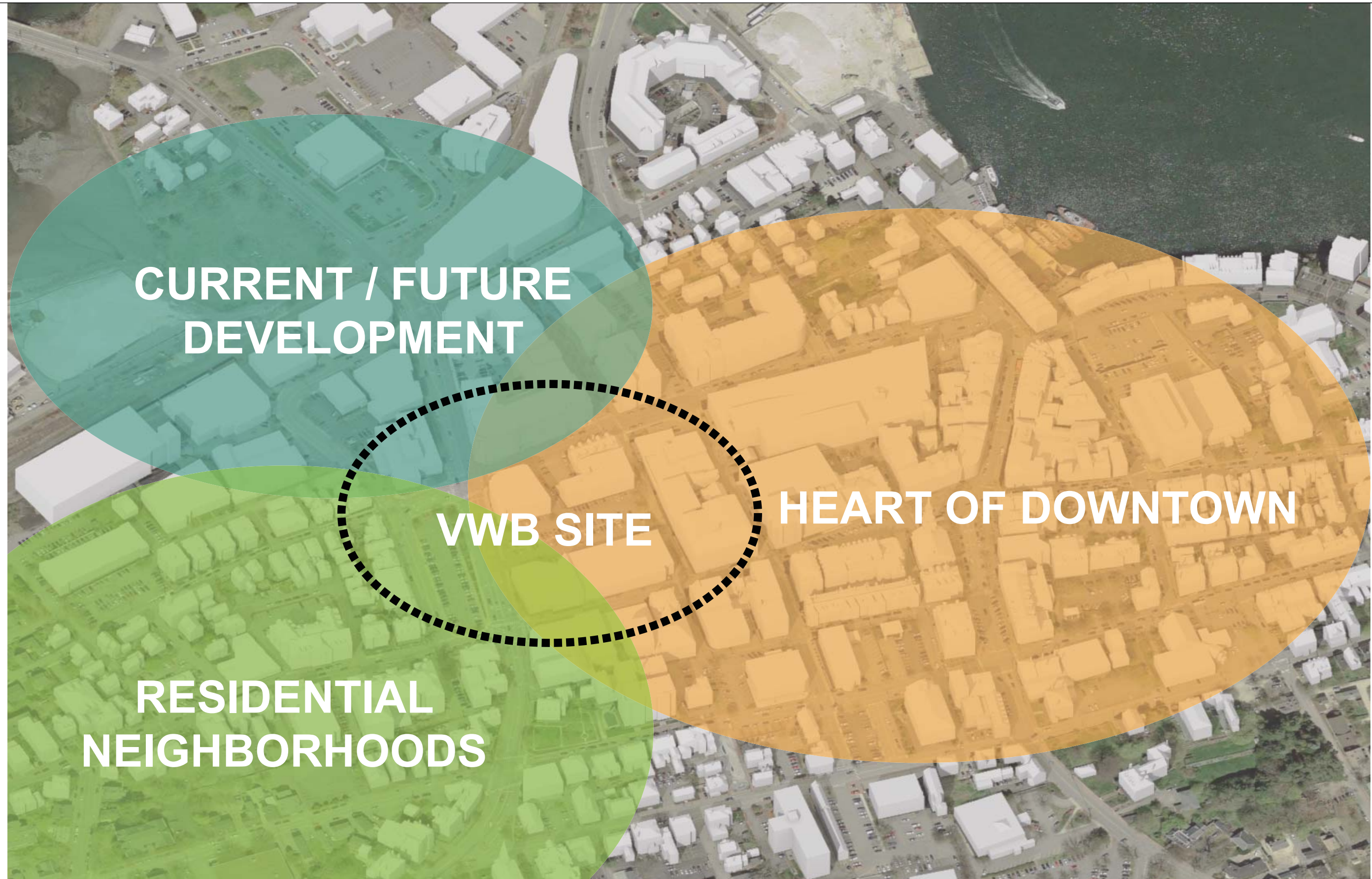


# VAUGHAN, WORTH, BRIDGE STRATEGIC PLANNING COMMITTEE CONCEPTUAL DESIGN VISION

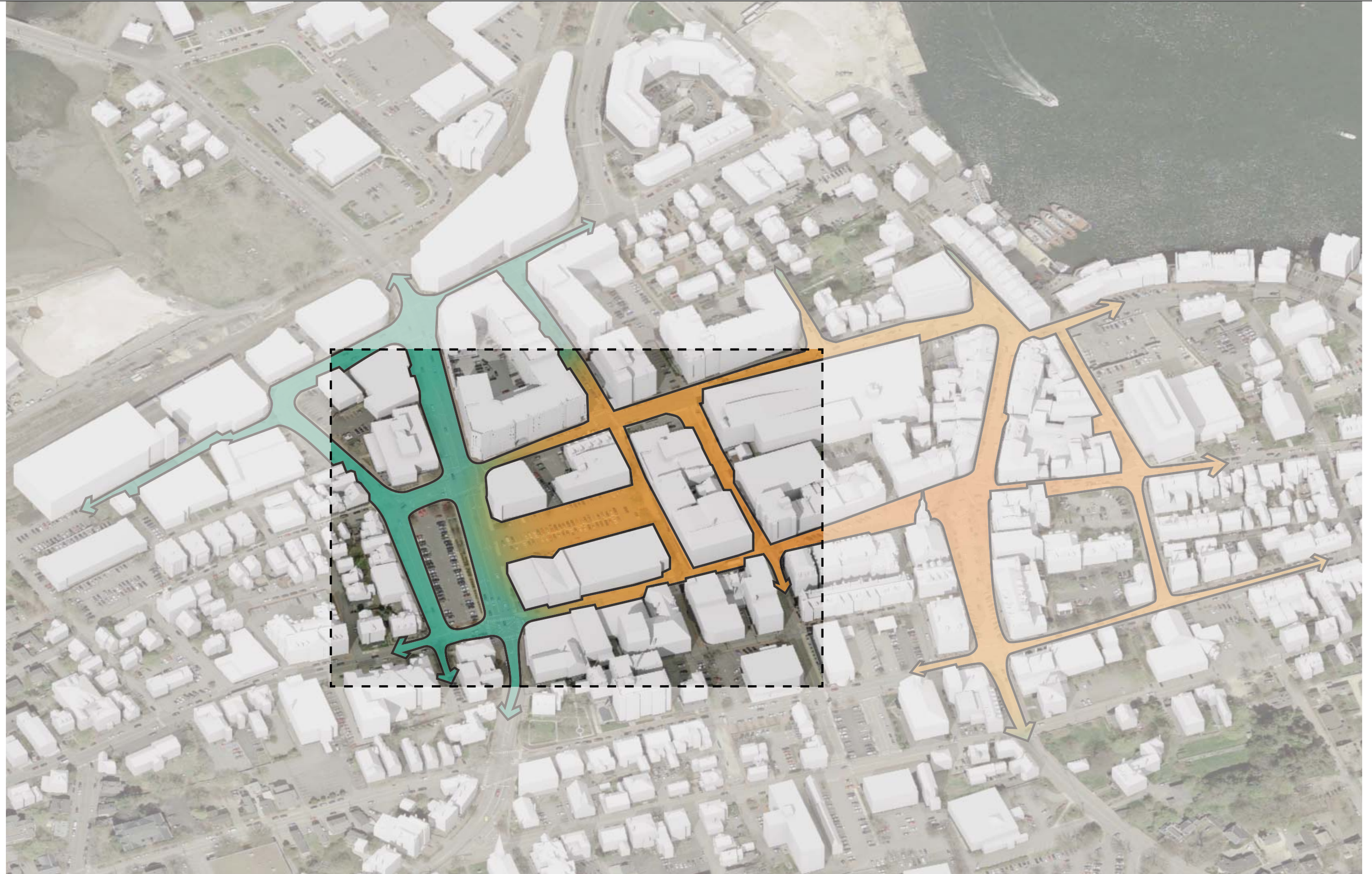
21 NOVEMBER 2017





