

Historic District Commission

Staff Report

Wednesday, February 04, 2026

Project Address: 304 Maplewood Avenue

Permit Requested: Work Session/Public Hearing

Application: Work Session/ Public Hearing #1



A. Property Information - General:

Existing Conditions:

- Zoning District: Character District 4-L2 (CD4-L2)
- Land Use: Commercial
- Land Area: 14,025 SF +/-
- Estimated Age of Structure: c.1940
- Building Style: Modern
- Number of Stories: 1
- Historical Significance: Non-Contributing/ Intrusive
- Public View of Proposed Work: Maplewood Avenue
- Neighborhood Association: North End

B. Proposed Work: Construct rear 1-story addition

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Construct rear 1-story addition



2 3D VIEW - ADDITION

**HISTORIC
SURVEY
RATING
NC/I**

D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

304 MAPLEWOOD AVENUE OFFICE ADDITION

HISTORIC DISTRICT COMMISSION PUBLIC HEARING, FEBRUARY 2026

BUILDING HISTORY:

- BUILT IN 1940, ORIGINALLY A MODERN STYLE COMMERCIAL BUILDING OCCUPIED BY CHASE'S MINIT MARKET
- THE STRUCTURE IS A ONE STORY, RECTANGULAR BUILDING WITH REAR ELL
- WHEN RENOVATED, THE ROOF CHANGED FROM A FLAT ROOF TO A GABLE/HIP ROOF
- STRUCTURE IS NOW AN OFFICE BUILDING
- REMOVE REAR SHED ADDITION

GENERAL PROJECT DESCRIPTION:

- EXISTING BUILDING TO REMAIN
- EXISTING REAR SHED DORMER ADDITION TO BE REMOVED
- 1,000 SF OFFICE ADDITION ON REAR OF BUILDING

SHEET LIST - HDC	
Sheet Number	Sheet Name
A0	COVER
C1	EXISTING CONDITIONS PLAN
A1	SITE PLAN
A2	EXISTING IMAGES
A3	PROPOSED PLANS
A4	PROPOSED ELEVATIONS
A5	PROPOSED ELEVATIONS
A6	WINDOW SCHEDULE/MATERIALS



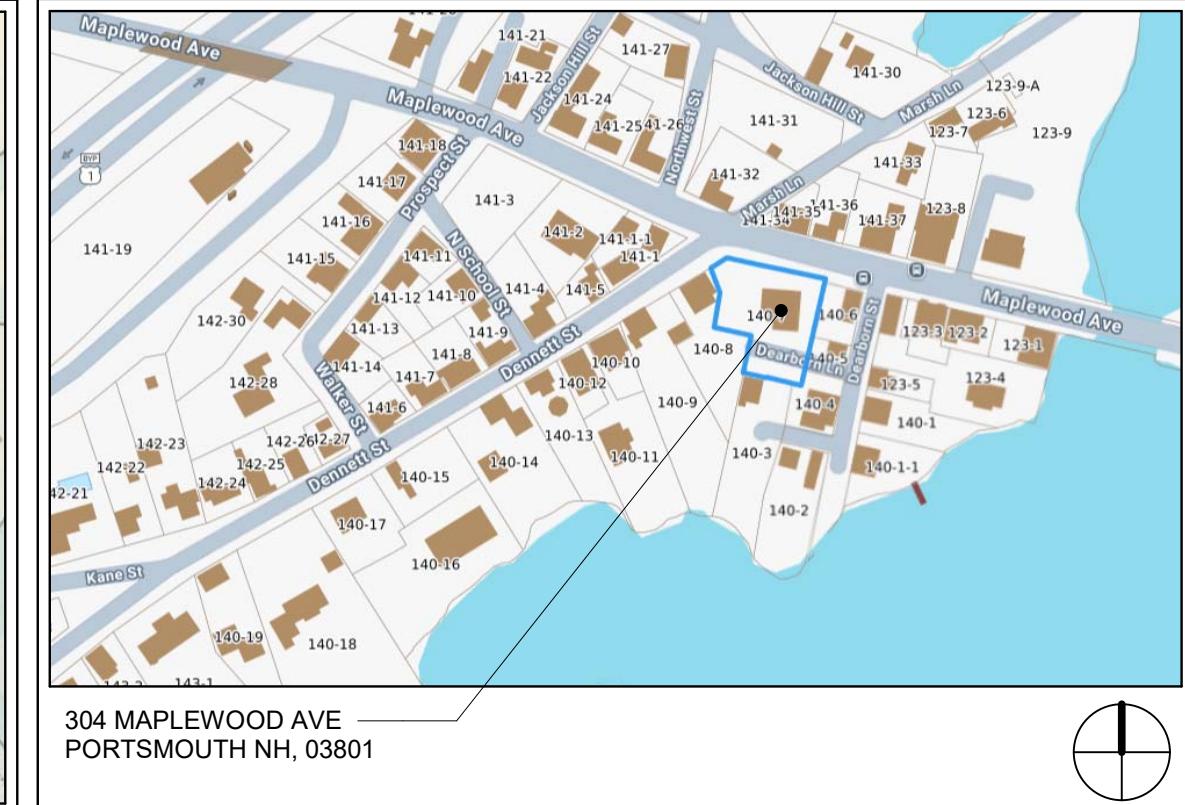
VIEW OF CHASE'S MINIT MARKET, 304 MAPLEWOOD AVE. IMAGE DATE: AUGUST 6, 1982
PHOTOGRAPHER: WOODARD DORR OPENO, COURTESY OF PORTSMOUTH ATHENAEUM



EXISTING PERSPECTIVE FROM MAPLEWOOD AVE LOOKING AT 304 MAPLEWOOD



ZONING PLAN FROM THE SANDBORN FIRE INSURANCE MAPS IN 1956, PROVIDED BY THE PORTSMOUTH ATHENAEUM.



304 MAPLEWOOD AVE
PORTSMOUTH NH, 03801

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OFFICE ADDITION
304 MAPLEWOOD AVE
PORTSMOUTH, NH 03801

COVER
HISTORIC DISTRICT COMMISSION- PUBLIC HEARING,
FEBRUARY 2026

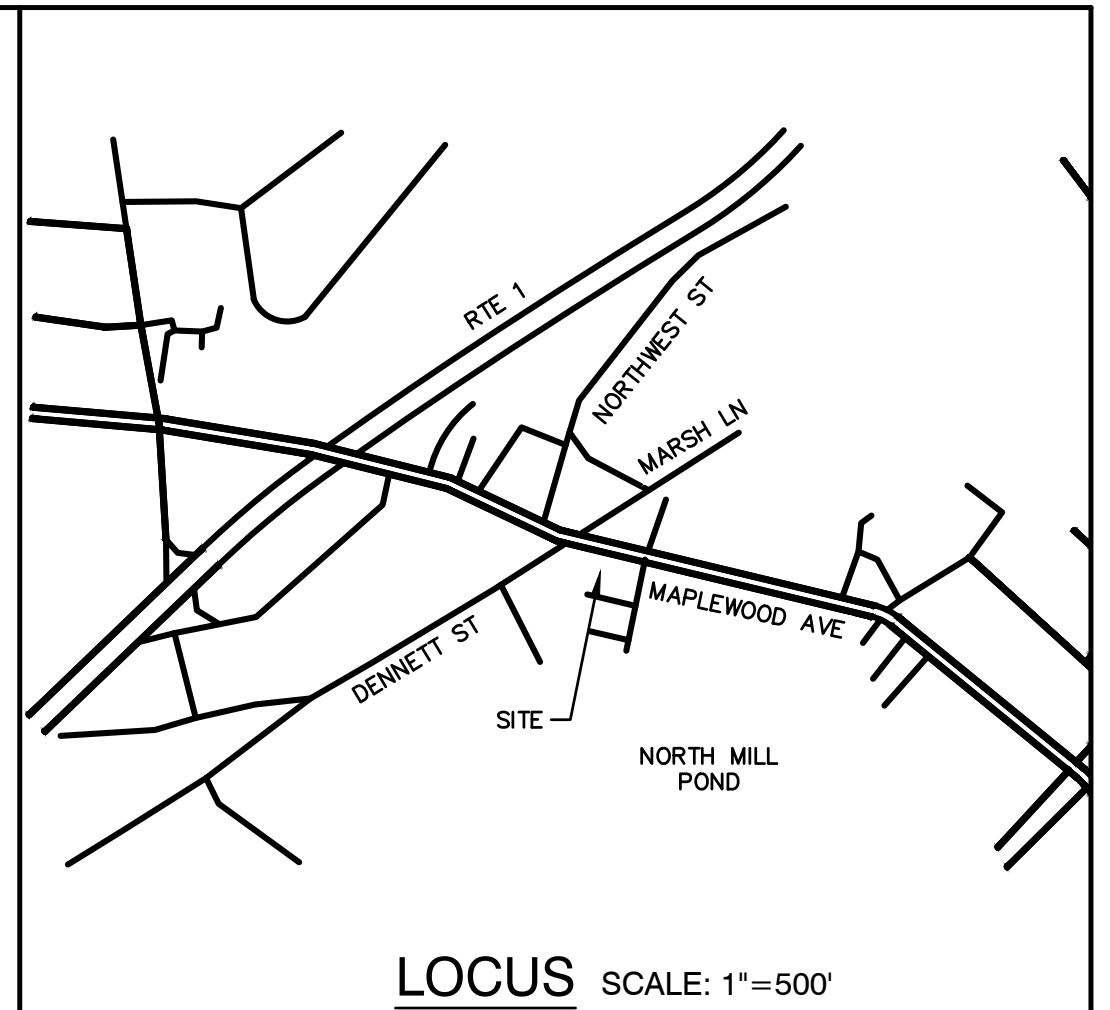
4 Market Street
Portsmouth, New Hampshire
603.430.0274
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McHENRY ARCHITECTURE



AO

01/16/2026
PA: MM / MG
Project Number: 25081
NOT TO SCALE

PROJECT PARCEL TOWN OF PORTSMOUTH TAX MAP 140, LOT 7
APPLICANT/OWNER 304 MAPLEWOOD LLC 304 MAPLEWOOD AVE PORTSMOUTH, NH 03801 BK 4849, PG 2483
TOTAL LOT AREA 14,396 SQ. FT. 0.33 ACRES

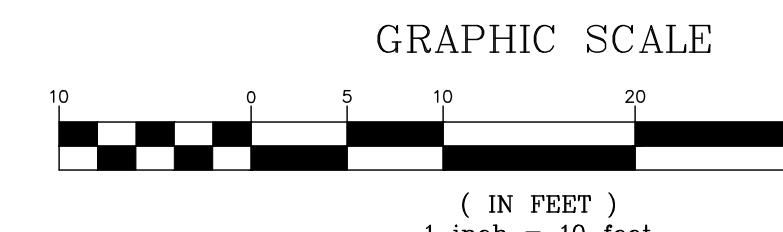


NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING SITE FEATURES OF TAX MAP 140 LOT 7.
- THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE, AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD ZONE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP NO. S301SC0259F, WITH EFFECTIVE DATE OF JANUARY, 29, 2021.
- BASIS OF BEARING: HORIZONTAL - NH STATE PLANE. VERTICAL - NAVD88.
- CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
- ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS ARE BASED ON THE TOWN OF PORTSMOUTH. TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED AT THE TOWN OF PORTSMOUTH ASSESSOR'S OFFICE AND THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS OWNED. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED, OR DESCRIPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- NO WETLANDS WERE OBSERVED ON THE SUBJECT PREMISES.
- SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.

