

Article 5B Gateway Mixed Use Districts

Section 10.5B10 General

10.5B11 Purpose and Intent

The purpose of Article 5B is to encourage development that is consistent with the City's goals for the production and diversification of high quality housing and a mix of uses in Portsmouth's primary gateway areas. This is accomplished by providing a range of standards that define a place and regulate the physical character of buildings and site developments through placement, form, design, and utilization. These standards aim to provide the minimum level of control necessary to meet the Purpose Statements for the Gateway Corridor (G1), and Gateway Center (G2) Districts in Section 10.410 while providing a range of opportunities appropriate to the context of each Gateway Mixed Use District.

10.5B12 Applicability

10.5B12.10 Article 5B shall apply to the G1 and G2 Gateway Mixed Use Districts as shown on the City of Portsmouth Zoning Map.

10.5B12.11 No development, subdivision, re-subdivision or construction of or on any building, lot or parcel of land shall occur except in compliance with all standards and requirements for these districts.

10.5B13 Relationship to Other Provisions of the Zoning Ordinance

10.5A13.10 The provisions of Article 5B shall take precedence over all other provisions of the Zoning Ordinance that conflict with Article 5B.

10.5A13.20 All provisions of the Zoning Ordinance that are not specifically modified or superseded by Article 5B, or that are not in conflict with Article 5B, shall apply to lots, buildings and uses in the Gateway Mixed Use Districts.

10.5B14 Relationship to Other Regulations, Codes and Ordinances

10.5B14.10 Any proposed subdivision of land shall comply with the Subdivision Rules and Regulations, in addition to the requirements of Article 5B.

10.5B14.20 Any development that requires Site Plan Review under the Site Plan Review Regulations shall comply with such Regulations, in addition to the requirements of Article 5B.

10.5B14.30 The provisions of Article 5B do not modify or supersede any provision of the Building Code, other City ordinances or regulations, or State laws relating to the development of land.

10.5B15 Figures and Tables

- 10.5B15.10 The standards and definitions included in the figures and tables in this Article are an integral part of Article 5B.
- 10.5B15.20 The diagrams, photographs and illustrations contained in the figures in this Article are provided only to provide reference to certain regulating elements and indicate general character within the various districts and shall have regulatory force and effect only to that extent.

10.5B16 Allowed Uses

Buildings, structures, and land within the Gateway Mixed Use Districts shall comply with the use regulations set forth in Section 10.440, Table of Uses. The Planning Board shall be the Conditional Use Permit Granting Authority for all uses requiring a Conditional Use Permit in the Gateway Districts.

10.5B17 Definitions

Terms used throughout Article 5B may be defined in the figures, Section 10.5A60, Article 15 or elsewhere in the Zoning Ordinance. Terms not so defined shall be accorded their commonly accepted meanings. In the event of any conflict between the definitions in Article 5B, Article 5A, Article 15, other sections of the Zoning Ordinance, or any other local land use ordinances, rules or regulations, those of Article 5A shall take precedence unless the context clearly indicates otherwise.

Section 10.5B20 General Standards for All Buildings and Development

10.5B21 Building setback Encroachments

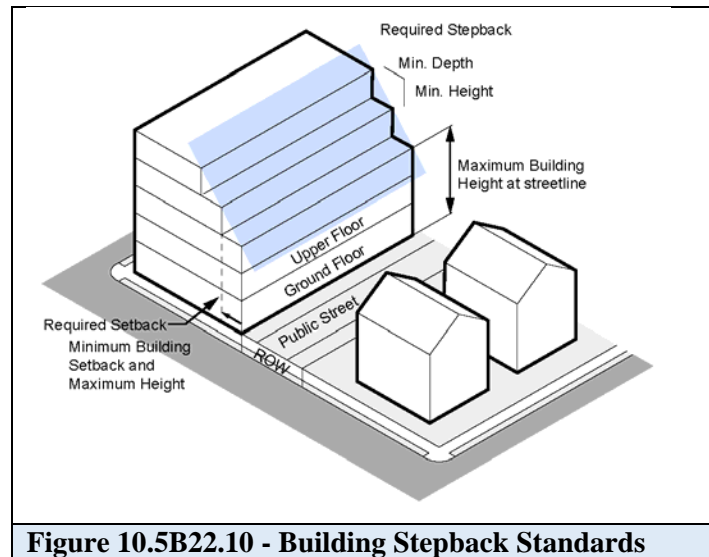
Determination of building setbacks or yards shall not include the exceptions specified in Section 10.515 and 10.516as well as the following:

- 10.5B21.20 Chimneys and flues may encroach up to four (4) feet, provided that at least two (2) feet is maintained from the vertical plane of any lot line.
- 10.5B21.30 Unenclosed fire escapes or emergency egress stairways may encroach up to four (4) feet into a required side or rear yard, provided that at least two (2) feet is maintained from the vertical plane of any lot line.
- 10.5B21.40 Certain Building Façade Types as permitted in 10.5B60.

10.5B22 Building Height and Stepback

- 10.5B22.10 Building Height Exceptions: Roof decks, roof gardens, and related structures and appurtenances shall not be counted in the building height limits. All other building height exceptions shall comply with Section 10.517.

- 10.5B22.20 **Building Stepback and Street Enclosure:** Buildings of 45 feet or more shall be required to setback the building from the street line to the maximum yard; or stepback the building for any floors above 45 foot in height a distance that equals the height of the floor. The purpose of this requirement is to enhance the pedestrian environment and prevent excessive shadowing on narrower streets in the district.



10.5B23 Façade Composition Standards

- 10.5B23.10 **Façade Glazing:** For Building Types with specific Façade Glazing requirements as defined in Section 10.5B34, the following general standards shall apply:
- Facades shall have windows and doors with highly transparent, low reflectivity glass for a percentage of the total area of a facade, measured for each story independently.
 - Facade glazing of a ground story facade is measured between two (2) feet and twelve (12) feet above the abutting sidewalk.
 - Facade glazing of an upper story facade is measured from the top of a finished floor to the top of the finished floor above.
 - Facade glazing requirements are only applicable to facades facing a front street line.

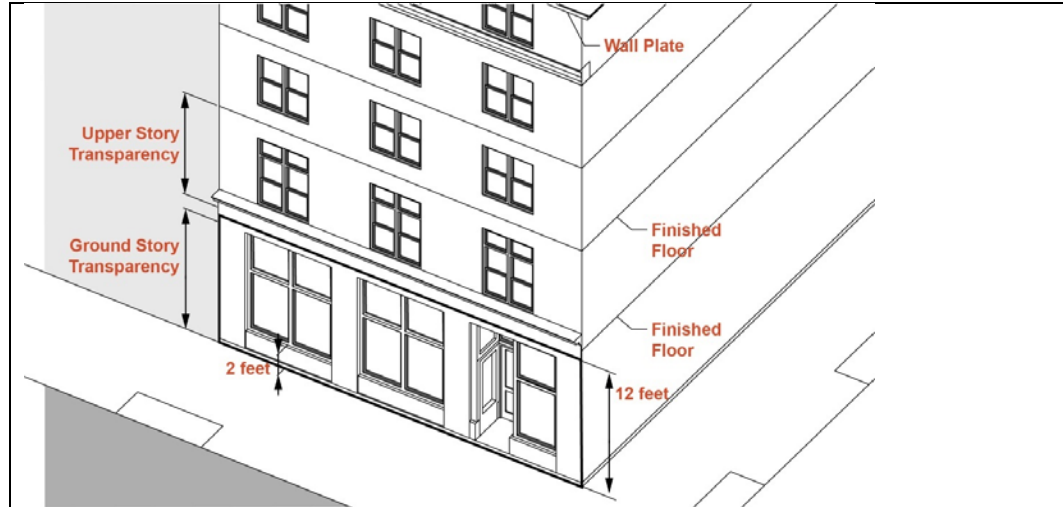


Figure 10.5B23.10 - Ground Floor and Upper Floor Façade Glazing

10.5B23.20 Facade Modulation

- (a) Building facades shall be vertically articulated with architectural bays between six (6) feet and fifty (50) feet in width to create an equal, central, and/or ends focused composition as illustrated in Figure 10.5B23.30.