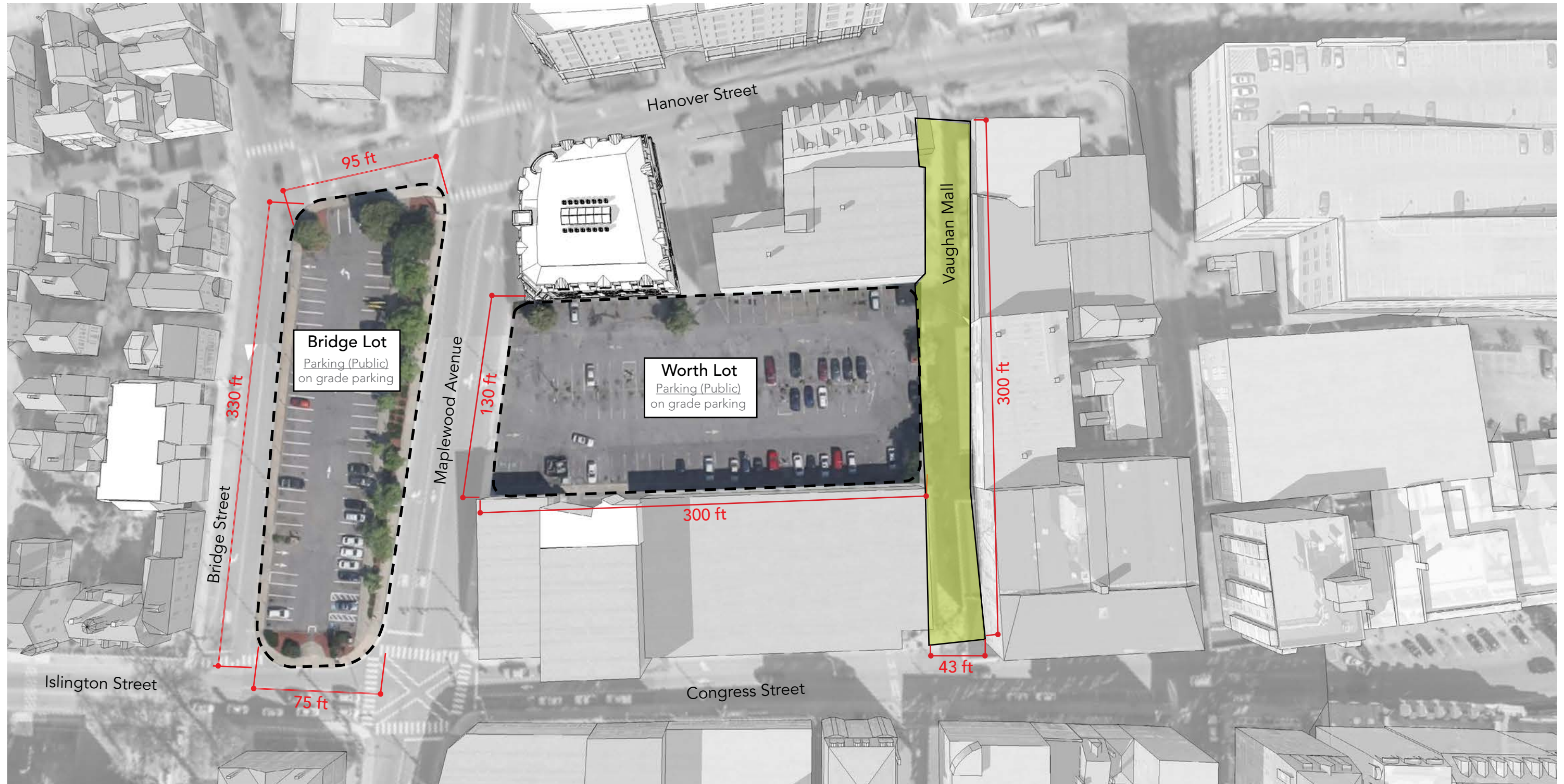














## FIVE POINTS FOR DISCUSSION

Civic Open Space



Parking for the Public



Architectural Character Reflective of Portsmouth