PLAN REFERENCES:

- "LOT LINE RELOCATION PLAN FOR JOHN J. & CATHERINE PAUSON AND HAROLD C. & ASTRID LOUISE PASSER, 12-28 DENNETT STREET, PORTSMOUTH, NH." DATED NOVEMBER 30, 1983. PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES. R.C.R.D. 12123.
- "PLAN OF LAND PREPARED FOR MICHAEL BRANDZEL & HELEN LONG, TAX MAP 140 LOT 3, 39 DEARBORN STREET, PORTSMOUTH, NH." DATED OCTOBER 1, 2012. PREPARED BY BOUDREAU LAND SURVEYING. R.C.R.D. 37444.
- "NO-BUILT EASEMENT PLAN, LAND OF SHAWN & MICHIOY BARDONG, TAX MAP 140 LOT 3, 39 DEARBORN STREET, PORTSMOUTH, NH." DATED JUNE 27, 2023. PREPARED BY BOUDREAU LAND SURVEYING. R.C.R.D. 44486.
- "SITE PLAN, MEDICAL MARKET, 304 MAPLEWOOD AVE, PORTSMOUTH, NH." DATED OCTOBER 28, 1988. PREPARED BY INTERFACE DESIGNS, NOT RECORDED. ON FILE AT THE CITY OF PORTSMOUTH PLANNING DEPARTMENT. THIS PLAN NOTES THAT IT IS BASED UPON A PLAN BUT MOLTON ENGINEERING, WHICH WAS NOT FOUND BY THIS OFFICE.
- "PLAN OF LOT, NO. 304 MAPLEWOOD AVE., PORTSMOUTH, N.H." DATED JUNE 1960. PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS. NOT RECORDED. ON FILE AT THE CITY OF PORTSMOUTH PLANNING DEPARTMENT.



Design: XXX Draft: KDR Date: 01/14/26
Checked: JAC Scale: AS SHOWN Project No.: 23169
Drawing Name: 23169-PLAN.dwg
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN
PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE).
ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE
AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.

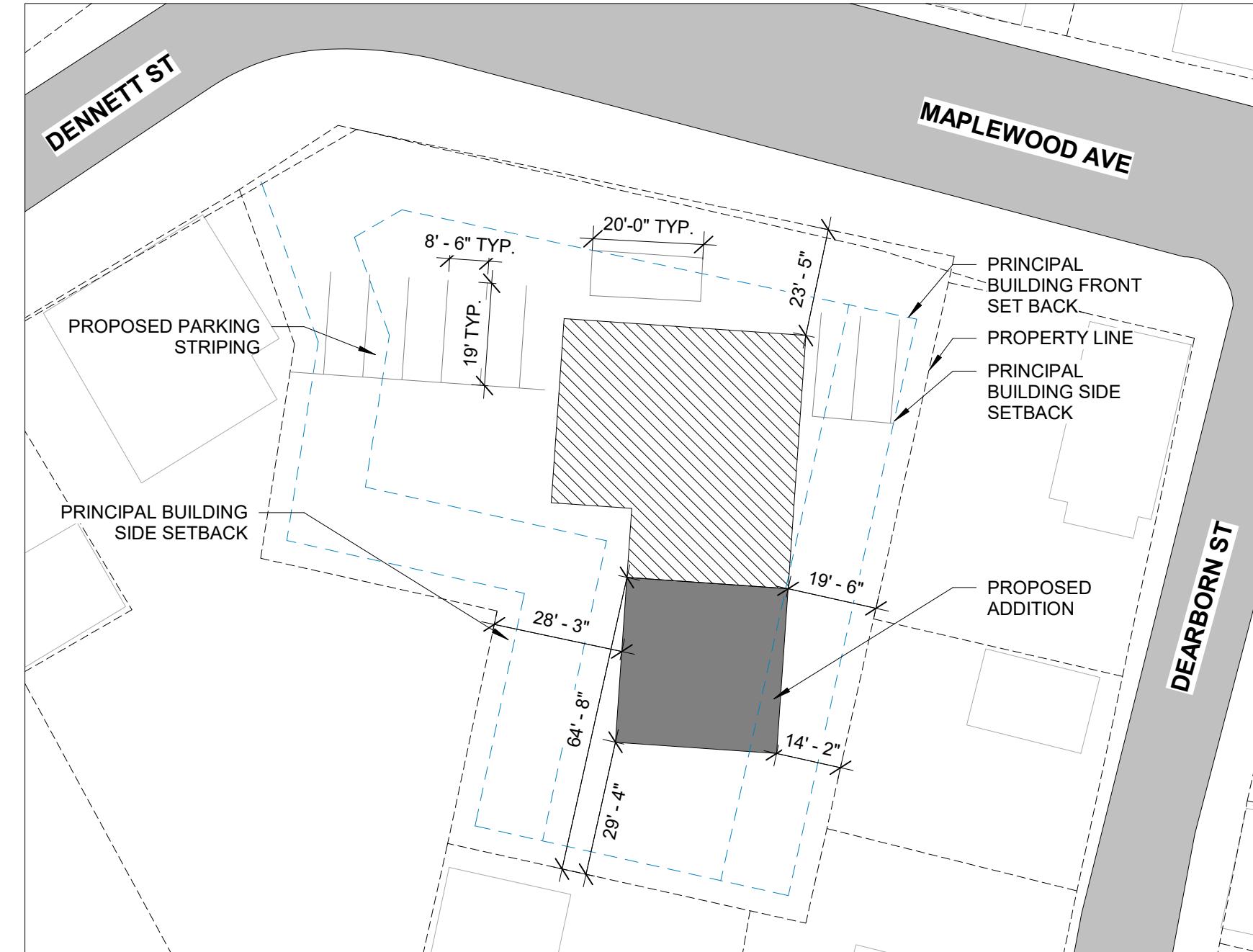
0	1/14/26	ISSUED FOR REVIEW
REV.	DATE	REVISION
		BY

Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
Civil Engineering Services 603-772-4746
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: EXISTING CONDITIONS PLAN
Project: 304 MAPLEWOOD AVE, PORTSMOUTH, NH
Owner of Record: 304 MAPLEWOOD LLC
304 MAPLEWOOD AVE, PORTSMOUTH, NH 03801

DRAWING No. C1
SHEET 1 OF 2
JBE PROJECT NO. 23169

ZONING SUMMARY	
ZONE	CHARACTER DISTRICT (CD4-L2)
MINIMUM LOT AREA	3,000 SF
MAXIMUM FRONT YARD SETBACK	15'
SIDE YARD SETBACK	5' MIN; 20' MAX
MINIMUM REAR YARD SETBACK	5' FROM REAR LOT LINE; 10' FROM CENTER LINE OF ALLEY
MAXIMUM BUILDING HEIGHT	60' (2-5 STORIES)
MAXIMUM BUILDING COVERAGE	60% OF LOT
MAXIMUM BUILDING FOOTPRINT	2,500 S.F.
MINIMUM OPEN SPACE	25% OF LOT



1 ARCHITECTURAL SITE PLAN
1" = 30'-0"

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OFFICE ADDITION
304 MAPLEWOOD AVE
PORTSMOUTH, NH 03801

SITE PLAN
HISTORIC DISTRICT COMMISSION- PUBLIC HEARING,
FEBRUARY 2026

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Portsmouth, New Hampshire
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A1

