

Article 5B Gateway Mixed Use Districts

Section 10.5B10 General

10.5B11 Purpose and Intent

The purpose of Article 5B is to encourage development that is consistent with the City's goals for the production and diversification of high quality housing and a mix of uses in Portsmouth's primary gateway areas. ~~This is accomplished by providing a range of standards that define a place and regulate the physical character of buildings and site developments through placement, form, design, and utilization. These standards aim to provide the minimum level of control necessary to meet the Purpose Statements for the Gateway Corridor (G1), G2, and Gateway Center (G2) Districts in Section 10.410 while providing a range of opportunities appropriate to the context of each Gateway~~ Mixed Use District.

10.5B12 Applicability

10.5B12.10 Article 5B shall apply to the G1, ~~G2~~, and ~~G3~~ Gateway ~~Character~~Mixed Use Districts as shown on the City of Portsmouth Zoning Map.

10.5B12.11 No development, subdivision, re-subdivision or construction of or on any building, lot or parcel of land shall occur except in compliance with all standards and requirements for these districts.

10.5B13 Relationship to Other Provisions of the Zoning Ordinance

10.5A13.10 The provisions of Article 5B shall take precedence over all other provisions of the Zoning Ordinance that conflict with Article 5B.

10.5A13.20 All provisions of the Zoning Ordinance that are not specifically modified or superseded by Article 5B, or that are not in conflict with Article 5B, shall apply to lots, buildings and uses in the ~~Gateway District~~Gateway Mixed Use Districts.

10.5B14 Relationship to Other Regulations, Codes and Ordinances

10.5B14.10 Any proposed subdivision of land shall comply with the Subdivision Rules and Regulations, in addition to the requirements of Article 5B.

10.5B14.20 Any development that requires Site Plan Review under the Site Plan Review Regulations shall comply with such Regulations, in addition to the requirements of Article 5B.

10.5B14.30 The provisions of Article 5B do not modify or supersede any provision of the Building Code, other City ordinances or regulations, or State laws relating to the development of land.

10.5B15 Figures and Tables

10.5B15.10 The standards and definitions included in the figures and tables in this Article are an integral part of Article 5B.

10.5B15.20 The diagrams, photographs and illustrations contained in the figures in this Article are provided only to provide reference to certain regulating elements and indicate general character within the various districts and shall have regulatory force and effect only to that extent.

10.5B16 Allowed Uses

Buildings, structures, and land within the Gateway Mixed Use Districts shall comply with the use regulations set forth in Section 10.440, Table of Uses. The Planning Board shall be the Conditional Use Permit Granting Authority for all uses requiring a Conditional Use Permit in the Gateway Districts.

10.5B17 Definitions

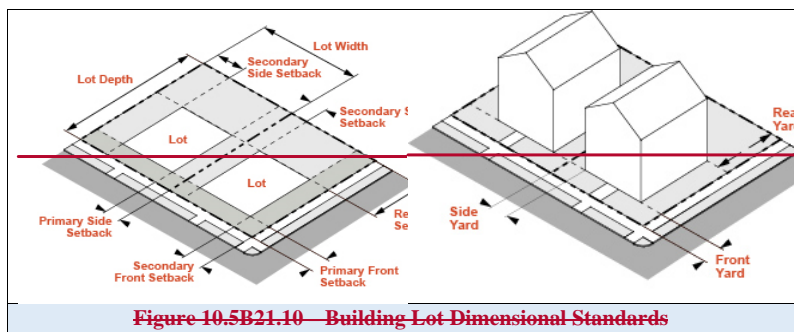
Terms used throughout Article 5B may be defined in the figures, Section 10.5B101, Section 10.5A60, Article 15 or elsewhere in the Zoning Ordinance. Terms not so defined shall be accorded their commonly accepted meanings. In the event of any conflict between the definitions in Article 5B, ~~Article 5A, those in~~ Article 15, other sections of the Zoning Ordinance, or any other local land use ordinances, rules or regulations, those of Article 5B shall take precedence unless the context clearly indicates otherwise.

Section 10.5B20 General Standards for All Buildings and Development

~~10.5B21 Building Lots~~

Commented [JTW1]: Moved to 10.5B30

~~10.5B21.10 Lot Dimensions: Building lot requirements designate the range of lot sizes that a given building type as identified in Section 10.5B30 can be built on. If a lot is smaller than the minimum required for a certain building type, a different building type must be selected.~~

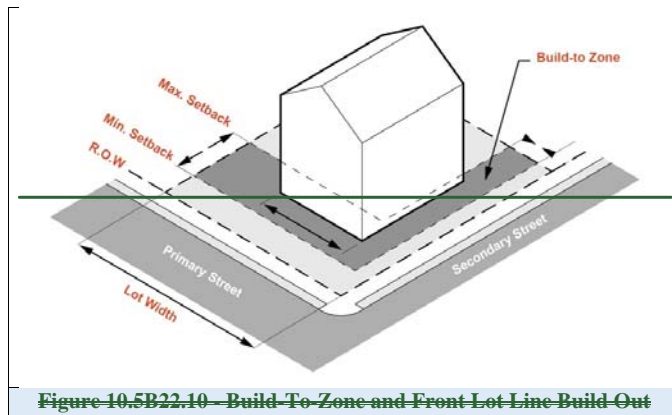


~~10.5B21.20~~ **Number of Buildings:** No more than one principal building type is allowed on a lot except where otherwise specified in Section 10.5B40.

~~10.5B22~~ **Building Placement and Orientation**

Commented [JTW2]: Moved to 10.5B30

~~10.5B22.10~~ **Building Placement:** All buildings and structures must be located at or behind any required minimum front, side, or rear yard except as indicated in Section 10.5B23. The facade of a principal building must be built at or in front of any required maximum front yard for each story of a building. ~~The Build-to-Zone is specified for each Building Type in Section 10.5B23.~~



~~10.5B22.30~~ **Build-To-Zone Occupancy (Front Lot Line Build Out):** ~~The Build-to-Zone is specified for each Building Type in Section 10.5B33. The facade of a building must be built within the Build-To-Zone to a width that equals at least 50% of the lot's primary frontage except where otherwise required in Section 10.5B33.~~

~~10.5B22.40~~ **Facade Orientation:** The primary facade of a principal building must be built parallel to a front lot line or to the tangent of a curved front lot line. On a corner lot, the facade may be retracted at a 45-degree angle between the curb radius to allow for community space and for safe site distance at the corner. All other requirements pertaining to corner visibility in Section 10.516.30 shall apply.

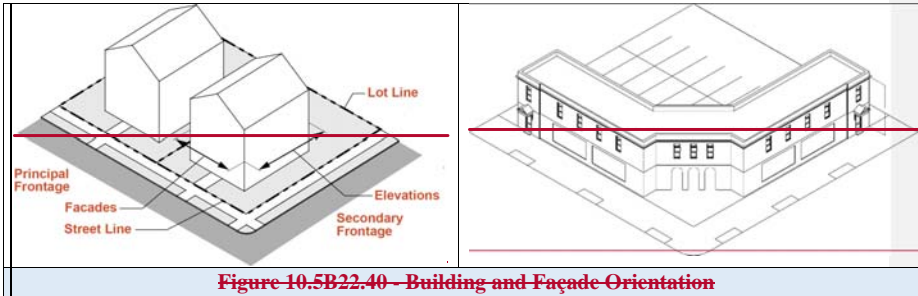


Figure 10.5B22.40 – Building and Façade Orientation

10.5B23.1 Yard Encroachments

In addition to the exceptions specified in Section 10.515 and 10.516, determination of yards shall not include:

- 10.5B23.1.20 Chimneys and flues may encroach up to four (4) feet, provided that at least two (2) feet is maintained from the vertical plane of any lot line.
- 10.5B23.1.30 Unenclosed fire escapes or emergency egress stairways may encroach up to four (4) feet into a required side or rear yard, provided that at least two (2) feet is maintained from the vertical plane of any lot line.
- 10.5B23.1.40 Certain Building Façade Types as permitted in 10.5B60.

10.5B24.2 Building ~~Elevation and Height and Stepback~~

~~10.5B24.10 **Ground Floor Elevation:** Minimum and maximum ground floor elevations are required for certain building types as specified in Section 10.5B33.~~

~~10.5B24.20 **Story Height:** Minimum ground story height applies to the first 30 feet of a building, measured inward from the facade, and at least 50% of the ground story in total. At least 80% of each upper story must meet the minimum upper story height provision. Minimum story height requirements are not measured for half stories.~~

Commented [JTW3]: Incorporate these into the building height requirements for specific building types.

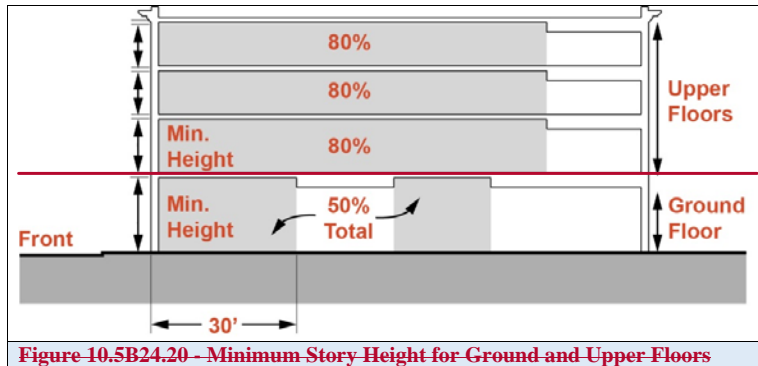


Figure 10.5B24.20 - Minimum Story Height for Ground and Upper Floors

10.5B24.2.310 Building Height Exceptions: Roof decks, roof gardens, and related structures shall not be counted in the building height limits. All other building height exceptions shall comply with Section 10.517.