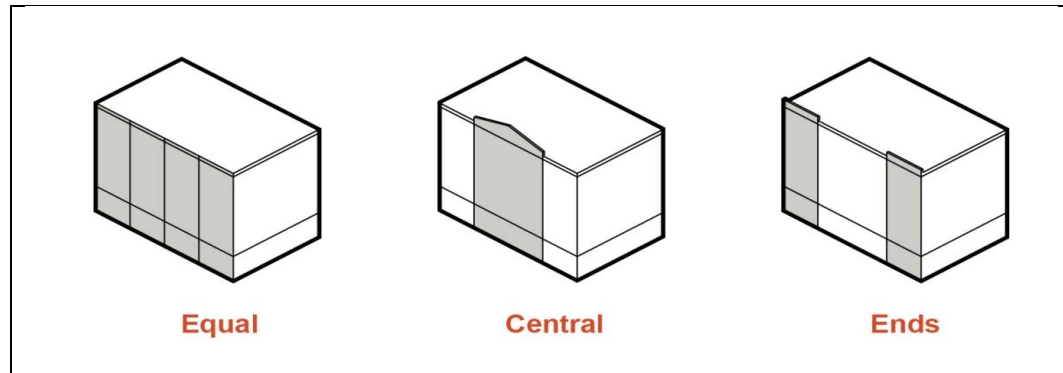


Figure 10.5B23.30 - Facade Modulation

- (b) Buildings greater than one hundred (100) feet in width shall be designed to read as a series of smaller buildings with varied architectural design and facade glazing patterns or include a change in vertical plane of the facade of at least four (4) feet (in depth or projection) for at least one (1) bay in width for every one hundred (100) feet of total facade width. This change in plane applies to the entire height of the façade.

10.5B23.30 Horizontal Articulation and Massing Elements: Building facades shall be horizontally articulated with a clearly defined base, middle, and top.

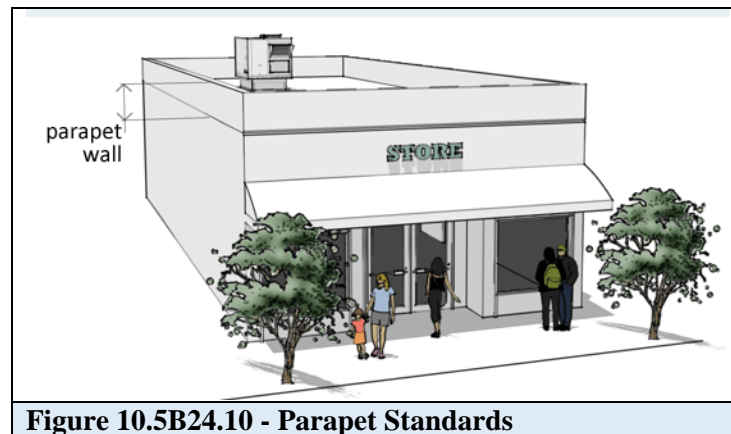
10.5B23.40 Pedestrian Access: Where pedestrian access is required for specific Building Types, entrances shall be located on the street-facing facade of a building, provide both ingress and egress, and be operable and accessible.

10.5B24 Roof Types and Design

10.5B24.10 **Roof Shapes and Rooflines:** The shape and proportion of the roof shall be visually compatible with the architectural style of the building and with those of neighboring buildings. Pitched Roofs shall have a minimum slope as follows:

- (a) Shed: 2:12 minimum
- (b) Hip: 3:12 minimum
- (c) Gable: 6:12 minimum to 12:12 maximum.
- (d) Gambrel: 6:12 minimum to 30:12 maximum.

10.5B24.20 **Flat Roofs:** Buildings with Flat Roofs shall be capped by an articulated parapet design that acts as a structural expression of the building façade and its materials, visible from all sides of the building.



10.5B25 Number of Dwelling Units

Unless otherwise specified in Section 10.5B34, no more than 24 dwelling units per building shall be allowed without a conditional use permit from the Planning Board as provided in Section 10.5B72.

Section 10.5B30 Building Types and Standards

10.5B31 General

10.5B31.10 All new buildings in the Gateway Mixed Use Districts shall be Building Types specified in this Section and defined in Section 10.5A43.60.

10.5B32 Building Lots

10.5B32.10 **Lot Dimensions:** Building lot requirements designate the range of lot sizes that a given building type as identified in this Section can be built

on. If a lot is smaller than the minimum required for a certain building type, a different building type must be selected.

10.5B32.20 **Number of Buildings:** No more than one principal building type is allowed on a lot except where otherwise specified in Section 10.5B40.

10.5B32.30 Lots with both frontage on and driveway access from Lafayette Road, Woodbury Ave, or Market Street must have a minimum of 100 feet of street frontage.

10.5B33 Building Placement and Orientation

10.5B33.10 **Building Placement:** All buildings and structures must be located at or behind any required minimum front, side, or rear building setback except as otherwise permitted by this Ordinance. The facade of a principal building must be built at or in front of any required maximum front building setback for each story of a building.

10.5B33.20 **Front Lot Line Build Out:** All buildings must have a front lot line build out of at least 50% unless otherwise specified in Section 10.5B34.

10.5B33.30 **Facade Orientation:** The primary facade of a principal building must be built parallel to a front lot line or to the tangent of a curved front lot line. On a corner lot, the façade may be retracted at a 45-degree angle between the curb radius to allow for community space and for safe site distance at the corner. All other requirements pertaining to corner visibility in Section 10.516.30 shall apply.

10.5B34 Building Type Standards

10.5B34.10 Cottage

1.1 LOT STANDARDS

A. Lot Area (Min.)	NR
B. Lot Depth (Min.)	NR
C. Street Frontage (Min.)*	30 ft.
D. Front Building Setback (Min./Max.)	5 ft./20 ft.
E. Front Lot Line Buildout (Min).	80%
F. Side Building setback (Min.)	5 ft.
G. Rear Building setback (Min.)	10 ft.
H. Open Space Coverage (Min.)	20%

* See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street.

1.2 BUILDING AND LOT USE

A. Dwelling Units Per Building (Max.)	1
B. Dwelling Units Size (Max.)	1,400 GFA; 2 Bedrooms

1.3 DESIGN STANDARDS

A. Building Height (Max.)	1.5 Stories/ 20 ft.
B. Street Facing Façade Height (Min.)	10 ft.
C. Ground Story Height (Min.)	NR
D. Finished Floor Surface of Ground Floor Above Sidewalk Grade (Max.)	36"
E. Building Coverage (Max.)	NR
F. Building Footprint (Max.)	1,000 SF
G. Façade Modulation Length (Max.)	18 ft. (see Section 10.5A43.20)
H. Street Facing Façade Glazing (Min.)	20% Ground Floors.
I. Street Facing Entrance	Required
J. Street Facing Entrance Spacing (Max.)	NR
K. Roof Type	Gable, Hip
L. Façade Types	Dooryard, Stoop, Step, Porch

1.4 ADDITIONAL STANDARDS

A. Only allowed in a Pocket Neighborhood Development (see Section 10.5B41)
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10.5B34.20 Paired House

1.1 LOT STANDARDS

A. Lot Area (Min.)	NR
B. Lot Depth (Min.)	NR
C. Street Frontage (Min.)	50 ft.
D. Front Building setback (Min./Max.)	10 ft./30 ft.
E. Front Lot Line Buildout (Min.)	60%
F. Side Building setback (Min.)	10 ft.
G. Rear Building setback (Min.)	20 ft.
H. Open Space Coverage (Min.)	20%

1.2 BUILDING AND LOT USE

A. Dwelling Units Per Building (Max.)	3
B. Dwelling Units Size (Max.)	NR
C. See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street.	

