING,  
FEBRUARY 2026

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Portsmouth, New Hampshire  
603.430.0274  
  
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McHENRY ARCHITECTURE



A6

01/16/2026

PA: MM / MG

Project Number: 25081

NOT TO SCALE

**Project Address:** 50 Whidden Street

**Permit Requested:** Work Session

**Application:** Work Session #1

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 3,8252 SF +/-
- Estimated Age of Structure: c.1857
- Building Style: Greek Revival
- Number of Stories: 2.5
- Historical Significance: Focal
- Public View of Proposed Work: Whidden Street
- Unique Features: N/A
- Neighborhood Association: The South End

**B. Proposed Work:** Construct a rear multi-story addition.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Construct rear multi-story addition.



**HISTORIC  
SURVEY  
RATING  
  
F**



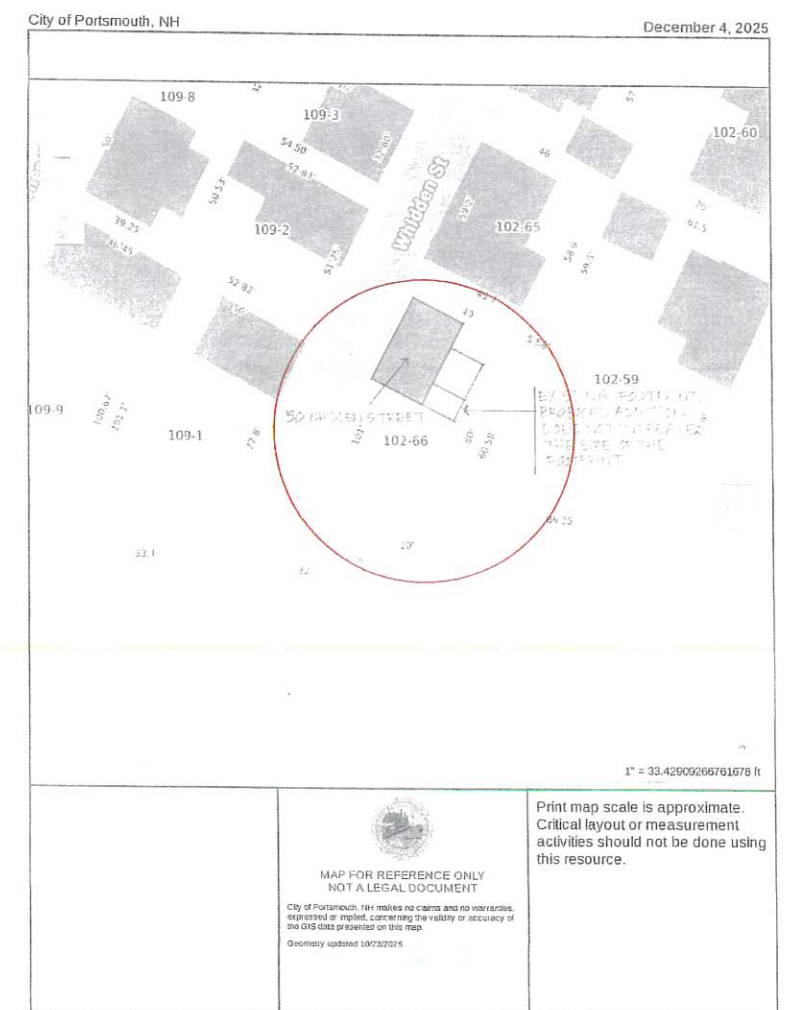
**D. Purpose and Intent:**

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## PROPOSED ADDITION AND RENOVATIONS