10.5B24.2.420 Building Stepback and Street Enclosure: Buildings of three (3) stories or more fronting on a street with a 50-foot right-of-way or less shall be required to set-back the building from the street line to the maximum depth of the Build-To-Line yard; or setback the building from the fourth floor and above a distance that equals the height of the floor. The purpose of this requirement is to enhance the pedestrian environment and prevent a canyon effect and shadowing on narrower streets in the district.

Commented [JTW4]: Received public comment suggesting setting building back only if developer uses the bonus ie 5th floor as 45' really doesn't create a canyon affect with a 40'+ distance between buildings (24' road plus 2 8' sidewalks).

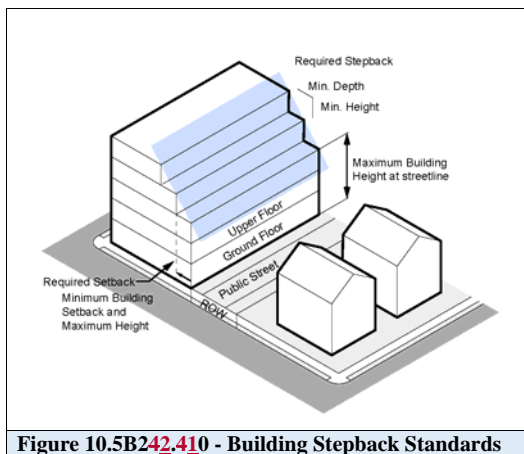


Figure 10.5B24.410 - Building Stepback Standards

~~10.5B235~~ Façade Composition Standards

~~10.5B253.10~~ **Façade Glazing:** For Building Types with specific Façade Glazing requirements as defined in Section ~~10.5B33~~~~10.5B34~~, the following general standards shall apply:

Commented [JTW5]: Consider reducing the requirements and/or change to guidelines vs. standards. Most important on ground floor.

- (a) Facades shall have windows and doors with highly transparent, low reflectivity glass for a percentage of the total area of a facade, measured for each story independently.
- (b) Façade glazing of a ground story facade is measured between two (2) feet and twelve (12) feet above the abutting sidewalk.
- (c) Façade glazing of an upper story facade is measured from the top of a finished floor to the top of the finished floor above.
- (d) Façade glazing requirements are only applicable to facades facing a front street line.

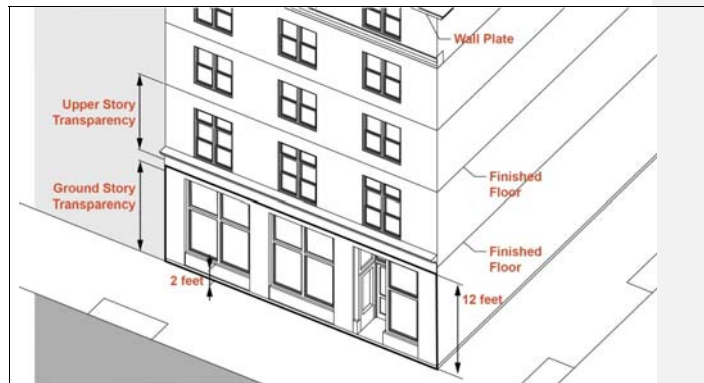


Figure 10.5B253.10 - Ground Floor and Upper Floor Façade Glazing

~~10.5B25.20~~ **Blank Wall Area:** Where Blank Wall Area limitations are required for specific Building Types, these apply both vertically and horizontally for all stories of a building for street-facing facades.

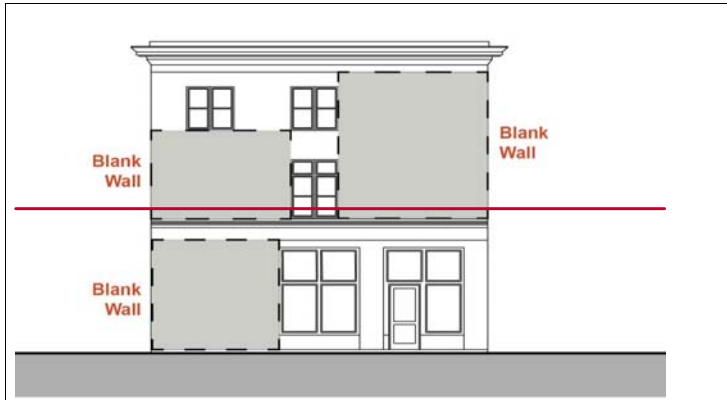


Figure 10.5B25.20 – Ground and Upper Floor Blank Wall Limitations

10.5B25.30 Vertical Articulation Facade Modulation:

(a) Building facades shall be vertically articulated with architectural bays between six (6) feet and fifty (50) feet in width to create an equal, central, and/or ends focused composition as illustrated below in Figure 10.5B23.30.

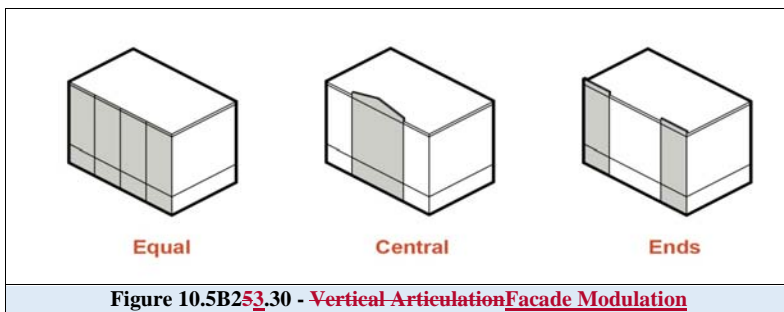
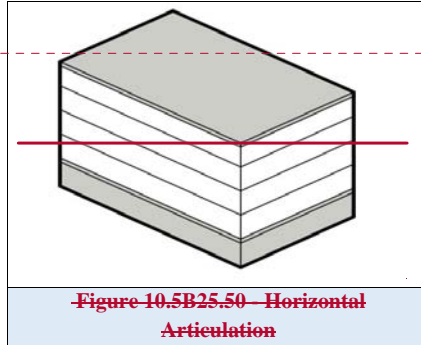


Figure 10.5B25.30 - Vertical Articulation Facade Modulation

(b) **10.5B25.40 Large Building Articulation:** Buildings greater than one hundred (100) feet in width shall be designed to read as a series of smaller buildings with varied architectural design and facade glazing patterns or include a change in vertical plane of the facade of at least four (4) feet (in depth or projection) for at least one (1) bay in width for every one hundred (100) feet of total facade width. This change in plane applies to the entire height of the facade.

10.5B25.530 ~~Horizontal Articulation and Massing Elements:~~ Building facades shall be horizontally articulated with a clearly defined base, middle, and top.

10.5B25.640 ~~Pedestrian Access:~~ Where pedestrian access is required for specific Building Types, entrances shall be located on the street-facing facade of a building, provide both ingress and egress, and be operable and accessible ~~at all times.~~



~~Figure 10.5B25.50 – Horizontal Articulation~~

Commented [JTW6]: Consider adding this to Article 5A (Character Districts) as well.

10.5B264 Roof Types and Design

10.5B264.10 ~~Roof Shapes and Rooflines:~~ The shape and proportion of the roof shall be visually compatible with the architectural style of the building and with those of neighboring buildings. Pitched Roofs shall have a minimum slope as follows:

- (a) Shed: 2:12 minimum
- (b) Hip: 3:12 minimum
- (c) Gable: 6:12 minimum to 12:12 maximum.
- (d) Gambrel: 6:12 minimum to 30:12 maximum.

10.5B264.20 ~~Flat Roofs:~~ Buildings with Flat Roofs shall be capped by an articulated parapet design that acts as a structural expression of the building façade and its materials, visible from all sides of the building.

Commented [JTW7]: Add figure to illustrate.

Section 10.5B30 Building Types and Standards

10.5B31 General

10.5B31.10 All new buildings in the ~~Gateway District~~ Gateway Mixed Use Districts shall be Building ~~T~~Y types specified in this Section.

10.5B31.20 Any new development or redevelopment of a lot or tract that includes ~~construction of~~ more than one principal building or building types shall conform to one of the permitted Development Types for that zoning district as described in Section 10.5B40.

~~10.5B31.30 Existing buildings that are being converted as part of a residential or mixed use development shall also meet the standards of a permitted building type.~~

Commented [JTW8]: Adding new section to address retrofit of existing buildings.

10.5B32 Building Lots

10.5B32.10 Lot Dimensions: Building lot requirements designate the range of lot sizes that a given building type as identified in this Section can be built on. If a lot is smaller than the minimum required for a certain building type, a different building type must be selected.

10.5B32.20 Number of Buildings: No more than one principal building type is allowed on a lot except where otherwise specified in Section 10.5B40.

10.5B32.30 Lots with both frontage on and driveway access from Lafayette Road, Woodbury Ave, or Market Street must have a minimum of 100 feet of street frontage.

10.5B33 Building Placement and Orientation

10.5B33.10 Building Placement: All buildings and structures must be located at or behind any required minimum front, side, or rear yard except as indicated in Section 10.5B21. The facade of a principal building must be built at or in front of any required maximum front yard for each story of a building.

10.5B33.20 Front Lot Line Build Out: All buildings must have a front lot line build out of at least 50% except where otherwise specified in Section 10.5B34.

