

HOEFLE, PHOENIX, GORMLEY & ROBERTS, PLLC

ATTORNEYS AT LAW

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February 24, 2021

HAND DELIVERED

Peter M. Smith, Principal Planner
Izak Gilbo, Administrative Clerk
Portsmouth Planning Board
City Hall
1 Junkins Avenue
Portsmouth, NH 03801

Re: Planning Relief
Karona, LLC, Owner/Applicant
36 Artwill Avenue
Tax Map 229/Lot 4
SRB Zone

Dear Mr. Stith, Mr. Gilbo & Planning Board Members:


On behalf of Karona, LLC, enclosed please find the following in support of our Conditional Use Permit (CUP) application:

- CUP Application uploaded to LU-2--250
- Authorization from Butch Ricci, member, Karona, LLC.
- 2/24/2021 Memorandum and exhibits in support of CUP. (Original and eleven (11) copies).

Also enclosed is our check in the amount \$200.00 to cover the filing fee.

We look forward to presenting this application to the Planning Board at its March 24, 2021 meeting.

Very truly yours,



R. Timothy Phoenix
Monica F. Kieser

Encl.

cc: Karona, LLC
Thomas House
James Verra & Associates, Inc.

DANIEL C. HOEFLE

R. PETER TAYLOR

GREGORY D. ROBBINS

DUNCAN A. EDGAR

R. TIMOTHY PHOENIX

JOHN AHLGREN

MONICA F. KIESER

OF COUNSEL:

LAWRENCE B. GORMLEY

KIMBERLY J.H. MEMMESHEIMER

SAMUEL HARKINSON

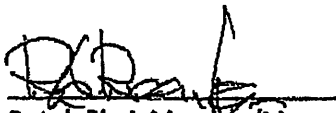
SAMUEL R. REID

STEPHEN H. ROBERTS

KEVIN M. BAUM

JACOB J.B. MARVELLEY

On behalf of Karona LLC, owner of property located at 36 Artwill Ave, Portsmouth, NH, the firm of Hoefle Phoenix Gormley and Roberts P.A. is authorized to represent us before any and all City of Portsmouth Boards, Commissions and staff with respect to any permitting required for our development of the property.

A handwritten signature in black ink, appearing to read 'Butch Ricci', written over a horizontal line.

Butch Ricci, Member/Manager.

MEMORANDUM

TO: Portsmouth Planning Board
FROM: R. Timothy Phoenix, Esquire
Monica F. Kieser, Esquire
DATE: February 24, 2021
Re: Karona, LLC, Owner/Applicant
Project Location: 36 Artwill Avenue
Tax Map 229/Lot 4
SRB Zone

Dear Chairman Legg and Planning Board Members:

On behalf of Karona, LLC (“Karona”), we are pleased to submit this application for Conditional Use Permit (“CUP”) to allow a detached accessory dwelling unit (“DADU”) located on second floor over the garage in an existing structure, to be considered by the Planning Board at its March 24, 2021 meeting.

I. Exhibits

1. 2/16/2021 Portsmouth Zoning Board of Adjustment Approval.
2. 8/3/17 Site Plans 36 Artwill Avenue – issued by James Verra & Associates, Inc.
3. Architectural Plan Set, 36 Artwill Avenue – issued by THA Architects, LLC.
 - Page A1 – Floor Plans
 - Page A2 – Elevations
4. Site Photographs.
5. 1958 recorded RCRD Plan 02637.
6. Transfer of Membership Interests & Residency Documentation.
7. Tax Map 229.

II. Property History & Project

36 Artwill Avenue is a 26,737 sq. ft. lot on a private street upon which exists a single-family dwelling and a garage with a begun but not completed second floor apartment. (**Exhibits 2, 3**). The primary dwelling has long existed, with the detached garage erected in 2013 pursuant to a building permit issued to a previous owner for a 32’ by 30’ accessory structure, issued in error due to the absence of frontage. Construction of the DADU was halted by the inspection department due to prior owner actions. Complete are the garage (**Exhibit 4**) and interior wall framing for a 750 s.f. second floor apartment without installation of appliances.

Karona purchased the property in 2017, intending to complete the garage and apartment for use as a detached accessory dwelling unit (“DADU”) in compliance with the Portsmouth Zoning Ordinance (“PZO”) §10.814. Karona received a frontage variance on July 25, 2017 but its subsequent request for a Conditional Use Permit for the DADU was ultimately denied

because a majority of the Planning Board determined that occupancy of the principal dwelling by Erik Vaillant, a 10% owner of Karona, did not meet the ownership requirement of by PZO §10.814.32. The frontage Variance subsequently expired in 2019.

Karona, LLC is now owned 100% by Robert Ricci and his wife Kathleen¹, both of whom reside at 36 Artwill Avenue. Intending to complete the ADU, Karona again received a variance from the frontage requirement on February 16, 2021 (**Exhibit 1**) and now seeks to continue with the DADU, which has also been reduced in size. Both the change in ownership and the size reduction are material changes compared to the Conditional Use Permit previously denied in 2017. Modification from the Planning Board pursuant to PZO §10.814.70 is requested to DADU standards to accommodate the location of the existing structure that will contain it.

III. Relief Required

After meeting with the City Planning Department staff, it has been determined that a Conditional Use Permit under PZO 10.814 is required:

A. PZO Section 10.814 Accessory Dwelling Units

1. 10.814.10 – One and only one accessory dwelling unit is allowed on any lot containing a single family dwelling. An accessory dwelling unit shall not be allowed under this Section 10.814 on a lot that contains more than one dwelling unit. – Only one unit is proposed.

2. 10.814.20 – Except as provided elsewhere in this Section 10.814, in order for a lot to be eligible for an accessory dwelling unit, the lot and all proposed structures and additions to existing structures shall conform to all zoning regulations as follows. – With the variance obtained and as modified hereunder, this proposal complies.

a.) 10.814.21 – Any municipal regulation applicable to single-family dwellings shall also apply to the combination of a principal dwelling unit and an accessory dwelling unit including, but not limited to, lot area, yards, open space, off-street parking, building coverage, and building height. – Except as noted below for which Planning Board Modification is requested, the proposal complies with these regulations.

¹ Applicant's submission and presentation to the Zoning Board, based on information and belief, was that Robert and Kathleen were the sole members of Karona, LLC. In preparation for this filing, Counsel learned that the documents that effectuated the transfer from Erik Vaillant back to Robert Ricci and subsequently to Kathleen had not been completed. Transfer of Membership Interest have now been executed and are submitted herewith. (**Exhibit 6**).

b.) 10.814.22 (Omitted as it is applicable to attached accessory dwelling units only.)

c.) 10.814.23 – A DADU is not an accessory building or structure for the purposes of this Ordinance and therefore shall be governed by the applicable yard dimensions in Section 10.521 for a principal building or structure and not by the side yard and rear yard standards applicable to an accessory building. – The previously approved three-car garage is the last structure on a private dead-end street and was approved at its current location 23.8 ft. to the front lot line. It complies with the side yard and rear yard requirements. As set forth below, a modification is requested from the front yard requirement of PZO 10.814.56.