**Daniell House**

**50 Whidden Street**

**Portsmouth, NH**

**Scott Simons Architect**

**45 Lafayette Street**

**Portland, ME**

## Zoning Map

## Tax Map

## Table of Contents

**Cover Page: Zoning Map and Tax Map**

**Photos of Existing House (2 pages)**

**Existing Condition Floor Plans and Elevations (6 pages)**

**Concept Sketches: Floor Plans and Elevations (4 pages)**

**Detailed Drawings: Floor Plan and Elevations (4 pages)**





**South Elevation**

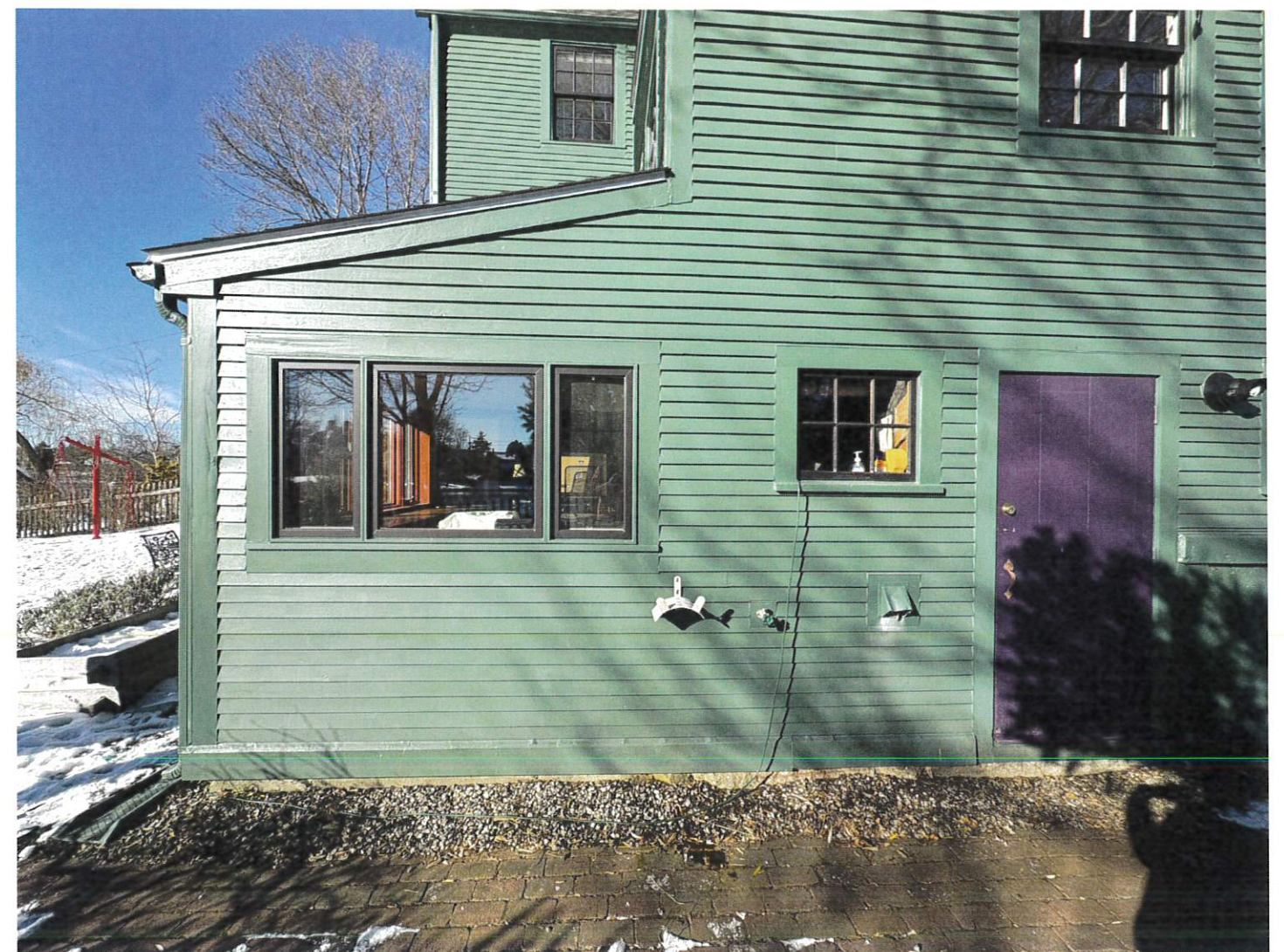


**South Elevation: close-up of existing one-story addition**

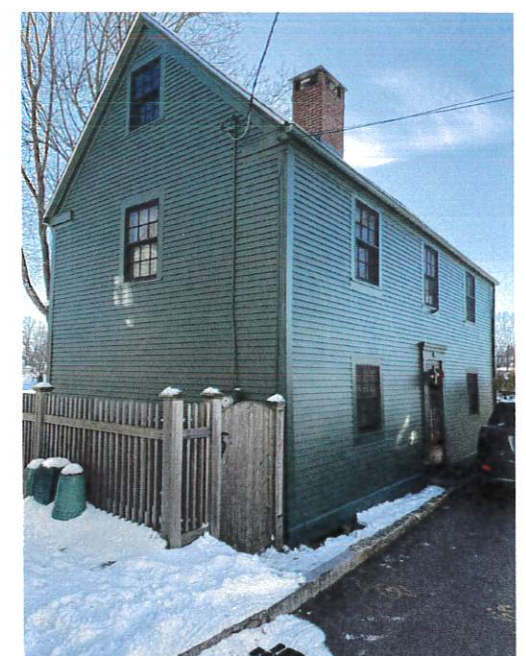
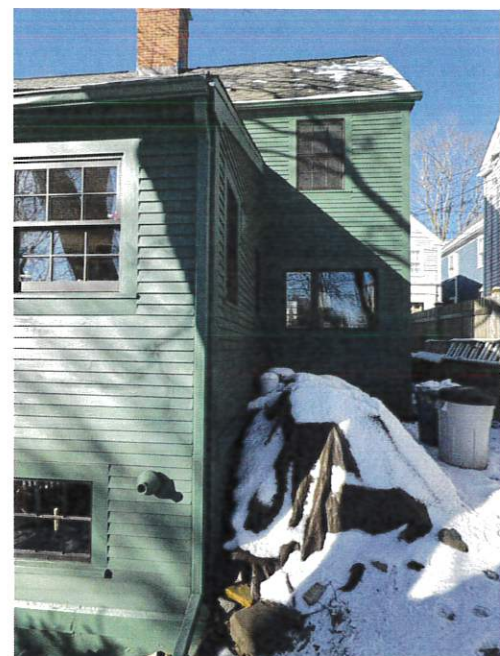