10.5B33.30 Facade Orientation: The primary facade of a principal building must be built parallel to a front lot line or to the tangent of a curved front lot line. On a corner lot, the façade may be retracted at a 45-degree angle between the curb radius to allow for community space and for safe site distance at the corner. All other requirements pertaining to corner visibility in Section 10.516.30 shall apply.

10.5B32 Allowed Building Types by District

Commented [JTW9]: Updated for consistency with 5A.

Building Types	Gateway Corridor Mixed-Use (G1)	Gateway Neighborhood Mixed-Use Center (G3)
A. Cottage	P	P
B. Paired House	CU	P
C. Apartment Building	P	P
D. Rowhouse	P	P
E. Live-Work/Shop House	P	P
F. General Commercial Building	P	P
G. Mixed-Use Building	P	P
H. Small Flex Space/Fabrication Building	P	P
I. Community Buildings (Accessory Building)	P	P

P = Permitted
CU = Conditional Use Permit

~~10.5B33~~ **10.5B34 Building Type Standards**

Commented [JTW10]: Consider adding Street Facing Façade Height (Min.) to these standards as well.

~~10.5B33~~ **10.5B34.10 Cottage**

1.1. DEFINITION AND PERMITTED USES

A small ~~floor-plate~~ detached single family building type with narrow massing.

1.2. LOT STANDARDS

A.	Lot Size (S.F.) (Min.)	NR
B.	Street Frontage (FT) (Min./Max.)	250 Min. / 40 Max.
C.	Lot Depth (Min./Max.)	NR
D.	Front Yard Build-To-Zone (Min./Max.)	5 Ft. / 20 Ft.
E.	B-T-Z /Front Lot Line Buildout (Min.)	80%
F.	Side Yard (Min.)	5 Ft
G.	Rear Yard (Min.)	10 Ft
H.	Open Space Coverage (Min.)	20%
I.	Parking Setback (Min.)	Behind Building



1.3. DESIGN STANDARDS

A.	Building Height (Max.)	1.5 Stories / 20 Ft
B.	Finished Ground Floor Surface Elevation (FT) (Min./Max)	2 Min. / 4 Max.
C.	Ground Story Height (Min./Max.)	8 Ft. / 10 Ft.
D.	Upper Story Height (Min./Max.)	NR
E.	Roof Types	Gable, Hip
F.	Street-Facing-Wall-Width (Min.)	18 Ft.
G.	Street-Facing-Wall-Off-Set (Min.)	NR
H.	Street-Facing-Façade-Glazing-Ground-Floor/Upper-Floor (Min.)	20% / 20%
I.	Building Length-Street-Facing-Façade (Max.)	20 Ft.
J.	Street Facing Entrance	Required
K.	Façade Types	Door Yard, Stoop, Step, Porch



Commented [JTW11]: Make this consistent with Section 5A (Character Districts) definition and standards.

Commented [JTW12]: Replace these standards with Street Facing Façade Length (Max.), Street Facing Façade Length without Off-Set (Max.), Street Facing Façade Off-set Depth (Min.) and Street Facing Façade Off-set Length (Min.). This is similar the standards in Article 5A (Character Districts). The difference is that the standards in 5A are based on block lengths and these are based on building types. Diagrams will be added to the definitions to illustrate these terms.

1.4. ADDITIONAL STANDARDS

A.	Maximum of 1 Dwelling Unit per building
B.	Maximum unit size is 1,400 GFA and 2 Bedrooms
C.	See Section 10.5B41 for Pocket Neighborhood Development Standards
D.	See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street.

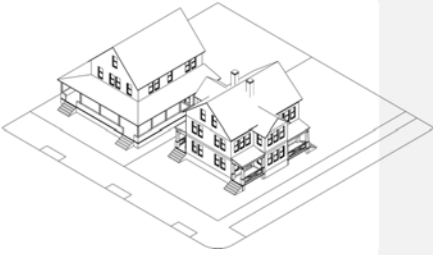
10.5B3310.5B34.20 Paired House

1.1. DEFINITION AND PERMITTED USES

A residential building type with narrow massing and horizontally attached or semi-attached dwelling units generally perpendicular to the front lot line. These buildings contain up to 3 dwelling units and are often designed to resemble large farmhouses with attached carriage houses.

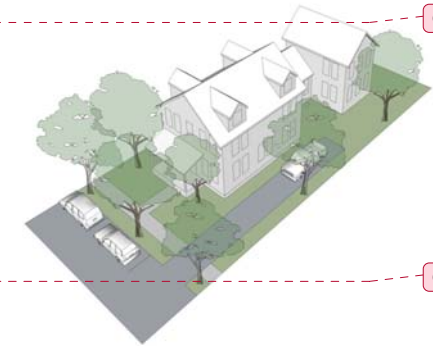
1.2. LOT STANDARDS

A.	Lot Size (S.F.) (Min.)	NR
B.	Street Frontage (Min./Max.)	50 Ft./80 Ft.
C.	Lot Depth (Min./Max.)	NR
D.	Front Yard Build-To-Zone (Min./Max.)	10 Ft./30 Ft.
E.	BTZ/Front Lot Line Buildout (Min.)	60%
F.	Side Yard (Min.)	10 Ft
G.	Rear Yard (Min.)	20 Ft
H.	Open Space Coverage (Min.)	20%
I.	Parking Setback (Min.)	30 Ft



1.3. DESIGN STANDARDS

A.	Building Height (Max.)	32.5 Stories/ 43 0 Ft
B.	Finished Ground Floor Surface Elevation (FT)	2 Ft./4 Ft.
C.	Ground Story Height (Min./Max.)	9 Ft.
D.	Upper Story Height (Min./Max.)	9 Ft.
E.	Roof Types	Gable, Hip, Gambrel
F.	Street Facing Wall Width (Min.)	30 Ft.
G.	Street Facing Wall Off-Set (Min.)	NR
H.	Street Facing Façade Glazing - Ground Floor/Upper Floor (Min.)	20% / 20%
I.	Building Length - Street Facing Façade (Max.)	48 Ft.
J.	Street Facing Entrance	Required
K.	Façade Types	Door Yard, Stoop, Step, Porch



Commented [JTW13]: See note above.

Commented [JTW14]: See note above.

1.4. ADDITIONAL STANDARDS

A.	Maximum of 3 Dwelling Units per building
B.	Paired Houses are only allowed in Pocket Neighborhood Developments
C.	See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street.

10.5B3310.5B34.30 Rowhouse

1.1. DEFINITION AND PERMITTED USES

A small floor plate attached single family residential building type with narrow massing. Each unit is separated horizontally by a common wall or pedestrian passage.

1.2. LOT STANDARDS

A.	Min. Lots Size (S.F.)	1,200 SF
B.	Street Frontage (Min./Max.)	18 Ft./2450 Ft.
C.	Lot Depth (Min.)	50 Ft
D.	Front Yard Build-To-Zone (Min./Max.)	5 Ft/15 Ft.
E.	B-T-Z/Front Lot Line Buildout (Min.)	80%
F.	Side Yard (Min.)	0 Ft
G.	Rear Yard (Min.)	15 Ft
H.	Community Space (Min.)	20%
I.	Community Space Types	Pocket Park, Playground or Recreation Field, Square, Plaza
J.	Parking Setback (Min.)	Behind Building



1.3. DESIGN STANDARDS

A.	Building Height (Max.)	2.5 Stories/35 Ft
B.	Finished Ground Floor Surface Elevation (FT)	2 Ft./4 Ft.
C.	Ground Story Height (Min./Max.)	9 Ft.
D.	Upper Story Height (Min./Max.)	9 Ft.
E.	Roof Types	All
F.	Street Facing Wall Width (Min.)	18 Ft.
G.	Street Facing Wall Off-Set (Min.)	NR
H.	Street Facing Façade Glazing - Ground Floor/Upper Floor (Min.)	20% / 20%
I.	Building/Unit Length - Street Facing Façade (Min./Max.)	18 Ft./24 Ft.
J.	Street Facing Entrance	Required
K.	Façade Types	Door Yard, Stoop, Recessed Entry, Step, Porch



Commented [JTW15]: See note above.

Commented [JTW16]: See note above.

1.4. ADDITIONAL STANDARDS

A.	Off-street parking is not allowed between the buildings
B.	A maximum of eight (8) units can be attached by a common wall before accessway of 20 feet is provided for pedestrians, vehicles or outdoor amenity space.
C.	See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street.

Commented [JTW17]: Consider reducing the maximum number of attached dwelling units or require façade modulation per every 4 units.

10.5B3310.5B34.40 Apartment Buildings

1.1. DEFINITION AND PERMITTED USES

A large floor plate residential building type with four (4) or more dwelling units vertically and horizontally integrated and accessed by common entrances and hallways.