B. PZO Section 10.814.30-Standards.

1. 10.814.31 – The principal dwelling unit and the DADU cannot be in separate in ownership – Common ownership exists.

2. 10.814.32 – Either the principal dwelling unit or the accessory dwelling unit shall be occupied by the owner of the dwelling as his or her principal place of residence. The owner shall provide documentation demonstrating to satisfaction of the City that one of the units is his or her principal place of residence. – Robert and Kathleen Ricci are the sole members of Karona, LLC and they reside at 36 Artwill. (**Exhibit 6**).

a.) 10.814.321 (Omitted as it is applicable to Trusts.)

3. 10.814.33 – Neither the principal dwelling nor the accessory dwelling shall be used for any business except a home occupation – No business is intended.

4. 10.814.34 (Omitted as applicable to properties served by septic systems.)

C. PZO Section 10.814.50-80 – DADU standards.

1. In a Single Residence or Rural District, a lot with a DADU shall comply with the minimum lot area for the district, but need not comply with the minimum lot area per dwelling unit. – The minimum lot area is 15,000 sq. ft. and the subject lot is 26,737 sq. ft.

2. 10.814.52 – No more than two bedrooms and no larger than 750 ft. gross floor area unless 2 acres or more. – When Applicant purchased the property, the partially complete DADU was 1,096 s.f. but it has since been reduced to a compliant 750 s.f. one bedroom unit.

3. 10.814.53 – The DADU shall be clearly subordinate to the principal single-family dwelling in scale, height and appearance.

a.) 10.814.531 – The face area of the DADU that faces the street shall be no more than 40% of the combined visible façade. – The three-car garage was previously constructed at an approved size; accordingly, modification is sought pursuant to §10.814.70.

b.) 10.814.532 – The building height of the DADU shall be less than the building height of the principal single-family dwelling. – The structure was previously constructed at a permitted height and size; accordingly, modification is sought pursuant to §10.814.70.

c.) 10.814.533 – The DADU shall be architecturally consistent with the principal dwelling through the use of similar materials, detailing and other building design elements. – This proposal complies with this standard.

4. Section 10.814.54 – The DADU shall be separated from the single family dwelling by at least 20 ft. – The former owner built the structure at approximately 10.2 ft. at its closest point, falling away from the existing dwelling. For the reasons specified above, Karon requests a modification pursuant to §10.814.80.

5. 10.814.55 – The front wall of the DADU shall be set back at least 10 feet further from the front lot line than the existing front wall of the single-family dwelling. – A prior owner constructed the three-car garage which is the last structure on a private, dead-end street containing three homes. For this reason, modification is sought pursuant to §10.814.70.

6.) 10.814.56 – No portion of the DADU shall be located in any required front yard, regardless of the location of the single-family dwelling. – Because this three-car garage, the last structure on a private dead-end with just three homes was previously built 23.8 ft. from the front lot line, a modification from this standard is sought pursuant to 10.814.70.

D. PZO Section 10.814.60– Required findings.

1. 10.814.61 – Exterior design of the DADU is compatible with the existing residence on the lot through architectural use of building forms, scale and construction materials. – Photographs are attached. Noting that the building exists, the exterior design is compatible.

2. 10.814.62 – The Site Plan provides adequate open space and landscaping that is useful for the DADU and primary dwelling. – The lot is almost twice the 15,000 sq. ft. minimum requirement. The photographs show a large lawn area.

3. 10.814.63 – The DADU will maintain a compatible relationship to adjacent property in terms of location and design and will not significantly reduce the privacy of adjacent properties. – This lot and the DADU structure are the last structures on a private dead-end street containing three homes. Directly across the street is a small garage, The High School and its athletic fields abut the property. Adjacent properties will not be harmed by the location and design.

4. 10.814.64 – The DADU will not result in excessive noise, traffic or parking congestion. – It is a single DADU on a large lot with off-street parking at the end of a dead-end street next to the high school/playing fields. The single unit will not result in excessive noise, traffic or parking congestion.

E. PZO Section 10.814.70- A certificate of use must be issued by the Planning Board Department to verify compliance with the standards including the owner occupancy requirement. Said certificate shall be renewed annually – Agreed.

F. PZO Section 10.814.80- In granting a CUP, the Planning Board may modify a specific dimensional or parking standard provided that the Board find such modification will be consistent with the required findings in section 10.814.60 – Given the fact that the garage structure now exists pursuant to a City-issued building permit and is the last structure on a private dead-end street containing a total of with homes, Karona requests a modification pursuant to PZO §10.814.70 from Standards §10.814.54-56 to permit a DADU over an existing garage, located less than twenty feet from the primary dwelling and closer to the front lot line than the principal home, 23.7 ft. from the front lot line.

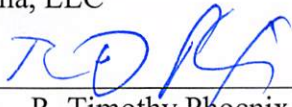
V. Conclusion

The New Hampshire Accessory Dwelling Unit statute is designed to increase affordable housing opportunities by tapping into under-utilized opportunities in existing single-family homes. The law increases housing stock for single and couples living in ADUs and allows property owners to defray housing expenses, age in place, or provide housing for an elderly parent. The City, through implementation of standards for DADUs has also identified a need to increase housing through utilization of existing structures. This proposal meets that need in the sought-after downtown area. Granting a Conditional Use Permit for a new code-compliant DADU in an existing garage structure fulfills the purposes of the State law and the City's

Ordinance. For all of the reasons stated, Karona respectfully requests that with the requested modifications, all of the requirements for issuance of a Conditional Use Permit are met.

Respectfully submitted,

Karona, LLC


By: R. Timothy Phoenix
Monica F. Kieser



CITY OF PORTSMOUTH

Planning Department
1 Junkins Avenue
Portsmouth, New
Hampshire 03801
(603) 610-7216

ZONING BOARD OF ADJUSTMENT

February 22, 2021



Karona, LLC
25 Park Avenue
Greenland, NH 03840

RE: Board of Adjustment request for property located at 36 Artwill Avenue (LU 20-250)

Dear Property Owner:

The Zoning Board of Adjustment, at its regularly scheduled meeting of **Tuesday, February 16, 2021**, considered your application for conversion of an existing garage into a Detached Accessory Dwelling Unit which requires the following: 1) A Variance from Section 10.521 to allow 0 foot street frontage where 100 feet is required. Said property is shown on Assessor Map 229 Lot 4 and lies within the Single Residence B (SRB) District. As a result of said consideration, the Board voted to grant your request as advertised and presented.

The Board's decision may be appealed up to thirty (30) days after the vote. Any action taken by the applicant pursuant to the Board's decision during this appeal period shall be at the applicant's risk. Please contact the Planning Department for more details about the appeals process.

Approvals may also be required from other City Commissions or Boards. Once all required approvals have been received, applicant is responsible for applying for and securing a building permit from the Inspection Department prior to starting any project work.

This approval shall expire unless a building permit is issued within a period of two (2) years from the date granted unless an extension is granted in accordance with Section 10.236 of the Zoning Ordinance.

The minutes and audio recording of this meeting are available by contacting the Planning Department.

