

**Ross Engineering, LLC**  
**Civil / Structural Engineering**

650 Islington Street  
Portsmouth, NH 03801

603-433-7560  
alexross@comcast.net

May 15, 2025

City of Portsmouth  
Planning Department  
1 Junkins Ave  
Portsmouth, NH 03801

**Extension Request**  
**806 Route 1 Bypass**  
**Tax Map 161, Lot 43**  
**Land Use Application 22-81**

The original Site Plan Approval for this site was granted on June 29, 2022 by the Planning Board. An extension to this site plan approval was granted on June 22, 2023.

In 2024, an amended site plan approval was requested to tie in the drainage improvement work for 806 Route 1 Bypass to the drainage improvement work on 822 Route 1 Bypass (LU-23-209). This required an additional extension to the original approval. A second extension and an amended site plan approval was granted on June 27, 2024.

In order to keep the business open and allow safe flow of traffic while constructing the drainage improvements, the work needed to be done in stages. A third extension was granted on June 25, 2025 in order to complete the on-going drainage improvement work before completing other items.

This drainage improvement work was completed over the past year and the owner is ready to complete the remaining work from the 2022 approval. Due to the expiration of the site plan approval occurring on June 23, 2026, another extension is necessary as the work cannot be completed prior to that date. A summary of the original work and amended work is listed below along with which items have been completed, as well as which items are remaining.

Administrative Approval was requested on 4-15-2026 to replace a fence that was damaged over the winter in the same location with the fence type matching the same fence installed on 822 Route 1 Bypass. The plan set attached to this extension request is dated 4-15-2026, which shows the proposed fence replacement. No other changes from the approved amended set dated 6-11-2024 have been proposed.

Original Improvements (Approved on June 29, 2022)

- Construct a new walk-in cooler addition
- Install 3 wall lights on walk-in cooler addition.
- Install a new gas meter on walk-in cooler addition
- Install 3 new lights on existing light poles.
- Install new drainage line and drainage structures to re-route drainage line that previously was located below the building.
- Install new sewer lateral from Stark St main.
- Re-stripe parking to create an ordinance conforming parking lot.
- Install a fence for new dumpster location.
- Install landscaping

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Amended Site Plan Improvements (Approved on June 27, 2024)

- Remove proposed landscaping in the US Route 1 Bypass ROW as per NHDOT request.
- Re-Route proposed drainage line to the north to connect to drainage improvements on 822 US Route 1 Bypass.

Work Completed

- Installed new drainage line and drain manholes to relocate line from under the building at 806 and connect to 822.
- Installed a new sewer lateral from the Stark St main.
- Installed a new light on LP2.

Work Remaining

- Construct a new walk-in cooler addition
- Install 3 wall lights on walk-in cooler addition
- Install new gas meter on walk-in cooler
- Install 2 new lights on LP1 and LP3.
- Re-stripe parking lot
- Install a new fence and relocate dumpsters to approved location.
- Install landscaping minus the proposed landscaping in the NHDOT ROW.

Sincerely

Alex Ross, P.E., L.L.S.

SEE NOTE 2

N/F  
CITY OF PORTSMOUTH  
NEW FRANKLIN SCHOOL  
1 FRANKLIN DRIVE  
PORTSMOUTH, NH 03802  
TAX MAP 220, LOT 2

RIGZ ENTERPRISES LLC  
TAX MAP 161, LOT 43  
RCRD 6225-2527  
22,611 SQFT, 0.52 ACRES

N/F  
GTY MA/NH LEASING INC  
786 US ROUTE 1 BYP.  
PORTSMOUTH, NH 03801  
TAX MAP 161, LOT 42  
RCRD 5207-1572

N/F  
RICHARD J SOLITO  
2 STARK ST  
PORTSMOUTH, NH, 03801  
TAX MAP 161, LOT 41  
RCRD 5455-1870

N/F  
BETHANY ALICE KUCHARIK  
507 DENNETT ST  
PORTSMOUTH, NH 03801  
TAX MAP 161, LOT 44  
RCRD 5790-2377

N/F LINDSAY FLORYAN  
493 DENNETT ST  
PORTSMOUTH, NH 03801  
TAX MAP 161, LOT 45  
RCRD 5804-2599

N/F RICHARD D ZOFFOLI TRUST  
822 US ROUTE 1 BYP.  
PORTSMOUTH, NH 03801  
TAX MAP 160, LOT 29  
RCRD 2860-0906

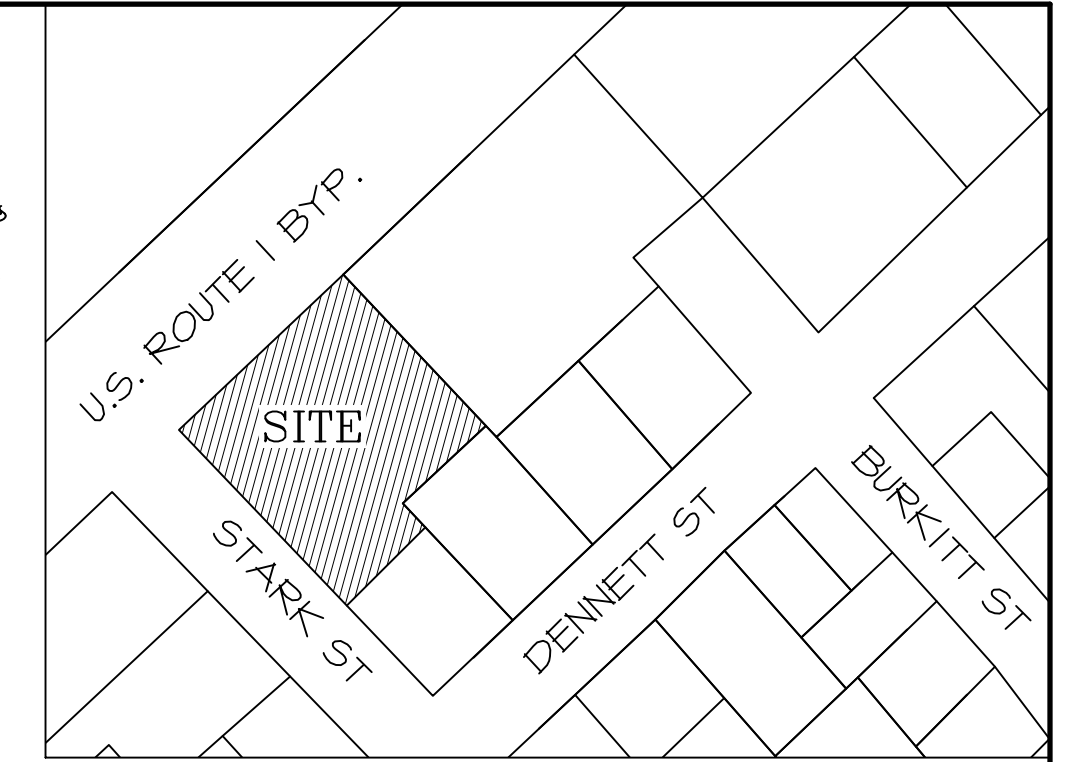
N/F PETER & JUDI  
PARADIS  
TAX MAP 160, LOT 27  
RCRD 3005-0228

**LEGEND**

- MONUMENT FOUND
- MONUMENT SET
- 6' STOCKADE FENCE
- ASPHALT CURB
- 6' CHAIN LINK FENCE
- UTILITY POLE
- CATCH BASIN

**NOTES**

- 1) OWNER OF RECORD:  
RIGZ ENTERPRISES  
18 DIXON LANE  
DERRY, NH 03038  
  
TAX MAP 161, LOT 43  
806 US ROUTE 1 BYPASS  
PORTSMOUTH, NH 03801  
RCRD: 6225-2527  
AREA: 22,611 SF, 0.52 ACRES
- 2) BASIS OF BEARING HELD FROM PLAN REFERENCE #1.
- 3) PARCEL IS IN BUSINESS ZONE (B):  
MINIMUM LOT AREA.....20,000 SF  
MIN. LOT AREA PER DWELLING UNIT.....2,500 SF  
MINIMUM FRONTAGE.....100 FT  
MINIMUM DEPTH.....80 FT  
SETBACKS:  
FRONT.....20 FT  
SIDE.....15 FT  
REAR.....15 FT  
MAXIMUM BUILDING HEIGHT.....50 FT  
MAXIMUM BUILDING COVERAGE.....35%  
MINIMUM OPEN SPACE.....15%
- 4) THE PARCEL IS NOT WITHIN A FEMA FLOOD ZONE,  
AS PER FLOOD INSURANCE RATE MAP  
#33015C0259F, PANEL 259 OF 681, DATED  
JANUARY 29, 2021. VERTICAL DATUM IS NAVD 1988.
- 5) A RIGHT TO PASS AND REPASS FROM THE  
INTERSTATE HIGHWAY USING THE EXITS IN COMMON  
WITH OTHERS LOCATED ON LAND FORMERLY OF D.  
RICHARD ZOFFOLI FOR PURPOSES OF PASSING  
AND REPASSING TO THE INTERSTATE HIGHWAY  
EXISTS TO THE BENEFIT OF LOT 43 OVER LAND OF  
LOT 29. SEE RCRD 2781-1490.
- 6) THE CITY PLANNING BOARD GRANTED SITE PLAN  
APPROVAL FOR THIS PROPERTY ON JUNE 23, 2022.  
A ONE YEAR EXTENSION WAS GRANTED AT THE  
JUNE 15, 2023 PLANNING BOARD MEETING.  
(LU-22-81)