01/16/2026
PA: MM / MG
Project Number: 25081
AS INDICATED



PERSPECTIVE FROM MAPLEWOOD AVE



PERSPECTIVE OF BACK OF BUILDING, REAR SHED ADDITION TO BE REMOVED



VIEW OF EXISTING UTILITIES AND SERVICES ON WEST SIDE OF BUILDING



PERSPECTIVE OF BACK SIDE OF BUILDING



PERSPECTIVE OF EAST SIDE OF BUILDING



PERSPECTIVE FROM BACK OF BUILDING, SHOWING THE YARD

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OFFICE ADDITION
304 MAPLEWOOD AVE
PORTSMOUTH, NH 03801

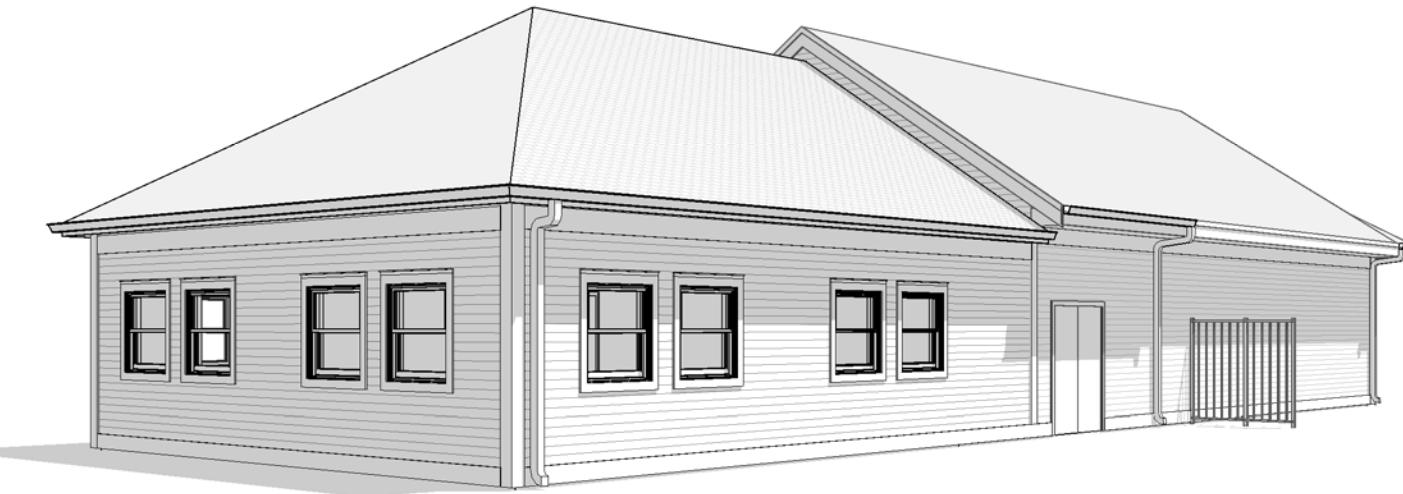
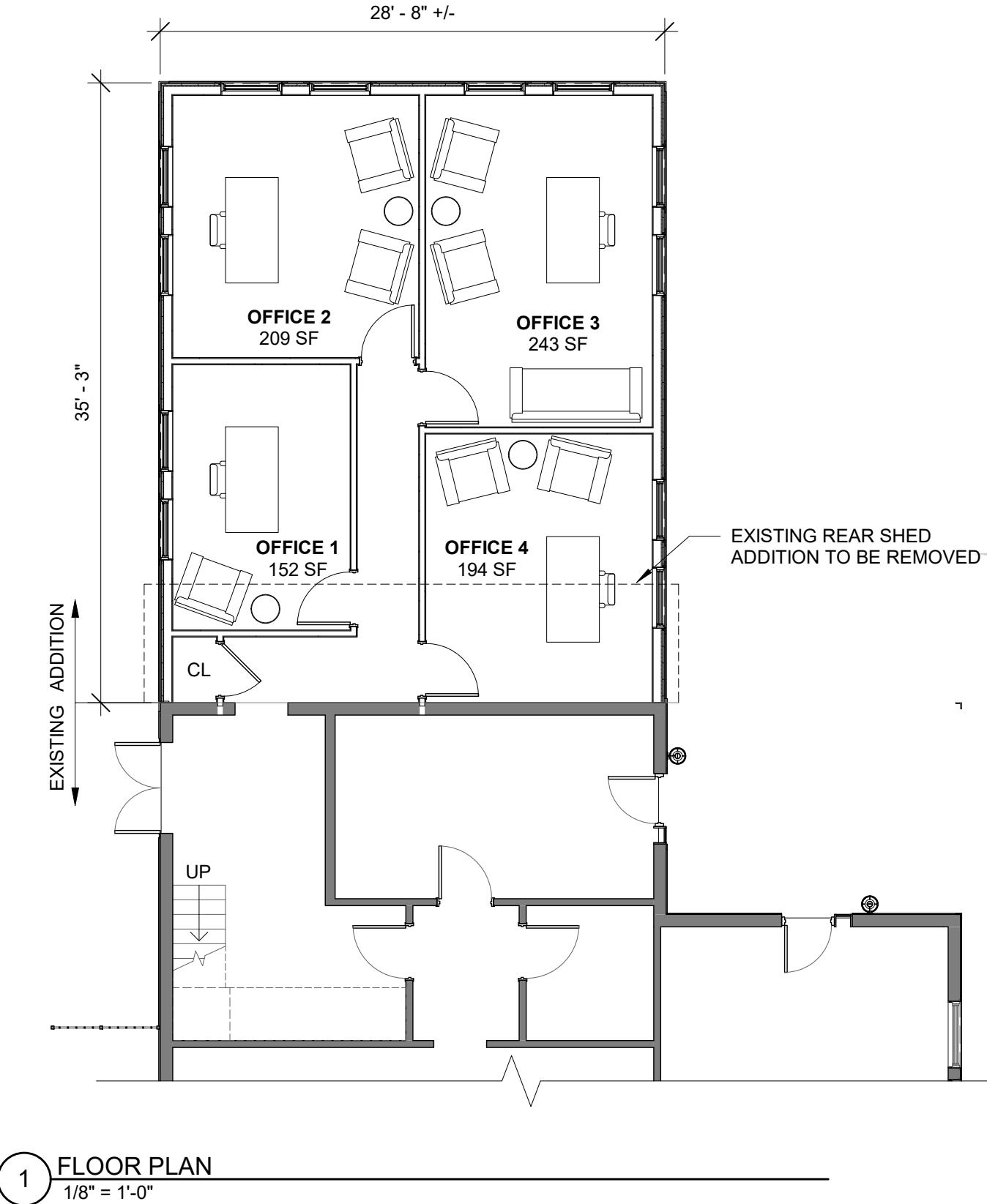
EXISTING IMAGES
HISTORIC DISTRICT COMMISSION- PUBLIC HEARING,
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A2

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OFFICE ADDITION
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PORTSMOUTH, NH 03801

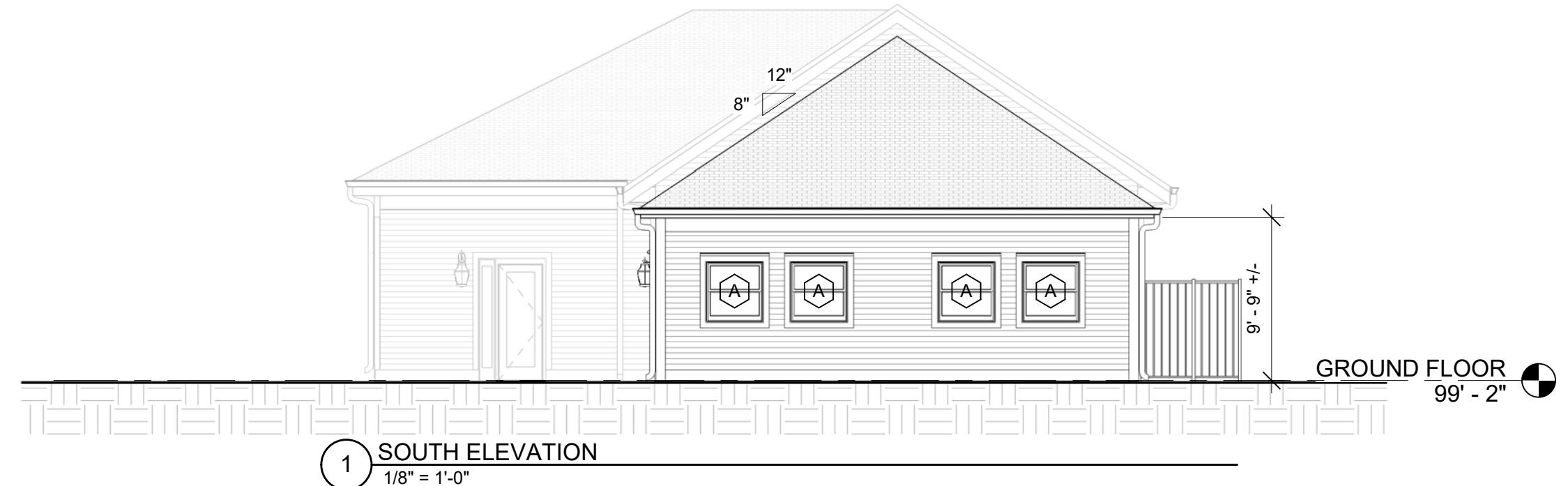
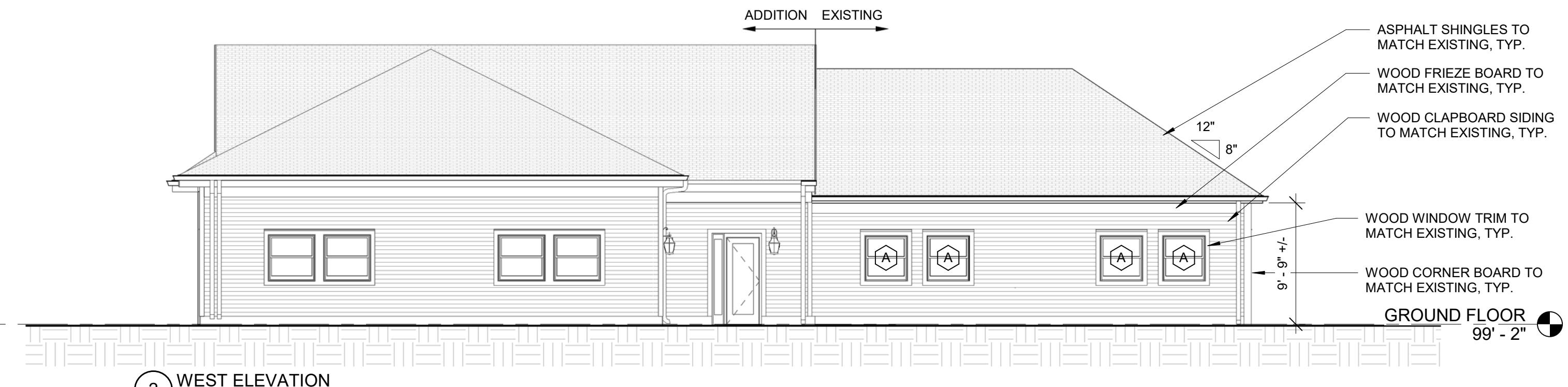
PROPOSED PLANS
HISTORIC DISTRICT COMMISSION- PUBLIC HEARING,
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Project Number: 25081
AS INDICATED