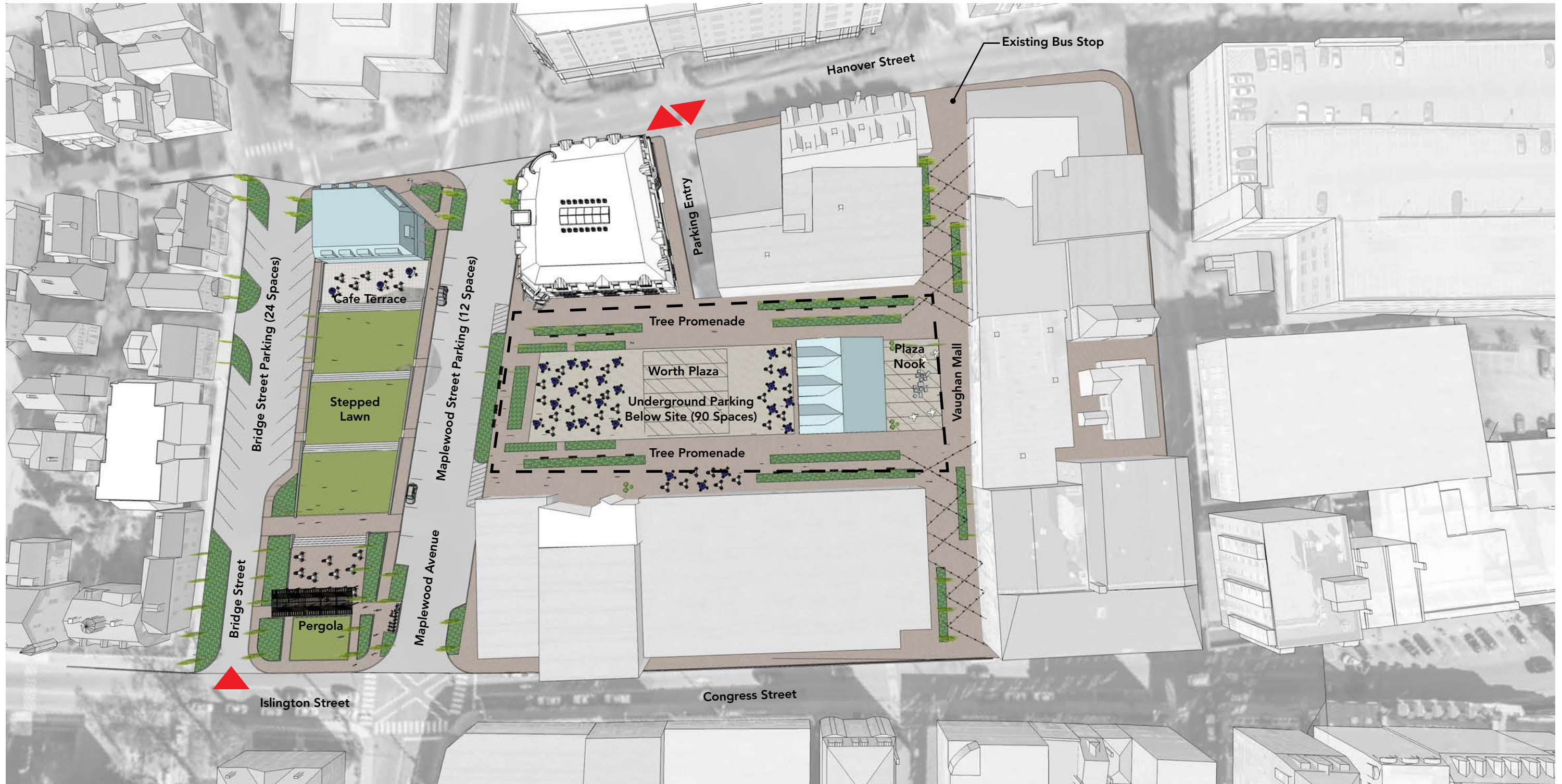


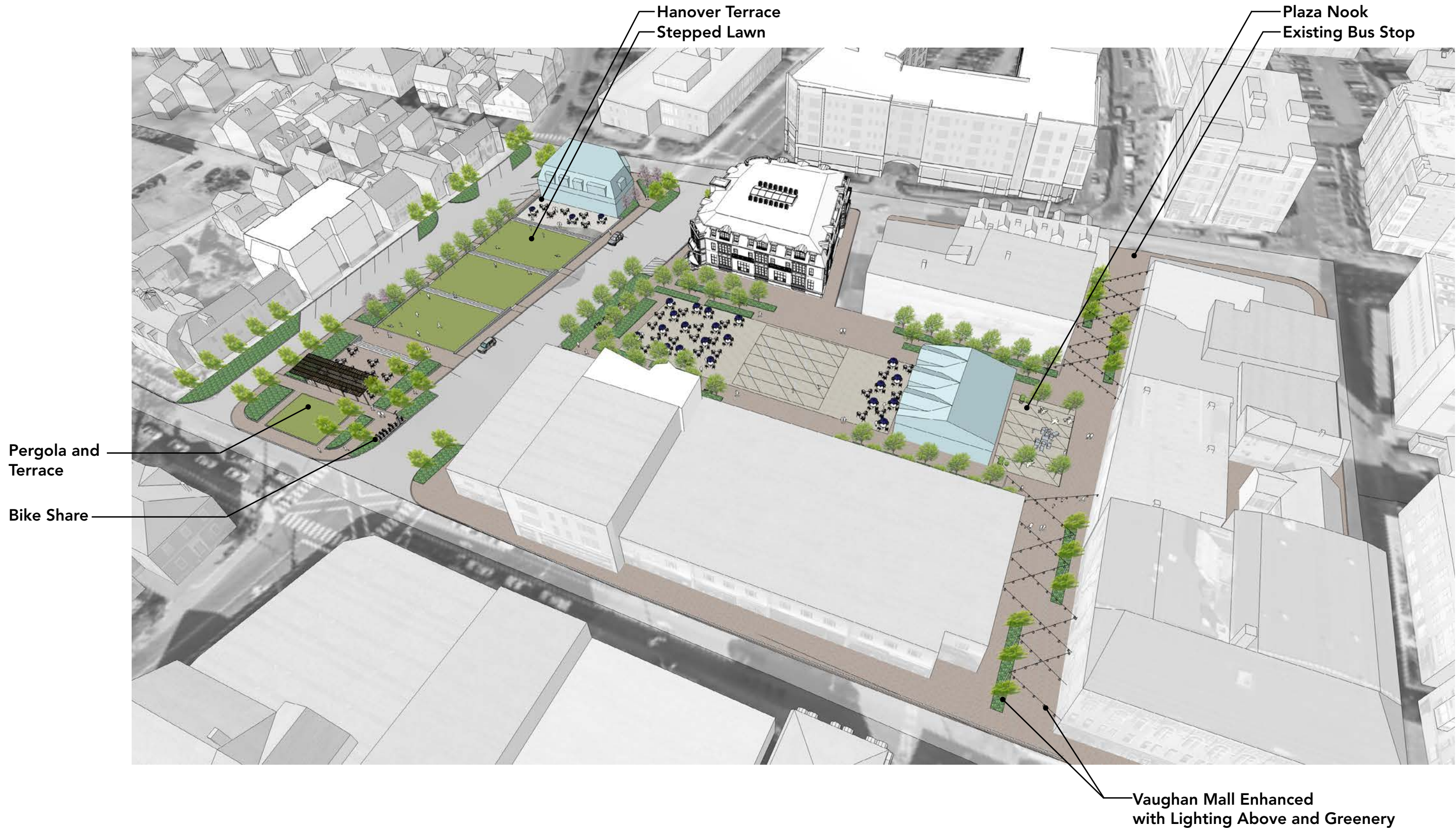
Active Building Uses



Abutter Opportunities







Restaurant at Ground Level, Parking Headhouse,  