Very truly yours,

David Rheame, Chairman of the Zoning Board of Adjustment

cc: Robert Marsilia, Chief Building Inspector

Rosann Maurice-Lentz, City Assessor

ABUTTERS LIST

MAP-LOT	OWNER OF RECORD	DEED REF.
229-2	ST. NICHOLAS GREEK ORTHODOX CHURCH	1840/128
229-3	CITY OF PORTSMOUTH	1985/379
229-5	KRISTIN M. & CHRISTOPHER M. CHASE	5599/453
229-6	DOMER REALTY, LLC	4231/1881
229-6A	ST. NICHOLAS GREEK ORTHODOX CHURCH	2410/505

- LEGEND:**
-STONE WALL
 -IRON ROD
 -IRON PIPE
 -CHAIN LINK FENCE
 - 110-5.....TAX SHEET - LOT NUMBER
 - RCRD.....ROCKINGHAM COUNTY REGISTRY OF DEEDS
 - EOP.....EDGE OF PAVEMENT
 - RWC.....CONCRETE RETAINING WALL
 - RWS.....STONE RETAINING WALL
 - LA.....LANDSCAPED AREA

NOTES:

- OWNER OF RECORD.....KARONA, LLC
 ADDRESS.....36 ARTWILL AVE, PORTSMOUTH, NH 03801
 DEED REFERENCE.....5821/1630
 TAX SHEET / LOT.....229-4
 PARCEL AREA.....26,739 S.F.
- THIS PLAN IS BASED ON A FIELD SURVEY 7/28/2017 BY JAMES VERRA AND ASSOC., INC.
- ZONED:.....SRB
 MINIMUM LOT AREA 15,000 S.F.
 FRONTAGE.....100'
 MINIMUM OPEN SPACE.....40%
 MAXIMUM BUILDING COVERAGE.....20%
 FRONT YARD SETBACK.....30'
 SIDE YARD SETBACK.....10'
 REAR YARD SETBACK.....30'
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
- THIS CORRECTIVE EASEMENT IS INTENDED TO CORRECT THE PERMANENT EASEMENT DATED 2/12/1971 AND RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AT BOOK 2055, PAGE 257. THIS PLAN SHOWS THE ACTUAL LOCATION OF THE SEWER EASEMENT AS OF THE DATE HEREOF.

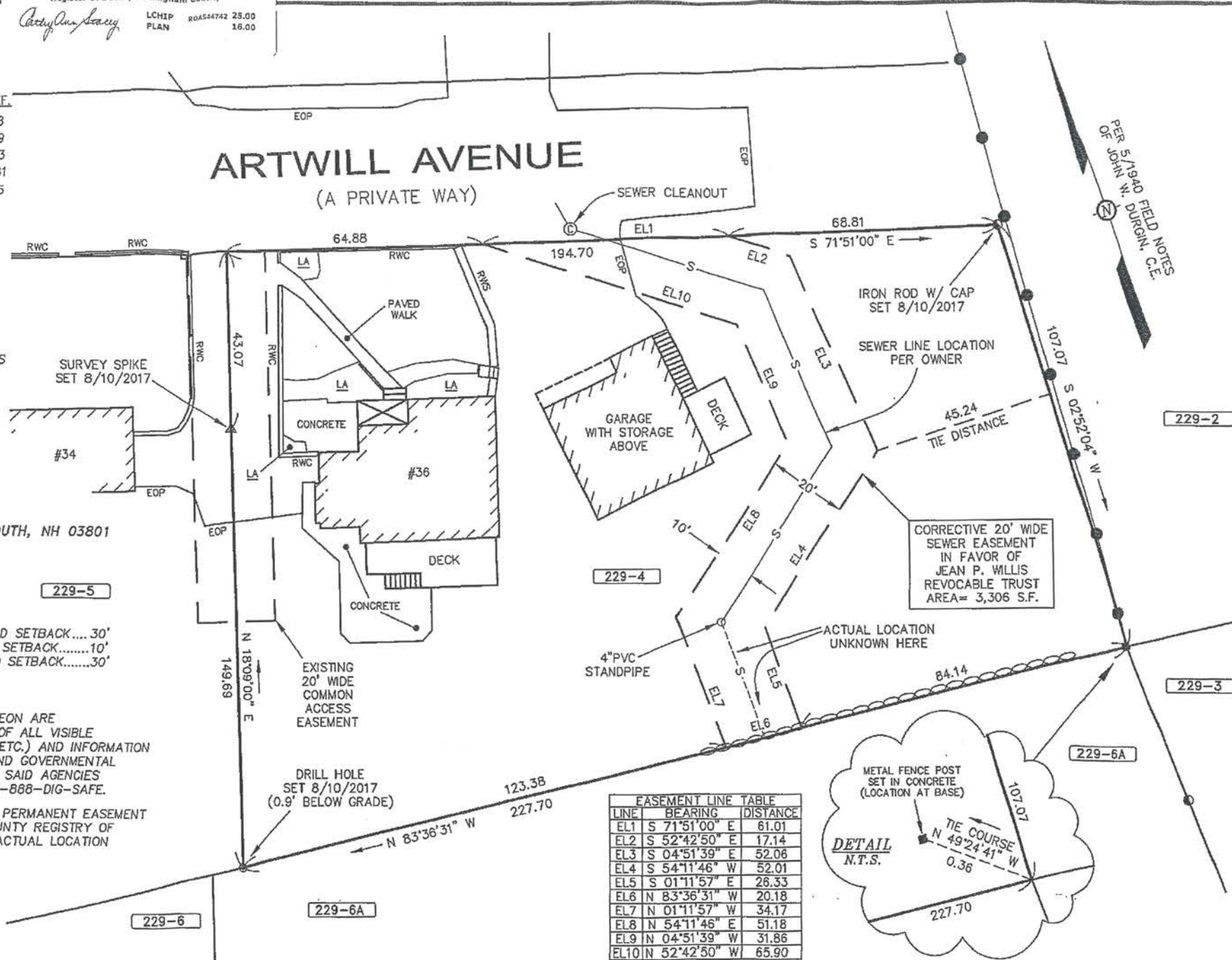
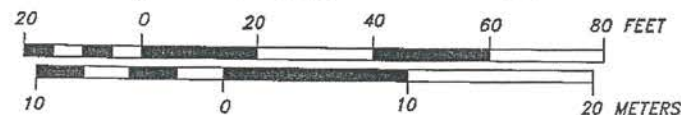
REFERENCE PLANS:

- PLAN OF LOTS OWNED BY BEATRICE L. HOPLEY, LAFAYETTE ROAD, PORTSMOUTH, N.H., REVISED TO 2/1957, RCRD PLAN 02637.