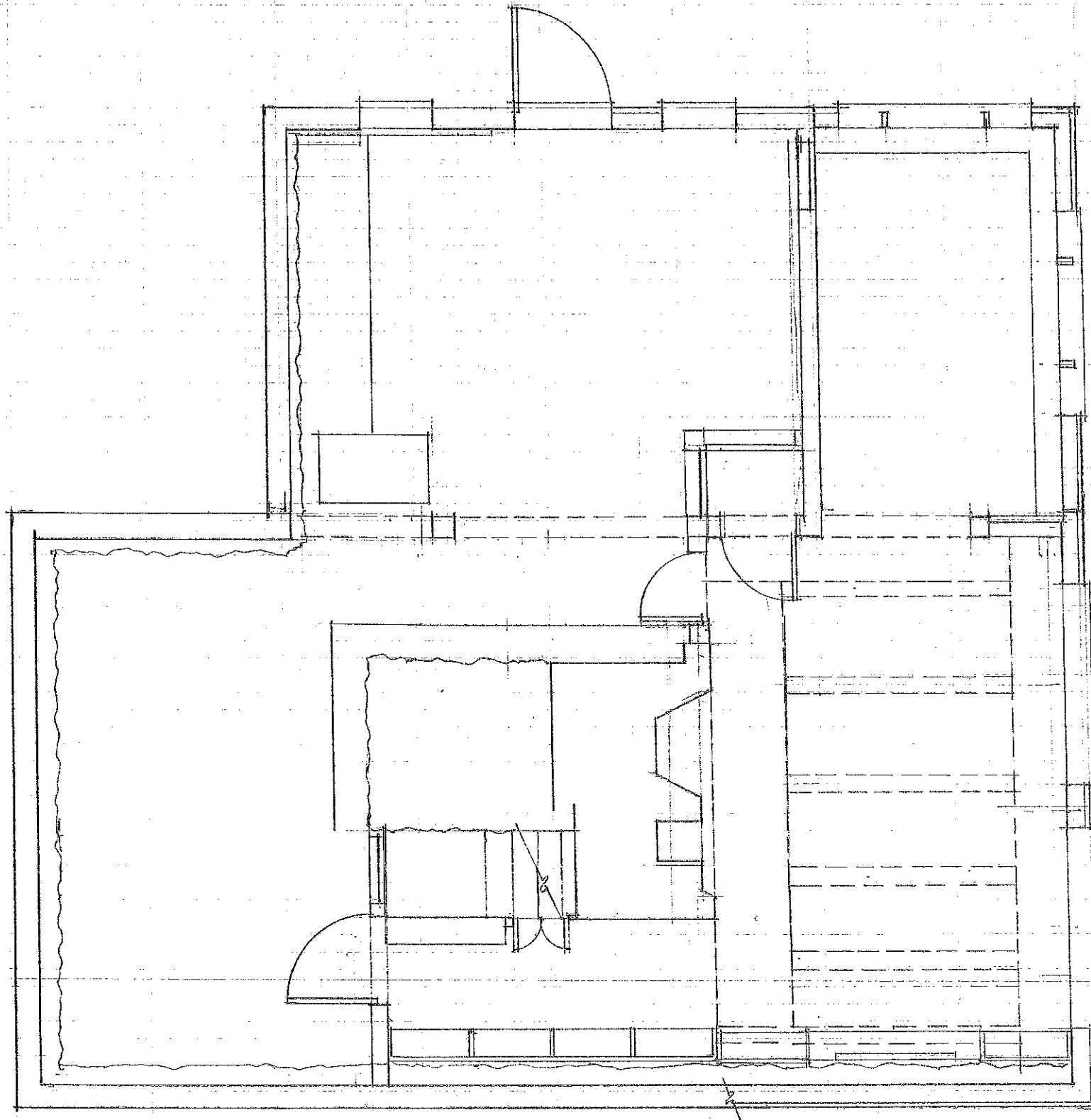
**East Elevation**



**East Elevation: close-up of existing one-story addition**







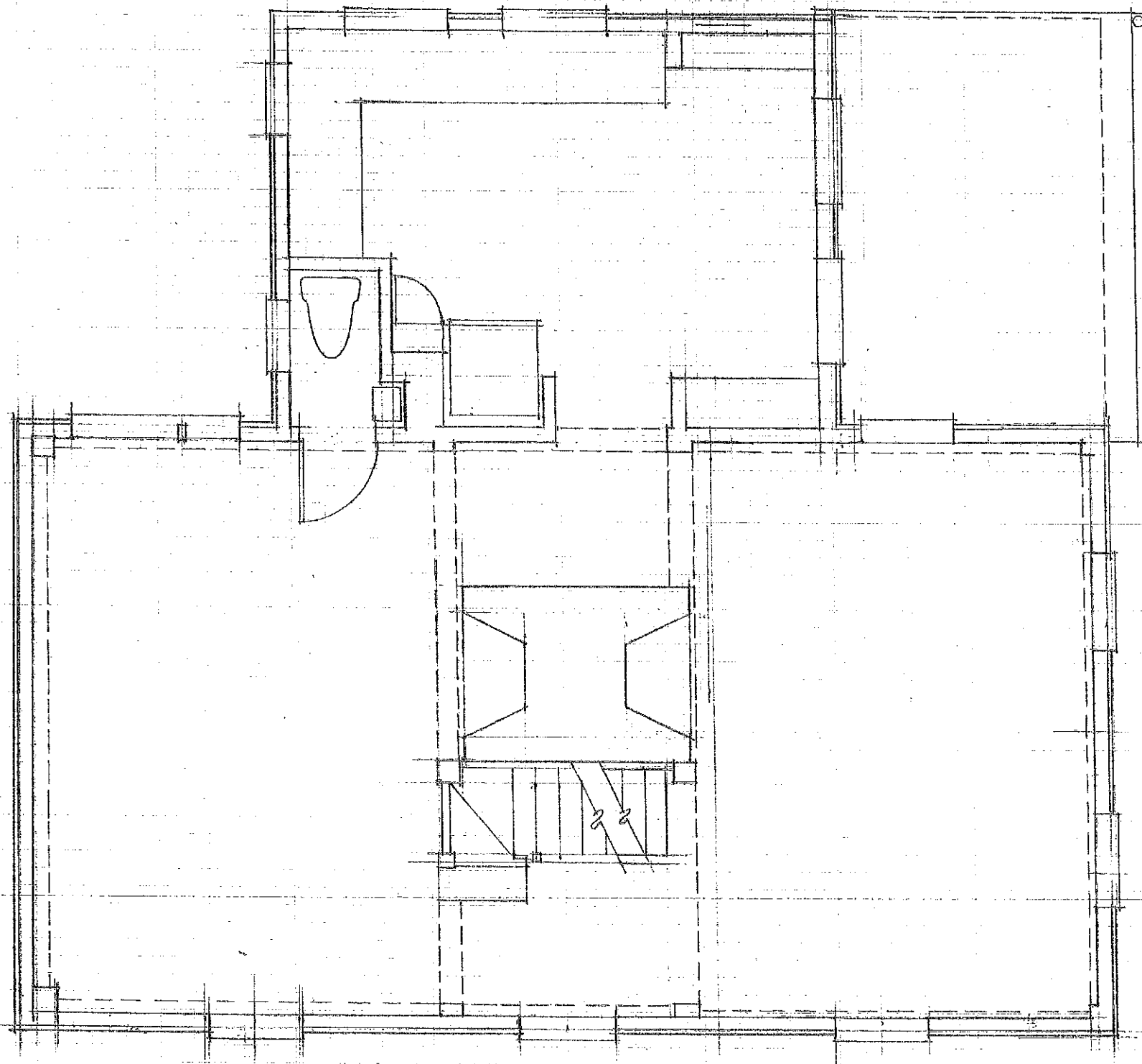
ADDITION & RENOVATIONS TO 50 WHIDDEN STREET, PORTSMOUTH, N.H.

GROUND FLOOR PLAN: EXISTING CONDITIONS

XP100

SCOTT SIMONS ARCHITECT, FAIA  
45 LAFAYETTE STREET, PORTLAND, ME 04101

SCALE: 1/4" = 1'-0"