1.2. LOT STANDARDS

A.	Lot Size (S.F.) (Min.)	NR
B.	Street Frontage (Min./Max.) Ft	850 Min.
C.	Lot Depth (Min./Max.)	N/A
D.	Front Yard Build-To-Zone (Min./Max.)	10 Ft. / 30 Ft.
E.	B-T-Z/Front Lot Line Buildout (Min.)	70%
F.	Side Yard (Min.)	15 Ft
G.	Rear Yard (Min.)	20 Ft
H.	Community Space (Min.)	20%
I.	Community Space Types	Pocket Park, Playground or Recreation Field, Square, Plaza
J.	Parking Setback (Min.)	30 Ft



1.3. DESIGN STANDARDS

A.	Building Height (Max.)	4 Stories / 40 Ft
B.	Finished Ground Floor Surface Elevation (FT)	2 Ft. / 4 Ft.
C.	Ground Story Height (Min./Max.)	9 Ft.
D.	Upper Story Height (Min./Max.)	9 Ft.
E.	Roof Types	All
F.	Street Facing Wall Width (Min.)	60 Ft.
G.	Street Facing Wall Off-Set (Min.)	4 Ft. / 8 Ft
H.	Street Facing Façade Glazing—Ground Floor/Upper Floor (Min.)	20% / 20%
I.	Building Length—Street Facing Façade (Max.)	100 Ft.
J.	Street Facing Entrance	Required
K.	Façade Types	Door Yard, Forecourt, Recessed Entry, Step, Porch

Commented [JTW18]: See note above.

Commented [JTW19]: See note above.

1.4. ADDITIONAL STANDARDS

A.	Apartment Buildings must be a minimum of two (2) stories
B.	Minimum of 4 dwelling units per building
C.	See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street.

10.5B3310.5B34.50 Live-Work Shophouse

1.1. DEFINITION AND PERMITTED USES

A small floor plate attached residential building type with one (1) dwelling unit and one (1) ground floor commercial unit.

1.2. LOT STANDARDS

A.	Lot Size (S.F.) (Min.)	NR
B.	Street Frontage (Min./Max.)	540 Min.
C.	Lot Depth (Min./Max.)	NR
D.	Front Yard Build-To-Zone (Min./Max.)	0 Ft./15 Ft.
E.	B-T-Z/Front Lot Line Buildout (Min.)	80%
F.	Side Yard (Min.)	0 Ft
G.	Rear Yard (Min.)	20 Ft
H.	Community Space (Min.)	15%
I.	Community Space Types	Pocket Park, Playground or Recreation Field, Square, Plaza
J.	Parking Setback (Min.)	Behind Building



1.3. DESIGN STANDARDS

A.	Building Height (Max.)	2.5 Stories/35 Ft
B.	Finished Ground Floor Surface Elevation (FT)	0 Ft./2 Ft.
C.	Ground Story Height (Min./Max.)	9 Ft.
D.	Upper Story Height (Min./Max.)	9 Ft.
E.	Roof Types	All
F.	Street Facing Wall Width (Min.)	80 Ft.
G.	Street Facing Wall Off-Set (Min.)	4 Ft/8 Ft
H.	Street Facing Façade Glazing ~Ground Floor/Upper Floor (Min.)	50%/20%
I.	Building Length ~Street Facing Façade (Max.)	50 Ft
J.	Street Facing Entrance	Required
K.	Façade Types	Door Yard, Recessed Entry, Porch, Shopfront, Terrace

Commented [JTW20]: See note above.

Commented [JTW21]: See note above.

1.4. ADDITIONAL STANDARDS

- A. See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street. None

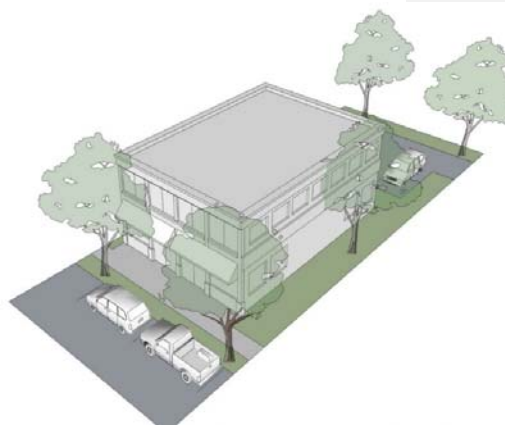
10.5B3310.5B34.60 General Commercial Building

1.1. DEFINITION AND PERMITTED USES

A variable floor plate building type that typically accommodates a variety of ground floor commercial uses and upper office uses at the scale that compliments surrounding neighborhoods. When combined with residential building types, ground floor uses shall be publically-oriented.

1.2. LOT STANDARDS

A.	Lot Size (S.F.) (Min.)	NR5,000
B.	Street Frontage (Min./Max.)	50 Min.
C.	Lot Depth (Min./Max.)	NR
D.	Front Yard Build-To-Zone (Min./Max.)	0 Ft./20 Ft.
E.	B-T-Z/Front Lot Line Buildout (Min.)	70%
F.	Side Yard (Min.)	0/10 Ft
G.	Rear Yard (Min.)	15 Ft
H.	Community Space (Min.)	10%
I.	Community Space Types	Pocket Park, Playground or Recreation Field, Square, Plaza
J.	Parking Setback (Min.)	20 Ft



1.3. DESIGN STANDARDS

A.	Building Height (Max.)	3 Stories/40 Ft
B.	Finished Ground Floor Surface Elevation (FT)	0 Ft./2 Ft.
C.	Ground Story Height (Min./Max.)	12 Ft.
D.	Upper Story Height (Min./Max.)	9 Ft.
E.	Roof Types	All
F.	Street Facing Wall Width (Min.)	60 Ft.
G.	Street Facing Wall Off-Set (Min.)	4 Ft/8 Ft
H.	Street Facing Façade Glazing - Ground Floor/Upper Floor (Min.)	60% / 20%
I.	Building Length - Street Facing Façade (Max.)	100 Ft
J.	Street Facing Entrance	Required
K.	Façade Types	Forecourt, Recessed Entry, Porch, Officefront, Shopfront, Terrace, Gallery, Arcade

Commented [JTW22]: See note above.

Commented [JTW23]: See note above.

1.4. ADDITIONAL STANDARDS

A.	One-Story buildings must have a minimum street facing façade height of 18 feet.
B.	Maximum Building Footprint is 20,000 SF
C.	Side Setback is not required when there is a common wall; a minimum 10 foot side setback is required when there is not a common wall to accommodate pedestrian and/vehicle access to the side and rear of the property

Commented [JTW24]: Move to design standards above.

D. See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street.

10.5B3310.5B34.70 Mixed Use Building

1.1. DEFINITION AND PERMITTED USES

A variable floor plate building type that typically accommodates a variety of ground floor commercial uses and upper residential and office uses at the scale that compliments the historic character of the neighborhood. When combined with residential building types, ground floor uses shall be publically-oriented.

1.2. LOT STANDARDS

A.	Lot Size (S.F.) (Min.)	NR
B.	Street Frontage (Min./Max.)	50 Min.
C.	Lot Depth (Min./Max.)	NR
D.	Front Yard Build-To-Zone (Min./Max.)	0 Ft. / 20 Ft.
E.	B-T-Z/Front Lot Line Buildout (Min.)	70%
F.	Side Yard (Min.)	0/15 Ft
G.	Rear Yard (Min.)	20 Ft
H.	Community Space (Min.)	20%
I.	Community Space Types	Pocket Park, Playground or Recreation Field, Square, Plaza
J.	Parking Setback (Min.)	30 Ft



1.3. DESIGN STANDARDS

A.	Building Height (Max.)	4 Stories /40 Ft
B.	Finished Ground Floor Surface Elevation (FT)	0 Ft. / 2 Ft.
C.	Ground Story Height (Min./Max.)	12 Ft.
D.	Upper Story Height (Min./Max.)	9 Ft.
E.	Roof Types	All
F.	Street Facing Wall Width (Min.)	60 Ft.
G.	Street Facing Wall Off-Set (Min.)	4 Ft / 8 Ft
H.	Street Facing Façade Glazing - Ground Floor/Upper Floor (Min.)	60% / 20%
I.	Building Length - Street Facing Façade (Max.)	150 Ft
J.	Building Footprint (Max)	10,000 sq. ft.
K.	Street Facing Entrance	Required
L.	Façade Types	Forecourt, Recessed Entry, Porch, Officefront, Shopfront, Terrace, Gallery, Arcade

Commented [JTW25]: See note above.

Commented [JTW26]: See note above.

Commented [JTW27]: Seems too small, consider increasing.

1.4. ADDITIONAL STANDARDS

A.	Mixed Use Buildings must be a minimum of 2 stories.
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B.	Side Yard is not required when there is a common wall and 10 feet if there is not to accommodate pedestrian and/vehicle access to the side and rear of the property
C.	<u>See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street.</u>

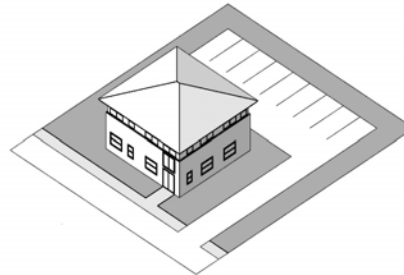
10.5B3310.5B34.80 Small Flex Space/Fabrication Building

1.1. DEFINITION AND PERMITTED USES

A building located and designed to accommodate a small footprint for fabrication and light industrial uses. Flex buildings are also used to provide affordable space to small and creative business enterprises. These buildings may be combined with residential uses in Homestead Retrofit Developments.