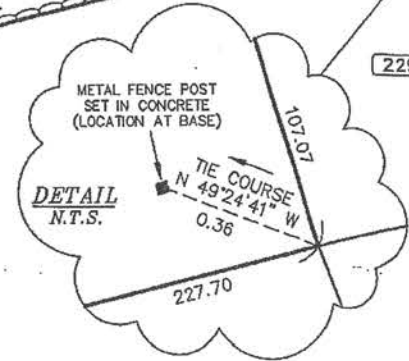
PURSUANT TO RSA 676:18,III AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

James Verra
 JAMES VERRA DATE 2/4/2021



LINE	BEARING	DISTANCE
EL1	S 71°51'00" E	61.01
EL2	S 52°42'50" E	17.14
EL3	S 04°51'39" E	52.06
EL4	S 54°11'46" W	52.01
EL5	S 01°11'57" E	26.33
EL6	N 83°36'31" W	20.18
EL7	N 01°11'57" W	34.17
EL8	N 54°11'46" E	51.18
EL9	N 04°51'39" W	31.86
EL10	N 52°42'50" W	65.90

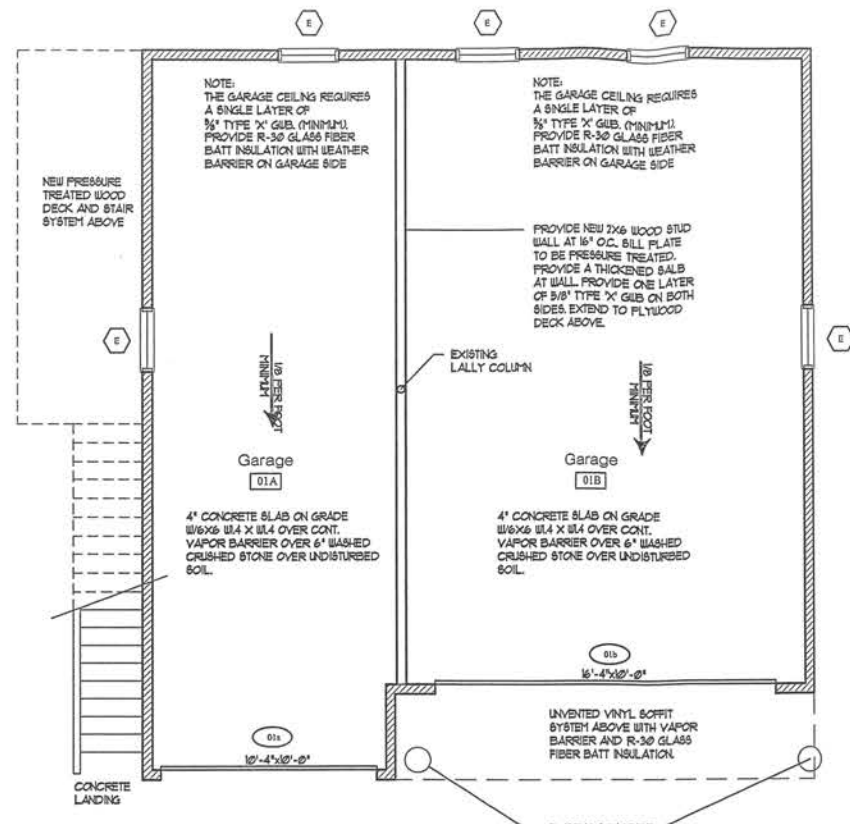


REV. NO.	DATE	DESCRIPTION	APPR'D
CORRECTIVE SEWER EASEMENT PLAN over land of KARONA, LLC 36 ARTWILL AVENUE PORTSMOUTH, NEW HAMPSHIRE ASSESSOR'S PARCEL 229-4 for KARONA, LLC			
JAMES VERRA and ASSOCIATES, INC. 101 SHATTUCK WAY SUITE B NEWINGTON, N.H. 03801-7876 603-436-3557			DATE: 1/19/2021 JOB NO: 23723 SCALE: 1" = 20' DWG NAME: 23723-2 PLAN NO: 23723-3 SHEET: 1 OF 1
JV PROJECT MGR JCS DRAWN BY		COPYRIGHT © 2021 by JAMES VERRA and ASSOCIATES, INC.	