and Public Restroom Facilities



Restaurant at Ground Level  
and Commercial Offices Above





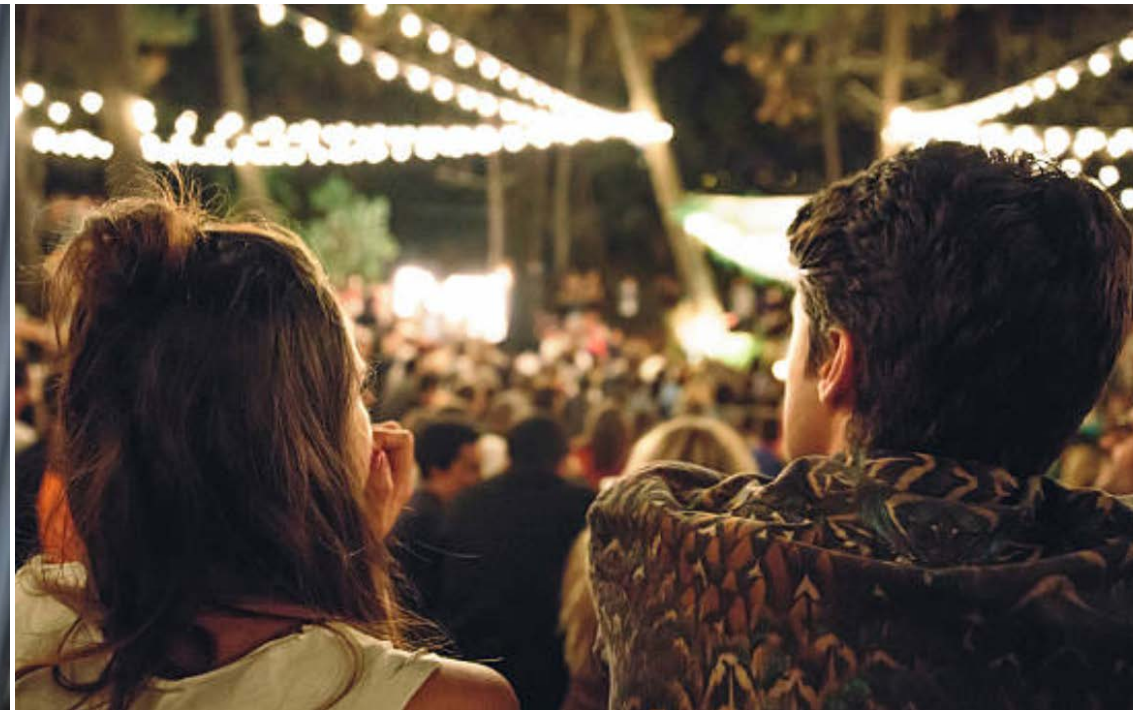
FOOD TRUCKS/CARTS

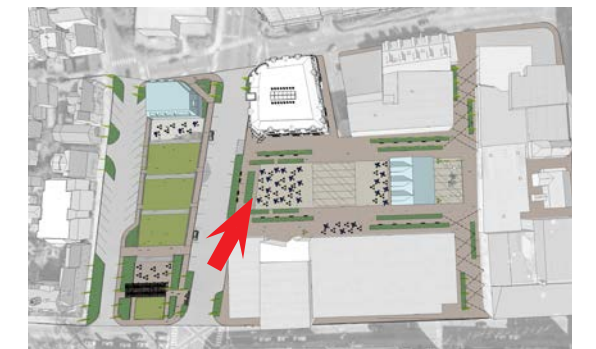