1.3 DESIGN STANDARDS

A. Building Height (Max.)	2.5 Stories/ 35 ft.
B. Street Facing Façade Height (Min.)	12 ft.
C. Ground Story Height (Min.)	9 ft.
D. Finished Floor Surface of Ground Floor Above Sidewalk Grade (Max.)	36"
E. Building Coverage (Max.)	NR
F. Building Footprint (Max.)	NR
G. Façade Modulation Length (Max.)	18 ft. (see Section 10.5A43.20)
H. Street Facing Façade Glazing (Min.)	20% Ground Floors.
I. Street Facing Entrance	Required
J. Street Facing Entrance Spacing (Max.)	NR
K. Roof Type	Gable, Hip, Gambrel
L. Façade Types	Dooryard, Stoop, Step, Porch

1.4 ADDITIONAL STANDARDS

A. Only allowed in a Pocket Neighborhood Development (see Section 10.5B41)
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10.5B34.30 Gateway Townhouse

1.1 LOT STANDARDS

A. Lot Area (Min.)	NR
B. Lot Depth (Min.)	50 ft.
C. Street Frontage (Min.)	20 ft.
D. Front Building setback (Min./Max.)	5 ft./15 ft.
E. Front Lot Line Buildout (Min.)	80%
F. Side Building setback (Min.)	NR.
G. Rear Building setback (Min.)	15 ft.
H. Open Space Coverage (Min.)	20%

1.2 BUILDING AND LOT USE

A. Dwelling Units Per Building (Max.)	1
B. Dwelling Units Size (Max.)	NR
C. See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street.	

1.3 DESIGN STANDARDS

A. Building Height (Max.)	2.5 Stories/ 35 ft.
B. Street Facing Façade Height (Min.)	12 ft.
C. Finished Floor Surface of Ground Floor Above Sidewalk Grade (Max.)	36"
D. Building Coverage (Max.)	NR
E. Building Footprint (Max.)	NR
F. Façade Modulation Length (Max.)	Required Every 4th Unit; See Section 10.5A43.20)
G. Street Facing Façade Glazing (Min.)	20% Ground Floors. 20% Upper Floors
H. Street Facing Entrance	Required
I. Street Facing Entrance Spacing (Max.)	NR
J. Roof Type	All
L. Façade Types	Door Yard, Stoop, Recessed Entry, Step, Porch

1.4 ADDITIONAL STANDARDS

A. A maximum of 8 units can be attached by a common wall before a separation of 20 feet or more is requireded .	
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10.5B34.40 Apartment Building

1.1 LOT STANDARDS

A. Lot Area (Min.)	NR
B. Lot Depth (Min.)	NR
C. Street Frontage (Min.)	50 ft.
D. Front Building setback (Min./Max.)	10 ft./30 ft.
E. Front Lot Line Buildout (Min.)	70%
F. Side Building setback (Min.)	15 ft.
G. Rear Building setback (Min.)	20 ft.
H. Open Space Coverage (Min.)	20%

1.2 BUILDING AND LOT USE

A. Dwelling Units Per Building (Min./Max.)	4/24
B. Dwelling Units Size (Max.)	NR
C. See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street.	

1.3 DESIGN STANDARDS

A. Building Height (Min./Max.)	2 Stories and 24 ft./4 Stories and 40 ft.
B. Street Facing Façade Height (Min.)	24 ft.
C. Finished Floor Surface of Ground Floor Above Sidewalk Grade (Max.)	36"
D. Building Coverage (Max.)	NR
E. Building Footprint (Max.)	NR
F. Façade Modulation Length (Max.)	50 ft. (see Section 10.5A43.20)
G. Street Facing Façade Glazing (Min.)	20% Ground Floor
H. Street Facing Entrance	Required
I. Street Facing Entrance Spacing (Max.)	NR
J. Roof Type	All
K. Façade Types	Forecourt, Recessed Entry, Dooryard, Step, Porch

1010.5B34.50 Live/Work Building

1.1 LOT STANDARDS

A. Lot Area (Min.)	NR
B. Lot Depth (Min.)	NR
C. Street Frontage (Min.)	20 ft.
D. Front Building setback (Min./Max.)	0 ft./15 ft.
E. Front Lot Line Buildout (Min.)	80%
F. Side Building setback (Min.)	0 ft.
G. Rear Building setback (Min.)	20 ft.
H. Open Space Coverage (Min.)	15%

1.2 BUILDING AND LOT USE

A. Dwelling Units Per Building (Max.)	1
B. Dwelling Units Size (Max.)	NR
C. See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street.	

1.3 DESIGN STANDARDS

A. Building Height (Max.)	2.5 Stories/ 35 ft.
B. Street Facing Façade Height (Min.)	18 ft.
C. Finished Floor Surface of Ground Floor Above Sidewalk Grade (Min./Max.)	0”/24”
D. Building Coverage (Max.)	NR
E. Building Footprint (Max.)	NR
F. Façade Modulation Length (Max.)	18 ft. (see Section 10.5A43.20)
G. Street Facing Façade Glazing (Min.)	50% Ground Floor
H. Street Facing Entrance	Required
I. Street Facing Entrance Spacing (Max.)	NR
J. Roof Type	All
K. Façade Types	Door Yard, Recessed Entry, Porch, Shopfront, Terrace

10.5B34.60 Small Commercial Building

1.1 LOT STANDARDS

A. Lot Area (Min.)	NR
B. Lot Depth (Min.)	NR
C. Street Frontage (Min.)	50 ft.
D. Front Building setback (Min./Max.)	0 ft./20 ft.
E. Front Lot Line Buildout (Min.)	70%
F. Side Building setback (Min.)	0/10 ft.
G. Rear Building setback (Min.)	15 ft.
H. Open Space Coverage (Min.)	10%

1.2 BUILDING AND LOT USE

A. Dwelling Units Per Building (Max.)	NR
B. Dwelling Units Size (Max.)	NR
C. See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street.	

1.3 DESIGN STANDARDS

A. Building Height (Max.)	2 Stories/ 30 ft.
B. Street Facing Façade Height (Min.)	18 ft.
C. Finished Floor Surface of Ground Floor Above Sidewalk Grade (Max.)	24"
D. Building Coverage (Max.)	NR
E. Building Footprint (Max.)	10,000 SF
F. Façade Modulation Length (Max.)	50 ft. (see Section 10.5A43.20)
G. Street Facing Façade Glazing (Min.)	50% Ground Floor
H. Street Facing Entrance	Required
I. Street Facing Entrance Spacing (Max.)	NR
J. Roof Type	All
K. Façade Types	Forecourt, Recessed Entry, Porch, Officefront, Shopfront, Terrace, Gallery, Arcade

1.4 ADDITIONAL STANDARDS

A. Side Building Setback is not required when there is a common wall; a minimum 10-foot side building setback is required when there is not a common wall to accommodate pedestrian and/vehicle access to the side and rear of the property.	
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10.5B34.70 Large Commercial Building

1.1 LOT STANDARDS

A. Lot Area (Min.)	NR
B. Lot Depth (Min.)	NR
C. Street Frontage (Min.)	100 ft.
D. Front Building setback (Min./Max.)	0 ft./50 ft.
E. Front Lot Line Buildout (Min.)	50%
F. Side Building setback (Min.)	0/10 ft.
G. Rear Building setback (Min.)	15 ft.
H. Open Space Coverage (Min.)	10%

1.2 BUILDING AND LOT USE

A. Dwelling Units Per Building (Max.)	NR
B. Dwelling Units Size (Max.)	NR
C. See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street.	

