

# JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885  
603.772.4746 - JonesandBeach.com

June 23, 2021

Portsmouth Planning Board  
Attn: Dexter Legg  
1 Junkins Avenue, Suite 3<sup>rd</sup> Floor  
Portsmouth, NH 03801

**RE: Response Letter 3 – TAC Comments  
375 Banfield Road, Portsmouth, NH  
Tax Map 266, Lot 7  
JBE Project No. 19190.2**

Dear Mr. Legg,

We are in receipt of comments from Jillian Harris dated June 1, 2021. Review comments are listed below with our responses in bold.

1. *Please provide a green building statement consistent with the requirements of Section 2.5.3.1A of the Site Review Regulations.*  
**RESPONSE: A Green Building Statement is included along with this response letter.**
2. *On your checklist, you indicate that you are requesting a waiver to a number of the Site Review requirements. Please provide an updated waiver letter along with justification for why the waivers are justified.*  
**RESPONSE: The waiver requested for Section 2.5.4.3(b) for architectural design is no longer needed as we are submitting architectural plans along with this submission.**
3. *Please verify if you will be using irrigation for any of the proposed landscaping areas.*  
**RESPONSE: It is possible that irrigation will be used, and Note #18 on Sheet L1 states that an irrigation piping system shall be reviewed and approved by the owner and engineer prior to installation.**
4. *Please provide will-serve letters from utility companies.*  
**RESPONSE: Commitment to serve letter from Unitil has been received for the gas service. Letters from the City of Portsmouth Water Department and Eversource are pending but correspondence has been initiated.**
5. *Please advise on the status of your state permits.*  
**RESPONSE: The State permits have been submitted and are pending approval from NHDES.**

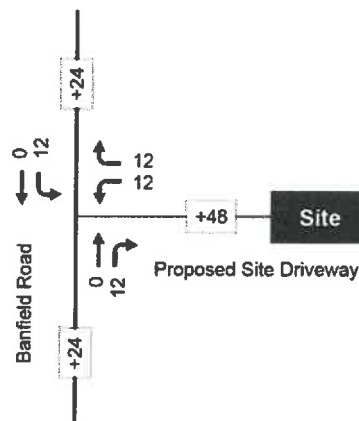
6. *Stormwater treatment in the wetland buffer will require a wetland conditional use permit. Given the redesign of the project please explore opportunities to get all of the treatment outside of the wetland buffer as part of the initial site design.*

**RESPONSE: The stormwater system is designed as small as it can be and impacts in the buffer are temporary. The Conservation Commission voted to approve the project at the 6/9/21 meeting with the condition that we re-vegetate disturbed areas adjacent to the wetlands with wildflower seed mix.**

7. *Based on a video count conducted at the intersection of Banfield Road and Constitution Ave in December 2020, there was a total of 109 heavy vehicles on the section of Banfield Road north of Constitution Ave between the hours of 6 AM and 6 PM. Heavy vehicles consist of single-unit trucks, articulated trucks, and buses. A review of the video reveals that the vast majority (over 90%) of the heavy vehicles were smaller single unit trucks. It is not clear from the traffic count data provided by the applicant as to the size of the trucks in their counts. Oftentimes any vehicle with more than 4 wheels or 2 axles will be considered a truck, thereby including many smaller single unit trucks, which increases the total number of vehicles classified as trucks. The proposed project is projected to add 50 trucks to Banfield Road north of Constitution Ave. It must be assumed that the proposed 50 trucks will likely be larger articulated trucks, as that is the standard to which the site plans have been designed. It is therefore likely that the number of larger, articulated trucks on this section of Banfield Road will more than double due to the proposed project.*

**RESPONSE: It is unlikely that all or even a substantial majority of the additional truck traffic from this site will be in the form of larger, articulated trucks like the WB-62 that was used as the design basis for the pavement. The WB-62 model was run as a worst-case scenario to determine the appropriate pavement radii and smaller delivery vehicles will probably be more frequent in traffic coming to and leaving the site.**

The following diagram illustrates that the net truck impact on Banfield Road will be approximately +24 truck-trips per day (based on Pernaw & Co., Inc. memorandum dated 12/28/2020 for a warehouse use and an even trip distribution split between points north and south via Banfield Road).



8. *Construction of this new facility must be conformance to all State rules regarding the areas previously landfilled. Drainage and site details must be reviewed by third party engineer for accuracy and consistency with DES rules.*

**RESPONSE:** The project has been designed with DES compliance in mind. There are four environmental concerns that will be addressed as follows:

1. **Contaminants in soil related to historical use of the property as an automobile junkyard and recycling facility.** All earth disturbance will be performed under the provisions of a *Soil & Groundwater Management Plan* (SGMP) that will be developed by Wilcox & Barton, Inc., stamped by a licensed Professional Engineer, and submitted to DES for approval. The plan will specify the proper handling and offsite disposal of contaminated soil and any solid wastes that are encountered during the work. Throughout the work, a Wilcox & Barton, Inc. field scientist will be on site to monitor implementation of the SGMP, assess for environmental conditions, and ensure implementation of an *Environmental Health & Safety Plan* designed to protect workers from site-related exposures. If required by DES, the SGMP will be incorporated into a *Remedial Action Plan* (also subject to DES approval) to facilitate the removal of contaminated soil.
2. **The site is registered as a Closed Pre-1981 Landfill.** Landfilled materials are permitted to remain as long as they are not disturbed. If manmade materials are encountered and must be disturbed as part of site grading, the materials will be removed, segregated, and disposed offsite. No other work is anticipated with respect to the closed landfill status.
3. **Site drainage shall not be allowed to infiltrate through contaminated media.** In accordance with Env-Wq 1507.02(c)(2)(b), stormwater shall not be infiltrated in areas that have soil contaminants at concentrations exceeding applicable soil quality standards. Site drainage has been designed to eliminate infiltration. This is a provision of the Alteration of Terrain Permit. No further DES involvement will be necessary on this matter.

**Stormwater management during construction.** The project will require coverage under the EPA NPDES Construction General Permit for the management of stormwater. A Stormwater Pollution Prevention Plan (SWPPP) will be prepared and implemented on the project to ensure that contaminated stormwater and sediment do not run off from the site while the permanent stormwater management system is being constructed.

9. *As the City will have already reconstructed the road base and pavements, construction of shoulders on Banfield Road based on data and details to be provided by CMA will be the responsibility of the applicant prior to authorization of a CO. This includes all permitting and construction.*

**RESPONSE:** The applicant is working with the City on the design of the shoulders of the road. The cost sharing portion still needs to be worked out based on the projected increase in truck traffic from our site.

10. *All burlap and cages should be removed for landscape plants.*

**RESPONSE:** See Note #22 on Sheet L1.

11. *Can the right turn exit area be textured in a different material than pavement to diminish the visual impacts of the painted asphalt?*

**RESPONSE: We have modified the right turn exit area to be textured with pavers to differentiate with the standard asphalt.**

12. *Consideration should be given to add an outdoor seating area for employees either between the parking and the building or between the 100-foot buffer zones adjacent the proposed parking lot.*

**RESPONSE: Note #20 has been added to Sheet C2 discussing the location of the outdoor seating area if the company decides to have one.**

13. *Are there multiple loading docks and if so, the turning template should show how each dock would be accessed using the proposed pavement area.*

**RESPONSE: New truck turning templates have been added to Sheet T3 showing how different potential dock locations would be accessed.**

Included with this response letter are the following:

1. Two (2) Revised Full Size Plan Set Folded.
2. One (1) Revised Half Size Plan Set Folded.
3. Elevations & Floor Plans.
4. Green Building Statement.
5. Commitment to Serve Letters.

Thank you very much for your time.

Very truly yours,  
**JONES & BEACH ENGINEERS, INC.**

  
Joseph Coronati  
Vice President

cc: Rob Graham, Banfield Realty, LLC (letter and plans via email)  
Jim Gove, Gove Environmental Services (letter and plans via email)  
Bill Wilcox (letter and plans via email)  
Peter Britz, City of Portsmouth (letter and plans via email)

# JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885  
603.772.4746 - JonesandBeach.com

June 23, 2021

Portsmouth Planning Board  
Attn: Dexter Legg  
1 Junkins Avenue, Suite 3<sup>rd</sup> Floor  
Portsmouth, NH 03801

**RE: Green Building Statement**  
**375 Banfield Road, Portsmouth, NH**  
**Tax Map 266, Lot 7**  
**JBE Project No. 19190.2**

Dear Mr. Legg,

The intent of this proposal is to construct a 75,000 S.F. industrial warehouse building with associated parking, loading, drainage, and utilities. Throughout the design process, low-impact solutions to site issues were considered and implemented. The orientation of the site with parking generally located south of the proposed building and on top of a fill slope ensures that the parking area receives maximum sunlight during the winter months, which will reduce the amount of salt that will need to be used. This being said, robust landscaping trees such as October Glory Red Maple, Pink Flowering Dogwood, and Greenspire Littleleaf Linden will ensure that the periphery of the parking area is shaded during the summer months, reducing the potential for a “heat island” in this area.

This site is already developed. The site has been previously used as a landfill and an auto salvage facility. The proposed design utilizes the minimum amount of new impervious surface practicable for the intended use. In the existing condition, there is significant impervious surface in the 100’ wetland buffer which is being removed with this development. Post-construction, there will be almost no impervious surface within the wetland buffer. The temporary stockpile area and the areas adjacent to the wetland buffer will be restored with a wildflower seed mix. The constraints were the size of the building, the necessity for a loading area that can be used by WB-62 trucks for delivery, and the City of Portsmouth’s parking requirements. The addition of impervious surface causes the potential for increased rates of off-site runoff, so a stormwater management system was designed for this development to provide for treatment and detention of runoff. We are using low-impact solutions for treatment and detention, including small-footprint “Focal Point” biofiltration areas, PreTx curb inlet units for pre-treatment, a meadow buffer, and underground detention underneath pavement in lieu of a traditional pond. These systems will provide for treatment and detention of stormwater in a small footprint. The minimum amount of ground practicable will be disturbed with this development.

The building will meet or exceed the NH State energy code as amended by the City of Portsmouth that is in effect at the time of building permit application. It is anticipated that LED fixtures will be used for general lighting within the building and a “cool” membrane roof will be used. Limited

fenestration on the exterior walls will improve the performance of the exterior envelope. LEED certification is not anticipated at this time.

Very truly yours,  
**JONES & BEACH ENGINEERS, INC.**

A handwritten signature in black ink that reads "Daniel Meditz". The signature is written in a cursive style with a long, sweeping underline.

Daniel Meditz, E.I.T.  
Project Engineer



*June 11th, 2021*

*Dan Meditz  
Project Engineer | Jones & Beach Engineering Inc.*

*Will Serve Letter for 375 Banfield Rd, Portsmouth NH*

Hi Dan,

Unitil/Northern Utilities Natural Gas Division has reviewed the requested site for natural gas service:

Unitil hereby confirms that natural gas is available to supply the proposed building located at 375 Banfield Rd in Portsmouth, NH.

Sincerely,

A handwritten signature in blue ink, appearing to read "Dave MacLean", is written over a light blue horizontal line.

**Dave MacLean**  
Senior Business Development Rep



**mjk**

Michael J. Keane  
Architects, PLLC

ARCHITECTURE  
PLANNING  
DESIGN

101 Kent Place  
Newmarket, NH  
03857

603-292-1400  
mjkarchitects.com

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CONSULTANTS

REVISIONS

APPROVALS

PLANNING BOARD REVIEW  
02.02.21  
NOT FOR CONSTRUCTION

Accept: only original stamp and signature  
copies may contain unauthorised modifications

PROJECT

INDUSTRIAL WAREHOUSE  
375 BANFIELD ROAD  
TAX MAP 266 LOT 7,  
PORTSMOUTH NH, NH

BANFIELD REALTY LLC  
304 MAPLEWOOD AVE  
PORTSMOUTH NH 03801

TITLE

PRELIMINARY ELEVATIONS

DRAWN BY:

CHECKED BY:

DATE: 6/20/2021

SCALE: AS NOTED

DRAWING NO.

**A-1**

DO NOT SCALE PRINTS

TOP OF ROOF

TOP OF SLAB

EAST ELEVATION

TOP OF ROOF

TOP OF SLAB

WEST ELEVATION

FLAT INSULATED METAL PANEL  
COLOR 'A'

NORTH ELEVATION

FLAT INSULATED METAL PANEL  
COLOR 'B'

TEXTURED  
INSULATED  
METAL PANEL  
COLOR 'C'

FLAT INSULATED METAL PANEL  
COLOR 'A'

SOUTH ELEVATION

**CONCEPT ELEVATIONS**

SCALE: 1/16" = 1'-0"

SIDING 'A' AND 'B'  
2.5" X 26/26 Ga. CP-42 METL-SPAN OR EQUAL  
PANELS WITH 42" COVERAGE  
EXTERIOR COLOR 'A' - TO BE DETERMINED  
EXTERIOR COLOR 'B' - TO BE DETERMINED  
INTERIOR FINISH - WHITE  
PANEL PROFILE - CR42 LIGHT MESA OR EQUAL  
SIDE JOINT FASTENING - CONCEALED CLIP,  
2 FASTENERS PER CLIP  
ALL TRIM 26 GA TO MATCH EXTERIOR PANEL FINISH

SIDING 'C'  
2.5" X 26/26 Ga. CP-42 METL-SPAN OR EQUAL  
PANELS WITH 42" COVERAGE  
EXTERIOR COLOR 'C' - TO BE DETERMINED  
INTERIOR FINISH - WHITE  
PANEL PROFILE - CR FLUTE OR EQUAL  
SIDE JOINT FASTENING - CONCEALED CLIP,  
2 FASTENERS PER CLIP  
ALL TRIM 26 GA TO MATCH EXTERIOR PANEL FINISH

ALL SIDING IS TO BE INSTALLED PER MANUFACTURERS  
INSTRUCTIONS AND IS TO INCLUDE ALL ASSOCIATED  
ACCESSORIES REQUIRED FOR PROPER INSTALLATION  
AND AIR AND MOISTURE SEALING.



**mjk**

Michael J. Keane  
Architects, PLLC

ARCHITECTURE  
PLANNING  
DESIGN  
101 Kent Place  
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CONSULTANTS

REVISIONS

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PLANNING BOARD REVIEW  
02.02.21  
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Accept only original stamp and signature  
copies may contain unauthorized modifications

PROJECT

INDUSTRIAL WAREHOUSE  
375 BANFIELD ROAD  
TAX MAP 266 LOT 7,  
PORTSMOUTH NH, NH

BANFIELD REALTY LLC  
304 MAPLEWOOD AVE  
PORTSMOUTH NH 03801

TITLE

CONCEPT PLAN

DRAWN BY:

CHECKED BY:

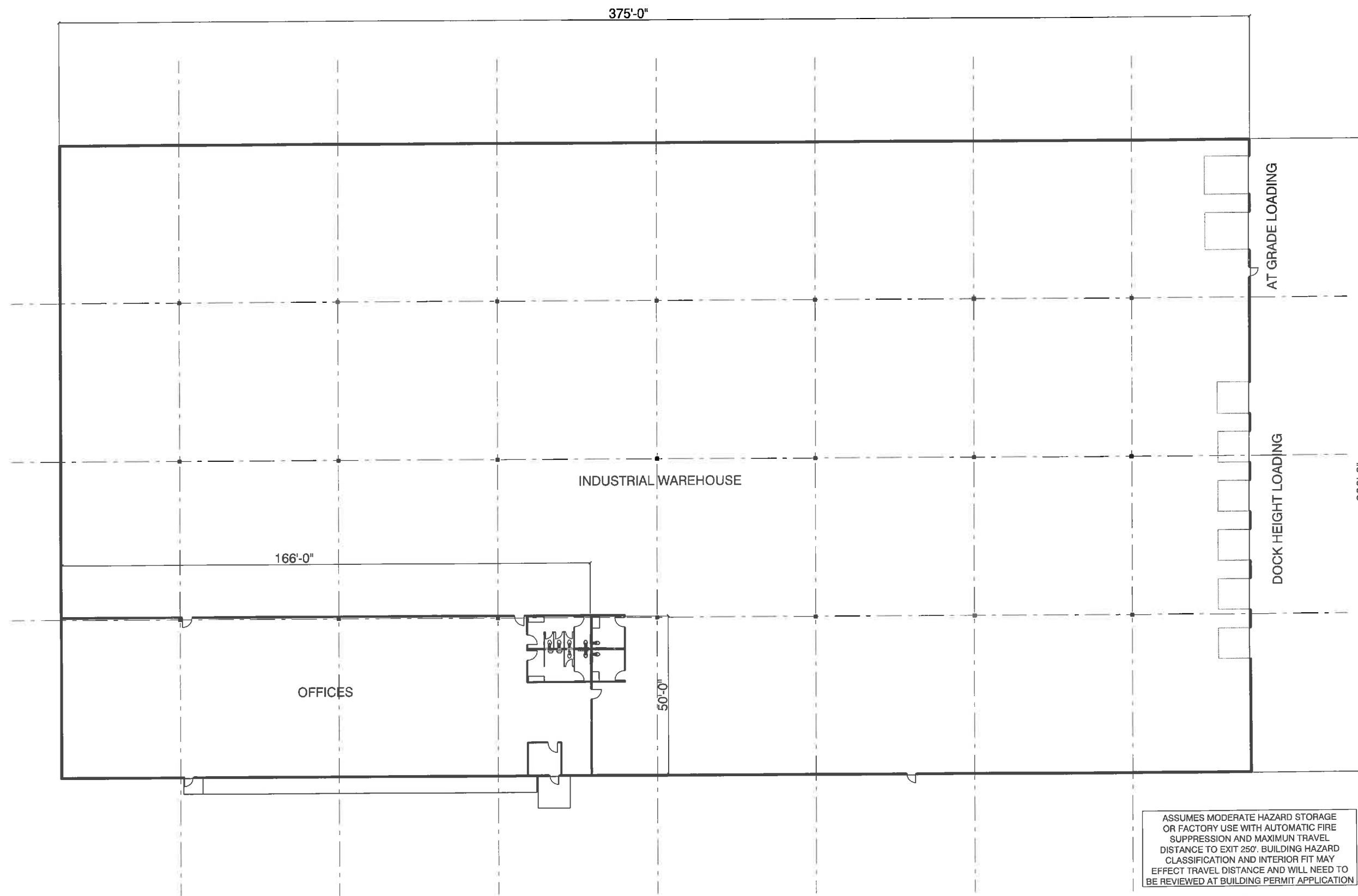
DATE: 6/21/2021

SCALE: AS NOTED

DRAWING NO.

A-2

DO NOT SCALE PRINTS



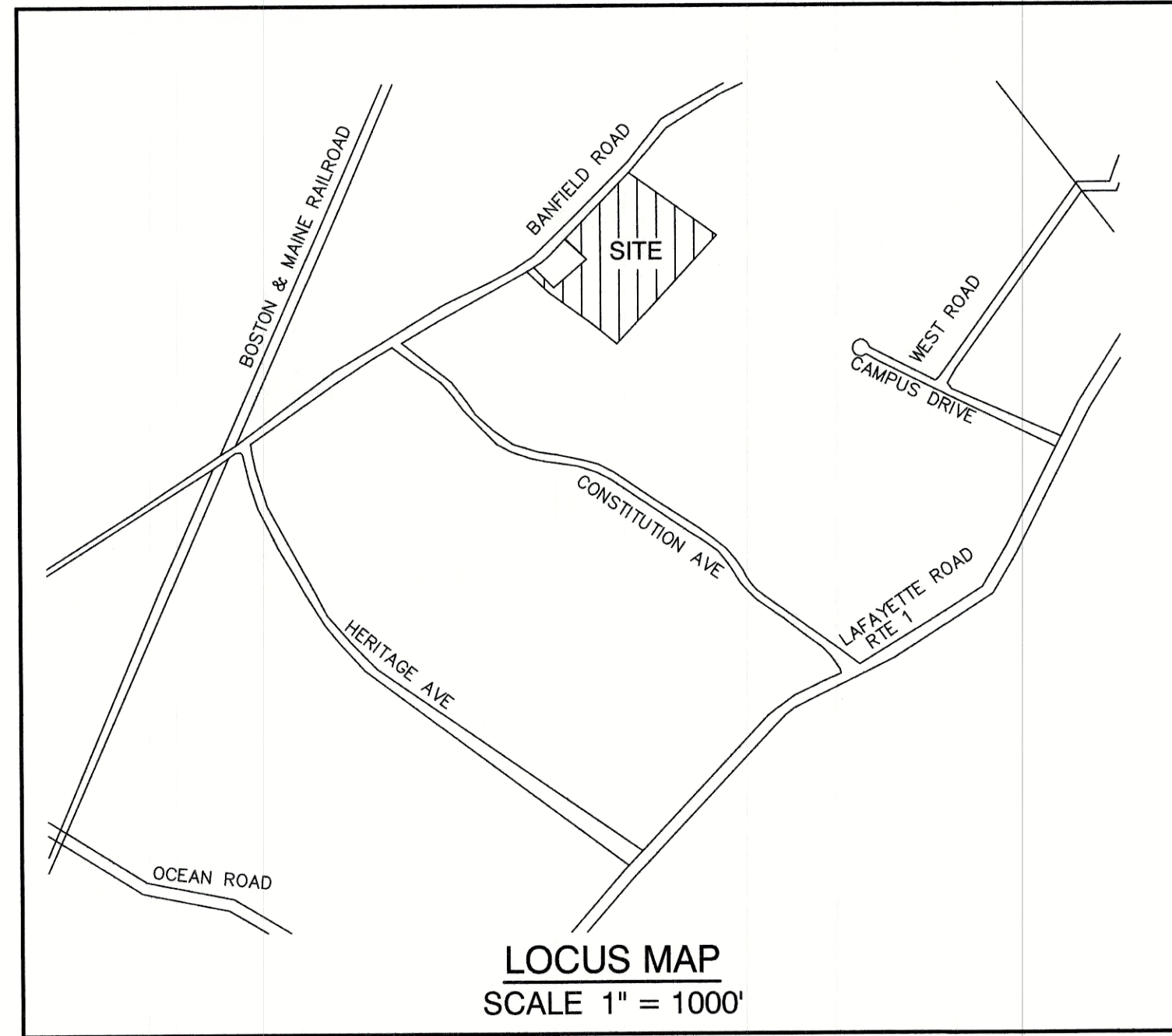
**CONCEPT PLAN**  
SCALE: 1/16" = 1'-0"

# COMMERCIAL SITE PLAN "INDUSTRIAL WAREHOUSE"

## TAX MAP 266, LOT 7 375 BANFIELD ROAD, PORTSMOUTH, NH

### GENERAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	CENTERLINE
---	---	FRESHWATER WETLANDS LINE
---	---	TIDAL WETLANDS LINE
---	---	STREAM CHANNEL
---	---	TREE LINE
---	---	STONEWALL
---	---	BARBED WIRE
---	---	FENCE
---	---	STOCKADE FENCE
---	---	SOIL BOUNDARY
---	---	AQUIFER PROTECTION LINE
---	---	FLOOD PLAIN LINE
---	---	ZONELINE
---	---	EASEMENT
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	EDGE OF PAVEMENT
---	---	VERTICAL GRANITE CURB
---	---	SLOPE GRANITE CURB
---	---	CAPE COD BERM
---	---	POURED CONCRETE CURB
---	---	SILT FENCE / FIBER BERM
---	---	DRAINAGE LINE
---	---	SEWER LINE
---	---	SEWER FORCE MAIN
---	---	GAS LINE
---	---	WATER LINE
---	---	WATER SERVICE
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	GUARDRAIL
---	---	UNDERDRAIN
---	---	FIRE PROTECTION LINE
---	---	THRUST BLOCK
---	---	IRON PIPE / IRON ROD
---	---	DRILL HOLE
---	---	IRON ROD / DRILL HOLE
---	---	STONE / GRANITE BOUND
---	---	SPOT GRADE
---	---	PAVEMENT SPOT GRADE
---	---	CURB SPOT GRADE
---	---	BENCHMARK (TBM)
---	---	DOUBLE POST SIGN
---	---	SINGLE POST SIGN
---	---	WELL
---	---	TEST PIT
---	---	FAILED TEST PIT
---	---	MONITORING WELL
---	---	PERC TEST
---	---	PHOTO LOCATION
---	---	TREES AND BUSHES
---	---	UTILITY POLE
---	---	LIGHT POLES
---	---	DRAIN MANHOLE
---	---	SEWER MANHOLE
---	---	HYDRANT
---	---	WATER GATE
---	---	WATER SHUT OFF
---	---	REDUCER
---	---	SINGLE GRATE CATCH BASIN
---	---	DOUBLE GRATE CATCH BASIN
---	---	TRANSFORMER
---	---	CULVERT W/WINGWALLS
---	---	CULVERT W/FLARED END SECTION
---	---	CULVERT W/STRAIGHT HEADWALL
---	---	STONE CHECK DAM
---	---	DRAINAGE FLOW DIRECTION
---	---	4K SEPTIC AREA
---	---	WETLAND IMPACT
---	---	VEGETATED FILTER STRIP
---	---	RIPRAP
---	---	OPEN WATER
---	---	FRESHWATER WETLANDS
---	---	TIDAL WETLANDS
---	---	STABILIZED CONSTRUCTION ENTRANCE
---	---	CONCRETE
---	---	GRAVEL
---	---	SNOW STORAGE
---	---	RETAINING WALL



### SHEET INDEX

CS	COVER SHEET
C1	EXISTING CONDITIONS PLAN
DM1	DEMOLITION PLAN
C2	SITE PLAN
C3	GRADING AND DRAINAGE PLAN
C4	UTILITY PLAN
L1	LANDSCAPE PLAN
L2	LIGHTING PLAN
S1	EFFLUENT DISPOSAL DESIGN
D1-D7	DETAIL SHEETS
E1	EROSION AND SEDIMENT CONTROL DETAILS
H1-H2	HIGHWAY ACCESS PLAN
T1-T5	TRUCK TURNING PLAN

**CIVIL ENGINEER / SURVEYOR**  
**JONES & BEACH ENGINEERS, INC.**  
 85 PORTSMOUTH AVENUE  
 PO BOX 219  
 STRATHAM, NH 03885  
 (603) 772-4746  
 CONTACT: JOSEPH CORONATI  
 JCORONATI@JONESANDBEACH.COM

**WETLAND AND SOIL CONSULTANT**  
**GOVE ENVIRONMENTAL SERVICES, INC.**  
 8 CONTINENTAL DRIVE BUILDING 2 UNIT H  
 EXETER, NH 03833  
 (603) 778-0644  
 CONTACT: JAMES GOVE  
 JGOVE@GESINC.BIZ

**LANDSCAPE DESIGNER**  
**LM LAND DESIGN**  
 11 SOUTH ROAD  
 BRENTWOOD, NH 03833  
 CONTACT: LISE MCNAUGHTON  
 (603) 770-7728  
 LMLANDESIGN@GMAIL.COM

**NATURAL GAS**  
**UNITIL SERVICE CORP.**  
 325 WEST ROAD  
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 MACLEAND@UNITIL.COM

**ELECTRIC**  
**EVERSOURCE ENERGY**  
 74 OLD DOVER ROAD  
 ROCHESTER, NH 03867  
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 (603) 555-5334

**TELEPHONE**  
**CONSOLIDATED COMMUNICATIONS**  
 1575 GREENLAND ROAD  
 GREENLAND, NH 03840  
 CONTACT: JOE CONSINDINE  
 (603) 427-5525

**CABLE TV**  
**COMCAST COMMUNICATION CORPORATION**  
 334-B CALEF HIGHWAY  
 EPPING, NH 03402-2325  
 (603) 679-5695

PROJECT PARCEL  
 CITY OF PORTSMOUTH  
 TAX MAP 266, LOT 7

TOTAL LOT AREA  
 651,747 S.F.  
 14.96 ACRES

APPROVED - PORTSMOUTH, NH  
 PLANNING BOARD

DATE:

F:\CADD\MASTER STANDARD\dwg\JB-LAYOUTS.dwg 3/12/2015 3:27:29 PM EDT

Design: JAC Draft: DJM Date: 04/21/20  
 Checked: JAC Scale: AS NOTED Project No.: 19190.2  
 Drawing Name: 19190-PLAN-NEW-LAYOUT.dwg  
 THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



REV.	DATE	REVISION	BY
13	6/23/21	REVISED PER CITY COMMENTS	DJM
12	5/18/21	REVISED PLANTINGS PER NHB	DJM
11	5/17/21	ISSUED REVISED PLANS TO TAC	DJM
10	5/10/21	ISSUED REVISED PLANS FOR PRELIMINARY PB CONSULTATION	DJM
9	3/9/21	REVISED CONCEPTUAL LAYOUT	DJM

Designed and Produced in NH  
**J/B Jones & Beach Engineers, Inc.**  
 Civil Engineering Services  
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
 603-772-4746 FAX: 603-772-0227  
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>COVER SHEET</b>
Project:	<b>INDUSTRIAL WAREHOUSE 375 BANFIELD ROAD, PORTSMOUTH, NH 03801</b>
Owner of Record:	<b>BANFIELD REALTY LLC 304 MAPLEWOOD AVENUE, PORTSMOUTH, NH 03801</b>

DRAWING No.  
**CS**  
 SHEET 1 OF 24  
 JBE PROJECT NO. 19190.2

INDUSTRIAL WAREHOUSE, PORTSMOUTH, NH  
 REVISION IS 6/23/21

**PLAN REFERENCES:**

- "PLAN OF LAND IN PORTSMOUTH, N.H. OWNED BY PEVERLY HILL CORPORATION AND JOHN IAFOLLA COMPANY INC." DATED DECEMBER 1975. PREPARED BY FRANCIS BARRETT. R.C.R.D. 5657.
- "PLAN OF LAND FOR MICHAEL R. IAFOLLA & FERRIS G. BAVICCHI." DATED MAY 2, 1983. PREPARED BY KIMBALL CHASE COMPANY, INC. R.C.R.D. 11561.
- "SUBDIVISION PLAN FOR JOHN IAFOLLA COMPANY, INC. PEVERLY HILL ROAD / BANFIELD ROAD, PORTSMOUTH, N.H." DATED OCTOBER 11, 1996. R.C.R.D. 25153.
- "BOUNDARY PLAN, TAX MAP R66, LOT 4." DATED JUNE 1997. PREPARED BY LITTLE RIVER SURVEY COMPANY. R.C.R.D. 26190.
- "LOT LINE ADJUSTMENT, JOHN IAFOLLA COMPANY, INC. AND CITY OF PORTSMOUTH." DATED NOVEMBER 16, 1997. R.C.R.D. 26202.
- "LOT LINE REVISION PLAN, CAMPUS DRIVE, BANFIELD & PEVERLY HILL ROADS, PORTSMOUTH, NEW HAMPSHIRE." DATED OCTOBER 24, 2016. PREPARED BY JAMES VERRA AND ASSOCIATES. R.C.R.D. 39887.

**MAP 256 LOT 2A**

DAVID W. ECKER  
875 BANFIELD RD  
PORTSMOUTH, NH 03801  
BK 6091 PG 374

**MAP 266 LOT 8**

ELIZABETH ECKER  
425 BANFIELD RD  
PORTSMOUTH, NH 03801  
BK 5182 PG 2990

**MAP 256 LOT 1**

SWIFT WATER GIRL SCOUT COUNCIL  
ONE COMMERCE DR  
BEDFORD, NH 03110

**SOIL NOTES:**

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP.

THE SITE SPECIFIC SOIL SURVEY FIELD WORK WAS CONDUCTED 07-20-2020, AND WAS PREPARED BY JAMES P. GOVE, CSS # 004. GOVE ENVIRONMENTAL SERVICES, INC. THE SURVEY AREA IS LOCATED ON BANFIELD ROAD, PORTSMOUTH, NH.

SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH, ISSUE # 10, JANUARY 2011. THE NUMERIC LEGEND WAS AMENDED TO IDENTIFY THE CORRECT SOIL COMPONENTS OF THE COMPLEX.

HYDROLOGIC SOIL GROUP FROM KSTAT VALUES FOR NEW HAMPSHIRE SOILS, SOCIETY OF SOIL SCIENTISTS OF NEW ENGLAND, SPECIAL PUBLICATION NO. 5, SEPTEMBER, 2009

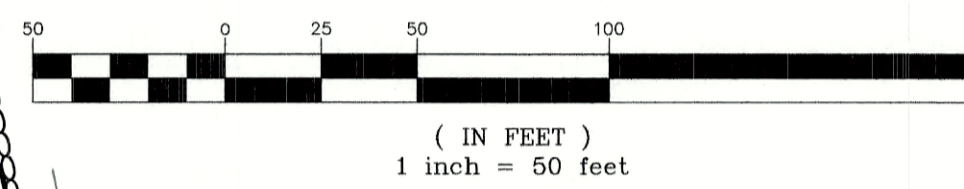
SSSM SYM.	SSS MAP NAME	HISS SYM.	HYDROLOGIC SOIL GRP.
38	ELDRIDGE FSL	343	C
100	UDORTMENTS, WET SUBSTRATUM	363	C
100H	" " " " HYDRIC	563	D
115	SCARBORO MUCK	643	D
400	UDORTMENTS, GRAVELLY	161	A
510	HOOSIC GSL	111	A
538	SQUAMSCOTT FSL	543	C
599	URBAN LAND - HOOSIC COMPLEX	761/161	D/A
900	ENDOQUENTS, GRAVELLY	561	D

FSL = FINE SANDY LOAM, GSL = GRAVELLY SANDY LOAM

SLOPE PHASE:

0-8%	B	15-25%	D
8-15%	C	25%+	E

**GRAPHIC SCALE**



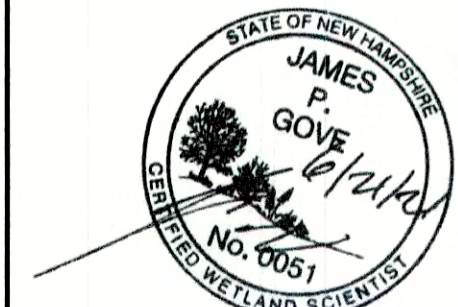
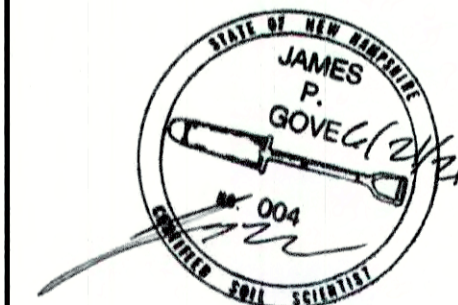
J/B

**MAP 266 LOT 5**

HOPE FOR TOMORROW FOUNDATION  
1 STONERIDGE DR  
RYE, NH 03870  
BK 5783 PG 602

**MAP 266 LOT 84**

FOUNDATION FOR SEACOAST HEALTH  
100 CAMPUS DRIVE, SUITE 1  
PORTSMOUTH, NH 03801  
BK 3276 PG 2980



Design: JAC	Draft: DJM	Date: 04/21/20
Checked: JAC	Scale: AS-NOTED	Project No.: 19190.2
Drawing Name: 19190-PLAN-NEW-LAYOUT.dwg		
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REV.	DATE	REVISION	BY
13	6/23/21	REVISED PER CITY COMMENTS	DJM
12	5/18/21	REVISED PLANTINGS PER NHB	DJM
11	5/17/21	ISSUED REVISED PLANS TO TAC	DJM
10	5/10/21	ISSUED REVISED PLANS FOR PRELIMINARY PB CONSULTATION	DJM
9	3/9/21	REVISED CONCEPTUAL LAYOUT	DJM

**MAP 266 LOT 84**

FOUNDATION FOR SEACOAST HEALTH  
100 CAMPUS DRIVE, SUITE 1  
PORTSMOUTH, NH 03801  
BK 3276 PG 2980

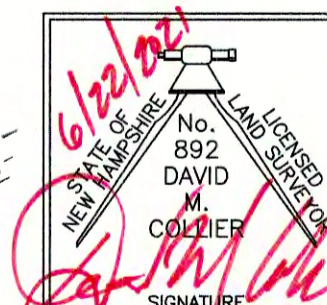
**J/B Jones & Beach Engineers, Inc.**  
Civil Engineering Services  
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
603-772-4746  
FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

**CERTIFICATION:**

I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.



DAVID M. COLLIER, LLS 892  
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 6/22/2021

6/22/2021

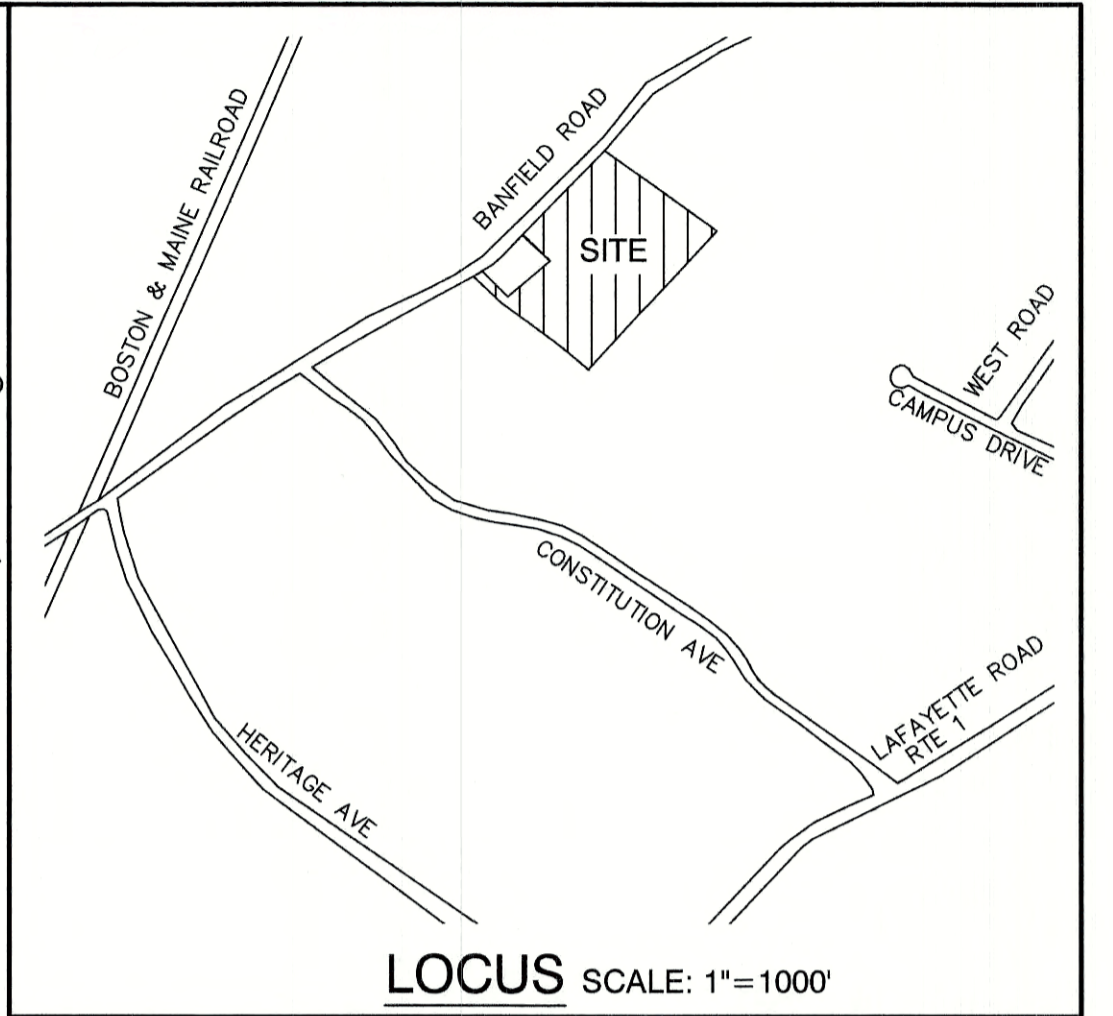
6/22/2021

Plan Name:	<b>EXISTING CONDITIONS PLAN</b>
Project:	<b>INDUSTRIAL WAREHOUSE 375 BANFIELD ROAD, PORTSMOUTH, NH 03801</b>
Owner of Record:	<b>BANFIELD REALTY LLC 304 MAPLEWOOD AVENUE, PORTSMOUTH, NH 03801</b>

**PROJECT PARCEL**  
CITY OF PORTSMOUTH  
TAX MAP 266, LOT 7

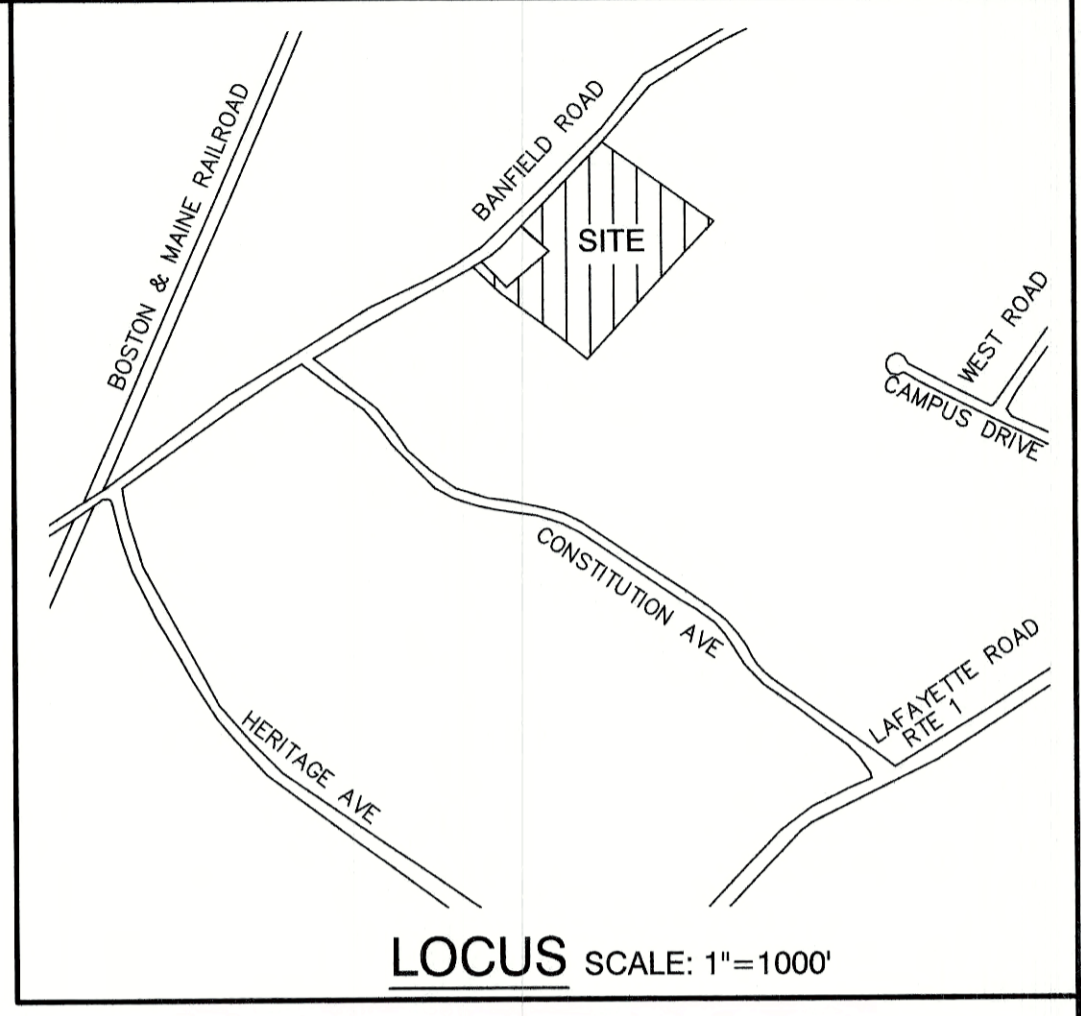
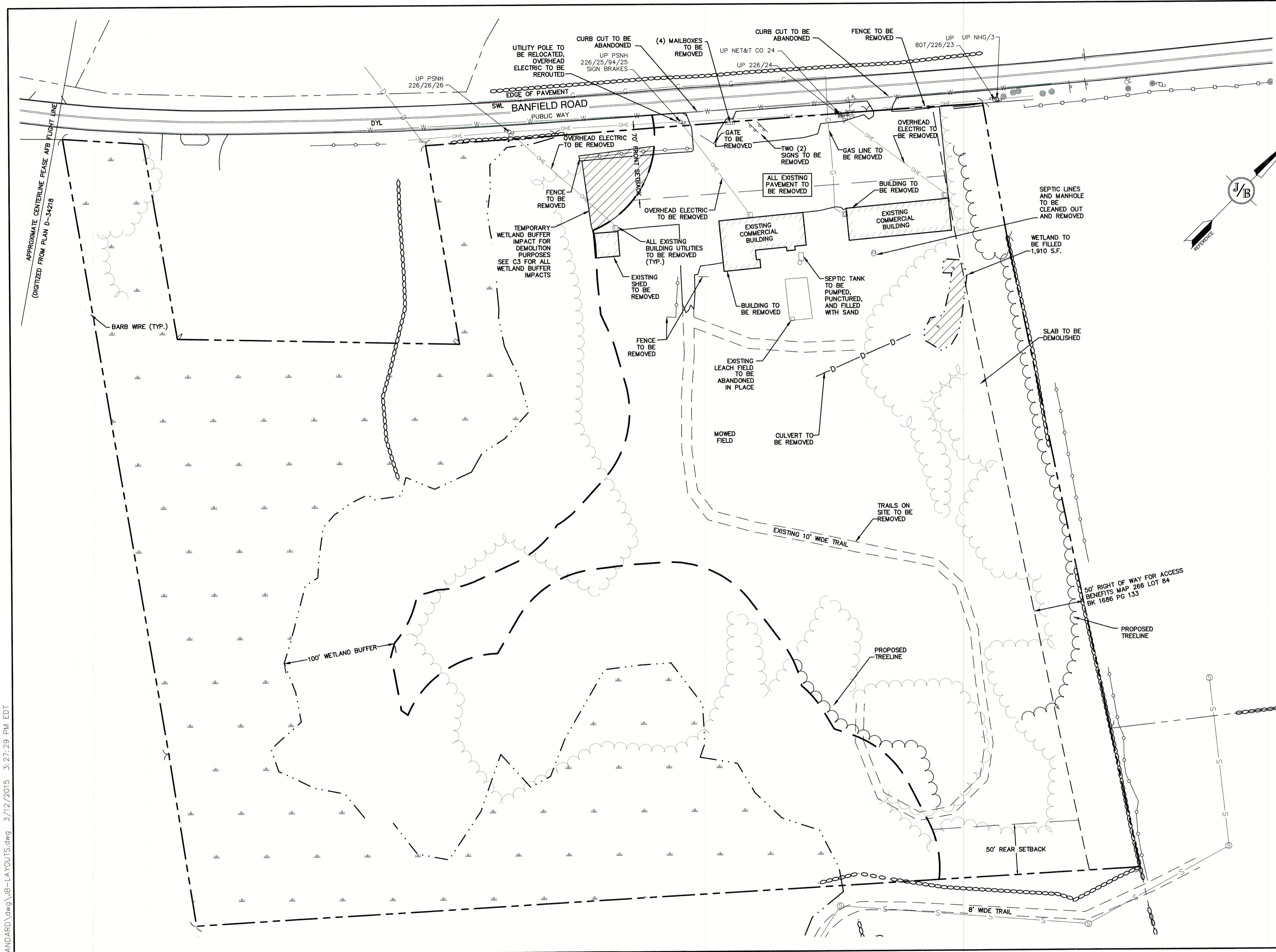
**TOTAL LOT AREA**  
651,747 S.F.  
14.96 ACRES

DRAWING No.  
**C1**  
SHEET 2 OF 24  
JBE PROJECT NO. 19190.2



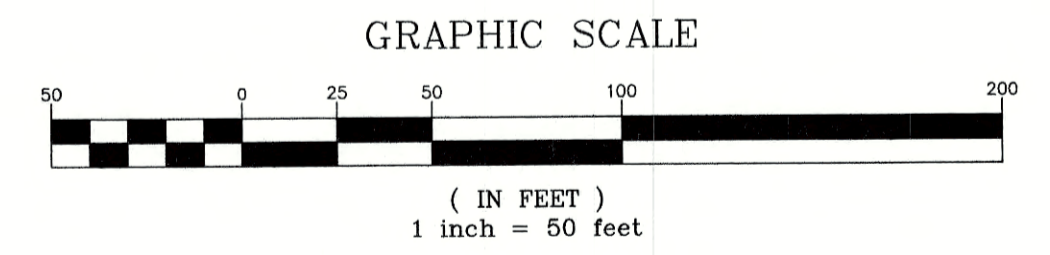
**NOTES:**

- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF LOT 7 AS SHOWN ON PORTSMOUTH TAX MAP 266.
- ZONING DISTRICT: INDUSTRIAL  
LOT AREA MINIMUM = 2 ACRES  
LOT FRONTAGE MINIMUM = 200'  
BUILDING SETBACKS (MINIMUM):  
FRONT SETBACK = 70'  
SIDE SETBACK = 50'  
REAR SETBACK = 50'  
WETLAND BUFFER = 100'  
MAX. BUILDING HEIGHT = 50'  
MIN. OPEN SPACE = 20%
- THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD AREA DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO. 33015C0270E, WITH EFFECTIVE DATE OF MAY 17, 2005.
- BASIS OF BEARING: HORIZONTAL - NAD83 NH STATE PLANE.  
VERTICAL - NAVD88.
- CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
- ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS ARE BASED ON THE CITY OF PORTSMOUTH TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED AT THE CITY OF PORTSMOUTH ASSESSOR'S OFFICE AND THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES IN MARCH 2020 IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:  
A. THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.  
B. THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.  
C. THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.  
D. THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
- THIS PLAN IS THE RESULT OF A CLOSED TRAVERSE WITH A RAW, UNADJUSTED LINEAR ERROR OF CLOSURE GREATER THAN 1 IN 15,000.
- SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.
- 50 FOOT WIDE RIGHT-OF-WAY AS DESCRIBED IN RCRD DEED BOOK 1686 PAGE 133 IS FOR ACCESS BY VEHICLE OR AN OTHER MEANS OF TRANSPORTATION AND BENEFITS LOT 4 AS INDICATED ON TAX MAP 266.



**DEMOLITION NOTES:**

1. THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR SITE DEMOLITION. IT SHOULD BE NOTED THAT ALL MANMADE FEATURES, PAVEMENT, SIGNS, POLES, CURBING, CONCRETE WALKS, UTILITIES, ETC., SHALL BE REMOVED AS NECESSARY TO CONSTRUCT WORK, UNLESS OTHERWISE NOTED TO REMAIN. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCIES FROM DATA AS SHOWN ON DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
2. WETLAND IMPACTS SHALL NOT OCCUR UNTIL ALL PERMITS HAVE BEEN ACQUIRED AND IMPACT MITIGATION REQUIREMENTS HAVE BEEN SATISFIED.
3. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED. CLEARING LIMITS ARE THE EDGE OF THE PROPERTY AND THE LIMITS OF WORK.
4. ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
5. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONTAMINATED MATERIAL LOCATED IN THE AREA OF EXISTING LEACHFIELDS IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
6. ALL CURBING, CONCRETE, PAVEMENT, BUILDINGS AND SUBBASE MATERIALS LOCATED WITHIN PROPOSED LANDSCAPED AREAS SHALL BE REMOVED AND REPLACED WITH LOAM MATERIALS SUITABLE FOR LANDSCAPING IN ACCORDANCE WITH TECHNICAL SPECIFICATIONS. (SEE ALSO LANDSCAPE PLAN).
7. THE CONTRACTOR SHALL OBTAIN TREE CLEARING PERMIT FROM LOCAL AND STATE AUTHORITIES PRIOR TO START OF CONSTRUCTION (IF REQUIRED).
8. IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
9. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND ANY EARTH MOVING OPERATIONS. FIBER BERMS SHALL BE INSTALLED AT THE LIMITS OF IMPACT AREAS ACCORDING TO THE DETAILS SHOWN ON SHEET E1.
10. EXCAVATED MATERIALS WILL BE PLACED WITHIN UPLAND AREAS AS FILL MATERIAL OR HAULED OFF-SITE FOR DISPOSAL IN AN APPROPRIATE UPLAND LOCATION.