1.2. LOT STANDARDS

A.	Lot Size (Min.)	NR
B.	Street Frontage (Min./Max.)	50 Min.
C.	Lot Depth (Min./Max.)	N/A
D.	Front Yard Build-To-Zone (Min./Max.)	0 Ft. / 30 Ft.
E.	B-T-Z/Front Lot Line Buildout (Min.)	50%
F.	Side Yard (Min.)	0/20 Ft
G.	Rear Yard (Min.)	20 Ft
H.	Community Space (Min.)	10%
I.	Community Space Types	Pocket Park, Playground or Recreation Field, Square, Plaza
J.	Parking Setback (Min.)	30 Ft



1.3. DESIGN STANDARDS

A.	Building Height (Max.)	2 Stories / 40 Ft
B.	Finished Ground Floor Surface Elevation (FT)	0 Ft. / 2 Ft.
C.	Ground Story Height (Min./Max.)	12 Ft.
D.	Upper Story Height (Min./Max.)	9 Ft.
E.	Roof Types	All
F.	Street Facing Wall Width (Min.)	60 Ft.
G.	Street Facing Wall Off-Set (Min.)	4 Ft / 8 Ft
H.	Street Facing Façade Glazing - Ground Floor/Upper-Floor (Min.)	30% / 20%
I.	Building Length - Street Facing Façade (Max.)	400 Ft
J.	Building Area (Max.)	20,000 GFA
K.	Street Facing Entrance	Required

Commented [JTW28]: See note above.

Commented [JTW29]: See note above.

L.	Façade Types	Door Yard, Recessed Entry, Officefront, Shopfront, Terrace
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1.4. ADDITIONAL STANDARDS

A. See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street. ~~None~~

10.5B33.10.5B34.90 Community Building

1.1. DEFINITION AND PERMITTED USES

A building located and designed to accommodate public or civic uses such as a neighborhood center and similar public gathering facilities and spaces. Community Buildings may be privately owned and operated as an accessory building and amenity for a Pocket Neighborhood, Residential Development, Mixed Use Development, or Homestead Retrofit Development.

1.2. LOT STANDARDS

A.	Lot Size (Min.)	NR
B.	Street Frontage (Min./Max.)	850 Min.
C.	Lot Depth (Min./Max.)	N/A
D.	Front Yard Build-To-Zone (Min./Max.)	10 Ft. / 40 Ft.
E.	B-T-Z/Front Lot Line Buildout (Min.)	50%
F.	Side Yard (Min.)	15 Ft
G.	Rear Yard (Min.)	20 Ft
H.	Community Space (Min.)	20%
I.	Community Space Types	Park, Pocket Park, Playground or Recreation Field, Square, Plaza
J.	Parking Setback (Min.)	Behind Building



1.3. DESIGN STANDARDS

A.	Building Height (Max.)	3 Stories / 45 Ft
B.	Finished Ground Floor Surface Elevation (FT)	2 Ft. / 6 Ft.
C.	Ground Story Height (Min./Max.)	12 Ft.
D.	Upper Story Height (Min./Max.)	9 Ft.
E.	Roof Types	All
F.	Street Facing Wall Width (Min.)	60 Ft.
G.	Street Facing Wall Off-Set (Min.)	4 Ft. / 8 Ft
H.	Street Facing Façade Glazing - Ground Floor/Upper Floor (Min.)	50% / 20%
I.	Building Length - Street Facing Façade (Max.)	100 Ft.
J.	Street Facing Entrance	Required

Commented [JTW30]: See note above.

Commented [JTW31]: See note above.

K.	Façade Types	Door Yard, Forecourt, Stoop, Recessed Entry, Step, Porch, Terrace, Gallery, Arcade
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1.4. ADDITIONAL STANDARDS

A. See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street. None

Section 10.5B40 Development Types and Standards

10.5B41 General

Development Types include a combination of permitted Building Types that are assembled on a lot or tract for the purpose of a single development.

10.5B42 Allowed Development Types by District

Development Types	Gateway Corridor Mixed Use (G1)	Gateway Corridor Mixed Use Center (G2)	Gateway Neighborhood Mixed Use Center (G3)
A. Pocket Neighborhood (PN)	CU	CU	CU
B. Mixed Use Development (MUD)	P	P	P
C. General Residential Development (GRD)	CU	CU	CU
D. General Commercial Development (GCD)	CUP	CUP	CUP
E. Homestead Retrofit Development (HRD)	CU	CU	CU

P = Permitted
CU = Conditional Use Permit

Commented [JTW32]: Consider requiring CUP for all Development Types.

Commented [JTW33]: Consider only allowing 100% residential via an incentive.

10.5B43 Development Type Standards

10.5B43.10 Mixed Use Development

A development project containing multiple residential, nonresidential, and mixed-use building types in accordance with allowed Building Types in the district as determined by Section 10.5B30. Mixed Use Developments may include a combination of horizontally and vertically mixed buildings and uses on site subject to all applicable Building Type standards in Section ~~10.5B33~~10.5B34.

1.1. DEVELOPMENT STANDARDS		
A.	Tract Size (Min.)	20,000 S.F.
B.	Tract Street Frontage (Min.)	80 Ft.
C.	Tract Front Yard (Min.)	None
D.	Side/Rear Yard (Min.)	15 Ft.
E.	Community Space (Min.)	15% of Tract Size
F.	Community Space Types	Park, Pocket Park, Playground or Recreation Field, Square, Plaza
G.	Space Between Buildings (Min.)	20 Ft
H.	Street Facing Entrance	Required
1.2. PERMITTED BUILDING TYPES		
Apartment Building, Rowhouse, Live-Work/Shophouse, General Commercial Building, Mixed-Use Building, Small Flex Space/Fabrication Building, Community Buildings		
1.3. ADDITIONAL STANDARDS		
A.	Maximum Floor Area Ratio (FAR) of all buildings on the site is 1.0	
B.	Maximum individual building footprint is 20,000 GFA	
C.	Mixed Use Development tracts adjoining and oriented to Lafayette Road must have a minimum of 100 feet of Street Frontage and must meet the Front Yard requirements of Section 10.533.	



10.5B43.20 Pocket Neighborhood Development

A Pocket Neighborhood is a cohesive cluster of homes gathered around a variety of common open space amenities. In the ~~Gateway District~~ Gateway Mixed Use Districts, the following Pocket Neighborhood Development Types are permitted:

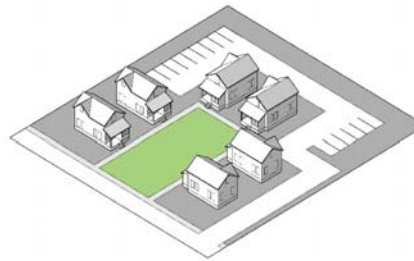
(a) Cottage Court

This Pocket Neighborhood Development Type consists of multiple small, detached single family homes, arranged around a courtyard. The shared courtyard takes the place of private yard space and becomes an important community-enhancing element of this Development Type. The Cottage Court is appropriately scaled to fit within or nearby medium-density neighborhoods. The Pocket Neighborhood Development Type enables appropriately scaled, well-designed, higher density developments important for providing a broad choice of housing types in a walkable environment. Cottage Courts consist of Cottages, Paired Houses, and Community Building Types meeting the design standards in Table ~~10.5B33~~ 10.5B34 and the density thresholds in Section 10.5B70.

(b) Cohousing/Housing Cooperative

Cohousing is a community of private homes clustered around shared building and community spaces. Each attached or single family home has traditional amenities, including a private kitchen. Shared spaces typically feature a common house, which may include a large kitchen and dining area, laundry, and recreational spaces. Other shared spaces include community garden plots, recreational fields, and shared work spaces. Cohousing Developments consists of Cottages, Paired Houses, and Community Building Types meeting the design standards in Table 10.5B33 and the density thresholds in Section 10.5B70.

1.1. DEVELOPMENT STANDARDS		
A.	Tract Size (Min.)	20,000 S.F.
B.	Tract Street Frontage (Min.)	80 Ft.
C.	Tract Front Yard (Min.)	20 Ft.
D.	Side/Rear Yard (Min.)	15 Ft.
E.	Courtyard Size (Min.)*	3,000 S.F.
F.	Courtyard Width (Min.)*	40 Ft.
G.	Courtyard Area Per DU*	600 S.F.
H.	Space Between Buildings (Min.)	15 Ft.
I.	Street Facing Entrance	On end Units
J.	Community Space (Min)	20% of Tract
K.	Community Space Types	Park, Pocket Park, Playground or Recreation Field
1.2. PERMITTED BUILDING TYPES		
Cottage, Paired House		



1.3. ADDITIONAL STANDARDS	
A.	Maximum Cottage Unit GFA is 1,400 GFA and 2 Bedrooms
B.	Maximum Cohousing Unit GFA is 1,800 GFA and 3 Bedrooms
C.	Cottage Courts and Cohousing Developments may include a community garden, common house, co-work space, and other common access site amenities
*	Development Standards E, F, and G above only apply to Cottage Courts

10.5B43.30 General Residential Development

A development project containing one or more residential building types in accordance with allowed Building Types and design standards in Section ~~10.5B33~~10.5B34.

1.1. DEVELOPMENT STANDARDS		
A.	Tract Size (Min.)	20,000 S.F.
B.	Tract Street Frontage (Min.)	80 Ft.
C.	Tract Front Yard (Min.)	NR
D.	Side/Rear Yard (Min.)	15 Ft.
E.	Community Space (Min.)	20% of Tract Size
F.	Community Space Types	Park, Pocket Park, Playground or Recreation Field, Square, Plaza
G.	Space Between Buildings (Min.)	15 Ft
H.	Street Facing Entrance	No
I.	Parking Placement	10 feet behind front elevation of building min.
1.2. PERMITTED BUILDING TYPES		
Apartment Building, Rowhouse, Live-Work/Shophouse, Community Building		
1.3. ADDITIONAL STANDARDS		
A.	Maximum Floor Area Ratio (FAR) of all buildings on the site is 1.0	
B.	Maximum individual building footprint is 20,000 GFA	
C.	General Residential Development tracts adjoining and oriented to Lafayette Road must have a minimum of 100 feet of Street Frontage and must meet the Front Yard requirements of Section 10.533.	