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OFFICE ADDITION
304 MAPLEWOOD AVE
PORTSMOUTH, NH 03801

PROPOSED ELEVATIONS
HISTORIC DISTRICT COMMISSION- PUBLIC HEARING,
FEBRUARY 2026

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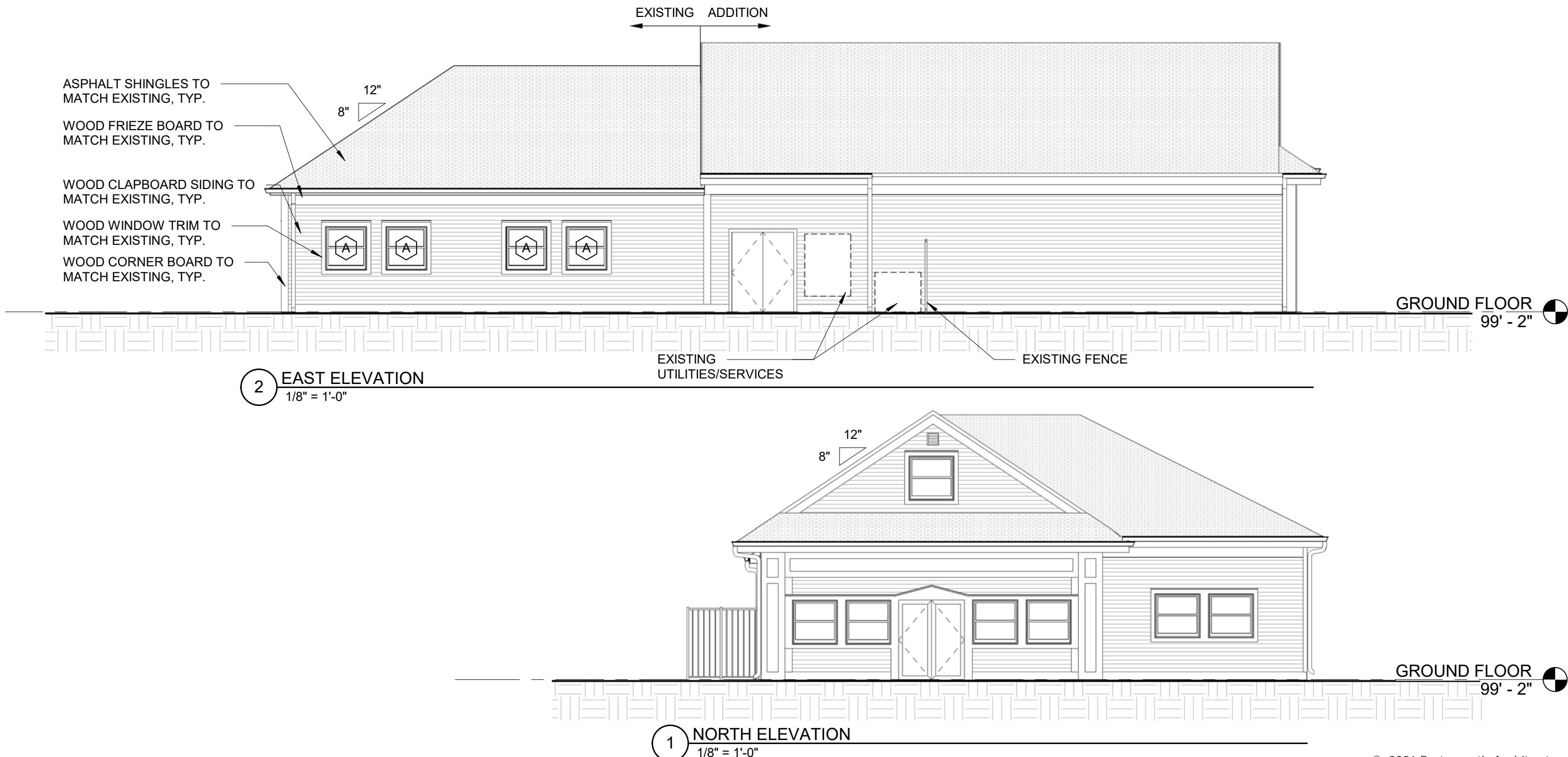
A4

01/16/2026

PA: MM / MG

Project Number: 25081

Scale: 1/8" = 1'-0"



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304 MAPLEWOOD AVE
PORTSMOUTH, NH 03801

PROPOSED ELEVATIONS
HISTORIC DISTRICT COMMISSION- PUBLIC HEARING,
FEBRUARY 2026

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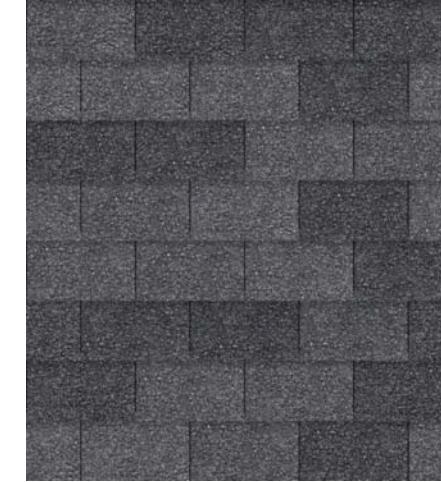


A5

01/16/2026
PA: MM / MG
Project Number: 25081
Scale: 1/8" = 1'-0"

WINDOW SCHEDULE

Type Mark	Manufacturer	Material / Cladding	Width	Height
A	Marvin Windows and Doors	Fiberglass	3' - 5 1/2"	3' - 7 3/4"



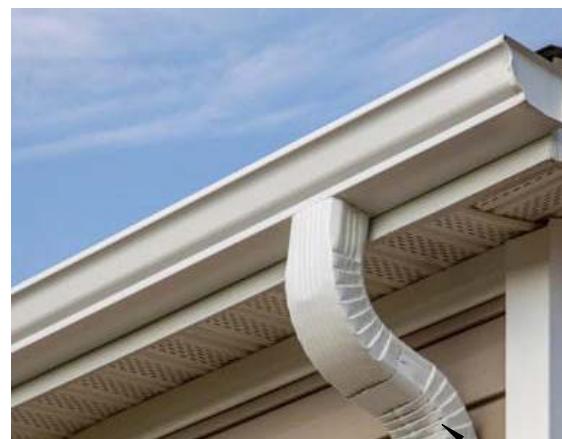
ASPHALT SHINGLES



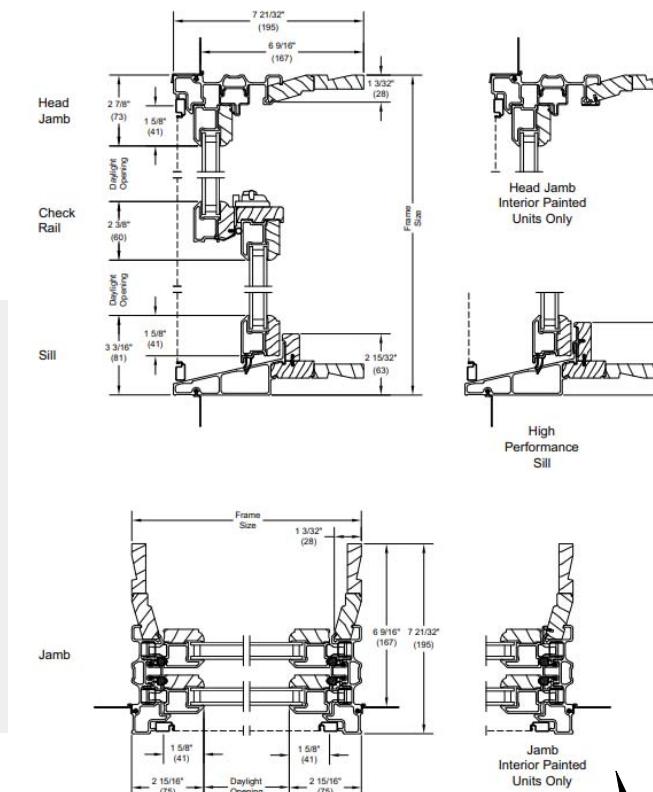
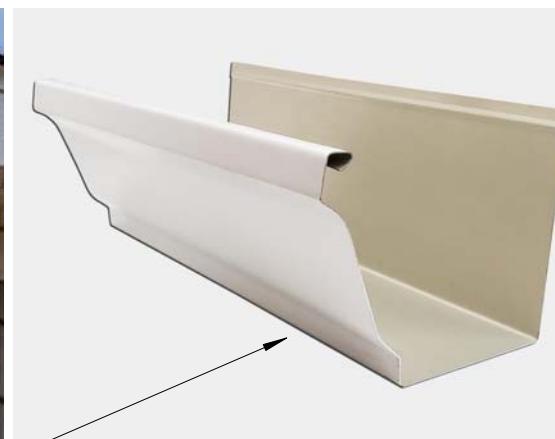
CLAPBOARD SIDING
4" EXPOSURE TO MATCH EXISTING

WINDOW TYPES

TYPE A:
FIBERGLASS CLAD
WOOD DOUBLE
HUNG WINDOW



**K-STYLE GUTTER AND
RECTANGULAR DOWNSPOUT TO
MATCH EXISTING**



WINDOWS
MARVIN ELEVATE DOUBLE HUNG G2



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OFFICE ADDITION
304 MAPLEWOOD AVE
PORTSMOUTH, NH 03801

WINDOW SCHEDULE/MATERIALS
HISTORIC DISTRICT COMMISSION- PUBLIC HEARING,
FEBRUARY 2026

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A6

01/16/2026
PA: MM / MG
Project Number: 25081
NOT TO SCALE

Project Address: 50 Whidden Street

Permit Requested: Work Session

Application: Work Session #1

A. Property Information - General:

Existing Conditions:

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 3,8252 SF +/-
- Estimated Age of Structure: c.1857
- Building Style: Greek Revival
- Number of Stories: 2.5
- Historical Significance: Focal
- Public View of Proposed Work: Whidden Street
- Unique Features: N/A
- Neighborhood Association: The South End

B. Proposed Work: Construct a rear multi-story addition.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Construct rear multi-story addition.