**PROJECT PARCEL**  
CITY OF PORTSMOUTH  
TAX MAP 266, LOT 7

**TOTAL LOT AREA**  
651,747 S.F.  
14.96 ACRES

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Design: JAC	Draft: DJM	Date: 04/21/20
Checked: JAC	Scale: AS-NOTED	Project No.: 19190.2
Drawing Name: 19190-PLAN-NEW-LAYOUT.dwg		
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9	3/9/21	REVISED CONCEPTUAL LAYOUT	DJM
REV.	DATE	REVISION	BY

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

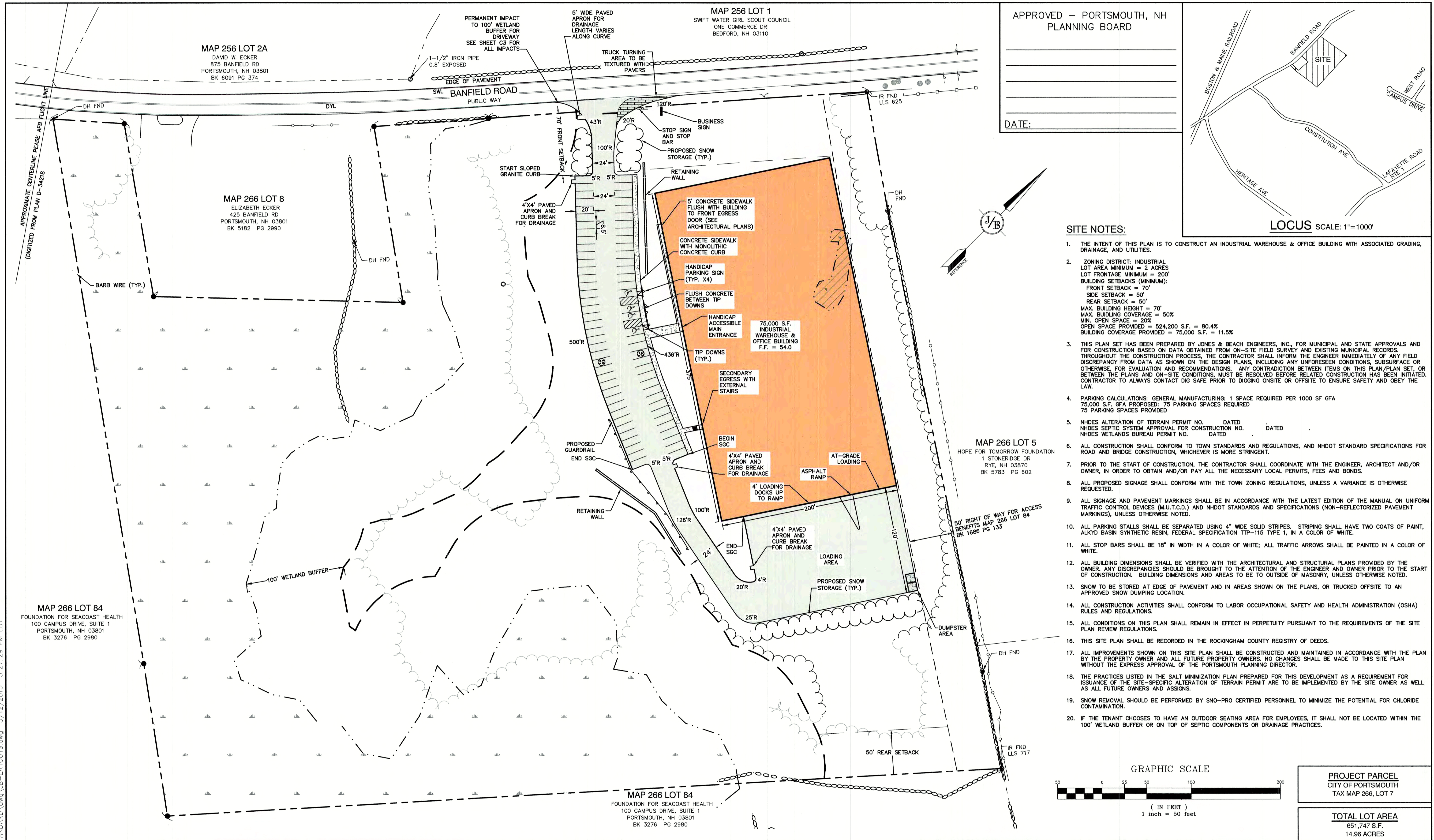
Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

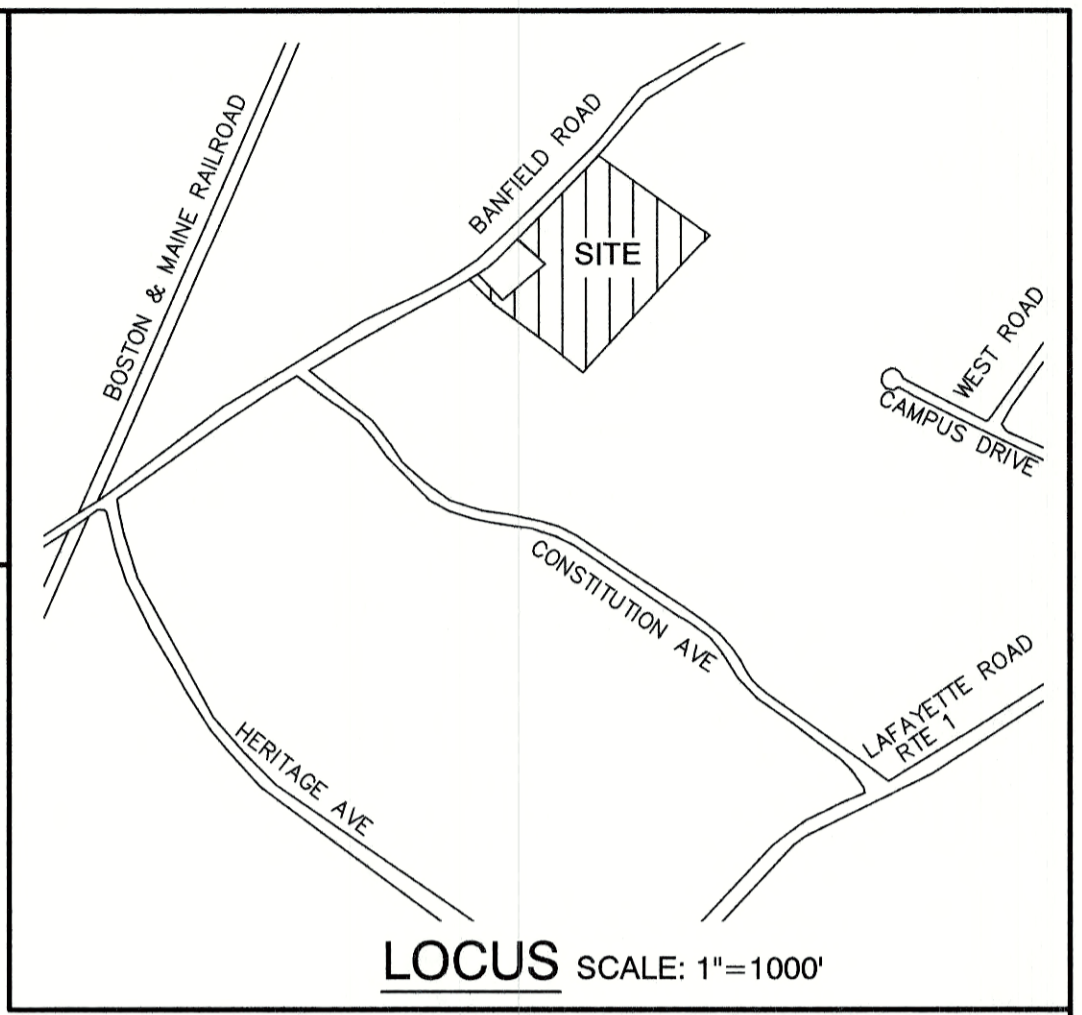
Plan Name:	<b>DEMOLITION PLAN</b>
Project:	<b>INDUSTRIAL WAREHOUSE</b> 375 BANFIELD ROAD, PORTSMOUTH, NH 03801
Owner of Record:	BANFIELD REALTY LLC 304 MAPLEWOOD AVENUE, PORTSMOUTH, NH 03801

DRAWING No.  
**DM-1**  
SHEET 3 OF 24  
JBE PROJECT NO. 19190.2

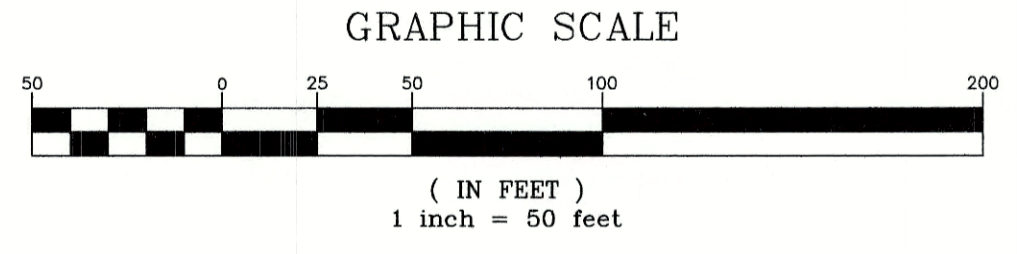


APPROVED – PORTSMOUTH, NH  
PLANNING BOARD

DATE: \_\_\_\_\_



- SITE NOTES:**
- THE INTENT OF THIS PLAN IS TO CONSTRUCT AN INDUSTRIAL WAREHOUSE & OFFICE BUILDING WITH ASSOCIATED GRADING, DRAINAGE, AND UTILITIES.
  - ZONING DISTRICT: INDUSTRIAL  
LOT AREA MINIMUM = 2 ACRES  
LOT FRONTAGE MINIMUM = 200'  
BUILDING SETBACKS (MINIMUM):  
FRONT SETBACK = 70'  
SIDE SETBACK = 50'  
REAR SETBACK = 50'  
MAX. BUILDING HEIGHT = 70'  
MAX. BUILDING COVERAGE = 50%  
MIN. OPEN SPACE = 20%  
OPEN SPACE PROVIDED = 524,200 S.F. = 80.4%  
BUILDING COVERAGE PROVIDED = 75,000 S.F. = 11.5%
  - THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC., FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ONSITE OR OFFSITE TO ENSURE SAFETY AND OBEY THE LAW.
  - PARKING CALCULATIONS: GENERAL MANUFACTURING: 1 SPACE REQUIRED PER 1000 SF GFA  
75,000 S.F. GFA PROPOSED: 75 PARKING SPACES REQUIRED  
75 PARKING SPACES PROVIDED
  - NHDES ALTERATION OF TERRAIN PERMIT NO. \_\_\_\_\_ DATED \_\_\_\_\_  
NHDES SEPTIC SYSTEM APPROVAL FOR CONSTRUCTION NO. \_\_\_\_\_ DATED \_\_\_\_\_  
NHDES WETLANDS BUREAU PERMIT NO. \_\_\_\_\_ DATED \_\_\_\_\_
  - ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
  - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
  - ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE TOWN ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED.
  - ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NHDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
  - ALL PARKING STALLS SHALL BE SEPARATED USING 4" WIDE SOLID STRIPES. STRIPING SHALL HAVE TWO COATS OF PAINT, ALKYD BASIN SYNTHETIC RESIN, FEDERAL SPECIFICATION TTP-115 TYPE 1, IN A COLOR OF WHITE.
  - ALL STOP BARS SHALL BE 18" IN WIDTH IN A COLOR OF WHITE; ALL TRAFFIC ARROWS SHALL BE PAINTED IN A COLOR OF WHITE.
  - ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
  - SNOW TO BE STORED AT EDGE OF PAVEMENT AND IN AREAS SHOWN ON THE PLANS, OR TRUCKED OFFSITE TO AN APPROVED SNOW DUMPING LOCATION.
  - ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
  - ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
  - THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
  - ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
  - THE PRACTICES LISTED IN THE SALT MINIMIZATION PLAN PREPARED FOR THIS DEVELOPMENT AS A REQUIREMENT FOR ISSUANCE OF THE SITE-SPECIFIC ALTERATION OF TERRAIN PERMIT ARE TO BE IMPLEMENTED BY THE SITE OWNER AS WELL AS ALL FUTURE OWNERS AND ASSIGNS.
  - SNOW REMOVAL SHOULD BE PERFORMED BY SNO-PRO CERTIFIED PERSONNEL TO MINIMIZE THE POTENTIAL FOR CHLORIDE CONTAMINATION.
  - IF THE TENANT CHOOSES TO HAVE AN OUTDOOR SEATING AREA FOR EMPLOYEES, IT SHALL NOT BE LOCATED WITHIN THE 100' WETLAND BUFFER OR ON TOP OF SEPTIC COMPONENTS OR DRAINAGE PRACTICES.



PROJECT PARCEL  
CITY OF PORTSMOUTH  
TAX MAP 266, LOT 7

TOTAL LOT AREA  
851,747 S.F.  
14.96 ACRES

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9	3/9/21	REVISED CONCEPTUAL LAYOUT	DJM

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**  
Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
603-772-4746 FAX: 603-772-0227  
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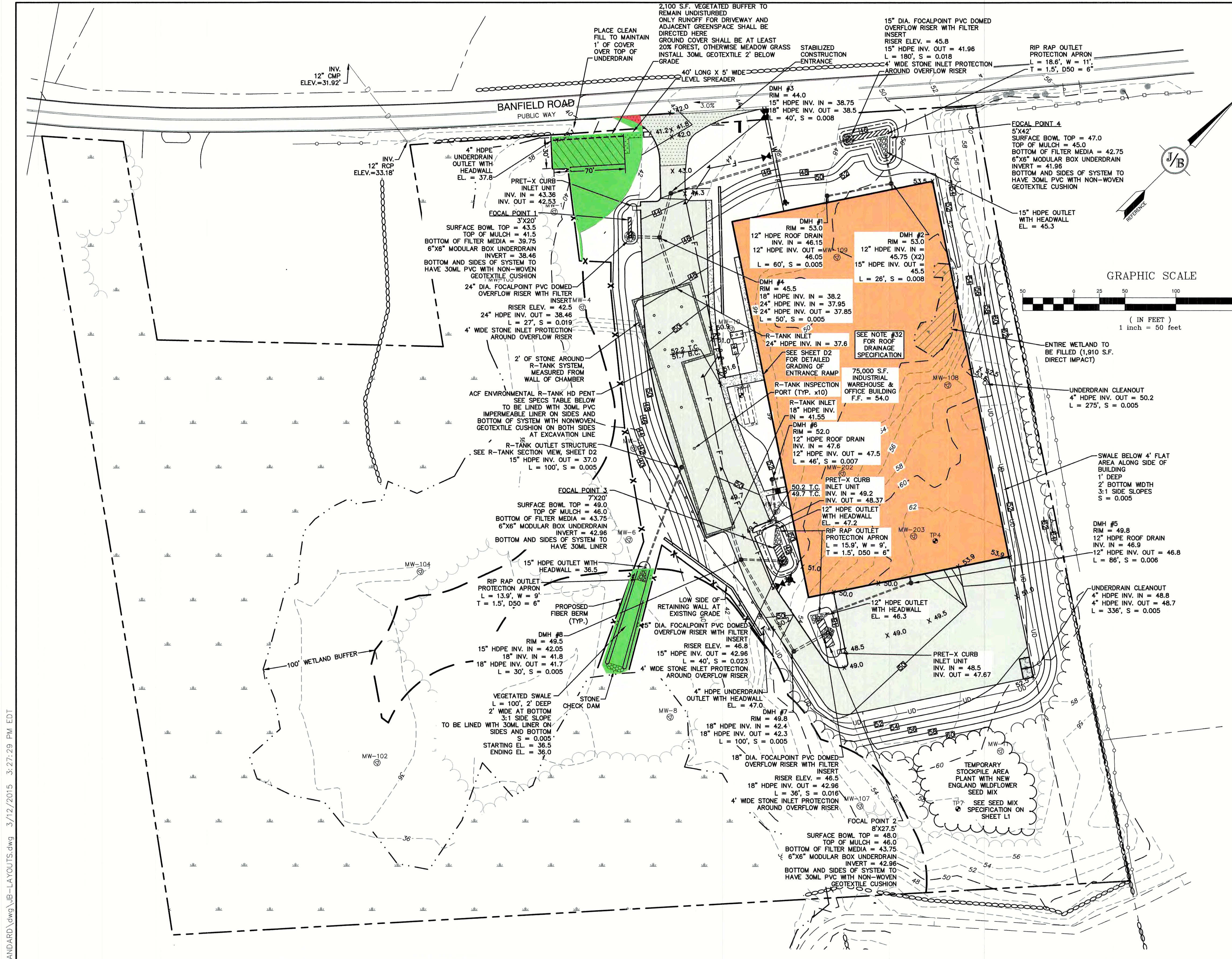
Plan Name: **SITE PLAN**

Project: **INDUSTRIAL WAREHOUSE  
375 BANFIELD ROAD, PORTSMOUTH, NH 03801**

Owner of Record: **BANFIELD REALTY LLC  
304 MAPLEWOOD AVENUE, PORTSMOUTH, NH 03801**

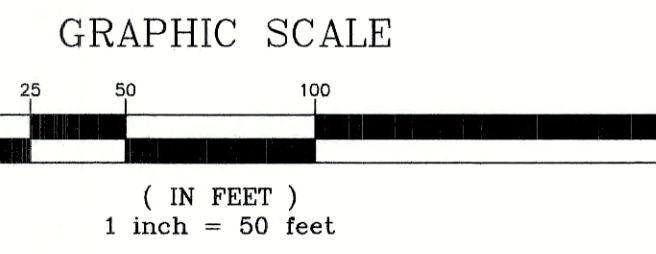
DRAWING No. **C2**

SHEET 4 OF 24  
JBE PROJECT NO. 19190.2



**GRADING AND DRAINAGE NOTES:**

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
- VERTICAL DATUM: NAVD88.
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
- ALL ROOF DRAINS FROM BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT THE END. ALL EXTERIOR ROOF DOWNSPOUTS ARE TO BE INSTALLED WITH OVERFLOW DEVICES.
- ALL SWALES AND DETENTION PONDS ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- PROPOSED RIM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
- ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASINS SHALL HAVE 3" DEEP SUMPS WITH GREASE HOODS, UNLESS OTHERWISE NOTED.
- ALL DRAINAGE STRUCTURES SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED. SEE SHEETS D2-D6 FOR DRAINAGE DETAILS.
- ALL DRAINAGE STRUCTURES AND STORMWATER PIPES SHALL MEET HEAVY DUTY TRAFFIC H20 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ADJUTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUIVALENT.
- STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
- SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.5" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- ALL CULVERT OR DRAINPIPE OUTLETS ARE TO HAVE CONCRETE HEADWALLS UNLESS OTHERWISE STATED.
- AREA OF TOTAL DISTURBANCE = 225,000 S.F.  
AREA OF IMPACT TO 100' WETLAND BUFFER: SEE BELOW  
AREA OF WETLAND FILL = 1,910 S.F.
- ALL STORMWATER TREATMENT, DETENTION, AND BIOFILTRATION PRACTICES TO BE LINED TO RESTRICT INFILTRATION AS SPECIFIED.
- ROOF TO BE SPLIT INTO FOUR QUADRANTS FOR DRAINAGE, EACH SLOPED INTO SEPERATE GUTTER. GUTTERS TO BE SLOPED TOWARD ROOF DRAINS AT DEPICTED LOCATIONS.



**WETLAND BUFFER IMPACT LEGEND**

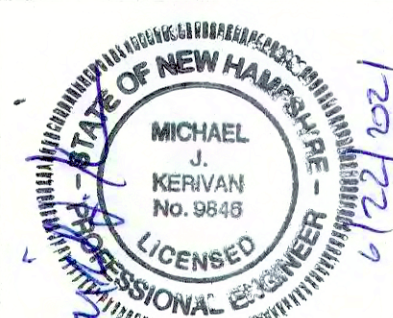
- = PERMANENT IMPACT (85 S.F. FOR CORNER OF DRIVEWAY)
- = TEMPORARY IMPACT (3,350 S.F. EXISTING ASPHALT AND BUILDING REMOVAL, 140 S.F. FOR CORNER OF DRIVEWAY, 4,420 S.F. FOR STORMWATER MANAGEMENT = 7,910 S.F. TOTAL)

R-TANK SPECS	
TOP OF FILL	>47.07, < 52.41 (20"-84" ALLOWED)
TOP OF STONE COVER	45.41
TOP OF CHAMBER	44.41
BOTTOM OF CHAMBER	37.2
BOTTOM OF STONE BASE	36.95
CHAMBERS PER ROW, SECTION 1	30
# OF ROWS, SECTION 1	43
CHAMBERS PER ROW, SECTION 2	70
# OF ROWS, SECTION 2	20
LENGTH, SECTION 1	74.37'
WIDTH, SECTION 1	60.43'
LENGTH, SECTION 2	168.21'
WIDTH, SECTION 2	30.25'

<b>PROJECT PARCEL</b>	CITY OF PORTSMOUTH TAX MAP 266, LOT 7
<b>TOTAL LOT AREA</b>	851,747 S.F. 14.96 ACRES

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Design: JAC Draft: DJM Date: 04/21/20  
 Checked: JAC Scale: AS-NOTED Project No.: 19190.2  
 Drawing Name: 19190-PLAN-NEW-LAYOUT.dwg  
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9	3/9/21	REVISED CONCEPTUAL LAYOUT	DJM

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**  
*Civil Engineering Services*

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885      603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

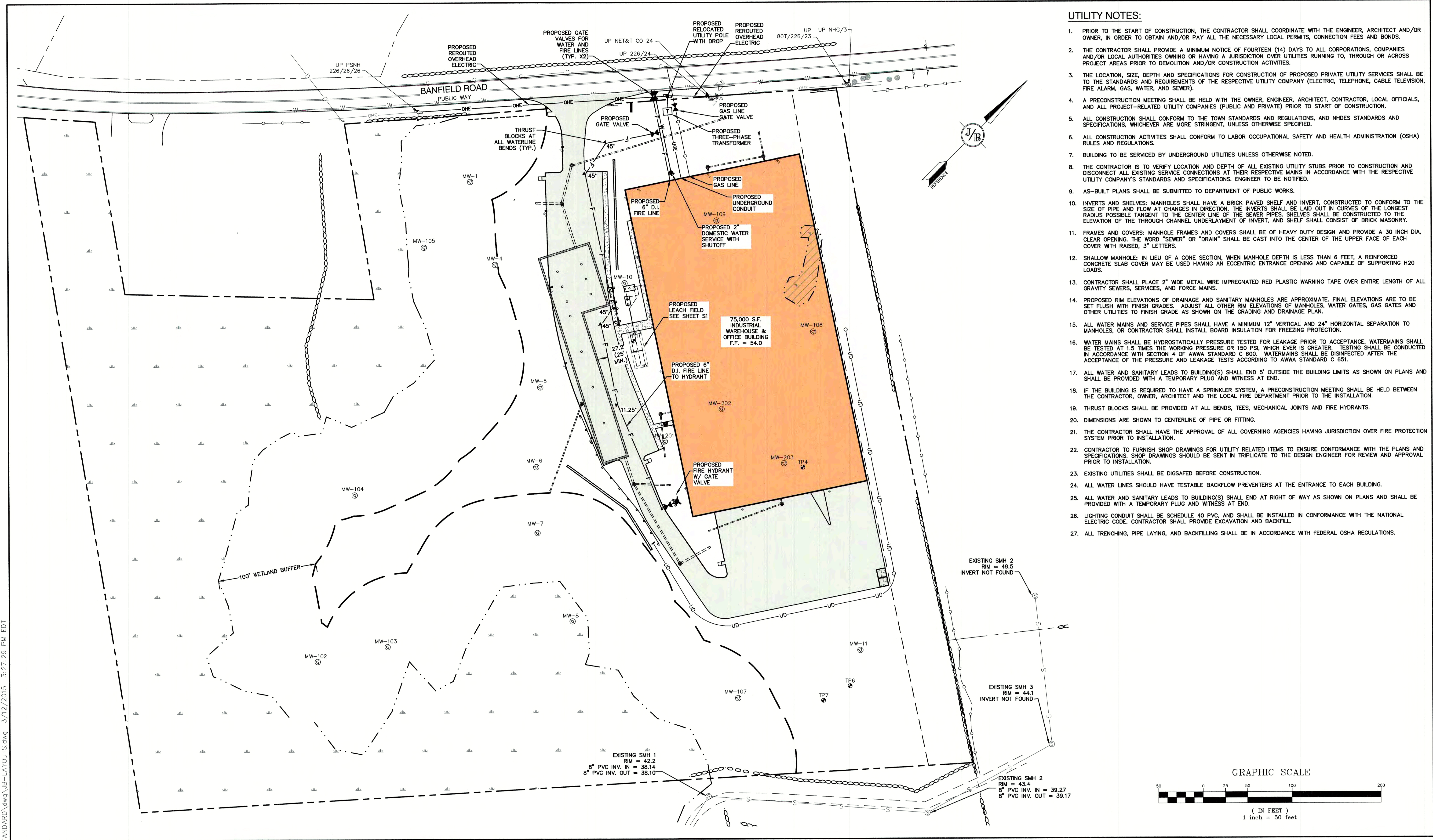
Plan Name: **GRADING AND DRAINAGE PLAN**

Project: **INDUSTRIAL WAREHOUSE  
375 BANFIELD ROAD, PORTSMOUTH, NH 03801**

Owner of Record: **BANFIELD REALTY LLC  
304 MAPLEWOOD AVENUE, PORTSMOUTH, NH 03801**

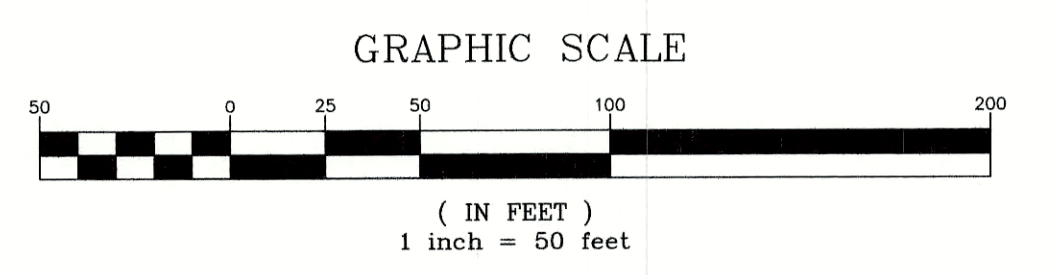
DRAWING No. **C3**

SHEET 5 OF 24  
JBE PROJECT NO. 19190.2



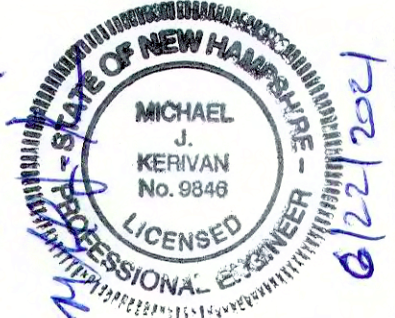
**UTILITY NOTES:**

1. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, CONNECTION FEES AND BONDS.
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
3. THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, FIRE ALARM, GAS, WATER, AND SEWER).
4. A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT-RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
5. ALL CONSTRUCTION SHALL CONFORM TO THE TOWN STANDARDS AND REGULATIONS, AND NHDES STANDARDS AND SPECIFICATIONS, WHICHEVER ARE MORE STRINGENT, UNLESS OTHERWISE SPECIFIED.
6. ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
7. BUILDING TO BE SERVICED BY UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
9. AS-BUILT PLANS SHALL BE SUBMITTED TO DEPARTMENT OF PUBLIC WORKS.
10. INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE THROUGH CHANNEL UNDERLAYMENT OF INVERT, AND SHELF SHALL CONSIST OF BRICK MASONRY.
11. FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA. CLEAR OPENING. THE WORD "SEWER" OR "DRAIN" SHALL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
12. SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H20 LOADS.
13. CONTRACTOR SHALL PLACE 2" WIDE METAL WIRE IMPREGNATED RED PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWERS, SERVICES, AND FORCE MAINS.
14. PROPOSED RIM ELEVATIONS OF DRAINAGE AND SANITARY MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
15. ALL WATER MAINS AND SERVICE PIPES SHALL HAVE A MINIMUM 12" VERTICAL AND 24" HORIZONTAL SEPARATION TO MANHOLES, OR CONTRACTOR SHALL INSTALL BOARD INSULATION FOR FREEZING PROTECTION.
16. WATER MAINS SHALL BE HYDROSTATICALLY PRESSURE TESTED FOR LEAKAGE PRIOR TO ACCEPTANCE. WATERMANS SHALL BE TESTED AT 1.5 TIMES THE WORKING PRESSURE OR 150 PSI, WHICHEVER IS GREATER. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH SECTION 4 OF AWWA STANDARD C 600. WATERMANS SHALL BE DISINFECTED AFTER THE ACCEPTANCE OF THE PRESSURE AND LEAKAGE TESTS ACCORDING TO AWWA STANDARD C 651.
17. ALL WATER AND SANITARY LEADS TO BUILDING(S) SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT END.
18. IF THE BUILDING IS REQUIRED TO HAVE A SPRINKLER SYSTEM, A PRECONSTRUCTION MEETING SHALL BE HELD BETWEEN THE CONTRACTOR, OWNER, ARCHITECT AND THE LOCAL FIRE DEPARTMENT PRIOR TO THE INSTALLATION.
19. THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, MECHANICAL JOINTS AND FIRE HYDRANTS.
20. DIMENSIONS ARE SHOWN TO CENTERLINE OF PIPE OR FITTING.
21. THE CONTRACTOR SHALL HAVE THE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER FIRE PROTECTION SYSTEM PRIOR TO INSTALLATION.
22. CONTRACTOR TO FURNISH SHOP DRAWINGS FOR UTILITY RELATED ITEMS TO ENSURE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SHOULD BE SENT IN TRIPLICATE TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
23. EXISTING UTILITIES SHALL BE DIGSAFED BEFORE CONSTRUCTION.
24. ALL WATER LINES SHOULD HAVE TESTABLE BACKFLOW PREVENTERS AT THE ENTRANCE TO EACH BUILDING.
25. ALL WATER AND SANITARY LEADS TO BUILDING(S) SHALL END AT RIGHT OF WAY AS SHOWN ON PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT END.
26. LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRIC CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
27. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.



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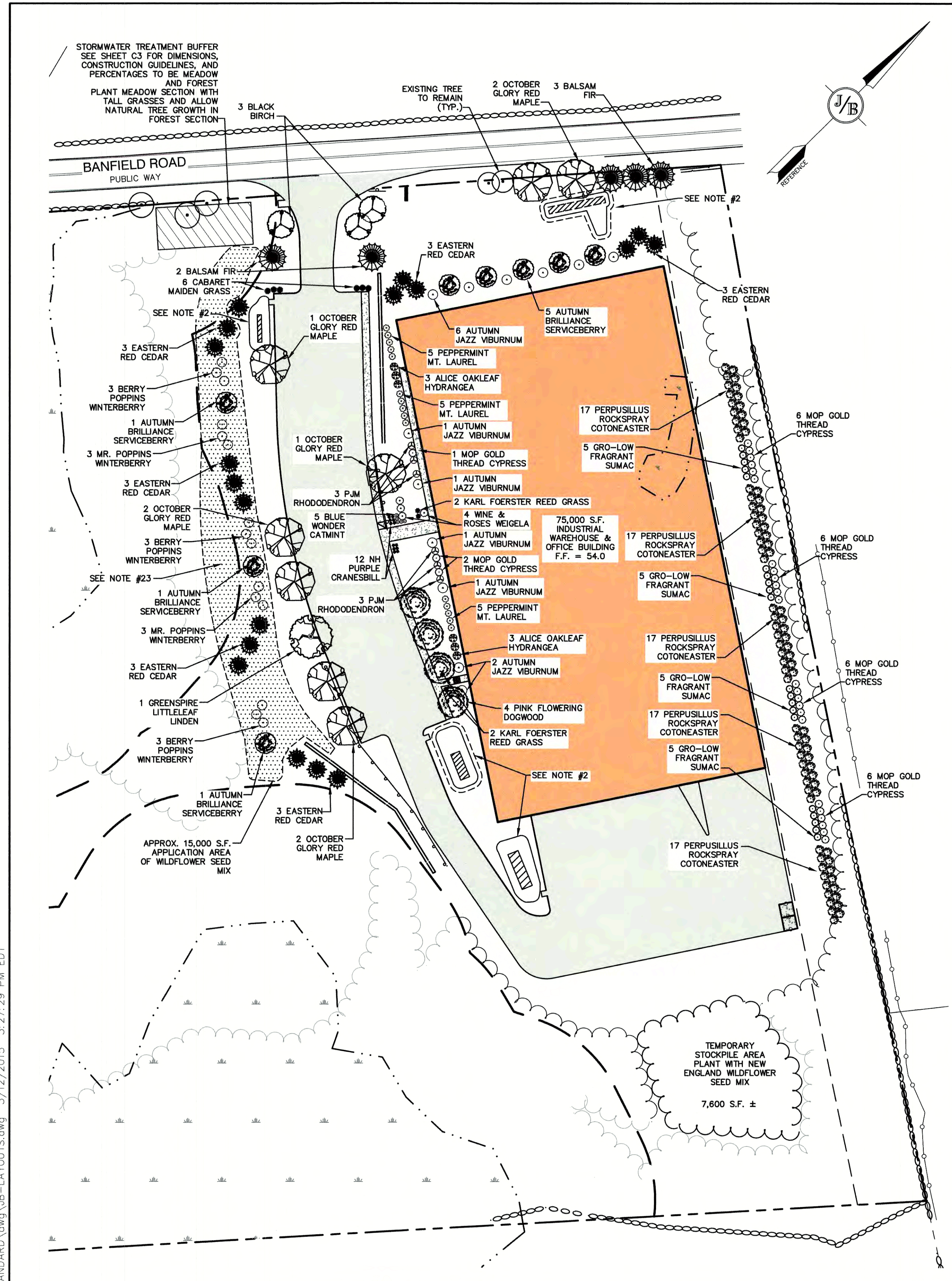
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85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>UTILITY PLAN</b>
Project:	<b>INDUSTRIAL WAREHOUSE 375 BANFIELD ROAD, PORTSMOUTH, NH 03801</b>
Owner of Record:	<b>BANFIELD REALTY LLC 304 MAPLEWOOD AVENUE, PORTSMOUTH, NH 03801</b>

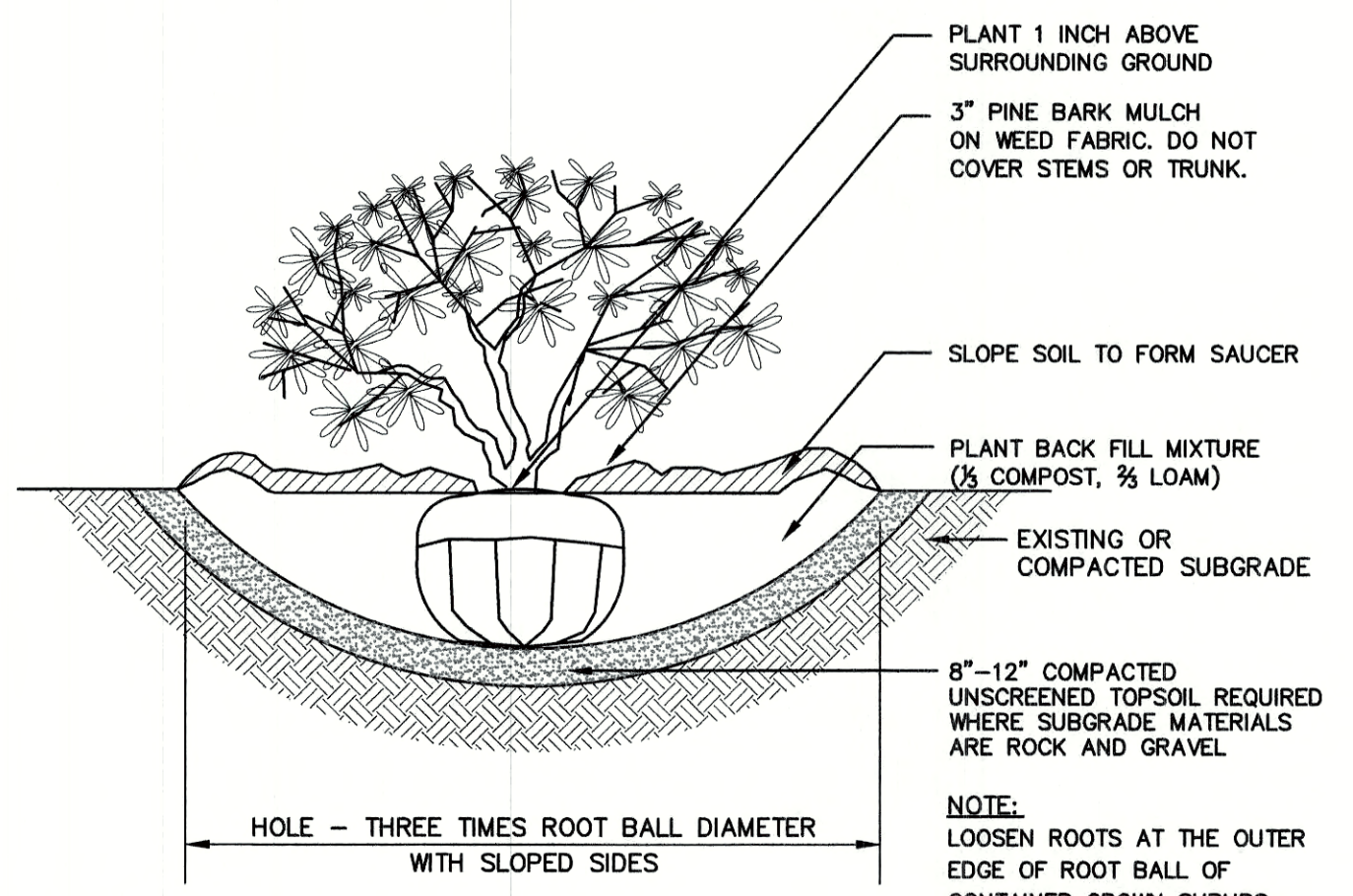
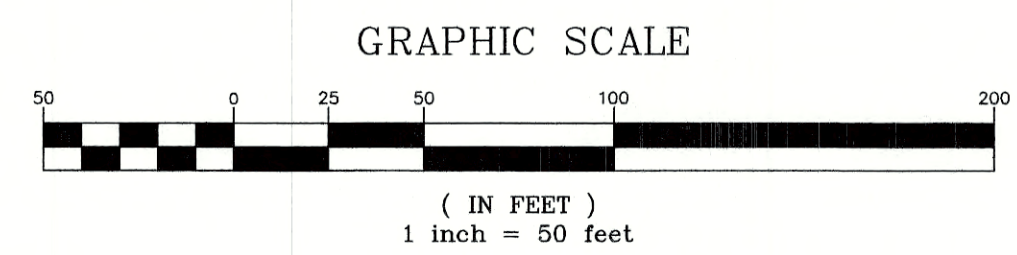
DRAWING No. **C4**  
 SHEET 6 OF 24  
 JBE PROJECT NO. 19190.2



QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
5	ABIES BALSAMEA	BALSAM FIR	8-10 FT. HT.
8	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	3.5" CALIPER
4	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	15 GALLON
3	BETULA LENTA	BLACK BIRCH	10 FT. HT. MULTI
4	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER REED GRASS	2 GALLON
28	CHAMAECYPARIS PISIFERA 'MOP'	MOP GOLD THREAD CYPRESS	3 GALLON
4	CORNUS FLORIDA F. RUBRA	PINK FLOWERING DOGWOOD	2.5" CALIPER
85	COTONEASTER HORIZONTALIS 'PERPUSILLUS'	PERPUSILLUS ROCKSPRAY COTONEASTER	2 GALLON
12	GERANIUM SANGUINEUM 'NH PURPLE'	NH PURPLE CRANESBILL	1 GALLON
6	HYDRANGEA QUERCIFOLIA 'ALICE'	ALICE OAKLEAF HYDRANGEA	5 GALLON
9	ILEX VERTICILLATA 'FARROWBOP'	BERRY POPPINS WINTERBERRY	5 GALLON
6	ILEX VERTICILLATA 'FARROWWRP'	MR. POPPINS WINTERBERRY	5 GALLON
18	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6-7 FT. HT.
15	KALMIA LATIFOLIA 'PEPPERMINT'	PEPPERMINT MT. LAUREL	5 GALLON
6	MISCANTHUS SINENSIS 'CABARET'	CABARET MAIDEN GRASS	2 GALLON
5	NEPETA X FAASSENII 'BLUE WONDER'	BLUE WONDER CATMINT	1 GALLON
6	RHODODENDRON 'PJM'	PJM RHODODENDRON	5 GALLON
20	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	3 GALLON
1	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	3.5" CALIPER
12	VIBURNUM DENTATUM 'AUTUMN JAZZ'	AUTUMN JAZZ VIBURNUM	5 GALLON
4	WEIGELA FLORIDA 'ALEXANDRA'	WINE & ROSES WEIGELA	3 GALLON

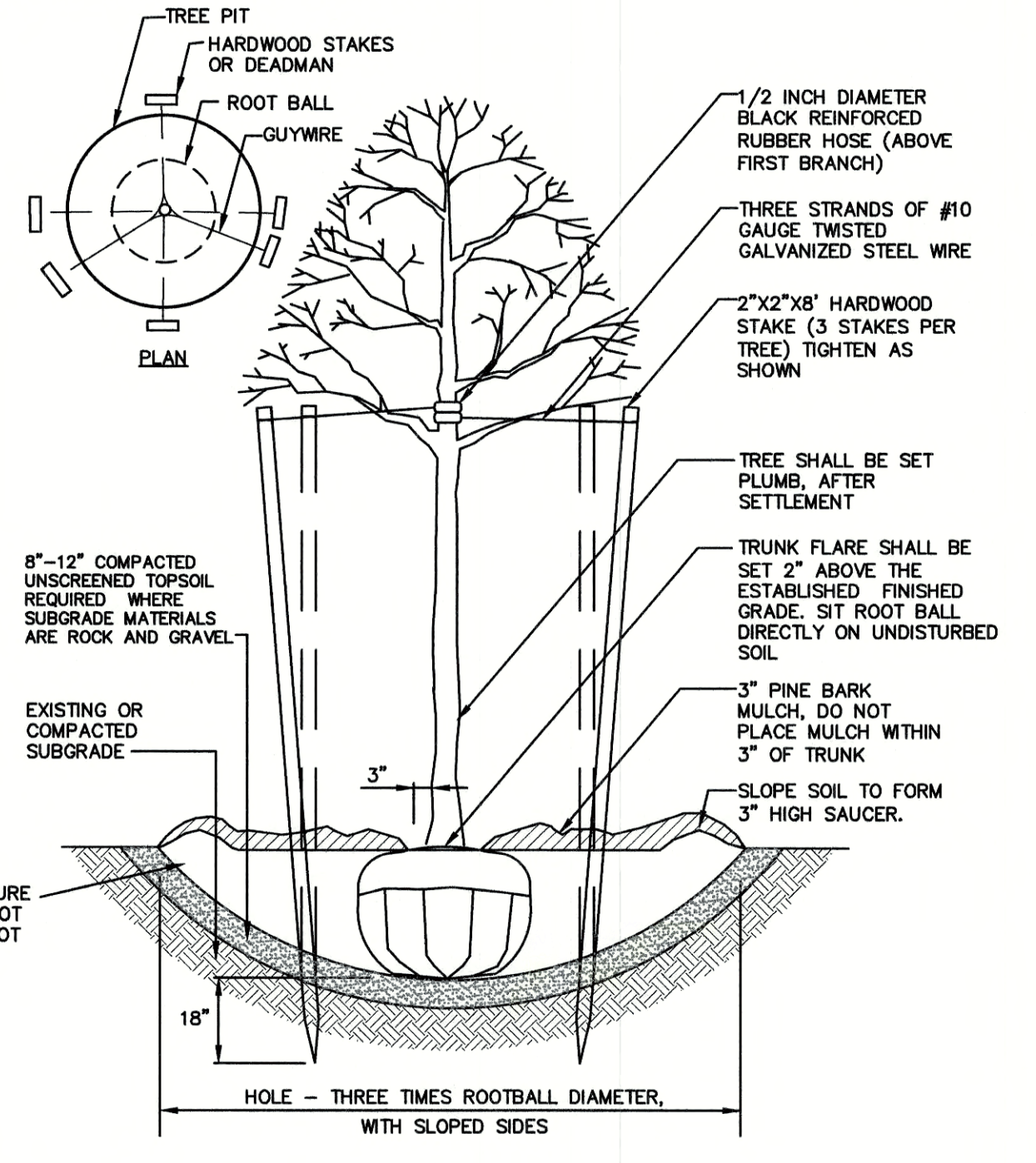
BOTANICAL NAME	COMMON NAME	INDICATOR
SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	FACU
SORGHASTRUM NUTANS	INDIAN GRASS	UPL
CHAMAECRISTA FASCICULATA	PARTRIDGE PEA	FACU
ELYMUS VIRGINICUS	VIRGINIA WILD RYE	FACW+
ELYMUS CANADENSIS	CANADA WILD RYE	FACU+
FESTUCA RUBRA	RED FESCUE	FACU
ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	NI
VERNONIA NOVEBORACENSIS	NEW YORK IRONWEED	FACW+
OENOTHERA BIENNIS	EVENING PRIMROSE	FACU+
ASTER NOVAE-ANGLIAE (SYMPHYOTRICHUM NOVAE-ANGLIAE)	NEW ENGLAND ASTER	FACW+
RUBESCKIA HIRTA	BLACK EYED SUSAN	FACU+
SOLIDAGO JUNCEA	EARLY GOLDENROD	FACU+
EUPATORIUM FISTULOSUM (EUTROCHUM FISTULOSUM)	HOLLOW-STEM JOE PYE WEED	FACW
ASTER LATERIFLORUS (SYMPHYOTRICHUM LATERIFLORUM)	STARVED-CALICO ASTER	FACW

- SEED MIX NOTES:**
- APPLICATION RATE: 23 LBS/ACRE, 1900 SQ. FT./LB
  - USE THE ABOVE "NEW ENGLAND WILDFLOWER MIX" TO RESTORE THE STOCKPILE AREA AFTER CONSTRUCTION.
  - FOR APPROX. 7,600 S.F. STOCKPILE AREA AND 15,000 S.F. PLANTING ALONG WETLAND BUFFER (22,600 S.F. TOTAL), UTILIZE 4 LBS± OF SEED MIX. COST IS APPROX. \$75/LB.
  - THIS MIX CAN BE APPLIED BY HYDRO-SEEDING (NO TACKIFIERS), BY MECHANICAL SPREADER, OR BY HAND. LIGHTLY RAKE OR ROLL AFTER SOWING TO INCREASE SEED TO SOIL CONTACT. APPLY ON A CLEAN, WEED FREE SEED BED, BEST RESULTS ARE OBTAINED WITH A SPRING OR LATE FALL DORMANT SEEDING.
  - SOURCE: NEW ENGLAND WETLAND PLANTS, INC., 820 WEST STREET, AMHERST, MA 01002. PHONE: 413-548-8000. EMAIL: INFO@NEWP.COM, WEB: WWW.NEWP.COM



SHRUB PLANTING  
NOT TO SCALE

- LANDSCAPE NOTES:**
- THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
  - FOCAL POINT STORMWATER TREATMENT AREAS TO BE PLANTED WITH PERENNIAL GRASSES, CONEFLOWERS, DAYLILIES, BUTTERFLY MILKWEED, BEE BALM, BLUE FLAG IRIS, AND JOE PYE WEED. PLANT IN RANDOM GROUPINGS OF 10-12 PLANTS APPROXIMATELY 3 FEET ON CENTER.
  - THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
  - ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.
  - PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ON-GOING FOR CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
  - PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
  - ALL WORK AND PLANTS SHALL BE DONE, INSTALLED AND DETAILED IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
  - ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
  - ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION, EXCEPT FOR INTERIOR LANDSCAPED ISLANDS OR WHERE OTHER PLANT MATERIAL IS SPECIFIED.
  - ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BEDS WITH EDGE STRIPS TO SEPARATE TURF GRASS AREAS.
  - THE CONTRACTOR SHALL REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC. FROM ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE. GRASS SEED OR PINE BARK MULCH SHALL BE APPLIED AS DEPICTED ON PLANS.
  - FINISHED GRADES IN LANDSCAPED ISLANDS SHALL BE INSTALLED SO THAT THEY ARE 1" HIGHER THAN THE TOP OF THE SURROUNDING CURB.
  - ALL LANDSCAPING SHALL MEET THE TOWN STANDARDS AND REGULATIONS.
  - EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY SNOW FENCING AT THE DRIPLINE OF THE TREE. THE CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS WITHIN THE LANDSCAPED AREAS. ANY DAMAGE TO EXISTING TREES, SHRUBS OR LAWN SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
  - ALL MULCH AREAS SHALL RECEIVE A 3" LAYER OF SHREDDED PINE BARK MULCH OVER A 10 MIL WEED MAT EQUAL TO "WEEDBLOCK" BY EASY GARDENER OR DEWITT WEED BARRIER.
  - ALL LANDSCAPED AREAS SHALL HAVE SELECT MATERIALS REMOVED TO A DEPTH OF AT LEAST 9" BELOW FINISH GRADE. THE RESULTING VOID IS TO BE FILLED WITH A MINIMUM OF 9" HIGH-QUALITY SCREENED LOAM AMENDED WITH 3" OF AGED ORGANIC COMPOST.
  - THIS PLAN IS INTENDED FOR LANDSCAPING PURPOSES ONLY. REFER TO CIVIL/SITE DRAWINGS FOR OTHER SITE CONSTRUCTION INFORMATION.
  - IRRIGATION PIPING SYSTEM SHALL BE REVIEWED AND APPROVED BY OWNER AND ENGINEER PRIOR TO INSTALLATION.
  - THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND REPLACEMENT OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS.
  - ALL REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY, AND KEPT FREE OF REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.
  - THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE, AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED, AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.
  - ALL BURLAP AND CAGES SHOULD BE REMOVED FOR LANDSCAPE PLANTS.
  - PLANTING IN WETLAND BUFFER WITHOUT FILLING OR DREDGING THE SAME AREA IS A PERMITTED USE PER SECTION 10.1016.1(1) OF THE CITY OF PORTSMOUTH ZONING ORDINANCE.



TREE PLANTING (FOR TREES UNDER 4" CALIPER)  
NOT TO SCALE

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Design: JAC Draft: DJM Date: 04/21/20  
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Designed and Produced in NH  
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 Civil Engineering Services  
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
 603-772-4746 FAX: 603-772-0227  
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **LANDSCAPE PLAN**  
 Project: **INDUSTRIAL WAREHOUSE**  
**375 BANFIELD ROAD, PORTSMOUTH, NH 03801**  
 Owner of Record: **BANFIELD REALTY LLC**  
**304 MAPLEWOOD AVENUE, PORTSMOUTH, NH 03801**

DRAWING No. **L1**  
 SHEET 7 OF 24  
 JBE PROJECT NO. 19190.2





### McGraw-Edison

**DESCRIPTION**  
The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP65 rated and UL-UL Listed for wet locations.

**SPECIFICATION FEATURES**  
**Construction**  
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP65 rated.

**Optics**  
Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

**Electrical**  
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 3A/7 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP65 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (normal).

**Mounting**  
**STANDARD ARM MOUNT:**  
Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. **QUICK MOUNT ARM:** Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1 1/2" to 4 7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

**Finish**  
Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

**Warranty**  
Five-year warranty.

**1-10 Light Squares Solid State LED AREA/SITE LUMINAIRE**

**ENERGY DATA**  
Galleon LED Driver  
J-8 Power Factor  
40% Total Harmonic Distortion  
120V-277V 50/60Hz  
3A/7 & 480V 60Hz  
40°C Max. Temperature  
40°C Max. Temperature (HA Option)  
40°C Max. Temperature (HA Option)

**GRAPHIC SCALE**  
1 inch = 50 feet

- ### LIGHTING AND ELECTRICAL NOTES:
- SITE ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
  - CONTRACTOR SHALL INSTALL PROPOSED LIGHT POLES ACCORDING TO TOWN REGULATIONS.
  - ALL OUTDOOR LIGHTING SYSTEMS SHALL BE EQUIPPED WITH TIMERS TO REDUCE ILLUMINATION LEVELS TO NON-OPERATIONAL VALUES PER TOWN REGULATIONS.
  - LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
  - ILLUMINATION READINGS SHOWN ARE BASED ON A TOTAL LLF OF 0.75 AT GRADE. ILLUMINATION READINGS SHOWN ARE IN UNITS OF FOOT-CANDELES.
  - LIGHTING CALCULATIONS SHOWN ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM AND SAFETY.
  - ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF DARK-SKY COMPLIANT, UNLESS OTHERWISE NOTED.
  - NL INDICATES THAT THIS LUMINAIRE SHALL BE ON A NIGHT LIGHT CIRCUIT. FL INDICATES THAT THIS LUMINAIRE SHALL BE A FLOOD LIGHT FIXTURE. MOUNTING BRACKET FOR THIS FL FIXTURE SHALL BE MOUNTED 25" ABOVE BOTTOM OF POLE BASE FOR ALL LIGHT POLES. THESE DESIGNATIONS INDICATE WHAT PHASE LIGHTS ARE WIRED TO (1YP).
  - THE PROPOSED LIGHTING CALCULATIONS AND DESIGN WAS PERFORMED BY CHARRON, INC., P.O. BOX 4550, MANCHESTER, NH 03108, ATTENTION KEN SWEENEY. ALL LIGHTS SHOULD BE PURCHASED FROM THIS COMPANY OR ONE OF THEIR SUPPLIERS, OR AN EQUAL LIGHTING DESIGN SHOULD BE SUBMITTED FOR REVIEW IF EQUAL SUBSTITUTIONS ARE PROPOSED BY THE CONTRACTOR OR OWNER.

**DESCRIPTION**  
The Galleon™ Wall LED luminaire's appearance is complementary with the Galleon area and site luminaires bringing a modern architectural style to lighting applications. Flexible mounting options accommodate wall surfaces in both an upward and downward configuration. The Galleon family of LED products deliver exceptional performance with patented, high-efficiency AccuLED Optics™, providing uniform and energy conscious lighting for parking lots, building and security lighting applications.

**SPECIFICATION FEATURES**  
**Construction**  
Driver enclosure thermally isolated from optics for optimal thermal performance. Heavy wall aluminum housing die-cast with integral external heat sinks to provide superior structural rigidity and an IP68 rated housing. Overall construction passes a 1.8G vibration test to ensure mechanical integrity. **UP LIGHTING:** Specify with the UPL option for inverted mount upright housing with additional protections to maintain IP rating.

**Optics**  
Choice of three: patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K, 5000K and 6000K CCT. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 1200mA, 800mA and 600mA drive currents.

**Mounting**  
Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" J-Box or wall with the Galleon Wall "Hook-N-Lock" mechanism for quick installation. Secured with two captive corrosion resistant black oxide coated allen head set screws which are concealed but accessible from bottom of fixture.