ADDITION & RENOVATIONS TO 50 WHIDDEN STREET, PORTSMOUTH, NH

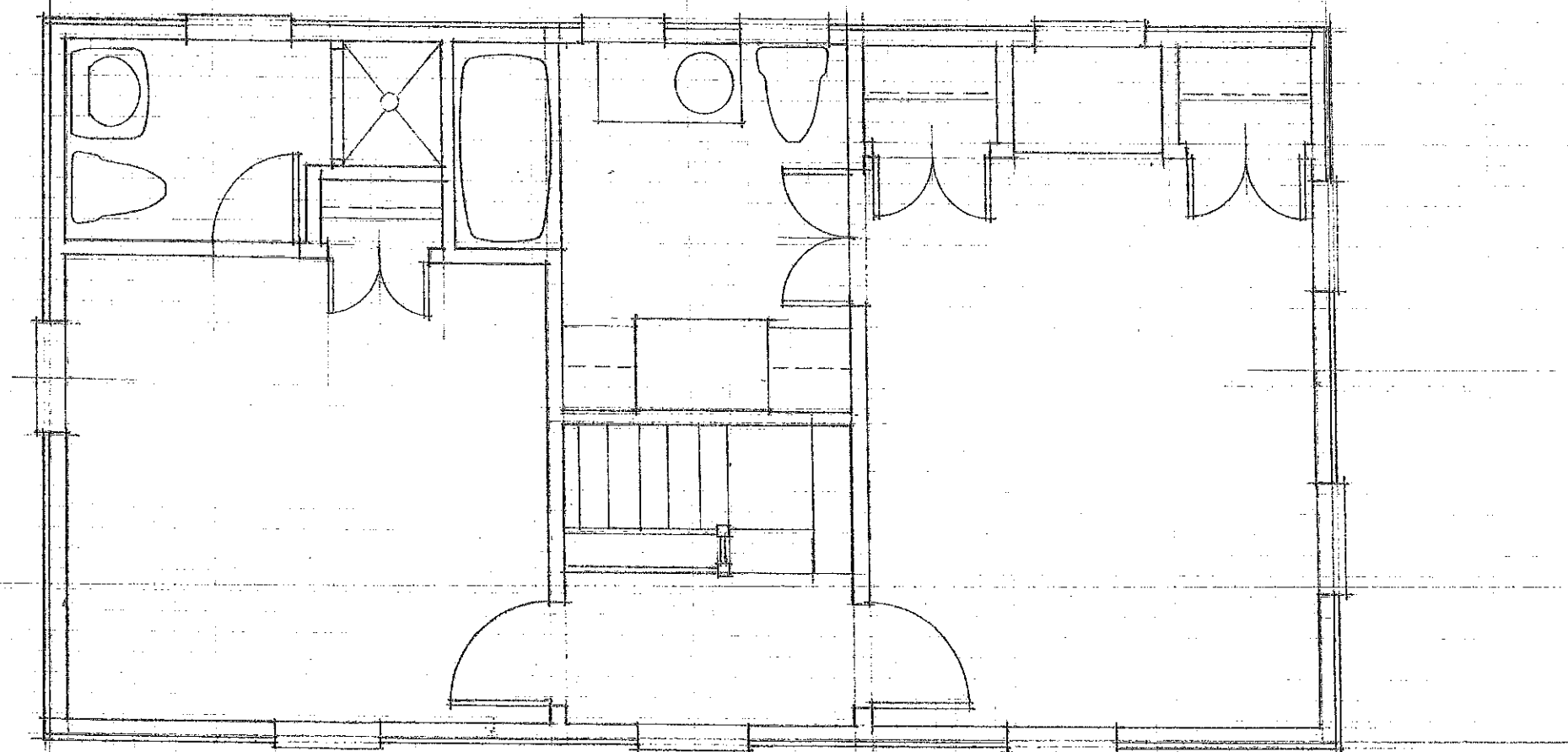
FIRST FLOOR PLAN: EXISTING CONDITIONS

XP101

SCOTT SIMONS ARCHITECT, FAIA  
45 LAFAYETTE STREET, PORTLAND, ME 04101

SCALE: 1/4" = 1'-0"





ADDITIONS & RENOVATIONS TO 50 WHIDDEN STREET, PORTSMOUTH, NH

SECOND FLOOR PLAN: EXISTING CONDITIONS

XP102

SCOTT SIMONS ARCHITECT, FAIA  
45 LAFAYETTE STREET, PORTLAND, ME 04101

SCALE: 1/4" = 1'-0"



ADDITIONS & RENOVATIONS TO 50 WHIDDEN STREET, PORTSMOUTH, N.H.

FRONT ELEVATION: EXISTING CONDITIONS (WEST ELEVATION)

XE101

SCOTT SIMONS ARCHITECT, FAIA

45 LAFAYETTE STREET, PORTLAND, ME 04101

SCALE: 1/4" = 1'-0"



ADDITIONS & RENOVATIONS  
50 WAIDDEN STREET, PORTSMOUTH, N.H.  
(SOUTH ELEVATION)

REAR ELEVATION: EXISTING CONDITIONS

XE102

SCOTT SIMONS ARCHITECT, FAIA  
45 LAFAYETTE STREET, PORTLAND, ME 04101

SCALE: 1/4" = 1'-0"



ADDITIONS & RENOVATIONS  
50 WHIDDEN STREET, PORTSMOUTH, NH.  
(EAST ELEVATION)