**HISTORIC
SURVEY
RATING**
F

D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
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E. Review Criteria/Findings of Fact:

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PROPOSED ADDITION AND RENOVATIONS

Daniell House

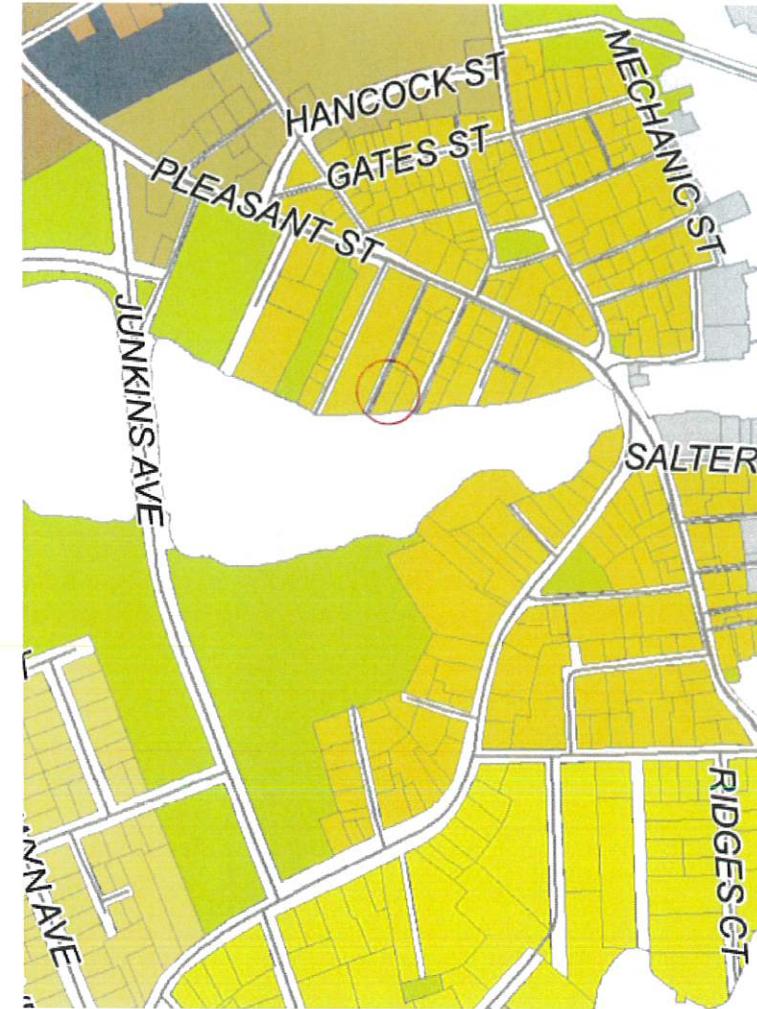
50 Whidden Street

Portsmouth, NH

Scott Simons Architect

45 Lafayette Street

Portland, ME



Zoning Map

Table of Contents

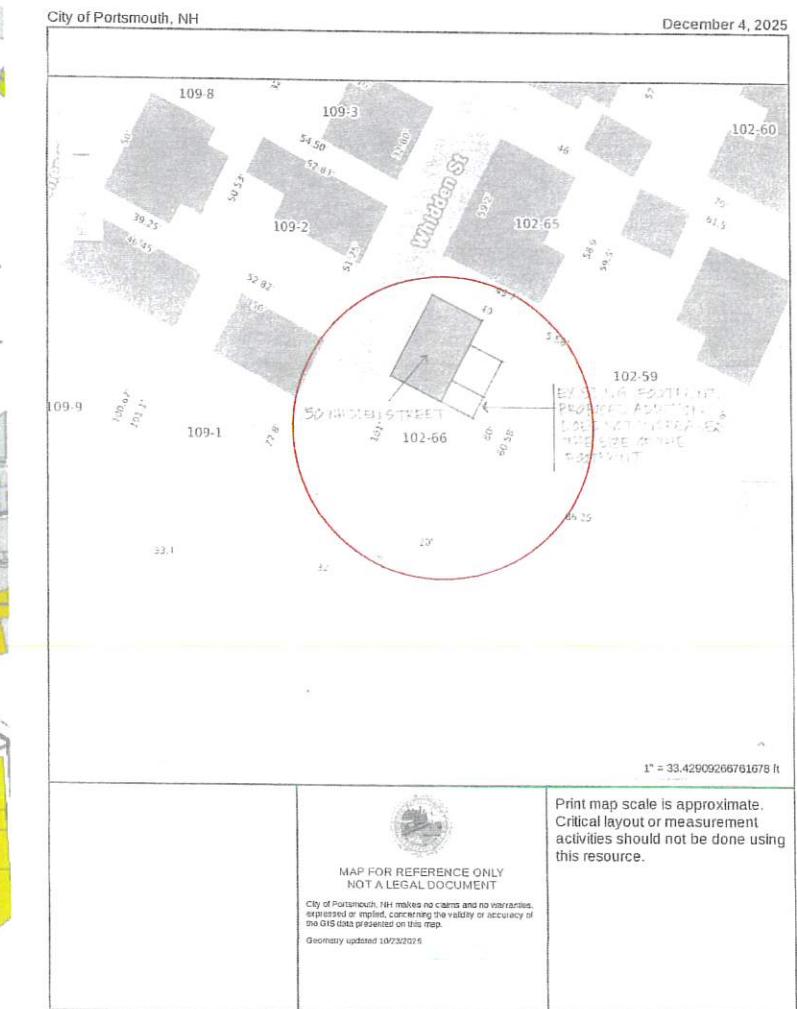
Cover Page: Zoning Map and Tax Map

Photos of Existing House (2 pages)

Existing Condition Floor Plans and Elevations (6 pages)

Concept Sketches: Floor Plans and Elevations (4 pages)

Detailed Drawings: Floor Plan and Elevations (4 pages)



Tax Map



South Elevation



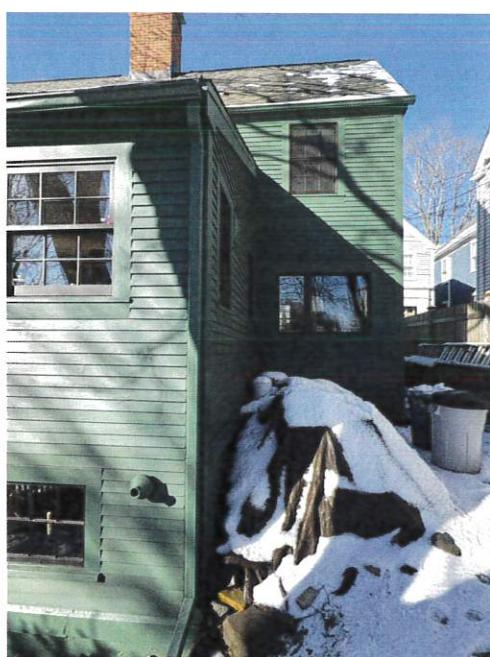
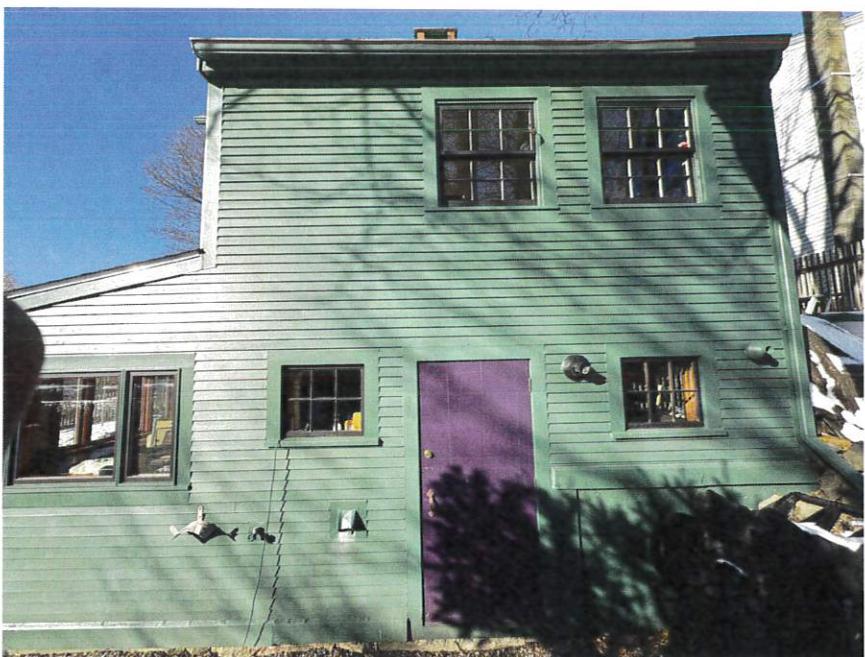
South Elevation: close-up of existing one-story addition