**Finish**  
Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Color Selection for the complete selection.

**Warranty**  
Five-year warranty.

**ENERGY DATA**  
Galleon LED Driver  
J-8 Power Factor  
40% Total Harmonic Distortion  
120V-277V 50/60Hz  
3A/7 & 480V 60Hz  
40°C Max. Temperature  
40°C Max. Temperature (HA Option)  
40°C Max. Temperature (HA Option)

**1-2 Light Squares Solid State LED WALL MOUNT LUMINAIRE**

**ENERGY DATA**  
Galleon LED Driver  
J-8 Power Factor  
40% Total Harmonic Distortion  
120V-277V 50/60Hz  
3A/7 & 480V 60Hz  
40°C Max. Temperature  
40°C Max. Temperature (HA Option)  
40°C Max. Temperature (HA Option)

Symbol	Qty	Label	Arrangement	Description
[Symbol]	1	S3	SINGLE	GLEON-AF-01-LED-E1-SL3-HSS/ SSS4A20SFN1 (20' AFG)
[Symbol]	4	S4	SINGLE	GLEON-AF-01-LED-E1-SL4-HSS/ SSS4A20SFN1 (20' AFG)
[Symbol]	2	W	SINGLE	GWC-AF-02-LED-E1-T4FT/ WALL MTD 20' AFG
[Symbol]	9	W4	SINGLE	GWC-AF-01-LED-E1-SL4-600/ WALL MTD 15' AFG

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Design: JAC Draft: DJM Date: 04/21/20  
Checked: JAC Scale: AS-NOTED Project No.: 19190.2  
Drawing Name: 19190-PLAN-NEW-LAYOUT.dwg  
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9	3/9/21	REVISED CONCEPTUAL LAYOUT	DJM
REV.	DATE	REVISION	BY

Designed and Produced in NH

## J/B Jones & Beach Engineers, Inc.

Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4746  
FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

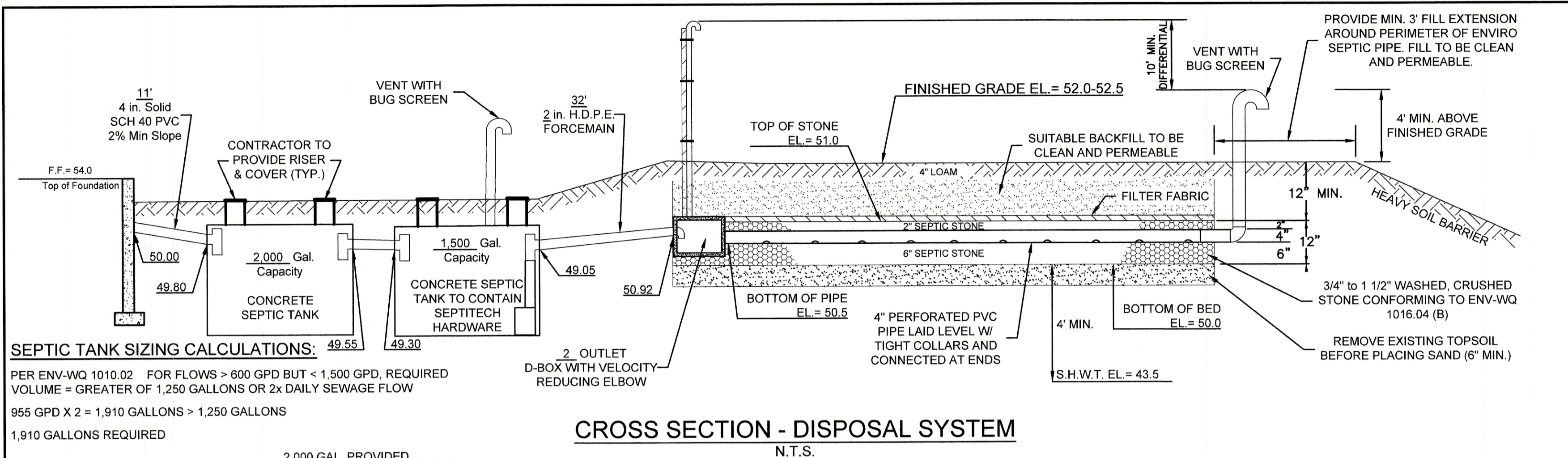
Plan Name: **LIGHTING PLAN**

Project: **INDUSTRIAL WAREHOUSE**  
375 BANFIELD ROAD, PORTSMOUTH, NH 03801

Owner of Record: **BANFIELD REALTY LLC**  
304 MAPLEWOOD AVENUE, PORTSMOUTH, NH 03801

DRAWING No. **L2**

SHEET 8 OF 24  
JBE PROJECT NO. 19190.2



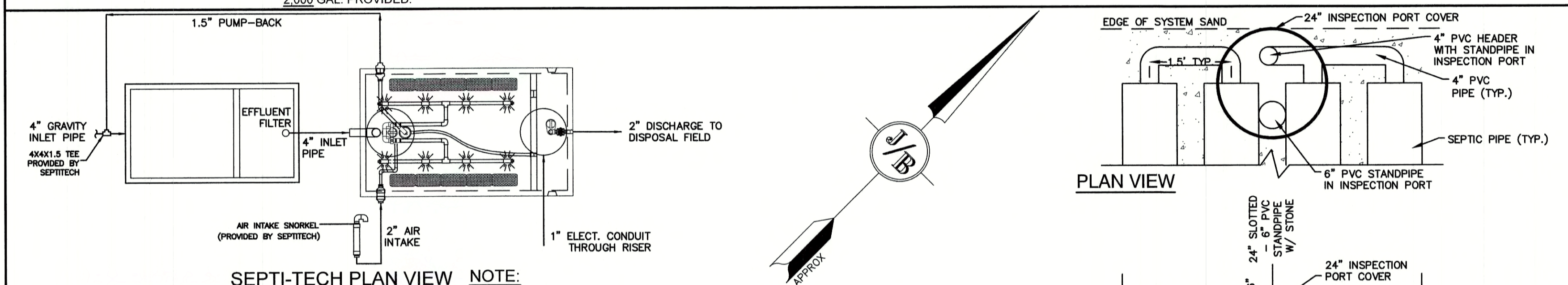
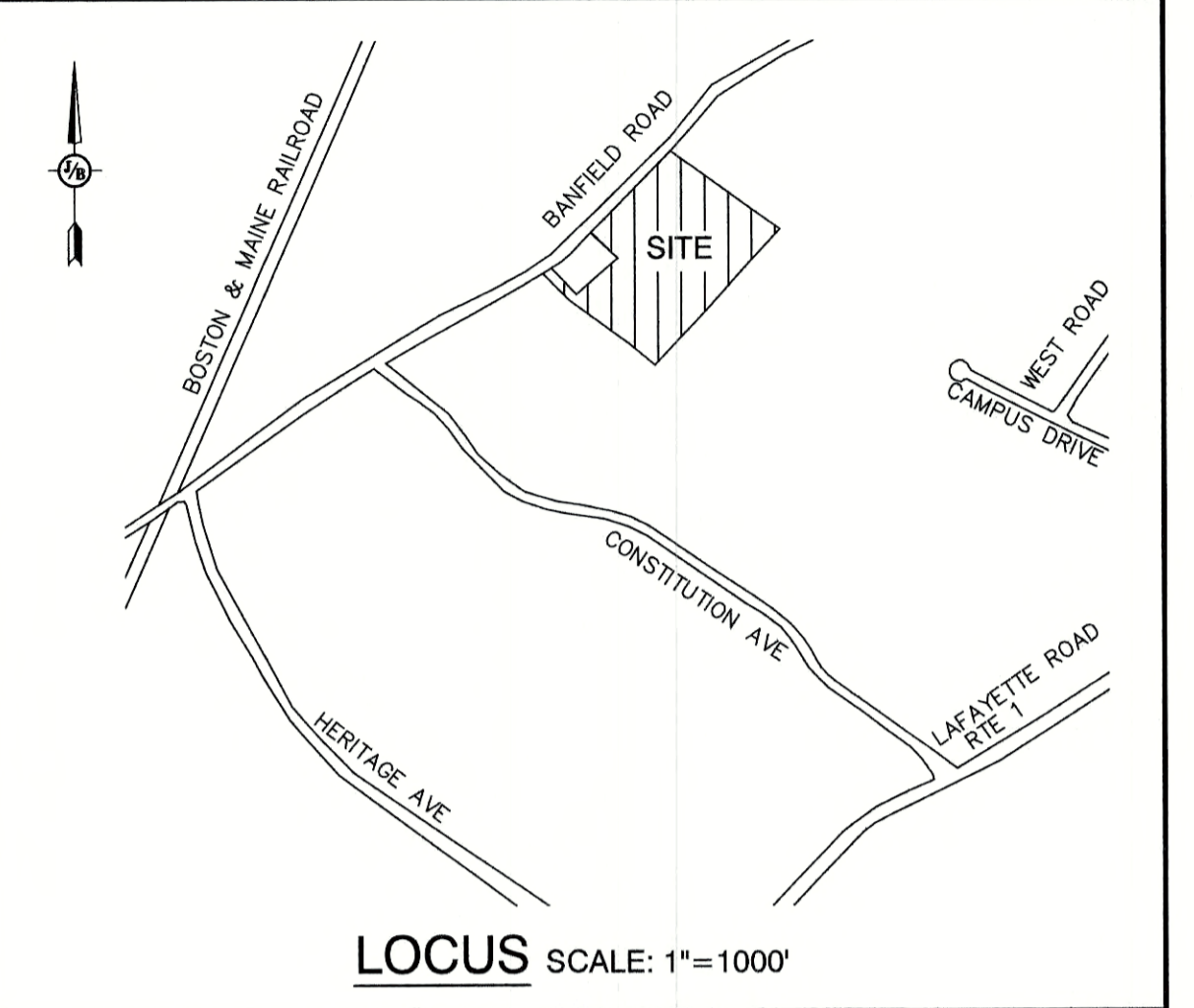
### TEST PIT LOGS

PERFORMED BY: JOSEPH CORONATI, JONES & BEACH ENGINEERS, INC. SSD# 1716

TEST PIT #1	DEPTH	SOIL TYPE
0'-8"	LOAM	
8'-18"	10YR 4/4	DARK YELLOWISH BROWN FINE SANDY LOAM GRANULAR, FRIABLE
18'-90"	10YR 5/6	YELLOWISH BROWN SILTY LOAM FIRM

SHWT = 18"  
ROOTS = 18"  
H<sub>2</sub>O @ 32"  
NO REFUSAL OBSERVED

TEST PIT, DATE: APRIL 8, 2020  
PERC. TEST, DATE: APRIL 8, 2020  
16 MIN./INCH



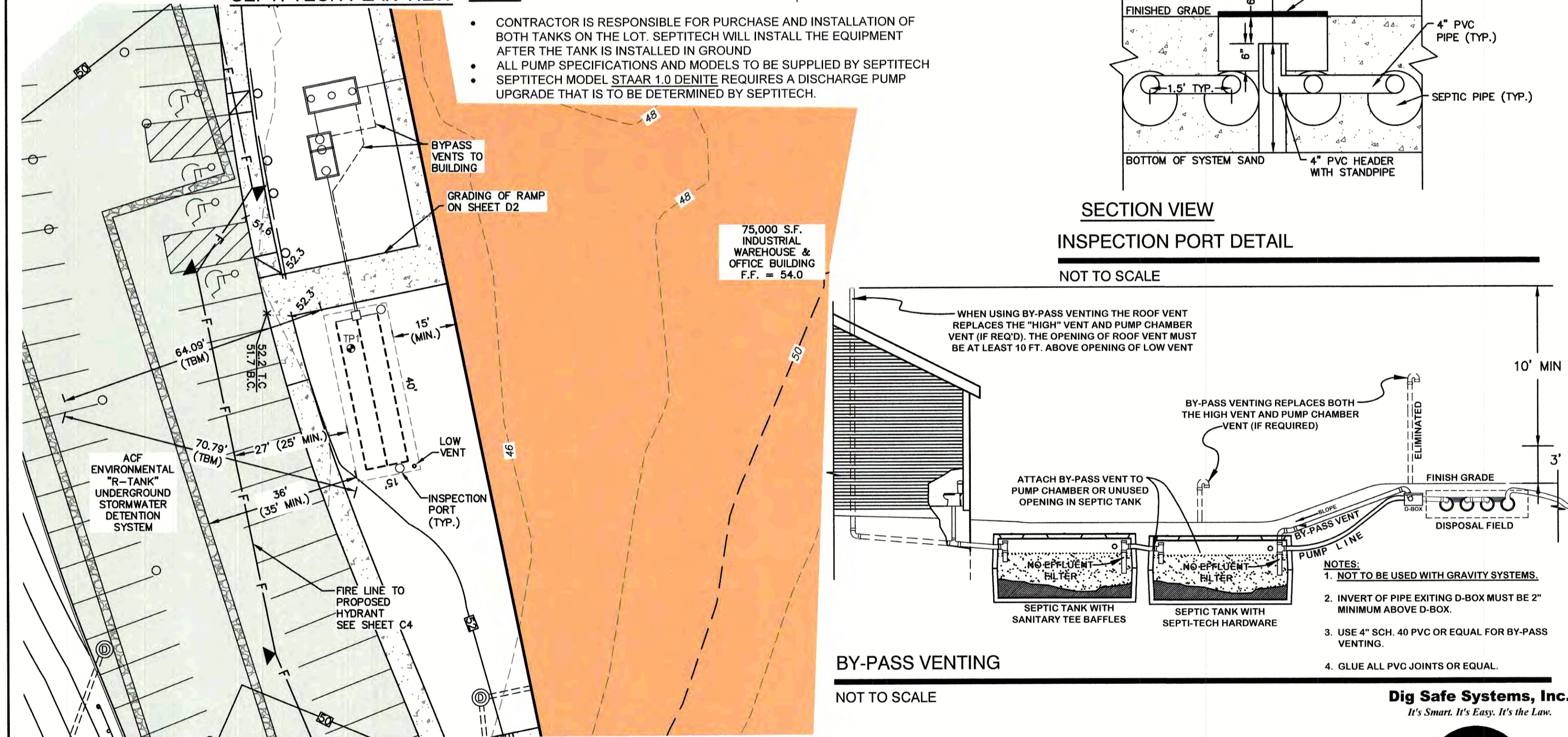
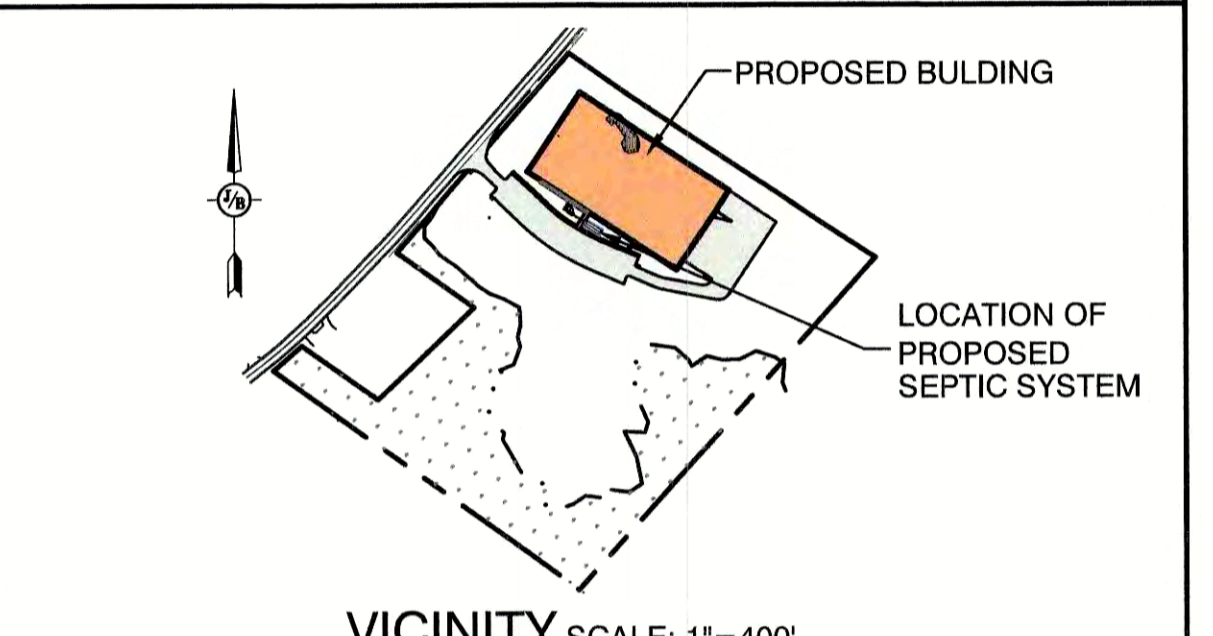
### STONE & PIPE DESIGN CALCULATIONS

WAREHOUSE: 70 EMPLOYEES = 700 GPD  
OFFICE WITH CAFETERIA: 17 EMPLOYEES = 170 GPD / PERSON, PER ENV-WQ 1008-1

955 GPD @ 16 MIN./INCH = 2,148 S.F. REQUIRED PER ENV-WQ 1016-1.  
2,148 S.F. x 75% PRE-TREATMENT REDUCTION = 537 S.F. REQUIRED.

600 S.F. PROVIDED (SEE DIMENSIONS BELOW)

BED DIMENSIONS 40' x 15'

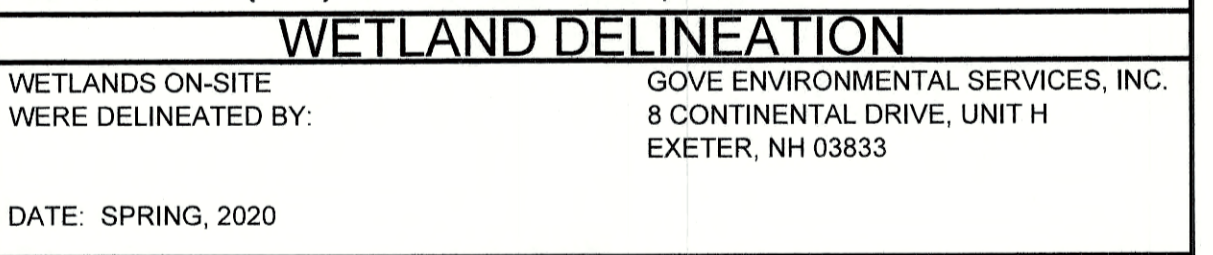
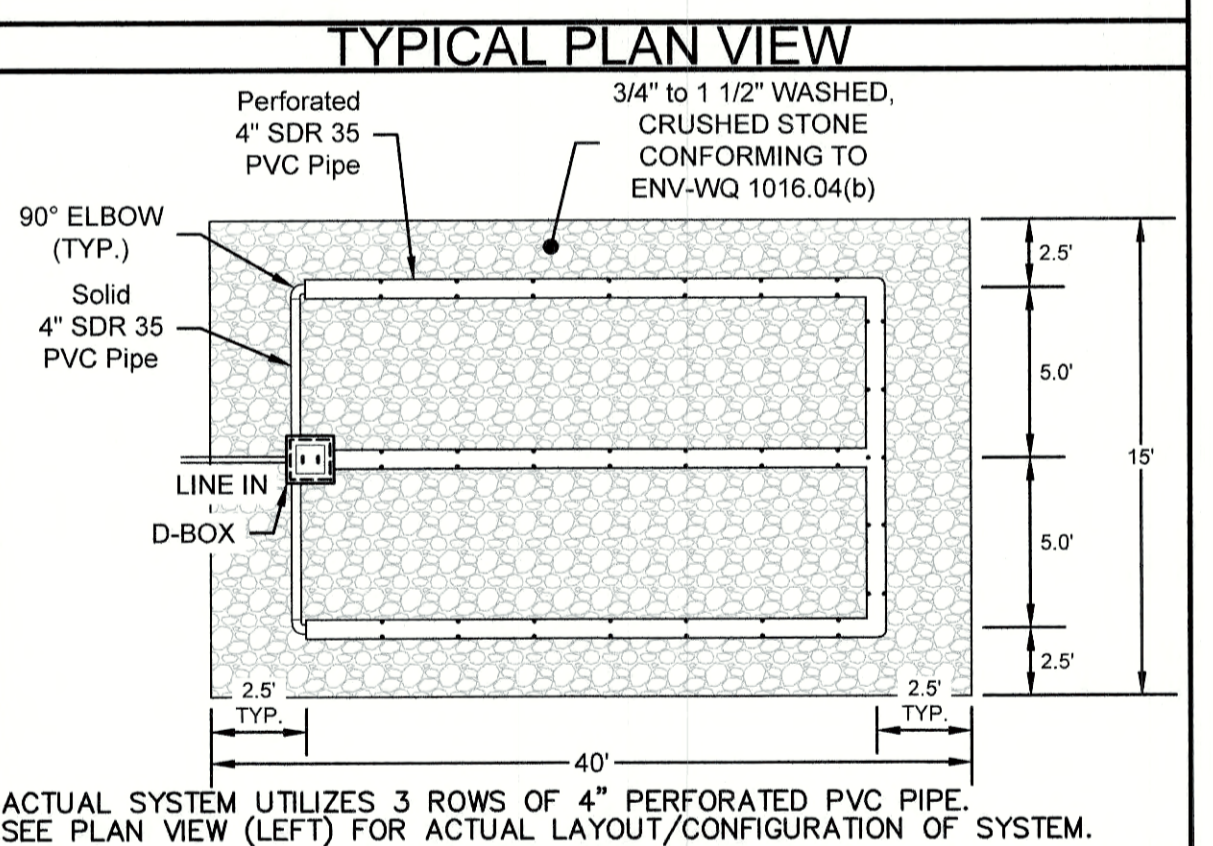


- ### DESIGN INTENT
- THE BOTTOM OF THE EFFLUENT DISPOSAL SYSTEM (E.D.S.) SHALL BE CONSTRUCTED AT ELEVATION 50.00. THIS IS APPROXIMATELY 5.00 FT ABOVE ORIGINAL GROUND ON THE HIGH CONTOUR (45.00) OF THE DESIGNED E.D.S. (ENV-WQ-1003.13(aa))
- ### GENERAL NOTES
- CONTRACTOR TO VERIFY ALL ELEVATIONS IN FIELD PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY DESIGNER OF ANY ABNORMAL CONDITIONS (HARDPAN OR SATURATED SOILS, LEDGE, ETC.) FOUND WHEN EXCAVATING PRIOR TO INSTALLATION OF THE SYSTEM.
  - PER ENV-WQ 1016.03, CONTRACTOR IS TO PROTECT THE NATURAL ABSORPTION QUALITIES OF THE SOIL. DO NOT COMPACT OR DRIVE OVER THE AREA WITH EQUIPMENT AND PROTECT OPEN EXCAVATION TO PREVENT THE ENTRANCE OF SILT AND DEBRIS.
  - FILL TO BE MEDIUM TO COURSE-TEXTURED SAND (0.5mm-2.0mm).
  - REMOVE TOPSOIL BEFORE PLACING FILL.
  - 4 INCH THICK LOAM & SEED AROUND PERIMETER OF FILL.
  - CONTRACTOR TO INSTALL A VENT WHEN PROVIDING MORE THAN 18" OF COVER.
  - VENTING IS REQUIRED FOR PUMP SYSTEMS
  - SLOPE SYSTEM AWAY FROM BUILDING.
  - SYSTEM WILL BE REPLACED IN SAME LOCATION IN CASE OF FAILURE.
  - JOINTS ARE TO BE BELLED PVC OR STANDARD SLIP JOINTS.
  - PER ENV-WQ 1010.11, THE FIRST COMPARTMENT IN MULTI-COMPARTMENT SEPTIC TANKS MUST BE AT LEAST 2/3 OF THE REQUIRED VOLUME.
  - PER ENV-WQ 1010.10, EXCEPTING LEDGE TANKS, THE LIQUID DEPTH OF THE SEPTIC TANK IS TO BE AT LEAST 40".
  - THE OUTLET BAFFLE SHALL BE A VENTED TEE WHICH SHALL EXTEND TO A DISTANCE BELOW THE SURFACE EQUAL TO 40% OF THE LIQUID DEPTH AND SHALL EXTEND ABOVE THE LIQUID LINE TO NOT LESS THAN ONE INCH FROM THE TOP OF THE TANK.
  - ALL CONNECTIONS BETWEEN A SEPTIC TANK AND THE PIPES LEADING TO AND EXITING FROM THE SEPTIC TANK SHALL BE SEALED WITH A WATERTIGHT, FLEXIBLE JOINT CONNECTOR THAT: (1) WILL ACCOMMODATE NORMAL MOVEMENT OF THE SEPTIC TANK WITHOUT LEAKING OR BREAKING; AND (2) HAS BEEN CERTIFIED BY ITS MANUFACTURER OR DISTRIBUTOR AS MEETING OR EXCEEDING THE APPLICABLE STANDARD IN ASTM C 1644-06, SECTION 7.
  - CONTRACTOR TO PROVIDE RISERS FOR TANKS WITH MORE THAN 12" OF COVER.
  - IF GARBAGE GRINDERS ARE DESIRED, SEPTIC TANK SHALL BE 50% LARGER.
  - CITY OF PORTSMOUTH REQUIRES BED BOTTOM INSPECTION.
  - PVC PIPING TO BE SUPPLIED BY: ELIMINATOR SYSTEMS INC. (603) 868-2242 OR EQUAL.
  - 2,000 GALLON SEPTIC TANK & D-BOX TO BE SUPPLIED BY: SHEA CONCRETE, (800-696-7432) OR EQUAL.
  - ADVANCED NITRATE TREATMENT SYSTEM AND 1,500 GAL. CONCRETE SEPTIC TANK TO BE SUPPLIED BY: SEPTITECH / BIO-MICROBICS MAINE INC., 207-333-6940. PRODUCT MAY NOT BE SUBSTITUTED WITHOUT FIRST CONTACTING THE DESIGNER.
  - ROCKINGHAM COUNTY SOIL CONSERVATION SERVICE SOIL TYPE: ELDRIDGE.
  - ANY CHANGES TO SEPTIC TANK, BUILDING OR WELL LOCATION/ORIENTATION WILL REQUIRE AN AS-BUILT PLAN TO BE PROVIDED BY THE DESIGNER PRIOR TO NHDES FINAL INSPECTION.
  - PER ENV-WQ 1004.10, SYSTEMS OVER 2,500 GPD ARE TO BE INSPECTED BY DESIGNER.
  - PER ENV-WQ 1003.13(a)(3) THERE ARE NO KNOWN BURIAL SITES OR CEMETERIES ON THE LOT WITHIN 100' OF ANY COMPONENT OF THE ISDS.
  - 50' SETBACK FROM POORLY DRAINED SOILS.
  - DISTANCE FROM SEWER PIPE TO SURFACE WATER, OPEN DRAINAGE, VERY POORLY DRAINED SOIL, AN OPEN LOOP GEOTHERMAL WELL, OR A PRIVATE ON-SITE WELL SHALL BE 75 FT. THIS MAY BE REDUCED TO 50 FT IF SDR26 OR EQUIVALENT IS USED IN ACCORDANCE WITH ENV-WQ 1008.04(c)(1).
  - DISTANCE FROM SEPTIC TANK TO SURFACE WATER, OPEN DRAINAGE, VERY POORLY DRAINED SOIL, AN OPEN LOOP GEOTHERMAL WELL, OR A PRIVATE ON-SITE WELL SHALL BE 75 FT. THIS MAY BE REDUCED TO 50 FT IF THE SEPTIC TANK IS EITHER MADE FROM PLASTIC OR COATED WITH A SEALANT TO PREVENT INFILTRATION AND EXFILTRATION IN ACCORDANCE WITH ENV-WQ 1008.04(c)(2).

### REFERENCES

APPROVAL FOR CONSTRUCTION IS VALID FOR 4 YEARS FROM DATE OF ISSUE

- PREV. CONSTRUCTION APPROVAL #CA1998009388 ISSUED: 06/03/1998.
- SUBDIVISION APPROVAL: LARGER THAN 5 ACRES.



- ### OWNER NOTES
- KNOW THE LOCATION OF YOUR SEPTIC TANK AND LEACHING AREA.
  - INSPECT YOUR SEPTIC TANK YEARLY. HAVE THE SEPTIC TANK PUMPED AS NEEDED BUT AT LEAST ONCE EVERY THREE YEARS.
  - DO NOT FLUSH BULKY ITEMS SUCH AS DIAPERS, SANITARY PADS OR BABY WIPES.
  - DO NOT FLUSH TOXIC CHEMICALS SUCH AS PAINT THINNERS, DRANO, PESTICIDES, OR CHLORINE. AS THEY MAY KILL THE NECESSARY BACTERIA IN THE SEPTIC TANK.
  - REPAIR LEAKING FIXTURES IN THE BUILDING PROMPTLY.
  - BE CONSERVATIVE WITH WATER USE. SPREAD OUT USE OVER TIME, AND USE WATER-REDUCING FIXTURES WHENEVER AND WHEREVER POSSIBLE. TOO MUCH USE IN A SHORT TIME CAN OVERLOAD THE SYSTEM, WHICH MAY LEAD TO FAILURE.
  - MOW YOUR LEACHING AREA REGULARLY. PREVENT DEEP-ROOTED TREES AND SHRUBS FROM GROWING ON AND ADJACENT TO YOUR LEACHING AREA.
  - NO VEHICULAR TRAVEL, LIVESTOCK TRAVEL, OR SNOW REMOVAL IN AREA OF SYSTEM.

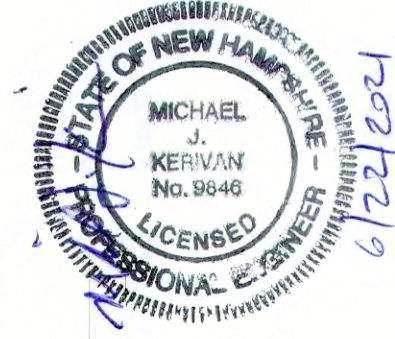
**PROJECT PARCEL**  
CITY OF PORTSMOUTH  
TAX MAP 266, LOT 7  
R.C.R.D. BK. 6081 PG. 2150  
TOTAL LOT AREA: 14.96 ACRES

CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING THE SEPTIC PLAN FROM THE NHDES APPROVED PLAN

THE BUILDER/SITE CONTRACTOR IS RESPONSIBLE TO CONFIRM THE ZONING DIMENSIONAL REQUIREMENTS AND SETBACK LINE REQUIREMENTS PRIOR TO INITIATING CONSTRUCTION OF THE PROPOSED BUILDING AND SEPTIC SYSTEM. THE ZONING ORDINANCE OF THE MUNICIPALITY IS TO BE COMPLIED WITH. THE BUILDER/SITE CONTRACTOR IS ALSO RESPONSIBLE TO CONTACT THE MUNICIPALITY REGARDING INSPECTIONS PRIOR TO AND DURING CONSTRUCTION, I.E. LOCATION AND BED-BOTTOM INSPECTIONS.

**GRAPHIC SCALE**  
1 inch = 20 feet

Design: JAC	Draft: DJM	Date: 04/21/20
Checked: JAC	Scale: 1" = 20'	Project No.: 19190.2
Drawing Name: 19190-PLAN-NEW-LAYOUT.DWG		
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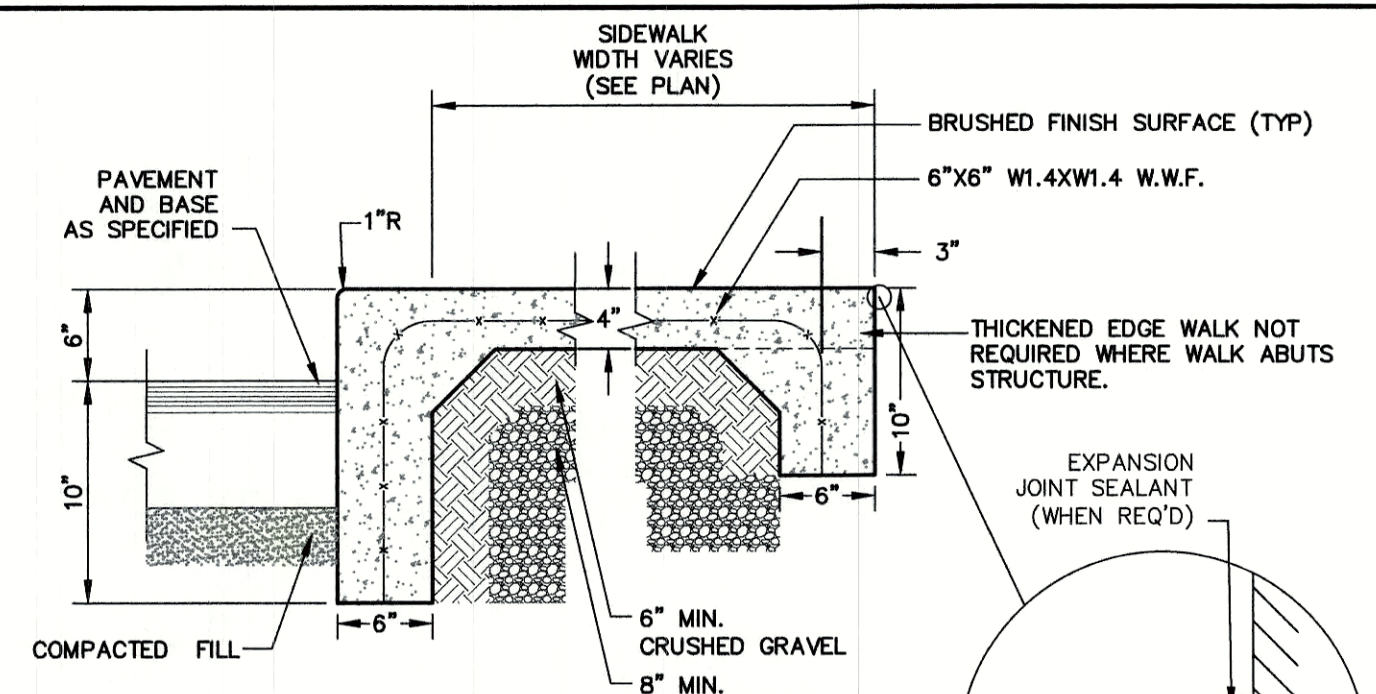
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**J/B Jones & Beach Engineers, Inc.**  
Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
603-772-4746  
FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>EFFLUENT DISPOSAL DESIGN</b>
Project:	<b>INDUSTRIAL WAREHOUSE 375 BANFIELD ROAD, PORTSMOUTH, NH 03801</b>
Owner of Record:	<b>BANFIELD REALTY LLC 304 MAPLEWOOD AVENUE, PORTSMOUTH, NH 03801</b>

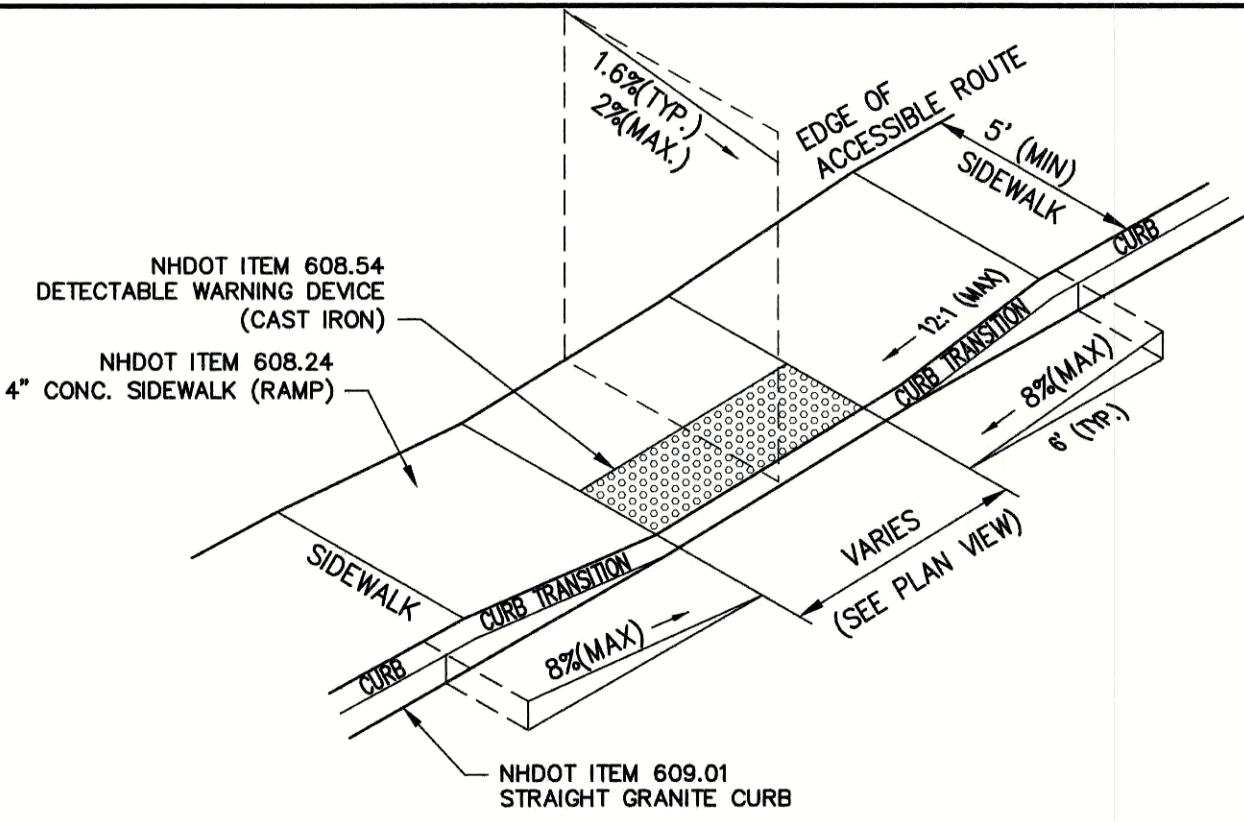
DRAWING No.  
**S1**  
SHEET 9 OF 24  
JBE PROJECT NO. 19190.2



- NOTES:**
1. CONCRETE TO BE 4000 PSI.
  2. CONTRACTION JOINTS SPACE TO BE EQUAL TO SIDEWALK WIDTH.
  3. ALL JOINTS SEALED PER SPECIFICATIONS.
  4. PROVIDE A 1/2" NON-EXTRUDING EXPANSION JOINT AGAINST STRUCTURE AND EVERY 16' ALONG SIDEWALK.
  5. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

**MONOLITHIC CONCRETE SIDEWALK**

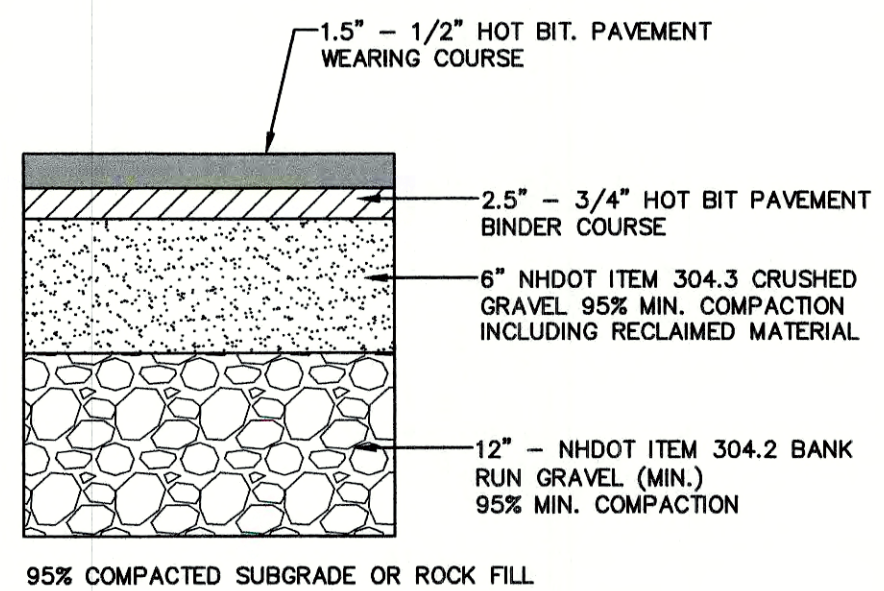
NOT TO SCALE



**ACCESSIBLE CURB RAMP (TYPE 'A')**

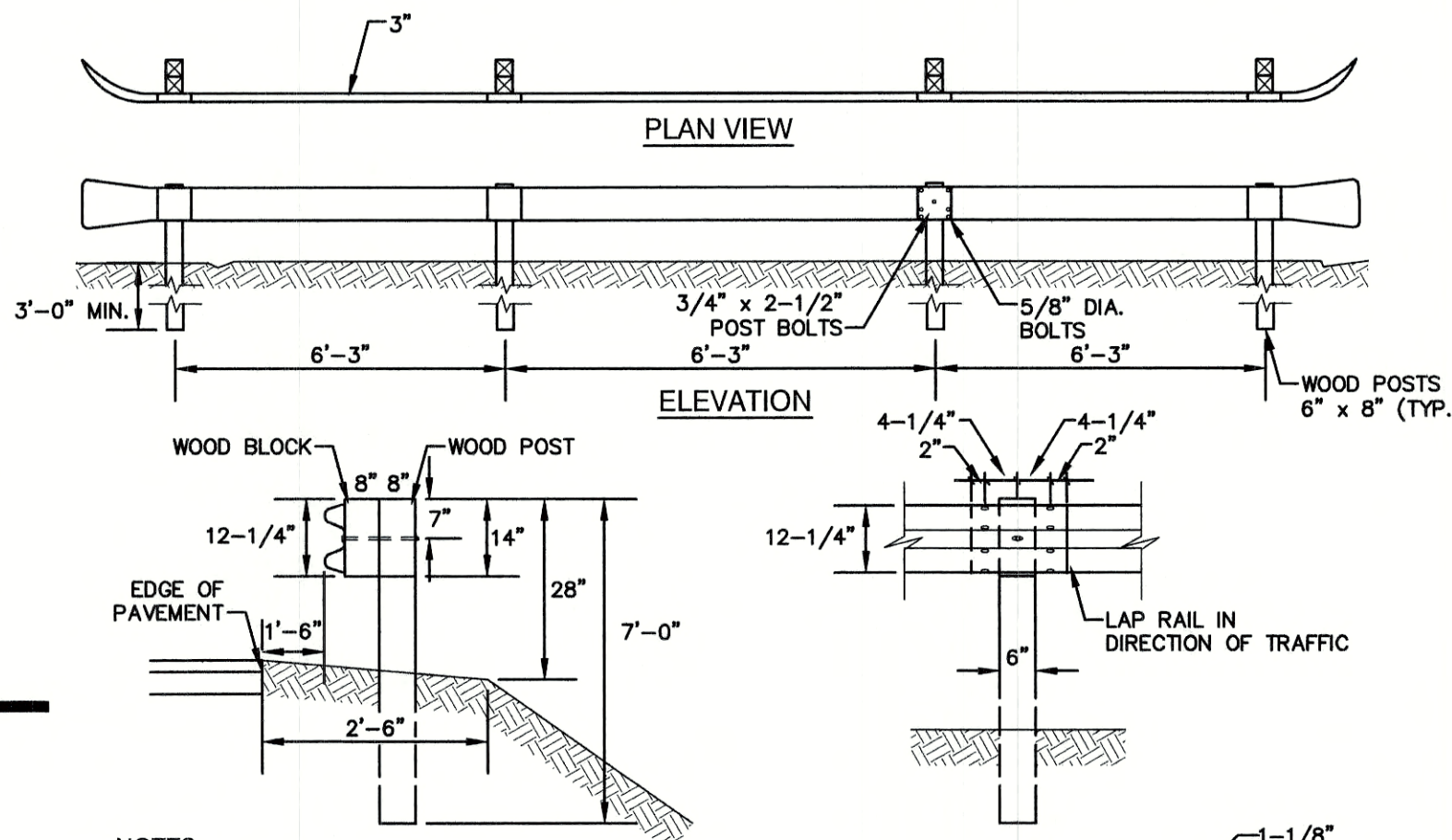
NOT TO SCALE

- NOTES:**
1. THE MAXIMUM ALLOWABLE CROSS SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) AND CURB SHALL BE 1.5%.
  2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
  3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) CURB RAMP SHALL BE 8%.
  4. A MINIMUM OF 4 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (i.e., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
  5. CURB TREATMENT VARIES; SEE PLANS FOR CURB TYPE.
  6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
  7. SEE TYPICAL SECTION FOR RAMP CONSTRUCTION.



**TYPICAL BITUMINOUS PAVEMENT**

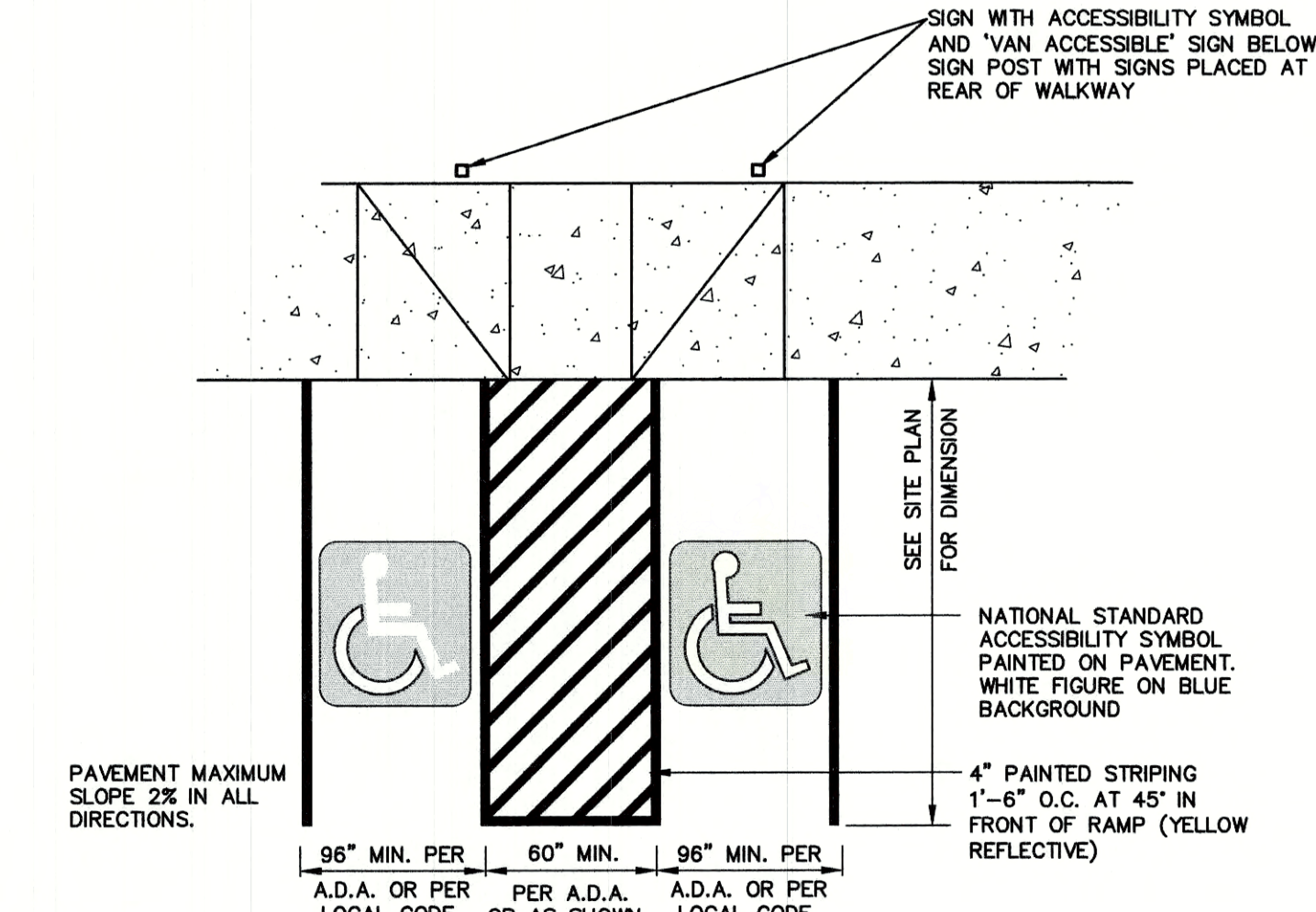
NOT TO SCALE



- NOTES:**
1. USE IN HEAVY TRAFFIC AREAS.
  2. GUARD RAIL TO BE "CORE-TEN" TYPE (OR EQUIVALENT APPROVED BY THE ENGINEER).
  3. USE 6'-0" POSTS WHEN FILL SLOPE IS 4:1 OR FLATTER.
  4. ALL TIMBER POSTS TO BE TREATED WITH PRESERVATIVE MATERIAL CONFORMING TO AASHTO M133.
  5. POST BOLTS TO BE 18" W/MIN. 2 1/2" THREAD LENGTH.

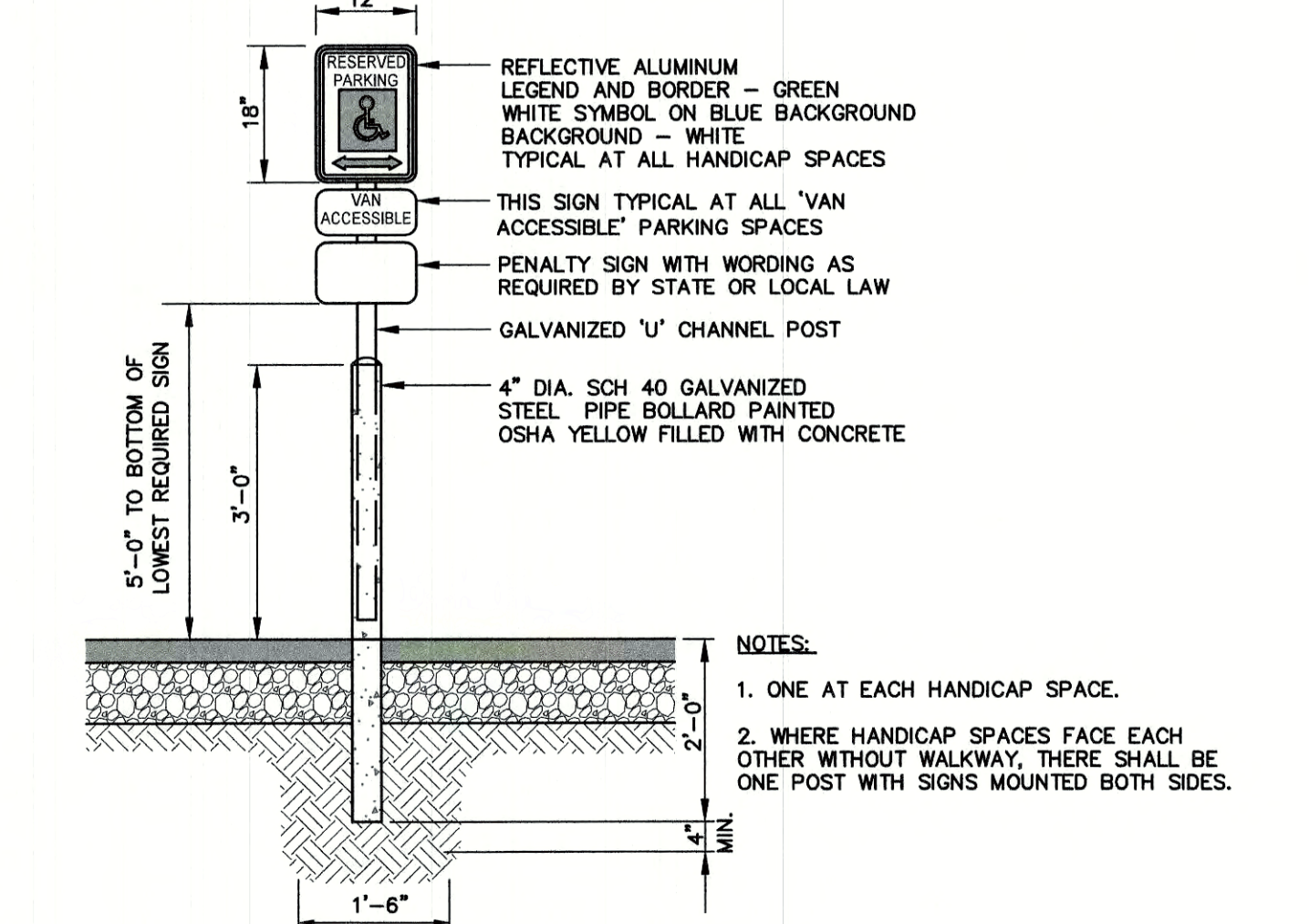
**GUARD RAIL (CORE-TEN)**

NOT TO SCALE



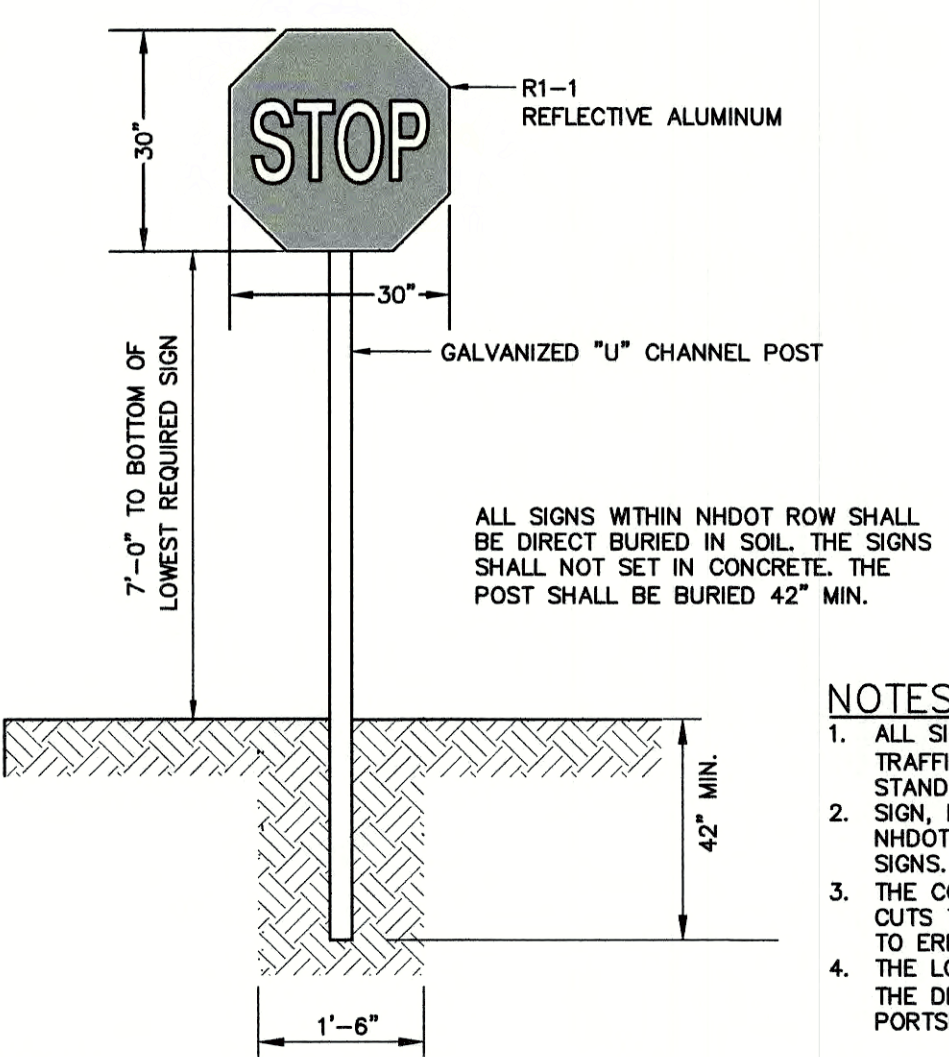
**HANDICAP PARKING LAYOUT**

NOT TO SCALE



**HANDICAP PARKING SIGN (R7-8)**

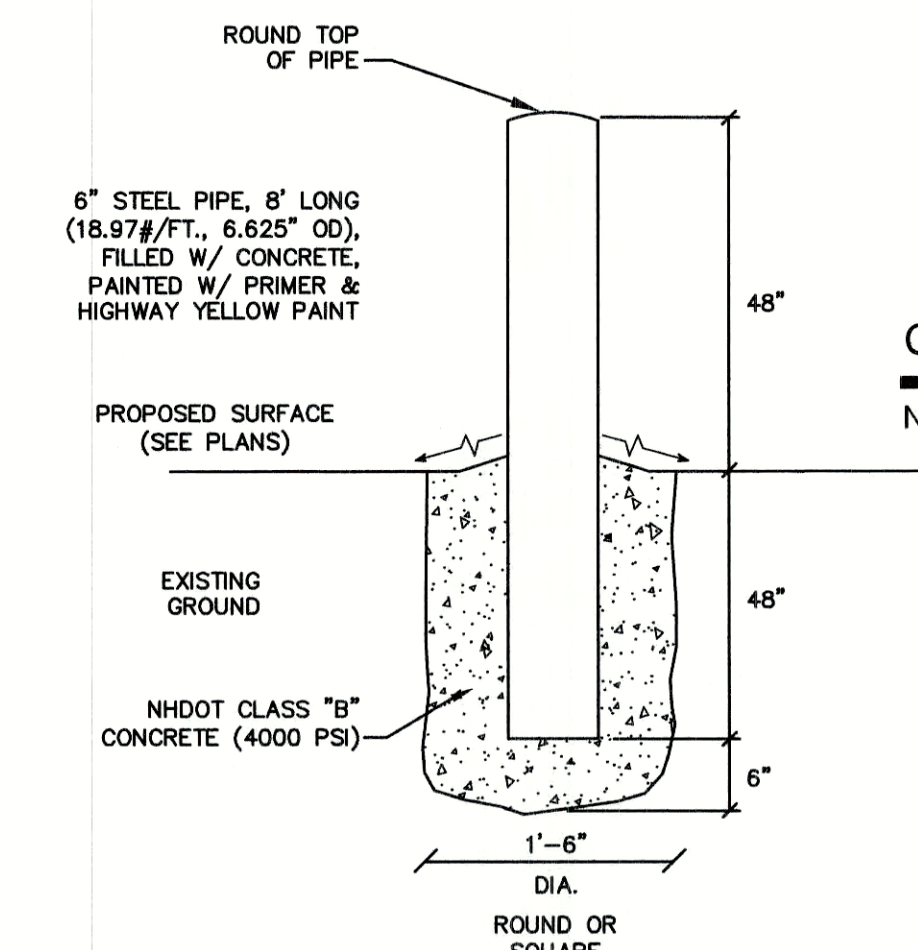
NOT TO SCALE



**STOP SIGN (R1-1)**

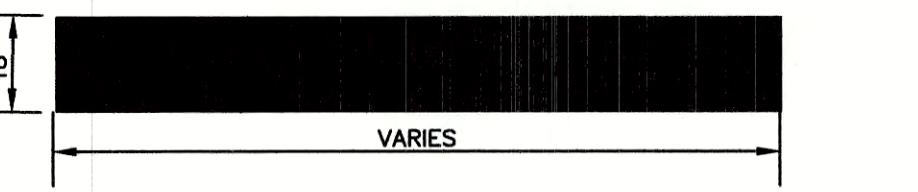
NOT TO SCALE

- NOTES:**
1. ALL SIGNAGE SHALL BE TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS AND NHDOT STANDARDS.
  2. SIGN, HARDWARE, AND INSTALLATION TO CONFORM TO 2018 NHDOT STANDARD SPECIFICATION, SECTION 615 - TRAFFIC SIGNS.
  3. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS/CATALOG CUTS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ERECTING SIGNS.
  4. THE LOCATION OF THE SIGNS SHALL BE AS INDICATED ON THE DRAWINGS AND/OR AS DIRECTED BY THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.