**LOCUS PLAN  
N.T.S.**

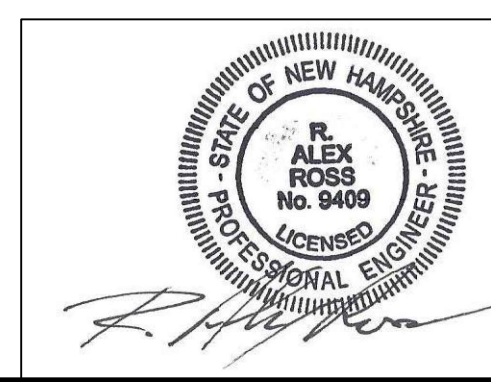
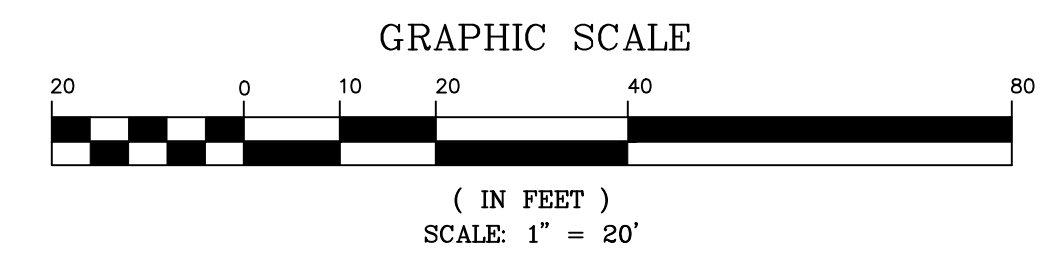
**EXISTING STRUCTURES**

- CATCH BASIN**
- CB 1  
RIM EL. 27.93  
INV. IN 21.61 (±20" PIPE) SW  
INV. OUT 20.58 (±20" PIPE) NE
  - CB 2  
RIM EL. 29.46  
INV. OUT 25.81 (12" CMP) SE
  - CB 3  
RIM EL. 29.19  
INV. IN 22.84 (12" CMP) SW  
INV. IN 22.74 (12" CMP) NE  
INV. IN 22.83 (24" RCP) NW  
INV. OUT 22.66 (24" RCP) SE
  - CB 4  
RIM EL. 30.48  
INV. IN 18.20 (±20") SW  
INV. IN 18.20 (24" RCP) NW  
INV. OUT 18.15 (24") NE

EXISTING BUILDING  
AREA = 3042 SF  
1ST FLR EL. 30.33'

**REFERENCE PLANS**

- 1) "SITE PLAN FOR HENRY S. DUTKOWSKI  
MONMA D'S CASA DI PASTA, 806 US  
ROUTE 1 BYPASS & STARK STREET" BY  
MILLETTE, SPRAGUE & COLWELL, INC.  
DATED JULY 15, 2004.



ISS.	DATE	DESCRIPTION OF ISSUE
9	4/15/2026	REVISIONS
8	6/11/2024	REVISIONS
7	6/4/2024	REVISIONS
6	5/17/2024	REVISIONS
5	5/22/2023	REVISIONS
4	5/25/2022	FOR PB

CHECKED: A. ROSS  
DRAWN: I.C.A.  
CHECKED:

**ROSS ENGINEERING, LLC**  
Civil/Structural Engineering  
& Surveying  
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Portsmouth, NH 03801  
(603) 433-7560

CLIENT  
RIGZ ENTERPRISES LLC  
18 DIXON LANE  
DERRY, NH 03038

TITLE

**EXISTING  
CONDITIONS  
PLAN**

806 US-1 BYP.  
PORTSMOUTH, NH 03801  
TAX MAP 161, LOT 43

JOB NUMBER	DWG. NO.	ISSUE
21-072	1 OF 7	9



N/F  
CITY OF PORTSMOUTH  
NEW FRANKLIN SCHOOL  
1 FRANKLIN DRIVE  
PORTSMOUTH, NH 03802  
TAX MAP 220, LOT 2

RIGZ ENTERPRISES, LLC  
TAX MAP 161, LOT 43  
RCRD 6225-2527  
22,611 SQFT, 0.52 ACRES

N/F  
GTY MA/VH LEASING INC  
786 US ROUTE 1 BYP.  
PORTSMOUTH, NH 03801  
TAX MAP 161, LOT 42  
RCRD 5207-1512

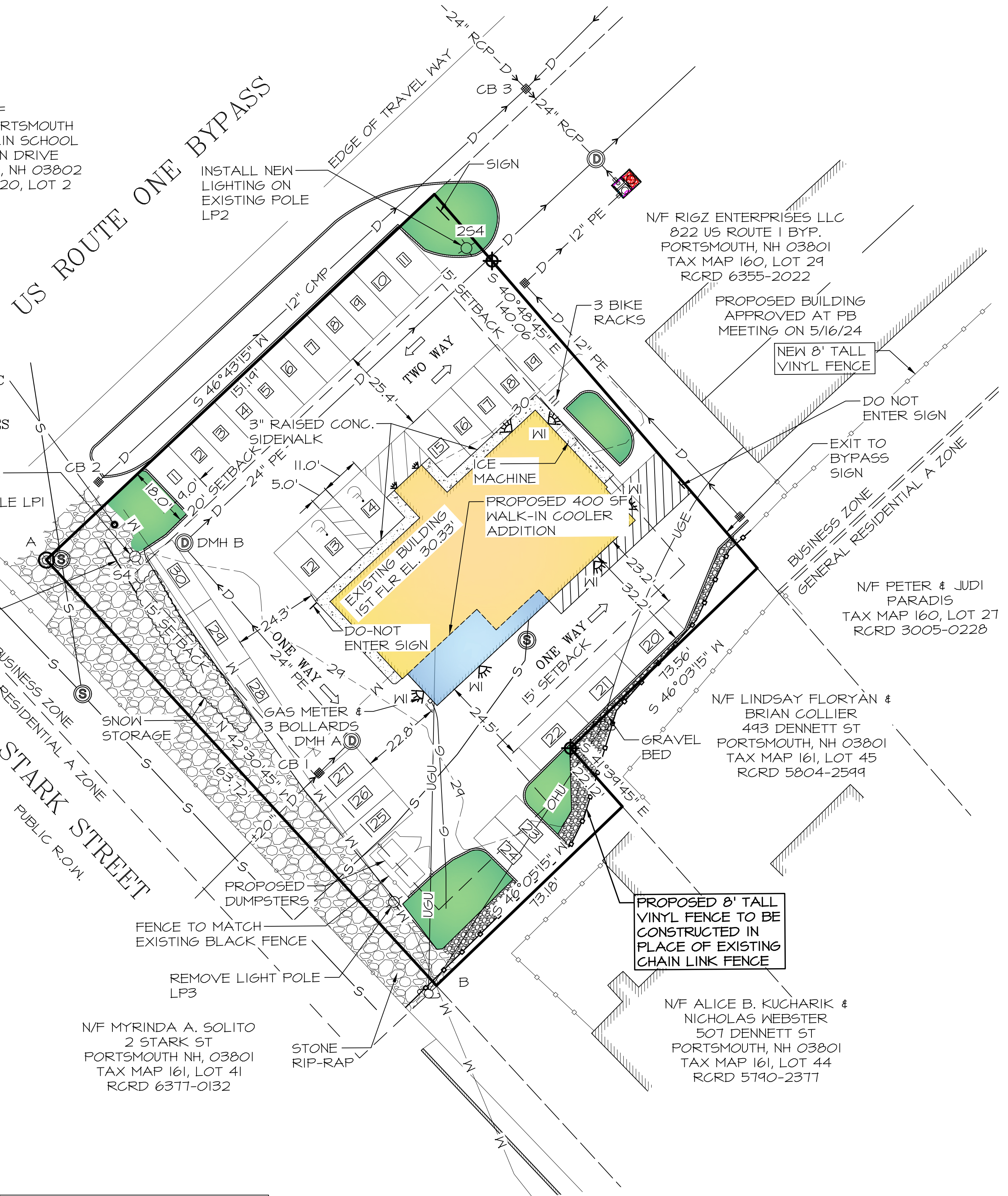
N/F MYRINDA A. SOLITO  
2 STARK ST  
PORTSMOUTH, NH, 03801  
TAX MAP 161, LOT 41  
RCRD 6377-0132

N/F RIGZ ENTERPRISES LLC  
822 US ROUTE 1 BYP.  
PORTSMOUTH, NH 03801  
TAX MAP 160, LOT 29  
RCRD 6355-2022

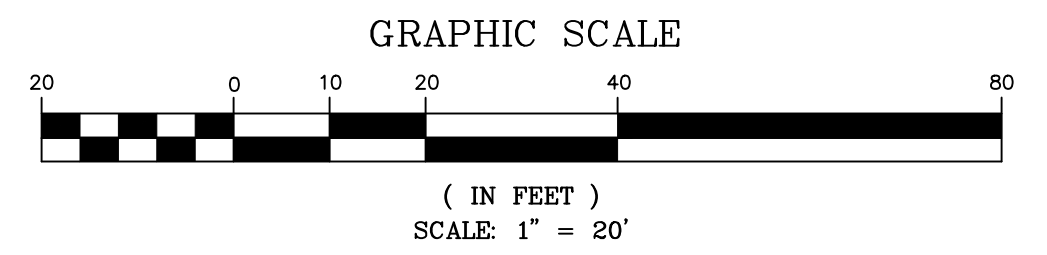
N/F PETER & JUDI  
PARADIS  
TAX MAP 160, LOT 27  
RCRD 3005-0228

N/F LINDSAY FLORYAN &  
BRIAN COLLIER  
443 DENNETT ST  
PORTSMOUTH, NH 03801  
TAX MAP 161, LOT 45  
RCRD 5804-2599

N/F ALICE B. KUCHARIK &  
NICHOLAS WEBSTER  
507 DENNETT ST  
PORTSMOUTH, NH 03801  
TAX MAP 161, LOT 44  
RCRD 5790-2377



ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.