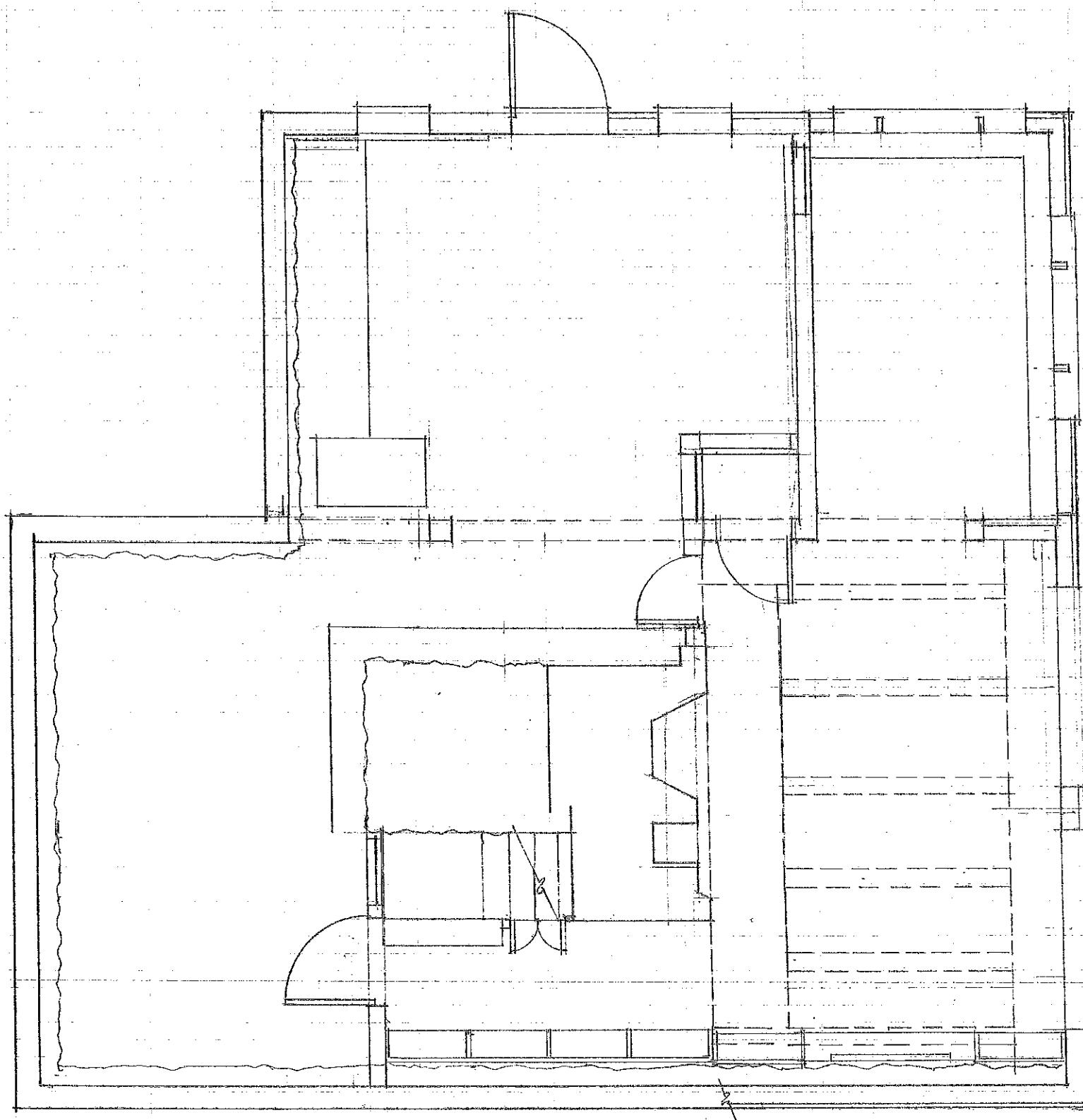


East Elevation



East Elevation: close-up of existing one-story addition



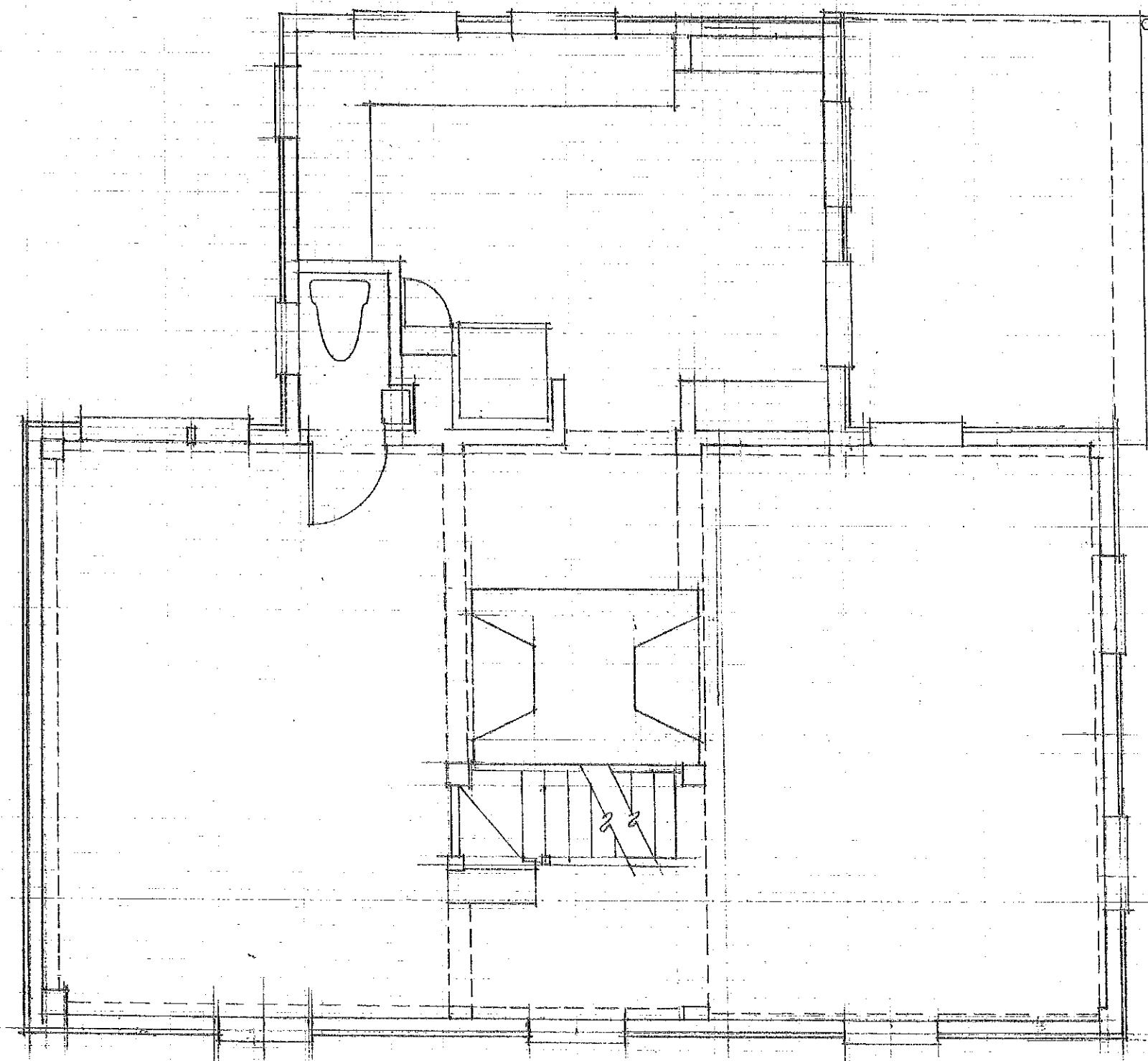


ADDITION & RENOVATIONS TO 50 WHIDDEN STREET, PORTSMOUTH, N.H.
GROUND FLOOR PLAN: EXISTING CONDITIONS

XP100

SCOTT SIMONS ARCHITECT, FAIA
45 LAFAYETTE STREET, PORTLAND, ME 04101

SCALE: 1/4" = 10'

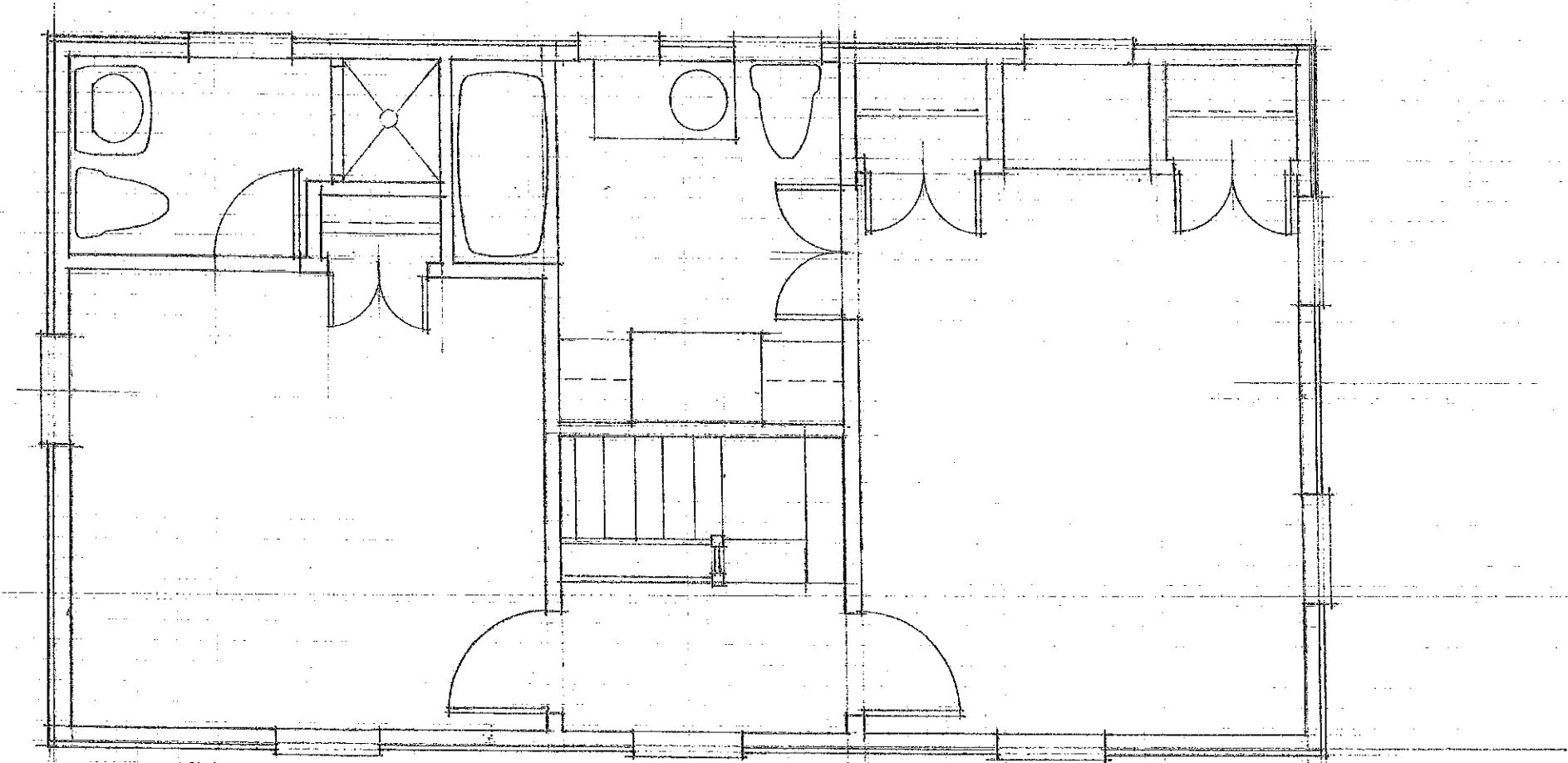


ADDITION & RENOVATIONS TO 50 WHIDDEN STREET, PORTSMOUTH, NH
FIRST FLOOR PLAN: EXISTING CONDITIONS

EX101

SCOTT SIMONS ARCHITECT, FAIA
45 LAFAYETTE STREET, PORTLAND, ME 04101

SCALE: 1/4" = 10'



ADDITIONS & RENOVATIONS TO 50 WHIDDEN STREET, PORTSMOUTH, NH
SECOND FLOOR PLAN: EXISTING CONDITIONS

XP102

SCOTT SIMONS ARCHITECT, FAIA
45 LAFAYETTE STREET, PORTLAND, ME 04101

SCALE: 1/4" = 10'



ADDITIONS & RENOVATIONS TO 50 WHIDDEN STREET, PORTSMOUTH, N.H.