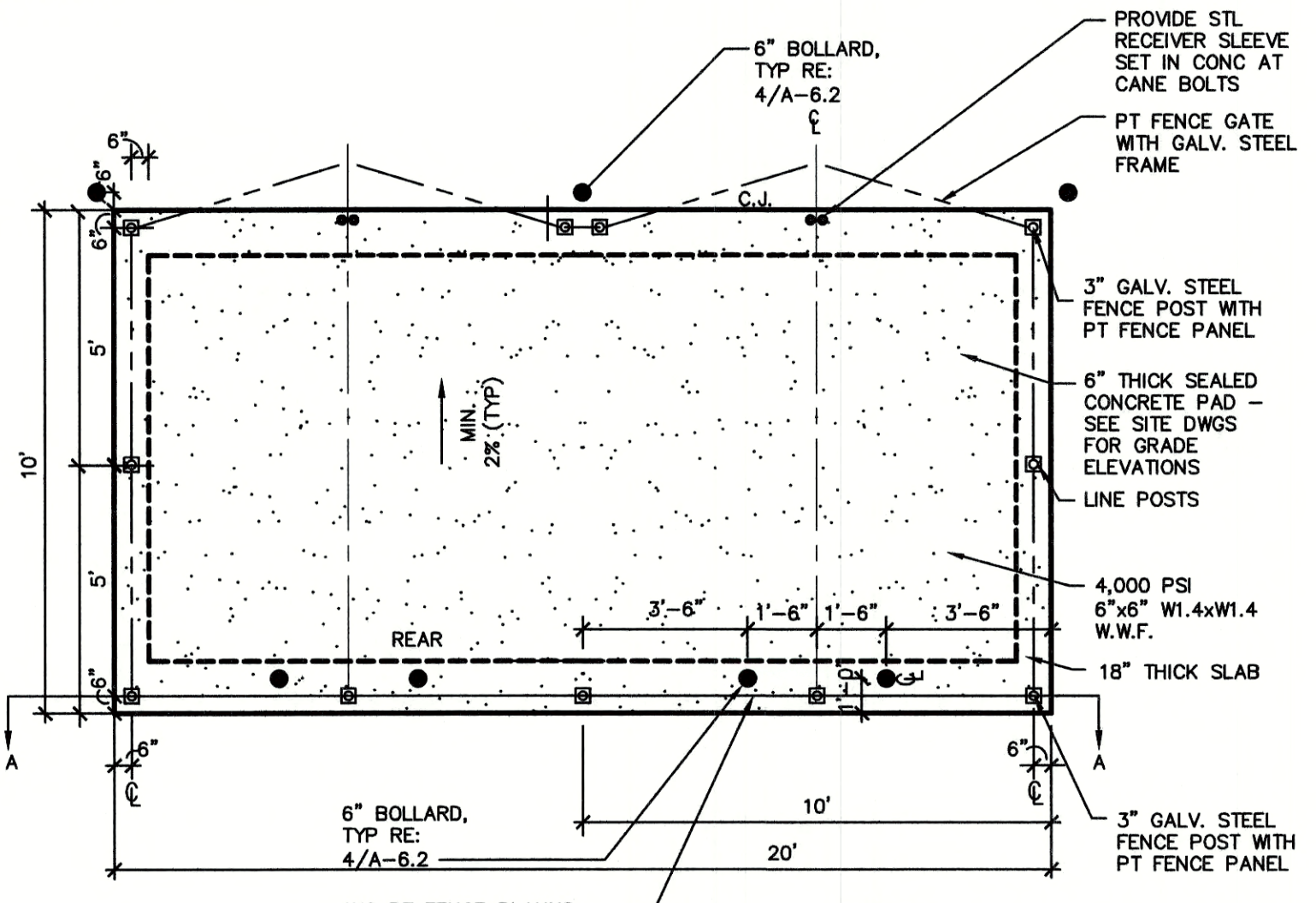
**BOLLARD DETAIL**

NOT TO SCALE



**STOP BAR**

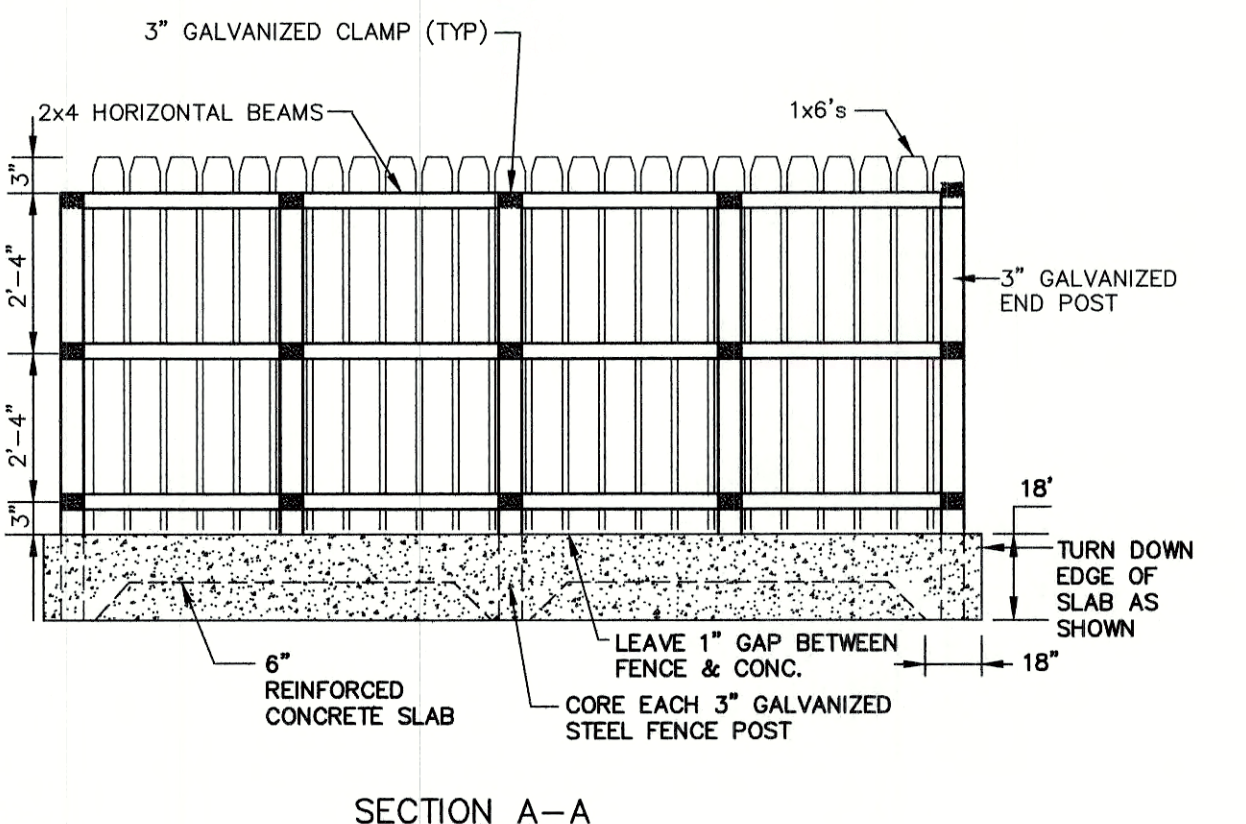
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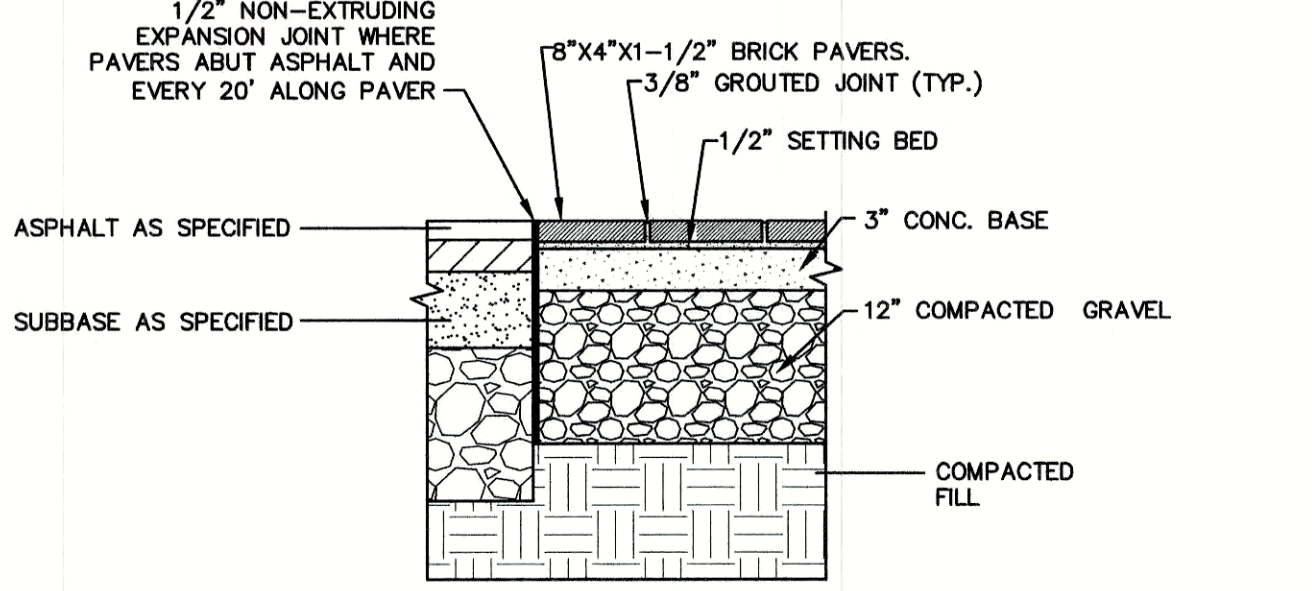
**DUMPSTER ENCLOSURE PLAN**

NOT TO SCALE

- NOTES:**
1. ALL LUMBER TO BE PRESSURE TREATED.
  2. WOOD FENCE TO BE PAINTED OR STAINED TO MATCH BUILDING FOUNDATION.
  3. DUMPSTER SIZE VARIES; SEE SITE PLANS FOR SCREENING SIZE.

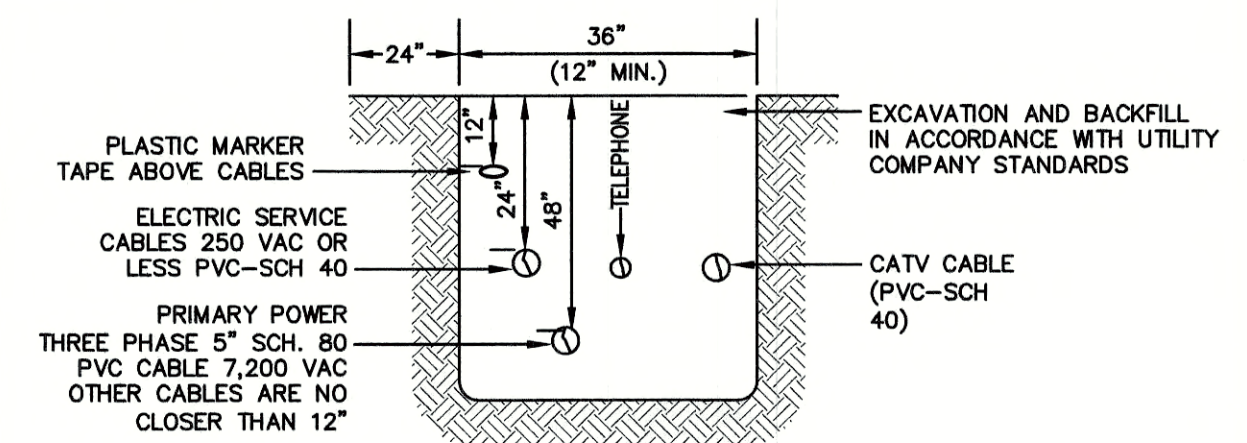


**SECTION A-A**



**PAVER DETAIL**

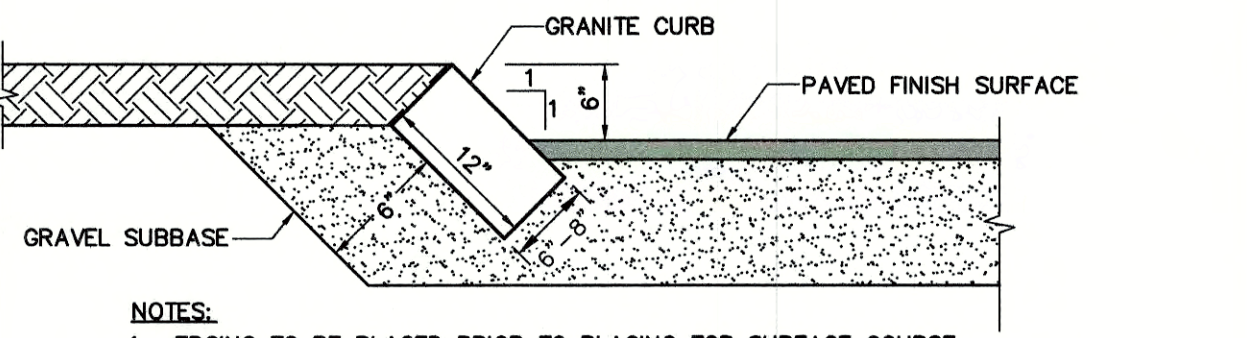
NOT TO SCALE



**UTILITY TRENCH**

NOT TO SCALE

NOTE: ALL UTILITIES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE UTILITY COMPANY.



**SLOPED GRANITE CURB**

NOT TO SCALE

- NOTES:**
1. EDGING TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.
  2. JOINTS BETWEEN STONES SHALL BE MORTARED.
  3. SALVAGE GRANITE CURBS ON-SITE AND RESET TO THE EXTENT POSSIBLE.

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Design: JAC	Draft: DJM	Date: 04/21/20
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Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

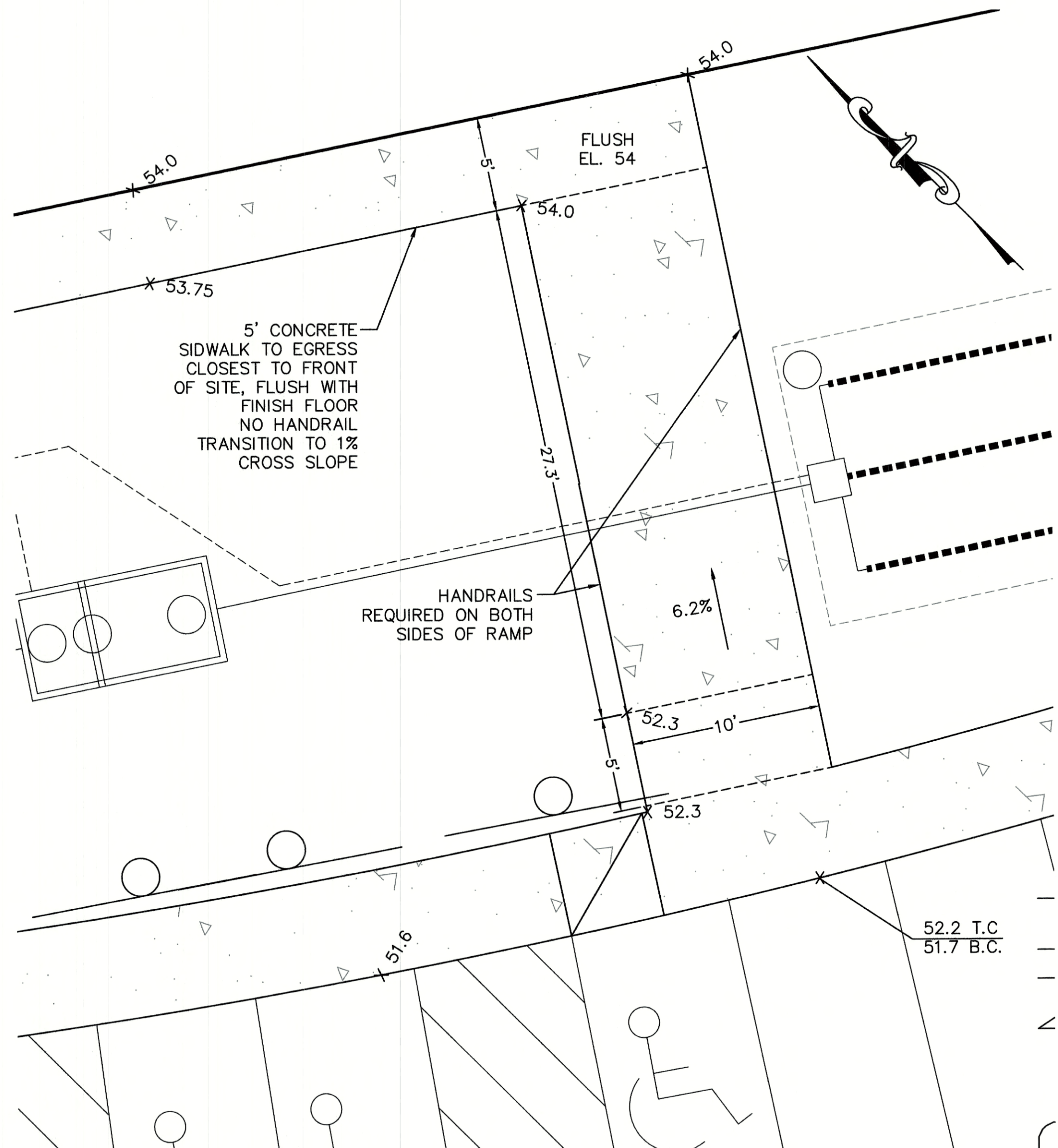
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>DETAIL SHEET</b>
Project:	<b>INDUSTRIAL WAREHOUSE 375 BANFIELD ROAD, PORTSMOUTH, NH 03801</b>
Owner of Record:	<b>BANFIELD REALTY LLC 304 MAPLEWOOD AVENUE, PORTSMOUTH, NH 03801</b>

DRAWING No.

**D1**

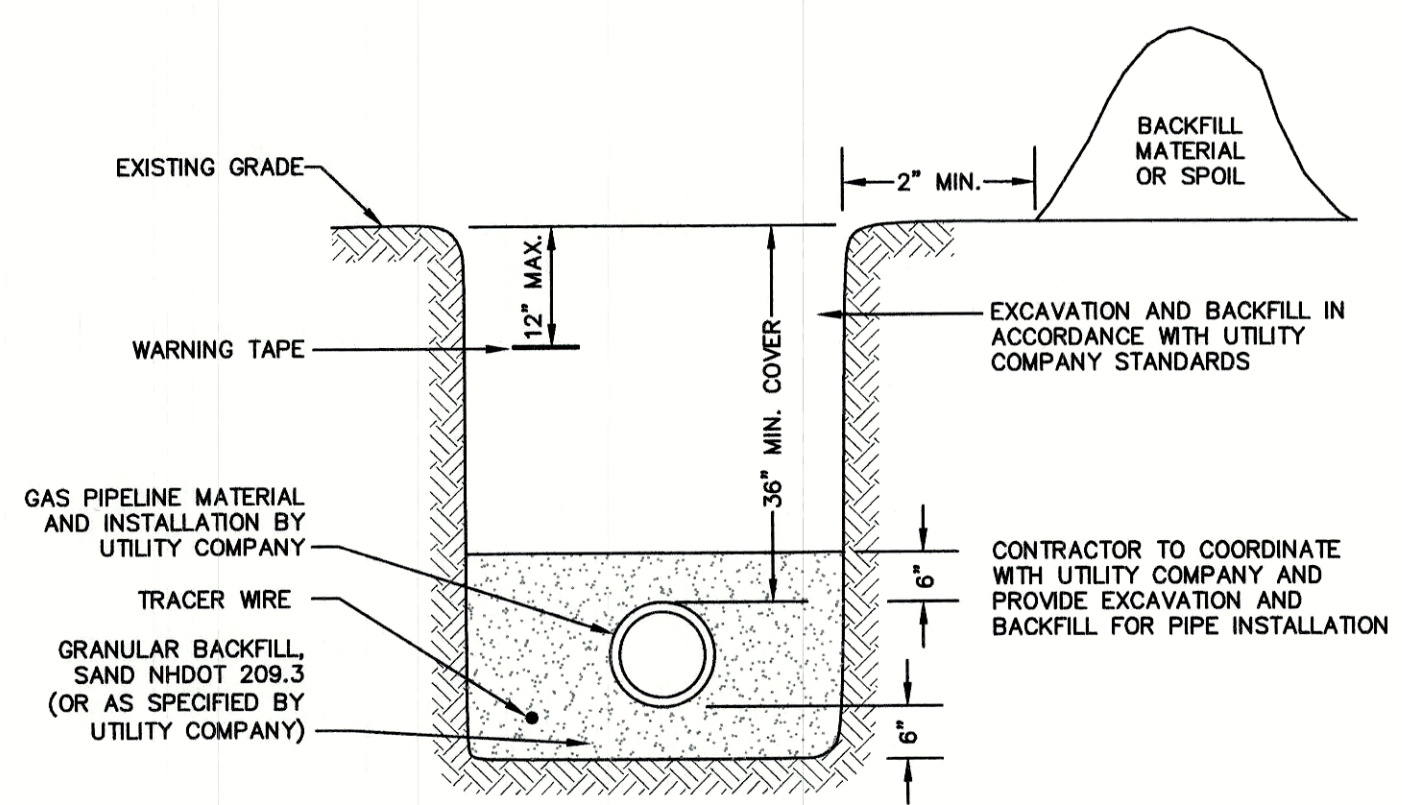
SHEET 10 OF 24  
JBE PROJECT NO. 19190.2



- NOTES:**  
 1. RAMP TO CONTAIN 6"x6" W1.4xW1.4 W.W.F. EXTENDING INTO FOOTING.  
 2. RAMP TO BE OF CONTRASTING COLOR TO WALK AND PAVEMENT.

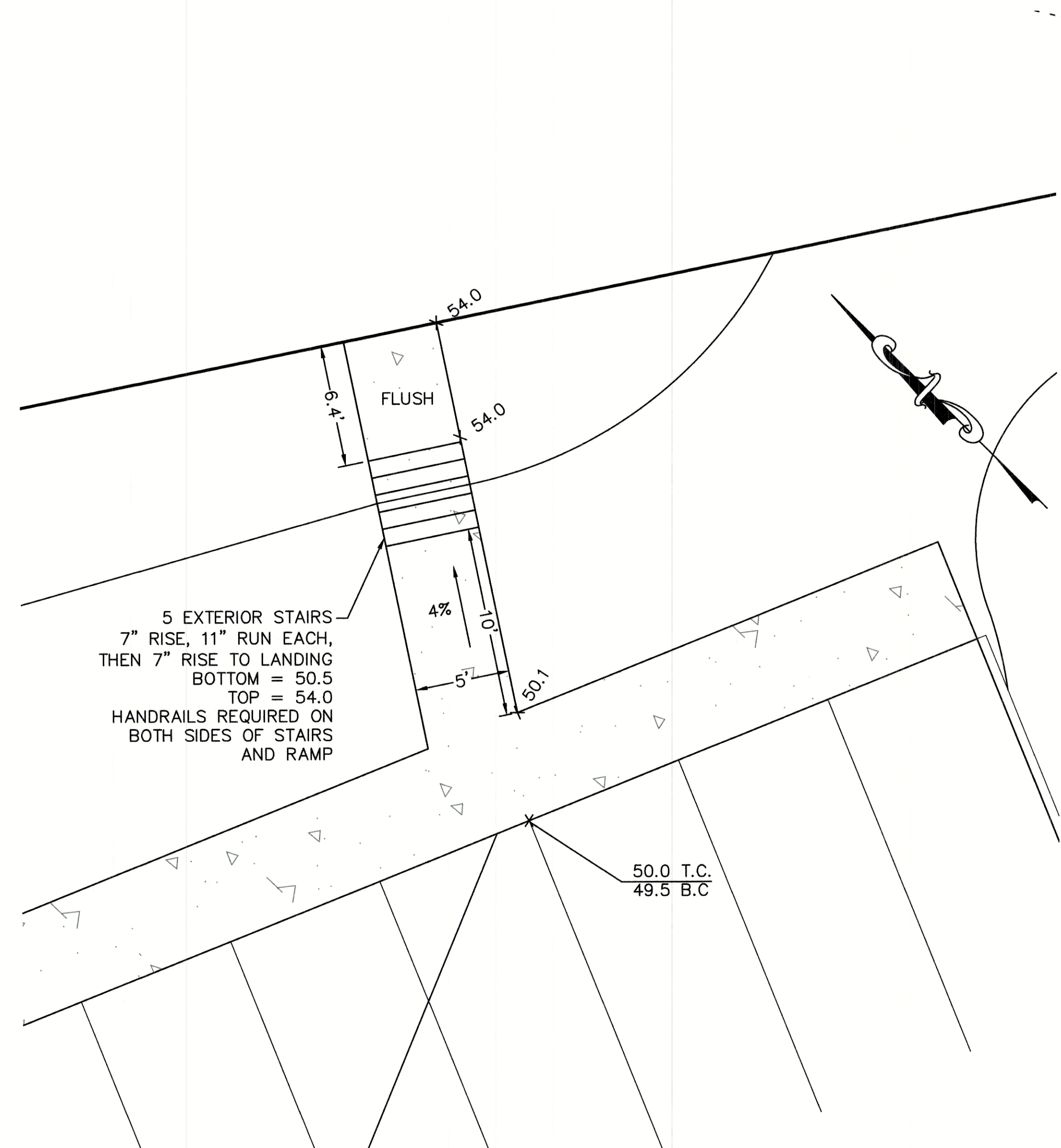
**MAIN ENTRANCE DETAIL**

1 INCH = 5 FEET



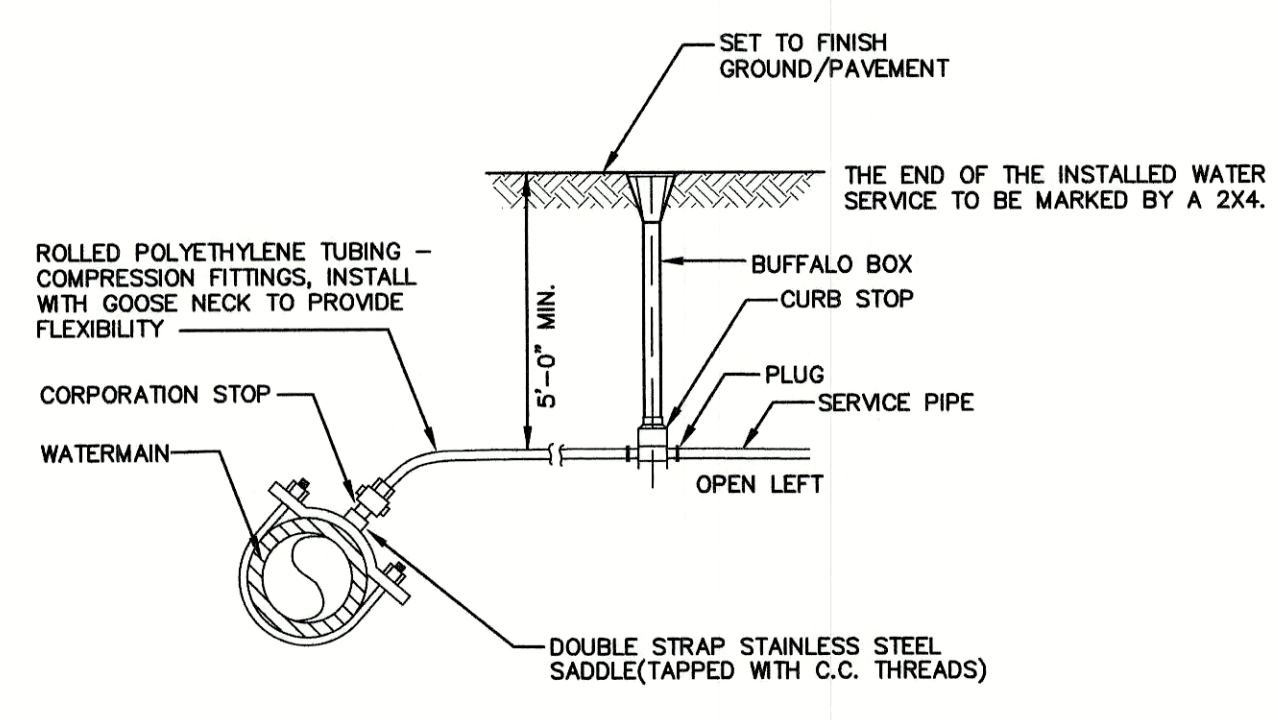
**GAS TRENCH**

NOT TO SCALE



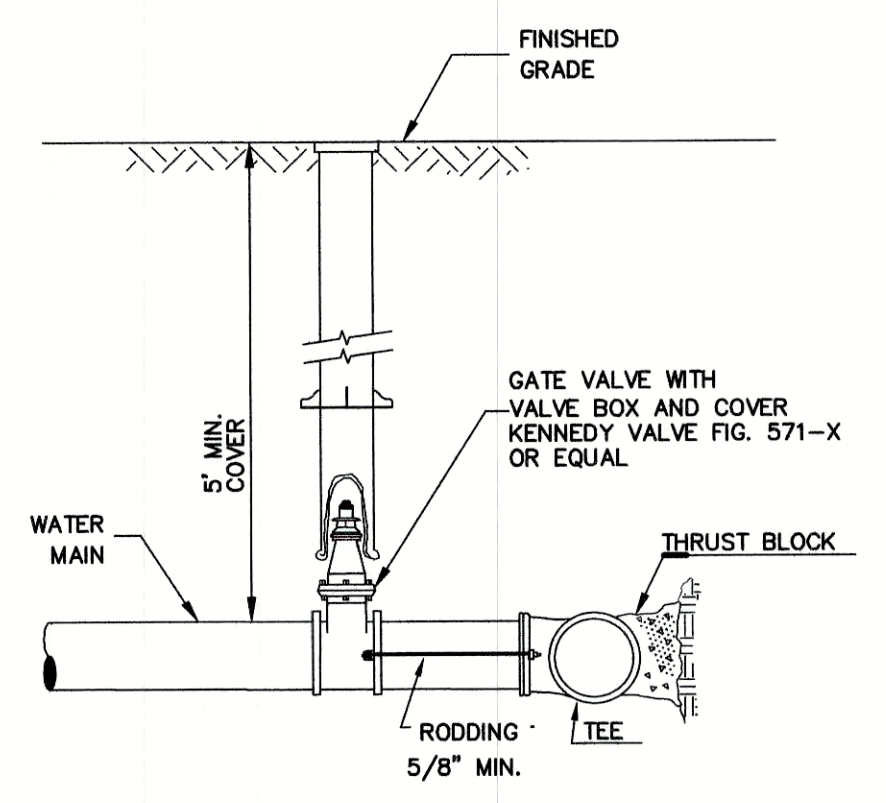
**SECONDARY EGRESS DETAIL**

1 INCH = 5 FEET



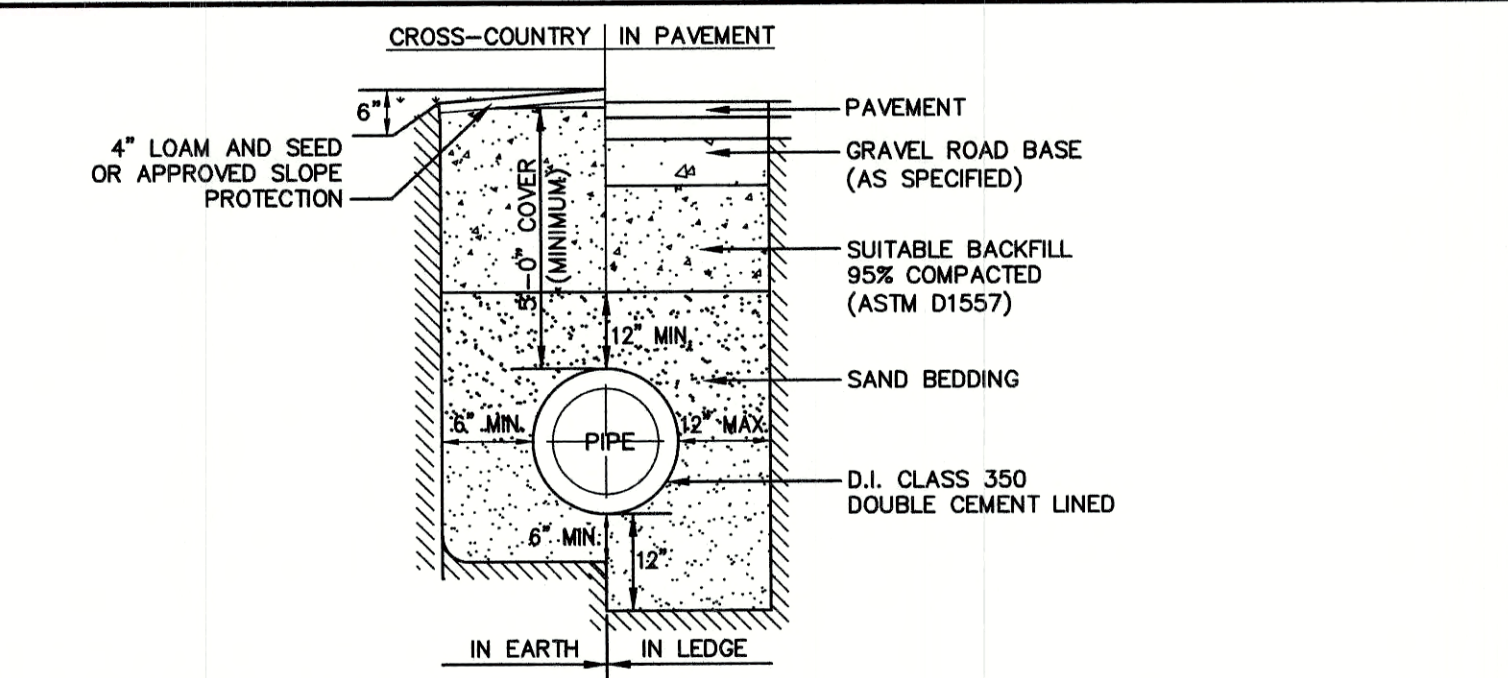
**WATER SERVICE CONNECTION-POLYETHYLENE**

NOT TO SCALE



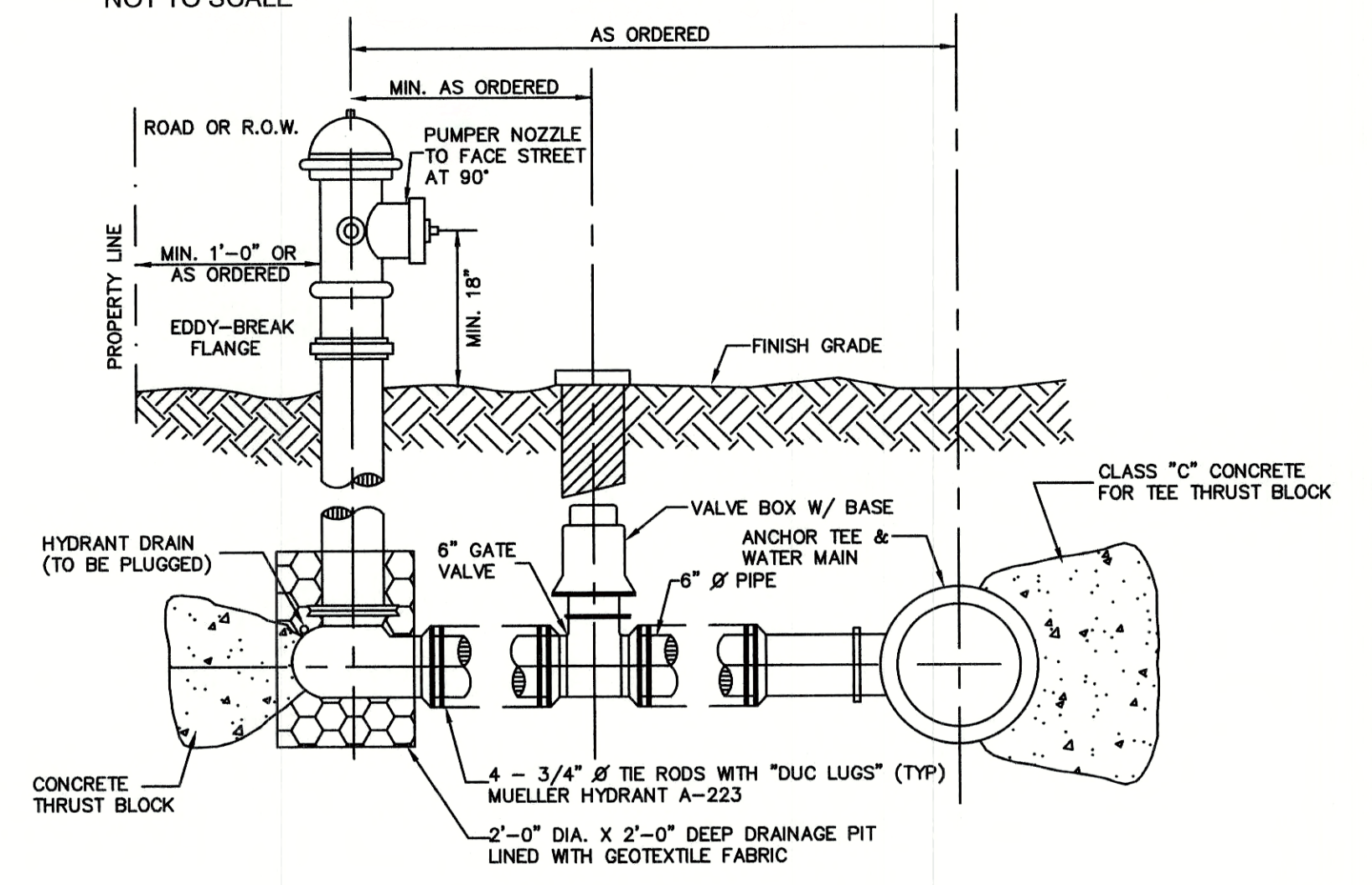
**BURIED GATE VALVE DETAIL**

NOT TO SCALE



**WATER SYSTEM TRENCH**

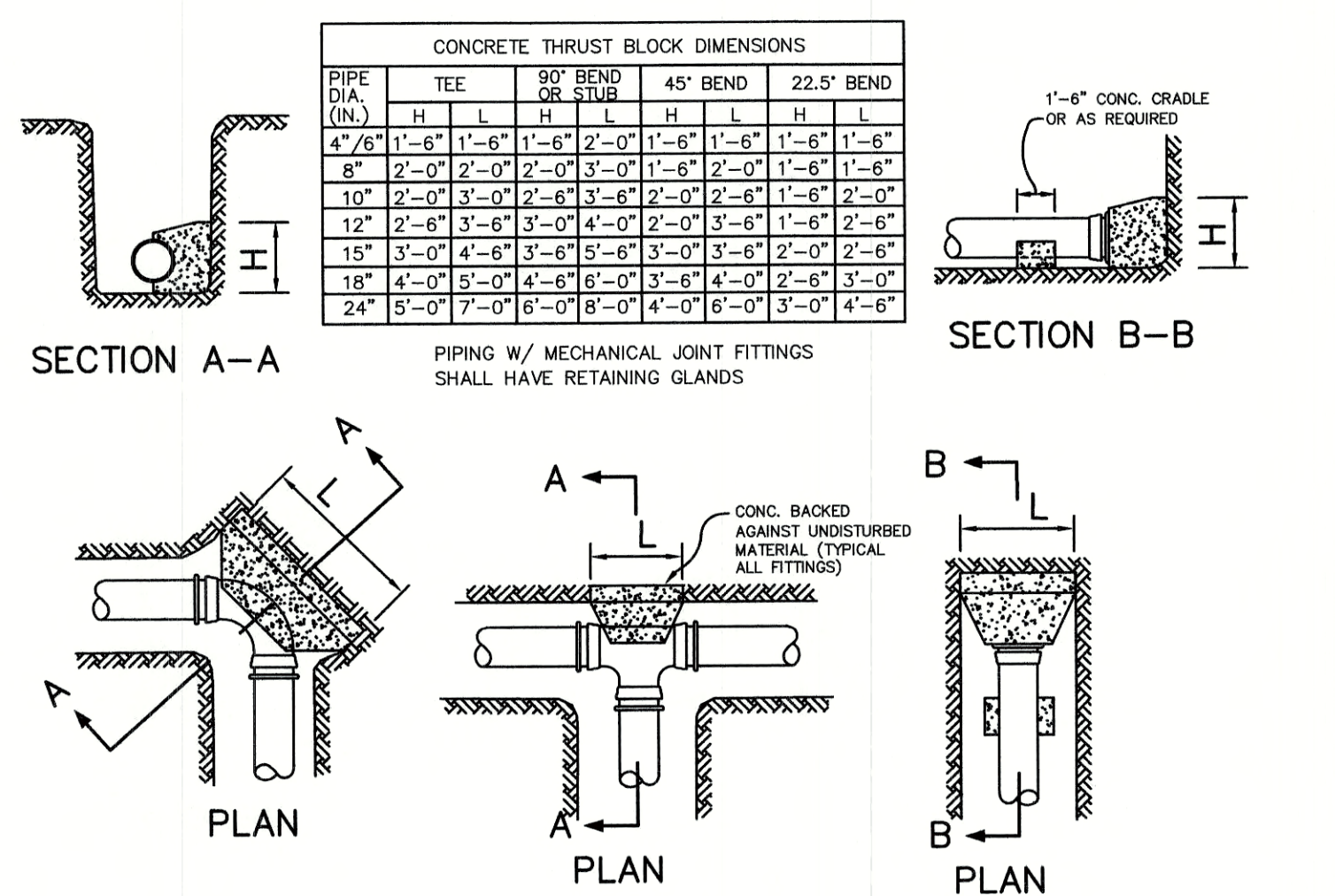
NOT TO SCALE



- NOTES:**  
 1. ALL PIPE FITTINGS TO BE D.I. PRESSURE CLASS 350, THICKNESS CLASS 52.  
 2. HYDRANT TO BE PAINTED RED WITH WHITE "REFLECTOR" PAINT ON BONNET.  
 3. MECHANICAL JOINTS SHALL HAVE MEGALUG RETAINING GLANDS AS MADE BY EBBA OR APPROVED EQUAL.  
 4. STEAMER NOZZLE TO BE "STORCH" TYPE.  
 5. NATIONAL STANDARD THREAD.

**HYDRANT INSTALLATION**

NOT TO SCALE



**THRUST BLOCK DETAILS**

NOT TO SCALE

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Design: JAC	Draft: DJM	Date: 04/21/20
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Drawing Name: 19190-PLAN-NEW-LAYOUT.dwg		
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13	6/23/21	REVISED PER CITY COMMENTS	DJM
12	5/18/21	REVISED PLANTINGS PER NHB	DJM
11	5/17/21	ISSUED REVISED PLANS TO TAC	DJM
10	5/10/21	ISSUED REVISED PLANS FOR PRELIMINARY PB CONSULTATION	DJM
9	3/9/21	REVISED CONCEPTUAL LAYOUT	DJM