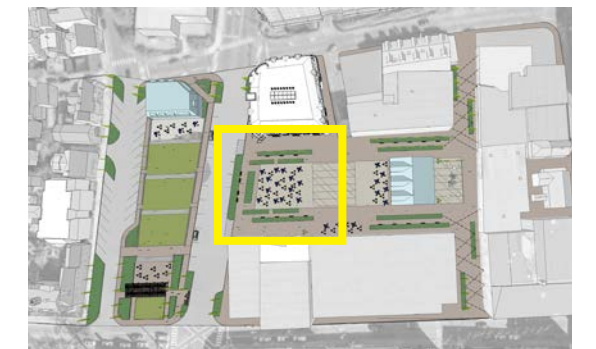
OUTDOOR ENTERTAINMENT



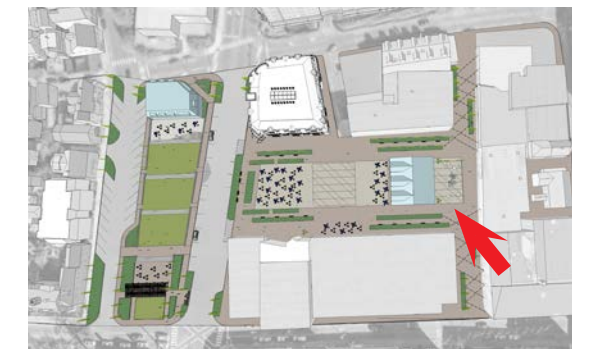
OUTDOOR SEATING FOR CAFES



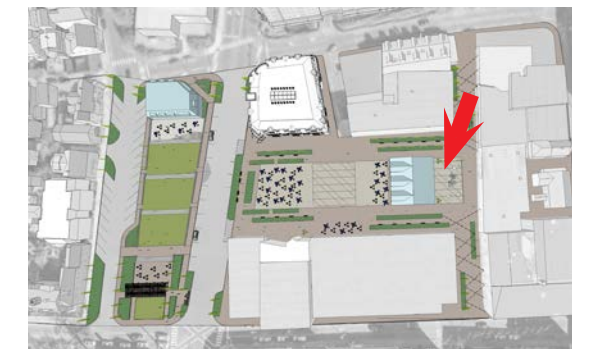