1.3 DESIGN STANDARDS

A. Building Height (Max.)	4 Stories/ 45 ft.
B. Street Facing Façade Height (Min.)	18 ft.
C. Finished Floor Surface of Ground Floor Above Sidewalk Grade (Max.)	24"
D. Building Coverage (Max.)	NR
E. Building Footprint (Max.)	40,000 SF
F. Façade Modulation Length (Max.)	100 ft. (see Section 10.5A43.20)
G. Street Facing Façade Glazing (Min.)	50% Ground Floor
H. Street Facing Entrance	Required
I. Street Facing Entrance Spacing (Max.)	NR
J. Roof Type	All
K. Façade Types	Forecourt, Recessed Entry, Porch, Officefront, Shopfront, Terrace, Gallery, Arcade

1.4 ADDITIONAL STANDARDS

A. Side Building Setback is not required when there is a common wall; a minimum 10-foot side building setback is required when there is not a common wall to accommodate pedestrian and/vehicle access to the side and rear of the property.	
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10.5B34.80 Mixed Use Building

1.1 LOT STANDARDS

A. Lot Area (Min.)	NR
B. Lot Depth (Min.)	NR
C. Street Frontage (Min.)	50 ft.
D. Front Building setback (Min./Max.)	0 ft./50 ft.
E. Front Lot Line Buildout (Min.)	50%
F. Side Building setback (Min./Max.)	0 ft/15 ft.
G. Rear Building setback (Min.)	20 ft.
H. Open Space Coverage (Min.)	20%

1.2 BUILDING AND LOT USE

A. Dwelling Units Per Building (Max.)	24
B. Dwelling Units Size (Max.)	NR
C. See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street.	

1.3 DESIGN STANDARDS

A. Building Height (Min./Max.)	2 Stories and 22 ft./4 Stories and 45 ft.
B. Street Facing Façade Height (Min.)	18 ft.
C. Finished Floor Surface of Ground Floor Above Sidewalk Grade (Max.)	24"
D. Building Coverage (Max.)	NR
E. Building Footprint (Max.)	20,000 SF
F. Façade Modulation Length (Max.)	100 ft. (see Section 10.5A43.20)
G. Street Facing Façade Glazing (Min.)	50% Ground Floors
H. Street Facing Entrance	Required
I. Street Facing Entrance Spacing (Max.)	NR
J. Roof Type	All
L. Façade Types	Forecourt, Recessed Entry, Porch, Officefront, Shopfront, Terrace, Gallery, Arcade

1.4 ADDITIONAL STANDARDS

A. Side Building Setback is not required when there is a common wall; a minimum 10-foot side building setback is required when there is not a common wall to accommodate pedestrian and/vehicle access to the side and rear of the property	
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10.5B34.90 Flex Space/Fabrication Building

1.1 LOT STANDARDS

A. Lot Area (Min.)	NR
B. Lot Depth (Min.)	NR
C. Street Frontage (Min.)	50 ft.
D. Front Building setback (Min./Max.)	0 ft./30 ft.
E. Front Lot Line Buildout (Min.)	50%
F. Side Building setback (Min./Max.)	0 ft if common wall; 20 ft. no common wall
G. Rear Building setback (Min.)	20 ft.
H. Open Space Coverage (Min.)	10%

1.2 BUILDING AND LOT USE

A. Dwelling Units Per Building (Max.)	NR
B. Dwelling Units Size (Max.)	NR
C. See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street.	

1.3 DESIGN STANDARDS

A. Building Height (Min./Max.)	2 Stories/40 ft.
B. Street Facing Façade Height (Min.)	12 ft.
C. Finished Floor Surface of Ground Floor Above Sidewalk Grade (Max.)	24"
D. Building Coverage (Max.)	NR
E. Building Footprint (Max.)	20,000 SF
F. Façade Modulation Length (Max.)	100 ft. (see Section 10.5A43.20)
G. Street Facing Façade Glazing (Min.)	20% Ground Floor
H. Street Facing Entrance	Required
I. Street Facing Entrance Spacing (Max.)	NR
J. Roof Type	All
K. Façade Types	Door Yard, Recessed Entry, Officefront, Shopfront, Terrace

10.5B34.100 Community Building

1.1 LOT STANDARDS

A. Lot Area (Min.)	NR
B. Lot Depth (Min.)	NR
C. Street Frontage (Min.)	50 ft.
D. Front Building setback (Min./Max.)	10 ft./40 ft.
E. Front Lot Line Buildout (Min.)	50%
F. Side Building setback (Min.)	15 ft.
G. Rear Building setback (Min.)	20 ft.
H. Open Space Coverage (Min.)	20%

1.2 BUILDING AND LOT USE

A. Dwelling Units Per Building (Max.)	NR
B. Dwelling Units Size (Max.)	NR
C. See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street.	

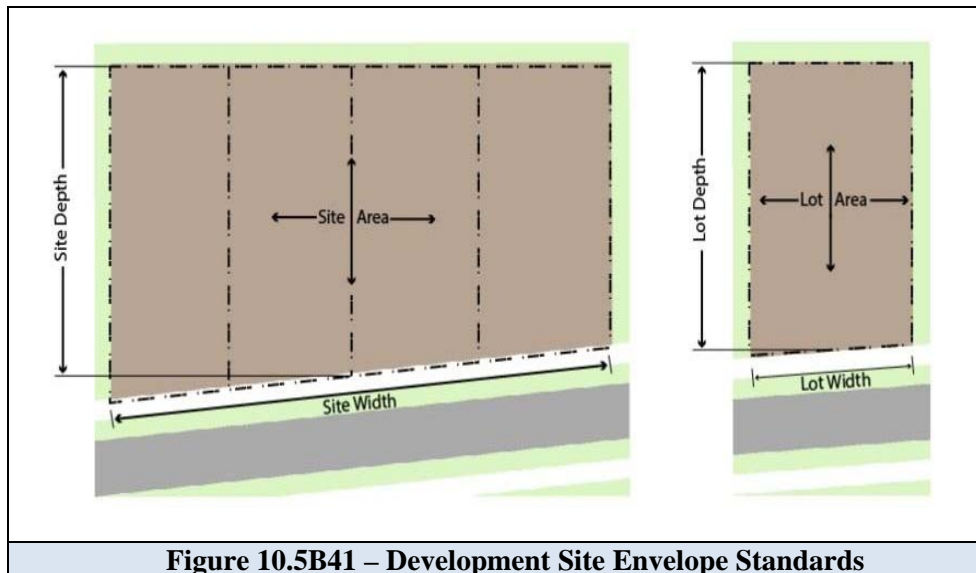
1.3 DESIGN STANDARDS

A. Building Height (Max.)	3 Stories/45 ft.
B. Street Facing Façade Height (Min.)	18 ft.
C. Finished Floor Surface of Ground Floor Above Sidewalk Grade (Min./Max.)	2 ft/6 ft.
D. Building Coverage (Max.)	NR
E. Building Footprint (Max.)	NR
F. Façade Modulation Length (Max.)	100 ft. (see Section 10.5A43.20)
G. Street Facing Façade Glazing (Min.)	30% Ground Floors
H. Street Facing Entrance	Required
I. Street Facing Entrance Spacing (Max.)	NR
J. Roof Type	All
K. Façade Types	Door Yard, Forecourt, Stoop, Recessed Entry, Step, Porch, Terrace, Gallery, Arcade

Section 10.5B40 Development Site Standards

10.5B41 General

- 10.5B41.10 Allowed by Conditional Use Permit approval from the Planning Board, a Development Site is any lot or group of contiguous lots owned or controlled by the same person or entity, assembled for the purpose of a single development and including more than one principal building or building type. A development that includes individual principal building on a single lot is subject to the requirements of Section 10.5B34.
- 10.5B41.20 Site Area: Development Site area is the cumulative area of all contiguous lots that the site is composed of. Development Site area does not include existing or proposed right-of-way, whether dedicated or not dedicated to public use.
- 10.5B41.30 Site Width: Development Site width is the cumulative width of all contiguous lots that the site is composed of.
- 10.5B41.40 Site Depth: Development Site depth is the distance between the front and rear property lines measured along a line midway between the outside edge of all contiguous lots.