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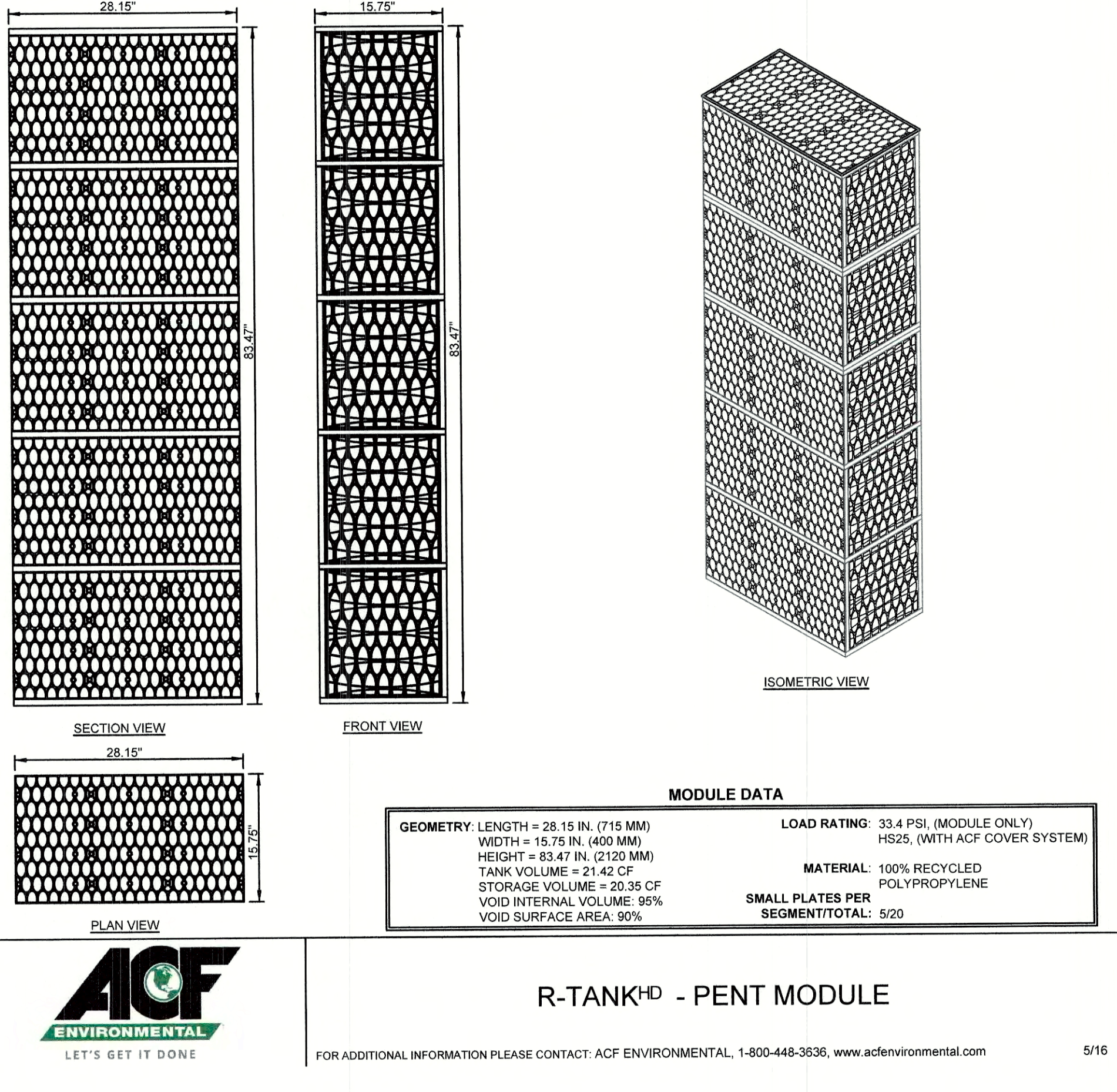
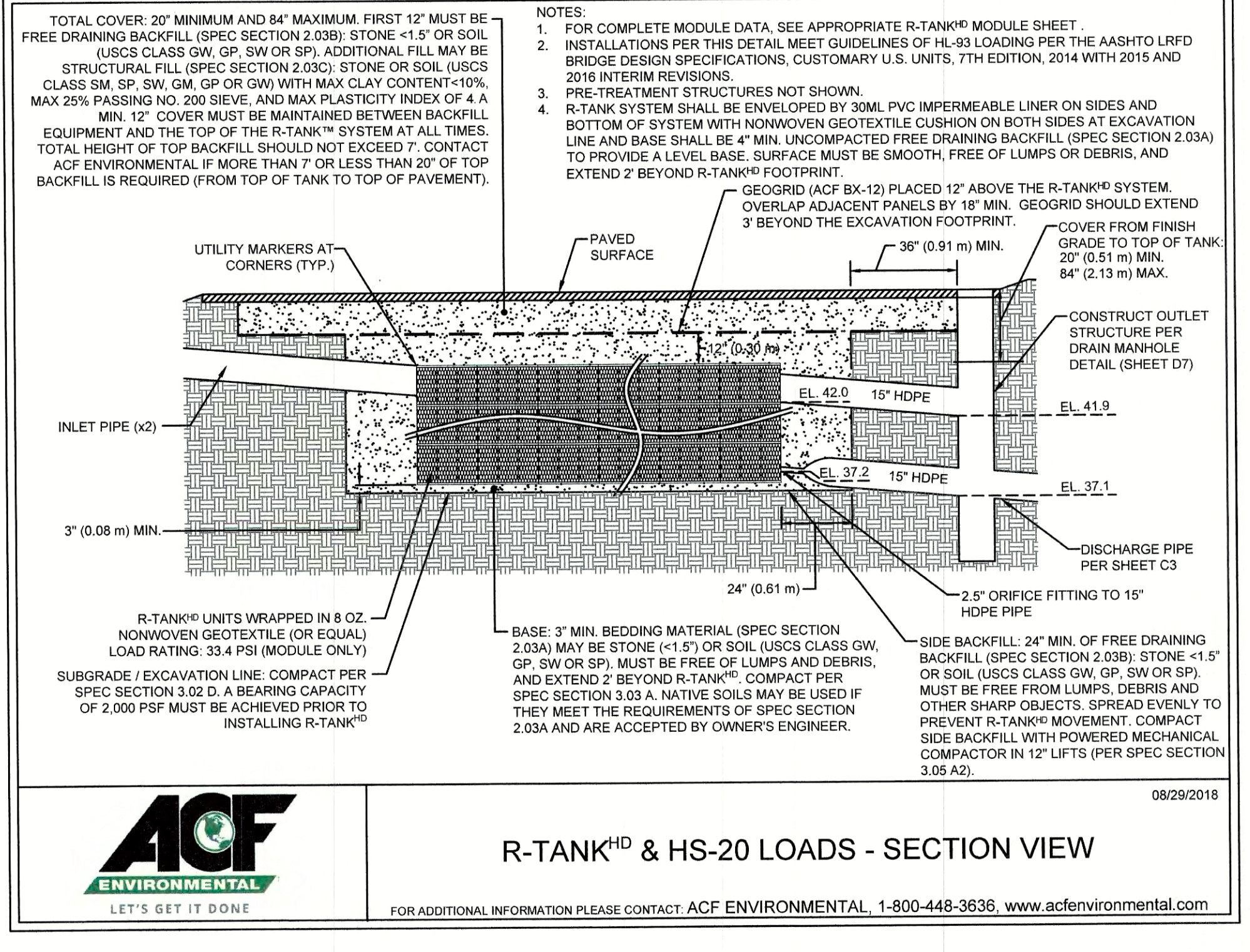
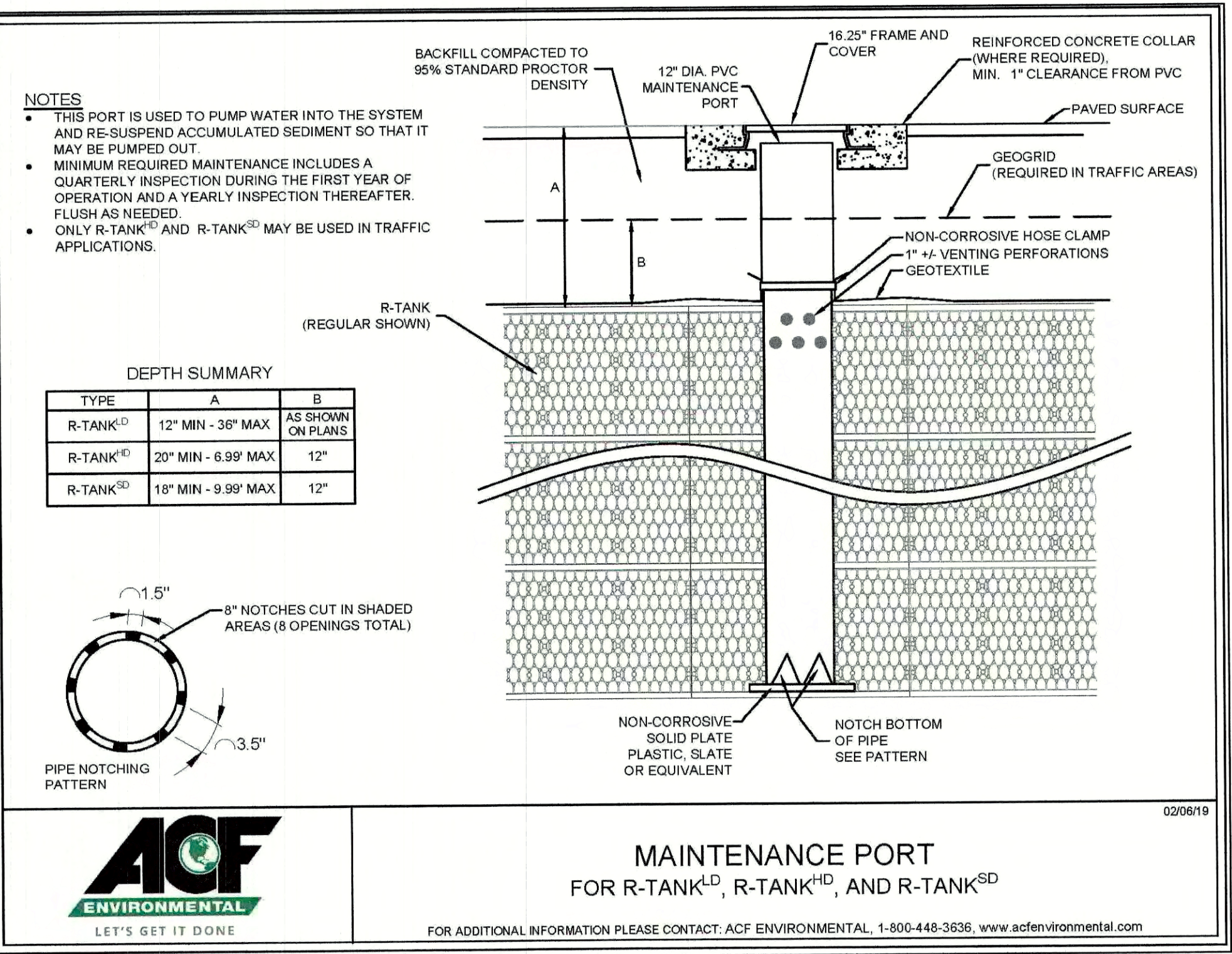
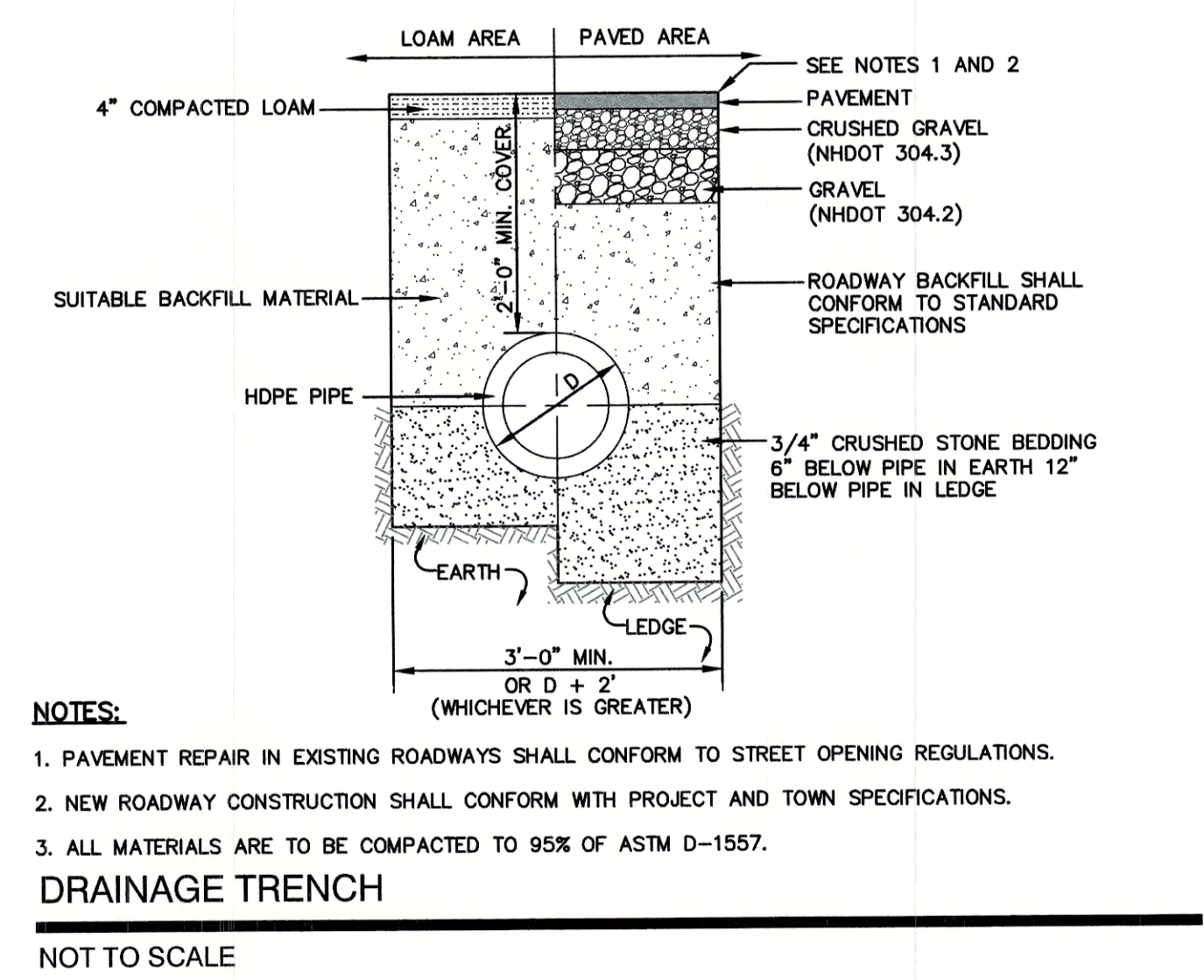
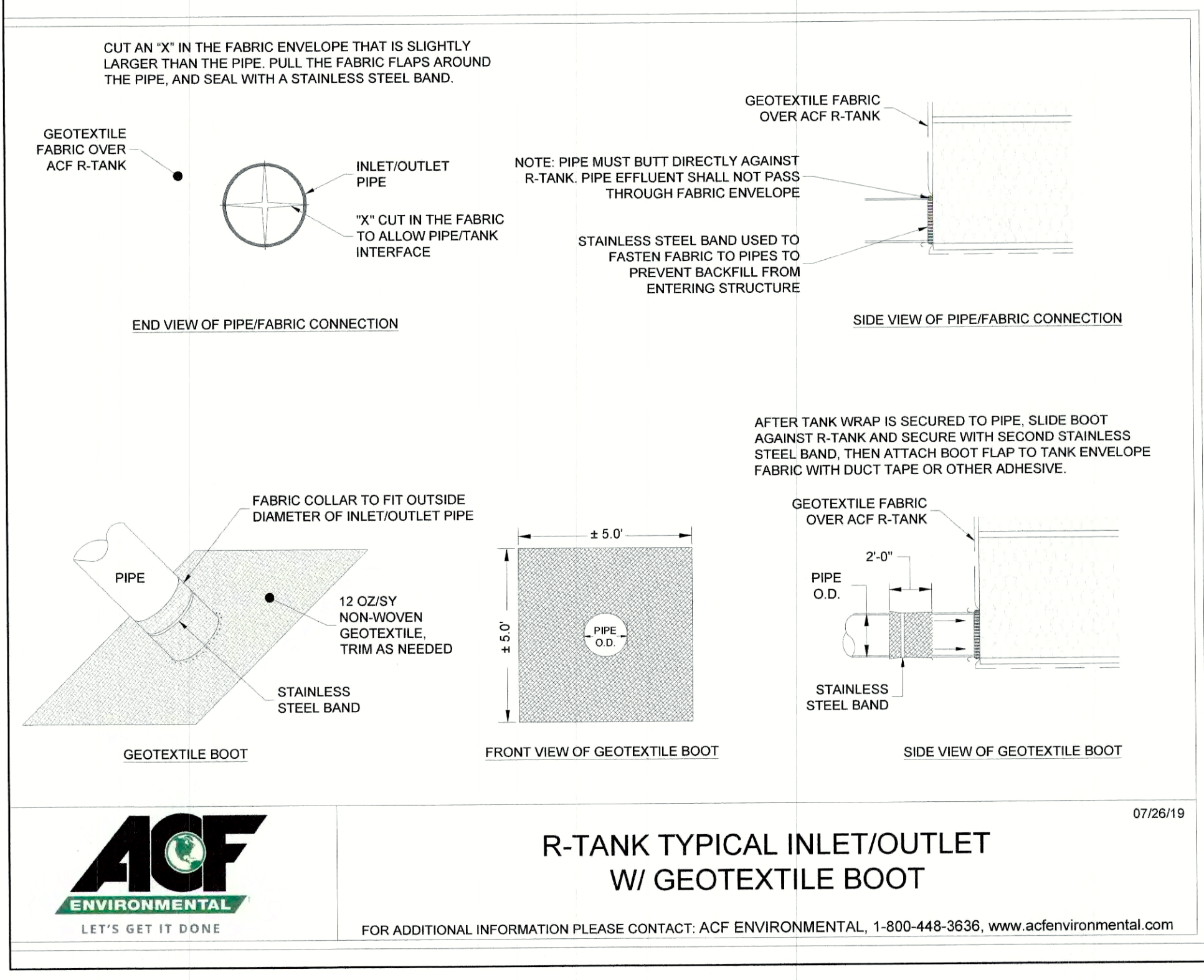
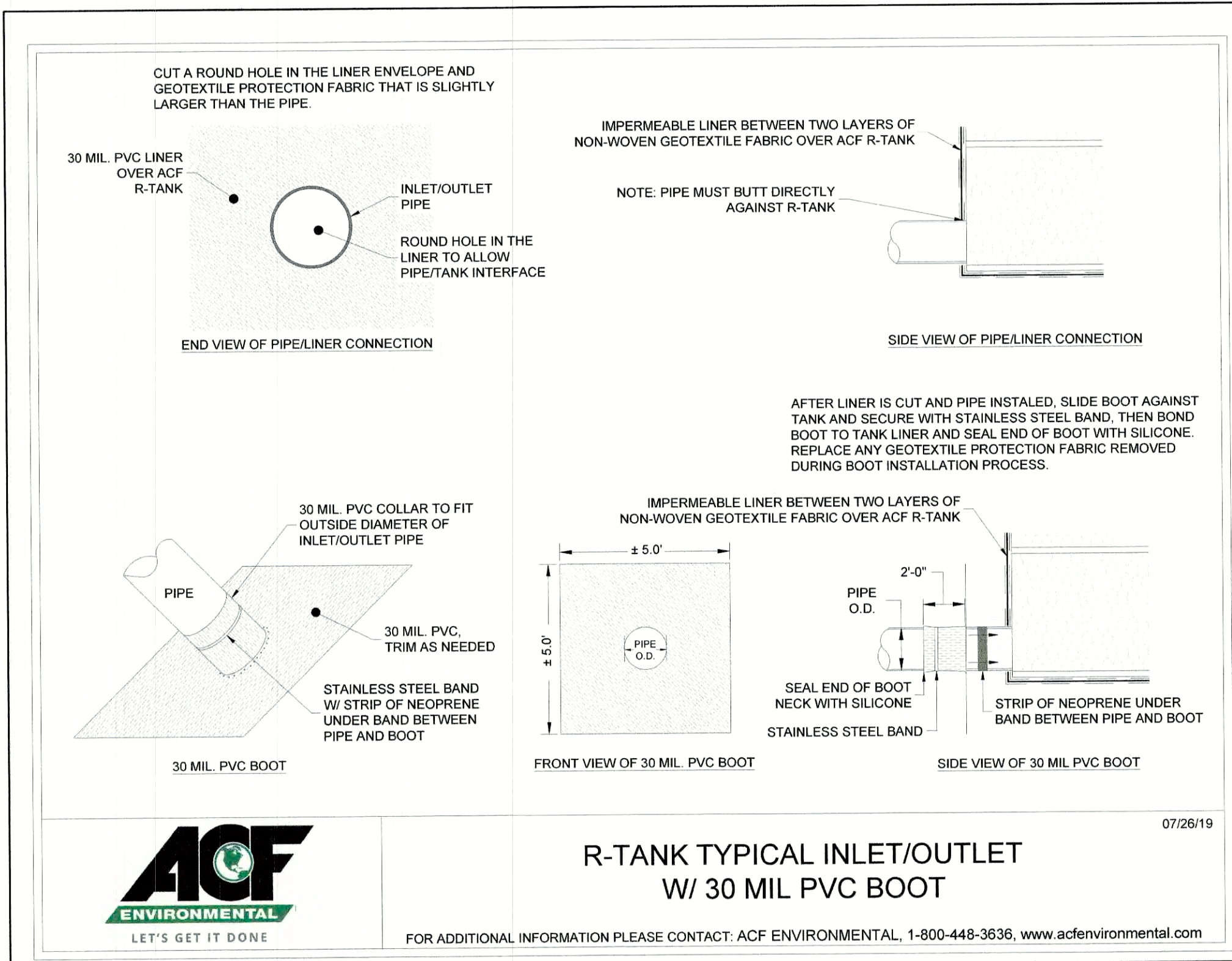
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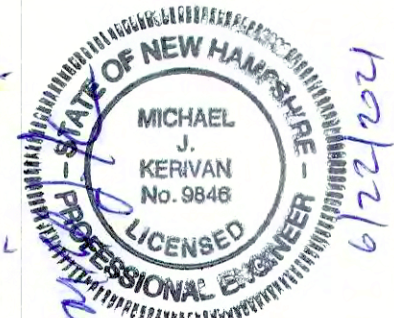
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SHEET 11 OF 24  
JBE PROJECT NO. 19190.2



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REV.	DATE	REVISION	BY

Designed and Produced in NH

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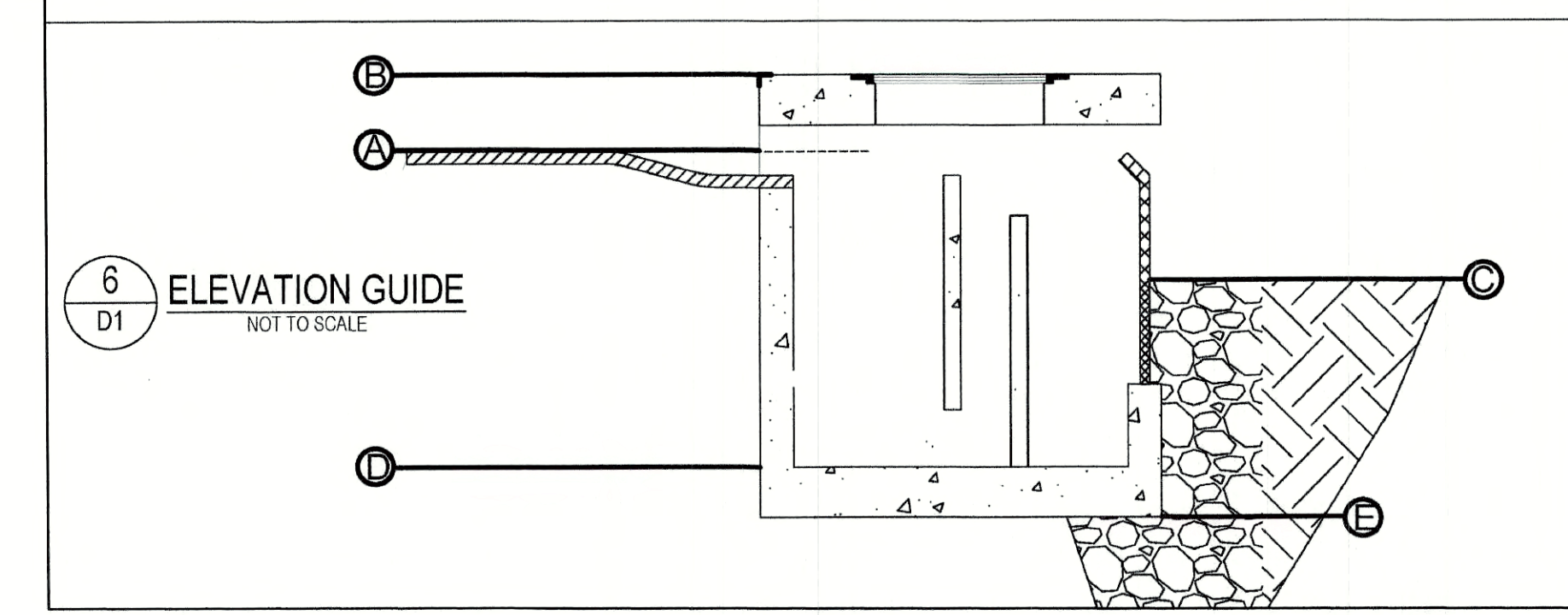
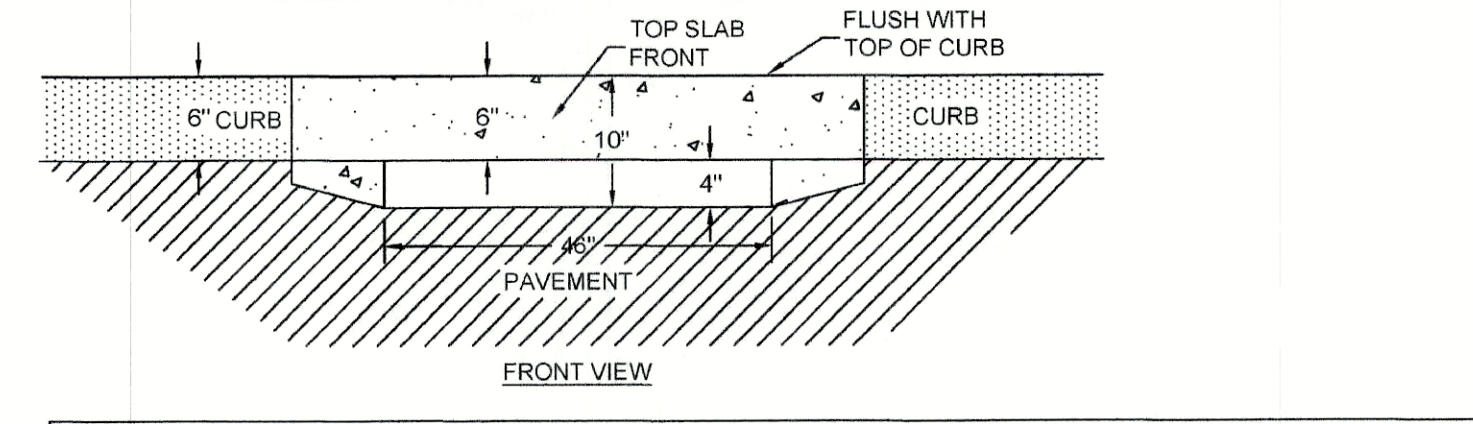
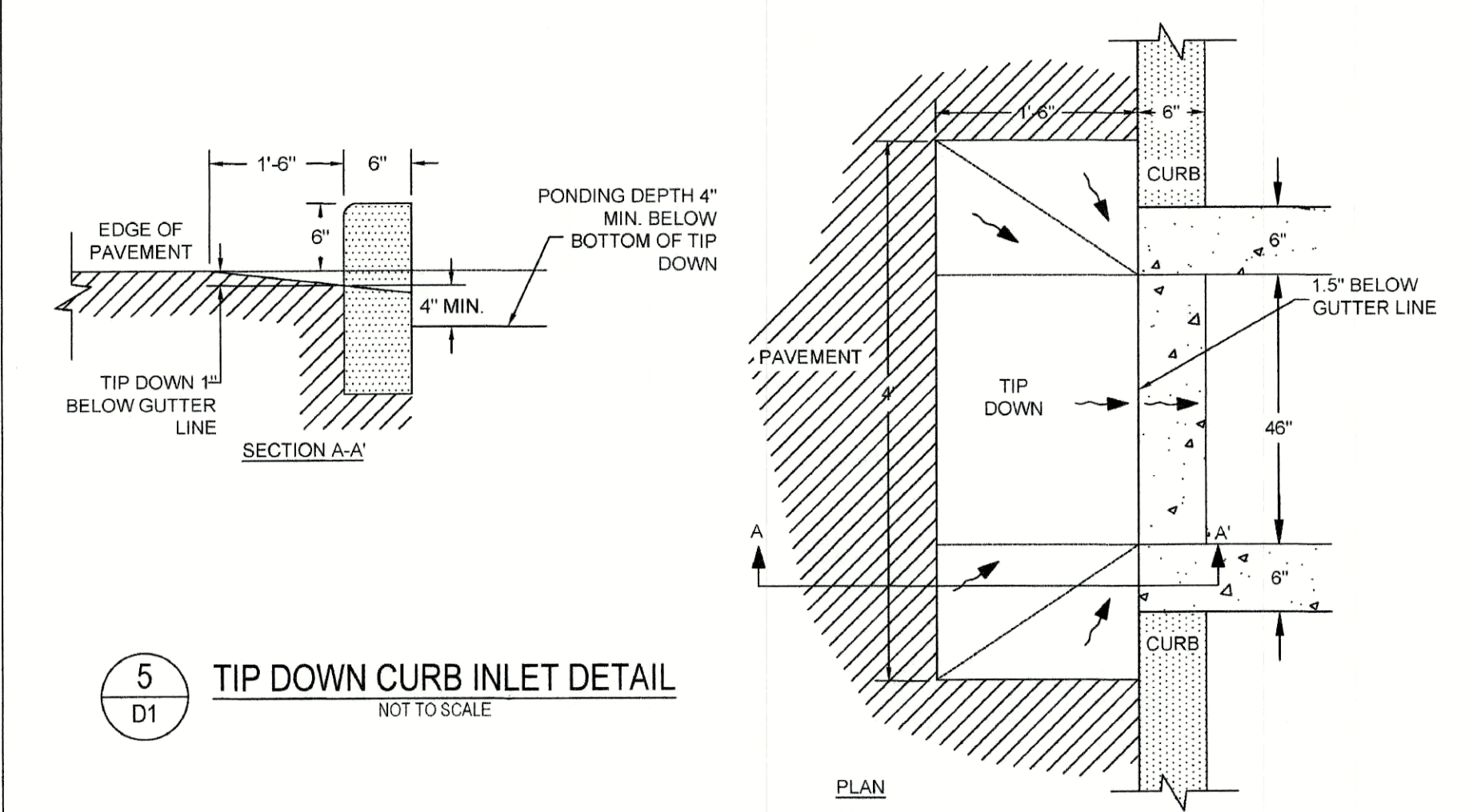
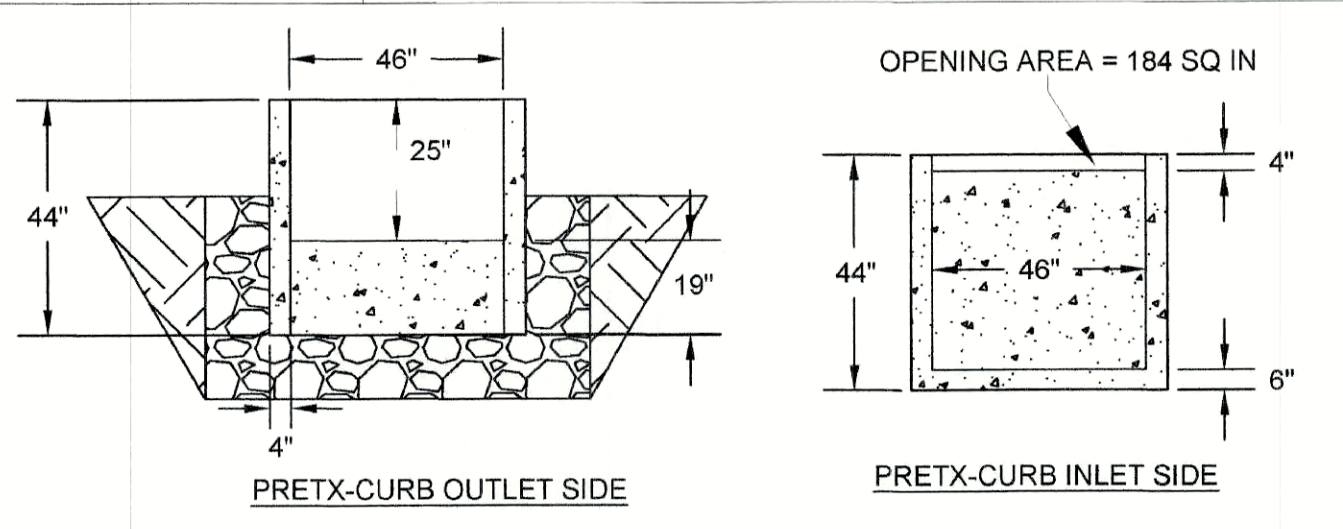
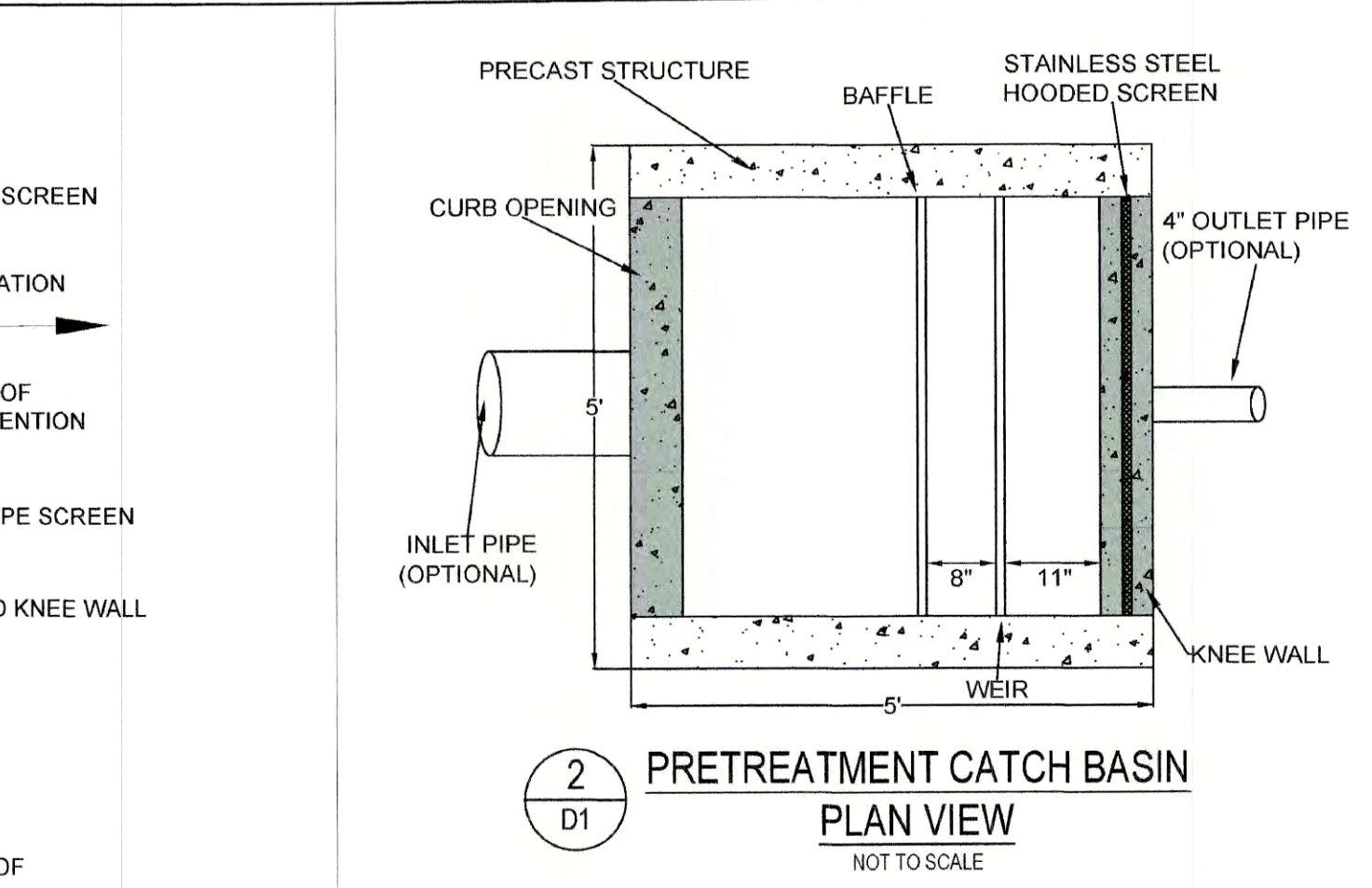
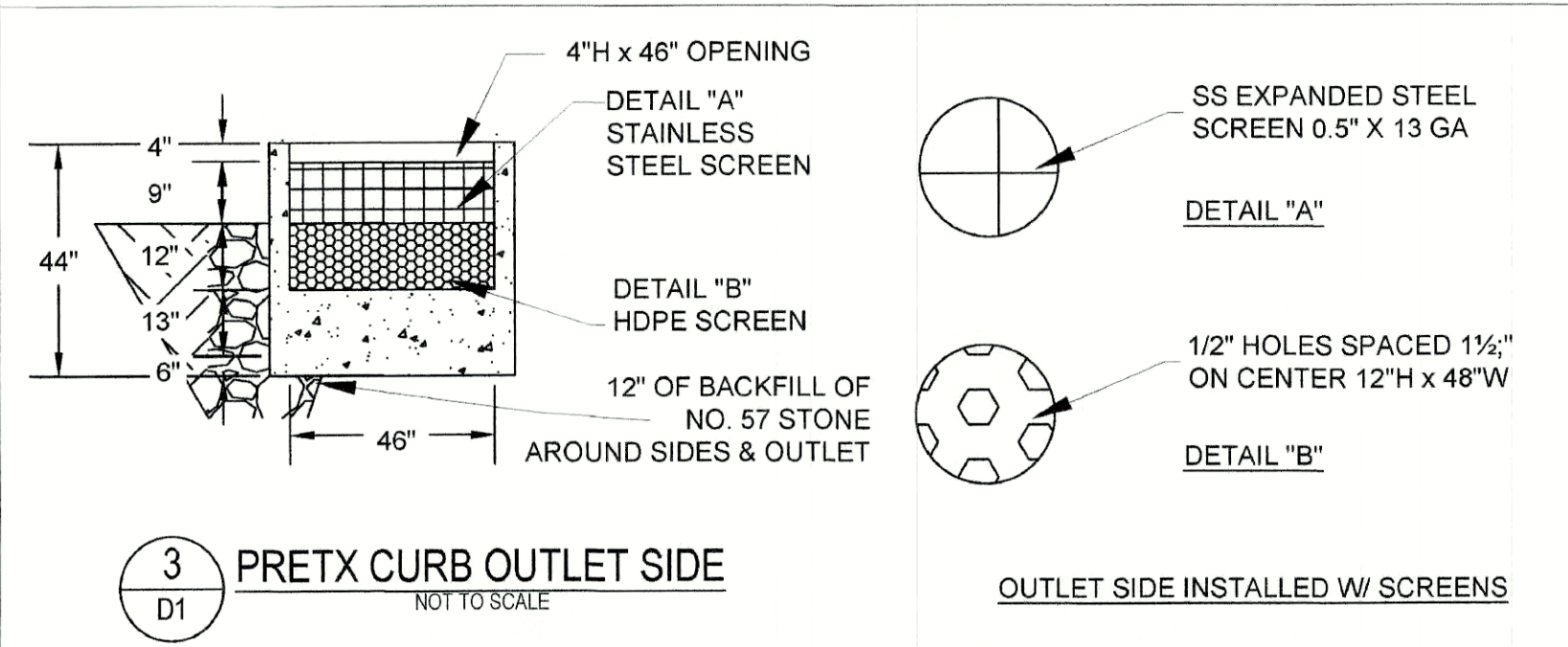
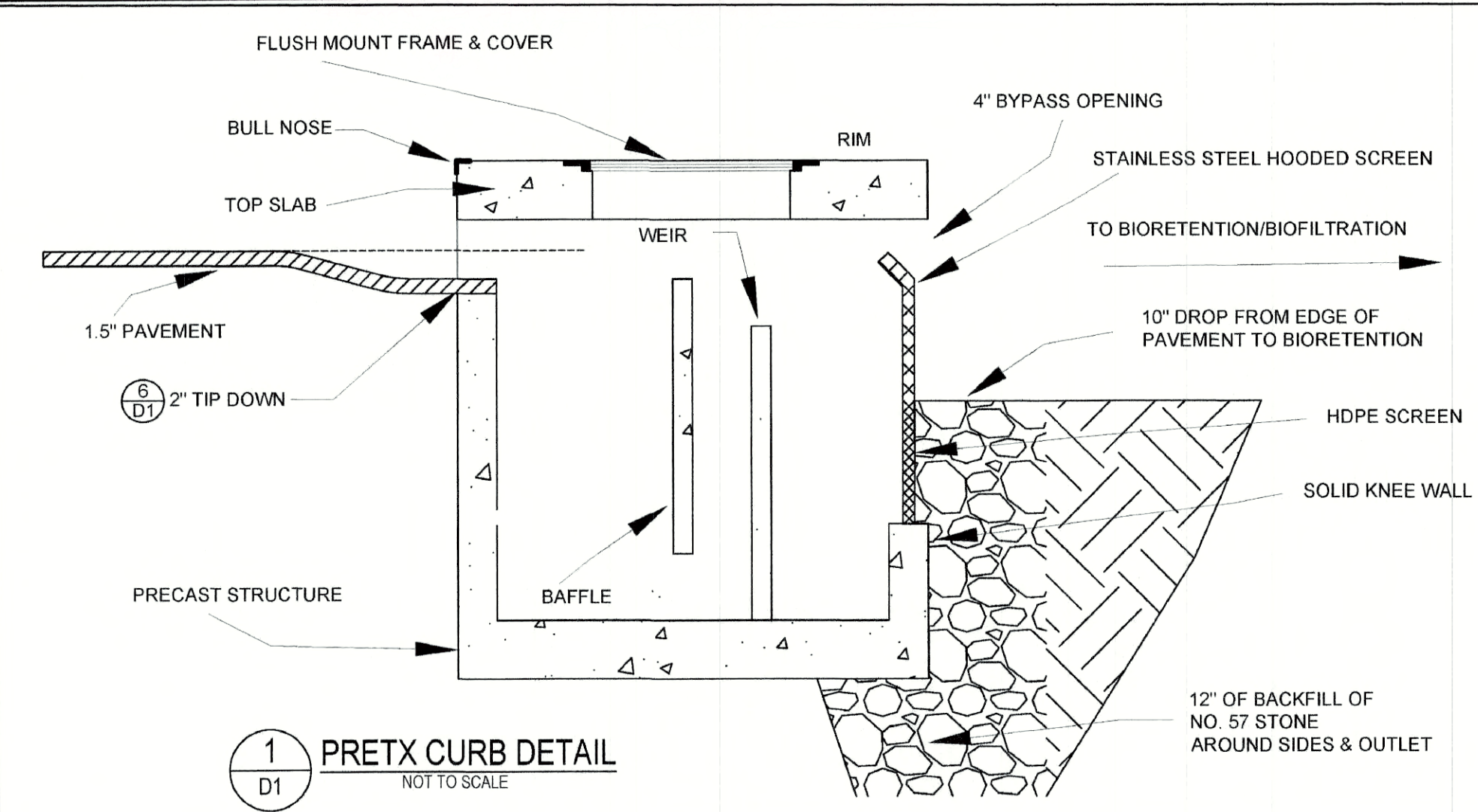
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DRAWING No.

**D3**

SHEET 12 OF 24  
JBE PROJECT NO. 19190.2

- PRETX SPECIFICATIONS**
- A. GENERAL**
1. PRETX SYSTEMS ARE A PRE-FILTER AND CRITICAL MAINTENANCE DEVICE THAT EXTENDS THE OPERATING LIFE AND REDUCES THE MAINTENANCE BURDEN OF BIORETENTION SYSTEMS, RAIN GARDENS, BIOSWALES AND OTHER TYPES OF SURFACE BEST MANAGEMENT PRACTICES BY FILTERING OUT SEDIMENT, TRASH AND DEBRIS AT THE INLET.
- B. PRODUCTS**
1. PRETX IS AVAILABLE IN 3 MODELS THAT MANAGE MOST BIORETENTION INLET CONFIGURATIONS: CURB, DROP, AND IN-LINE.
2. PRETX-CURB IS FOR EDGE OF PAVEMENT RUNOFF AT A CURB CUT IN LIEU OF A STONE SPREADER.
3. PRETX-DROP IS FOR USE AS A DROP INLET CONFIGURATION ALONG A CURB LINE AND WOULD BE INSTALLED WITH A STANDARD DROP INLET GRATE.
4. PRETX-IN-LINE IS FOR USE WITH SUBSURFACE INLET AND OUTLET PIPE.
5. PRETX IS SIZED TO PRETREAT WATER QUALITY FLOWS AND BYPASS LARGER FLOWS THAT HAVE MINIMAL TRASH AND DEBRIS. PRETX CAN BE USED BOTH IN RETROFIT OR NEW INSTALLATIONS.
6. ACCEPTABLE SYSTEM SUPPLIER:  
CONVERGENT WATER TECHNOLOGIES, INC. OR ITS AUTHORIZED VALUE-ADDED RESELLER  
(800) 711-5428  
WWW.CONVERGENTWATER.COM
- C. SUBMITTALS**
1. SUBMIT PROPOSED LAYOUT DRAWINGS. DRAWINGS SHALL INCLUDE TYPICAL SECTION DETAILS ANNOTED WITH SYSTEM ELEVATIONS (E.G., RIM, PIPE INVERTS, OUTSIDE BOTTOM OF STRUCTURE, ETC.).
2. SUBMIT MATERIAL CERTIFICATES FOR FRAMES AND COVERS.
3. ANY PROPOSED EQUAL ALTERNATE PRODUCT SUBSTITUTION TO THIS SPECIFICATION MUST BE SUBMITTED FOR REVIEW AND APPROVED PRIOR TO BID OPENING.
- D. EXECUTION**
1. ALL PUBLIC STORM DRAINAGE SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS AND ACCORDING TO LOCAL MUNICIPAL REGULATIONS.
2. ALL STORM DRAINAGE SYSTEM CONSTRUCTION IS SUBJECT TO INSPECTION AND APPROVAL BY THE PROJECT ENGINEER.
3. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER A MINIMUM OF TWO FULL BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND OBTAINING APPROVAL FROM DIG-SAFE AND DETERMINING THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION/EXCAVATION AND SHALL NOTIFY THE PROJECT ENGINEER OF ANY POTENTIAL CONFLICTS.
5. TO PROTECT STORMWATER FLOW CONTROL AND QUALITY TREATMENT FACILITIES FROM SEDIMENTATION, THEY SHALL BE CONNECTED TO THE STORM CONVEYANCE SYSTEM ONLY AFTER ALL SITE WORK, ROAD CONSTRUCTION, UTILITY WORK AND LANDSCAPING ARE IN PLACE IN ALL AREAS ABOVE AND UPSTREAM OF THE FACILITY.
6. THE EXISTING STORM SEWER SYSTEM SHALL STAY ISOLATED FROM THE NEW SYSTEM UNTIL THE NEW SYSTEM IS CLEANED, AND APPROVED FOR USE. THERE SHALL BE NO DEBRIS IN THE LINES OR FURTHER CLEANING WILL BE REQUIRED PRIOR TO ACCEPTANCE.
7. PROVIDE A 1/2" MINIMUM GAP BETWEEN THE KNOCKOUT WALL AND THE OUTSIDE OF THE PIPE. AFTER THE PIPE IS INSTALLED, FILL THE GAP WITH JOINT MORTAR.
8. THE OPENING SHALL BE MEASURED AT THE TOP OF THE PRECAST BASE SECTION.
9. ALL PICKUP HOLES SHALL BE GROUTED FULL AFTER THE BASIN HAS BEEN PLACED.
10. STANDARD CURB INLETS AND TIPODWS SHALL BE PRECAST CONCRETE OR ASPHALT.
11. PIPE ENDS SHALL BE FLUSH WITH THE INNER WALL OR 2" MAXIMUM INTRUSION. MASONRY, CINDER BLOCKS, OR SIMILAR MATERIALS MAY BE USED TO ADJUST THE RISERS TO GRADE PRIOR TO GROUTING.
12. GROUTING SHALL BE SUFFICIENT TO PREVENT LEAKS BETWEEN THE PRECAST COMPONENTS OF THE COMPLETED STRUCTURE & SHALL BE PERFORMED INSIDE, BETWEEN & OUTSIDE OF ALL RISERS, JOINTS & PIPE PENETRATIONS.
13. MANHOLES TO BE CONSTRUCTED IN ACCORDANCE WITH AASHTO M-108 UNLESS OTHERWISE SHOWN ON PLANS OR NOTED IN THE STANDARD SPECIFICATIONS.
14. ALL REINFORCED CAST IN PLACE CONCRETE SHALL BE CLASS-4000. ALL PRECAST CONCRETE SHALL BE CLASS 4000.
15. PRECAST BASES SHALL BE FURNISHED WITH CUTOUTS OR KNOCKOUTS. KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2" MINIMUM.
16. MATING SURFACES OF MANHOLE RINGS AND COVERS SHALL BE FINISHED TO ASSURE NON-ROCKING FIT WITH ANY COVER POSITIONS.
- E. CONSTRUCTION AND SEQUENCING**
1. EXAMINATION
- A. VERIFY LAYOUT AND ORIENTATION OF PRE-TX SYSTEM AREA INCLUDING EDGE OF PAVEMENT, TIP DOWN, CURBS AND SIDEWALK, BIOPFILTRATION SYSTEM, AND CONNECTIONS.
- B. VERIFY EXCAVATION BASE IS READY TO RECEIVE WORK AND EXCAVATIONS, DIMENSIONS, AND ELEVATIONS ARE AS INDICATED ON DRAWINGS.
2. PREPARATION
- A. CALL DIG SAFE AND RECEIVE APPROVAL BEFORE PERFORMING WORK.
- B. REQUEST UNDERGROUND UTILITIES TO BE LOCATED AND MARKED WITHIN AND SURROUNDING CONSTRUCTION AREAS.
- C. IDENTIFY REQUIRED LINES, LEVELS, CONTOURS, AND DATUM.
- D. CLEAR AND GRUB THE PROPOSED PRE-TX SYSTEM AREA.
3. EXCAVATION AND INSTALLATION
- A. THE FOLLOWING CONSTRUCTION SEQUENCE IS TO BE USED AS A GENERAL GUIDELINE. COORDINATE WITH THE OWNER, AND ENGINEERS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- B. INSTALL TEMPORARY EROSION AND SEDIMENT CONTROLS TO DIVERT STORM WATER AWAY FROM THE PRE-TX SYSTEM AREA.
- C. EXCAVATE TO THE BOTTOM INVERT OF THE SYSTEM.
- D. TO MINIMIZE COMPACTION OF ADJACENT BIOPFILTRATION SYSTEMS, WORK EXCAVATORS OR BACKHOES FROM THE SIDES TO EXCAVATE THE PRE-TX SYSTEM AREA TO ITS APPROPRIATE DESIGN DEPTH AND DIMENSIONS.
- E. ROUGH GRADE THE PRE-TX SYSTEM AREA DURING GENERAL CONSTRUCTION. EXCAVATE THE PRE-TX SYSTEM FACILITIES TO WITHIN 1 FOOT OF STRUCTURE BOTTOM.
- F. PLACE 1 FOOT BED OF COARSE STONE TO ELEVATION OF BASE OF STRUCTURE.
- G. ESTABLISH ELEVATIONS FOR ADJACENT CURBS, EDGE OF PAVEMENT AND TIP DOWN, SIDEWALK, PIPE INVERTS FOR INLETS AND OUTLETS AS INDICATED ON DRAWINGS.
4. INSTALLATION
- A. PLACE THE PRECAST SYSTEM TO NECESSARY ELEVATION.
- B. VERIFY ELEVATIONS FOR ADJACENT CURBS, EDGE OF PAVEMENT, PAVEMENT GRADING FOR INLET GRATE FOR PRETX-DROP, SIDEWALK, PIPE INVERTS FOR INLETS AND OUTLETS, OUTLET INVERT FOR KNEE WALL.
- C. FOR PRETX-SURFACE
- a. VERIFY ELEVATIONS FOR ADJACENT CURBS.
- b. VERIFY EDGE OF PAVEMENT TIP DOWN PAVEMENT GRADING FOR INLET GRATE.
- c. VERIFY CURB ELEVATION IN RELATION TO PAVEMENT AND TIP DOWN.
- d. VERIFY OUTLET INVERT FOR KNEE WALL IN RELATION TO FILTER MEDIA.
- D. FOR PRETX-DROP
- a. VERIFY ALL INLET PIPES ENTER THE STRUCTURE UPSTREAM OF BAFFLE.
- b. VERIFY FRAME AND GRATE OFFSET ON INLET SIDE AND UPSTREAM OF BAFFLE.
- c. VERIFY CURB LOCATION WITH RESPECT TO FRAME AND GRATE ORIENTATION.
- E. INSTALL BAFFLES, WEIR, AND SCREENS AS INDICATED ON DRAWINGS.
- F. VERIFY MAINTENANCE ACCESS THROUGH GRATE OR COVER AND CLEARANCE FOR VACTOR.
- G. INSTALL TOP OF STRUCTURE LEVEL WITH ADJACENT CURB OR SIDEWALK AS PER MANUFACTURERS SPECIFICATIONS. ENGINEER FIELD VISIT REQUIRED PRIOR TO BACKFILLING.
5. BACKFILLING
- A. BACKFILL WITH APPROVED SOIL AND STONE TO THE DESIGN GRADE AS SPECIFIED IN THE DRAWINGS.
- B. BACKFILL WITH 12" OF NO. 57 STONE AROUND REAR, LEFT, AND RIGHT SIDES TO LEVEL WITH TOP OF HOPE SCREEN.
- C. BACKFILL WITH BIORETENTION SOIL MIX BEYOND STONE BACKFILL TO EQUAL ELEVATION OF THE TOP OF HOPE SCREEN.
- D. DO NOT BACKFILL SOIL OR STONE AGAINST STAINLESS SCREEN.
- E. DO NOT COMPACT ADJACENT FILTRATION SYSTEM SOIL WITH MECHANICAL EQUIPMENT.
- F. STABILIZE ALL REMAINING DISTURBED AREAS AND SIDE SLOPES WITH SEEDING, HYDROSEEDING, AND/OR EROSION CONTROL BLANKETS AS INDICATED ON DRAWINGS.
6. CLEAN UP
- A. AFTER COMPLETION OF THE WORK, REMOVE AND PROPERLY DISPOSE ALL DEBRIS, CONSTRUCTION MATERIALS, RUBBISH, EXCESS SOIL, ETC., FROM THE PROJECT SITE. REPAIR PROMPTLY ANY IDENTIFIED DEFICIENCIES AND LEAVE THE PROJECT SITE IN A CLEAN AND SATISFACTORY CONDITION.



PRETX-CURB ELEVATION GUIDE		
POINT	DESCRIPTION	ELEV.
A	EDGE OF PAVEMENT	PER PLAN
B	OUTSIDE TOP SLAB	8" ABOVE A
C	TOP OF BIOPFILTRATION	PER PLAN
D	SUMP INVERT	36" BELOW A
E	OUTSIDE BOTTOM	42" BELOW A

**D-1 PRETX™ CURB INLET PRETREATMENT DETAIL**



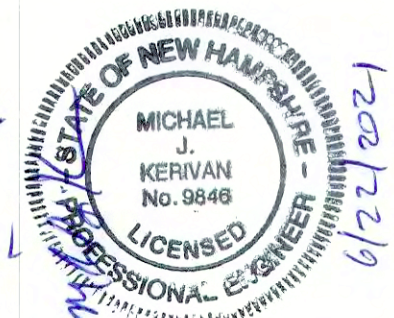
TO FIND A VALUE ADDED RESELLER IN YOUR AREA VISIT  
WWW.CONVERGENTWATER.COM/STORMWATER-PRODUCTS  
OR CONTACT CONVERGENT WATER TECHNOLOGIES AT  
1.800.711.5428



REVISED 11/20/18. ELEVATION DETAILS ADDED. CHECKED BY RR

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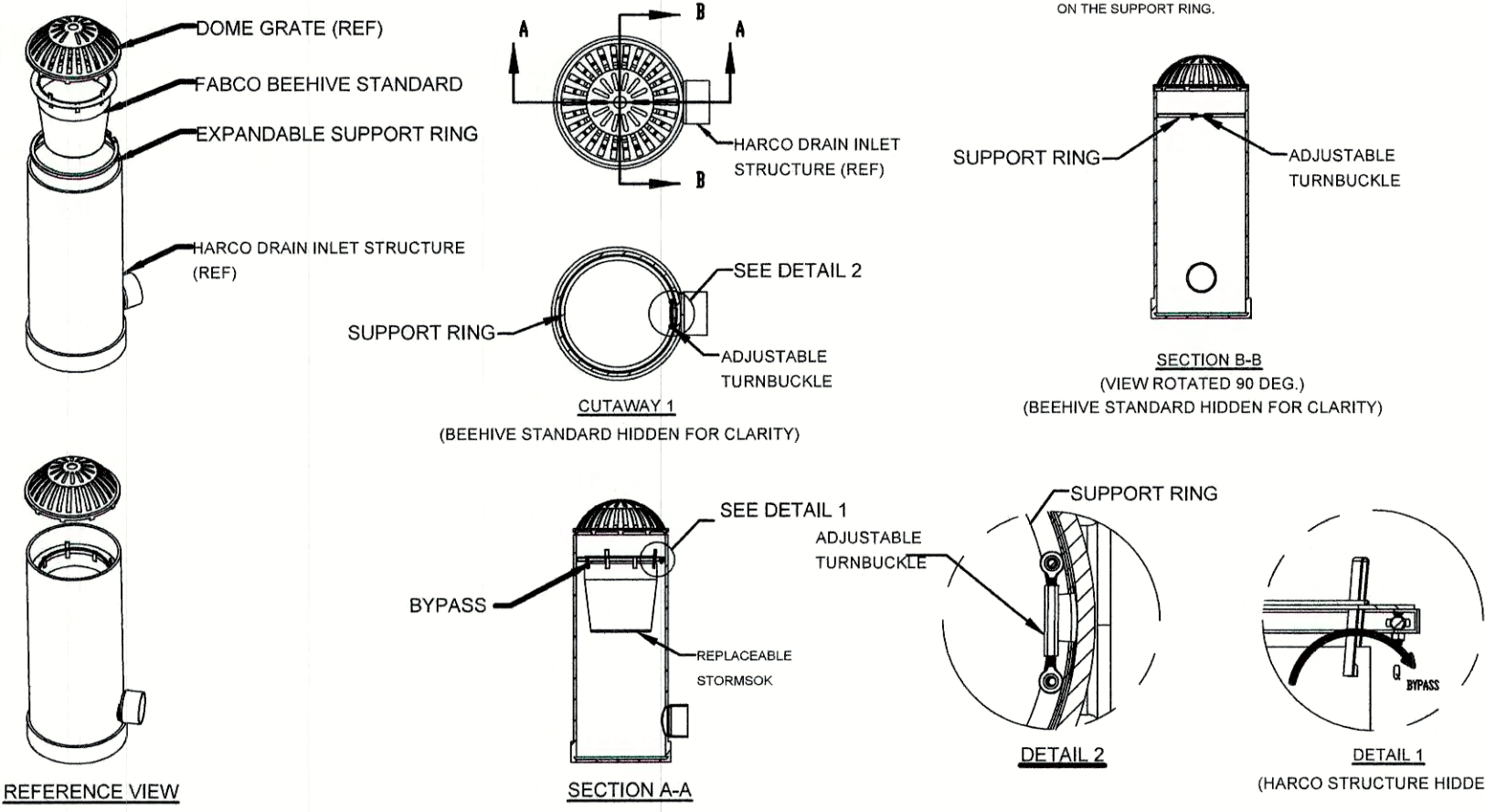
**D4**

SHEET 13 OF 24  
JBE PROJECT NO. 19190.2

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STRUCTURE DIAMETER (IN.)	DEBRIS CAPACITY (CU.FT.)	FILTERED FLOWRATE (CFS)	BYPASS FLOWRATE (CFS)
12	0.66	1.7	1.0
15	1.0	2.1	1.3
18	1.2	2.3	1.4
24	2.8	3.9	2.2
30	2.8	3.9	2.2

NOTES:  
 1. MATERIAL:  
 A) SUPPORT FLANGE: ALUMINUM ALLOY PLATE, 5000 SERIES  
 B) STORMSOK: NOVOL POLYPROPYLENE GEOTEXTILE  
 C) EXPANSION RING: ALUMINUM ALLOY CHANNEL, 8000 SERIES  
 D) HARDWARE: STAINLESS STEEL  
 2. RECOMMENDED MINIMUM VAULT DEPTH: 3-IN BELOW STORMSOK  
 3. USE ONLY WITH FABCO REPLACEABLE STORMSOK  
 GENERAL INSTALLATION:  
 ADJUST THE TURNBUCKLE DOWN TO GIVE THE SMALLEST RING DIAMETER AND LOCATE THE EXPANSION RING INTO THE HARCO STRUCTURE MINIMUM OF 1/4" DOWN FROM THE TOP OPENING AS SHOWN. BEGIN OPENING THE TURNBUCKLE UNTIL THE EXPANSION RING IS SELF SUPPORTING. THEN VERIFY THE RING IS LEVEL AND PLUMB TO THE HARCO STRUCTURE. USING A CALIBRATED TORQUE WRENCH, CONTINUE TO OPEN THE TURNBUCKLE TO GIVEN TORQUE (MODEL-SPECIFIC). DO NOT OVER TIGHTEN. INSTALL THE STORMSOK ASSEMBLY DIRECTLY ON THE SUPPORT RING.