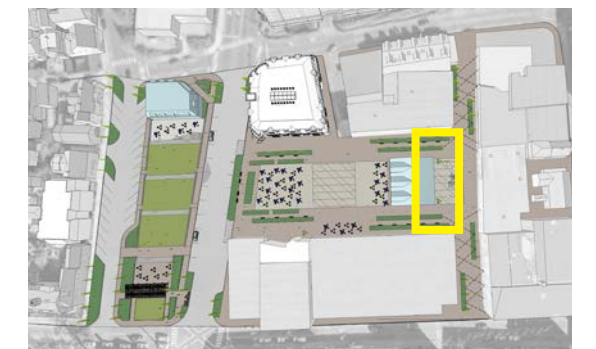


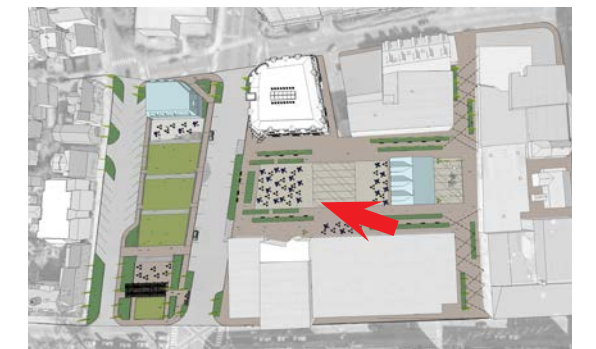


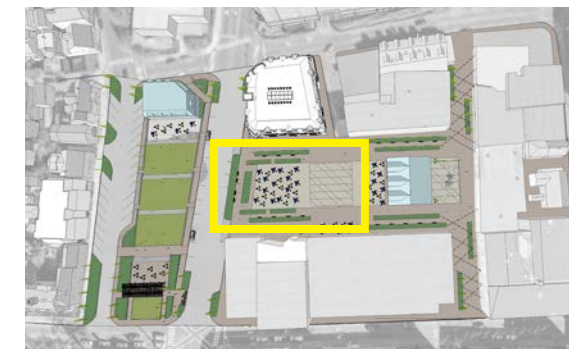
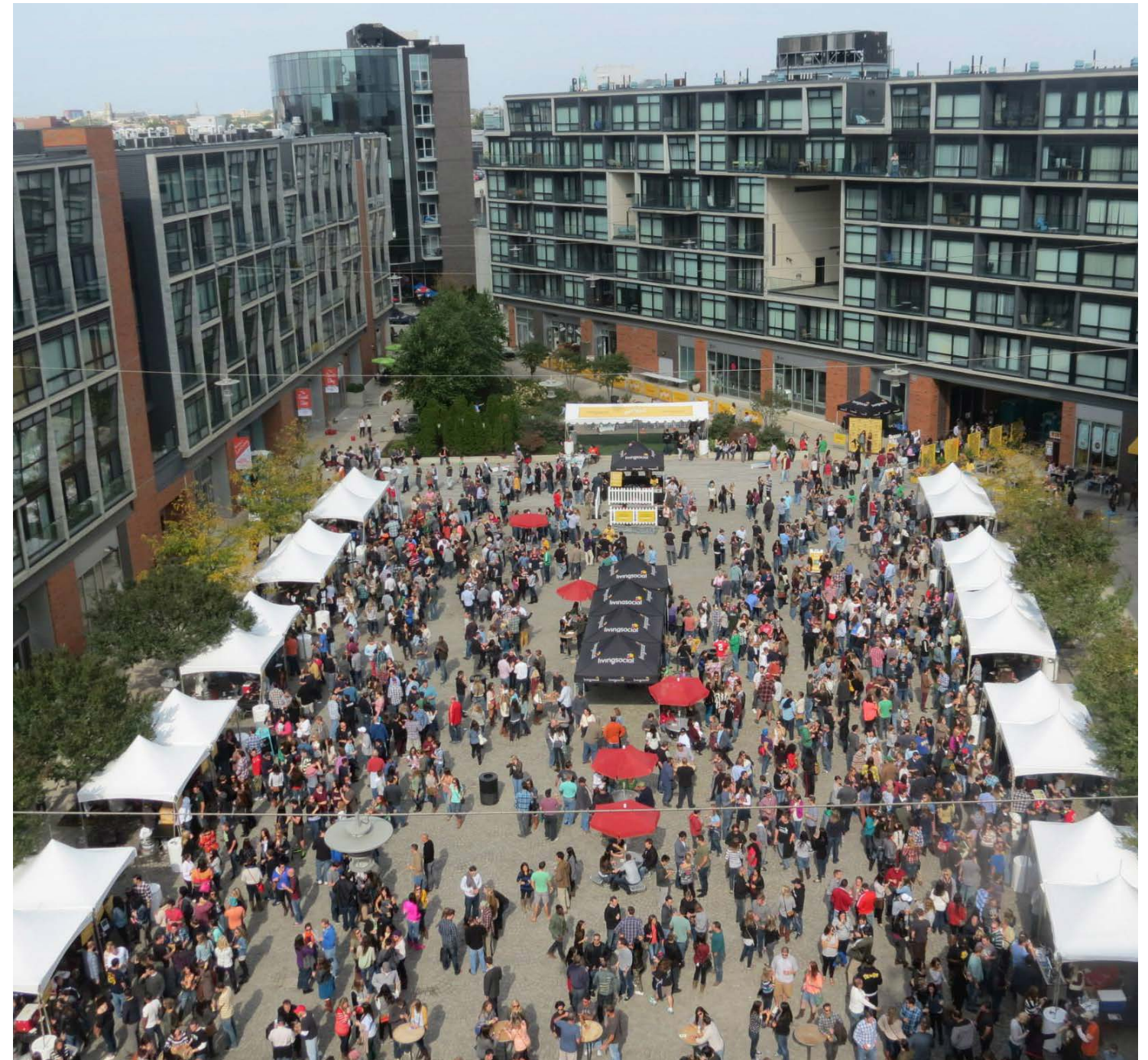
PLAZA NOOK LOOKING WEST