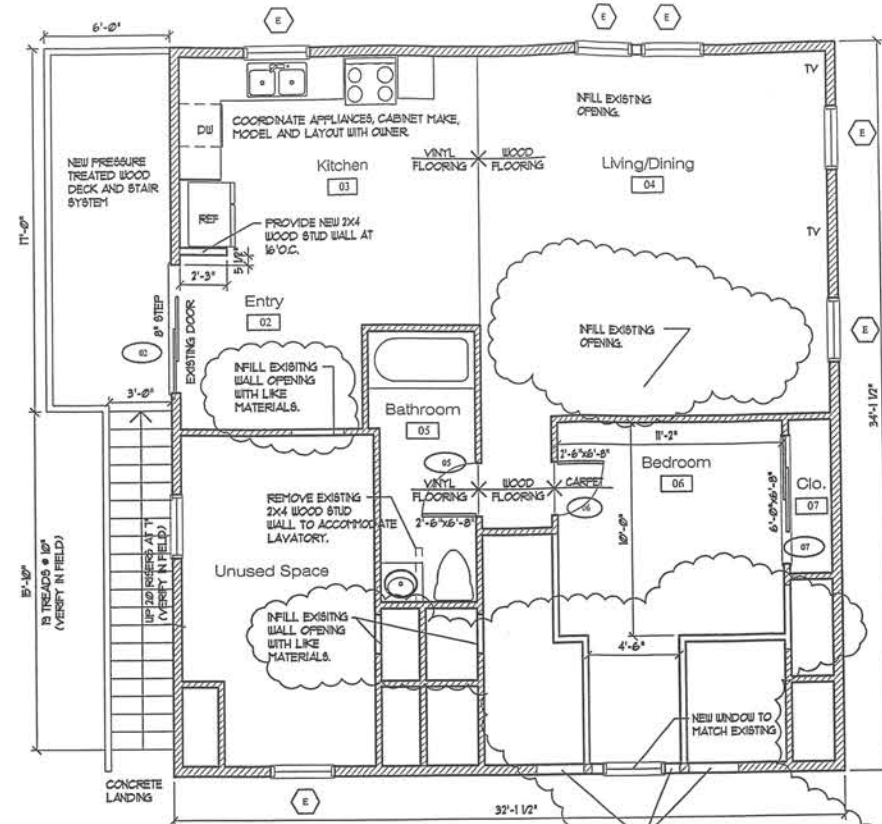
C-42611

General Notes

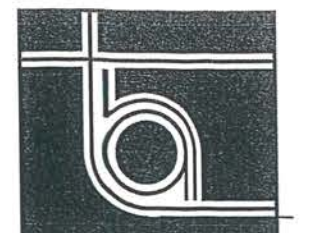
- The intent of these drawings is to give the tradesperson enough information to perform a complete job. The General Contractor and subcontractors are responsible for providing all labor, materials, and equipment to perform the full work in a complete and craftsman like manner. If additional clarification is required to describe the scope of work, it is the responsibility of the General Contractor to contact the architect or owner prior to submitting bids.
- Should local codes and/or ordinances differ from these plans, a determination shall be made by the general contractor and/or local building official as to which is the most stringent. The most stringent requirement shall rule. Should a change in these plans be necessary or desired which will alter the design the architect of record must verify all changes.
- All interior full height walls are to be 3 1/2" wood studs at 16" o.c. with one layer of 1/2" GWB each side unless otherwise noted. Interior walls shown are existing except as noted.
- All exterior walls are to be 5 1/2" wood studs at 16" o.c. with one layer of 1/2" GWB each side, R-21 glass fiber batt insulation, vapor barrier on inside stud surface and weather resistant barrier on outside face of sheathing surface unless noted otherwise. Exterior walls shown are existing.
- Bathroom walls are to include 3" sound bats.
- If required, all water lines located within exterior walls or adjacent to unheated spaces are to be insulated.
- All exposed finished surfaces, including insulation materials, facings, vapor barriers and breather papers shall have a flame spread of not more than 200 and a smoke density of not more than 450.
- Provide draft stopping in all concealed spaces of walls, at cove, overhangs, soffited ceilings, dropped ceilings and all penetrations of ducts, pipes, conduits, etc. through exterior walls, floor/ceiling assembly and roof/ceiling assembly.
- Provide smoke detectors in sufficient quantities and locations to meet requirements of the Building Code.
- Fire stop all penetrations through fire rated assemblies per a UL listed assembly.
- All plumbing fixtures shall be sealed to adjacent materials with appropriate sealant.
- Blocking installation by contractor to be provided where blocking is required.
- General Contractor to verify and provide for a weather tight building including but not limited to exterior wall system, roof system, flashing and counterflashing.
- Patch all areas which have been disturbed to match existing adjacent construction.
- It is the responsibility of the contractors to familiarize themselves with the site existing condition prior to construction.
- Coordinate the removal of all hazardous material per State and local codes.
- Verify and coordinate power requirements with Owner.
- Provide new lighting as shown. Coordinate with Owner.
- Coordinate plumbing requirements with tenant.
- Provide galvanized flashing, hangers and fasteners when installing the exterior pressure treated wood decking and stair system. Fasteners to be G-185 hot dipped coating.
- Contractor is responsible to field verify all dimensions and conditions and report any and all discrepancies to the Owner and architect.
- Substrate for under slab shall be a minimum of 6" below finished floor and a maximum of 8" below finished floor and shall be free of large rocks and debris.
- Concrete floor to consist of 3000 psi 4" (minimum) concrete slab on grade with polypropylene fibers or galvanized 6x6 w2.9x2.9 welded wire fabric reinforced level slab with flatness equivalent to FF50, or 1/8" over 10 feet over 15 mill Stago vapor barrier over compacted fill with all penetrations sealed per manufacturer's specifications prior to installation of slab.
- Contractor to provide access panels as required for servicing utilities. Contractor to coordinate locations with Owner.
- Contractor to coordinate with Owner the installation of hose bibbs.
- Contractor to provide shop submittals to Owner for all kitchen appliances/equipment. Shop submittal shall address any and all details, electrical requirements, etc.
- Unless otherwise noted, all dimensions are to face or centerline of the wall studs, not the wall assembly.
- MR gypsum board shall be used throughout bathroom and similar damp locations except where backer board is required.
- Provide R-21 glass fiber batt unfaced insulation at exterior walls. Tape all vapor barrier seams and adhere to wood studs as required. Provide one layer of 1/2" GWB. Provide expansion joints as recommended by manufacturer.
- Mechanical/plumbing system design is to be provided by Contractor.
- Electrical system, including security, design is to be provided by Contractor.



1 Garage Floor Plan
1/4"=1'-0"



2 Upper Floor Plan
1/4"=1'-0"
750 SP



THA ARCHITECTS, LLC
ARCHITECTURE • DESIGN • PLANNING • INTERIOR DESIGN
105 WILLOW BROOK AVENUE
STRATHAM, NEW HAMPSHIRE 03885
Tel: (603) 770-2491 Fax: (603) 773-0238
www.thaarc.com

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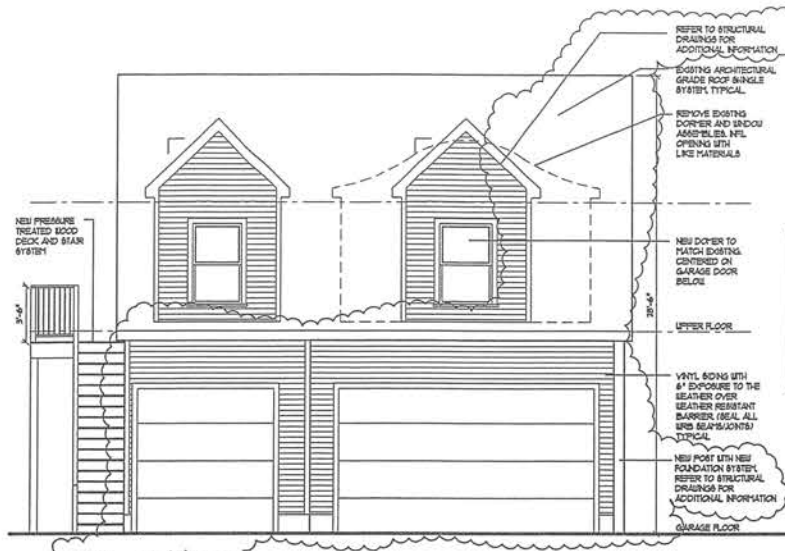
Ricci Addition

36 Artwill Avenue
Portsmouth, NH

Floor Plans Notes



SCALE:
ISSUED / DRAWN BY July 25, 2017 © THA Architects, LLC
REVISED / REVISED BY Aug. 21, 2017
JOB NO: 17008
SHEET NUMBER A-1



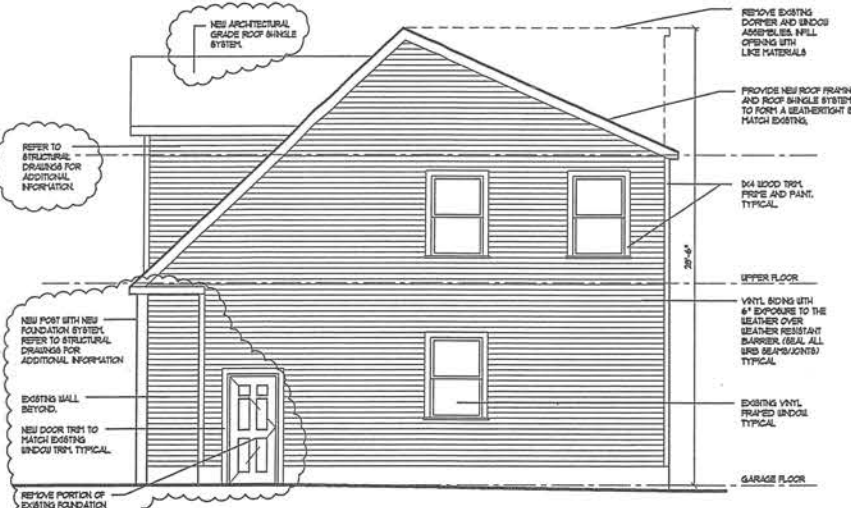
1 Elevation (Front)
3/16"=1'-0"