- 10.5B41.50 Permitted Building Types: A Development Site may include a combination of Building Types as permitted in Section 10.5B43 that are assembled on an individual lot or group of contiguous lots for the purpose of a single development.
- 10.5B41.60 Perimeter Buffer: The perimeter buffer requirements identified in Section 10.5B43 apply to the outside boundary of the Development Site where the site abuts adjoining properties that are not part of the Development Site. In addition to the minimum perimeter buffer required, in granting a

Conditional Use Permit, the Planning Board may require landscaping, fencing, or an increase in the building setback where adjacent land uses may be incompatible. Perimeter buffer requirements supersede building setback requirements for individual building types.

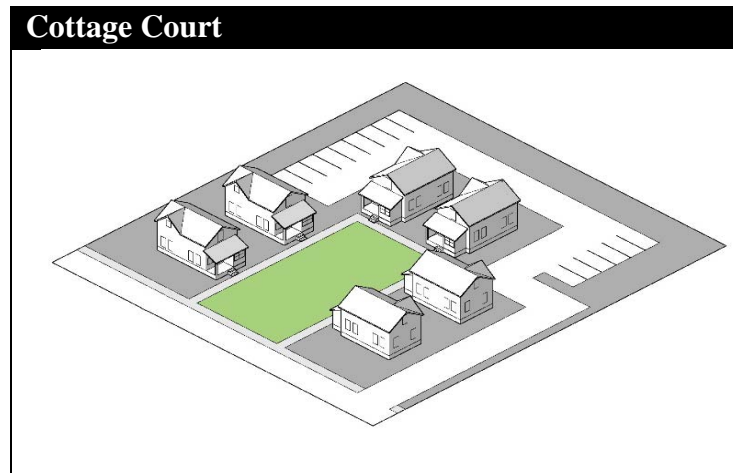
- 10.5B41.70 Building Block Length: A maximum Building Block Length along public or private streets within the Development Site may be required to ensure that walkability and an attractive pedestrian environment is integrated into the placement of buildings and community spaces.
- 10.5B41.80 Community Space Coverage: The minimum Community Space Coverage equals 10% of the Open Space Coverage requirement for the Development Site.
- 10.5B41.90 Public Street Frontage: All Development Sites must have a minimum of 50 feet of frontage on a Public Street providing access to internal streets located within the Development Sites. All Development Sites with direct access to Lafayette Road must have a minimum of 100 feet of frontage along the corridor.
- 10.5B41.100 Conditional Use Permit Criteria: Prior to granting a conditional use permit for Development Sites in the Gateway Districts according to the requirements of this Article, the Planning Board shall make the following findings.
- 1) The development project is consistent with the Portsmouth Master Plan.
 - 2) The development project has been designed to allow uses that are appropriate for its context and consistent with City's planning goals and objectives for the area.
 - 3) The project has includes feasible measures to mitigate or eliminate anticipated impacts on traffic safety and circulation, demand on municipal services, stormwater runoff, and protection of natural resources.
 - 4) The project is consistent with the purpose and intent set forth in Section 10.5B11.

10.5B42 Development Site Standards

10.5B42.10 Pocket Neighborhood Development

A Pocket Neighborhood is a cohesive cluster of homes gathered around a variety of common open space amenities. In the Gateway Mixed Use Districts, the following Pocket Neighborhood Development Sites are permitted:

- (a) Cottage Court: This Pocket Neighborhood consists of multiple small, detached single family homes, arranged around a courtyard. The shared courtyard takes the place of private yard space and becomes an important community-enhancing element of this Development site. The Cottage Court is appropriately scaled to fit within or nearby medium-density neighborhoods. The Pocket Neighborhood Senables appropriately scaled, well-designed, higher density developments important for providing a broad choice of housing types in a walkable environment. Cottage Courts consist of Cottages, Paired Houses, and Community Building Types meeting the design standards in Table 10.5B34 and the density thresholds in Section 10.5B70.



- (b) Cohousing/Housing Cooperative: Cohousing is a community of private homes clustered around shared building and community spaces. Each attached or single family home has traditional amenities, including a private kitchen. Shared spaces typically feature a common house, which may include a large kitchen and dining area, laundry, and recreational spaces. Other shared spaces include community garden plots, recreational fields, and shared work spaces. Cohousing Developments consists of Cottages, Paired Houses, and Community Building Types meeting the design standards in Table 10.5B33 and the density thresholds in Section 10.5B70.

1.1 DEVELOPMENT STANDARDS

A. Site Area (Minimum)	10,000 S.F.
B. Site Width (Minimum)	75 ft.
C. Site Depth (Minimum)	100 ft.
D. Perimeter Buffer (Minimum)	50 ft.
E. Building Block Length (Maximum)	250 ft.
F. Open Space Coverage (Min.)	20%
F. Community and Outdoor Amenity Space Site Coverage (Minimum)	10% of the required open space area
G. Community and Outdoor Amenity Space Types	Greenway, Courtyard, Park, Pocket Park, Playground, Recreation Field or Court, Community Garden, Common or Green

1.2 PERMITTED BUILDING TYPES

A. Cottages, Paired Houses, Community Buildings

1.3 ADDITIONAL STANDARDS

A. Maximum Cottage Unit Size	1,400 GFA and 2 bedrooms
B. Maximum Cohousing Unit Size	1,800 GFA and 3 bedrooms
C. Courtyard Design (Minimum)	3,000 GFA 40 ft. Width
D. Courtyard Area Per DU (Minimum)	600 SF
E. Buildings shall be centered on a common courtyard in groups of 16 or less	
F. Cottage Courts and Cohousing Developments may include a community garden, common house, co-work space, and other common access site amenities.	

10.5B42.20 Mixed Use Development



A development project containing multiple residential, nonresidential, and mixed-use building types. Mixed Use Developments may include a combination of horizontally and vertically mixed buildings and uses on site subject to all applicable Building Type standards in Section 10.5B30.

1.1 DEVELOPMENT STANDARDS

A. Site Area (Minimum)	20,000 S.F.
B. Site Width (Min.)	100 ft.
C. Site Depth (Min.)	100 ft.
D. Perimeter Buffer (Min.)	75 ft. from a Residential District, Mixed Residential District, or Character District 4-L1
E. Building Block Length (Max.)	300 ft.
F. Open Space Coverage (Min.)	20%
G. Community and Outdoor Amenity Space Site Coverage (Minimum)	10% of the required open space area
H. Community and outdoor Amenity Space Types	All

1.2 PERMITTED BUILDING TYPES

A. Apartment Building, Gateway Townhouse, Live/Work Building, Small Commercial Building, Large Commercial Building, Mixed-Use Building, Small Flex Space/Fabrication Building, Community Building

10.5B42.30 General Residential Development



A development project containing one or more residential building types in accordance with allowed Building Types and design standards in Section 10.5B34.

1.1 DEVELOPMENT STANDARDS

A. Site Area (Minimum)	10,000 S.F.
B. Site Width (Min.)	75 ft.
C. Site Depth (Min.)	100 ft.
D. Perimeter Buffer (Min.)	NR
E. Building Block Length (Max.)	300 ft.
F. Open Space Coverage (Min.)	20%
G. Community and Outdoor Amenity Space Site Coverage (Minimum)	10% of the required open space area
H. Community and Outdoor Amenity Space Types	Greenway, Park, Pocket Park, Playground, Recreation Field or Court, Common or Green, Community Garden, Common Yard, Square, Plaza

1.2 PERMITTED BUILDING TYPES

A. Apartment Building, Gateway Townhouse, Live/Work Building, Community Building
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10.5B42.40 General Commercial Development



A development project containing one or more commercial building types in accordance with allowed Building Types and design standards in Section 10.5B34.