FRONT ELEVATION: EXISTING CONDITIONS (WEST ELEVATION)

XE101

SCOTT SIMONS ARCHITECT, FAIA

45 LAFAYETTE STREET, PORTLAND, ME 04101

SCALE: 1/4"=10'



ADDITIONS & RENOVATIONS

50 WHIDDEN STREET, PORTSMOUTH, N.H.

(SOUTH ELEVATION)

REAR ELEVATION / EXISTING CONDITIONS

XE102

SCOTT SIMONS ARCHITECT, FAIA

45 LAFAYETTE STREET, PORTLAND, ME 04101

SCALE 1/4" = 10'



ADDITIONS & RENOVATIONS

50 WHIDDEN STREET, PORTSMOUTH, NH.

(EAST ELEVATION)

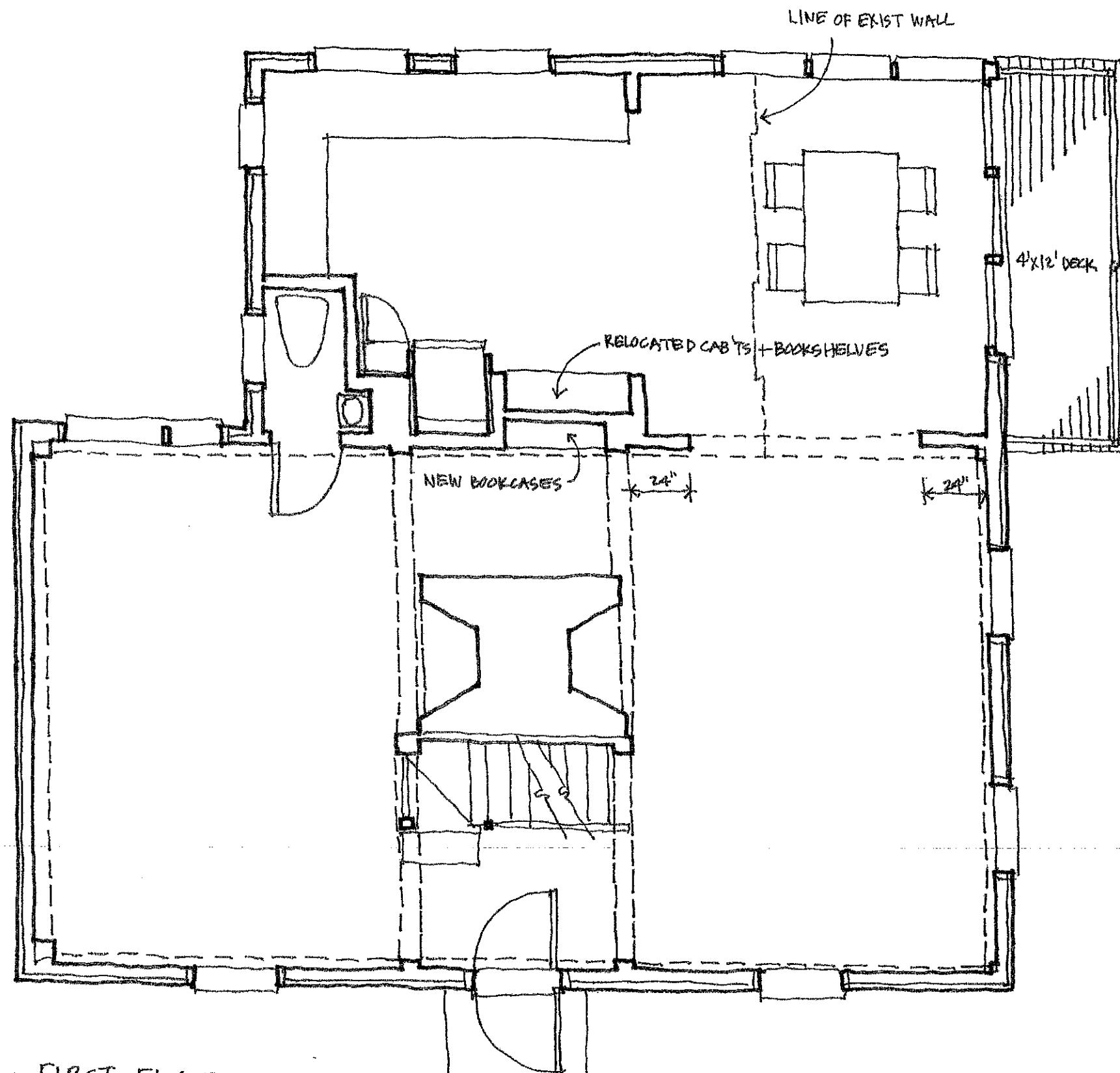
SIDE ELEVATION: EXISTING CONDITIONS

XE103

SCOTT SIMONS ARCHITECT, FAIA

45 LAFAYETTE STREET, PORTLAND, ME 04101

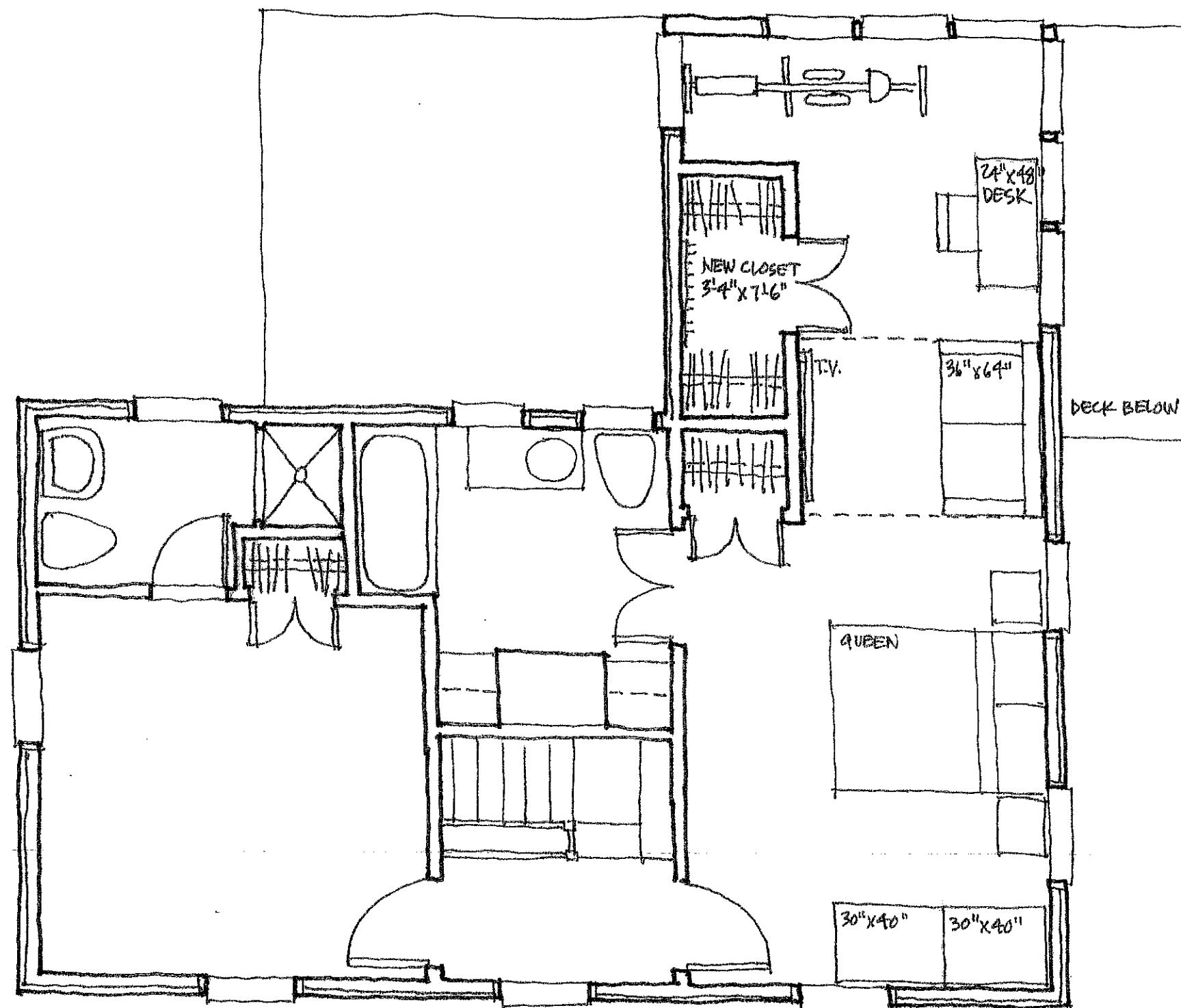
SCALE: 1/4"=1'-0"