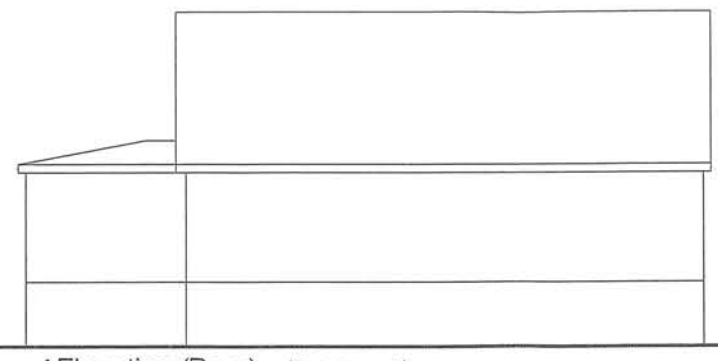
Existing Home



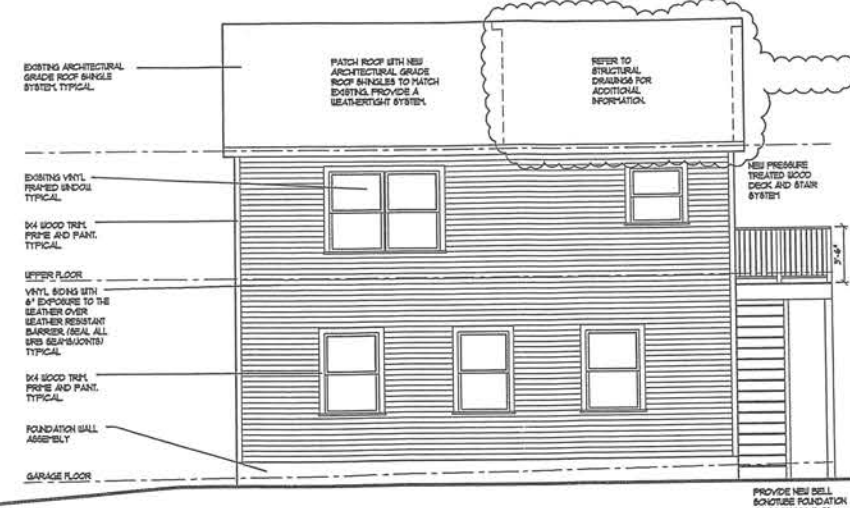
2 Elevation (Left Facing School)
3/16"=1'-0"



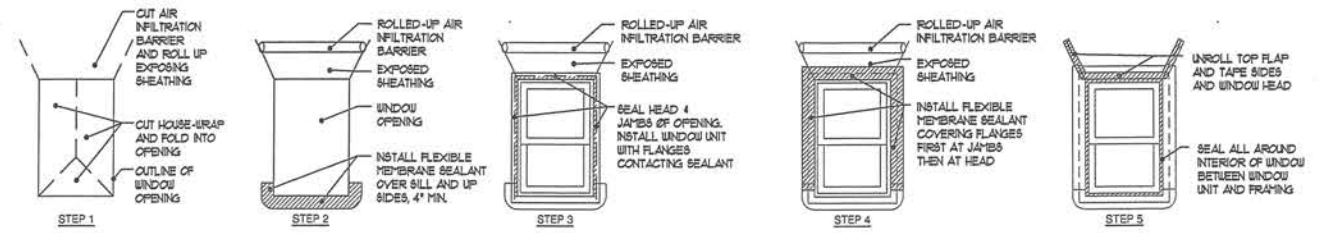
3 Elevation (Right Facing Home)
3/16"=1'-0"



4 Elevation (Rear) Existing Home
3/16"=1'-0"




PROVIDE NEW SILL SCOURER FOUNDATION AT A MINIMUM 4'-0\"/>




5 Window Installation Notes
No Scale

NOTE:
ALL OPERABLE WINDOWS ARE TO BE EGRESS WINDOWS. CONTRACTOR TO VERIFY WITH LOCAL AUTHORITY HAVING JURISDICTION.



THA ARCHITECTS, LLC
ARCHITECTURE • DESIGN • PLANNING • INTERIOR DESIGN
105 WILLOW BROOK AVENUE
STRATHAM, NEW HAMPSHIRE 03885
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Ricci Addition