**LEGEND**

- MONUMENT FOUND
- MONUMENT SET
- 6' STOCKADE FENCE
- ASPHALT CURB
- 6' CHAIN LINK FENCE
- UTILITY POLE
- CATCH BASIN
- WATER VALVE
- SEWER MANHOLE
- LAMP POST
- UNDERGROUND UTILITIES
- GAS LINE
- DRAIN LINE
- WATER LINE
- SEWER LINE
- LIGHT
- CLEANOUT

**NOTES**

- 1) OWNER OF RECORD:  
RIGZ ENTERPRISES  
18 DIXON LANE  
DERRY, NH 03038  
  
TAX MAP 161, LOT 43  
806 US ROUTE 1 BYPASS  
PORTSMOUTH, NH 03801  
RCRD: 6225-2527  
AREA: 22,611 SF, 0.52 ACRES
- 2) PARCEL 15 IN BUSINESS ZONE (B):  
MINIMUM LOT AREA.....20,000 SF  
MIN. LOT AREA PER DWELLING UNIT.....2,500 SF  
MINIMUM FRONTAGE.....100 FT  
MINIMUM DEPTH.....80 FT  
SETBACKS:  
FRONT.....20 FT  
SIDE.....15 FT  
REAR.....15 FT  
MAXIMUM BUILDING HEIGHT.....50 FT  
MAXIMUM BUILDING COVERAGE.....35%  
MINIMUM OPEN SPACE.....15%
- 3) COVERAGES:  
**BUILDING COVERAGE**  
EXISTING BUILDING COVERAGE  
BUILDING & COOLER 3,042 SF  
EXISTING STRUCTURE 3,042 SF  
BUILDING COVERAGE= 3,042 / 22,611 = 13.5%  
  
PROPOSED BUILDING COVERAGE  
BUILDING & COOLER 3,442 SF  
BUILDING COVERAGE 3,442 / 22,611 = 15.2%  
  
**OPEN SPACE**  
EXISTING OPEN SPACE  
BUILDING COVERAGE.....3,042 SF  
CONCRETE SIDEWALK.....455 SF  
ASPHALT PARKING.....15,958 SF  
ASPHALT CURB.....83 SF  
CONCRETE PAD 3 SF  
TOTAL LOT COVERAGE 19,541 SF  
EXISTING OPEN SPACE= 22,611-19,541 = 3,070 SF  
EXISTING OPEN SPACE= 3,070 / 22,611 = 13.6%  
  
PROPOSED OPEN SPACE  
BUILDING COVERAGE.....3,442 SF  
CONCRETE SIDEWALK.....457 SF  
ASPHALT PARKING.....14,500 SF  
ASPHALT CURB 171 SF  
TOTAL LOT COVERAGE 18,570 SF  
PROPOSED OPEN SPACE=22,611-18,570= 4,041 SF  
PROPOSED OPEN SPACE = 4,041 / 22,611 = 17.9%
- 4) PARKING SPACES:  
AS PER PORTSMOUTH ZONING ORDINANCE 10.1112.321, PARKING SPACES FOR RETAIL USE SHALL BE 1 SPACE PER 300 SF GROSS FLOOR AREA.  
  
3,442 SF / 300 SF/SPACE = 11.47 = 12 SPACES  
12 SPACES REQUIRED  
30 SPACES PROVIDED

- 5) THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- 6) ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- 7) ALL PROPOSED CURBING TO BE ASPHALT AND MATCH EXISTING. MINIMUM 5" REVEAL.
- 8) GIS COORDINATES OF TWO LOT CORNERS  
NORTHING EASTING  
A - NW CORNER 211322.113 1222327.652  
B - SW CORNER 211202.419 1222439.356
- 9) PLANNING BOARD APPROVAL FOR 822 US ROUTE 1 BYPASS WAS GRANTED ON MAY 16, 2024 AND IS SHOWN IN A NOTICE OF DECISION LETTER DATED MAY 23, 2024. ACCESS WAY AND DRAINAGE EASEMENTS FOR THIS PROPERTY ARE SHOWN IN THE APPROVED PLAN SET. MEASURES SHALL BE TAKEN BY THE OWNER TO ENSURE THAT ALL DRAINAGE AND ACCESS EASEMENTS ON BOTH 806 AND 822 US ROUTE 1 BYPASS WORK IN CONJUNCTION WITH EACH OTHER AND ARE PROPERLY RECORDED.

**WAIVERS**

- 1) A WAIVER WAS GRANTED BY THE PORTSMOUTH PLANNING BOARD ON JUNE 23, 2022 FROM THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS SECTION 9.3.5, TO LOCATE A DUMPSTER 12.2' FROM THE WESTERN PROPERTY LINE WHERE 20' IS REQUIRED.

ISS.	DATE	DESCRIPTION OF ISSUE
9	4/15/2026	REVISIONS
8	6/11/2024	REVISIONS
7	6/4/2024	REVISIONS
6	5/17/2024	REVISIONS
5	5/22/2023	REVISIONS
4	5/25/2022	FOR PB

SCALE 1" = 20'

CHECKED A. ROSS

DRAWN D.D.D.

CHECKED

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Portsmouth, NH 03801  
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18 DIXON LANE  
DERRY, NH 03038

TITLE

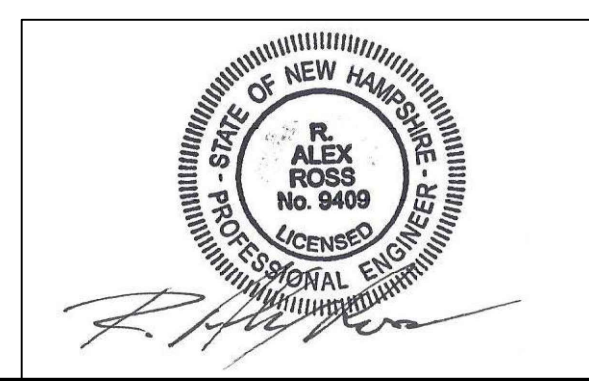
**SITE PLAN**

806 US-1 BYP.  
PORTSMOUTH, NH 03801  
TAX MAP 161, LOT 43

JOB NUMBER	DWG. NO.	ISSUE
21-072	2 OF 7	9

CITY OF PORTSMOUTH PLANNING BOARD

CHAIRPERSON \_\_\_\_\_ DATE \_\_\_\_\_





N/F  
CITY OF PORTSMOUTH  
NEW FRANKLIN SCHOOL  
1 FRANKLIN DRIVE  
PORTSMOUTH, NH 03802  
TAX MAP 220, LOT 2

RIGZ ENTERPRISES, LLC  
TAX MAP 161, LOT 43  
RCRD 6225-2527  
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N/F  
GTY MA/WH LEASING INC  
786 US ROUTE 1 BYP.  
PORTSMOUTH, NH 03801  
TAX MAP 161, LOT 42  
RCRD 5207-1572

US ROUTE ONE BYPASS

STARK STREET

**PROPOSED LIGHTING**

DESCRIPTION	CATALOG NUMBER	QTY
LIGHT POLE (254)	LITHONIA LIGHTING - D5X0 LED P4 30K 80CRI TFTM MVOLT 5PA DDBXD WITH 555 18 4C DM29A5 DDBXD	1
LIGHT POLE (54)	LITHONIA LIGHTING - D5X0 LED P4 30K 80CRI TFTM MVOLT 5PA DDBXD WITH 555 18 4C DM19A5 DDBXD	1
WALL PACK (WI)	LITHONIA LIGHTING - WIDGEI LED P1 30K 80CRI VM MVOLT SRM DDBXD	6

**UTILITIES:**

**CONTACT LIST:**  
GAS: UNITIL: SUSAN L. DUPLISEA.....603-294-5147  
WATER: PORTSMOUTH DPW: .....603-427-1530  
SEWER: PORTSMOUTH DPW: .....603-427-1530  
STORMWATER: PORTSMOUTH DPW: .....603-427-1530  
ELECTRIC: EVERSOURCE: CASEY MCDONALD.....603-436-7708 EXT 5641

**PROPOSED UTILITIES:**

- STORMWATER:**  
EXISTING DRAINAGE LINE UNDER THE BUILDING TO BE TAKEN OUT OF SERVICE AND FILLED WITH FLOWABLE FILL CONCRETE.  
  
INSTALL DMH A & DMH B WITH 24" PE PIPING CONNECTING CB 1 TO THE DRAINAGE IMPROVEMENTS ON LOT 29.  
  
SILTSACKS TO BE INSTALLED ON CATCH BASINS 1 & 4 PRIOR TO CONSTRUCTION. SILTSACKS TO REMAIN IN PLACE UNTIL DRAINAGE SYSTEM IS FULLY OPERATIONAL.  
  
3 NEW CATCH BASINS TO BE INSTALLED ON 822 US ROUTE 1 BYPASS AS PART OF DRAINAGE IMPROVEMENTS. SILTSACKS TO BE INSTALLED ON THESE CATCH BASINS DURING CONSTRUCTION UNTIL DRAINAGE SYSTEM IS FULLY OPERATIONAL..
- GAS:**  
A NEW METER WILL BE INSTALLED ON THE SIDE OF THE WALK-IN COOLER. THE EXISTING GAS LINE WILL BE RE-ROUTED TO THE NEW METER.
- LIGHTING:**  
INSTALL THE LIGHTS SHOWN ON THE PROPOSED LIGHTING TABLE ONTO EXISTING POLES LPI AND LP2.  
REMOVE EXISTING LIGHT POLE LP3.
- SEWER:**  
ACCORDING TO DPW, THE EXISTING SEWER LINE TRAVELS TOWARDS DENNETT STREET. A NEW SEWER LINE SHALL BE INSTALLED TO THE LATERAL BY PARKING SPACE 25. PROPER SIZE, TYPE, AND CONNECTION AS PER CITY DPW.  
  
EXISTING SEWER SERVICE TO DENNETT STREET SHALL BE DISCONNECTED AND CAPPED. THIS SHALL BE DONE BEHIND THE CURB SO AS NOT TO DISTURB THE PAVEMENT ON DENNETT ST. CONTRACTOR TO COORDINATE WITH DPW ON DISCONNECTION.