ACF BEEHIVE OVERFLOW FILTER STRUCTURE DETAILS

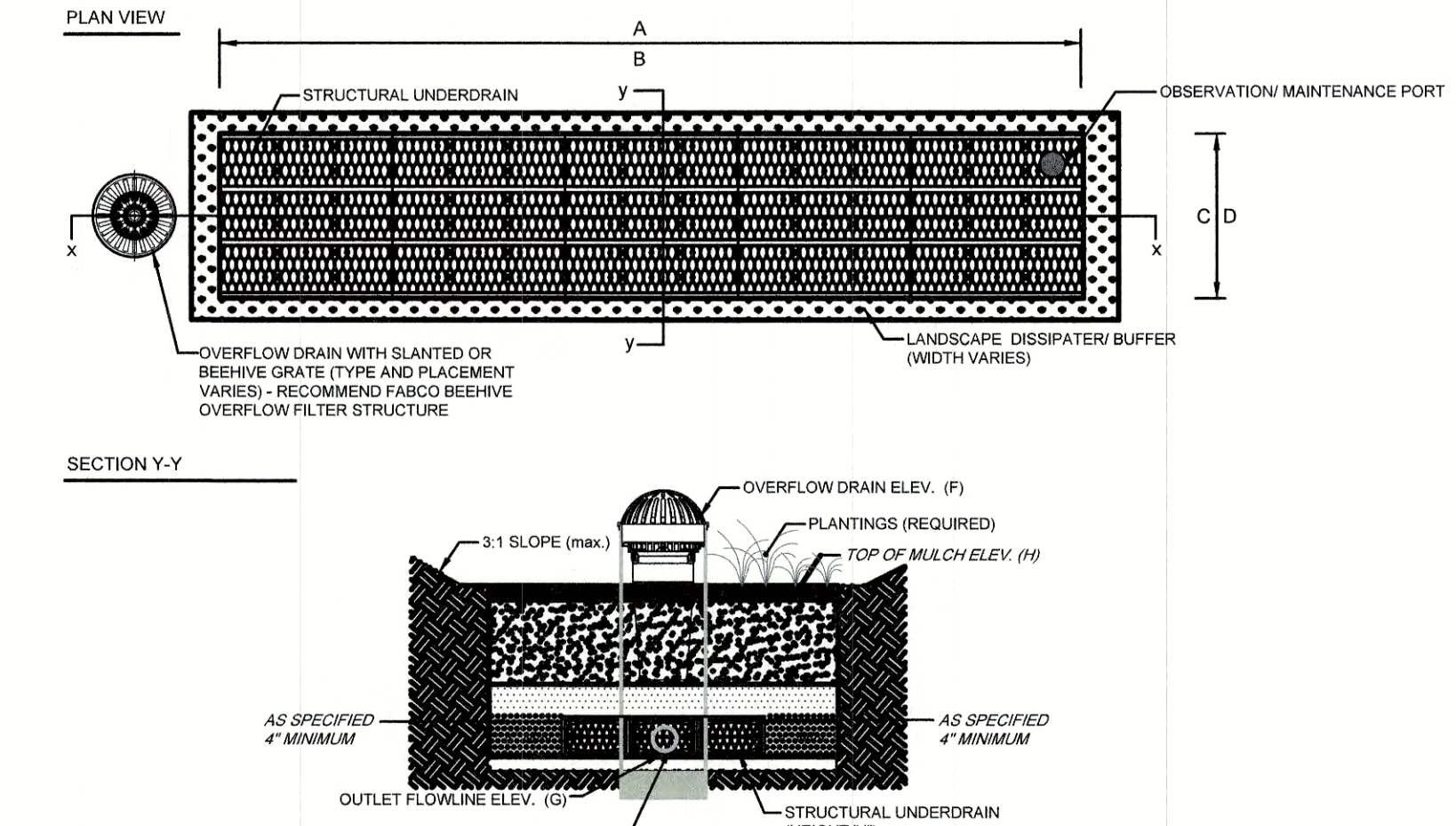
FOR MORE INFORMATION CONTACT ACF ENVIRONMENTAL  
 WWW.ACFENVIRONMENTAL.COM  
 800.448.3636

**FocalPoint**  
 SPECIALIZATION IN SITEWORK

REVISED AUG 2020

FOCALPOINT HP PERFORMANCE SPECIFICATION:  
 HIGH PERFORMANCE MEDIA  
 HIGH PERFORMANCE MEDIA MUST MEET A MINIMUM OF 100" PER HOUR INFILTRATION RATE.  
 HIGH PERFORMANCE STRUCTURAL UNDERDRAIN  
 MUST HAVE A MINIMUM OF 19 SQUARE INCHES OF ORIFICE OPENING PER SQUARE FOOT. MUST MEET H2O LOADING REQUIREMENTS. MUST BE MODULAR IN NATURE AND ASSEMBLED ON SITE. MUST HAVE MINIMUM 80% INTERIOR VOID SPACE.  
 PLANT COMPONENT  
 SUPPLIER SHALL PROVIDE LIST OF ACCEPTABLE PLANTS.  
 IF PLANTS ARE NOT INCLUDED IN THE LANDSCAPE CONTRACT PLANS, SITE CONTRACTOR SHALL PROVIDE PLANTS. PLANTS SHALL BE INSTALLED AT THE TIME THE SYSTEM IS COMMISSIONED FOR USE. PLANTING OUTSIDE THIS TIME REQUIRES APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT OF RECORD.  
 SEE FOCALPOINT INSTALLATION GUIDE FOR PLANT SPACING, PLANTING PROCEDURES ETC.

FOCALPOINT HP CONSTRUCTION GUIDE		
A	FOCALPOINT LENGTH	SEE PLANS
B	# UNDERDRAIN LONG	SEE PLANS
C	FOCALPOINT WIDTH	SEE PLANS
D	# UNDERDRAIN WIDE	SEE PLANS
E	WATER QUALITY VOLUME	VARIES
F	OVERFLOW ELEVATION	SEE PLANS
G	OUTLET FLOWLINE	SEE PLANS
H	TOP OF MULCH	SEE PLANS
I	TOP OF GABION (OPTIONAL)	NO GABION
J	UNDERDRAIN HEIGHT	SEE PLANS

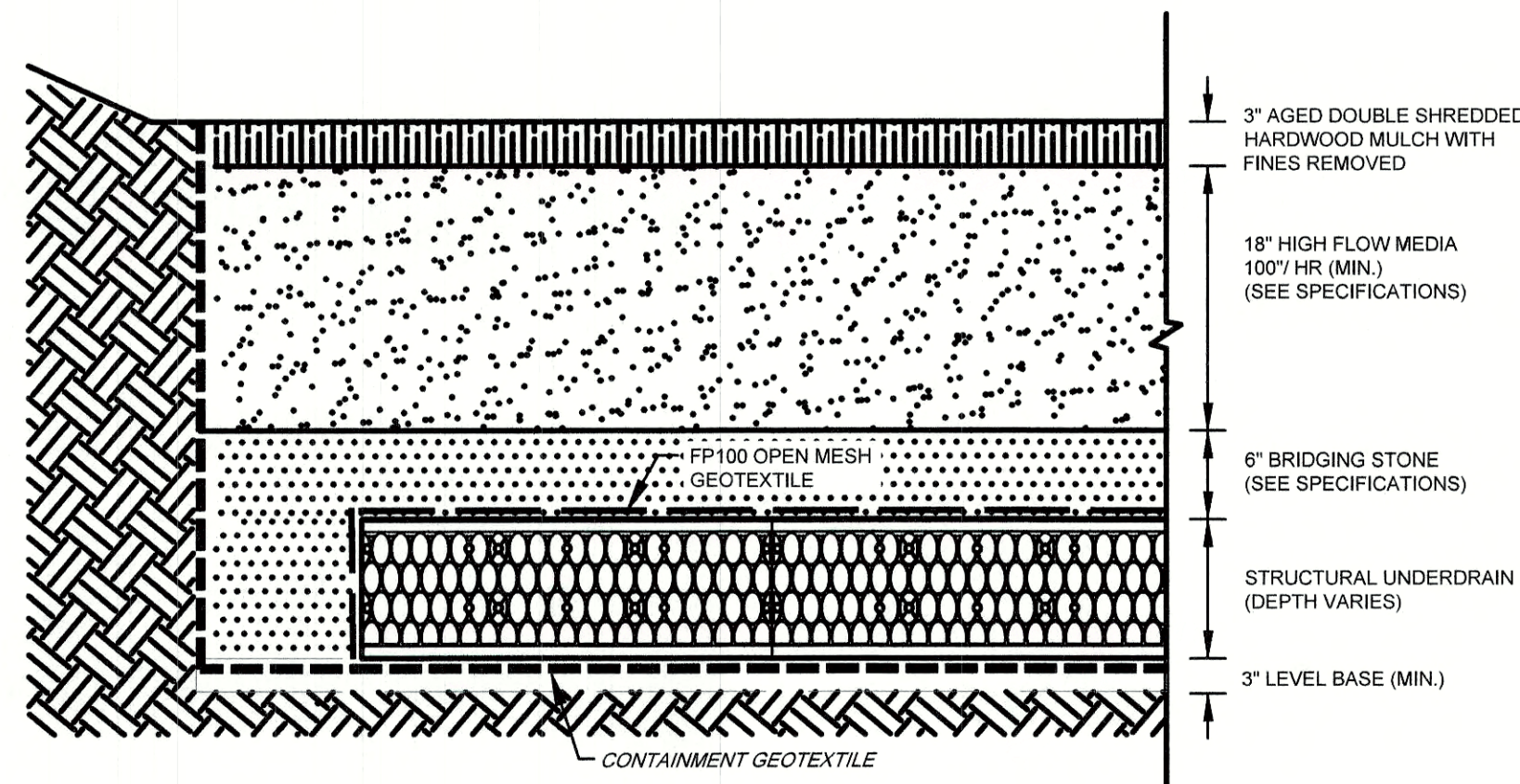


FOCALPOINT HP CONSTRUCTION GUIDE

FOR MORE INFORMATION CONTACT ACF ENVIRONMENTAL  
 WWW.ACFENVIRONMENTAL.COM  
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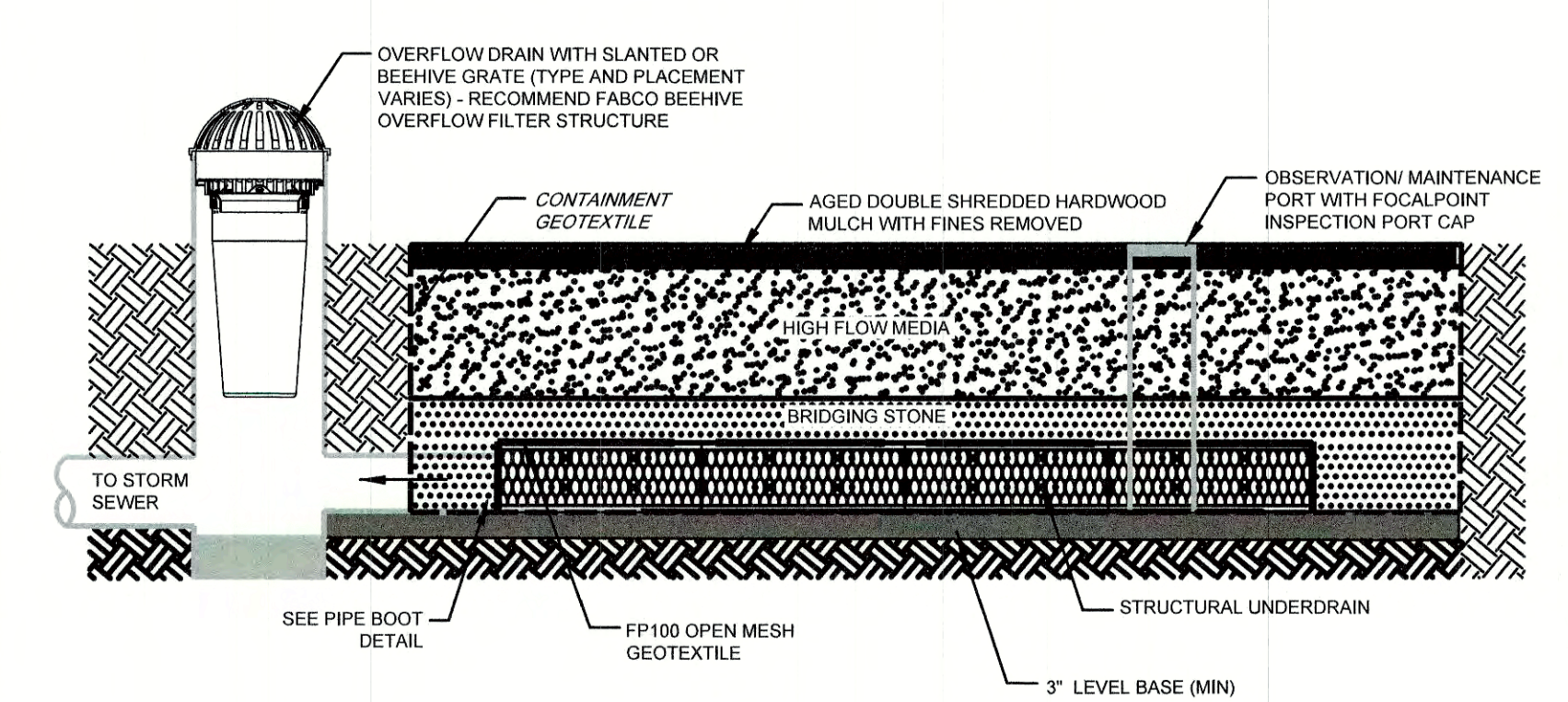


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REVISED AUG 2020

Design: JAC	Draft: DJM	Date: 04/21/20
Checked: JAC	Scale: AS NOTED	Project No.: 19190.2
Drawing Name: 19190-PLAN-NEW-LAYOUT.dwg		
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13	6/23/21	REVISED PER CITY COMMENTS	DJM
12	5/18/21	REVISED PLANTINGS PER NHB	DJM
11	5/17/21	ISSUED REVISED PLANS TO TAC	DJM
10	5/10/21	ISSUED REVISED PLANS FOR PRELIMINARY PB CONSULTATION	DJM
9	3/9/21	REVISED CONCEPTUAL LAYOUT	DJM

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**  
 Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

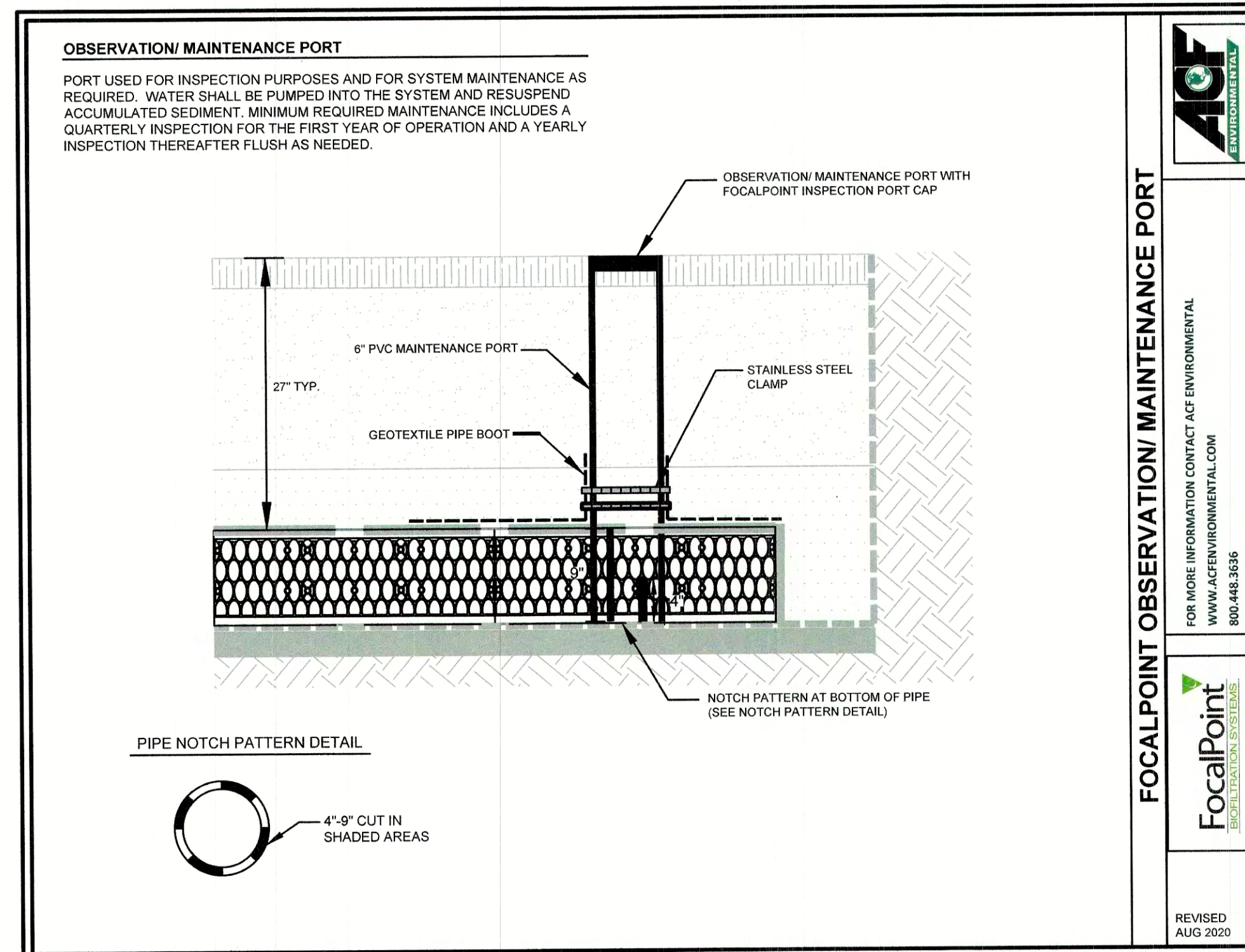
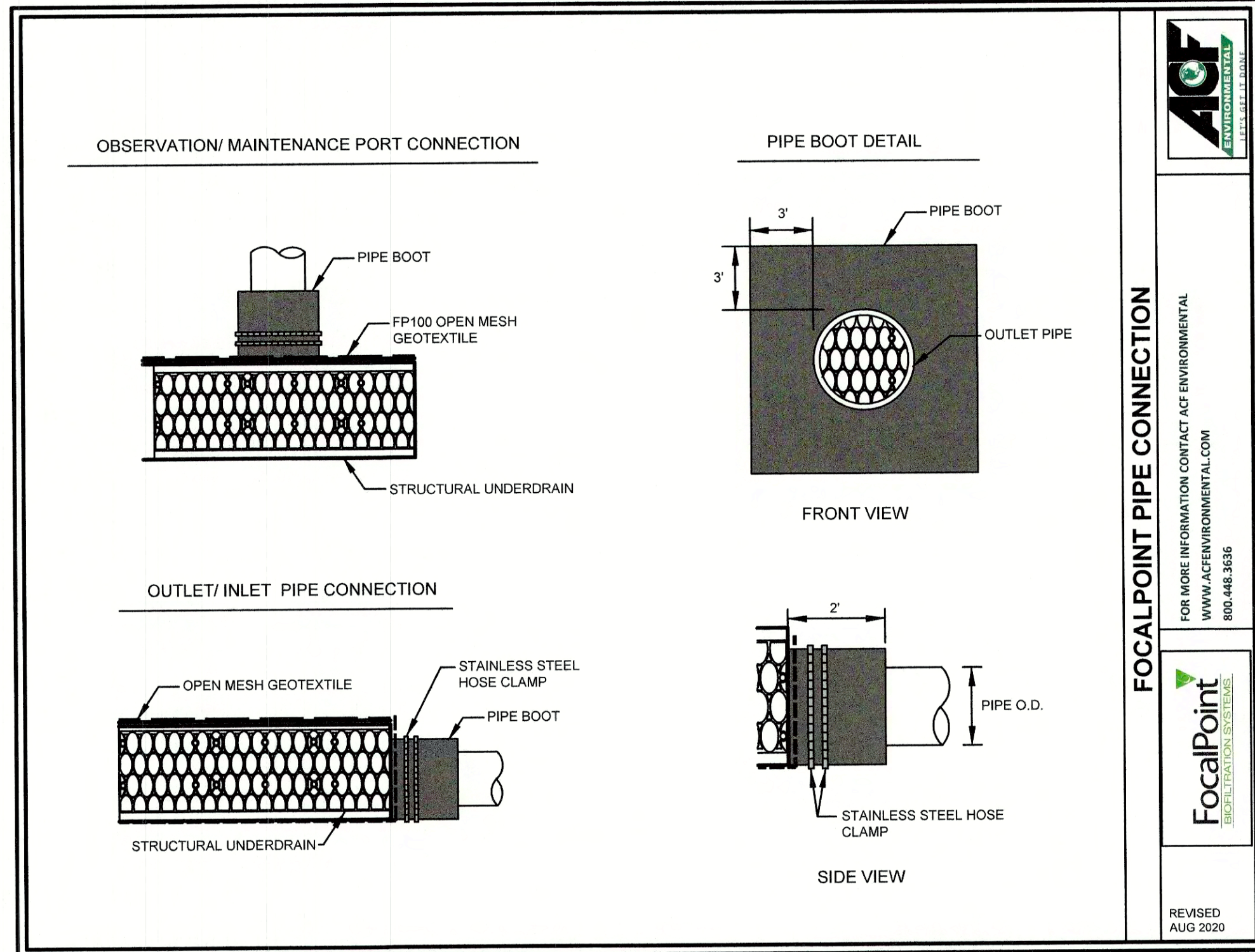
Plan Name:	DETAIL SHEET
Project:	INDUSTRIAL WAREHOUSE 375 BANFIELD ROAD, PORTSMOUTH, NH 03801
Owner of Record:	BANFIELD REALTY LLC 304 MAPLEWOOD AVENUE, PORTSMOUTH, NH 03801

DRAWING No.

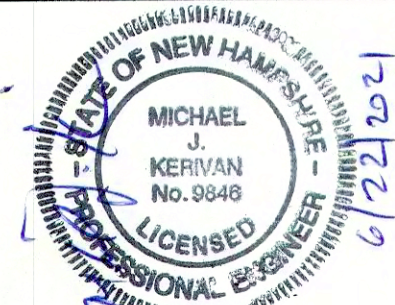
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SHEET 14 OF 24  
 JBE PROJECT NO. 19190.2

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Design: JAC Draft: DJM Date: 04/21/20  
 Checked: JAC Scale: AS NOTED Project No.: 19190.2  
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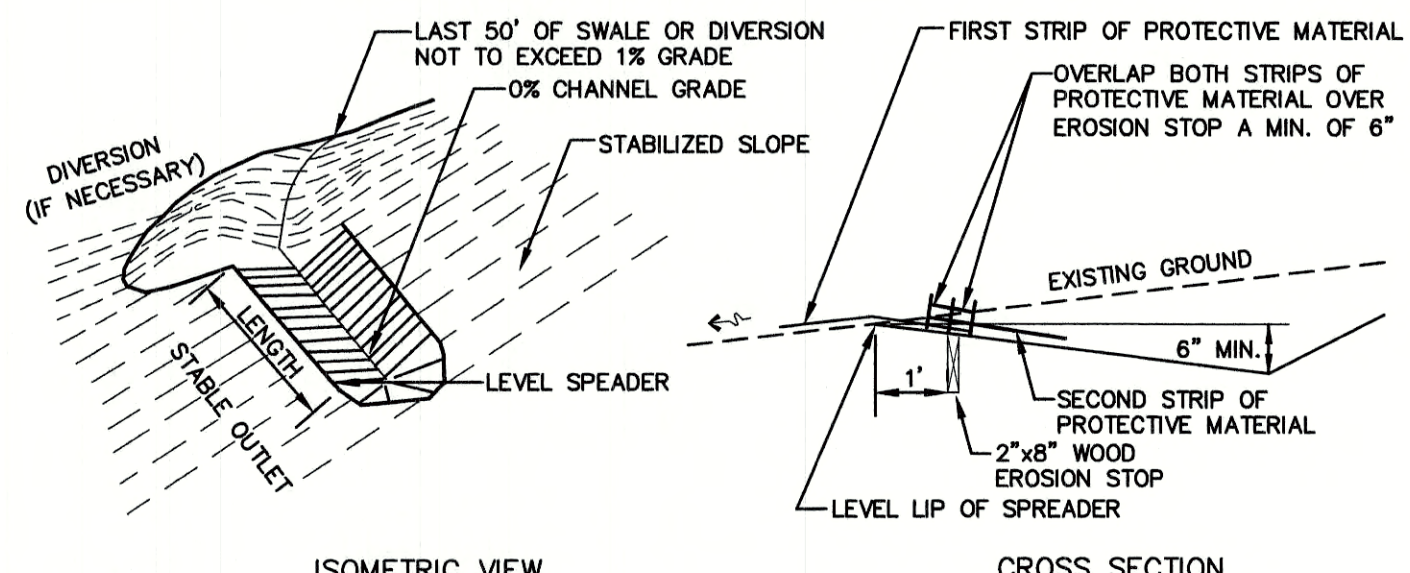
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DRAWING No. **D6**  
 SHEET 15 OF 24  
 JBE PROJECT NO. 19190.2

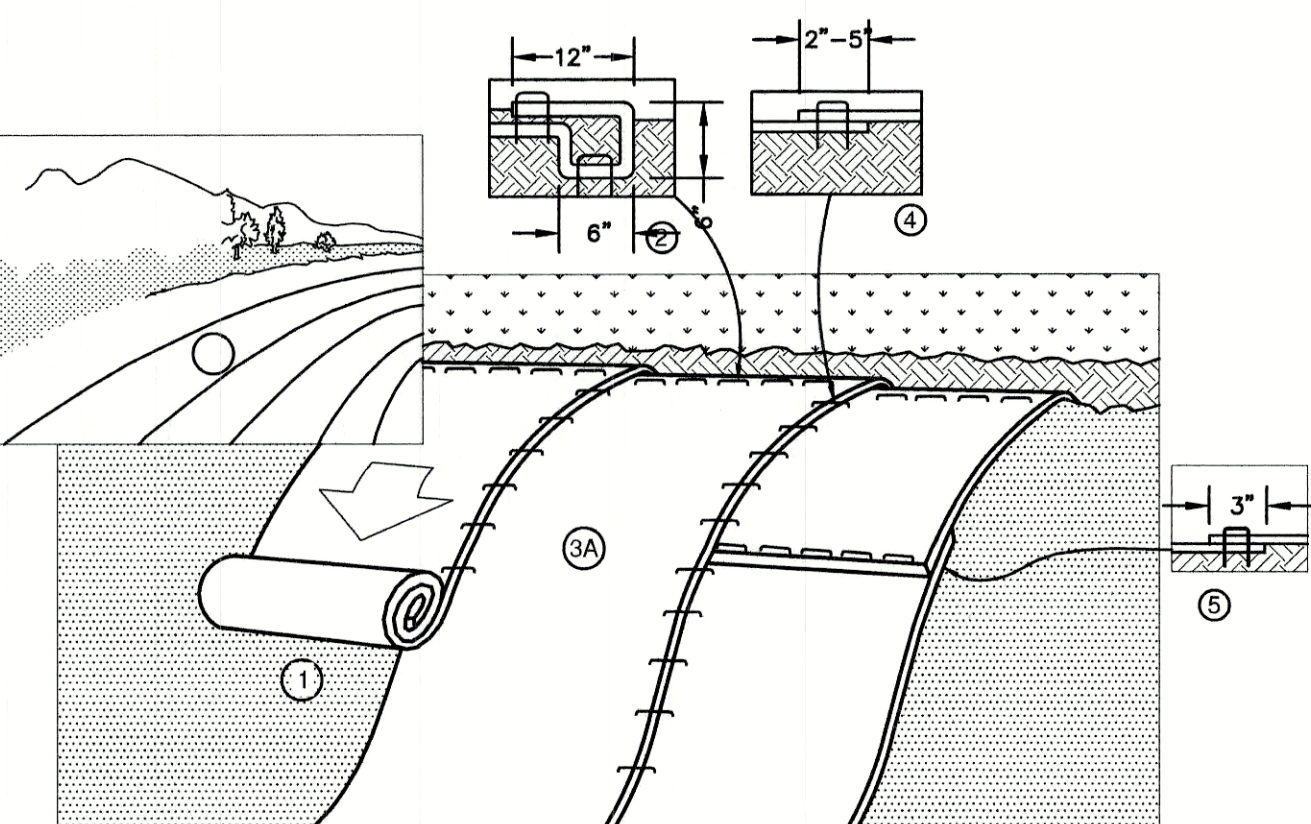




- NOTES:**
1. CONSTRUCT THE LEVEL SPREADER LIP ON A ZERO PERCENT GRADE TO ENSURE UNIFORM SPREADING OF RUNOFF.
  2. LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL AND NOT ON FILL.
  3. AN EROSION STOP SHALL BE PLACED VERTICALLY A MINIMUM OF SIX INCHES DEEP IN A SLIT TRENCH ONE FOOT BACK OF THE LEVEL LIP AND PARALLEL TO THE LIP. THE EROSION STOP SHALL EXTEND THE ENTIRE LENGTH OF THE LEVEL LIP.
  4. ENTIRE LEVEL LIP AREA SHALL BE PROTECTED BY PLACING TWO STRIPS OF JUTE OR EXCELSIOR MATTING ALONG THE LIP. EACH STRIP SHALL OVERLAP THE EROSION STOP BY AT LEAST SIX INCHES.
  5. ENTRANCE CHANNEL TO THE LEVEL SPREADER SHALL NOT EXCEED A 1 PERCENT GRADE FOR AT LEAST 50 FEET BEFORE ENTERING THE SPREADER.
  6. THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET ONTO STABILIZED AREAS. WATER MUST NOT RECONCENTRATE IMMEDIATELY BELOW THE SPREADER.
  7. PERIODIC INSPECTION AND REQUIRED MAINTENANCE SHALL BE PERFORMED.
  8. MAINTENANCE: THE LEVEL SPREADER SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE IF THE SPREADER HAS BEEN DAMAGED. SEDIMENT DEEPER THAN 4" ACCUMULATION SHOULD BE REMOVED. IF RILLING HAS TAKEN PLACE ON THE LIP, THEN THE DAMAGE SHOULD BE REPAIRED AND REVEGETATED. THE VEGETATION SHOULD BE MOWED OCCASIONALLY TO CONTROL WEEDS AND THE ENCROACHMENT OF WOODY VEGETATION. CLIPPINGS SHOULD BE REMOVED AND DISPOSED OF OUTSIDE THE SPREADER AND AWAY FROM OUTLET AREA. FERTILIZATION SHOULD BE DONE AS NECESSARY TO KEEP THE VEGETATION HEALTHY AND DENSE.

**LEVEL SPREADER**

NOT TO SCALE

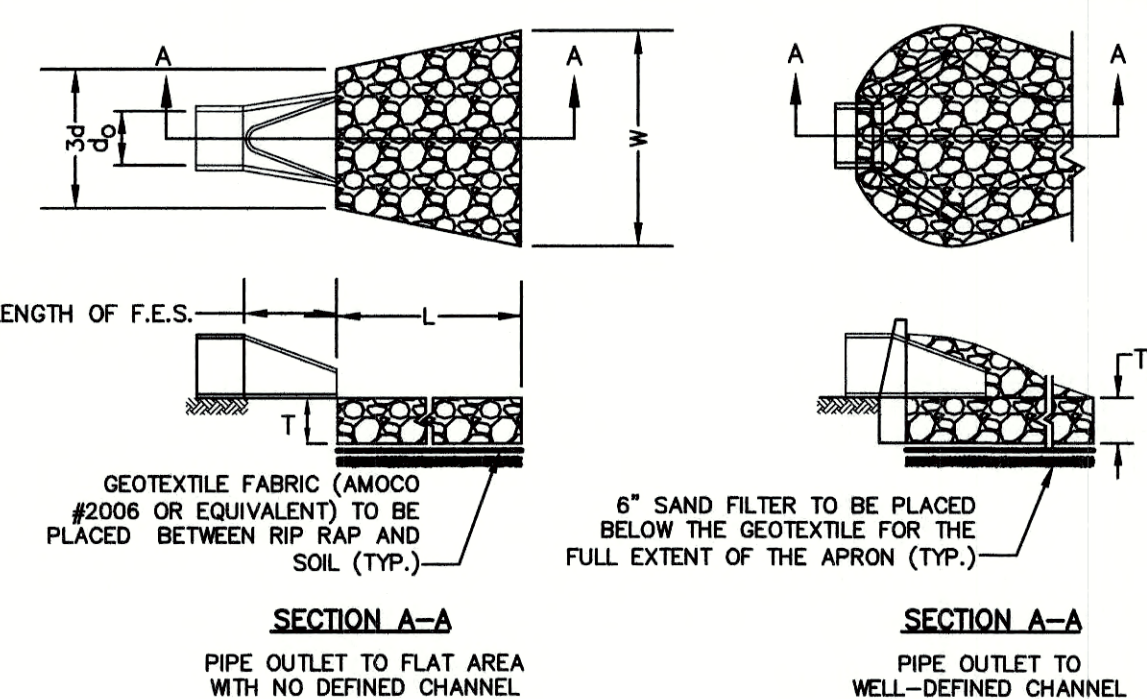


- NOTES:**
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-0-SEED DO NOT SEED PREPARED AREA. CELL-0-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
  2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
  3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES AT APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
  4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
  5. CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

**NORTH AMERICAN GREEN**  
 14649 HIGHWAY 41 NORTH  
 EVANSVILLE, INDIANA 47725  
 1-800-772-2040

**EROSION CONTROL BLANKET SLOPE INSTALLATION**  
 (North American Green)

NOT TO SCALE



**TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES**

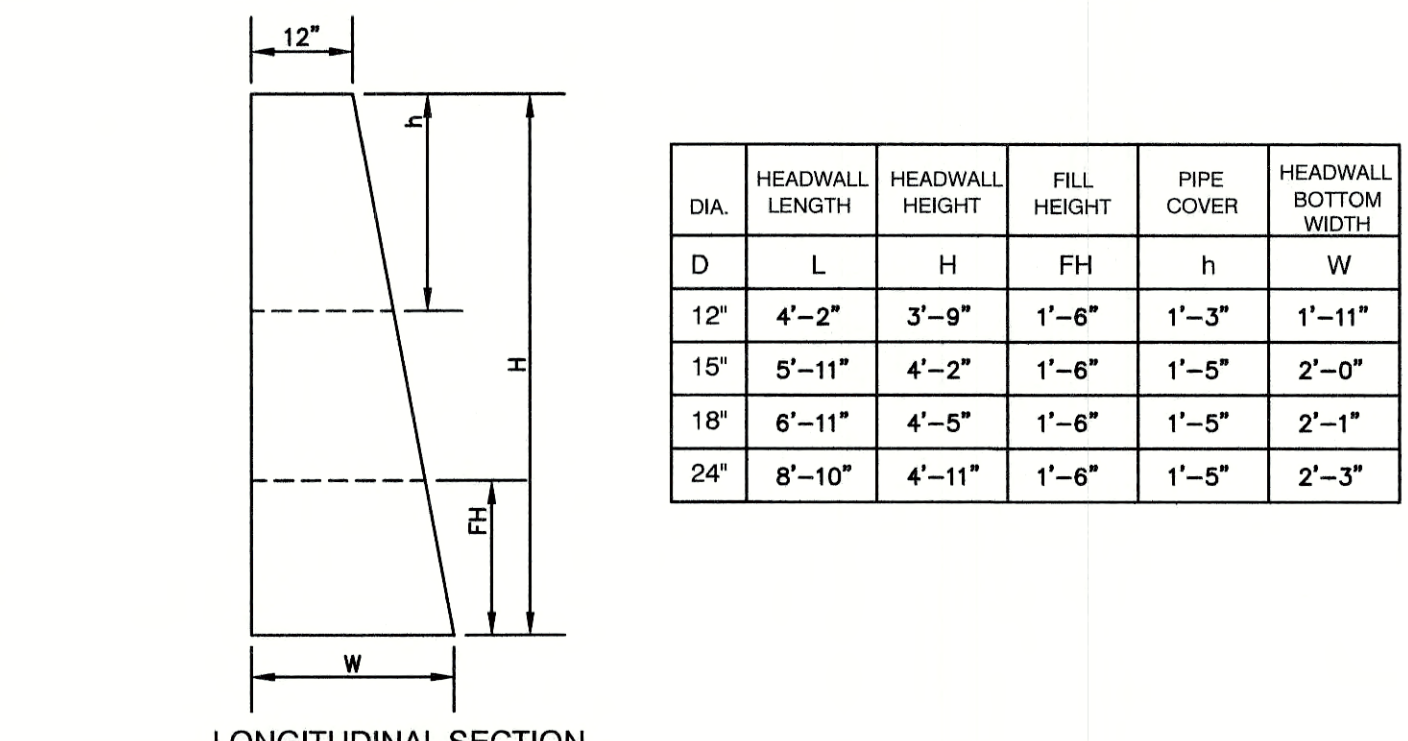
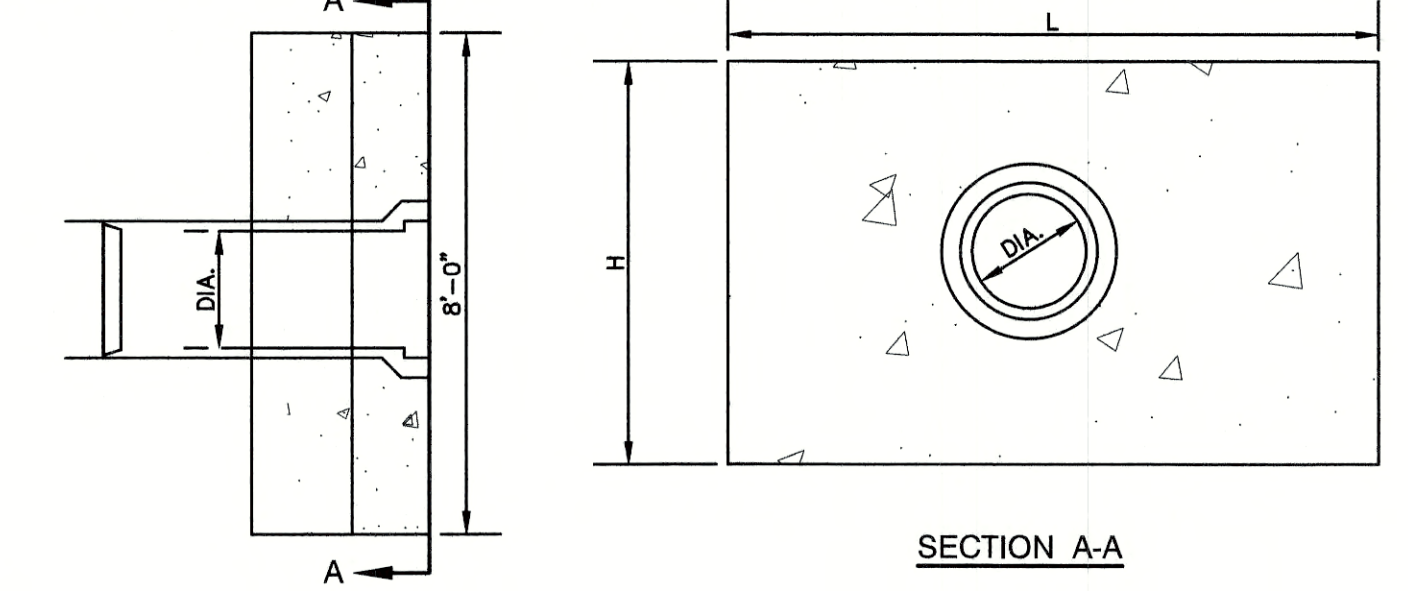
THICKNESS OF RIP RAP = 1.5 FEET

d50 SIZE=	0.50 FEET	6 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO
100%	9	12
85%	8	11
50%	6	9
15%	2	3

- NOTES:**
1. THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
  2. THE RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
  3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
  4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
  5. OUTLETS TO A DEFINED CHANNEL SHALL HAVE 2:1 OR FLATTER SIDE SLOPES AND SHOULD BEGIN AT THE TOP OF THE CULVERT AND TAPER DOWN TO THE CHANNEL BOTTOM THROUGH THE LENGTH OF THE APRON.
  6. MAINTENANCE: THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

**RIP RAP OUTLET PROTECTION APRON**

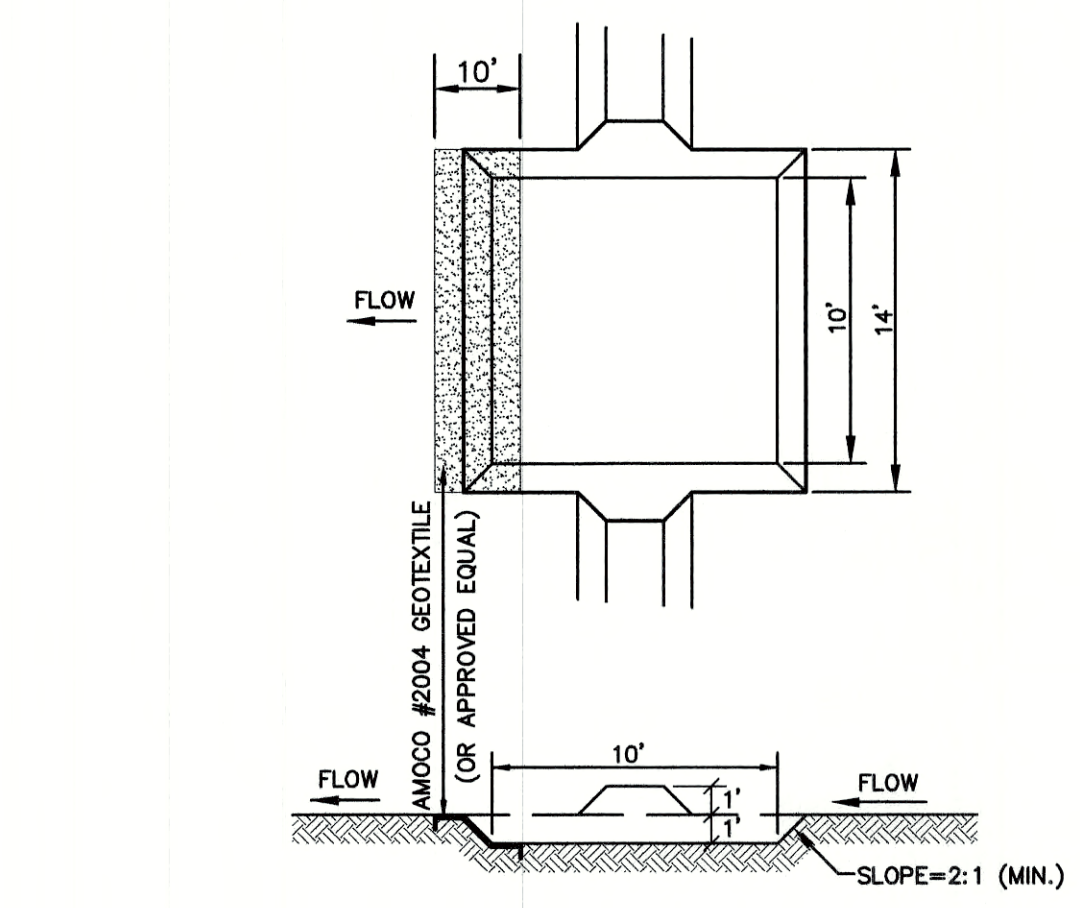
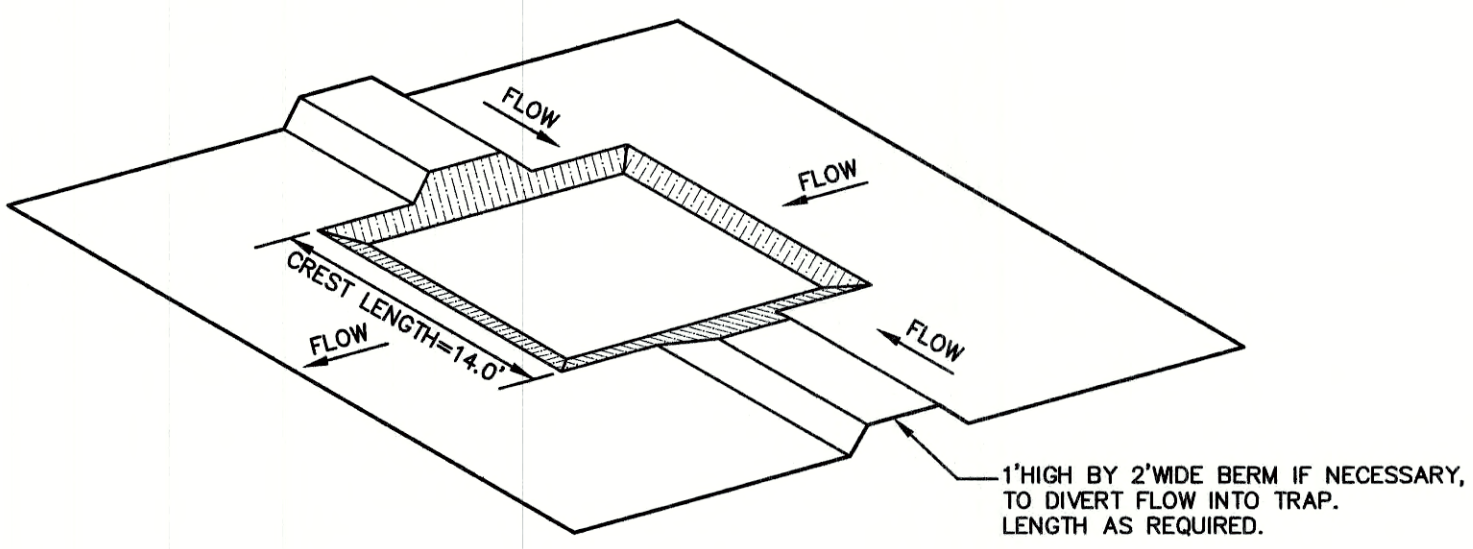
NOT TO SCALE



- NOTES:**
1. ALL DIMENSIONS GIVEN IN FEET & INCHES.
  2. PROVIDE BELL END AT INLET HEADWALL, AND SPIGOT END AT OUTLET END HEADWALL.
  3. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS. CEMENT TO BE TYPE III PER ASTM C-150. REINFORCING TO MEET OR EXCEED ASTM A-615 GRADE 60 DEFORMED BARS.
  4. 1" THREADED INSERTS PROVIDED FOR FINAL ATTACHMENT IN FIELD BY OTHERS.

**PRECAST CONCRETE HEADWALL**

NOT TO SCALE

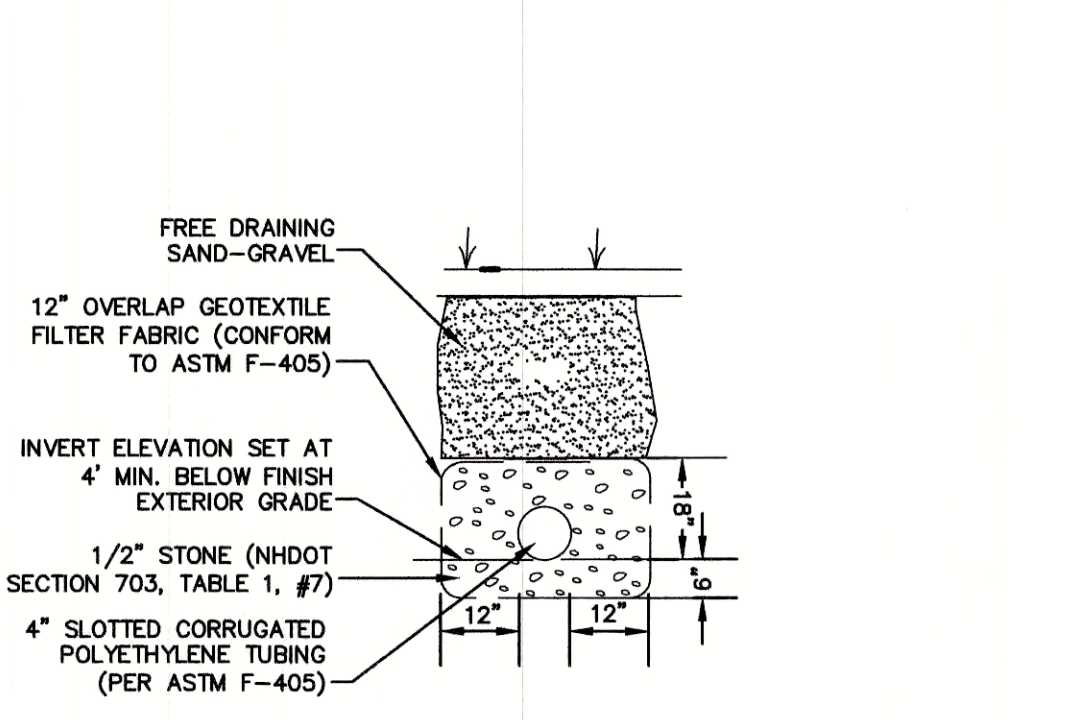


**CONSTRUCTION SPECIFICATIONS:**

1. THE AREA UNDER THE EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF ALL VEGETATION, ROOTS, AND DEBRIS.
2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS, WOODY VEGETATION, STONES OVER 6" SIZE, ORGANIC MATERIAL, OR OTHER OBJECTIONABLE MATERIALS. THE FILL SHALL BE COMPACTED BY ROUTING CONSTRUCTION EQUIPMENT OVER IT SO THAT THE ENTIRE AREA OF THE FILL IS TRAVERSED BY AT LEAST ONE WHEEL OR TREAD TRACK OF THE EQUIPMENT.
3. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION ARE MINIMIZED.
4. ALL CUT AND FILL SLOPES SHALL BE 2:1 (H:V) OR FLATTER.
5. OUTLET CREST ELEVATIONS SHALL BE AT LEAST ONE FOOT BELOW THE TOP OF THE EMBANKMENT.
6. OUTLET CREST IS TO BE STABILIZED WITH AMOCO #2004 GEOTEXTILE (OR APPROVED EQUAL), WHICH IS TO BE "TOED" INTO THE GROUND AT ITS ENDS AT LEAST SIX INCHES AND IS TO EXTEND AT LEAST ONE FOOT INTO THE TRAP AND ONE FOOT DOWNSTREAM FROM THE OUTLET EDGE FOR THE ENTIRE LENGTH OF THE CREST.
7. ALL DISTURBED AREAS SHALL BE VEGETATED USING THE APPROPRIATE VEGETATIVE BEST MANAGEMENT PRACTICE.
8. ALL TRAPS ARE TO HAVE SEDIMENT DEPOSITS REMOVED AND DISPOSED PROPERLY AT LEAST ONCE WEEKLY AND AFTER EACH RAINFALL.

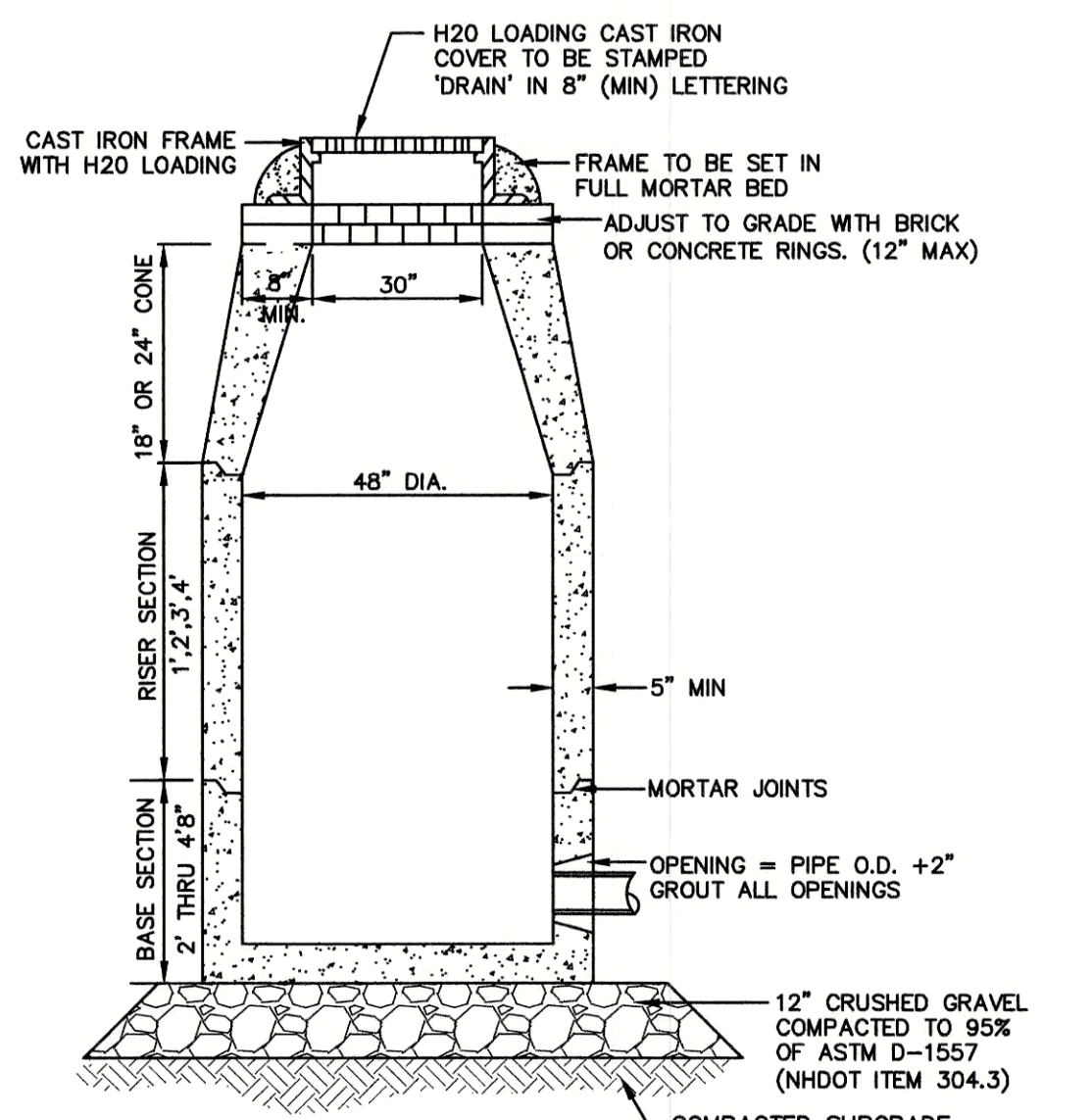
**TEMPORARY SEDIMENT TRAP**

NOT TO SCALE



**UNDERDRAIN DETAIL**

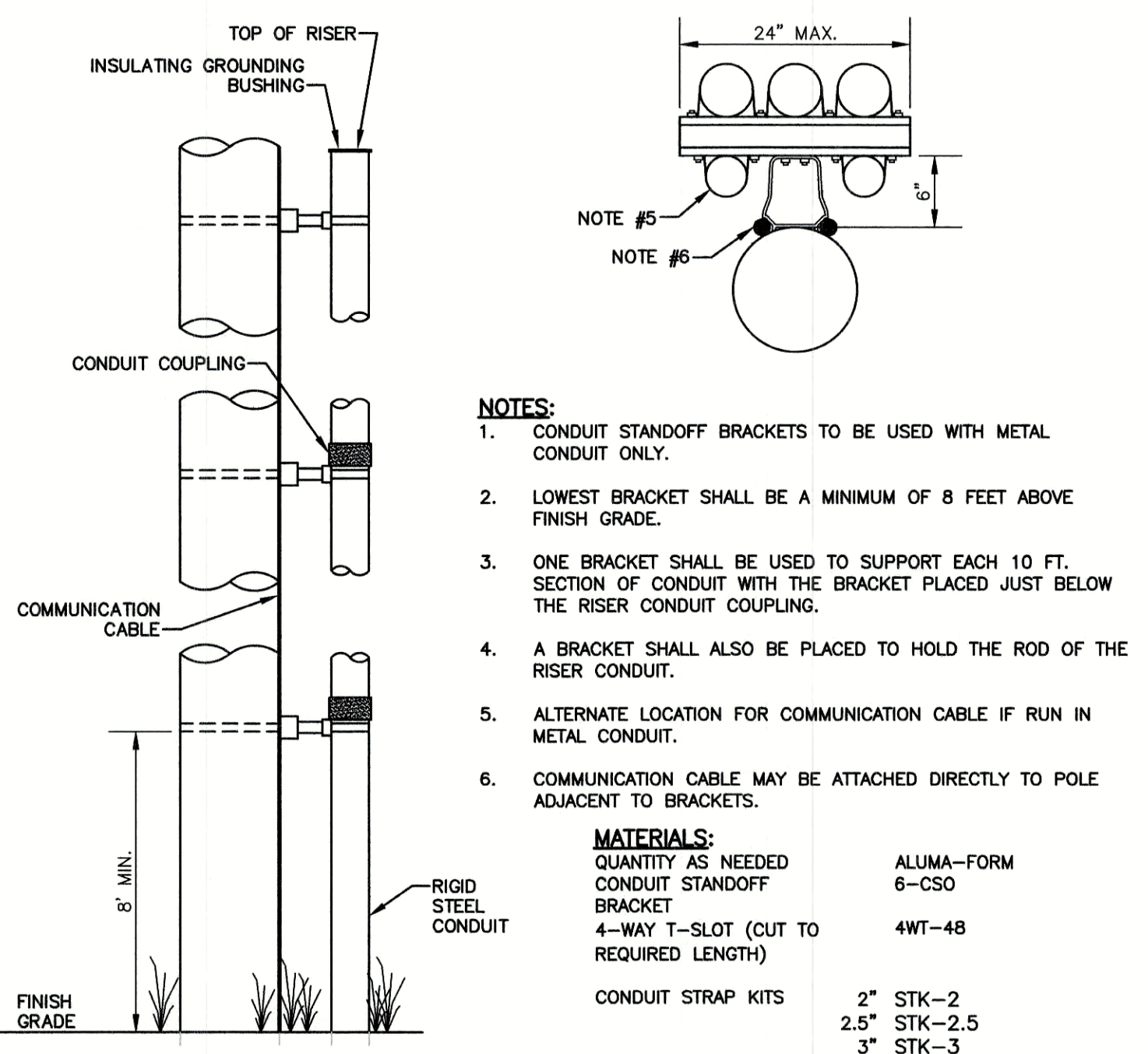
NOT TO SCALE



- NOTES:**
1. BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
  2. ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
  3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
  4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
  5. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
  6. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
  7. ALL DRAIN MANHOLE FRAMES AND GRATES SHALL BE NHDOT TYPE MH-1, OR NEENAH R-1798 OR APPROVED EQUAL (30" DIA. TYPICAL).
  8. STANDARD FRAME(S) AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE 'DONUTS'.