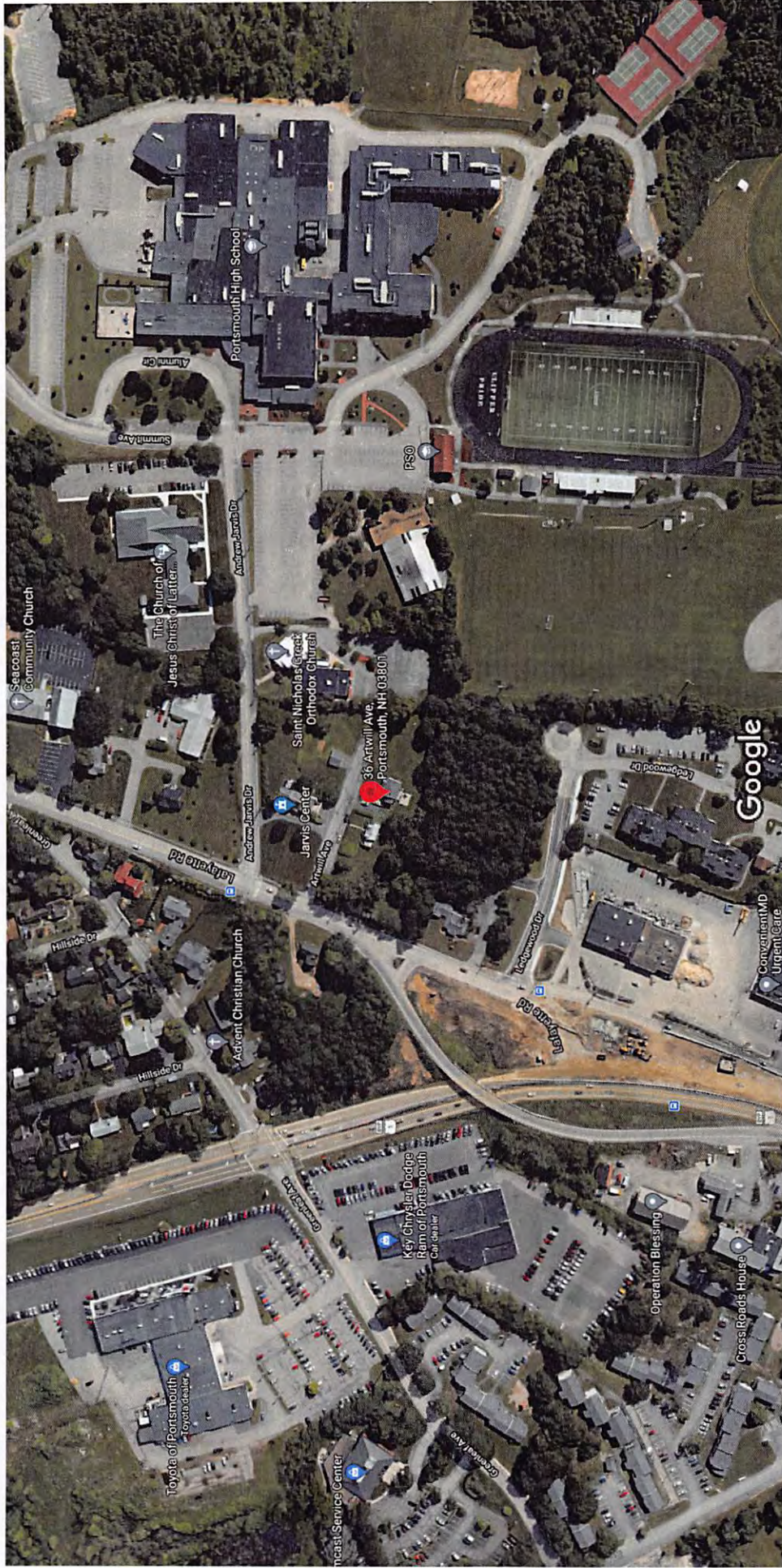
36 Artwill Avenue
Portsmouth, NH

Exterior Elevations Notes

SCALE: _____
ISSUED / DRAWN BY _____
July 25, 2017
© THA ARCHITECTS, LLC
REVISED / REVISED BY _____
Aug. 21, 2017 _____
Nov. 29, 2017 _____

JOB NO: 17008

SHEET NUMBER
A-2



Imagery ©2021 Google, Imagery ©2021 Maine Geolibrary, Maxar Technologies, U.S. Geological Survey, USDA Farm Service Agency, Map data ©2021 100 ft

tabbles

EXHIBIT

4

36 Artwill Ave



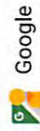
Imagery ©2021 Google, Imagery ©2021 Maine GeoLibrary, Maxar Technologies, U.S. Geological Survey, Map data ©2021 50 ft

Google Maps 36 Artwill Ave



Image capture: Sep 2011 © 2021 Google

Portsmouth, New Hampshire

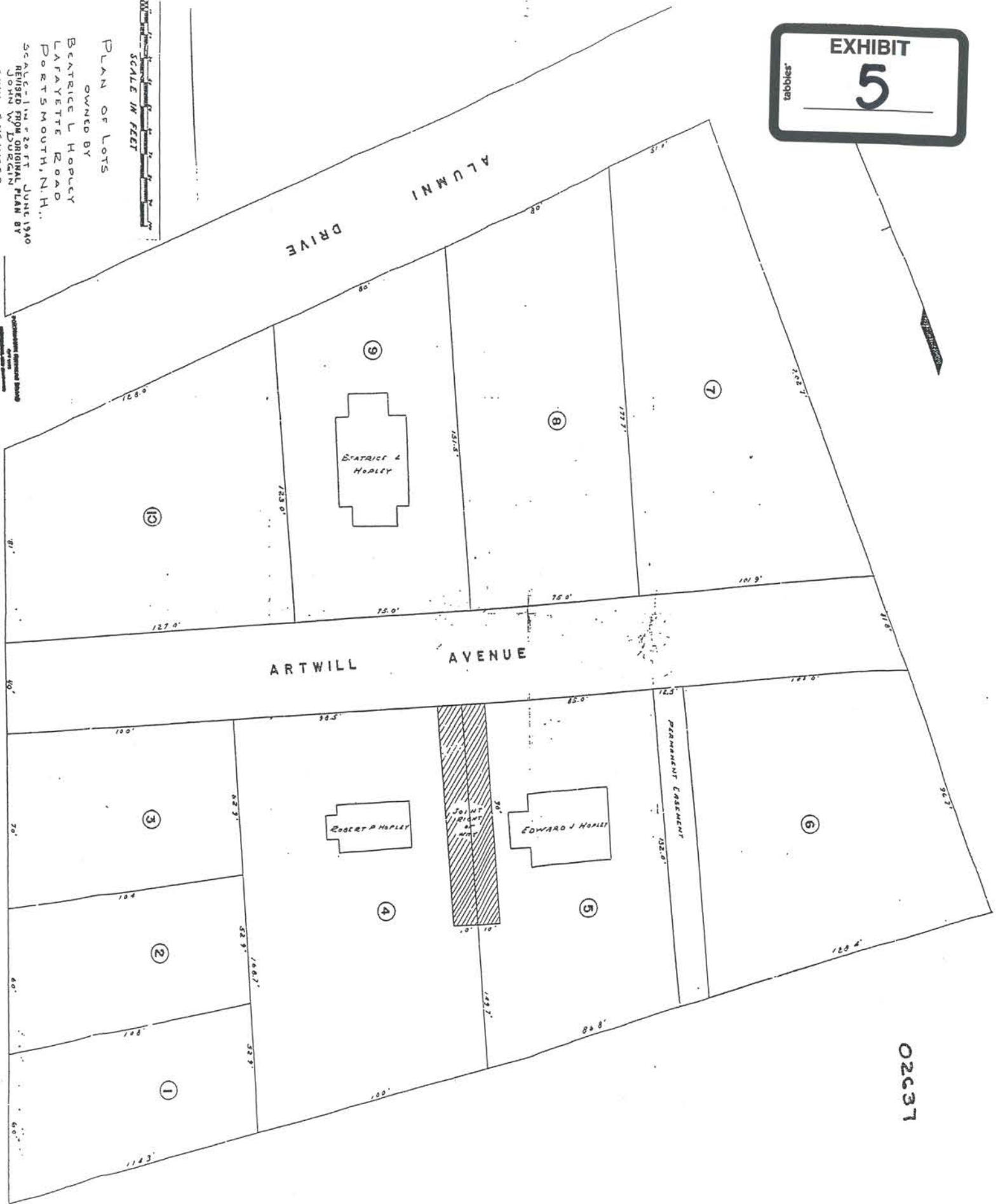


Street View



EXHIBIT
5
tabbles

02637



PLAN OF LOTS
OWNED BY
BEATRICE L. HOPLEY
LAFAYETTE ROAD
PORTSMOUTH, N.H.
SCALE - 1" = 20 FT. JUNE, 1940
REVISED FROM ORIGINAL PLAN BY
JOHN W. DUNCAN
CIVIL ENGINEER
REVISED MAY, 1946
REVISED FEB. 1957

No Jurisdiction
John W. Duncan
8/29/1958

LAFAYETTE ROAD

ARTWILL AVENUE

ALUMNI DRIVE

FILE NO 2249
PLAN NO 794

TRANSFER OF MEMBERSHIP INTERESTS IN
KARONA, LLC

I, Robert A. Ricci, for no consideration effective retroactively to June 1, 2018, do hereby relinquish, convey, and transfer all right, title, and interest in fifty percent (50%) of my membership interest of Karona, LLC to Kathleen B. Ricci, such membership interest being fifty percent (50%) of my membership interest in the Company.

Hereafter the membership interests are as follows:

Robert A. Ricci, Jr. 50%

Kathleen B. Ricci 50%

Dated this 24th day of February 2021

Monica J. Ricci
Witness

By: Robert A. Ricci, Jr.
Robert A. Ricci, Jr.