**EXISTING STRUCTURES**  
**CATCH BASIN**

CB 1  
RIM EL. 27.93  
INV. IN 21.61 (±20" PIPE) SW  
INV. OUT 20.58 (±20" PIPE) NE

CB 2  
RIM EL. 29.46  
INV. OUT 25.81 (12" CMP) SE

CB 3  
RIM EL. 29.19  
INV. IN 23.84 (12" CMP) SW  
INV. IN 22.74 (12" CMP) NE  
INV. IN 22.83 (24" RCP) NW  
INV. OUT 22.66 (24" RCP) SE

CB 4  
RIM EL. 30.48  
INV. IN 18.20 (±20") SW  
INV. IN 18.20 (24" RCP) NW  
INV. OUT 18.15 (24") NE

**PROPOSED STRUCTURES**  
**CATCH BASIN**

CB 1  
RIM EL. 27.93  
INV. IN 21.61 (±20" PIPE) SW  
INV. OUT 21.50 (24" PE) NE - PROPOSED LINE

**DRAIN MANHOLE**

DMH A  
RIM EL. 28.50  
INV. IN 21.44 (24" PE) SW  
INV. OUT 21.40 (24" PE) NW  
STRUCTURE: 5' Ø CONCRETE BASIN

DMH B  
RIM EL. 29.17  
INV. IN 21.00 (24" PE) SE  
INV. OUT 20.96 (24" PE) NE  
STRUCTURE: 5' Ø CONCRETE BASIN

**EXISTING LIGHT POLE HEIGHTS**

LP 1 - 19.6'  
LP 2 - 28.41'  
LP 3 - 27.9'

**PROPOSED LIGHTING**

DESCRIPTION	CATALOG NUMBER	QUANTITY
WALL LIGHT (LP4)	KT-WPLED60-M2-8XX-VDIM	3
LIGHT POLE (LPI-LP3)	KT-ALED140-M1-X-NM-8XX-VDIM	3

NO.	DATE	FOR	DESCRIPTION OF ISSUE
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5	5/22/2023		REVISIONS
4	5/25/2022	FOR PB	

ISS. DATE DESCRIPTION OF ISSUE  
SCALE 1" = 20'  
CHECKED A.ROSS  
DRAWN D.D.D.  
CHECKED

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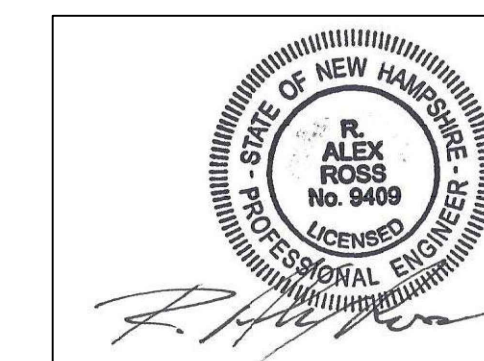
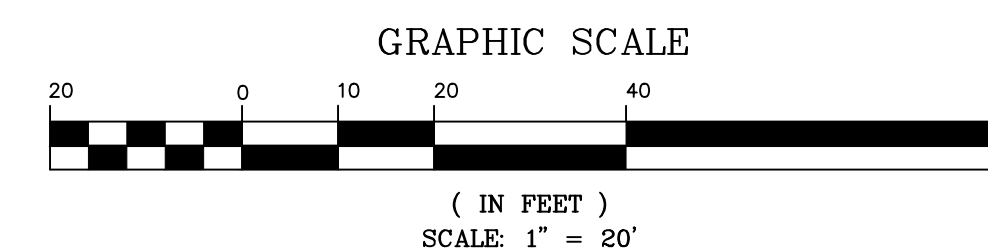
TITLE

**UTILITY PLAN**  
806 US-1 BYP.  
PORTSMOUTH, NH 03801  
TAX MAP 161, LOT 43

JOB NUMBER 21-072 DWG. NO. 3 OF 7 ISSUE 9

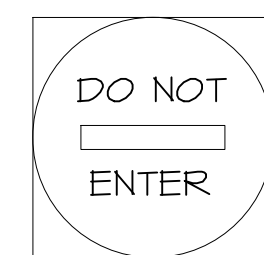
**GENERAL NOTES**

- CONTRACTOR TO REVIEW ALL SURFACING TYPES, AND MATERIAL SPECIFICATIONS WITH COMMISSIONER OF PUBLIC WORKS.
- ALL NECESSARY NHDOT, NHDES & TOWN PERMITS MUST BE OBTAINED.
- ALL CONSTRUCTION SHALL BE PER NH-DOT, STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION. LATEST REVISION.
- CONTRACTOR SHALL MEET STATE AND TOWN REQUIREMENTS, TO ASSURE TYPE, SEPARATION, COVER, ETC. ALWAYS CALL DIGSAFE PRIOR TO DIGGING. UTILITIES SHOWN ARE APPROXIMATE AND MUST BE VERIFIED.
- SIZE ALL LINES AS PER REQUIREMENTS AND ASSURE THAT PROPOSED LOADING AND PRESSURE DEMANDS WILL BE MET.

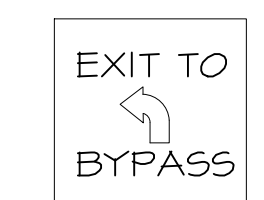


**LEGEND**

- ⊙ MONUMENT FOUND
- ⊕ MONUMENT SET
- 6' STOCKADE FENCE
- ASPHALT CURB
- 6' CHAIN LINK FENCE
- ⊕ UTILITY POLE
- CATCH BASIN
- ⊗ WATER VALVE
- ⊙ SEWER MANHOLE
- ⊕ LAMP POST
- UGU UNDERGROUND UTILITIES
- G GAS LINE
- D DRAIN LINE
- W WATER LINE
- S SEWER LINE
- ⊕ LIGHT