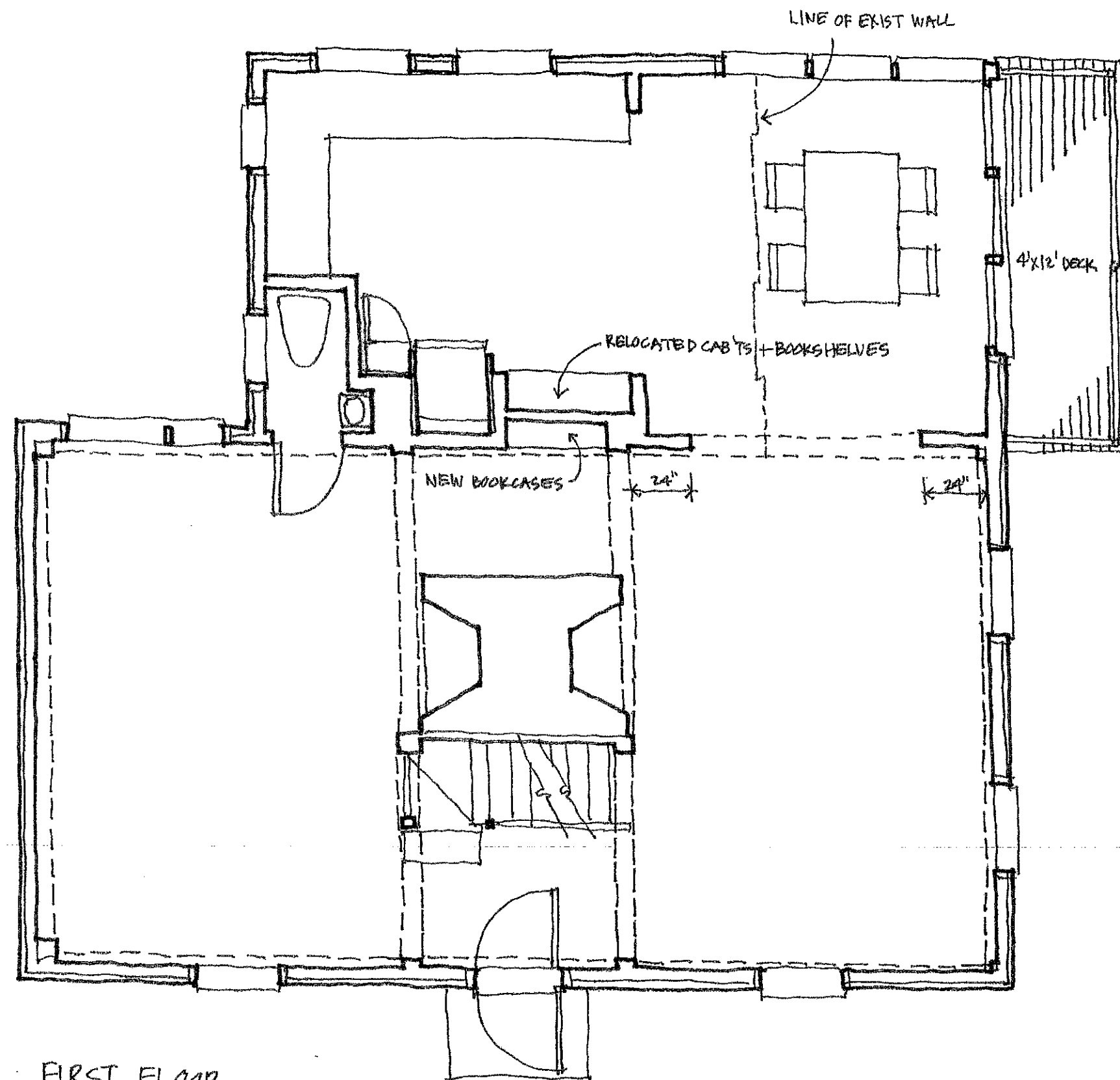
SIDE ELEVATION: EXISTING CONDITIONS

SCOTT SIMONS ARCHITECT, FAIA  
45 LAFAYETTE STREET, PORTLAND, ME 04101

SCALE: 1/4" = 1'-0"