Monica J. Ricci
Witness

ACCEPTED: Kathleen B. Ricci
Kathleen B. Ricci

TRANSFER OF MEMBERSHIP INTERESTS IN
KARONA, LLC

I, Erik Vaillant, for no consideration effective retroactively to June 1, 2018, do hereby relinquish, convey, and transfer all right, title, and interest in my ten percent (10%) membership interest of Karona, LLC to Robert A. Ricci, Jr., such membership interest being one hundred percent (100%) of my membership interest in the Company.

Hereafter the membership interests are as follows:

Robert A. Ricci, Jr. 100%

Dated this 24th day of February 2021

Kathleen Ricci
Witness

By: Erik Vaillant
Erik Vaillant

Kathleen Ricci
Witness

ACCEPTED: Robert A. Ricci, Jr.
Robert A. Ricci, Jr.

D.F. RICHARD



PO BOX 669
Dover, NH 03821-0669
(603) 742-2020 or (800) 649-6457

Address Service Requested

check here for address changes on back

702777 489 01 000086 01 NNNNNN

ATTN: BUTCH RICCI
36 ARTWILL AVE
PORTSMOUTH, NH 03801

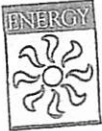
FUEL INVOICE

Account Number	248155
Date	12/08/2020
Reference #	12227
Invoice Total	\$37.23
Amount Due	\$37.23
On Or Before 01/07/2021	
Amount Enclosed	

D.F. RICHARD ENERGY
P.O. BOX 669
DOVER, NH 03821-0669

Keep lower portion for your records. Please return upper portion with your payment for faster processing.

D.F. RICHARD



FUEL INVOICE

Account Number	248155
Date	12/08/2020
Reference #	12227
Invoice Total	\$37.23
Amount Due	\$37.23

PLEASE PAY ON OR BEFORE
01/07/2021

FUEL INVOICE
SUMMARY

DATE	REF#	DESCRIPTION	PRICE	GALLONS	AMOUNT
		Previous Balance			\$0.00
12/08/2020	12227	PROPANE-METERED /6A ROBERTS AVENUE//PORTSMOUTH NH 03801	\$2.1900	17.00	\$37.23
		CURRENT METER READING 12/08/2020		12227.00	
		PREVIOUS METER READING 12/01/2020		12221.00	
		CUBIC FEET 1		6.00	
					Invoice Total \$37.23
					Balance \$37.23

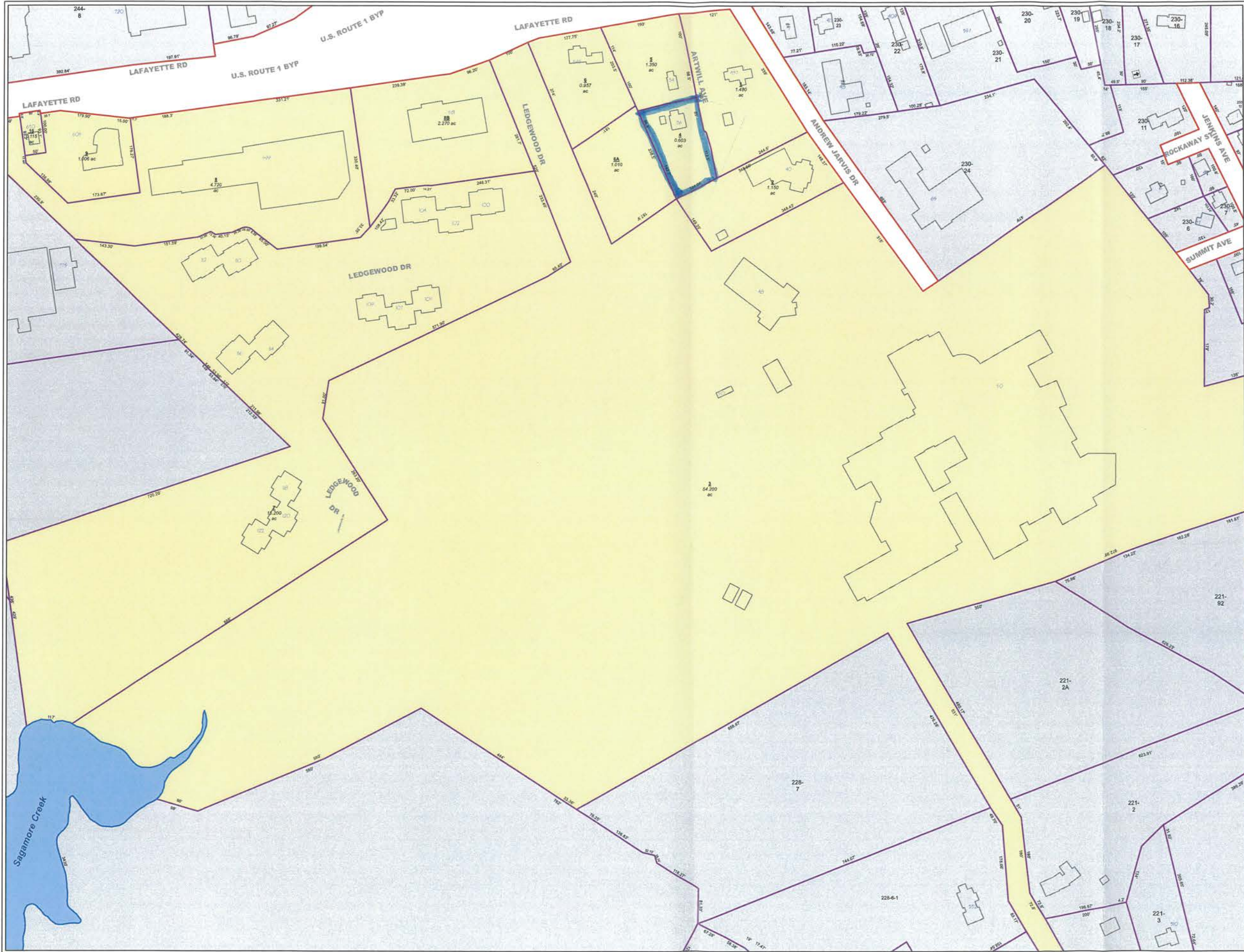
If paid in full within 10 days pay \$36.49

*Pd online
12/22/20*

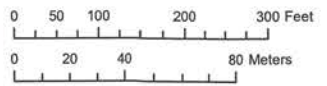
Terms are Net 30 days. Any balance over 30 days is subject to finance charges.



EXHIBIT
7



- 7-5A Lot or lot-unit number
- 2.56 ac Parcel area in acres (ac) or square feet (sf)
- 25 Address number
- 233-137 Parcel number from a neighboring map
- 6F Parcel line dimension
- SIMS AVE Street name
- Parcel/Parcel boundary
- Parcel/ROW boundary
- Water boundary
- Structure (1994 data)
- Parcel covered by this map
- Parcel from a neighboring map (see other map for current status)



This map is for assessment purposes only. It is not intended for legal description or conveyance. Parcels are mapped as of April 1. Building footprints are 2006 data and may not represent current structures. Streets appearing on this map may be paper (unbuilt) streets. Lot numbers take precedence over address numbers. Address numbers shown on this map may not represent posted or legal addresses.



Portsmouth, New Hampshire
2019
Tax Map 229