**DRAIN MANHOLE**

NOT TO SCALE



- NOTES:**
1. CONDUIT STANDOFF BRACKETS TO BE USED WITH METAL CONDUIT ONLY.
  2. LOWEST BRACKET SHALL BE A MINIMUM OF 8 FEET ABOVE FINISH GRADE.
  3. ONE BRACKET SHALL BE USED TO SUPPORT EACH 10 FT. SECTION OF CONDUIT WITH THE BRACKET PLACED JUST BELOW THE RISER CONDUIT COUPLING.
  4. A BRACKET SHALL ALSO BE PLACED TO HOLD THE ROD OF THE RISER CONDUIT.
  5. ALTERNATE LOCATION FOR COMMUNICATION CABLE IF RUN IN METAL CONDUIT.
  6. COMMUNICATION CABLE MAY BE ATTACHED DIRECTLY TO POLE ADJACENT TO BRACKETS.

**MATERIALS:**

QUANTITY AS NEEDED	ALUMA-FORM
CONDUIT STANDOFF BRACKET	6-CSO
4-WAY T-SLOT (CUT TO REQUIRED LENGTH)	4WT-48
CONDUIT STRAP KITS	2" STK-2
	2.5" STK-2.5
	3" STK-3
	3.5" STK-3.5
	4" STK-4
	5" STL-5
	6" STK-6

**UTILITY POLE RISER DETAIL**

NOT TO SCALE

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Plan Name: **DETAIL SHEET**

Project: **INDUSTRIAL WAREHOUSE**  
 375 BANFIELD ROAD, PORTSMOUTH, NH 03801

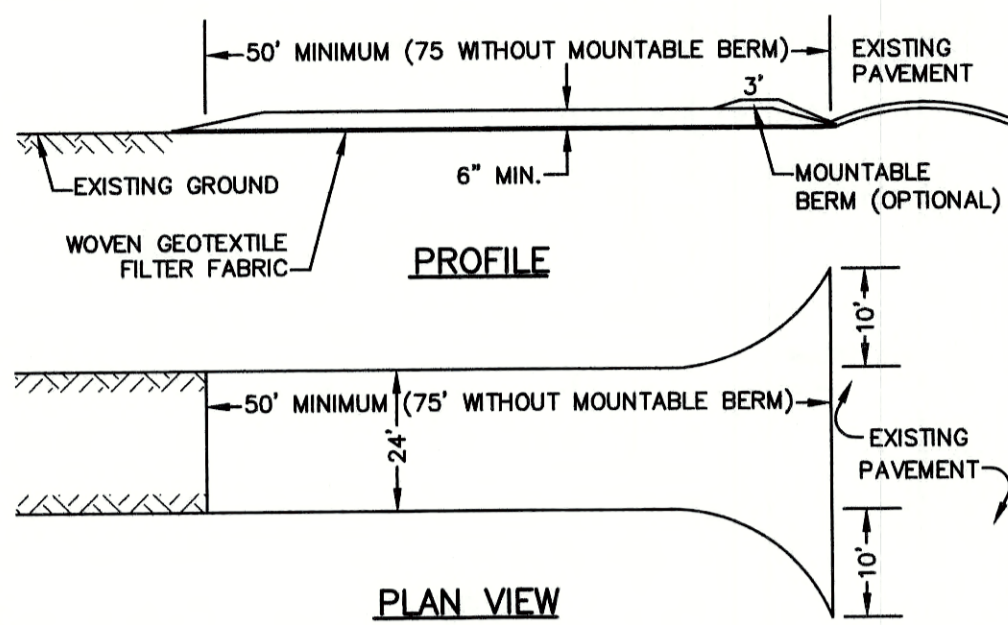
Owner of Record: **BANFIELD REALTY LLC**  
 304 MAPLEWOOD AVENUE, PORTSMOUTH, NH 03801

DRAWING No. **D7**

SHEET 16 OF 24  
 JBE PROJECT NO. 19190.2

**TEMPORARY EROSION CONTROL NOTES**

- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. AT NO TIME SHALL AN AREA IN EXCESS OF 5 ACRES BE DETENTIONED AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
- EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
- ALL DISTURBED AREAS (INCLUDING POND AREAS BELOW THE PROPOSED WATERLINE) SHALL BE RETURNED TO PROPOSED GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 6" OF SCREENED ORGANIC LOAM AND SEEDED WITH SEED MIXTURE "C" AT A RATE NOT LESS THAN 1.10 POUNDS OF SEED PER 1,000 S.F. OF AREA (48 LBS. / ACRE).
- FIBER BERMS AND OTHER BARRIERS SHALL BE INSPECTED EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5" OR GREATER. ALL DAMAGED AREAS SHALL BE REPAIRED, AND SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
- AREAS MUST BE SEEDED AND MULCHED OR OTHERWISE PERMANENTLY STABILIZED WITHIN 3 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 14 DAYS OF THE INITIAL DISTURBANCE OF SOIL. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER) ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER OCTOBER 15th, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
  - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
  - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
  - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- FUGITIVE DUST CONTROL IS REQUIRED TO BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000, AND THE PROJECT IS TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR'S NAME, ADDRESS, AND PHONE NUMBER SHALL BE SUBMITTED TO DES VIA EMAIL (SEE BELOW).
- PRIOR TO CONSTRUCTION, A PHASING PLAN THAT DELINEATES EACH PHASE OF THE PROJECT SHALL BE SUBMITTED. ALL TEMPORARY SEDIMENT BASINS THAT WILL BE NEEDED FOR DEWATERING WORK AREAS SHALL BE LOCATED AND IDENTIFIED ON THIS PLAN.
- IN ORDER TO ENSURE THE STABILITY OF THE SITE AND EFFECTIVE IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL MEASURES SPECIFIED IN THE PLANS FOR THE DURATION OF CONSTRUCTION, THE CONTRACTOR SHALL BE IN STRICT COMPLIANCE WITH THE FOLLOWING INSPECTION AND MAINTENANCE REQUIREMENTS IN ADDITION TO THOSE CALLED FOR IN THE SWPPP:
  - A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL OR A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE ("MONITOR") SHALL BE EMPLOYED TO INSPECT THE SITE FROM THE START OF ALTERATION OF TERRAIN ACTIVITIES UNTIL THE SITE IS IN FULL COMPLIANCE WITH THE SITE SPECIFIC PERMIT ("PERMIT").
  - DURING THIS PERIOD, THE MONITOR SHALL INSPECT THE SUBJECT SITE AT LEAST ONCE A WEEK, AND IF POSSIBLE, DURING ANY 1/2 INCH OR GREATER RAIN EVENT (I.E. 1/2 INCH OF PRECIPITATION OR MORE WITHIN A 24 HOUR PERIOD). IF UNABLE TO BE PRESENT DURING SUCH A STORM, THE MONITOR SHALL INSPECT THE SITE WITHIN 24 HOURS OF THIS EVENT.
  - THE MONITOR SHALL PROVIDE TECHNICAL ASSISTANCE AND RECOMMENDATIONS TO THE CONTRACTOR ON THE APPROPRIATE BEST MANAGEMENT PRACTICES AND SEDIMENT CONTROLS REQUIRED TO MEET THE REQUIREMENTS OF RSA 485 A:17 AND ALL APPLICABLE DES PERMIT CONDITIONS.
  - WITHIN 24 HOURS OF EACH INSPECTION, THE MONITOR SHALL SUBMIT A REPORT TO DES VIA EMAIL (RIDGELY MAULCK AT: RIDGELY.MAULCK@DES.NH.GOV).
  - THE MONITOR SHALL MEET WITH DES TO DECIDE UPON A REPORT FORMAT. THE REPORT FORMAT SHALL BE REVIEWED AND APPROVED BY DES PRIOR TO THE START OF CONSTRUCTION.



**NOTES:**

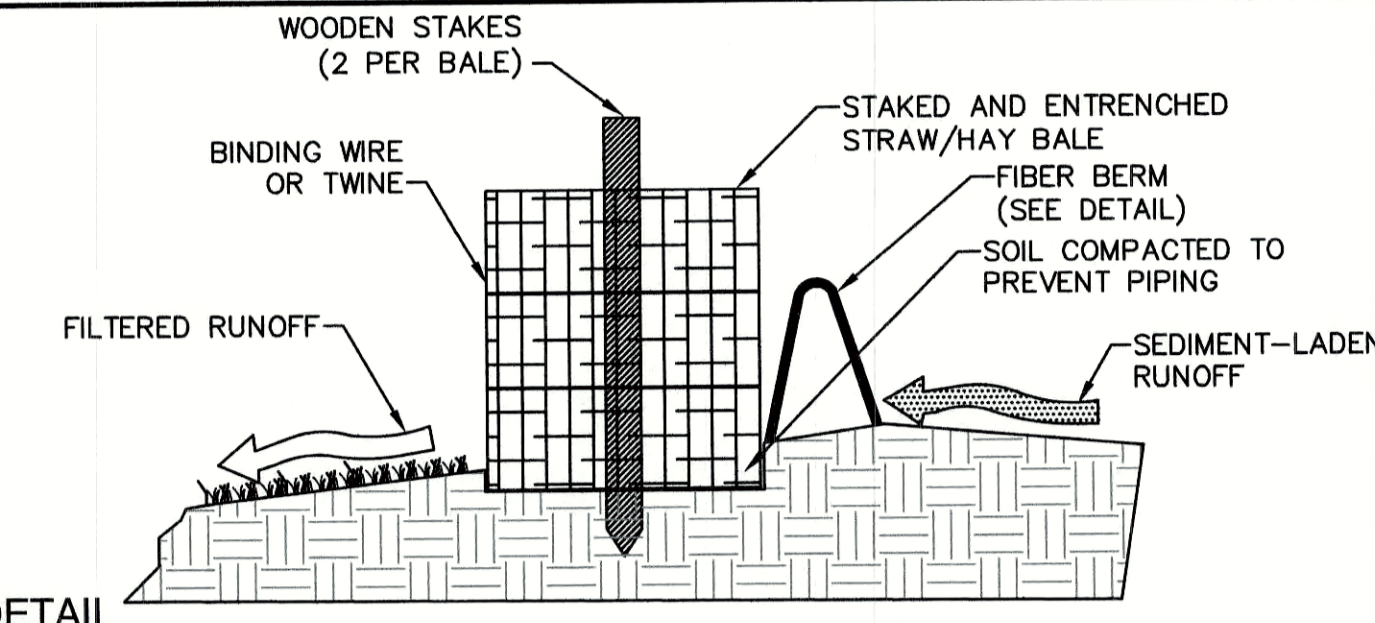
- STONE FOR STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, 75' WITHOUT A MOUNTABLE BERM, AND EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS, OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER FABRIC IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENTIAL LOT.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A STONE BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.

**STABILIZED CONSTRUCTION ENTRANCE**

NOT TO SCALE

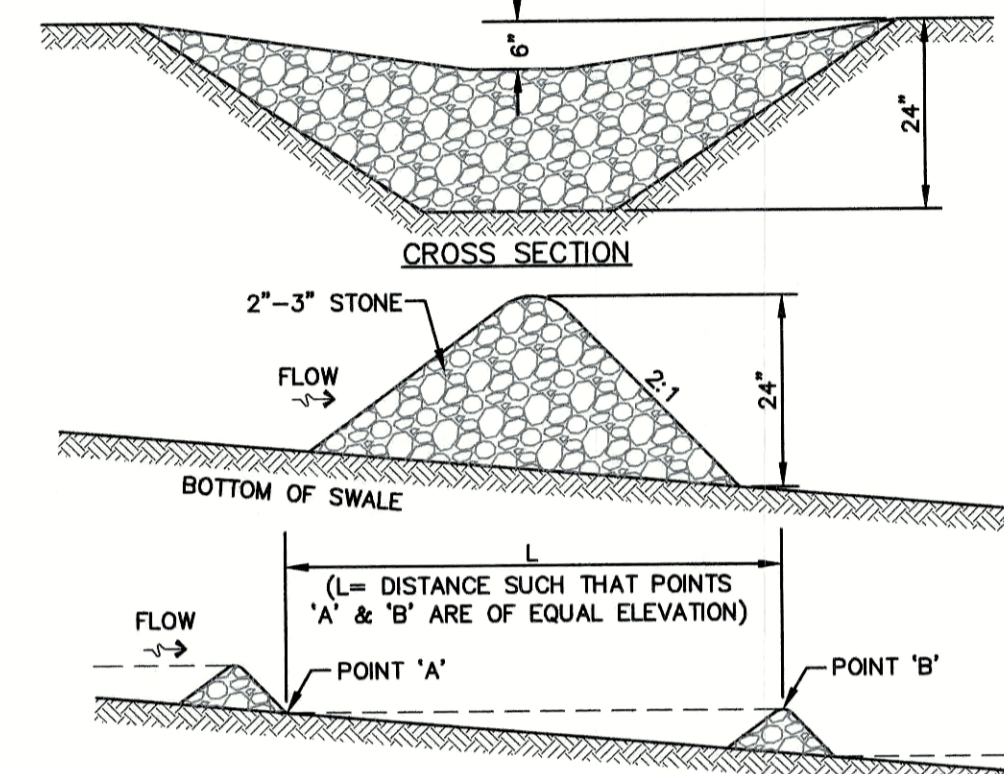
**SEEDING SPECIFICATIONS**

- GRADING AND SHAPING**
  - SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
  - WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
- SEEDBED PREPARATION**
  - SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
  - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
- ESTABLISHING A STAND**
  - LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
    - AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.
    - NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.
    - PHOSPHATE(P2O5), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
    - POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
 (NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)
  - SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
  - REFER TO THE "SEEDING GUIDE" AND "SEEDING RATES" TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEDING. ALL LEGUMES (GROWNVETCH, BIRDSFOOT, TREFLOIL AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
  - WHEN SEEDING AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDING AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20th OR FROM AUGUST 10th TO SEPTEMBER 1st.
- MULCH**
  - HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
  - MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 S.F.
- MAINTENANCE TO ESTABLISH A STAND**
  - PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
  - FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
  - IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.



**HAYBALE DETAIL**

NOT TO SCALE



**MAINTENANCE NOTE:**

- STONE CHECK DAMS SHOULD BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY NECESSARY REPAIRS SHOULD BE MADE IMMEDIATELY. PARTICULAR ATTENTION SHOULD BE GIVEN TO END RUN AND EROSION AT THE DOWNSTREAM TOE OF THE STRUCTURE. WHEN THE STRUCTURES ARE REMOVED, THE DISTURBED PORTION SHOULD BE BROUGHT TO THE EXISTING CHANNEL GRADE AND THE AREAS PREPARED, SEEDED AND MULCHED. WHILE THIS PRACTICE IS NOT INTENDED TO BE USED PRIMARILY FOR SEDIMENT TRAPPING, SOME SEDIMENT WILL ACCUMULATE BEHIND THE STRUCTURES. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF OF THE ORIGINAL HEIGHT OF THE STRUCTURE.

**STONE CHECK DAM**

NOT TO SCALE

**CONSTRUCTION SEQUENCE**

- PRIOR TO THE START OF ANY ACTIVITY, IT IS THE RESPONSIBILITY OF THE SITE'S SITE DEVELOPER (OR OWNER) TO FILE A NOTICE OF INTENT (NOI) FORM WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) IN ORDER TO GAIN COVERAGE UNDER THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. A PRE CONSTRUCTION MEETING IS TO BE HELD WITH ALL DEPARTMENT HEADS PRIOR TO THE START OF CONSTRUCTION.
- WETLAND BOUNDARIES ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION. AT LEAST A TEMPORARY CULVERT OR ROADBED TO BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.
- CUT AND REMOVE TREES IN CONSTRUCTION AREA AS REQUIRED OR DIRECTED.
- INSTALL SILT FENCING, HAY BALES AND CONSTRUCTION ENTRANCES PRIOR TO THE START OF CONSTRUCTION. THESE ARE TO BE MAINTAINED UNTIL THE FINAL PAVEMENT SURFACING AND LANDSCAPING AREAS ARE ESTABLISHED.
- CLEAR, CUT, GRUB AND DISPOSE OF DEBRIS IN APPROVED FACILITIES. THIS INCLUDES ANY REQUIRED DEMOLITION OF EXISTING STRUCTURES, UTILITIES, ETC.
- CONSTRUCT AND/OR INSTALL TEMPORARY OR PERMANENT SEDIMENT AND/OR DETENTION BASIN(S) AS REQUIRED. THESE FACILITIES SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING RUN-OFF TO THEM.
- STRIP LOAM AND PAVEMENT, OR RECLAIM EXISTING PAVEMENT WITHIN LIMITS OF WORK PER THE RECOMMENDATIONS OF THE PROJECT ENGINEER AND STOCKPILE EXCESS MATERIAL. STABILIZE STOCKPILE AS NECESSARY.
- PERFORM PRELIMINARY SITE GRADING IN ACCORDANCE WITH THE PLANS, INCLUDING THE CONSTRUCTION OF ANY RETAINING WALLS AND SOUND WALLS.
- PREPARE BUILDING PAD(S) TO ENABLE BUILDING CONSTRUCTION TO BEGIN.
- INSTALL THE SEWER AND DRAINAGE SYSTEMS FIRST, THEN ANY OTHER UTILITIES IN ACCORDANCE WITH THE PLAN AND DETAILS. ANY CONFLICTS BETWEEN UTILITIES ARE TO BE RESOLVED WITH THE INVOLVEMENT AND APPROVAL OF THE ENGINEER.
- INSTALL INLET PROTECTION AT ALL CATCH BASINS AS THEY ARE CONSTRUCTED IN ACCORDANCE WITH DETAILS.
- ALL SWALES AND DRAINAGE STRUCTURES ARE TO BE CONSTRUCTED AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINAGE DITCHES, CHECK DAMS, SEDIMENT TRAPS, ETC., TO PREVENT EROSION ON THE SITE AND PREVENT ANY SILTATION OF ADJUTING WATERS AND/OR PROPERTY.
- PERFORM FINAL FINE GRADING, INCLUDING PLACEMENT OF "SELECT" SUBGRADE MATERIALS.
- PAVE ALL PARKING LOTS AND ROADWAYS WITH INITIAL "BASE COURSE".
- PERFORM ALL REMAINING SITE CONSTRUCTION (I.E. BUILDING, CURBING, UTILITY CONNECTIONS, ETC.).
- LOAM AND SEED ALL DISTURBED AREAS AND INSTALL ANY REQUIRED SEDIMENT AND EROSION CONTROL FACILITIES (I.E. RIP RAP, EROSION CONTROL BLANKETS, ETC.).
- FINISH PAVING ALL ROADWAYS AND PARKING AREAS WITH "FINISH" COURSE.
- ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE BEEN 75%-85% ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE. SMOOTH AND RE-VEGETATE ALL DISTURBED AREAS.
- CLEAN SITE AND ALL DRAINAGE STRUCTURES, PIPES AND SUMPS OF ALL SILT AND DEBRIS.
- INSTALL ALL PAINTED PAVEMENT MARKINGS AND SIGNAGE PER THE PLANS AND DETAILS.
- ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY HALF-INCH OF RAINFALL.
- UPON COMPLETION OF CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ANY RELEVANT PERMITTING AGENCIES THAT THE CONSTRUCTION HAS BEEN FINISHED IN A SATISFACTORY MANNER.

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	FAIR
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER.	A	GOOD	GOOD	GOOD	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES.	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	FAIR	POOR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
PLAY AREAS AND ATHLETIC FIELDS. (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	E	FAIR	EXCELLENT	EXCELLENT	2/
	F	FAIR	EXCELLENT	EXCELLENT	2/

GRAVEL PIT, SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.  
 1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE BELOW.  
 2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.

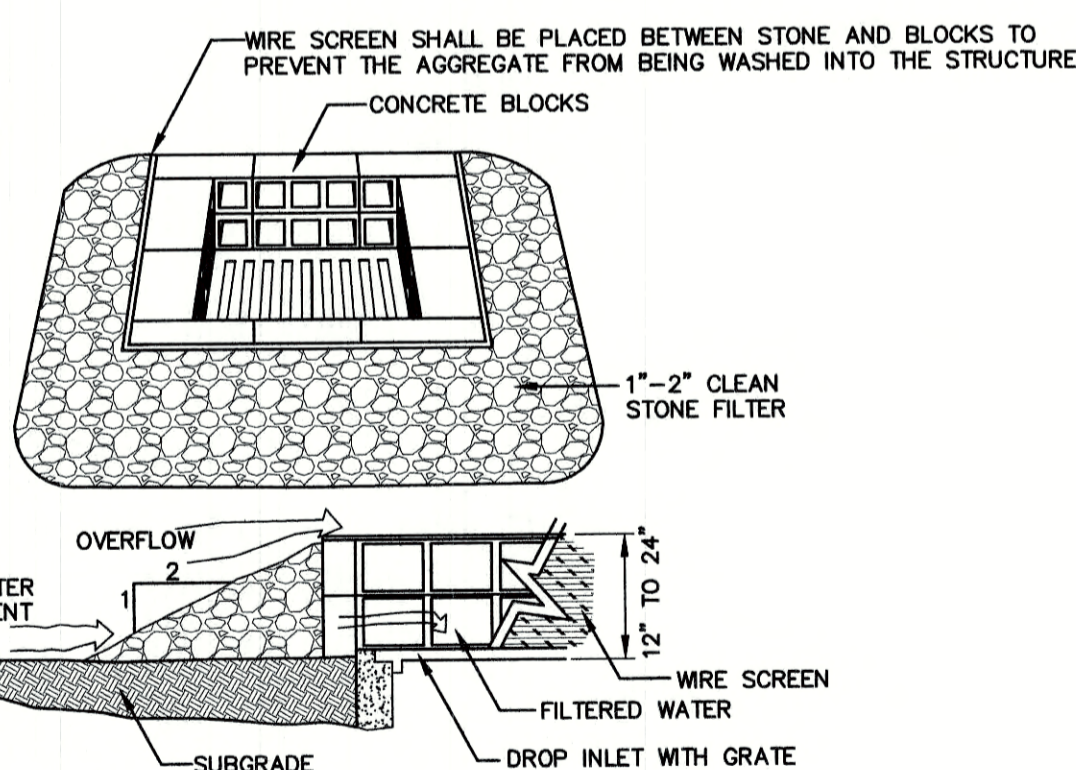
NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEDING NOT YET COMPLETE.

**SEEDING GUIDE**

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE	20	0.45
CREEPING RED FESCUE	20	0.45
RED TOP	2	0.05
TOTAL	42	0.95
B. TALL FESCUE	15	0.35
CREEPING RED FESCUE	10	0.25
CROWN VETCH	15	0.35
OR		
FLAT PEA	30	0.75
TOTAL	40 OR 55	0.95 OR 1.35
C. TALL FESCUE	20	0.45
CREEPING RED FESCUE	20	0.45
BIRDS FOOT TREFLOIL	8	0.20
TOTAL	48	1.10
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.75
TOTAL	50	1.20
E. CREEPING RED FESCUE 1/	50	1.15
KENTUCKY BLUEGRASS 1/	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60

1/ FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.

**SEEDING RATES**



**MAINTENANCE NOTE:**

- ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAINFALL AND REPAIRS MADE AS NECESSARY. SEDIMENT SHOULD BE REMOVED FROM TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE HALF THE DEPTH OF THE TRAP. THE SEDIMENT SHOULD BE DISPOSED IN A SUITABLE UPLAND AREA AND PROTECTED FROM EROSION BY EITHER STRUCTURE OR VEGETATIVE MEANS. THE TEMPORARY TRAPS SHOULD BE REMOVED AND THE AREA REPAIRED AS SOON AS THE CONTRIBUTING DRAINAGE AREA TO THE INLET HAS BEEN COMPLETELY STABILIZED.

**TEMPORARY CATCH BASIN INLET PROTECTION**  
(Block and Gravel Drop Inlet Sediment Filter)

NOT TO SCALE

**ORGANIC FIBER BERM**

NOT TO SCALE

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13	6/23/21	REVISED PER CITY COMMENTS	DJM
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9	3/9/21	REVISED CONCEPTUAL LAYOUT	DJM

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Checked: JAC	Scale: AS NOTED	Project No.: 19190.2
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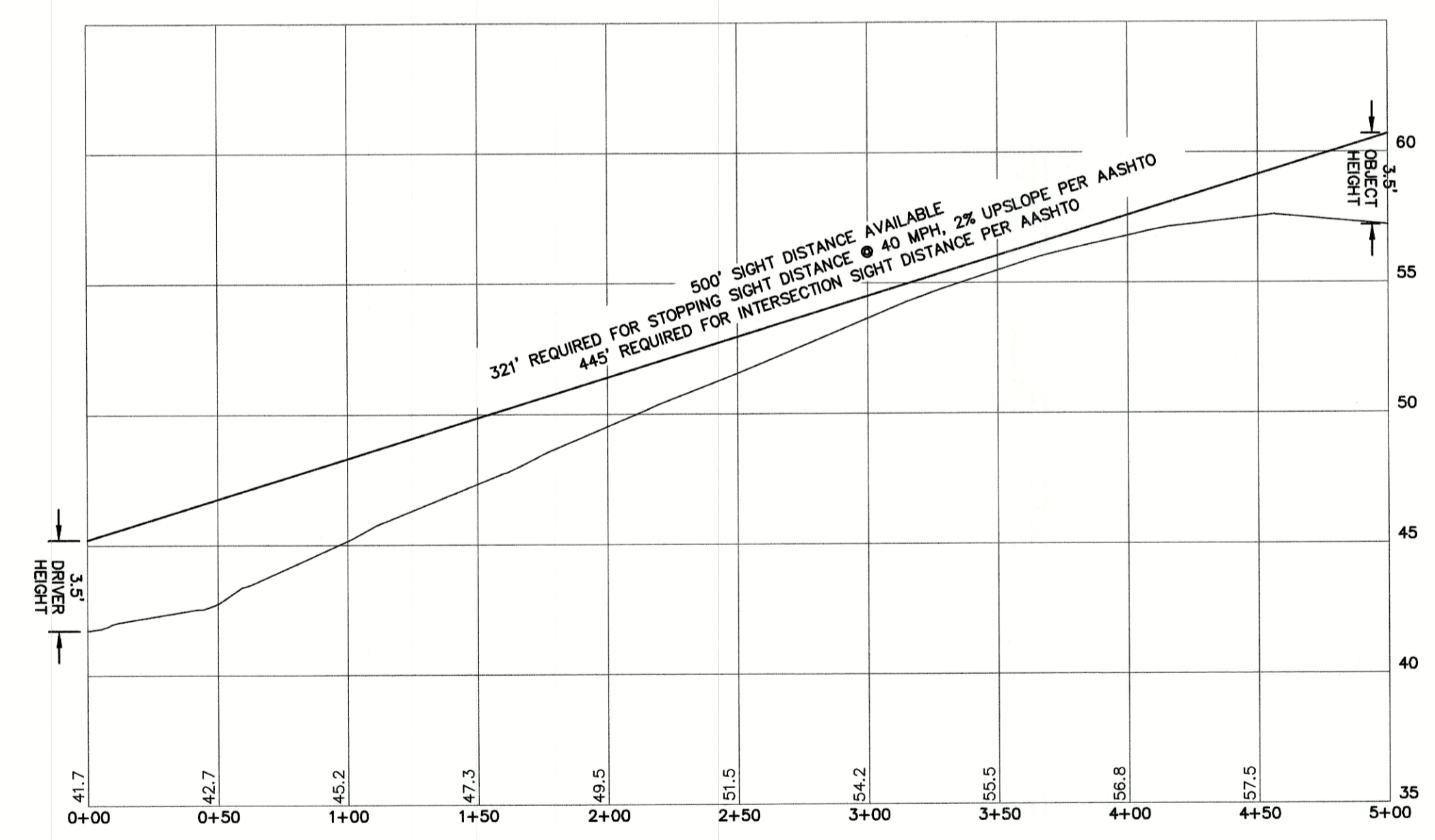
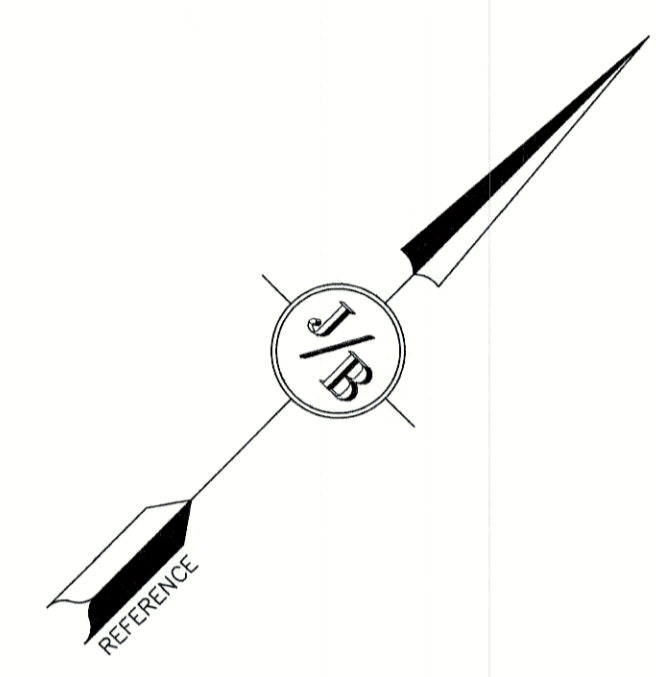
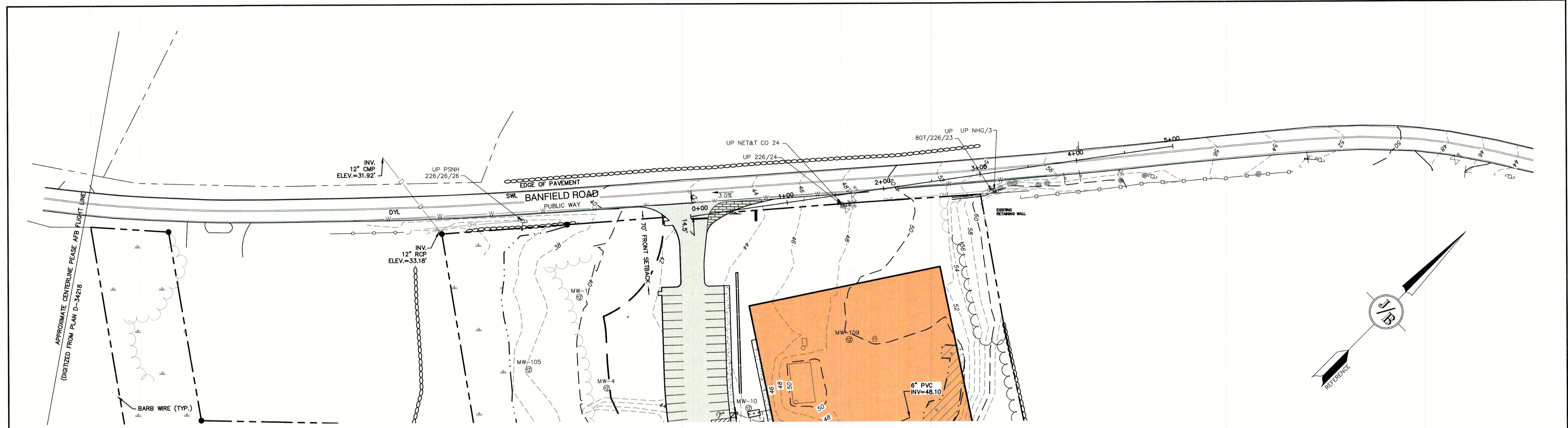
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Project: **INDUSTRIAL WAREHOUSE**  
375 BANFIELD ROAD, PORTSMOUTH, NH 03801

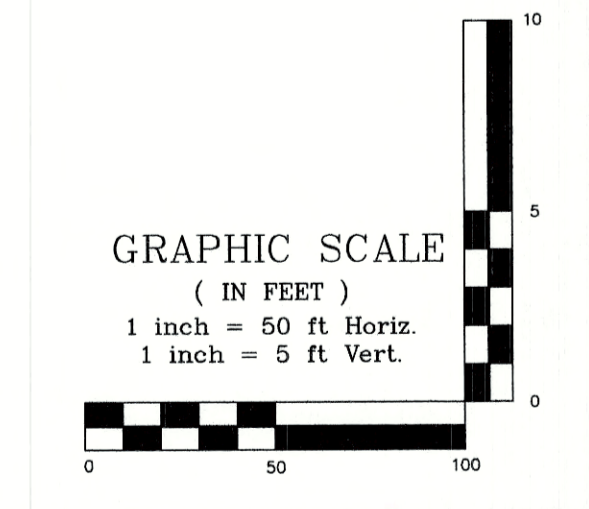
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SHEET 17 OF 24  
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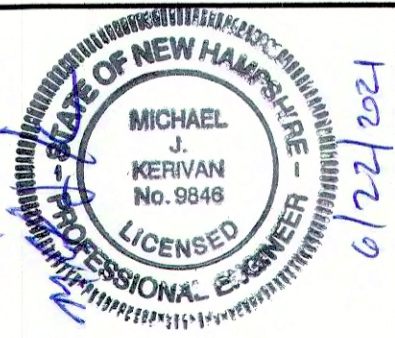


INTERSECTION SIGHT DISTANCE PROFILE



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9	3/9/21	REVISED CONCEPTUAL LAYOUT	DJM
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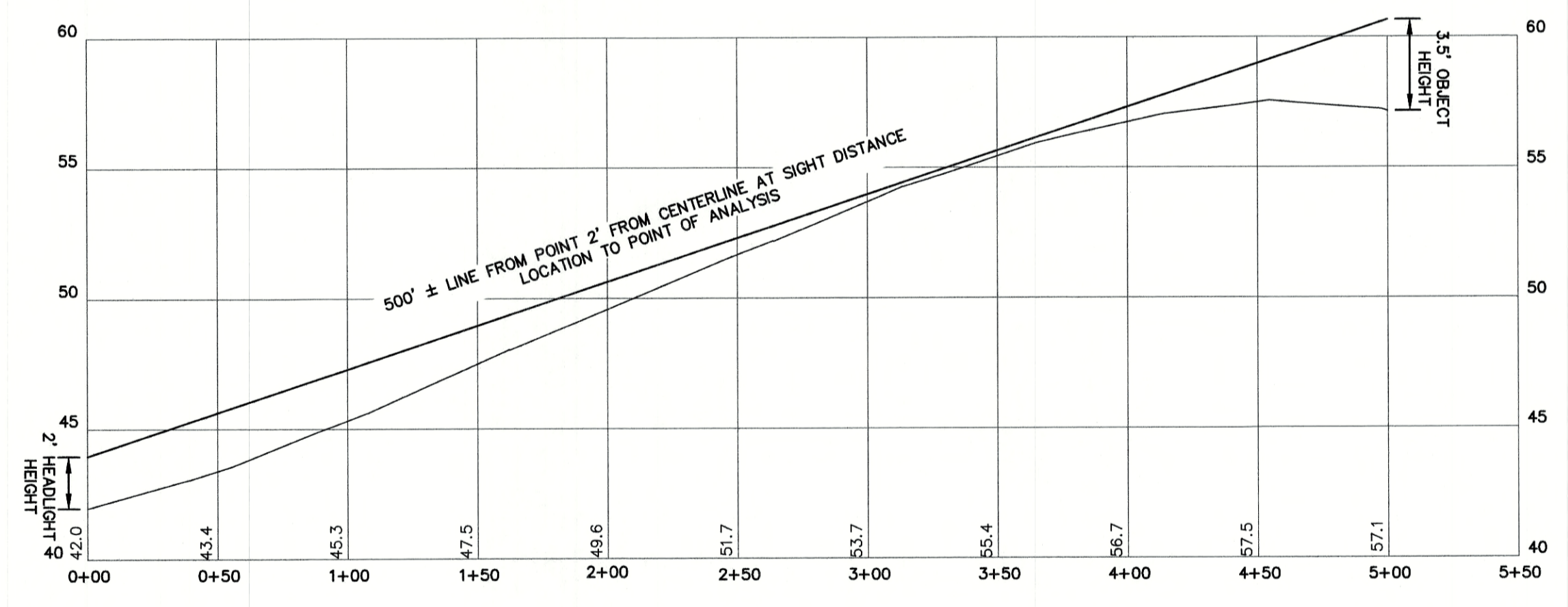
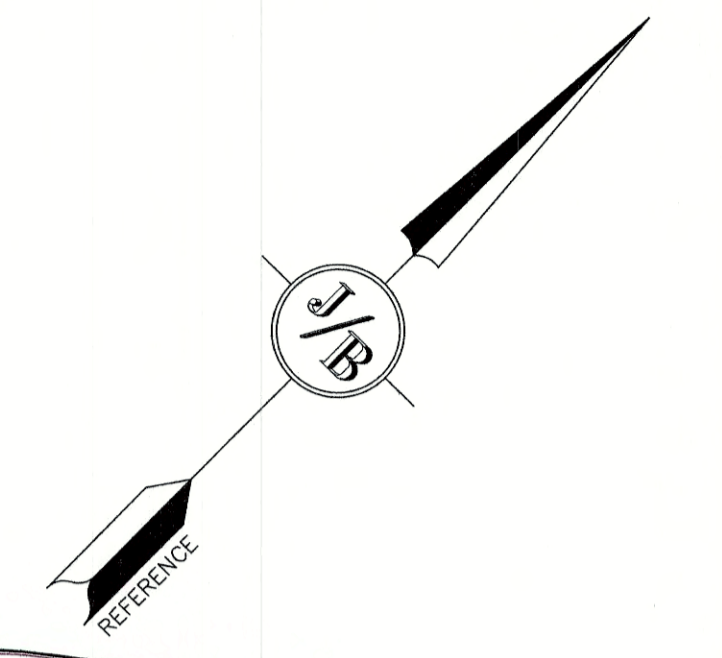
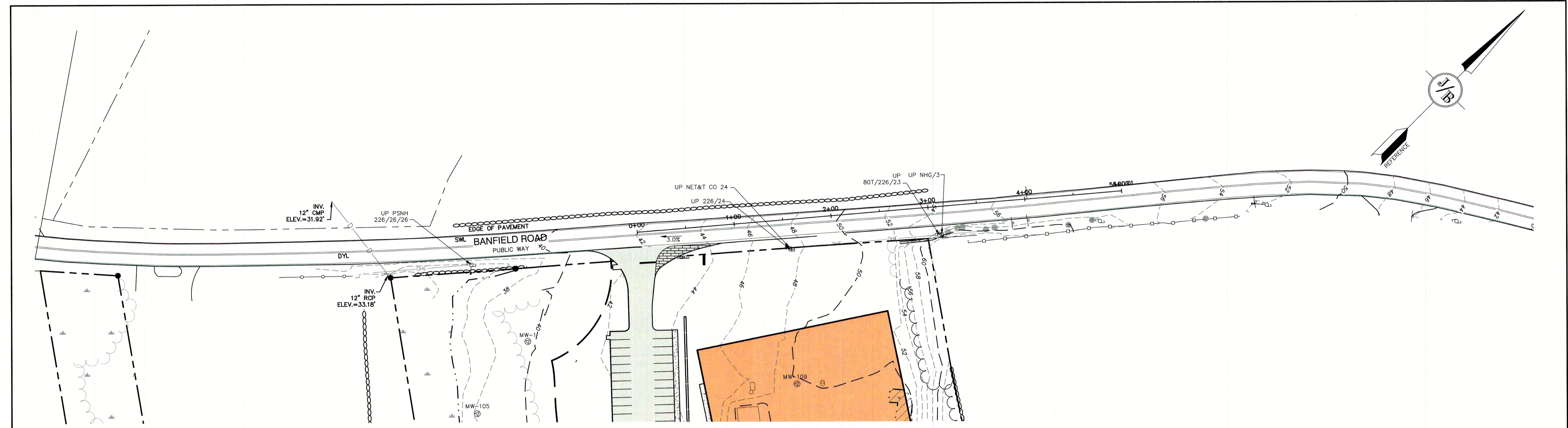
Plan Name: **HIGHWAY ACCESS PLAN**

Project: **INDUSTRIAL WAREHOUSE  
 375 BANFIELD ROAD, PORTSMOUTH, NH 03801**

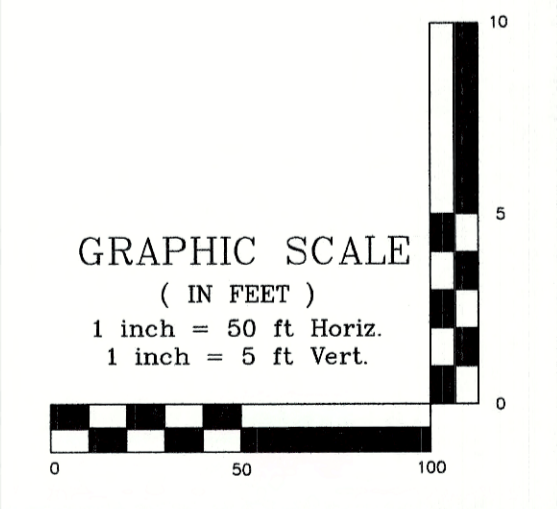
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SHEET 18 OF 24  
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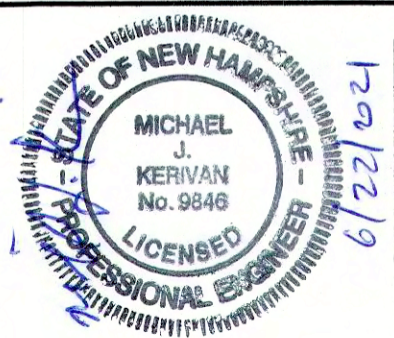


SIGHT DISTANCE PROFILE ALONG BANFIELD ROAD



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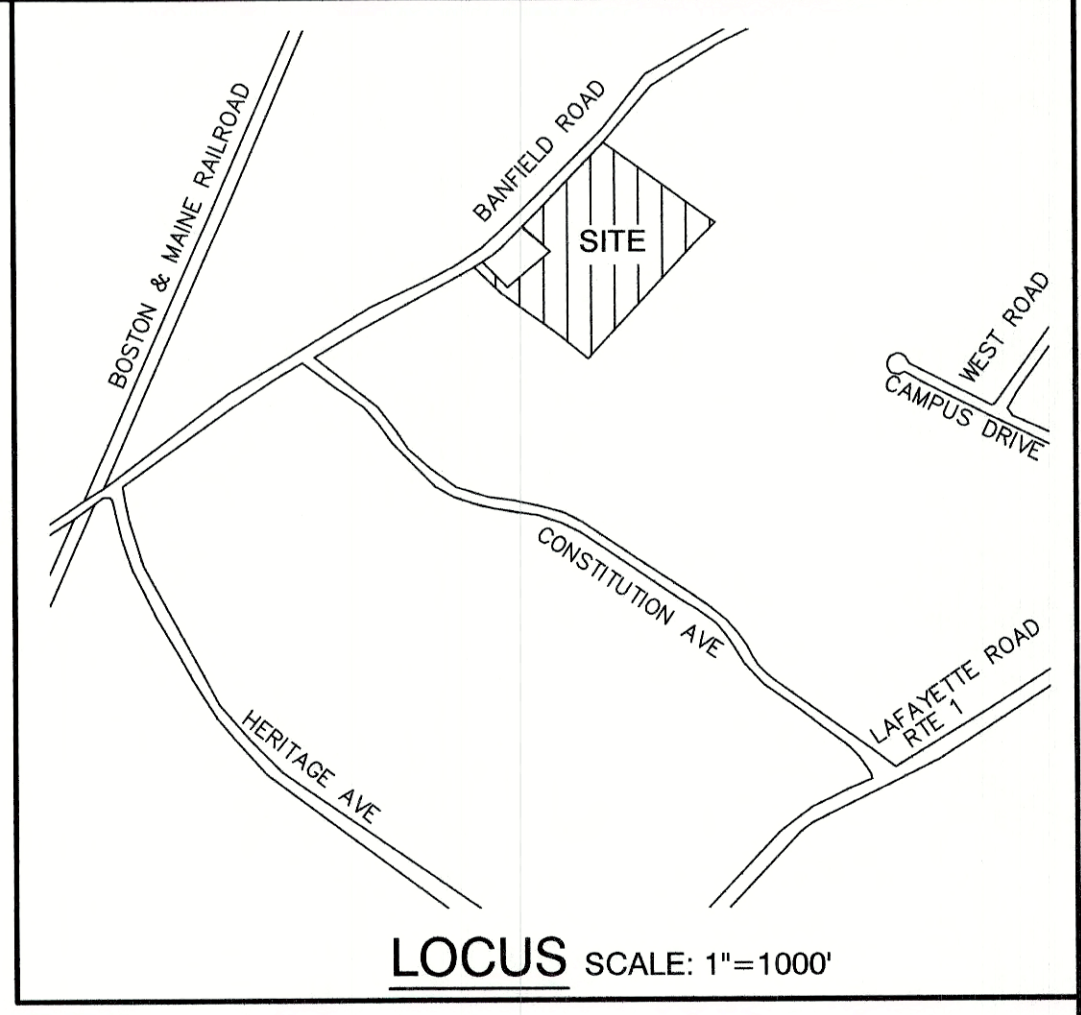
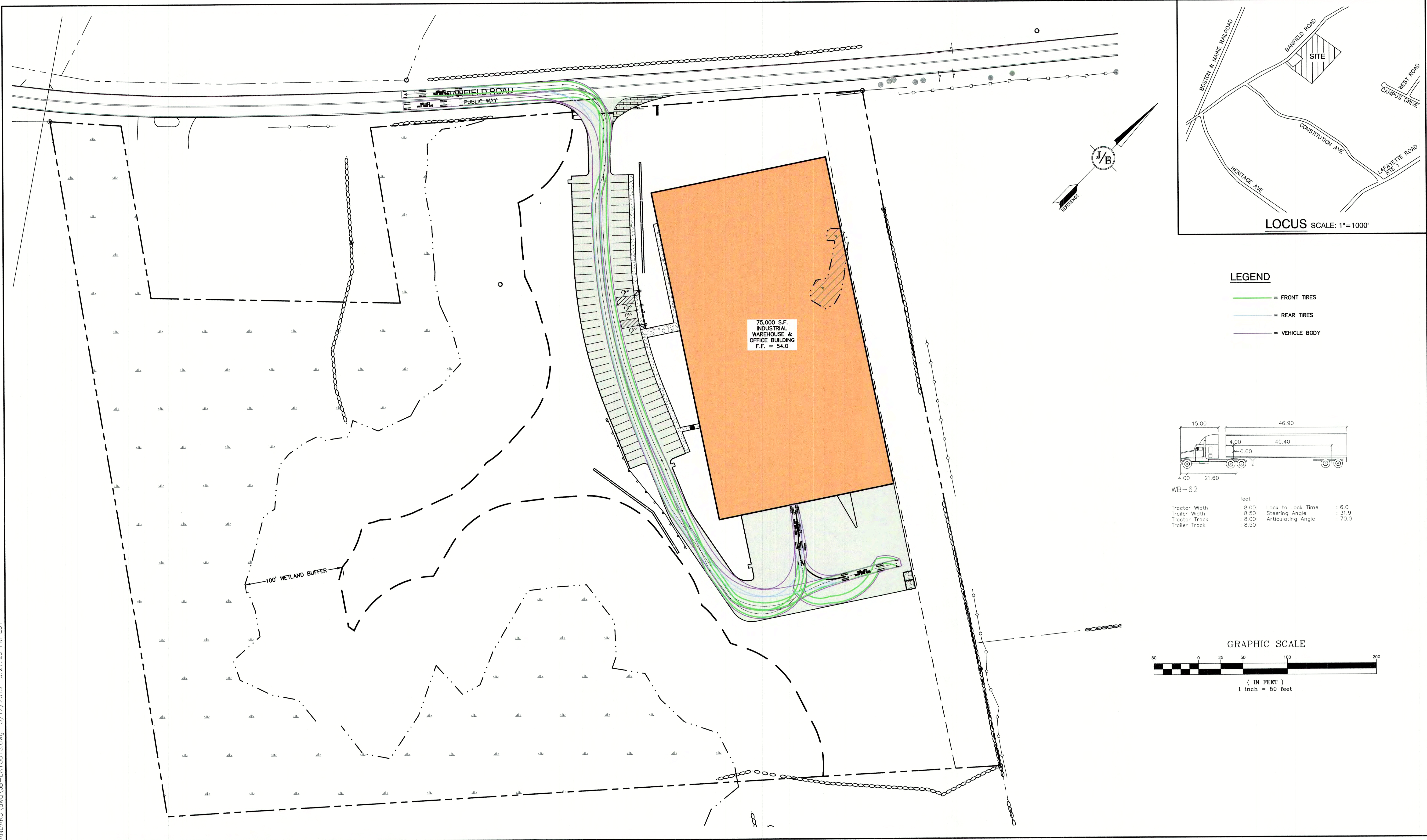


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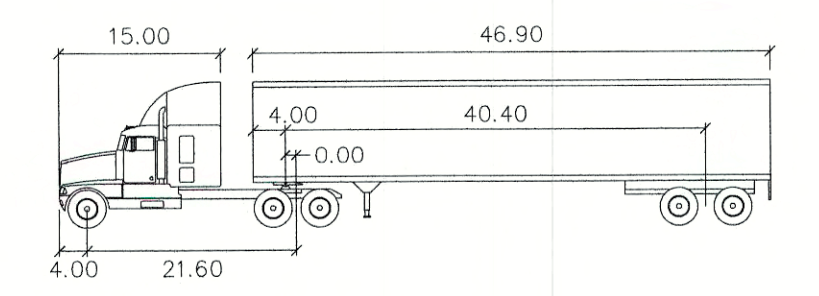
Plan Name: **HIGHWAY ACCESS PLAN**  
 Project: **INDUSTRIAL WAREHOUSE 375 BANFIELD ROAD, PORTSMOUTH, NH 03801**  
 Owner of Record: **BANFIELD REALTY LLC 304 MAPLEWOOD AVENUE, PORTSMOUTH, NH 03801**

DRAWING No. **H2**  
 SHEET 19 OF 24  
 JBE PROJECT NO. 19190.2



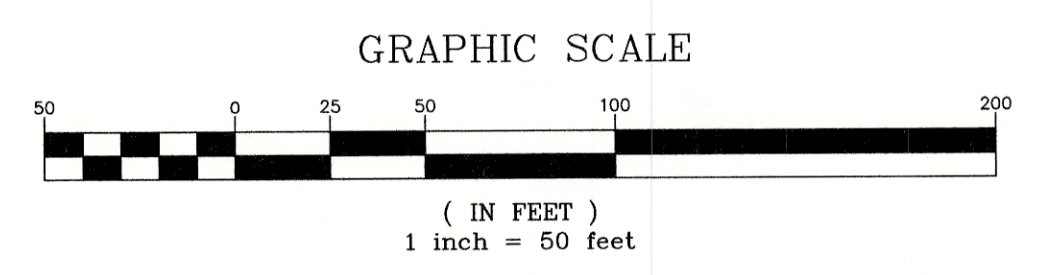
**LEGEND**

- = FRONT TIRES
- = REAR TIRES
- = VEHICLE BODY



WB-62

feet	
Tractor Width	: 8.00
Trailer Width	: 8.50
Tractor Track	: 8.00
Trailer Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 31.9
Articulating Angle	: 70.0



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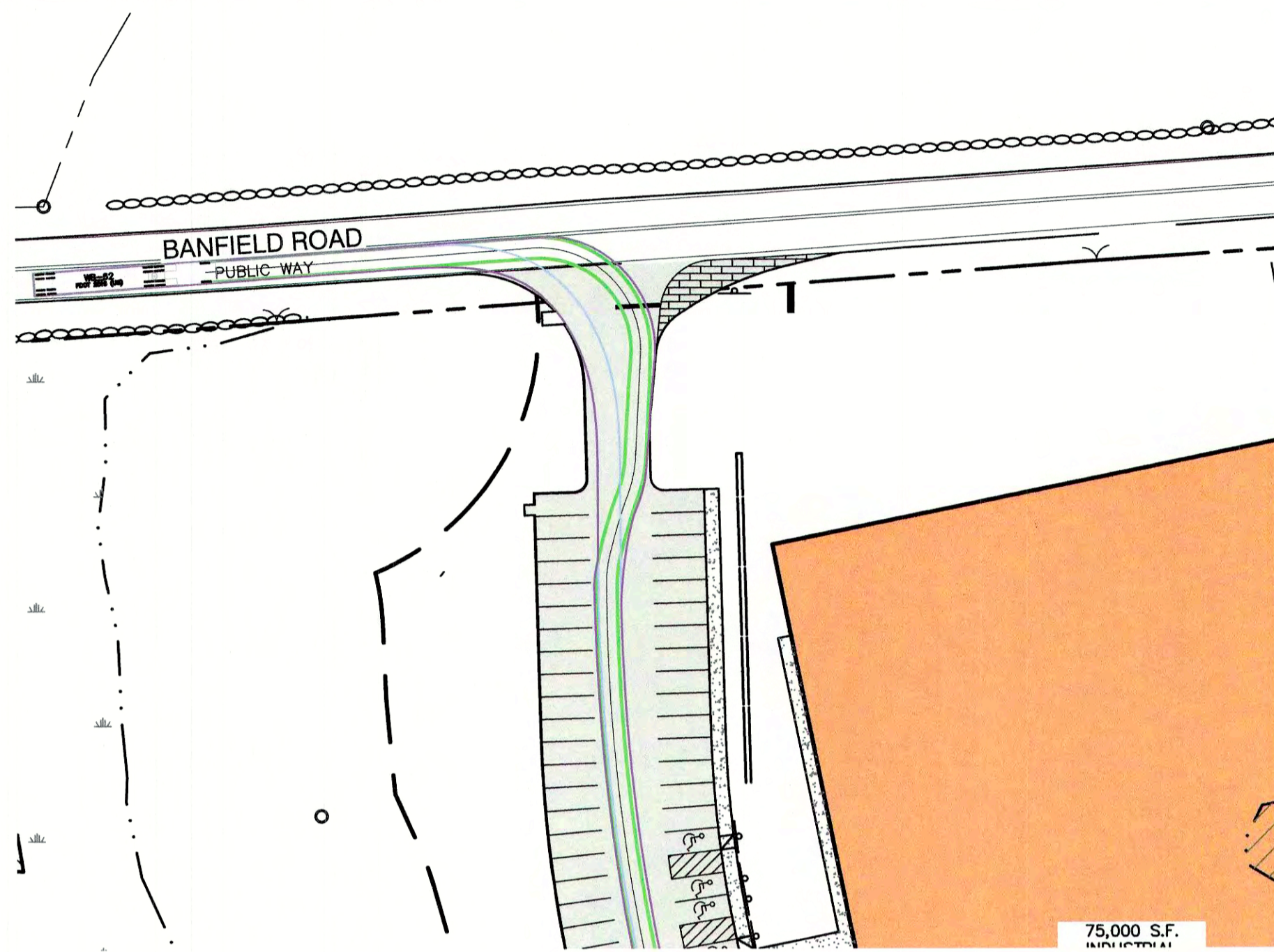
Plan Name: **OVERVIEW TRUCK TURNING PLAN**