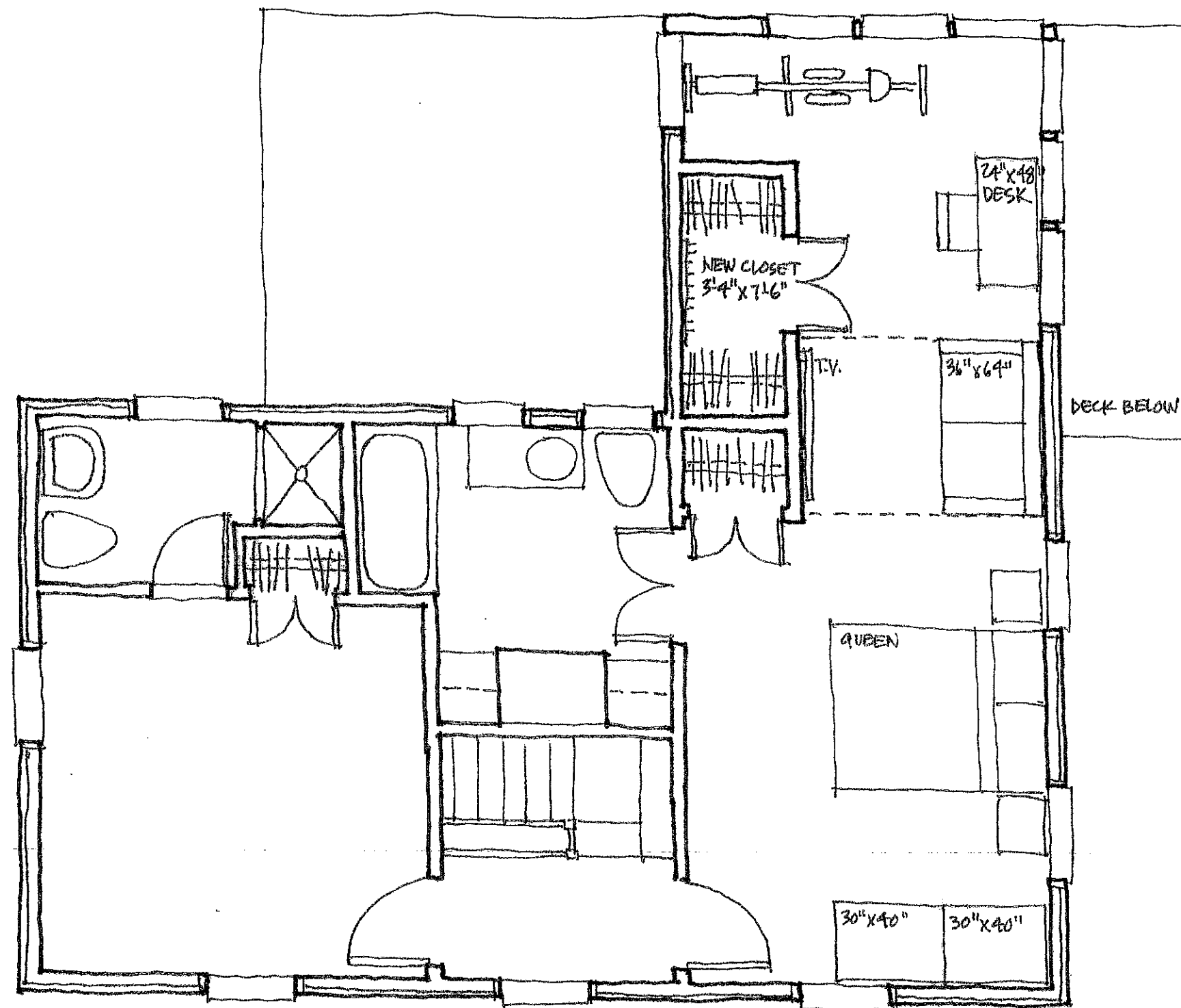






FIRST FLOOR  
 OPTION #2A REVISED: 12'x12' ADDITION  
 01.12.2026 SSA

**CONCEPT SKETCHES**  
 (4) FOUR SHEETS



SECOND FLOOR  
OPTION #2A REVISED: 12'X12' ADDITION  
2A REV 01.12.2026 SSA



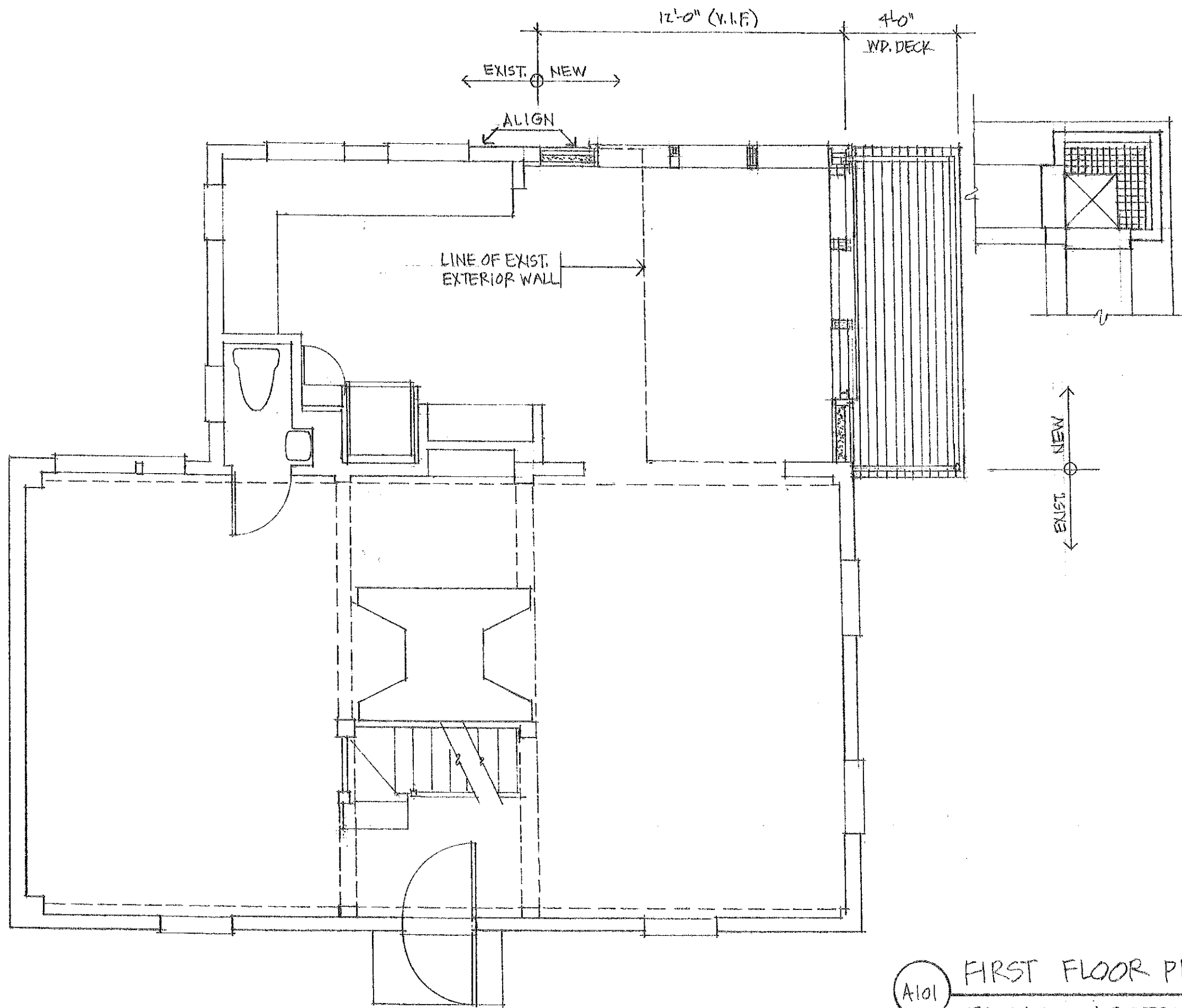


SOUTH ELEVATION  
OPTION # 2A REVISED  
2A  
REV.  
01.12.2026 SSA





EAST ELEVATION  
2A OPTION #2A  
01.10.2026 SSA



# FIRST FLOOR PLAN

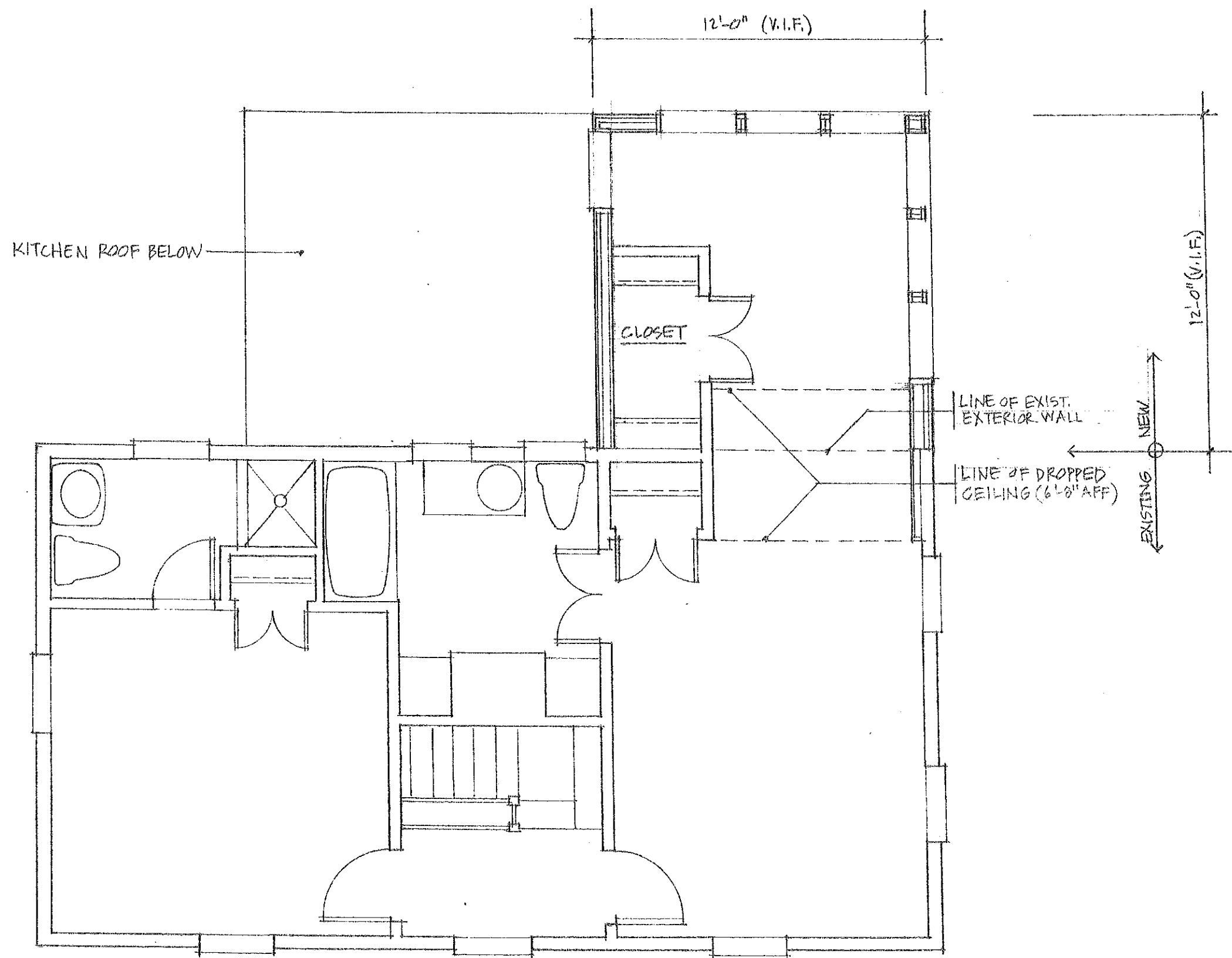
SCALE: 1/4" = 1'-0"

50 WHIDDON STREET, PORTSMOUTH, N.H.

SCOTT SIMONS ARCHITECT PORTLAND, ME

01.18.26





A102

## SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

50 WHIDDON STREET, PORTSMOUTH, N.H.

SCOTT SIMONS ARCHITECT PORTLAND, ME

01.18.26



WINDOW / DOOR SCHEDULE					
TAG	MFGR	MODEL #	P.O.	STYLE	NOTES
	MARVIN	ULDH 3448	2'-0 1/2" x 4'-0 1/4"	CLAD DH WDW	
	MARVIN	SPD 9065 0X0	8'-11 1/2" x 6'-8"	SLDG. PATIO	R.H.
	MARVIN	DHP 3480	2'-0 1/2" x 6'-8 1/4"	CLAD DH WDW	FIXED

A201 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

50 WHIDDON STREET, PORTSMOUTH, N. H.

SCOTT SIMONS ARCHITECT PORTLAND, ME

01.18.26



A202 EAST ELEVATION SCALE: 1/4" = 1'-0"

50 WHIDDON STREET, PORTSMOUTH, N.H.

SCOTT SIMONS ARCHITECT PORTLAND, ME 01.18.26