1.1 DEVELOPMENT STANDARDS

A. Site Area (Minimum)	10,000 S.F.
B. Site Width (Min.)	75 ft.
C. Site Depth (Min.)	100 ft.
F. Open Space Coverage (Min.)	10%
G. Community and Outdoor Amenity Space Site Coverage (Minimum)	10% of the required open space area
H. Community and Outdoor Amenity Space Types	Park, Pedestrian Alley, Wide Pedestrian Sidewalk, Common or Green, Outdoor Dining Café, Greenway, Square, Plaza, Courtyard

1.2 PERMITTED BUILDING TYPES

A. Small Commercial Building, Large Commercial Building, Small Flex Space/Fabrication Building
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Section 10.5B50 Pre-Existing Buildings and Lots

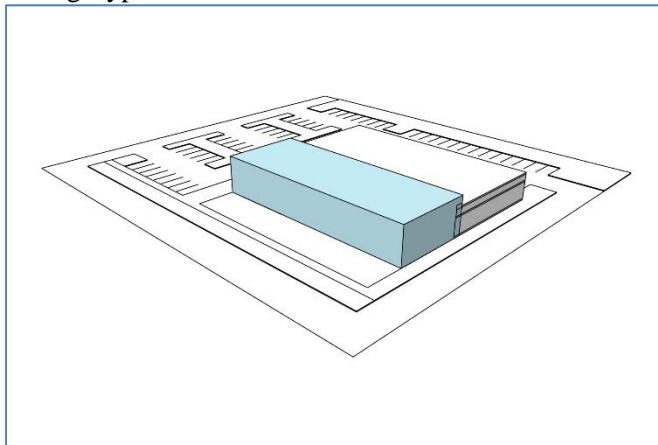
10.5B51 Purpose

The purpose of this section is to establish standards for the continued utilization of existing buildings in Gateway Districts constructed prior to the effective date of Article 10.5B. Where the provisions of this section conflict with Article 3 - Non-Conforming Lots, Buildings, Uses and Structures, this section shall apply.

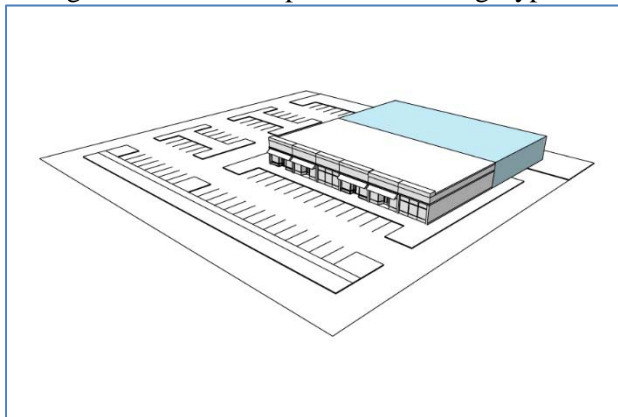
10.5B52 Non-Conforming Building Additions and Retrofits

A building in the Gateway Districts that existed prior to the effective date of Article 5B may be expanded or altered without complying with all of the standards of Section 10.5B34, but shall comply with the following minimum standards for the allowed Building Type as defined in 10.5A36.60 that is most similar to the existing building:

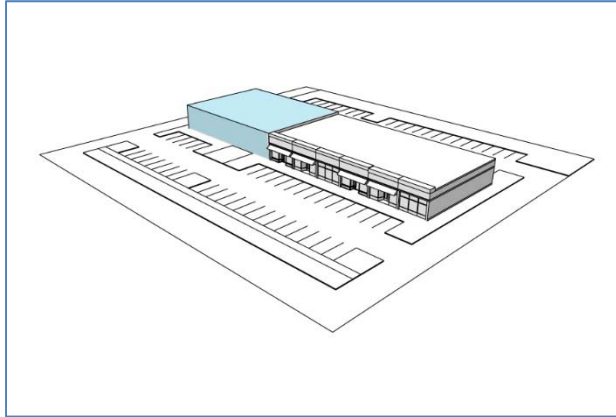
- 10.5B52.10 Front Addition: Any addition to the front of the building shall comply with the minimum and maximum Front Building Setback for the specified Building Type.



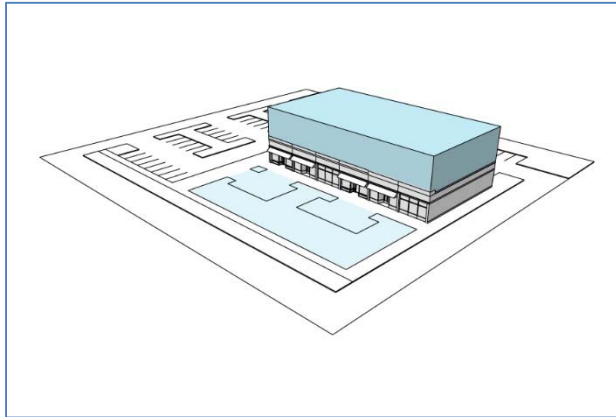
- 10.5B52.20 Rear Addition: Rear additions are allowed up to the minimum Rear Building Setback for the specified Building Type.



- 10.5B52.30 Side Addition: Side additions are allowed up to the minimum Side Building Setback and to a length not exceeding the maximum Façade Modulation Length for the specified Building Type.



- 10.5B52.40 Story Addition: Story additions are allowed up to the maximum story and building height for the specified Building Type.

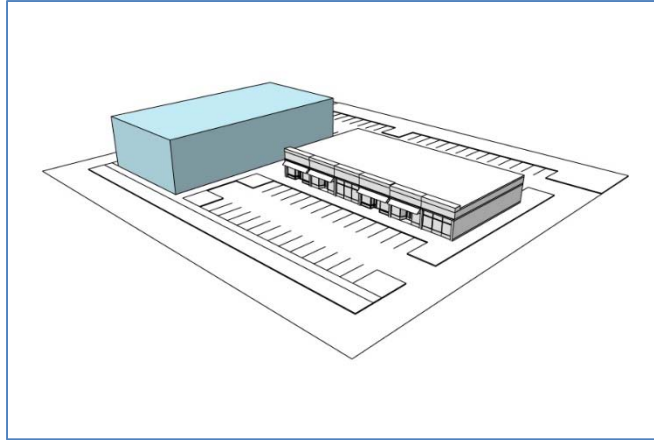


- 10.5B54.10 Residential Density: Maximum Density is 1 Dwelling Unit Per 2,000 Gross Floor Area of the existing building being converted or expanded for residential use.

10.5B53 New Buildings

New building(s) that are constructed on a lot or development site that includes one or more non-conforming buildings that existed prior to the effective date of Article 5B, shall comply with the standards for Development Sites as required by Section 10.5B40 except as follows:

- 10.5B52.10 If the minimum Front Lot Line Buildout has not been met, new buildings must be placed within the minimum and maximum Front Yard Setback.



10.5B54 Development Sites

In addition to the requirements for new buildings as provided in Section 10.5B53, Development Sites that include one or more non-conforming buildings that existed prior to the effective date of Article 5B, shall comply with the standards required by Section 10.5B40 except as follows:

10.5B54.10 Community Space Coverage and Type: The minimum Community Space coverage is 20% of the site area.

10.5B54.20 All Community Space Types listed in Section 10.5A45 are permitted.

Section 10.5B60 Building Façade Types

10.5B61 General

At least one (1) façade type as defined in Section 105A43.10 is required for each principal building type.