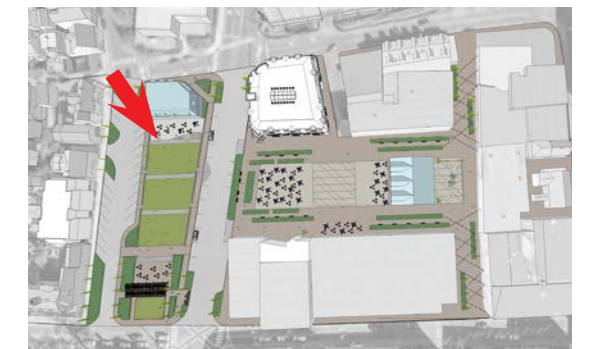


PLAZA NOOK LOOKING SOUTH







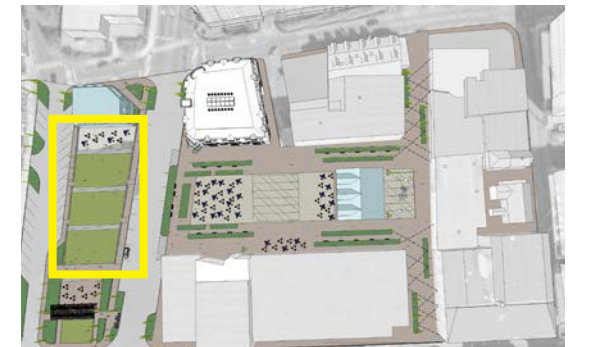


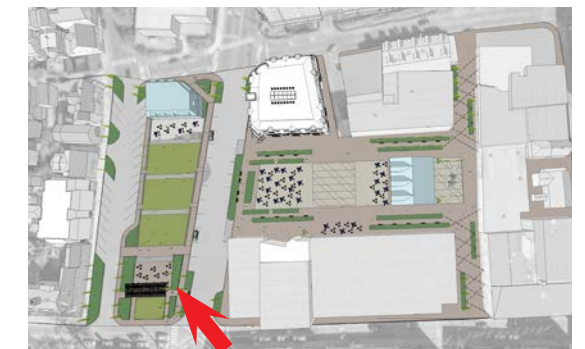


STEPPED LAWN PRECEDENT



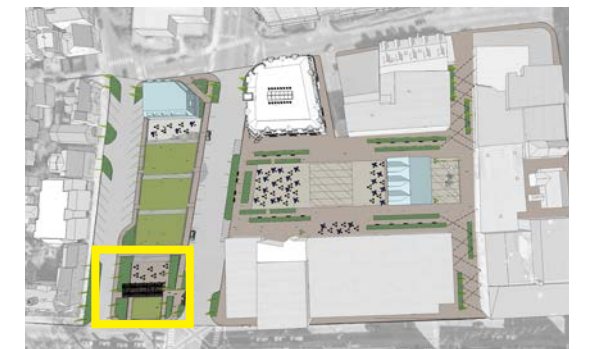
CAFE TERRACE PRECEDENT

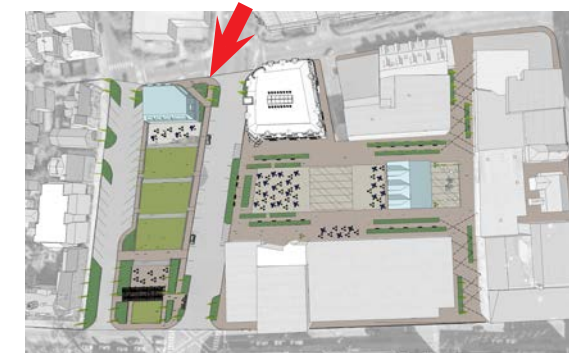


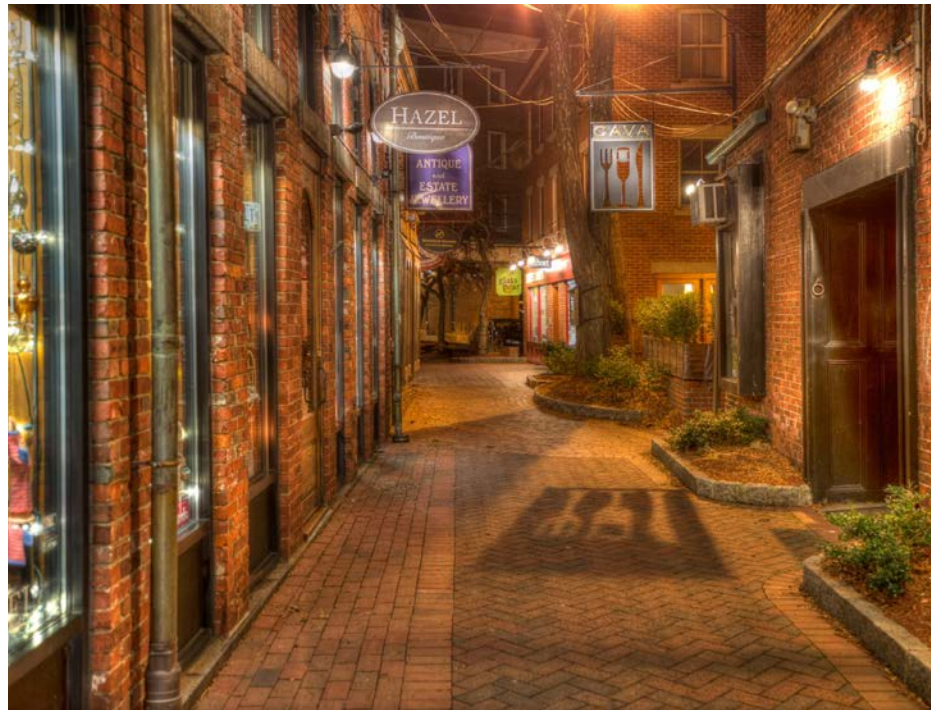












COMMERCIAL ALLEY



28 DEER STREET



25 MAPLEWOOD AVENUE



143 DANIEL STREET



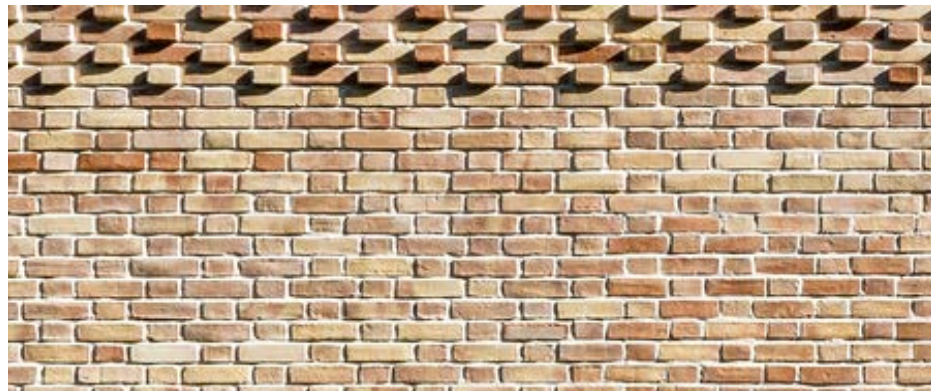
77 STATE STREET



10 PLEASANT STREET



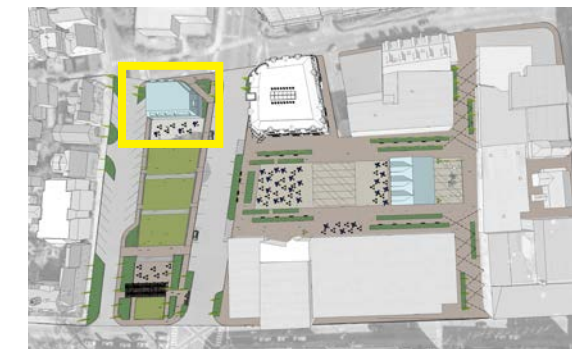
TRADITIONAL MATERIALS

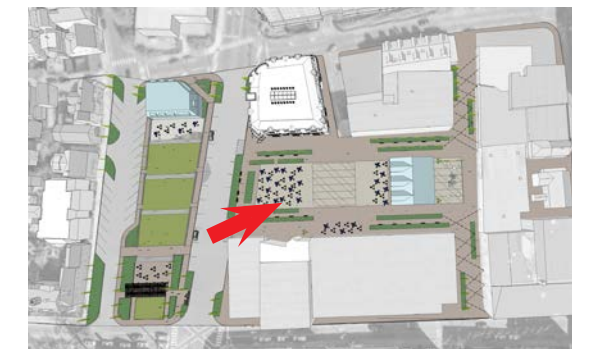


CONTEXTUAL FENESTRATIONS



SCALE AND PROPORTION OF MASSING







TRANSPARENCY BETWEEN INSIDE AND OUTSIDE



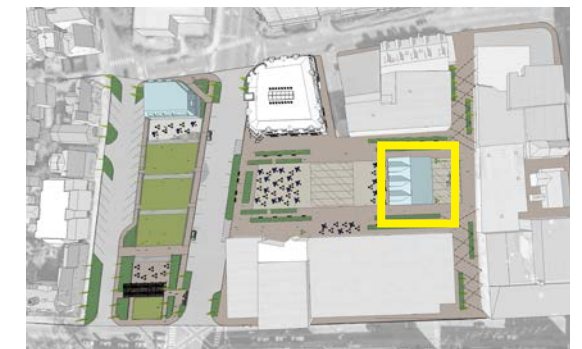
FLEXIBILITY OF USE



BRIGHT AND AIRY



TWO-STORY MIXED USE ARCHITECTURE





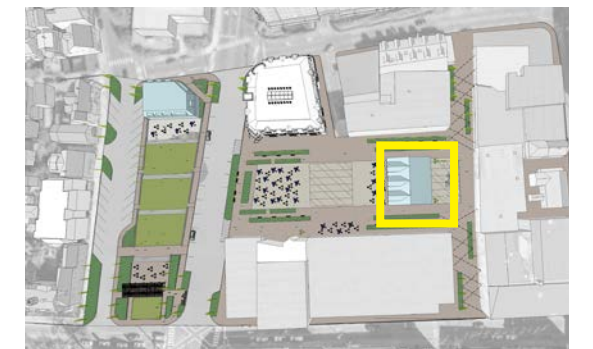
VISIBILITY AND TRANSPARENCY



WARM, NATURAL MATERIALS



SAFETY AND LIGHTING





Bridge Site						Worth Site							