Project: **INDUSTRIAL WAREHOUSE  
375 BANFIELD ROAD, PORTSMOUTH, NH 03801**

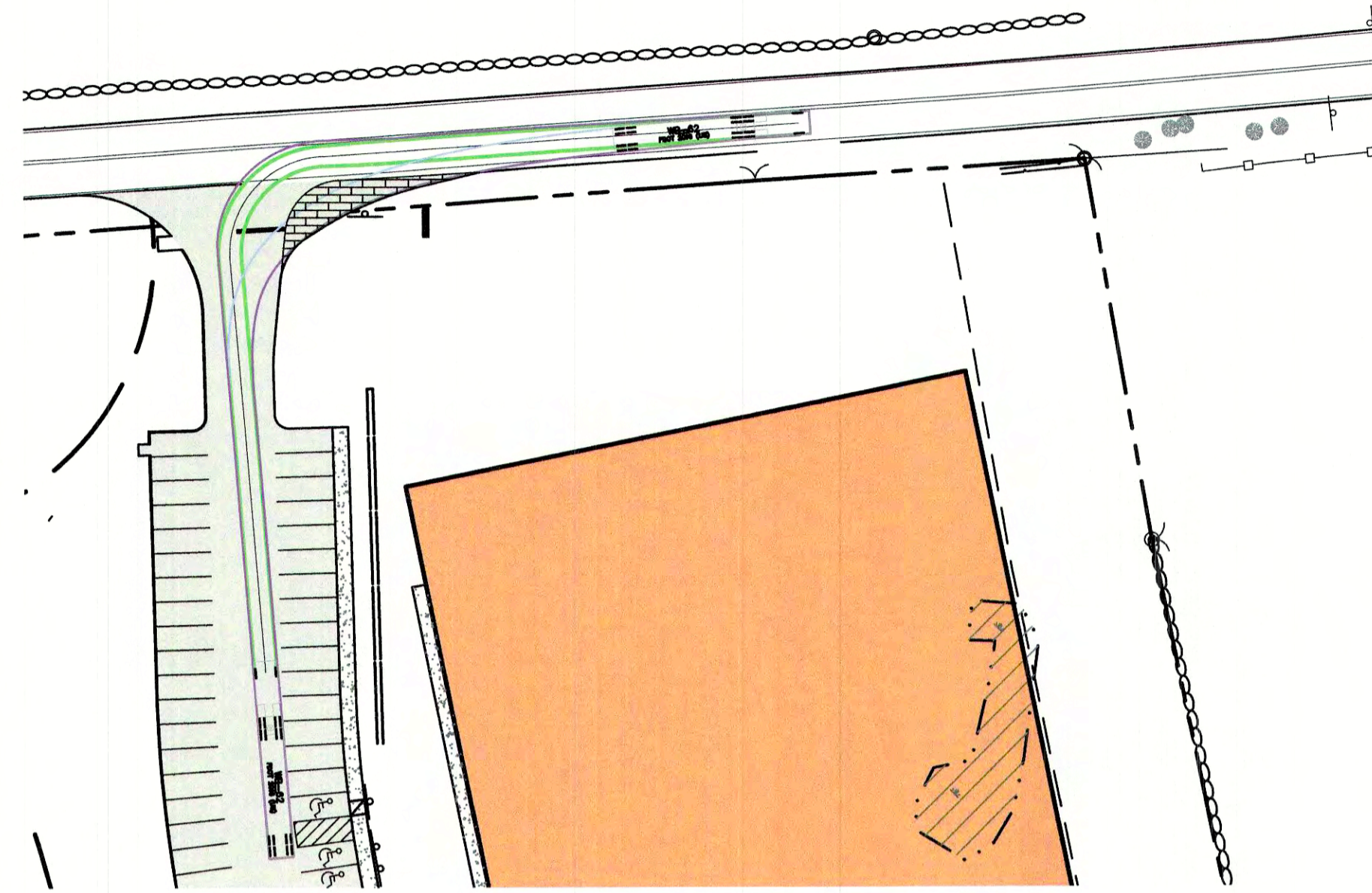
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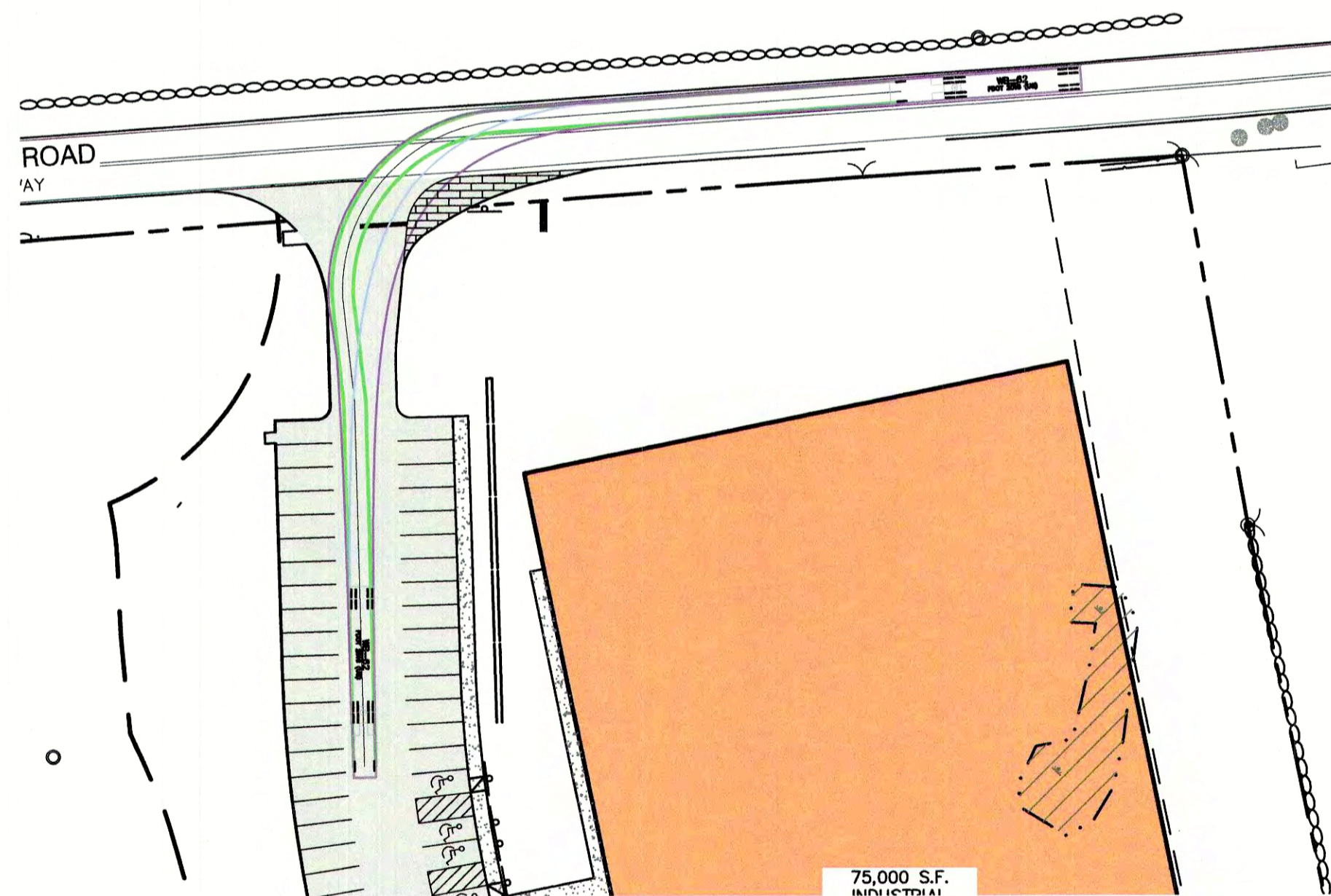
SHEET 20 OF 24  
 JBE PROJECT NO. 19190.2



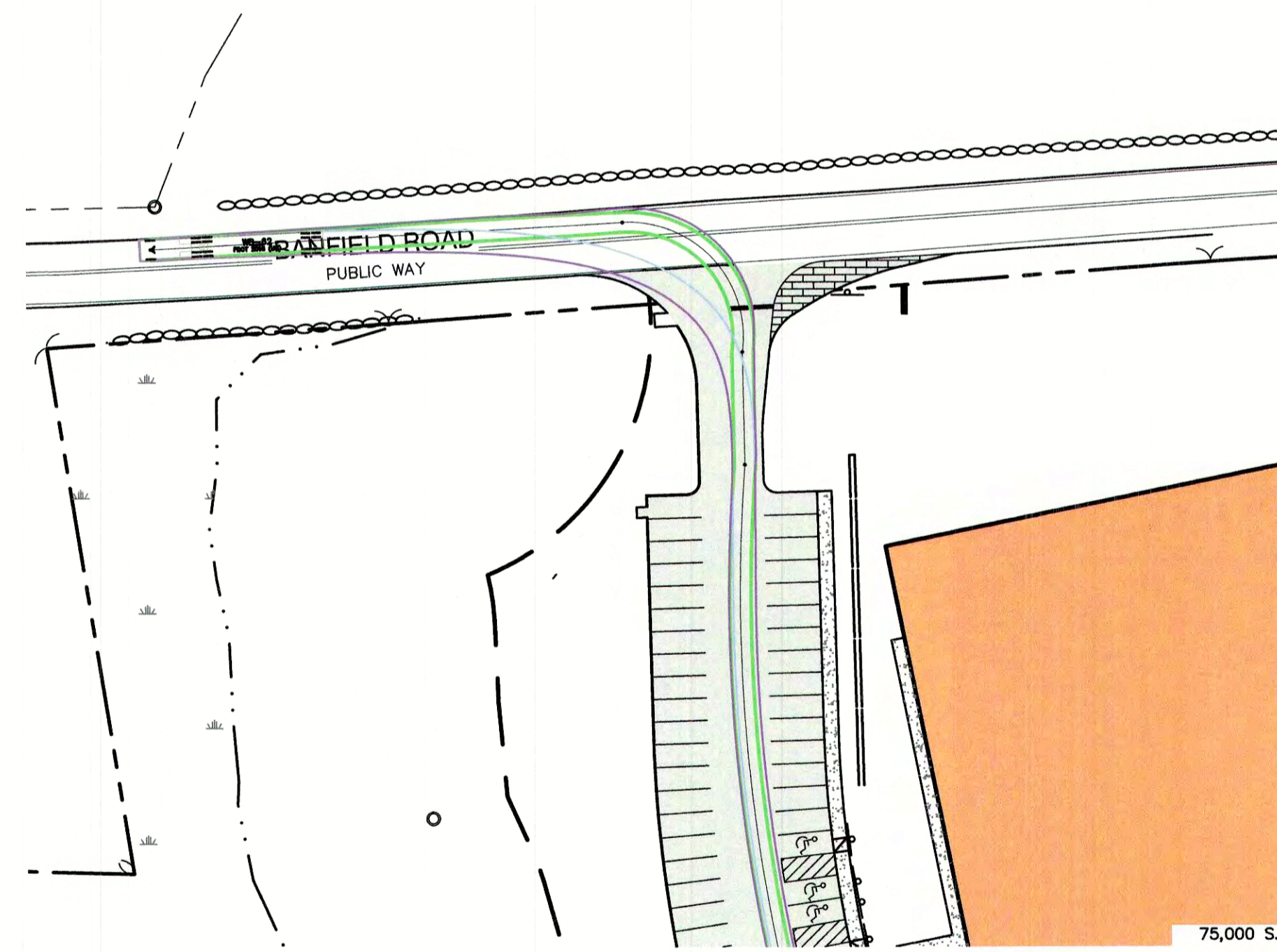
RIGHT TURN IN PLAN



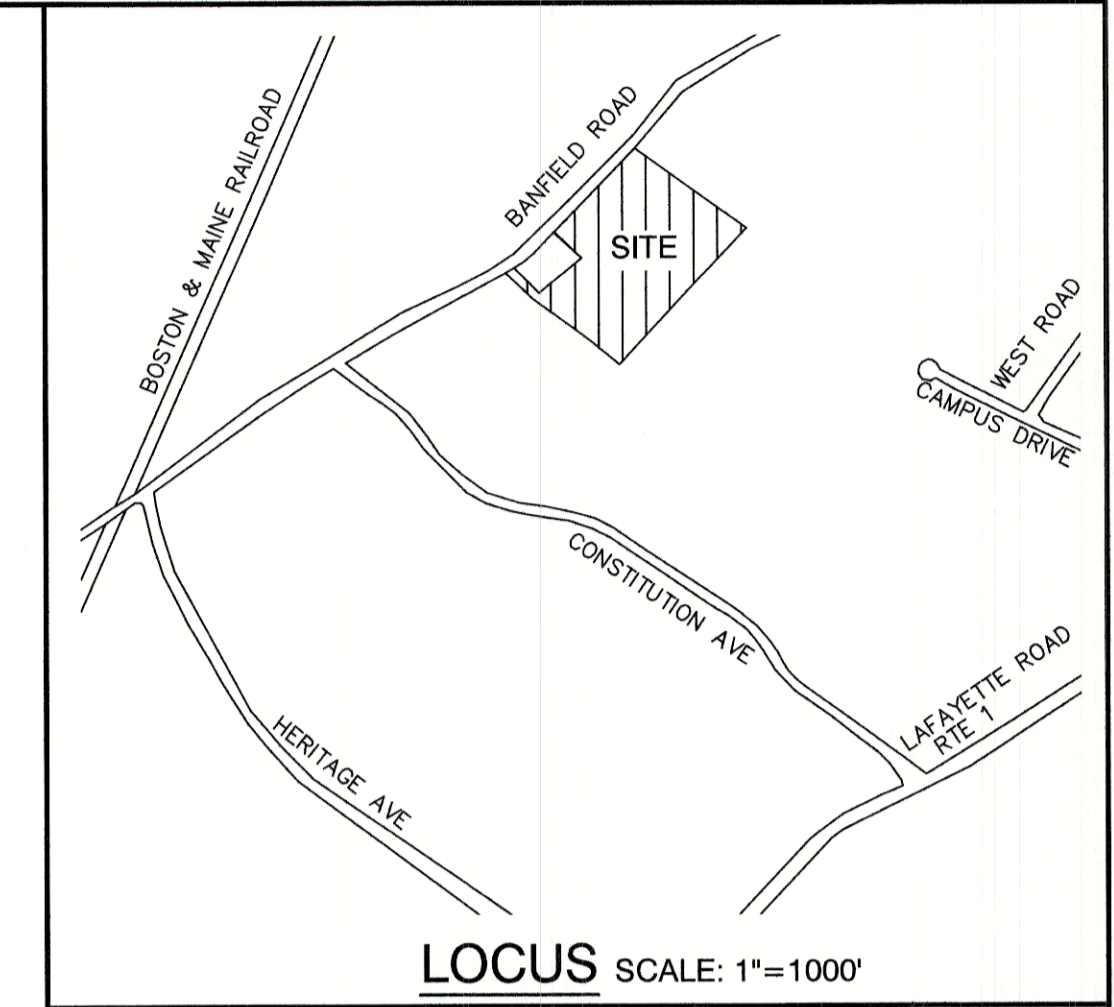
RIGHT TURN OUT PLAN



LEFT TURN IN PLAN

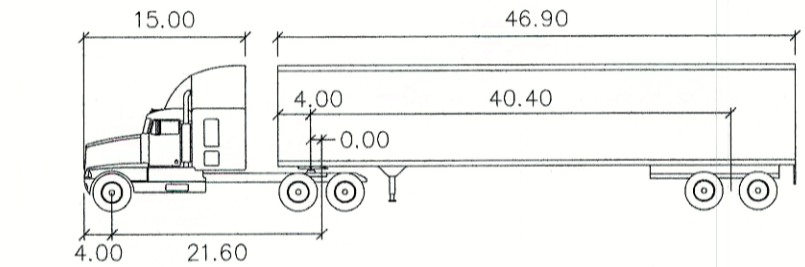


LEFT TURN OUT PLAN



**LEGEND**

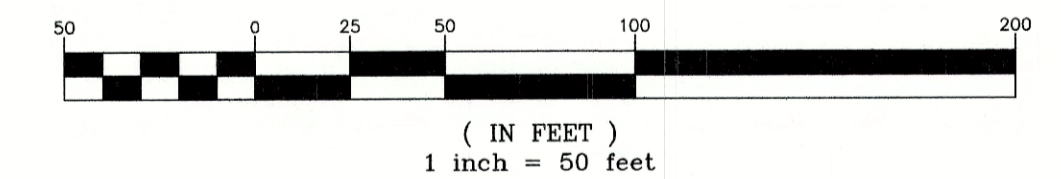
- = FRONT TIRES
- = REAR TIRES
- = VEHICLE BODY



WB-62

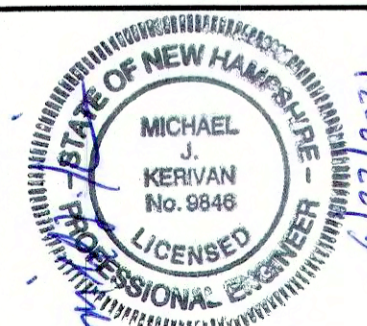
feet	
Tractor Width	: 8.00
Trailer Width	: 8.50
Tractor Track	: 8.00
Trailer Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 31.9
Articulating Angle	: 70.0

**GRAPHIC SCALE**



E:\CAD\MASTER STANDARD\dwg\JB-LAYOUTS.dwg 3/12/2015 3:27:29 PM EDT

Design: JAC Draft: DJM Date: 04/21/20  
 Checked: JAC Scale: AS-NOTED Project No.: 19190.2  
 Drawing Name: 19190-PLAN-NEW-LAYOUT.dwg  
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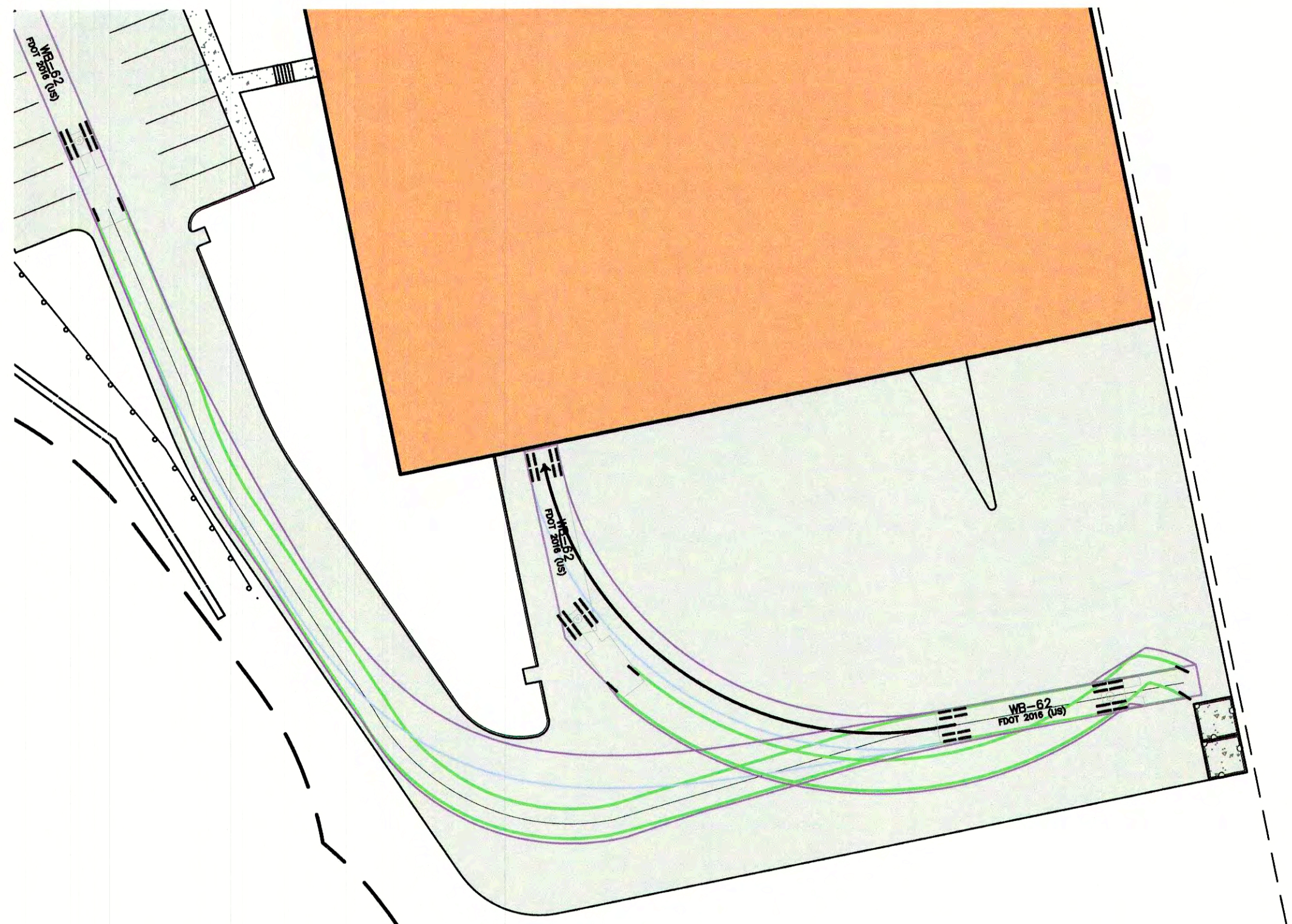


REV.	DATE	REVISION	BY
13	6/23/21	REVISED PER CITY COMMENTS	DJM
12	5/18/21	REVISED PLANTINGS PER NHB	DJM
11	5/17/21	ISSUED REVISED PLANS TO TAC	DJM
10	5/10/21	ISSUED REVISED PLANS FOR PRELIMINARY PB CONSULTATION	DJM
9	3/9/21	REVISED CONCEPTUAL LAYOUT	DJM

**J/B Jones & Beach Engineers, Inc.**  
 Civil Engineering Services  
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **DETAIL TRUCK TURNING PLAN**  
 Project: **INDUSTRIAL WAREHOUSE**  
**375 BANFIELD ROAD, PORTSMOUTH, NH 03801**  
 Owner of Record: **BANFIELD REALTY LLC**  
**304 MAPLEWOOD AVENUE, PORTSMOUTH, NH 03801**

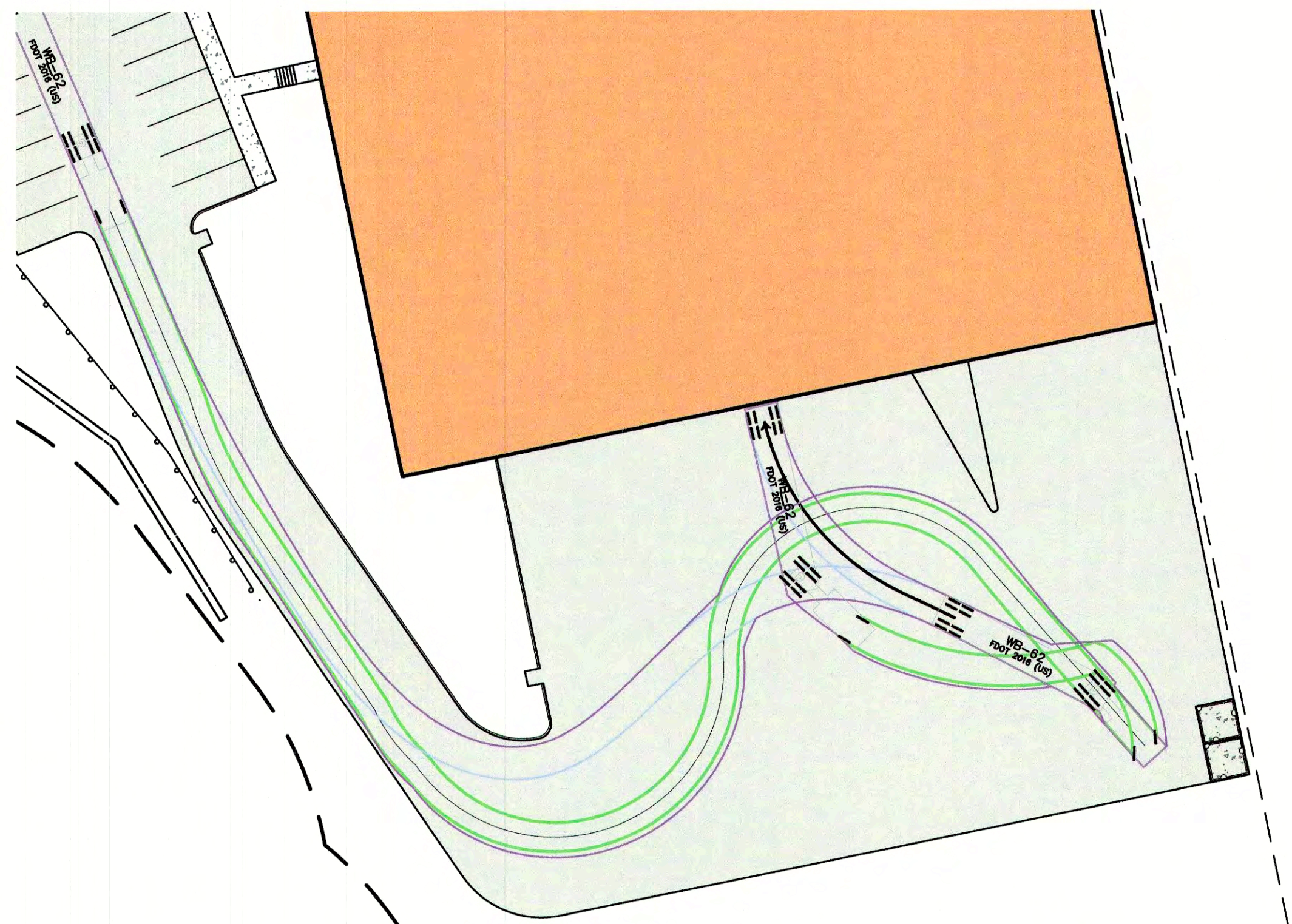
DRAWING No. **T2**  
 SHEET 21 OF 24  
 JBE PROJECT NO. 19190.2



POTENTIAL LOADING AREA #1



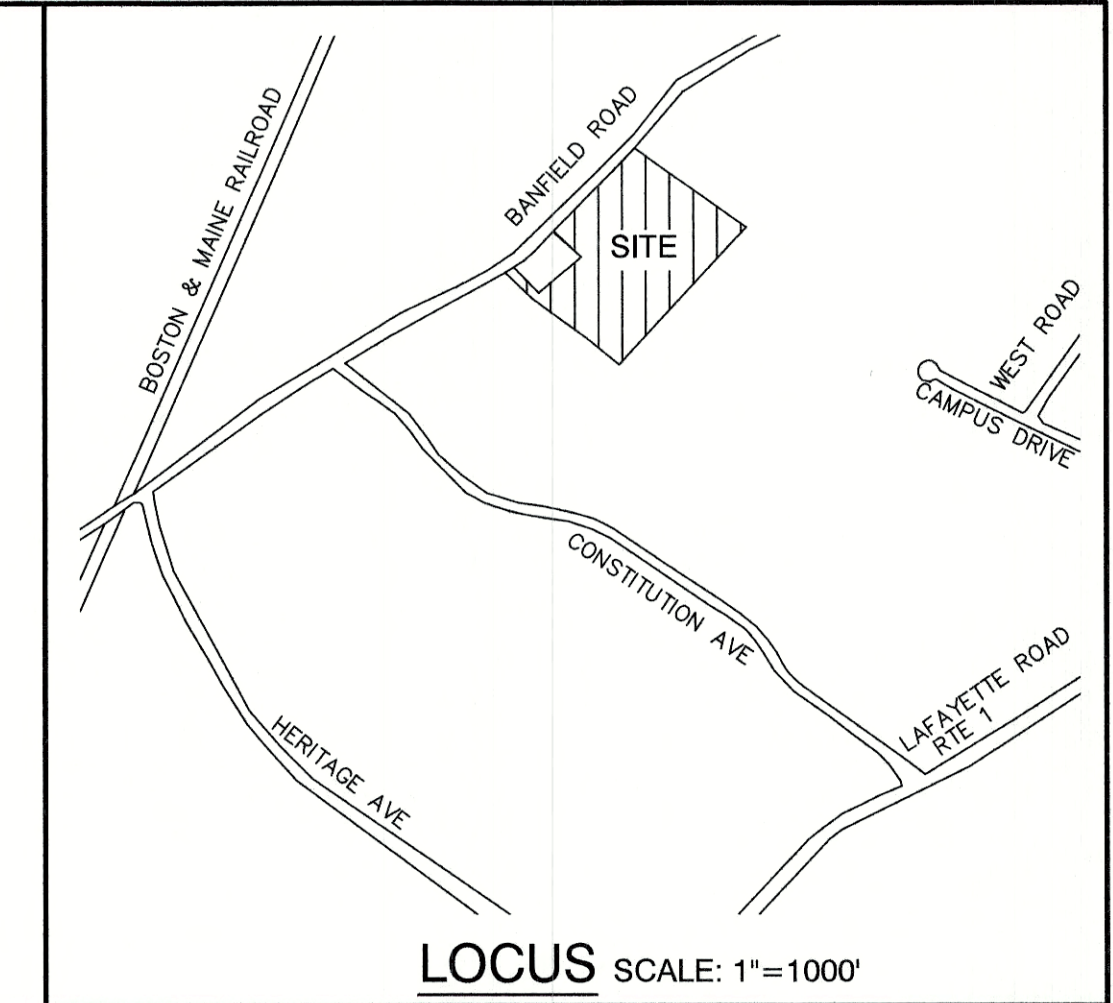
POTENTIAL LOADING AREA #2



POTENTIAL LOADING AREA #3

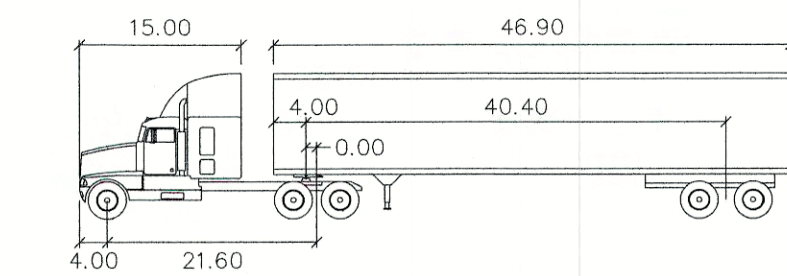
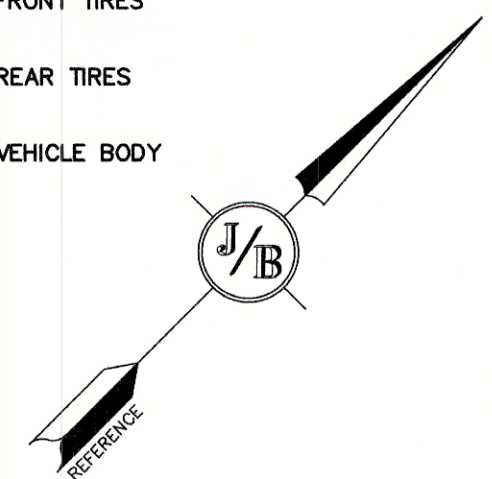


POTENTIAL LOADING AREA #4



LEGEND

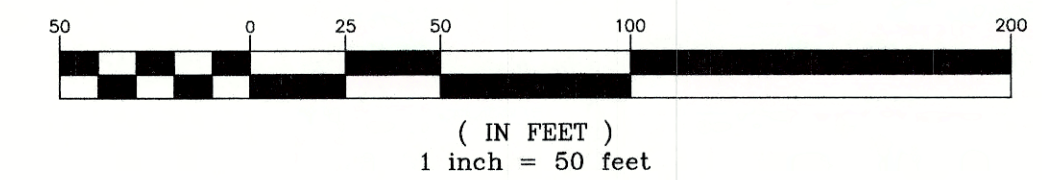
- = FRONT TIRES
- = REAR TIRES
- = VEHICLE BODY



WB-62

Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 31.9
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		

GRAPHIC SCALE



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Design: JAC Draft: DJM Date: 04/21/20  
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9	3/9/21	REVISED CONCEPTUAL LAYOUT	DJM

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave. *Civil Engineering Services* 603-772-4746  
 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227  
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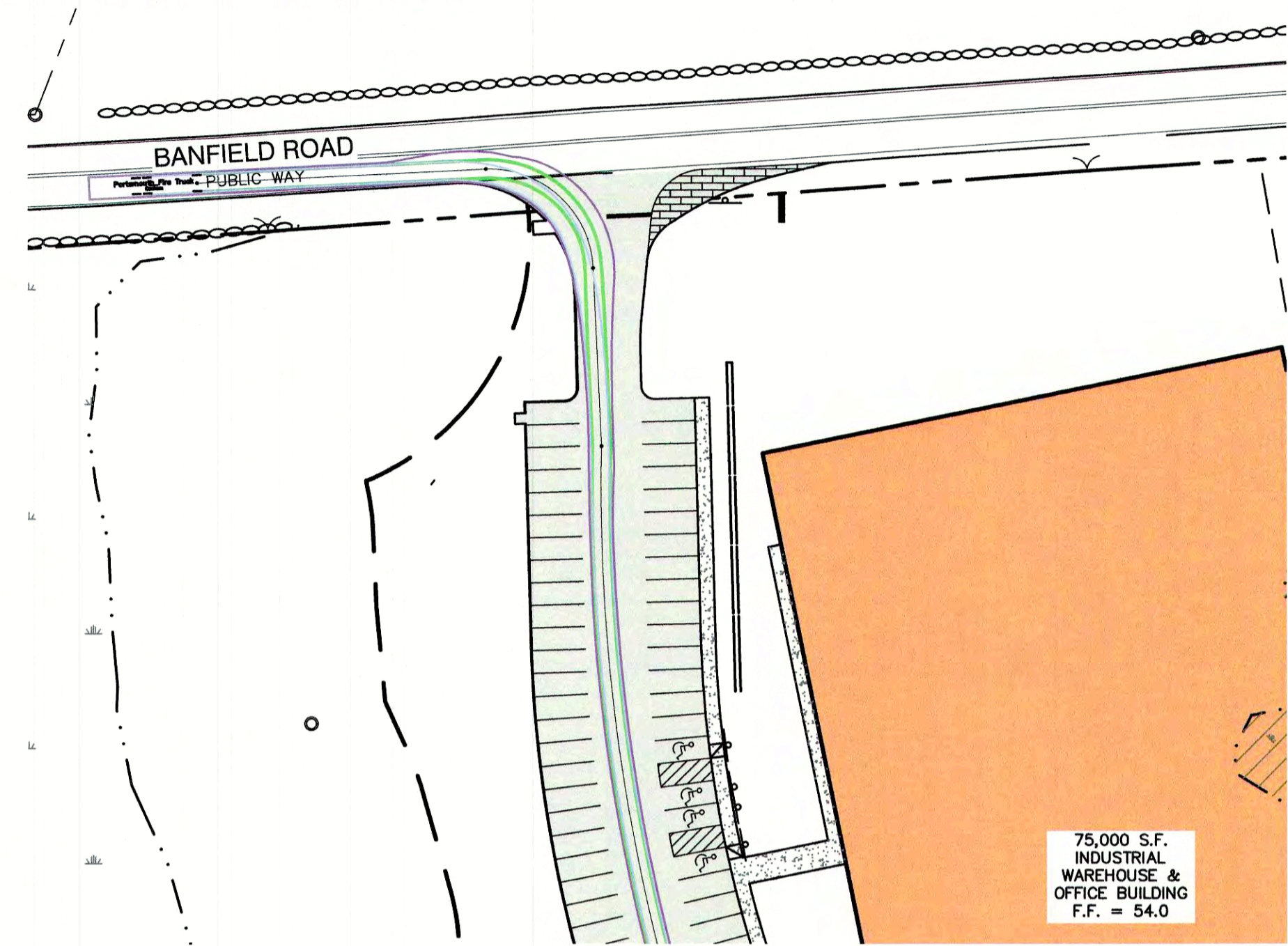
Plan Name:	<b>REAR TRUCK TURNING PLAN</b>
Project:	<b>INDUSTRIAL WAREHOUSE 375 BANFIELD ROAD, PORTSMOUTH, NH 03801</b>
Owner of Record:	<b>BANFIELD REALTY LLC 304 MAPLEWOOD AVENUE, PORTSMOUTH, NH 03801</b>

DRAWING No.  
**T3**  
 SHEET 22 OF 24  
 JBE PROJECT NO. 19190.2

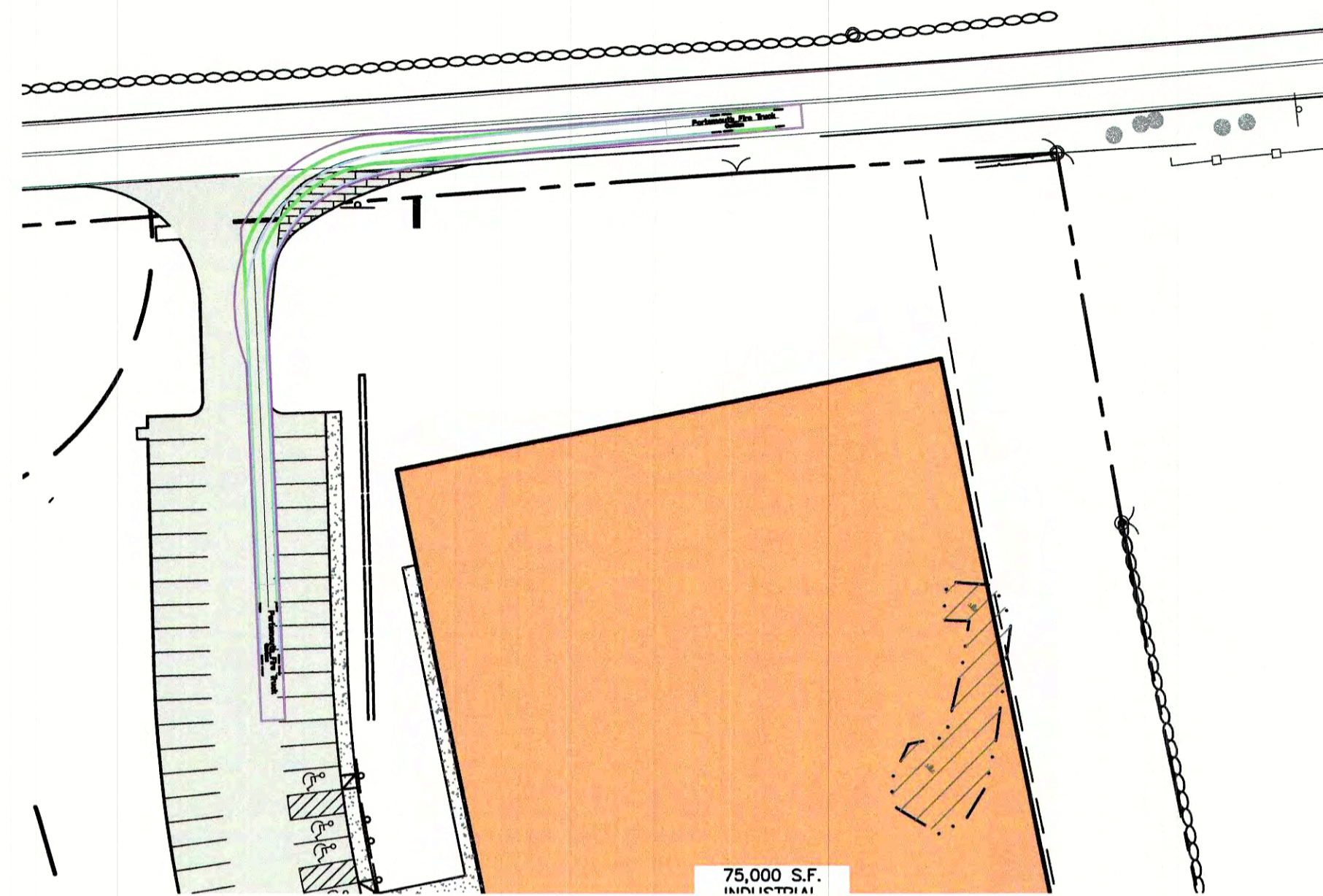




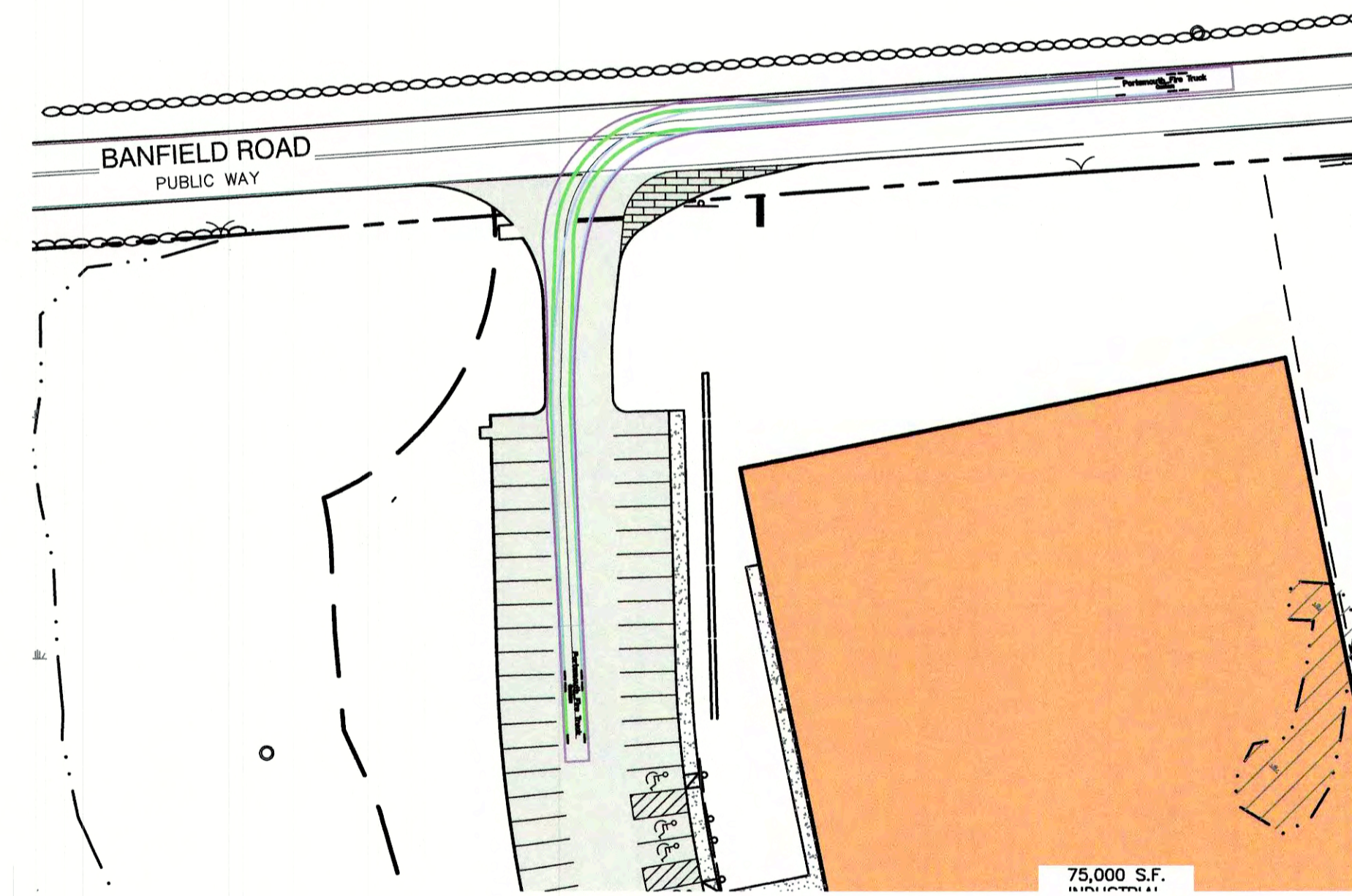
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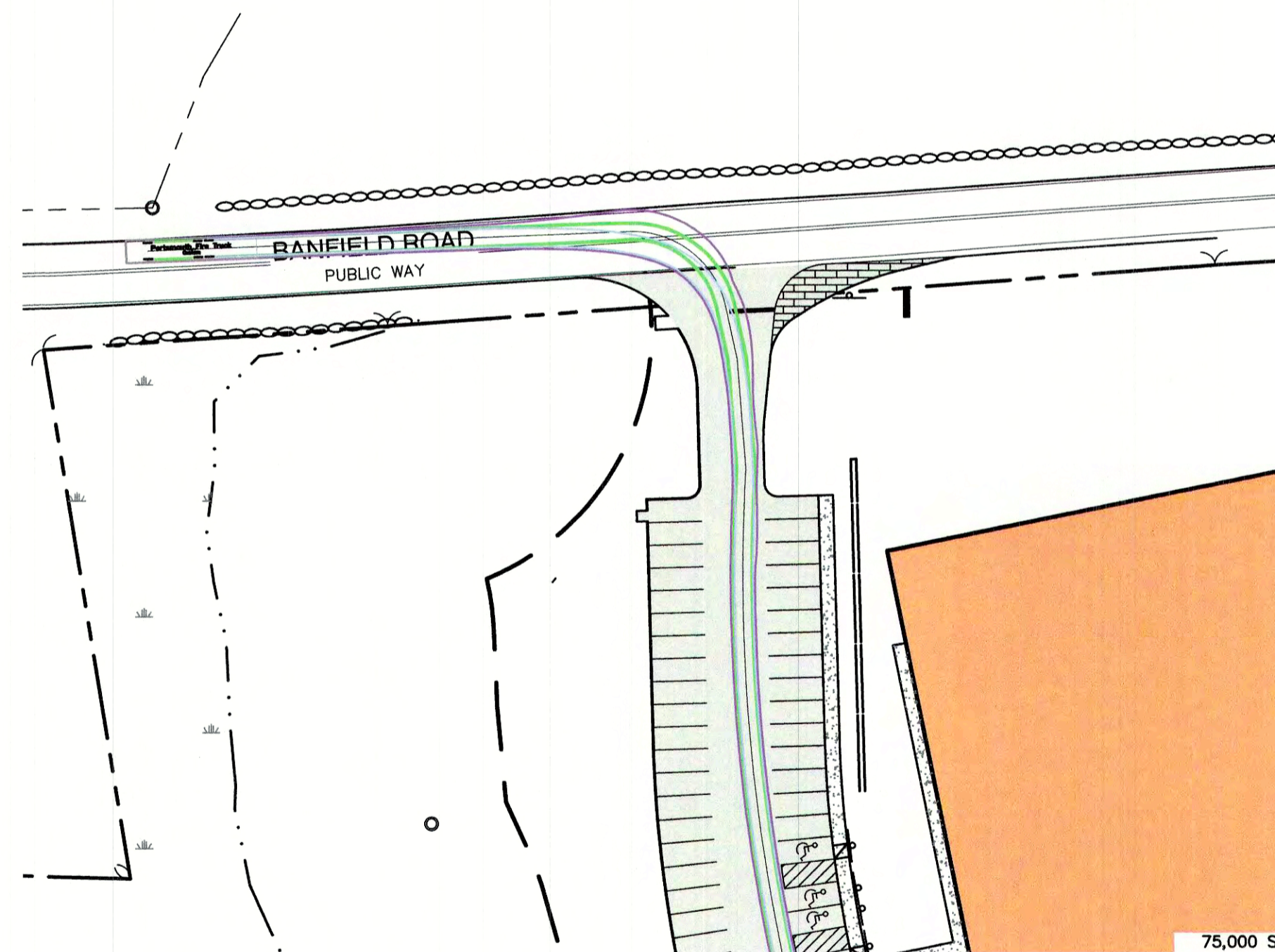
RIGHT TURN IN PLAN



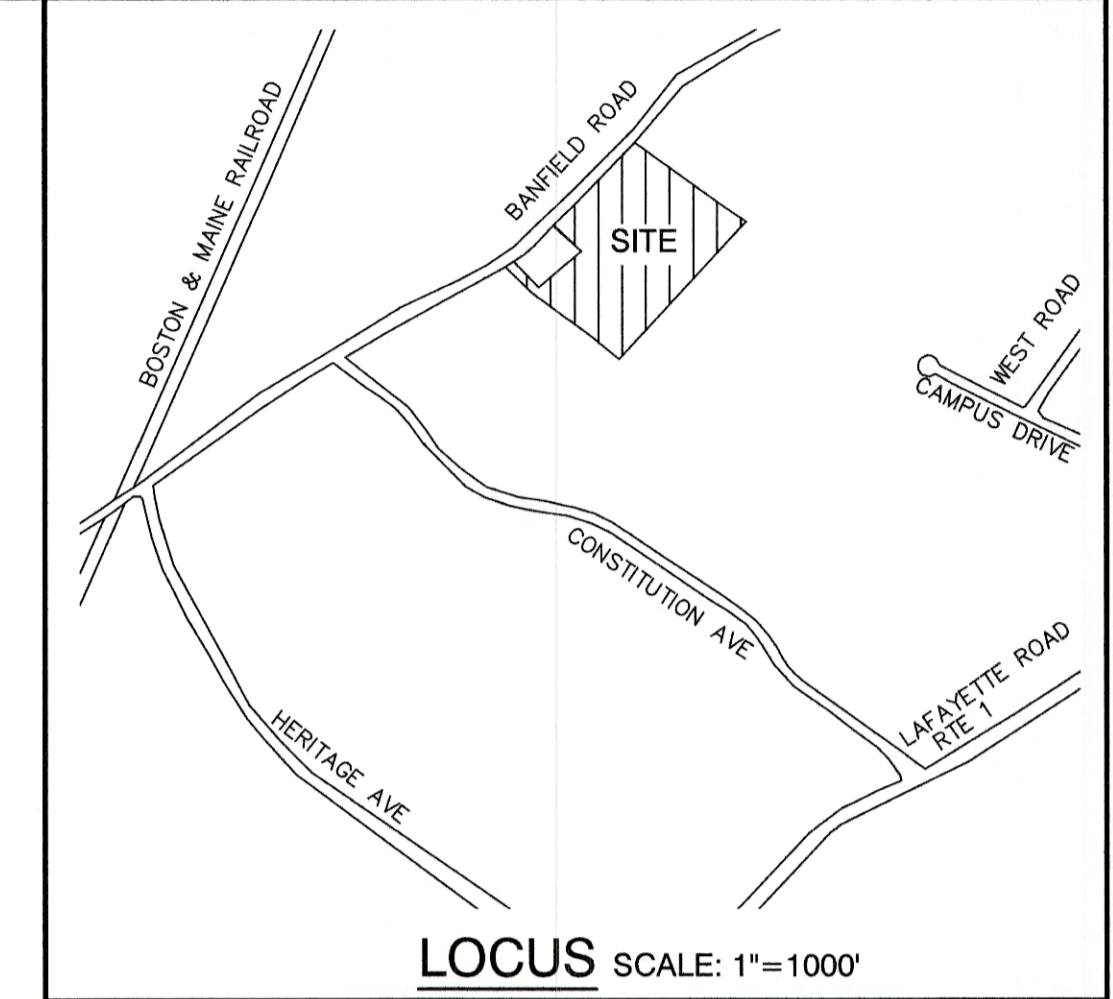
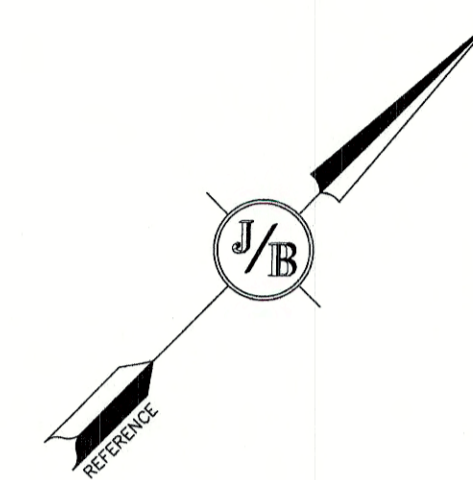
RIGHT TURN OUT PLAN



LEFT TURN IN PLAN

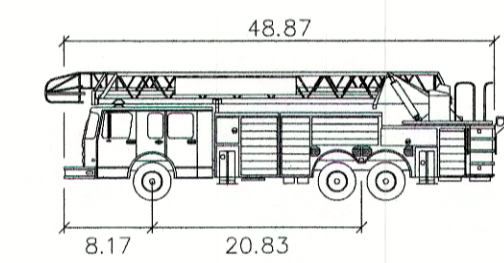


LEFT TURN OUT PLAN

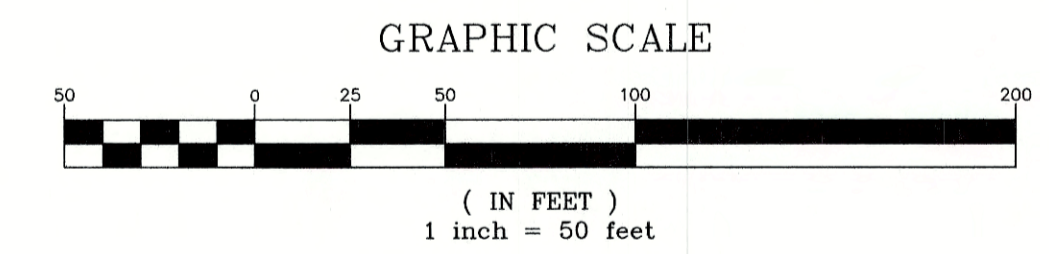


**LEGEND**

- FRONT TIRES
- REAR TIRES
- VEHICLE BODY



Portsmouth Fire Truck  
 Width : 8.50 feet  
 Track : 6.91 feet  
 Lock to Lock Time : 6.0  
 Steering Angle : 38.7



Design: JAC Draft: DJM Date: 04/21/20  
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Owner of Record:	<b>BANFIELD REALTY LLC 304 MAPLEWOOD AVENUE, PORTSMOUTH, NH 03801</b>

DRAWING No.  
**T5**  
 SHEET 24 OF 24  
 JBE PROJECT NO. 19190.2