10.5B62 Permitted Building Façade Types by Building Type

10.5B62.10 Building Façade Types

FAÇADE TYPES	BUILDING TYPES								Performance Standards
	A. Cottage	B. Paired House	C. Apartment Building	D. Gateway Townhouse	E. Live/Work Building	F. Large and Small Commercial Building	G. Mixed-Use Building	H. Small Flex Space/Fabrication Building	
A. Door Yard	P	P	P	P	P			P	Section 10.5B62.10
B. Forecourt			P			P	P		Section 10.5A.43.10
C. Stoop	P	P		P					Section 10.5A.43.10
D. Recessed Entry			P	P	P	P	P	P	Section 10.5A.43.10
E. Step	P	P	P	P					Section 10.5A.43.10
F. Porch	P	P	P	P	P	P	P		Section 10.5A.43.10
G. Officefront						P	P	P	Section 10.5A.43.10
H. Shopfront					P	P	P	P	Section 10.5A.43.10
I. Terrace					P	P	P	P	Section 10.5B62.20
J. Gallery						P	P		Section 10.5B62.30
K. Arcade						P	P		Section 10.5B62.40

P Permitted

Section 10.5B70 Density Thresholds and Bonuses

10.5B71 Residential Density

10.5B71.10 New development or redevelopment that consists of one principal residential or mixed residential building according to the standards for Building Type in Section 10.5B34 on a single lot shall comply with the following density requirements for the maximum number of dwelling units per acre.

Dwelling Units Per Acre

Building Type	Gateway Corridor Mixed-Use (G1)		Gateway Corridor Mixed Use Center (G2)	
	P	CU	P	CU
Cottage	NR	NR	NR	NR
Paired House	NR	NR	NR	NR
Apartment Building	16	24	16	24
Gateway Townhouse	16	24	16	24
Live-Work/Shop House	16	24	16	24
Mixed-Use Building	16	24	16	24

P = Permitted

CU = Conditional Use Permit under the provisions for Density Bonuses in Section 10.5B72

10.5B71.10 New development or redevelopment that is constructed according to the standards for a Development Site in Section 10.5B43 shall comply with the density requirement for the maximum number of dwelling units per acre for all of the buildings in the development.

Dwelling Units Per Acre

Development Types	Gateway Corridor Mixed-Use (G1)		Gateway Corridor Mixed Use Center (G2)	
	P	CU	P	CU
Pocket Neighborhood*	16	20	12	16
Mixed Use Development	20	30	20	30
General Residential Development	20	30	20	30

P = Permitted

CU = Conditional Use Permit under the provisions for Density Bonuses in Section 10.5B72

10.5B72 Density Bonus Incentives

A conditional use permit may be granted by the Planning Board for increased housing density or for increased building height and footprint as described in this section. Such conditional use permit shall be contingent upon satisfying the requirements of Section 10.5B73.

10.5B72.10 **Dwelling Units Per Building:** The Planning Board may, by conditional use permit, allow up to a maximum of 36 dwelling units per building.

10.5B71.20 **Dwelling Units per Acre:** The Planning Board may, by conditional use permit, allow higher density up to the maximum established in Section 10.5B71.10.

10.5B72.40 **Height and Building Footprint:** The Planning Board may, by conditional use permit, allow an increase in the maximum building height by one (1) story and an increase in the maximum building footprint and square footage by 20 percent.

10.5B73 Bonus Incentive Requirements

In order to be eligible for bonus incentives as outlined in section 10.5B72, a development must include Workforce Housing or provide Eligible Public Realm Improvements as outlined below. Required documentation for these improvements must be submitted with the application as outlined in Section 10.5B74.

10.5B73.10 **Public Realm Improvements:** All public realm improvements used for a density bonus shall be recommended in plans or policies approved or used by the City of Portsmouth including the Portsmouth Master Plan, Capital Improvement Program, or other relevant documents. Eligible improvements include the following:

- (a) Expansion of the Portsmouth Bicycle and Pedestrian Network consistent with the Portsmouth Bicycle and Pedestrian Plan including public easements and trail construction over the building site or development site and connecting to existing or planned public trails.
- (b) Public or publicly-accessible parking facilities including surface and structured (above and below ground) facilities in addition to parking required on site. Parking facilities may be located on-site or on land donated to the City for the purposes of public parking to benefit the District.
- (c) Allocation of land equal to 20% of the project's gross floor area that is located on a portion of the project's building lot or development site or on a different lot for the purpose of creating a publicly accessible active or passive recreation.

10.5B73.20 **Workforce Housing Requirement:** One or more of the following criteria shall be met:

- 1) At least 30% of the dwelling units within a building, but no less than three units, shall be workforce housing units for sale. Such units shall be at least the average gross floor area of the proposed units in the

building or 1,000 sq. ft., whichever is greater. The workforce housing units shall be distributed throughout the building wherever dwelling units are located; or

- 2) At least 10% of the dwelling units within a building, or at least two units, shall be workforce housing units for rent (affordable to a household with an income of no more than 60 percent of the area median income for a 3-person household). Such units shall be at least the average gross floor area of the proposed units in the building or 800 sq. ft., whichever is greater. The workforce housing units shall be distributed throughout the building wherever dwelling units are located.

10.5B74 Approval of Density Bonus Incentives

10.5B.74.10 Required Information: In order to be eligible for bonus incentives as described in 10.5B72, the following submissions must be included with an application for a Conditional Use Permit:

- (1) Public Realm Improvements:
 - a) A written description of the intended site development or District improvements, the public benefit provided, provision for design, construction, management and maintenance if required, and plans showing the location and type, size and extent of each of the eligible improvements.
 - b) A specific time frame for the completion of all required on-site and off-site improvements shall be incorporated as a condition of approval of the Planning Board.
 - c) A list of all permits and approvals required in connection with any proposed public realm improvements with the application. These approvals shall be obtained prior to approval of the development, unless authorized by the Planning Board.
- (2) Workforce Housing:
 - a) A description of the workforce housing units, identifying quantity, location, and type;
 - b) Documentation that the proposed units qualify as workforce housing units as defined by this Ordinance;
 - c) Proposed covenant or other legally binding documents that provide enforceable restrictions as to price and occupancy to ensure long-term availability and affordability of the units.
- (3) Any requests by the applicant for the Planning Board to modify specific standards and requirements set forth in this Section 10.5B70 as allowed under Section 10.5B74.30 and a detailed justification for the requested modification.

10.5B74.20 Planning Board Findings: Prior to granting a conditional use permit for density bonus incentives under this section, the Board shall make the following findings:

- 10.5B74.21 The proposed project (and any conditions of approval) satisfies the requirements in Section 10.5B73;

10.5B74.22 The proposed project is consistent with the purpose and intent set forth in Section 10.5B11.

10.5B74.30 Modification of Standards: In granting a conditional use permit, the Planning Board may modify specific standards and requirements set forth in Section 10.5B70 provided that the Planning Board finds such modification will promote design flexibility and overall project quality, or that such modification is required for the development to provide a proposed workforce housing component, and that such modification is consistent with the purpose and intent set forth in Section 10.5B11.

10.5B74.31 In considering a request for a modification of the standards and requirements, the Planning Board may request that the applicant provide documentation of project cost factors demonstrating that the requirements of this Ordinance are cost prohibitive to the completion of the project. Such cost factors shall include, but not be limited to, land, improvements for roads, utilities & drainage, marketing, insurance, labor, building materials, and profit to identify a total gross cost of the project and per unit gross costs, the Planning Board may approve one or more of the following incentives only if the applicant demonstrates the City’s land use ordinances and regulations induce a cost prohibitive project.

Section 10.5B80 Parking and Loading Requirements and Standards

10.5B81 General

- 10.5B81.10 Unless otherwise specified, parking for motor vehicles must be located on the same lot or development site as the principal use that the accessory parking serves.
- 10.5B81.20 All off-street parking facilities in the Gateway Districts shall meet the design requirements of Section 10.1114.
- 10.5B81.30 All off-street loading facilities in the Gateway Districts shall meet the requirements of Section 10.1120.