R5-1  
30"x30"  
RED & WHITE



CUSTOM  
20"x20"  
BLACK & WHITE

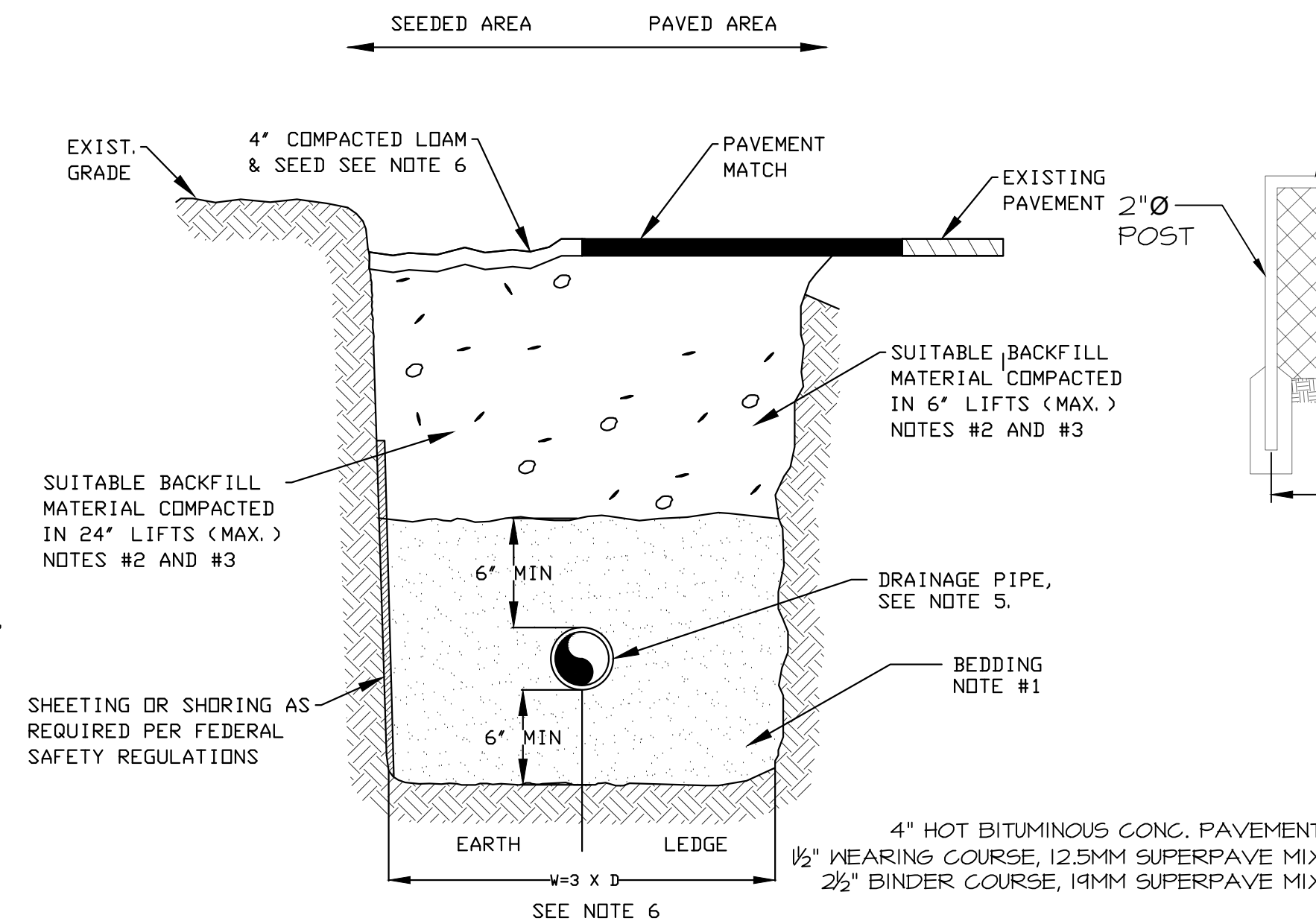
**SIGN DETAILS**  
SCALE: NTS



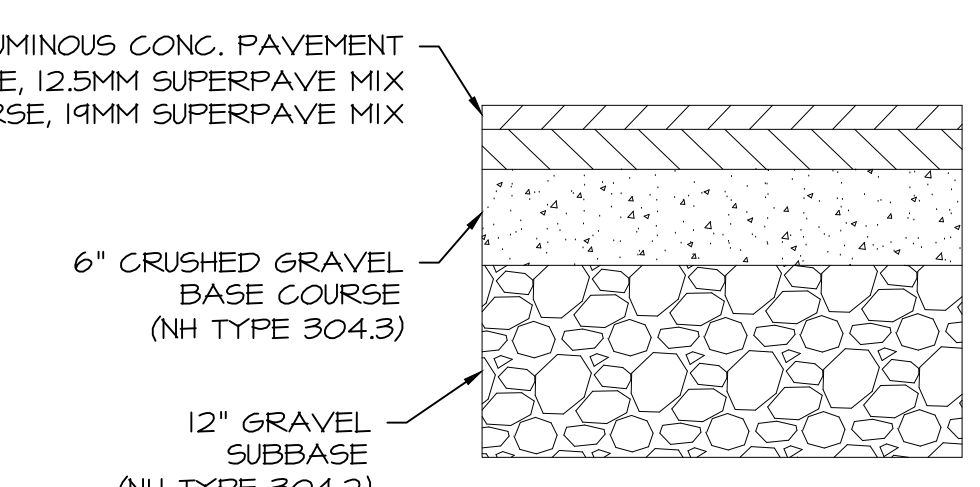


**TRENCH NOTES - STORM DRAIN:**

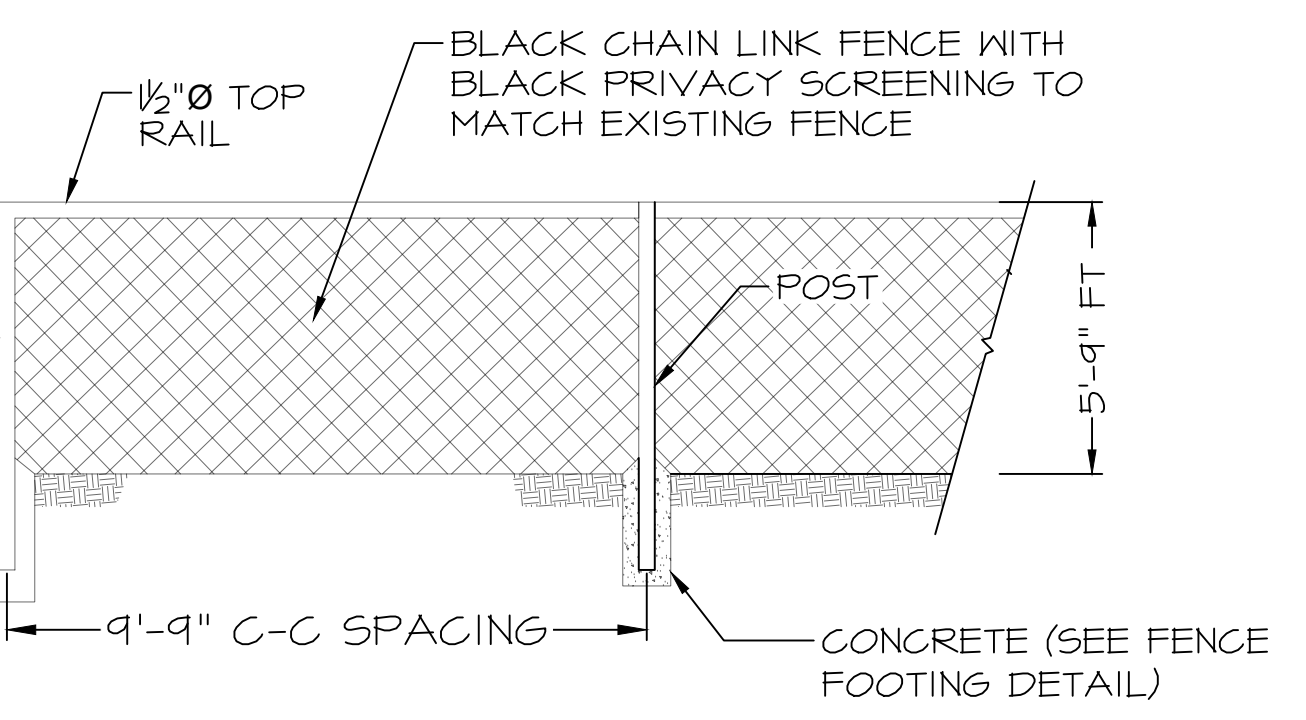
- BEDDING:** BEDDING FOR PIPES SHALL CONSIST OF PREPARING THE BOTTOM OF THE TRENCH TO SUPPORT THE ENTIRE LENGTH OF THE PIPE AT A UNIFORM SLOPE AND ALIGNMENT. CRUSHED STONE SHALL BE USED TO BED THE PIPE TO THE ELEVATION SHOWN ON THE DRAWINGS. NORMAL PIPE BEDDING IS CRUSHED STONE TO THE HAUNCH OF THE PIPE AND SAND BEDDING 6' ABOVE THE CROWN. IF THE TOP OF THE PIPE IS LESS THAN 30" FROM FINISH GRADE, BED PIPE COMPLETELY IN STONE UP TO 6' ABOVE PIPE CROWN. UNDERDRAIN TO HAVE 4" MIN' OF STONE OVER PIPE OR AS NECESSARY TO BE IN CONTACT WITH GRAVEL LAYER OF SELECTS ABOVE FILTER FABRIC TO BE PLACED IN BETWEEN ALL STONE BEDDING MATERIAL AND SUBSEQUENT LAYERS OF FILL MATERIAL.
- COMPACTION:** ALL BACKFILL SHALL BE COMPACTED AT OR NEAR OPTIMUM MOISTURE CONTENT BY PNEUMATIC TAMPERS, VIBRATORY COMPACTORS OR OTHER APPROVED MEANS. BACKFILL BENEATH PAVED SURFACES SHALL BE COCOMPACTED TO NOT LESS THAN 95 PERCENT OF AASHTO T99, METHOD C.
- SUITABLE MATERIAL:** IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS; PIECES OF PAVEMENT; ORGANIC MATTER; TOP SOIL; ALL WET OR SOFT MUCK, PEAT, OR CLAY; ALL EXCAVATED LEDGE MATERIAL; ROCKS OVER 6 INCHES IN LARGEST DIMENSION; FROZEN EARTH AND ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION.  
  
IN SEEDED AREAS, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAD, ROCKS UNDER 12", FROZEN EARTH OR CLAY, IF HE/SHE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EAST ACCESS TO THE PIPE WILL BE PRESERVED.
- BASE COURSE AND PAVEMENT:** SHALL MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES - DIVISIONS 300 AND 400 RESPECTIVELY.
- DRAINAGE PIPE:** PIPE MATERIALS SHALL BE POLYETHYLENE (SEE SPECIFICATIONS).
- W=MAXIMUM ALLOWABLE TRENCH WIDTH:** W SHALL BE THE MAXIMUM PAYMENT WIDTH FOR ROCK EXCAVATION (TRENCH) AND FOR ORDERED EXCAVATION BELOW GRADE.



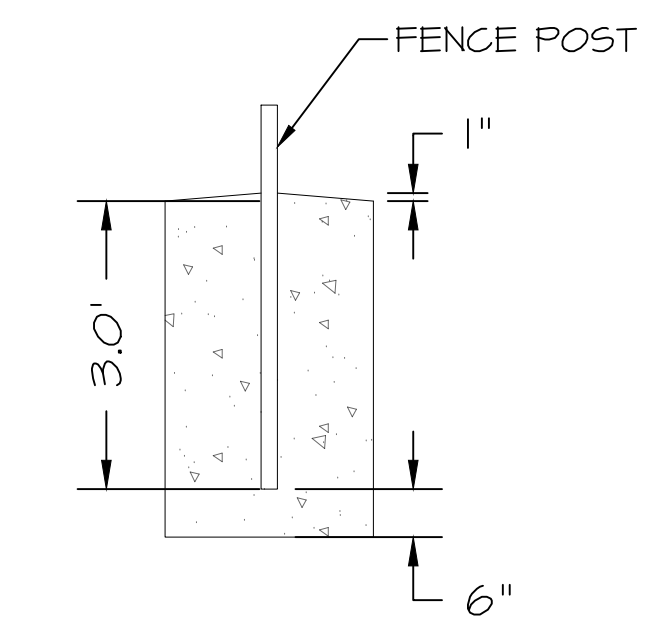
**TRENCH DETAIL-STORM DRAIN**  
Scale: N.T.S.



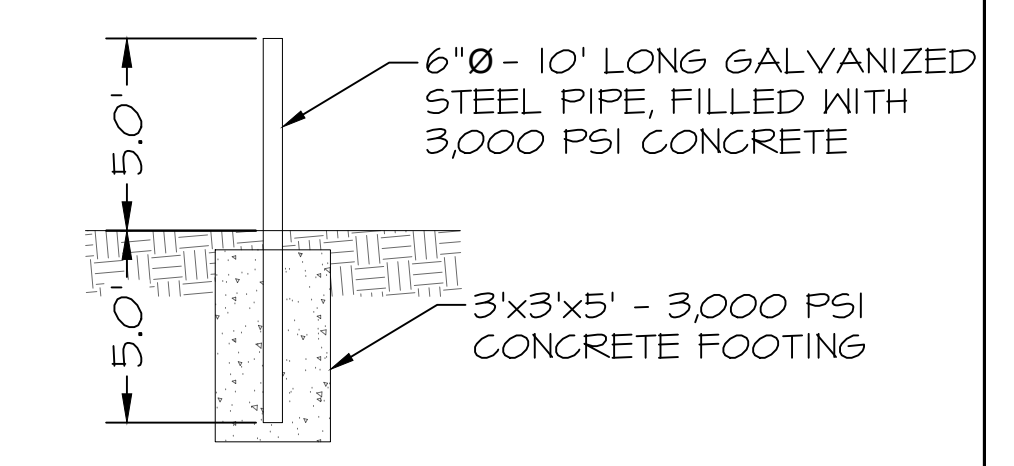
**ASPHALT PAVEMENT DETAIL**  
Scale: N.T.S.