10.5B43.40 General Commercial Development

A development project containing one or more commercial building types in accordance with allowed Building Types and design standards in Section 10.5B30.31.

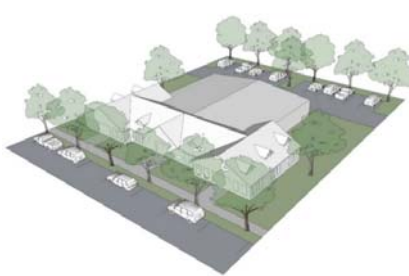
1.1. DEVELOPMENT STANDARDS		
A.	Tract Size (Min.)	20,000 S.F.
B.	Tract Street Frontage (Min.)	80 Ft.
C.	Tract Front Yard (Min.)	NR
D.	Side/Rear Yard (Min.)	15 Ft.
E.	Community Space (Min.)	15% of Tract Size
F.	Community Space Types	Park, Pocket Park, Playground or Recreation Field, Square, Plaza
G.	Space Between Buildings (Min.)	20 Ft
H.	Street Facing Entrance	Required
1.2. PERMITTED BUILDING TYPES		
General Commercial Building, Small Flex Space/Fabrication Building, Community Building		
1.3. ADDITIONAL STANDARDS		
A.	Maximum Floor Area Ratio (FAR) of all buildings on the site is 1.0	
B.	Maximum individual building footprint is 20,000 GFA	
C.	General Commercial Development tracts adjoining and oriented to Lafayette Road must have a minimum of 100 feet of Street Frontage and must meet the Front Yard requirements of Section 10.533.	



10.5B43.50 ~~Homestead~~ Retrofit Development

A development project involving one or more existing buildings being retrofitted and repurposed as a residential and mixed use building in accordance with ~~allowed Building Types and all applicable Building Type design standards in Section 10.5B33~~ the standards below.

1.1. DEVELOPMENT STANDARDS		
A.	Tract Size (Min.)	NR
B.	Tract Street Frontage (Min.)	NR
C.	Tract Front Yard (Min.)	NR
D.	Side/Rear Yard (Min.)	15 Ft.
E.	Community Space (Min.)	20% of Tract Size
F.	Community Space Types	Park, Pocket Park, Playground or Recreation Field, Square, Plaza
G.	Space Between Buildings (Min.)	10 Ft
H.	Street Facing Entrance	NR
1.2. PERMITTED BUILDING TYPES		
Apartment Building, Rowhouse, Live-Work/Shophouse, Mixed Use Building, Small Flex Space/Fabrication Building, Community Building N/A		
1.3. ADDITIONAL STANDARDS		
A.	Maximum Density is 1 Dwelling Unit Per 2,000 Gross Floor Area of existing building being retrofitted for residential use.	
B.	Maximum individual building footprint is 20,000 GFA	



Section 10.5B50 Pre-Existing Buildings and Lots

Commented [JTW34]: Add provisions to ensure pre-existing buildings and lots are not made largely non-conforming and allow for re-investment and repurposing of buildings. Provide standards for expansion of existing buildings.

Section 10.5B60 **Building Façade Types**

Commented [JTW35]: Consider making these guidelines, not standards.

10.5B61 General

At least one (1) façade type is required for each principal building type.

10.5B62 Permitted Building Façade Types

In addition to the Building Façade Types defined in Section 10.5A43.10, the following supplemental types are also permitted in the ~~Gateway District~~ Gateway Mixed Use Districts in accordance with the Building Type standards in Section 10.5B30.

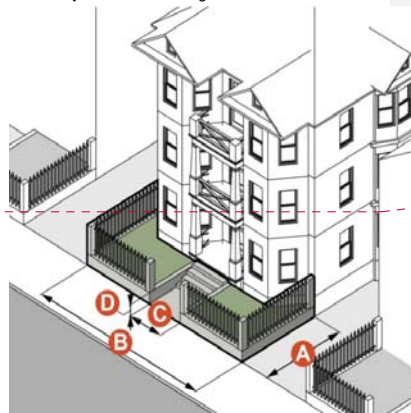
DOOR YARD

1. DEFINITION

A Private Frontage where the Building Façade is aligned close to the Street Line, and the Frontage Line is defined by a low wall, decorative fence or hedge providing a strong spatial definition from the public sidewalk. The result is a small semi-private dooryard containing the principal entrance in the front yard. The dooryard may be slightly raised, sunken, or at-grade, and may be planted or landscaped. A paved walkway from the sidewalk to the front door is required. This type is commonly associated with ground-floor residential use.

2. DIMENSIONS

A. Depth (Minimum)	8 Feet Equal to the width of the Façade or 50 feet maximum
B. Width (Maximum)	50 feet maximum
C. Path of Travel (Minimum)	3 Feet
D. Finish Level Above or Below Sidewalk (Maximum)	18 Inches



Commented [JTW36]: Seems too small

3. STANDARDS

- A. Paving, excluding driveways, must match the abutting sidewalk unless paved with pervious, porous, or permeable materials.
- B. A curb or retaining wall that is no taller than structurally necessary may be built around the planter, garden, terrace, or otherwise landscaped area.
- C. This frontage type may be used in conjunction with other frontage types such as Doorway, Stoop, Shopfront or Officefront. In case of a conflict, the Dooryard Frontage Type standards shall prevail.
- D. Dooryards shall not be used for circulation for more than one ground floor entry.
- E. Dooryards are allowed to encroach within the front yard setback to the Street Line.

TERRACE

1. DEFINITION

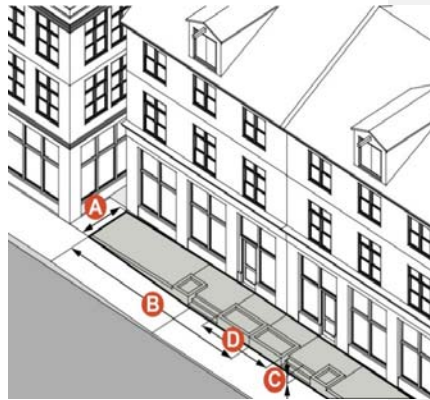
A Private Frontage where the Building Facade is at or near the Street Line with an elevated terrace that may encroach into the front yard setback providing level or terraced public circulation along the façade. This type can be used to provide at-grade access while accommodating a grade change along a Street Line. Frequent steps up to the terrace are necessary to avoid dead walls and maximize access. This type is required to be used in conjunction with other Frontage types to define individual or shared entries facing the street.

2. DIMENSIONS

A.	Depth (Minimum)	8 Feet
B.	Length (Maximum)	150 Feet
C.	Finish Above Sidewalk (Min./Max.)	18 Inches/4 Feet
D.	Distance Between Stairs/Access (Maximum)	50 Feet

3. STANDARDS

- A. Terrace frontage must be paved to match the abutting sidewalk.
- B. Frequent steps up to the terrace are required to avoid blank wall along the sidewalk an maximize pedestrian access.
- C. Low walls used as seating are encouraged.
- D. Terraces shall be used in conjunction with those for the Shopfront, Officefront, or Doorway Frontage Types.
- E. Terrace is allowed to encroach within the front yard setback to the Street Line.



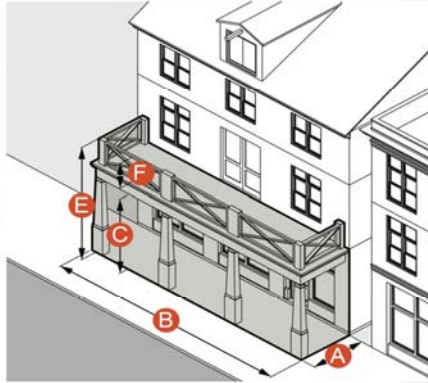
GALLERY

1. DEFINITION

A Private Frontage where the building facade is set back from the Street Line with an attached one or two story cantilevered shed or a lightweight colonnade that is built to the Street Line. This type is intended for buildings with ground floor commercial, hospitality or retail uses. This frontage type is required to be used in conjunction with other types to define individual or shared first floor entries facing the street.

2. DIMENSIONS

A. Depth (Minimum)	8 Feet
B. Width (Minimum)	Equal to the Width of the Façade
C. Ground Floor Height, Clearance (Minimum)	14 Feet
D. Upper Floor Height, Clearance (Minimum)	9 Feet
D. Height, Total	Equal to the Second Story Floor Level
E. Upper Floor Railing Height (Maximum)	5 Feet



3. STANDARDS

- A. These standards may be used in conjunction with those for the Shopfront or Officefront Frontage Types.
- B. No external stairways are allowed to reach the upper-story portion of galleries along a frontage.
- C. Galleries shall remain open on three sides and may have a roof or awning covering the upper floor.
- D. Galleries shall have a consistent depth along a frontage.
- E. Galleries are allowed to encroach within the frontage area to the Street Line, but in no case shall it extend in the public ROW.
- F. Galleries may not contain driveways, parking, loading or service areas or mechanical equipment or vents.

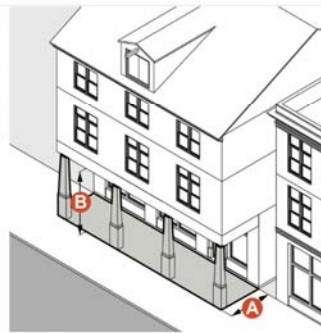
ARCADE

1. DEFINITION

A Private Frontage where only the ground floor level of the building Facade is set back from the Street Line. The Building facade for the upper floors is at the Street Line and is supported by a colonnade with habitable space above. This frontage type is intended for buildings with ground floor commercial, hospitality or retail uses. This type is required to be used in conjunction with other frontage types to define individual or shared first floor entries facing the street.