FIRST FLOOR

2A
REV
OPTION #2A REVISED: 12'x12' ADDITION
01.12.2026 SSA

CONCEPT SKETCHES
(4) FOUR SHEETS



SECOND FLOOR

OPTION #2A REVISED: 12'x12' ADDITION

2A
REV

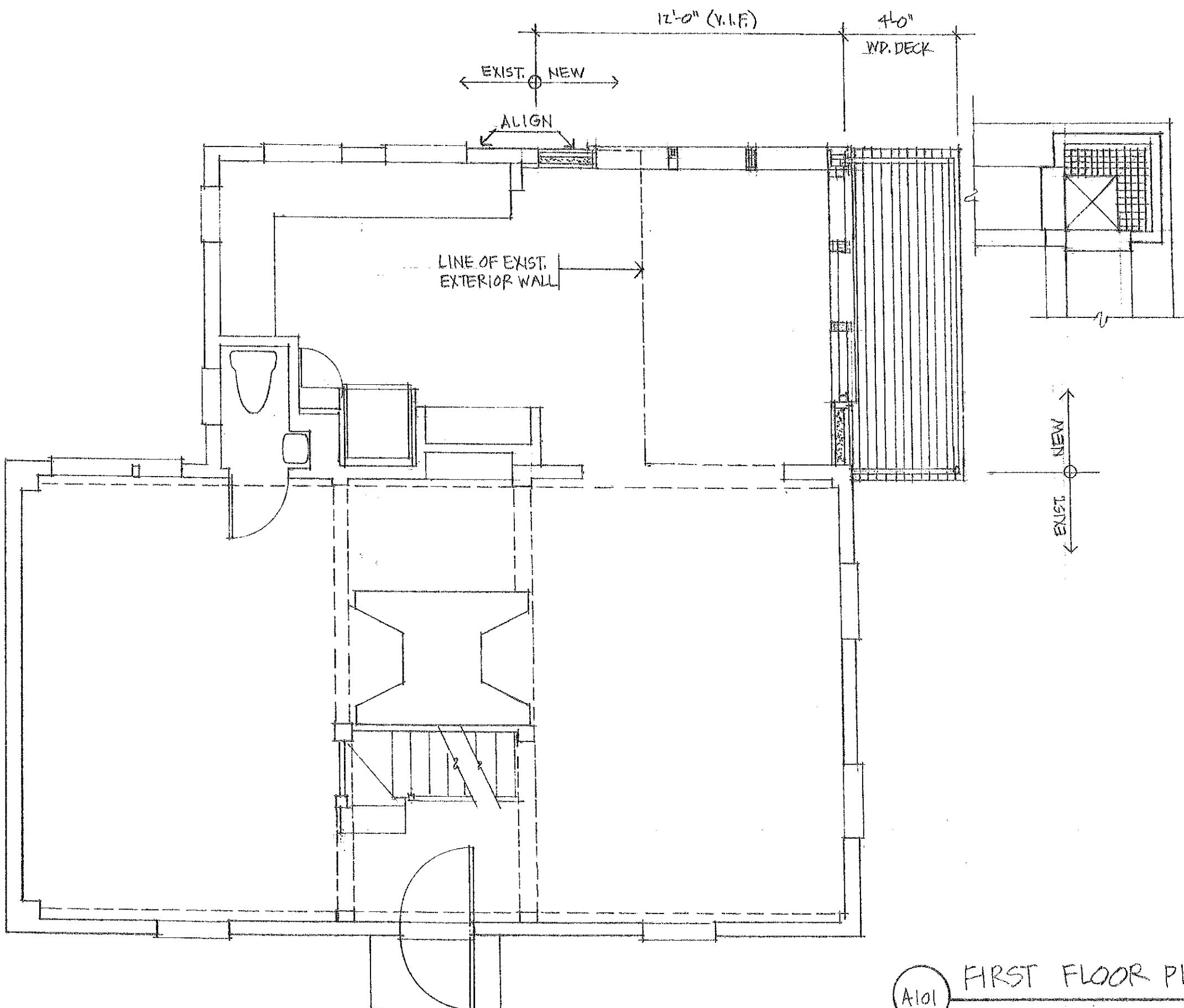
01.12.2026

SSA



SOUTH ELEVATION
OPTION #2A REvised
2A
01.12.2026 SSA

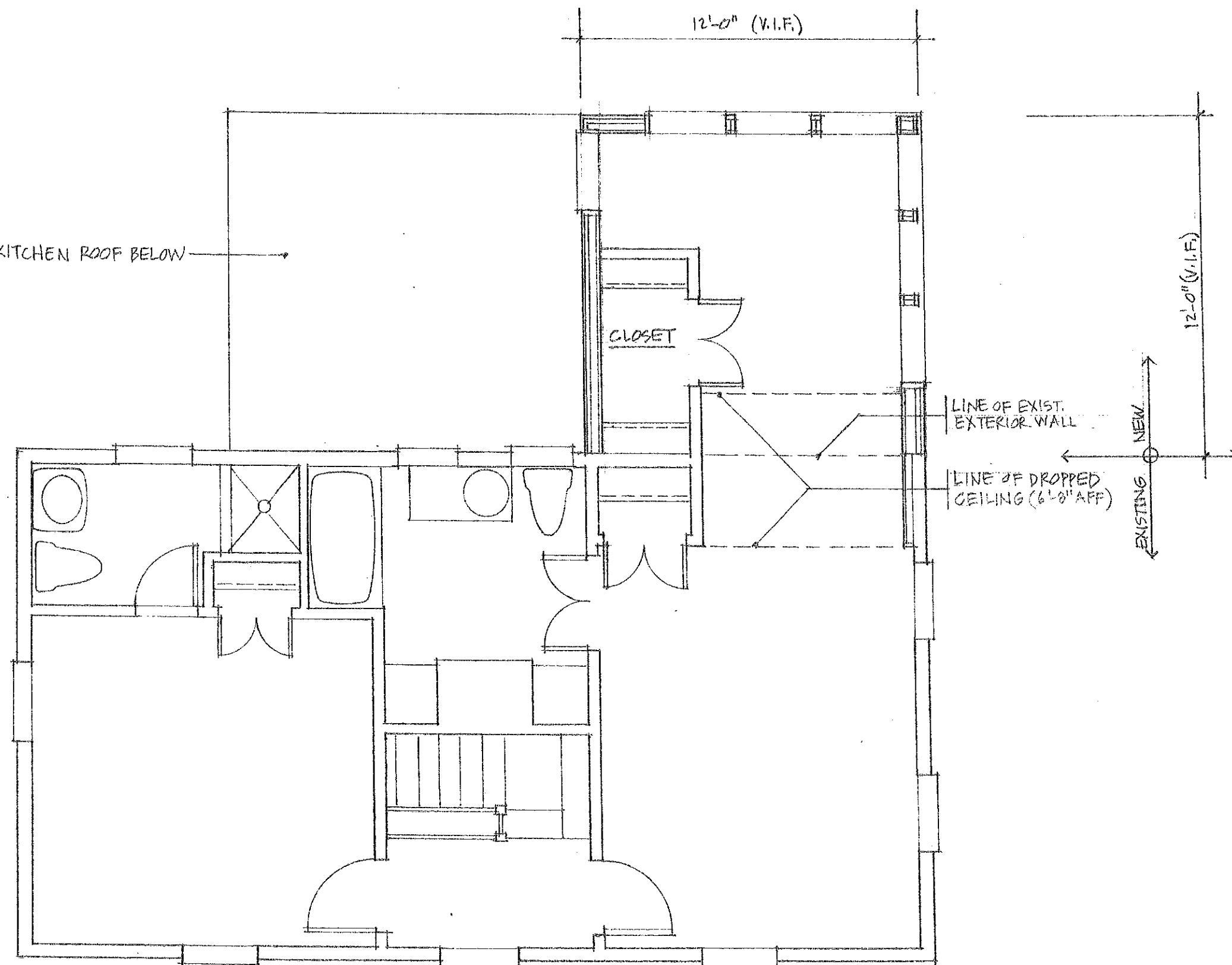




A101 FIRST FLOOR PLAN
50 WHIDDON STREET, PORTSMOUTH, N.H.

SCALE: 1/4"=1'-0"

SCOTT SIMONS ARCHITECT PORTLAND, ME 01.18.26

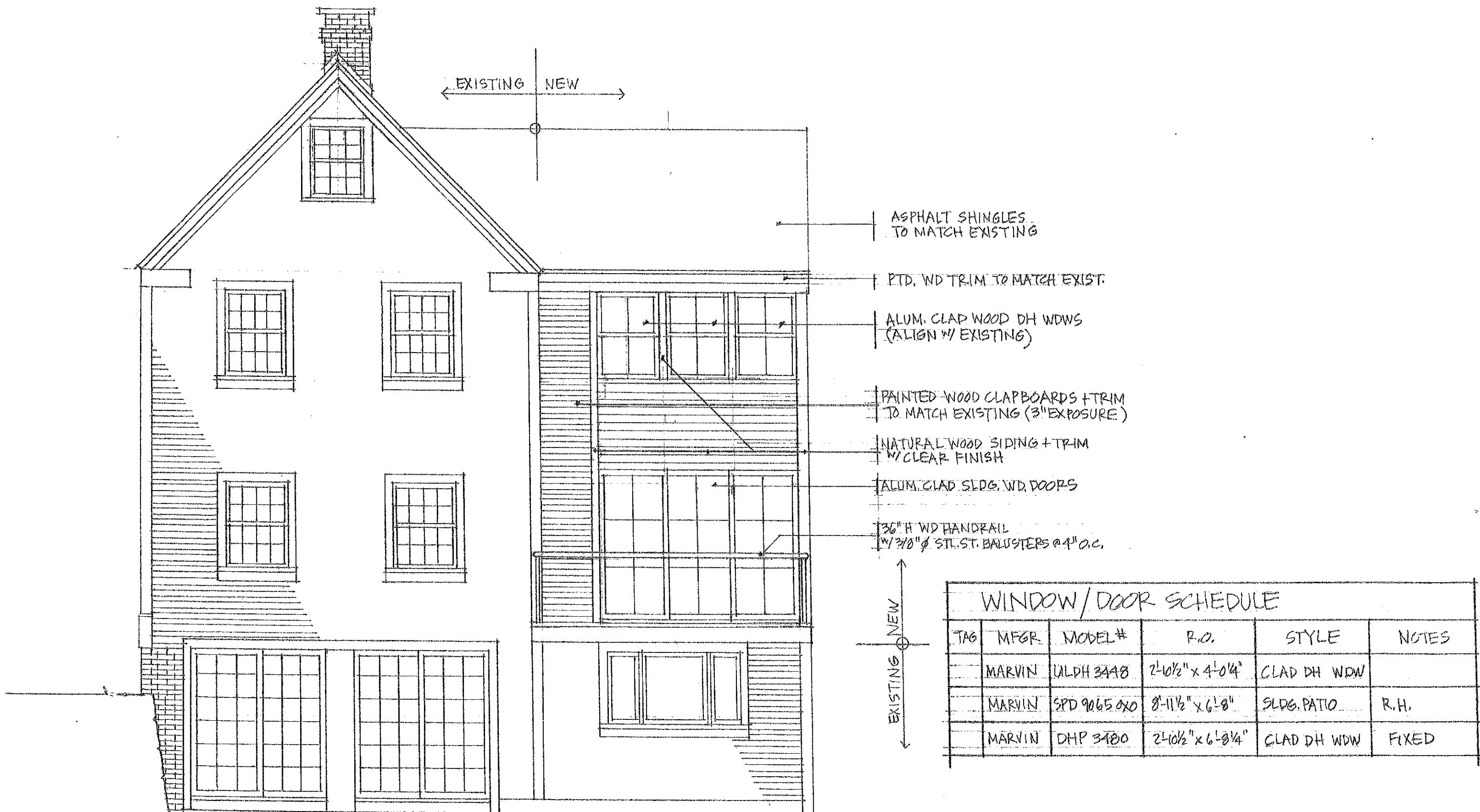


A102 SECOND FLOOR PLAN
50 WHIDDON STREET, PORTSMOUTH, N.H.

SCALE: $1/4"=10'$

SCOTT SIMONS ARCHITECT PORTLAND, ME

01.18.26



A201

SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

50 WHIDDON STREET, PORTSMOUTH, N.H.

SCOTT SIMONS ARCHITECT PORTLAND, ME 01.18.26



A202

EAST ELEVATION

50 WHIDDON STREET, PORTSMOUTH, N.H.

SCALE: 1/4"=10"

SCOTT SIMON'S ARCHITECT PORTLAND, ME 01.18.26