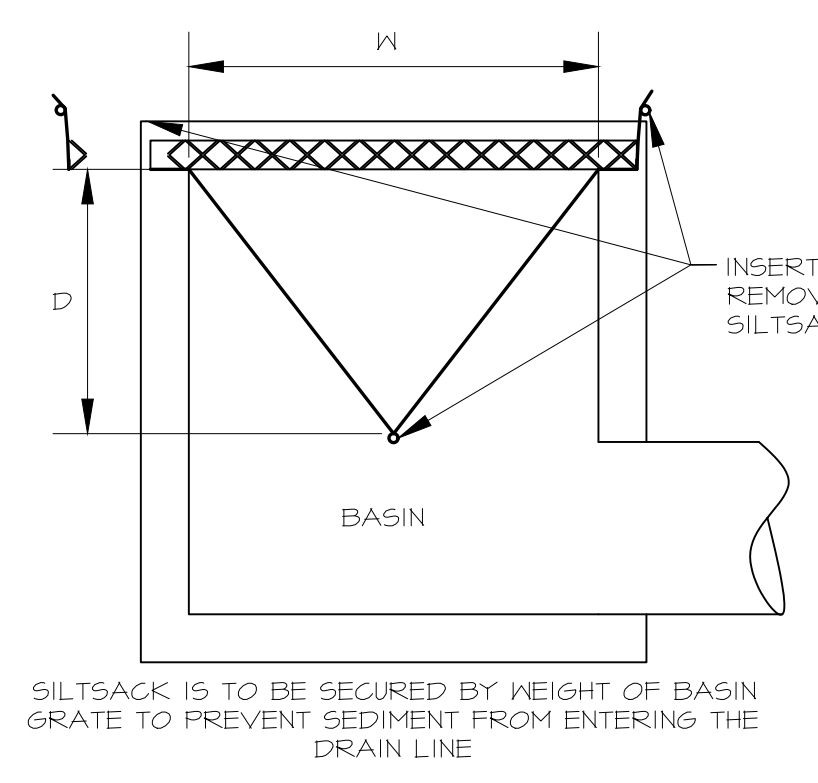
**CHAIN LINK FENCE DETAIL**  
SCALE: N.T.S.



**FENCE FOOTING DETAIL**  
SCALE: N.T.S.

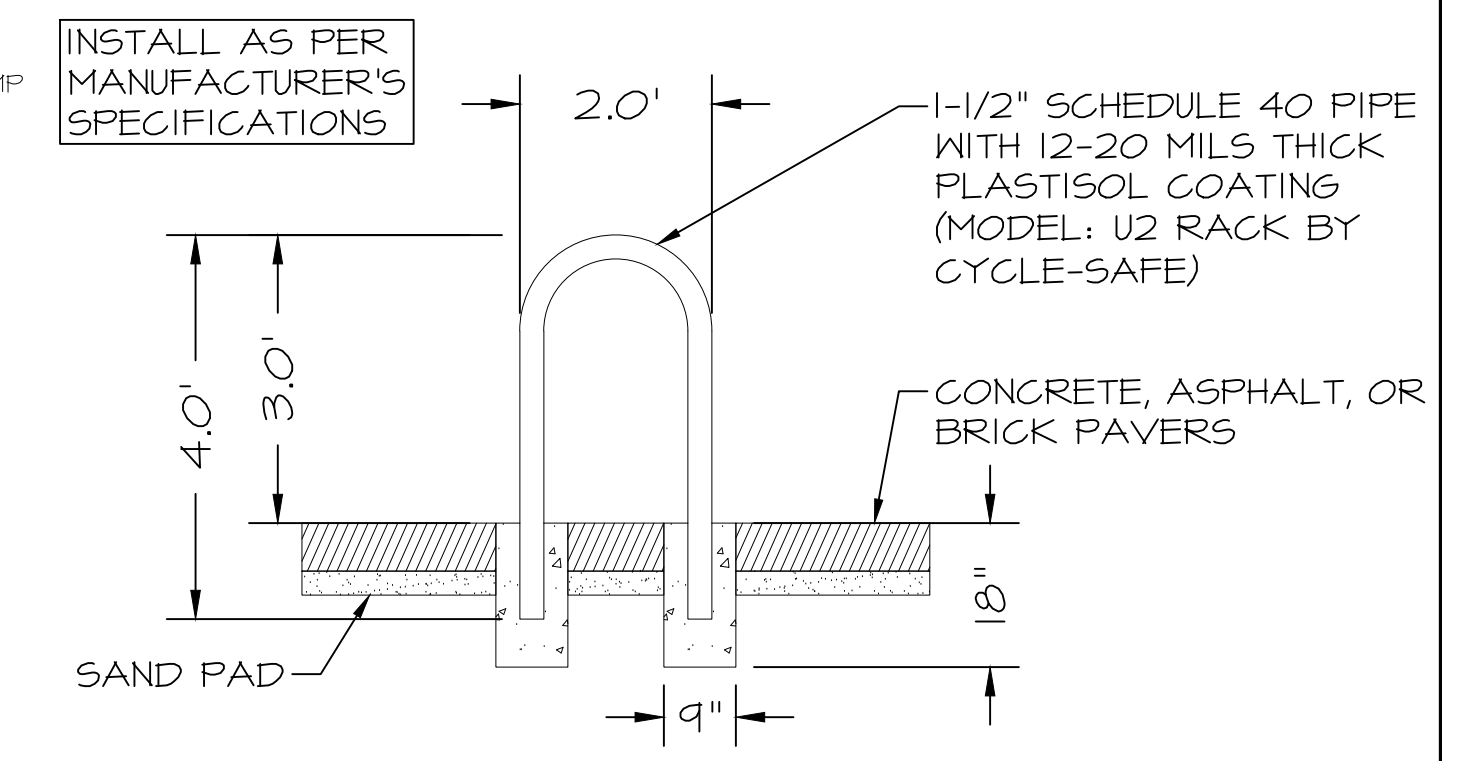


**BOLLARD DETAIL**  
SCALE: N.T.S.

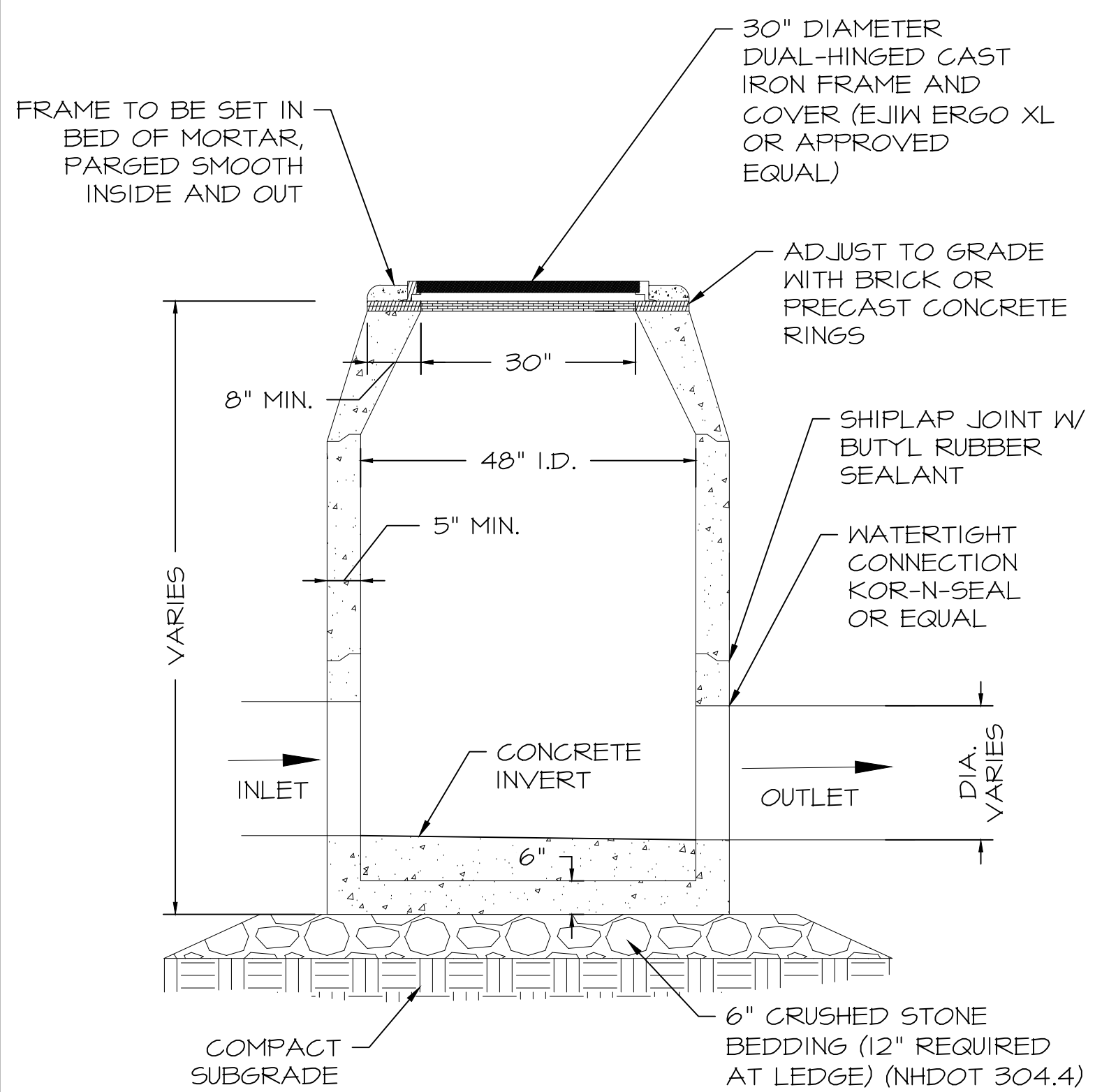


SILT SACK IS TO BE SECURED BY WEIGHT OF BASIN GRATE TO PREVENT SEDIMENT FROM ENTERING THE DRAIN LINE.  
  