2. DIMENSIONS

A. Depth, Clearance (Minimum)	12 Feet
B. Ground Floor Height, Clearance (Minimum)	14 Feet
C. Height (Maximum)	1 Story



3. STANDARDS

- A. These standards may be used in conjunction with those for the Shopfront or Officefront Frontage Types.
- B. Arcades shall have a consistent depth across the entire Facade.
- C. Arcades may not contain Driveways, parking, loading, or service areas or mechanical equipment or vents.
- D. Arcades are allowed to encroach within the frontage area to the Street Line, but in no case shall it extend in the public ROW.

Section 10.5B70 Density Thresholds and Bonuses

10.5B71 Residential Density

10.5B71.10 New development or redevelopment that consists of one principal residential or mixed residential building according to the standards for Building Type in Section ~~10.5B33~~10.5B34 on a single lot shall comply with the following density requirements for the maximum number of dwelling units per acre.

Building Type	Dwelling Units Per Acre					
	Gateway Corridor Mixed-Use (G1)		Gateway Corridor Mixed Use Center (G2)		Gateway Neighborhood Mixed Use Center (G3)	
	P	CU	P	CU	P	CU
Cottage	NR	NR	NR	NR	NR	NR
Paired House	NR	NR	NR	NR	NR	NR
Apartment Building	16	24	16	24	16	24
Rowhouse	16	24	16	24	16	24
Live-Work/Shop House	16	24	16	24	16	24
Mixed-Use Building	16	24	16	24	16	24
Affordability Requirement	0%	50%	0%	50%	0%	50%

P = Permitted
 CU = Conditional Use Permit under the provisions for Density Bonuses in Section 10.5B72

10.5B71.10 New development or redevelopment that is constructed according to the standards for a Development Type 10.5B43 on a single lot or on multiple adjoining lots that comprise a development tract shall comply with the density requirement for the maximum number of dwelling units per acre for all of the buildings in the development.

Commented [JTW37]: See comments from developer input regarding density. Survey will also provide additional feedback from the development community.

Development Types	Dwelling Units per Acre					
	Gateway Corridor Mixed-Use (G1)		Gateway Corridor Mixed Use Center (G2)		Gateway Neighborhood Mixed Use Center (G3)	
	P	CU	P	CU	P	CU
Pocket Neighborhood*	16	20	12	16	12	16
Mixed Use Development	20	30	20	30	20	30
General Residential Development	20	30	20	30	20	30
Homestead Retrofit Development	*	*	*	*	*	*
Affordability Requirement	0%	50%	0%	50%	0%	50%

*For Homestead Retrofit Development, maximum density is 1 Dwelling Unit per 2,000 Gross Floor Area of existing building being retrofitted for residential use.

10.5B72 Density Bonus Incentives

Commented [JTW38]: Also will research Flexible Bonus Incentives

A conditional use permit may be granted by the Planning Board for increased housing density or for increased building height and footprint as described in this section. Such conditional use permit shall be contingent upon satisfying the requirements for Eligible Energy Efficiency Building Improvements or Eligible Public Realm Improvements in Section 10.5B73.

10.5B72.10 Dwelling Units Per Building: No more than 24 dwelling units per building shall be allowed without a conditional use permit from the Planning Board.

Commented [JTW39]: See comment from developer input. Survey will also provide additional feedback from the development community.

10.5B71.20 Dwelling Units per Acre: The Planning Board may, by Conditional Use Permit, allow higher density up to the maximum established in Section 10.5B71.10.

10.5B72.30 Workforce Housing Units: For any development projects granted a conditional use permit for increased residential density not less than fifty percent (50%) of housing units constructed shall be Workforce Housing consistent with the affordability requirements and other qualifications for rental and ownership units in Section 10.5A46.22 (2). For purposes of calculating the number of units of affordable housing required within a development project, any fractional unit of 0.5 or greater shall be deemed to constitute a whole unit.

10.5B72.40 **Height and Building Footprint:** The Planning Board may, by Conditional Use Permit, allow an increase in the maximum building height by one (1) story and an increase in the maximum building footprint and square footage by 20 percent.

10.5B73 **Bonus Incentive Requirements**

In order to be eligible for bonus incentives as outlined in section 10.5B72, a development must include Eligible Energy Efficiency Building Improvements or Eligible Public Realm Improvements as outline below. Required documentation for these improvements must be submitted with the application for a Conditional Use Permit as outlined in Section 10.5B74.

10.5B73.20 **Eligible Energy Efficiency Building Improvements:** ~~Building shall be designed to achieve a zero net energy goal of 100% through best practices in design and construction practices. Eligible improvements are as follows:~~

- ~~(a) **Solar Orientation and Utilization:** The use of solar thermal and solar photovoltaic techniques. Massing of buildings shall be considerate of solar access to neighboring properties, particularly allowing sun during winter to properties immediately to the north. Other guidelines include the following:

 - ~~1) Whenever possible buildings shall be of a size and orientation to minimize the blocking of sunlight on public spaces such as sidewalks.~~
 - ~~2) Windows shall be oriented to make the best use of passive solar heating.~~
 - ~~3) The primary roof plane shall face as close to solar south as possible, to allow for installation or retrofit with solar panels.~~~~
- ~~(b) **Windows:**
 - ~~1) At least fifty percent (50%) of the windows of each floor of a building and serving each dwelling unit shall be operable.~~
 - ~~2) Operable windows shall be oriented toward prevailing winds to every extent possible and support the creation of cross breezes that can assist in the passive cooling of interior spaces.~~
 - ~~3) All south facing windows shall be recessed or shaded by deciduous trees, awnings, canopies, or interior or exterior light shelves.~~~~
- ~~(d) **Daylight and Views:** The following apply to portions of mixed use buildings in non-residential use:

 - ~~1) A minimum of fifty percent (50%) of the floor area of all regularly occupied interior spaces shall receive sufficient daylight equal to a spatial daylight autonomy of three hundred (300) lux or more for at least fifty percent (50%) of the time.~~
 - ~~2) A direct line of sight to the outdoors shall be provided for at least seventy-five percent (75%) of the floor area of all regularly occupied interior spaces.~~~~

Commented [JTW40]: Change these thresholds to LEED Platinum certification for Building/Site Projects and LEED ND Platinum certification for Development Projects.

~~(e) Roof Albedo:~~

- ~~1) Flat roofs and roofs pitched at or below nine and one-half degrees (9.5°; 2:12) shall have a minimum solar reflectance index rating of seventy-eight (78) for a minimum of seventy-five percent (75%) of the roof surface.~~
- ~~2) Roofs pitched above nine and one-half degrees (9.5°; 2:12) shall have a minimum solar reflectance index rating of twenty-nine (29) for a minimum of seventy-five percent (75%) of the roof surface.~~

~~(f) Other Sustainable Building Applications: Other applications to improve building envelope energy efficiency and use materials and equipment that reduce energy consumption include the following:~~

- ~~1) Natural cooling through appropriate glazing, shading of glazed surfaces, and operable windows.~~
- ~~2) Wind and roof-mounted solar energy generation.~~
- ~~3) Ground source heat exchange (closed system geothermal energy).~~
- ~~4) On-site biomass use for energy production.~~
- ~~5) Renewable heat and cooling (i.e. sunlight, rain, wind).~~
- ~~6) Combined heat and power systems.~~
- ~~7) Green walls and green blocks.~~
- ~~8) Increased insulation (i.e. R-26 and triple glazed windows).~~
- ~~9) Energy Star-rated appliances.~~
- ~~10) EcoStar Program (shared recycling streams between park tenants).~~
- ~~11) Dual flush and waterless toilets.~~
- ~~12) Ultra-efficient heat and hot water systems.~~
- ~~13) Open and simple floor plans (i.e. square and cubes).~~
- ~~14) Improved building air seal (i.e. taped sheathing).~~
- ~~15) Greywater systems.~~

10.5B73.30 **Eligible Public Realm Improvements:** These improvements shall include on-site or off-site infrastructure, streetscape, open space or other amenities not otherwise required, high quality design and construction, and publicly accessible. Eligible improvements include the following:

- (a) New or improved ~~sidewalks and~~ multipurpose pathways within abutting public street right-of-way.
- (b) Streetscape improvements such as street trees, curb extensions and crosswalks, bus shelters, and other furnishings within a public street right-of-way, or a contribution of land suitable for a public way or public streetscape improvements.
- (c) Expansion of the Portsmouth Bicycle and Pedestrian Network including public easements and trail construction over a development site and connecting to existing or planned public trails.
- (d) Site development allocation, land acquisition, or land donation for the purpose of publicly accessible active or passive open space on site or in nearby locations, in addition to the Community spaces consistent with the requirements of Section 10.5A46.22 (1) for Community Space density bonuses.
- (e) Public or publicly-accessible parking facilities including surface and structured (above and below ground) facilities. Parking facilities may be

Commented [JTW41]: Require that projects must meet a certain threshold of qualified improvements (e.g. % of tract size and/or # of improvements) in order to be able to qualify for an incentive.

located on-site or on land donated to the City for the purposes of public parking to benefit the District.

10.5B74 Approval of Density Bonus Incentives

10.5B.74.10 **General Criteria:** All public benefit improvements used for a density bonus shall be recommended in plans or policies approved or used by the City of Portsmouth including the Portsmouth Master Plan, Capital Improvement Program, or other relevant documents.