	Number of Stories	# Parking Spaces	Commercial (GSF)	Restaurant or Civic (GSF)	Open Space (SF)	Number of Stories	# Parking Spaces	Commercial (GSF)	Restaurant or Civic (GSF)	Public Restrooms (GSF)	Building (GSF)	Open Space (SF)	Total Parking
<b>EXISTING</b>													
Existing	No Structures	65	0		8,220	No Structures	107	0	0	0	0	0	
Bridge Street (On Street)		9											
Maplewood Avenue (On Street)		0											
<b>Totals</b>		<b>74</b>	<b>0</b>		<b>8,220</b>	<b>Totals</b>	<b>107</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>181</b>
<b>PROPOSED</b>													
New Construction	Hanover Building (Two Stories)	0	3,300	3,300	29,940	Vaughan Mall Building (Two Stories)	0	3,900	3,900	0	7,800	36,140	
						Underground Parking Structure (One Story)	90						
Bridge Street (On Street)		24											
Maplewood Avenue (On Street)		12											
<b>Totals</b>		<b>36</b>	<b>3,300</b>		<b>29,940</b>	<b>Totals</b>	<b>90</b>	<b>3,900</b>	<b>3,900</b>	<b>0</b>	<b>0</b>	<b>36,140</b>	<b>126</b>

**Notes**

Existing Bridge lot 62 - 4 hour spaces and 3 Handicap = 65 + 9 existing parallel parking spaces on Bridge Street = 74  
 Existing Worth lot 77- 3 hour spaces, 2- 15 min spaces 5 Handicap and 23 reserved (Worth condo)= 107