INSTALL SILT SACK TO CATCH BASINS 1 & 4 PRIOR TO CONSTRUCTION & TO CATCH BASINS A, B, & C DURING CONSTRUCTION. DO NOT REMOVE SILT SACK UNTIL CONSTRUCTION IS COMPLETE AND DRAINAGE LINE IS FULLY OPERATIONAL. (SEE SHEET 3)

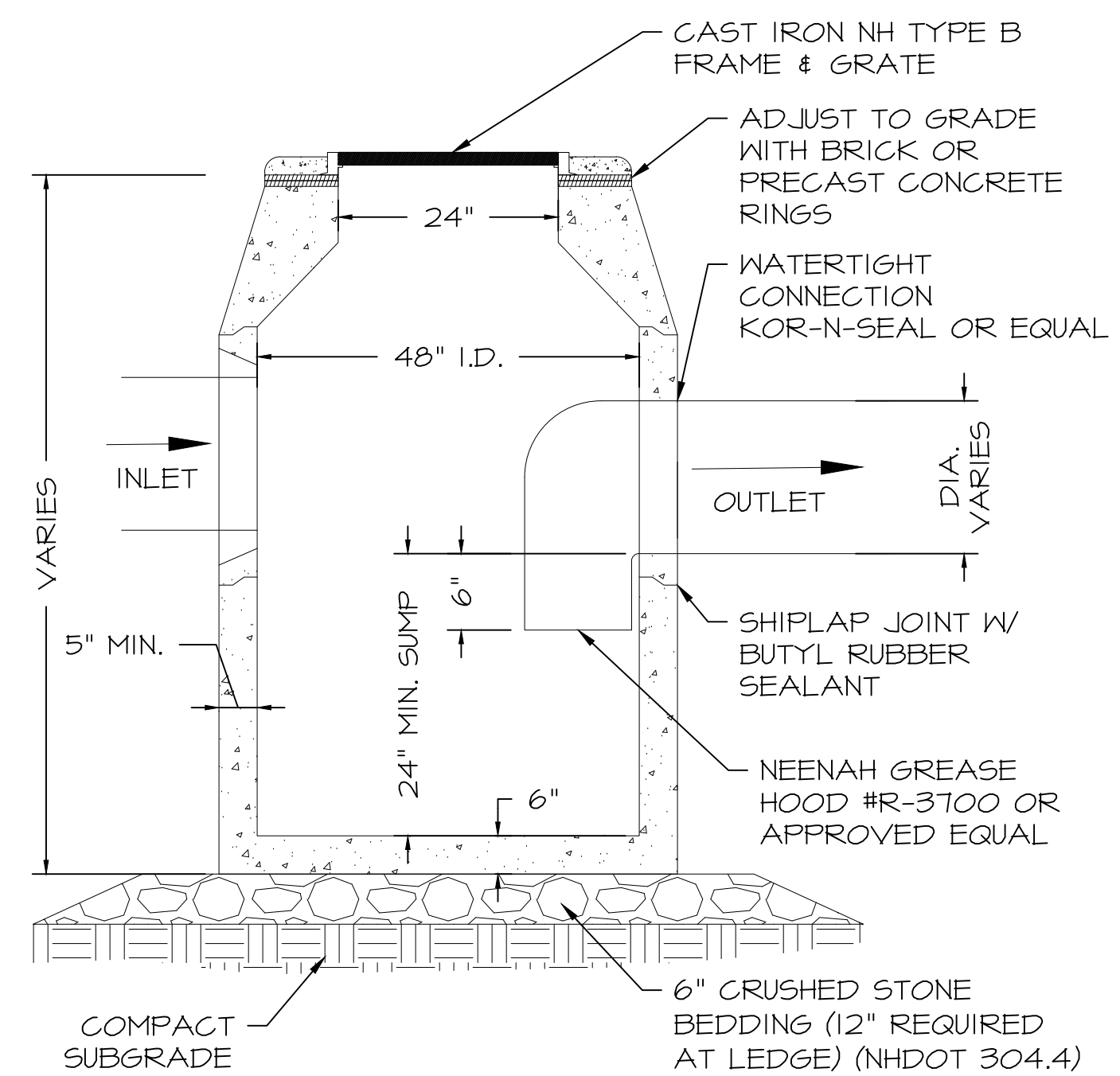
**Silt sack**  
N.T.S.



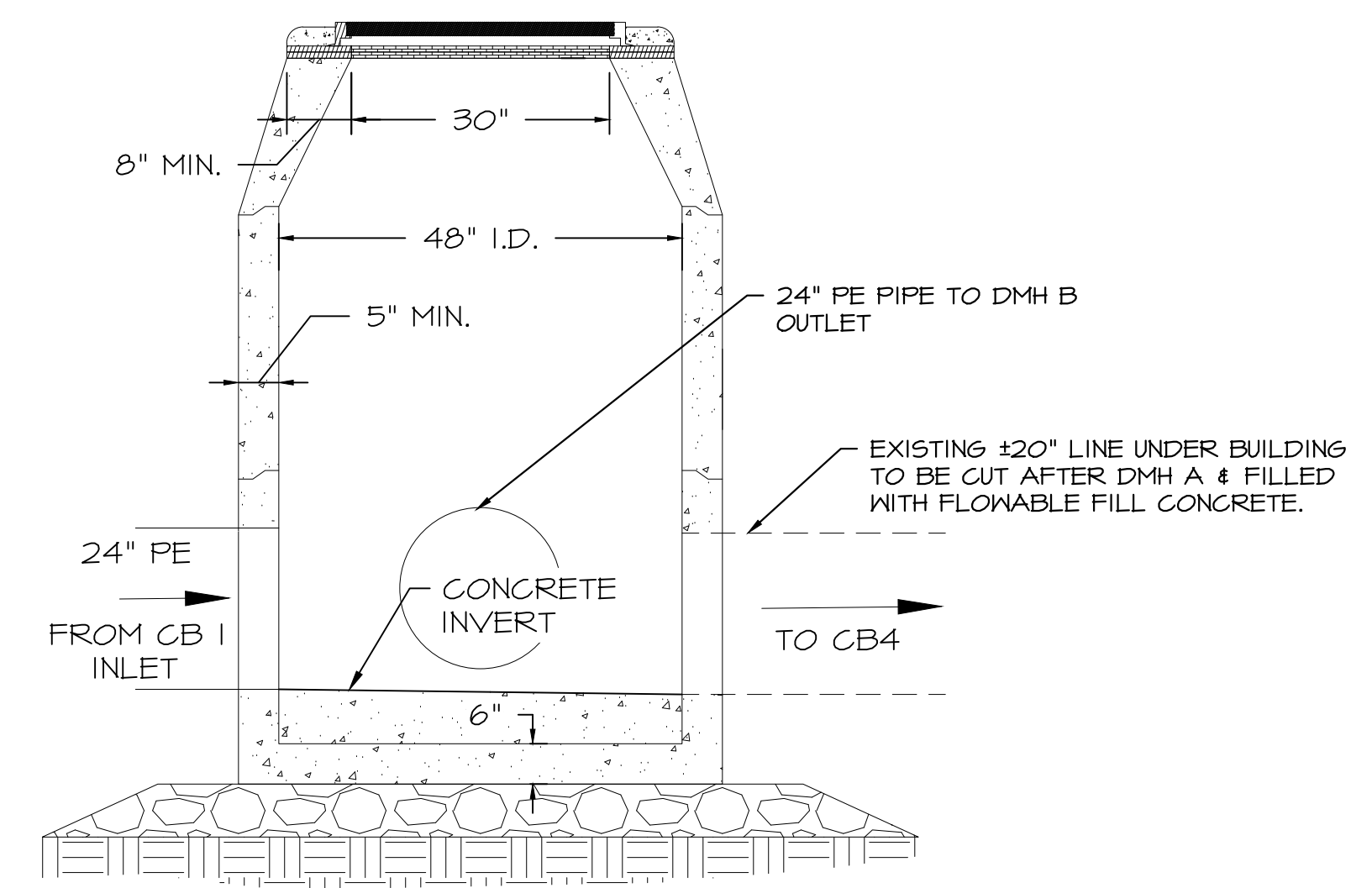
**UPTURNED "U" BICYCLE RACK**  
SCALE: N.T.S.



**PROPOSED DRAIN MANHOLE (TYP)**  
N.T.S.



**PROPOSED CATCH BASIN (TYP)**  
N.T.S.



**DRAIN MANHOLE A DETAIL**  
N.T.S.

**AMENDED DETAILS PLAN**  
• MANHOLE & CATCH BASIN DETAILS REVISED

- NOTES**
- ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
  - CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
  - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
  - CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN PER LINEAR FT. IN ALL SECTIONS & SHALL BE PLACED IN THE CENTER THIRD OF WALL.
  - THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ IN PER LINEAR FT.
  - EACH CASTING TO HAVE LIFTING HOLES CAST IN.

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NO.	DATE	REVISIONS
9	4/15/2026	REVISIONS
8	6/11/2024	REVISIONS
7	6/4/2024	REVISIONS
6	5/17/2024	REVISIONS
5	5/22/2023	REVISIONS
4	5/25/2022	FOR PB

ISS. DATE DESCRIPTION OF ISSUE  
SCALE 1" = 20'  
CHECKED A.ROSS  
DRAWN D.D.D.  
CHECKED

**ROSS ENGINEERING, LLC**  
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909 Islington St.  
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(603) 433-7560

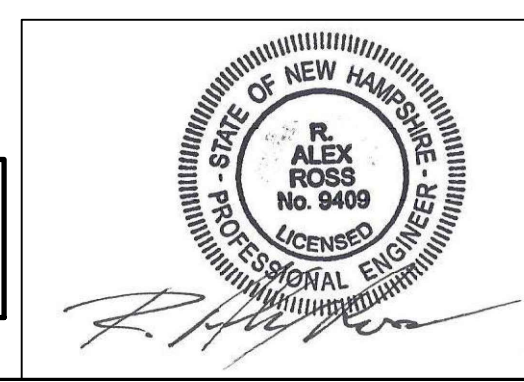
CLIENT  
RIGZ ENTERPRISES LLC  
18 DIXON LANE  
DERRY, NH 03038