10.5B82 Off-Street Parking Requirements

10.5B82.10 Off-street parking for motor vehicles shall be provided at the following rates:

Nonresidential uses:

- Minimum: 1 space per 350 sq. ft. GFA
- Maximum: 1 space per 250 sq. ft. GFA

Residential uses:

- Minimum: 1.3 spaces per dwelling unit
- Maximum: 1.8 spaces per dwelling unit

10.5B82.20 Bicycle parking spaces or storage capacity shall be provided at a rate of at least 15 percent of the off-street parking spaces provided for motor vehicles.

Section 10.5B90 Pedestrian Access and Circulation

10.5B81 Pedestrian walkways shall provide connections through the lot/site to the public street right-of-way, and between the lot/site and adjacent land uses.

10.5B82 At least one 8-foot wide pedestrian walkway shall be provided throughout the lot/site, connecting adjacent streets, accessways, sidewalks and off-street parking areas to the entrances of all principal buildings.

10.5B83 Pedestrian areas shall be clearly distinguished from vehicular and bicycle traffic areas through the use of paving materials, landscaping, or other means.

10.5B84 A lot/site with more than one principal building or off-street parking area shall include an internal pedestrian network that provides logical and direct routes for pedestrians throughout site.

10.5B85 Parking lots shall include internal walkways spaced not more than 150 feet apart. Where possible, these walkways shall be aligned to connect with major building entries or other destinations.

Section 10.5B100 Community Space and Outdoor Amenity Space

10.5B101 General Requirements

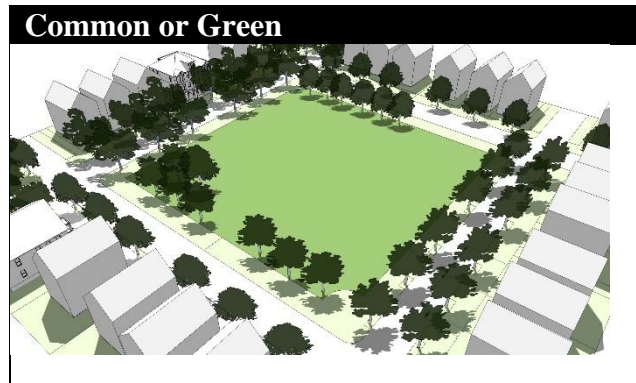
Community Space and Outdoor Amenity Spaces meeting one or more of the types described in Figure 10.5A45.10 or Section 10.5B93 must be provided according to the standards for Development Sites as described in Section 10.5B40.

10.5B102 Outdoor Amenity Space Types

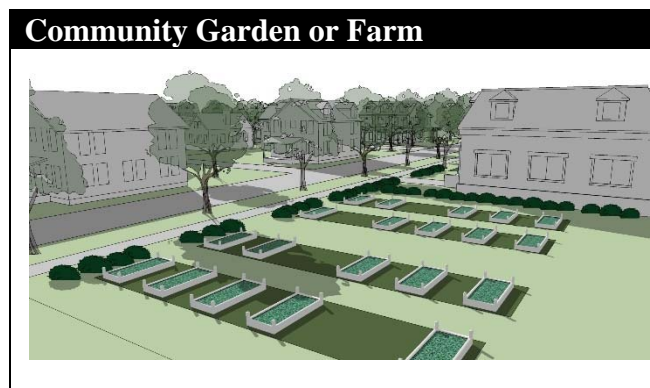


A publicly accessible open space designed and equipped for active recreation and organized sports. Playing fields and courts may include grass, artificial turf, clay, dirt,

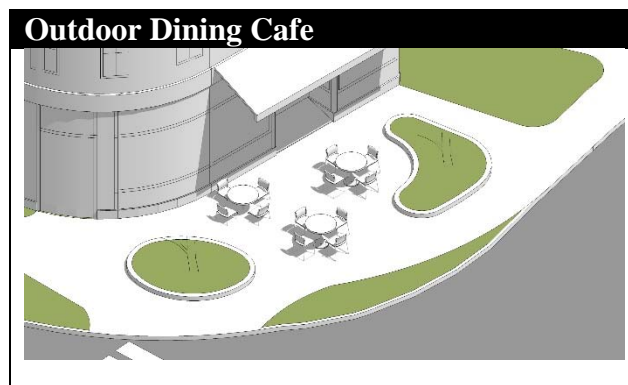
stone dust, concrete, asphalt, ice or other pervious or impervious materials to support various sporting events.



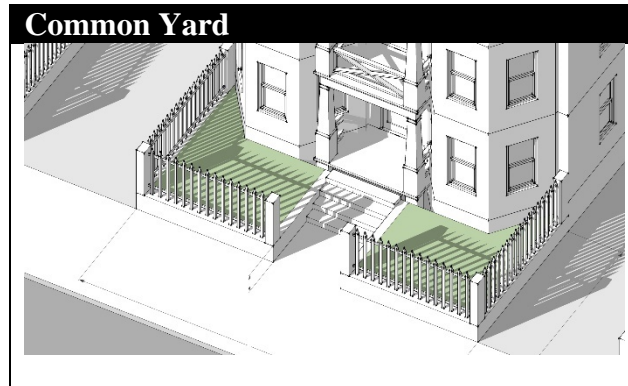
A civic space type for active and passive recreation and gathering purposes. A common or green is a free-standing site with thoroughfares on all sides and landscape consisting of naturally disposed lawns, paths, and trees.



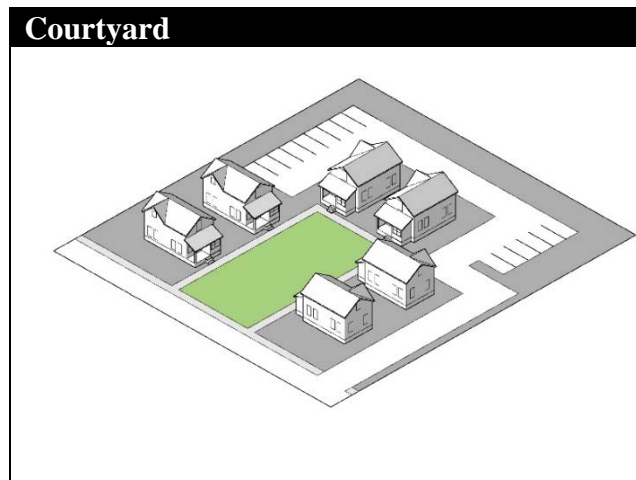
A civic space type designed as individual garden plots available to residents for urban agriculture purposes, including storage facilities for necessary equipment. Community gardens may be freestanding or incorporated as a subordinate feature of a community park, neighborhood park, or pocket park.



Outdoor dining cafes are permitted as an ancillary activity of any restaurant, pub, or other food and drink establishment. The operator of the outdoor dining cafe may be granted a permission from the City for locations on side and on the public sidewalk.



A Private Frontage and Outdoor Amenity Space featuring a fenced or common front yard with porches allowed to encroach on the setback.



A courtyard or court is an enclosed area, often surrounded by a building or complex, that is open to the sky.

10.5B103 Permitted Community and Outdoor Amenity Spaces by Development Site Type

Only Outdoor Amenity or Community Space Types that are listed as *permitted* shall count toward the required Community Space / Outdoor Amenity Space Coverage requirement specified for the Development Type.

COMMUNITY OR OUTDOOR AMENITY SPACE TYPES	DEVELOPMENT TYPES			
	Mixed Use Development	Pocket Neighborhood	General Residential Development	General Commercial Development
Park	P	P	P	P
Greenway	P	P	P	P
Pedestrian Alley	P		P	P
Wide Pedestrian Sidewalk	P		P	P
Pocket Park	P	P	P	P
Playground	P	P	P	
Recreation Field	P	P	P	
Common or Green	P	P	P	P
Community Garden	P	P	P	
Outdoor Dining Cafe	P			P
Common Yard	P		P	
Square	P		P	P
Plaza	P		P	P
Courtyard	P	P	P	P

P = Permitted