10.5B.74.20 **Required Information:** In order to be eligible for bonus incentives as described in 10.5B72, the following submissions must be included with an application for a Conditional Use Permit:

- (a) The applicant shall provide the Planning Board with a written description of the intended site development or District improvements, the public benefit and/or energy efficiency improvement provided, provision for management and maintenance if required, and plans showing the location and type, size and extent of each of the eligible improvements.
- (b) A specific time frame for the completion of all required on-site and off-site improvements shall be incorporated as a condition of approval of the Planning Board.
- (c) The applicant shall provide a list of all permits and approvals required in connection with any proposed public realm improvements or energy efficiency building improvements with the application. These approvals shall be obtained prior to approval of the development, unless an exception for good cause is explicitly authorized by the Planning Board.

~~(d) Documentation that the increased density of the development will not have an impact on traffic, market values, stormwater runoff or environmental factors that is more detrimental to the surrounding area than the impacts of conventional development of the site.~~

Commented [JTW42]: Consider deleting, may be too subjective or too onerous to document.

10.5B74.20 **Planning Board Findings:** Prior to granting a conditional use permit for project under this section, the Board shall make all of the following findings:

10.5B74.21 The proposed project (and any conditions of approval) meets the standards in Section 10.5B73;

10.5B74.22 The proposed project is consistent with the purpose and intent set forth in Section 10.5B11;

~~10.738.23 The anticipated impacts of the proposed development on traffic, market values, stormwater runoff or environmental factors will not be more detrimental to the surrounding area than the impacts of conventional development of the site.~~

10.5B74.30 Modification of Standards: In granting a conditional use permit, the Planning Board may modify specific standards and requirements set forth in this Section (including development intensity and dimensional standards, and building design standards) provided that the Planning Board finds such modification will promote design flexibility and overall project quality, or that such modification is required for the development to provide a proposed workforce housing component, and that such modification is consistent with the purpose and intent set forth in Section 10.5B11.

Commented [JTW43]: Consider applying this to any dimensional standards for projects that are granted a CUP from the PB under Section 5B.

10.5B75 Legal Review

All restrictive covenants, cooperative agreements or similar instruments requiring the City’s approval or participation shall be reviewed as to content and form by the Legal Department. Such reviews may include condominium or cooperative agreements which are to be enacted as part of the project.

Section 10.5B80 Parking Requirements and Standards

Commented [JTW44]: Delete and reference new modified parking standards that Planning Department is working on to update Article 11. Draft to be provided with next red-line of the 5B amendments.

~~10.5B81 General~~

- ~~10.5B81.10 Unless otherwise specified, parking for motor vehicles must be located on the same lot as the principal use that the accessory parking serves.~~
- ~~10.5B81.20 All off-street parking facilities in the Gateway Districts shall meet the design requirements of Section 10.1114.~~
- ~~10.5B81.30 All off-street loading facilities in the Gateway Districts shall meet the requirements of Section 10.1120.~~

~~10.5B82 Off Street Parking Requirements~~

- ~~10.5B82.10 Off-street parking for motor vehicles shall be provided at the following rates:~~
 - ~~Nonresidential uses:~~
 - ~~Minimum: 1 space per 350 sq. ft. GFA~~
 - ~~Maximum: 1 space per 250 sq. ft. GFA~~
 - ~~Residential uses:~~
 - ~~Minimum: 1.3 spaces per dwelling unit~~
 - ~~Maximum: 1.8 spaces per dwelling unit~~
- ~~10.5B82.20 Bicycle parking spaces or storage capacity shall be provided at a rate of at least 15 percent of the off-street parking spaces provided for motor vehicles.~~
- ~~10.5B82.30 Where a development type or building type is allowed by Conditional Use Permit in the Gateway Districts, the Planning Board may waive the minimum and maximum parking requirements according to the following criteria:~~

- ~~(a) The supply of parking on the development site and in immediate vicinity is determined to be sufficient for the intended uses.~~
- ~~(b) Parking management programs and services including shared parking agreements, access to ride sharing services, proximity to available public parking reduce the demand for off street parking.~~
- ~~(c) Parking provided in excess of any maximum permitted does not result in the increase in impervious lot area.~~

~~10.5B83 Additional Parking Design Standards~~

~~10.5B83.10 Structured Parking~~

~~10.5B83.11 Design and Construction: Unless setback by Community space or buildings used for commercial and residential occupancy, the facade of any parking structure must be designed as follows:~~

- ~~(a) Facade glazing and facade openings must be vertically and horizontally aligned and all floors fronting on the facade must be level (not inclined).~~
- ~~(b) The facade must include windows of transparent or translucent, but non reflective, glass or openings designed to appear as windows for between twenty percent (20%) and fifty percent (50%) of the wall area of each floor.~~
- ~~(c) Window openings must be back lit during evening hours and internal light sources must be concealed from view from public sidewalks.~~
- ~~(d) The facade area masking the floors occupied by motor vehicle parking must be seamlessly integrated into the architectural design of the building's facade.~~

~~10.583.12 Access: Pedestrian access to structured parking must lead directly to a public sidewalk and to a primary building entrance. Structured parking may also be attached directly to a primary building by pedestrians directly into a building.~~

~~10.5B83.20 Bicycle Parking~~

~~10.5B83.21 Placement: Required bicycle parking spaces may be placed on private property or adjacent to a sidewalk or pathway provided that at least 5 feet of walkway remains clear for pedestrian use. Required bicycle parking shall be publicly accessible and located within 100 feet of the building entrance.~~

~~10.5B83.22 Multi Family Residential Developments: Developments with 5 or more multi-family units shall provide at least one indoor covered bicycle parking area with space for 5 bicycles for every 5 dwelling units.~~

Section 10.5B~~980~~ Pedestrian Access and Circulation

- | 10.5B~~891~~ Pedestrian walkways shall provide connections through the lot/tract to the public street right-of-way, and between the lot/tract and adjacent land uses.
- | 10.5B~~982~~ At least one 8-foot wide pedestrian walkway shall be provided throughout the lot/tract, connecting adjacent streets, accessways, sidewalks and off-street parking areas to the entrances of all principal buildings.
- | 10.5B~~893~~ Pedestrian areas shall be clearly distinguished from vehicular and bicycle traffic areas through the use of paving materials, landscaping, or other means.
- | 10.5B~~894~~ A lot/tract with more than one principal building or off-street parking area shall include an internal pedestrian network that provides logical and direct routes for pedestrians throughout site.
- | 10.5B~~985~~ Parking lots shall include internal walkways spaced not more than 150 feet apart. Where possible, these walkways shall be aligned to connect with major building entries or other destinations.

Section 10.5B~~10090~~ Community Space

10.5B~~10191~~ Purpose and Intent

The intent of the Community Space requirements is to ensure a variety of functional, well-designed community spaces are built in a way that complements adjacent properties, contribute to a comprehensive open space network, and adds vibrancy to the surrounding neighborhoods and the City in general.

10.5B~~1092~~ General Requirements

- | 10.5B~~1092.10~~ Community Space meeting one or more of the types described in Figure 10.5A45.10 must be provided according to the standards for Building Types and Development Types as described in Sections 10.5B30 and 10.5B40.
- | 10.5B~~1092.20~~ Multi-Family Building and Mixed-Use Building types may provide shared community spaces, provided that the space includes the total area required for each unit that the shared space is meant to serve.

Section 10.5B1040 Definitions

This Section provides definitions for certain terms in Article 5B that are not otherwise defined in Article 5A60 or Article 15:

Blank Wall Area

Blank wall area is any portion of a facade that does not include facade glazing (doors and windows) and surface relief using architectural features that either recess or project from the average plane of the facade.

Build-To-Zones (BTZ)

The area between the minimum yard and maximum yard is the Build-To-Zone (BTZ) in which the front facade of the building shall be placed.

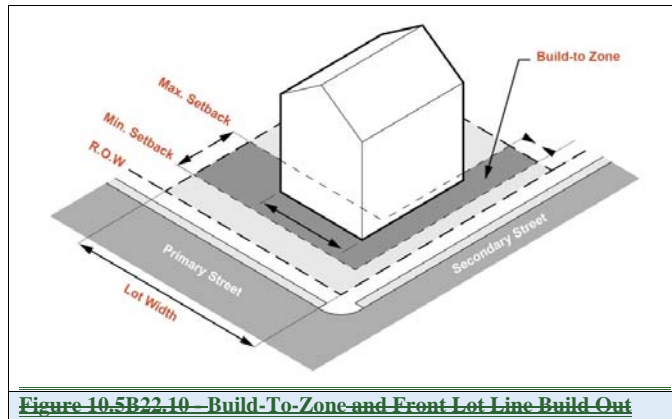


Figure 10.5B22.10 – Build-To-Zone and Front Lot Line Build Out

Development Tract

Any lot or group of contiguous lots owned or controlled by the same person or entity, assembled for the purpose of a single development.

Development Tract Area

The cumulative area of all contiguous lots that the site is composed of.

Ground Floor Elevation (GFE)

The elevation measured from the average top grade of the curb along the abutting streets or from the crown of the adjacent street when no curb exists, to the top of the finished floor of the ground story of a building.



Story Height

The measured height from the finished floor elevation to the finished floor elevation above.

Zero-Net Energy (ZNE) Building

A building with zero net energy consumption, meaning the total amount of energy used by the building on an annual basis is roughly equal to the amount of renewable energy created on the site resulting in less overall contribution of greenhouse gas to the atmosphere than similar non-ZNE buildings.