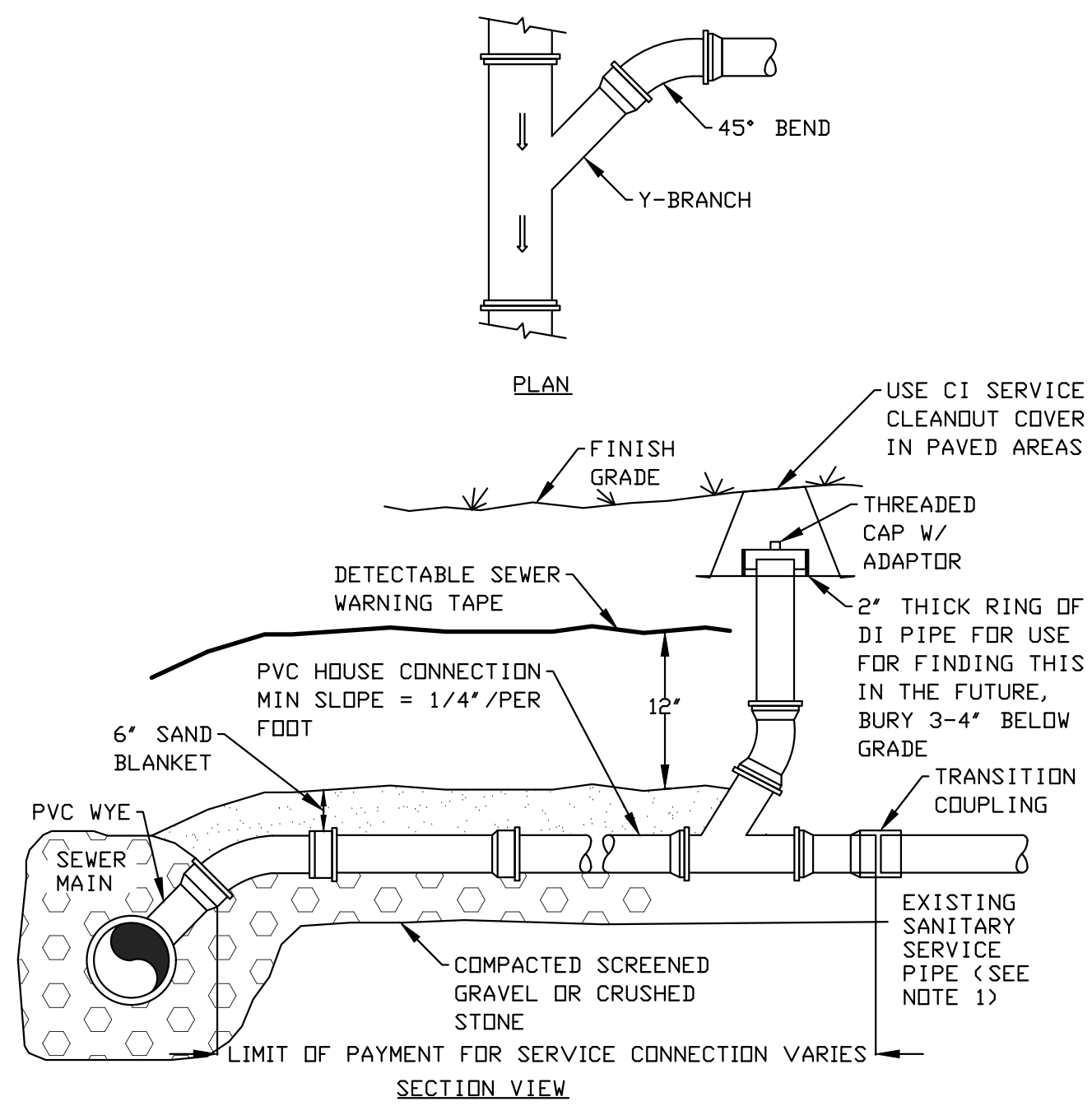
TITLE

**NOTES & DETAILS**

806 US-1 BYP.  
PORTSMOUTH, NH 03801  
TAX MAP 161, LOT 43

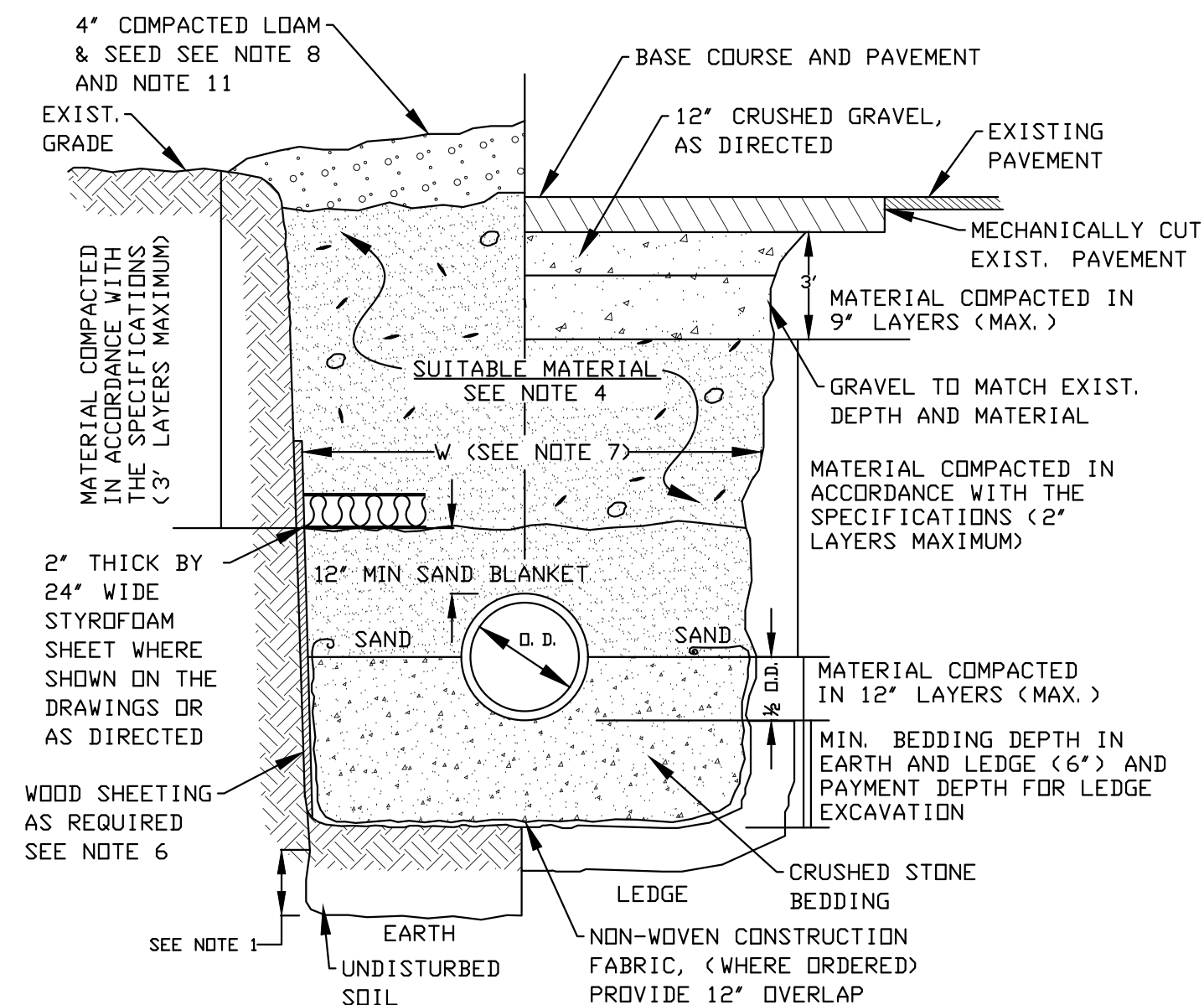
JOB NUMBER	DWG. NO.	ISSUE
21-072	6 OF 7	9





**TYPICAL SERVICE CONNECTION**

Scale: N.T.S.



**TRENCH DETAIL- GRAVITY SEWER**

Scale: N.T.S.

**GRAVITY SEWER TRENCH NOTES:**

- 1) **ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE:** BACKFILL AS STATED IN THE TECHNICAL SPECIFICATIONS OR AS SHOWN ON THE DRAWINGS.
- 2) **BEDDING:** SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33. STONE SIZE NO. 67.  
100% PASSING 1 INCH SCREEN  
0-10% PASSING #4 SIEVE  
90-100% PASSING 3/4 INCH SCREEN  
0-5% PASSING #8 SIEVE  
20-55% PASSING 3/8 INCH SCREEN  
WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE, SCREENED GRAVEL OR CRUSHED STONE 1-1/2 INCH TO 1/2 INCH SHALL BE USED.
- 3) **SAND BLANKET:** CLEAN SAND FREE FROM ORGANIC MATTER, SD GRADED THAT 90-100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #200 SIEVE. NO STONE LARGER THAN 2" SHOULD BE IN CONTACT WITH THE PIPE.
- 4) **SUITABLE MATERIAL:** IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS; PIECES OF PAVEMENT; ORGANIC MATTER; TOP SOIL; ALL WET OR SOFT MUCK, PEAT, OR CLAY; ALL EXCAVATED LEDGE MATERIAL; ALL ROCKS OVER 6 INCHES IN LARGEST DIMENSION; AND ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION. IN CROSS-COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK, OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER FOR MAINTENANCE AND POSSIBLY RECONSTRUCTION, WILL BE PRESERVED.
- 5) **BASE COURSE AND PAVEMENT** SHALL MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES - DIVISIONS 300 AND 400 RESPECTIVELY AND LOCAL REGULATION.
- 6) **WOOD SHEATHING, IF REQUIRED:** WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION 1 FOOT ABOVE THE TOP OF PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
- 7) **W = MAXIMUM ALLOWABLE TRENCH PAYMENT WIDTH** FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 12 INCHES IN NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE OUTSIDE DIAMETER (O.D.) ALSO, W SHALL BE THE PAYMENT WIDTH.
- 8) **FOR CROSS COUNTRY CONSTRUCTION,** BACKFILL OR FILL SHALL BE MOUND TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- 9) **CONCRETE FOR ENCASEMENT** SHALL CONFORM TO THE REQUIREMENTS OF SECTION 520, (NHDT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION).
- 10) **CONCRETE FULL ENCASEMENT:** IF FULL ENCASEMENT IS UTILIZED, DEPTH OF CONCRETE BELOW PIPE SHALL BE 1/4 I. D. (4" MINIMUM). BLOCK SUPPORT SHALL BE SOLID CONCRETE BLOCKS.
- 11) **GRAVEL DRIVEWAY AND SHOULDER RESTORATION:** CRUSHED GRAVEL IN DRIVEWAYS AND ROAD SHOULDERS SHALL MATCH EXISTING WITH A MINIMUM OF 12". GRAVEL REPLACEMENT SHALL BE SUBSIDIARY TO SEWER CONSTRUCTION AND WILL NOT BE MEASURED FOR PAYMENT.

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ISS.	DATE	DESCRIPTION OF ISSUE
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