

APPLICANTS AND OWNERS:
CLIPPER TRADERS, LLC
 PO BOX 121
 NEW CASTLE, NH 03854

PORTSMOUTH LUMBER AND
HARDWARE, LLC
 105 BARTLETT STREET
 PORTSMOUTH, N.H. 03801

BOSTON AND MAINE CORPORATION
 IRON HORSE PARK
 HIGH STREET
 NORTH BILLERICA, MA 01862

CIVIL ENGINEER & LAND SURVEYOR:
AMBIT ENGINEERING, INC.
 200 GRIFFIN ROAD, UNIT 3
 PORTSMOUTH, N.H. 03801-7114
 Tel (603) 430-9282
 Fax (603) 436-2315

ARCHITECT:
WINTER HOLBEN
 7 WALLINGFORD SQUARE
 KITTERY, ME 03904
 Tel (207) 994-3104

TRAFFIC ENGINEER:
STEPHEN G. PERNAW & COMPANY, INC.
 PO BOX 1721
 LOUDON, N.H. 03307
 Tel (603) 731-8500
 Fax (603) 929-6094

LANDSCAPE CONSULTANT:
TERRA FIRMA
 163.A COURT STREET
 PORTSMOUTH, N.H. 03801
 Tel (603) 430-8388

PROPOSED SUBDIVISION CLIPPER TRADERS, LLC

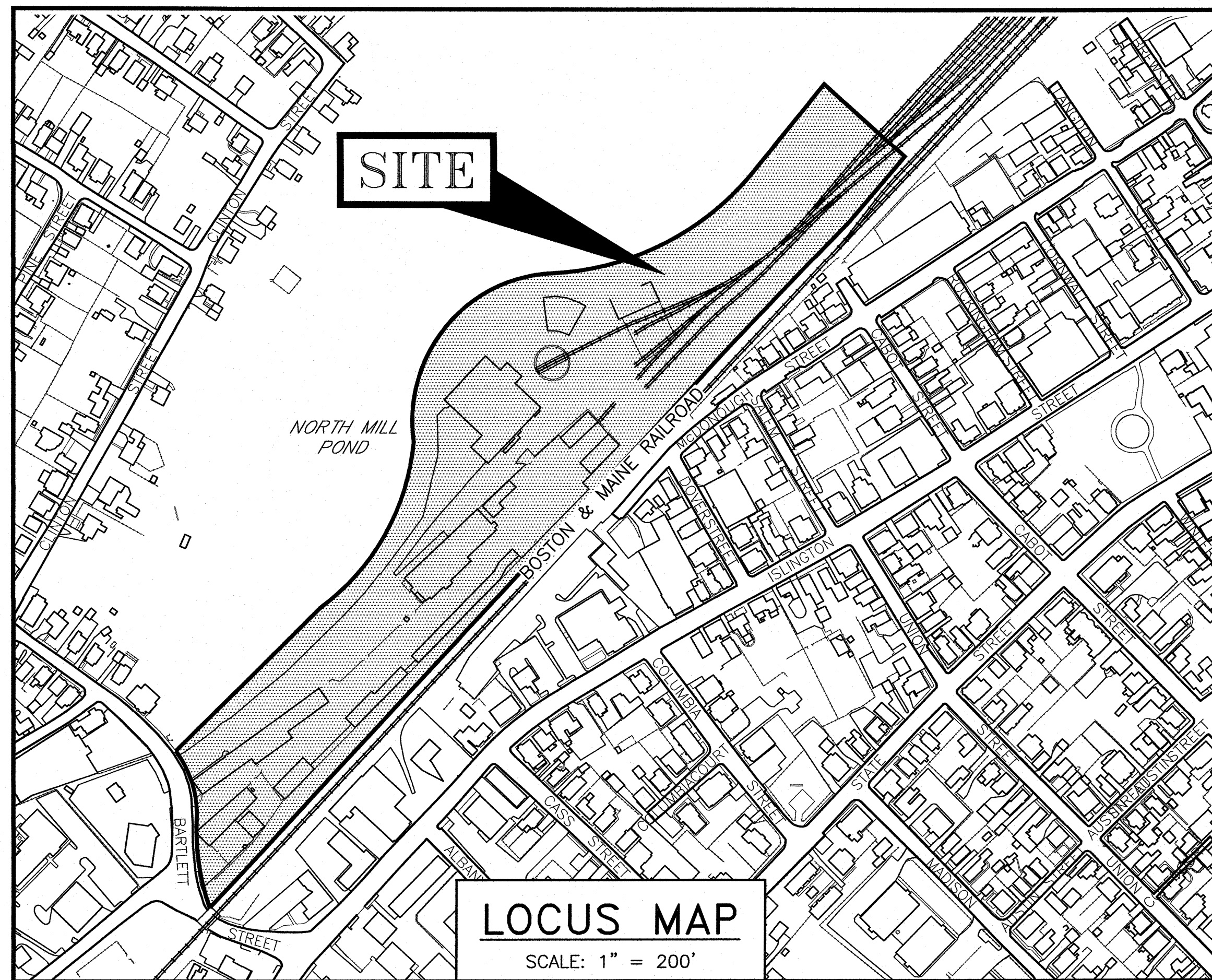
PROPOSED CLIPPER LANE PORTSMOUTH, NEW HAMPSHIRE

SUBDIVISION AND CONDITIONAL USE PERMIT PLANS

LEGEND:

N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCRD	ROCKINGHAM COUNTY
	REGISTRY OF DEEDS
	MAP 11/LOT 21
IR FND	IRON ROD FOUND
IP FND	IRON PIPE FOUND
IR SET	IRON ROD SET
DH FND	DRILL HOLE FOUND
DH SET	DRILL HOLE SET
	GRANITE BOUND w/IRON ROD FOUND
MSL	MEAN SEA LEVEL
HOTL	HIGHEST OBSERVABLE TIDE LINE
	PHOTO LOCATION

EXISTING	PROPOSED	
FM	FM	PROPERTY LINE
S	S	SETBACK LINE
SL	SL	FORCE MAIN
G	PG	SEWER PIPE
D	D	SEWER LATERAL
FD	FD	GAS LINE
W	W	STORM DRAIN
FS	FS	FOUNDATION DRAIN
UE	UGE	WATER LINE
		FIRE SERVICE LINE
		UNDERGROUND ELECTRIC SUPPLY
		UNDERGROUND ELECTRIC SERVICE
		OVERHEAD ELECTRIC/WIRES
		RETAINING WALL
		EDGE OF PAVEMENT (EP)
100	100	CONTOUR
97x3	98x0	SPOT ELEVATION
		UTILITY POLE
		ELECTRIC METER
		TRANSFORMER ON CONCRETE PAD
		ELECTRIC HANDHOLD/PULLBOX
		WATER SHUT OFF/CURB STOP
		PIPE CLEANOUT
		GATE VALVE
		SEWER MANHOLE
		HYDRANT
		DRAIN MANHOLE
		CATCH BASIN
		WATER METER MANHOLE
		TEST BORING
		TEST PIT
		LANDSCAPED AREA
		CAST IRON PIPE
		COPPER PIPE
		CORRUGATED METAL PIPE
		DUCTILE IRON PIPE
		POLYVINYL CHLORIDE PIPE
		REINFORCED CONCRETE PIPE
		HYDRANT
		CENTERLINE
		EDGE OF PAVEMENT
		ELEVATION
		INVERT
		FINISHED FLOOR
		TEMPORARY BENCH MARK
		TYPICAL



Map 10.5A21A
 Character Districts and Civic Districts

Legend

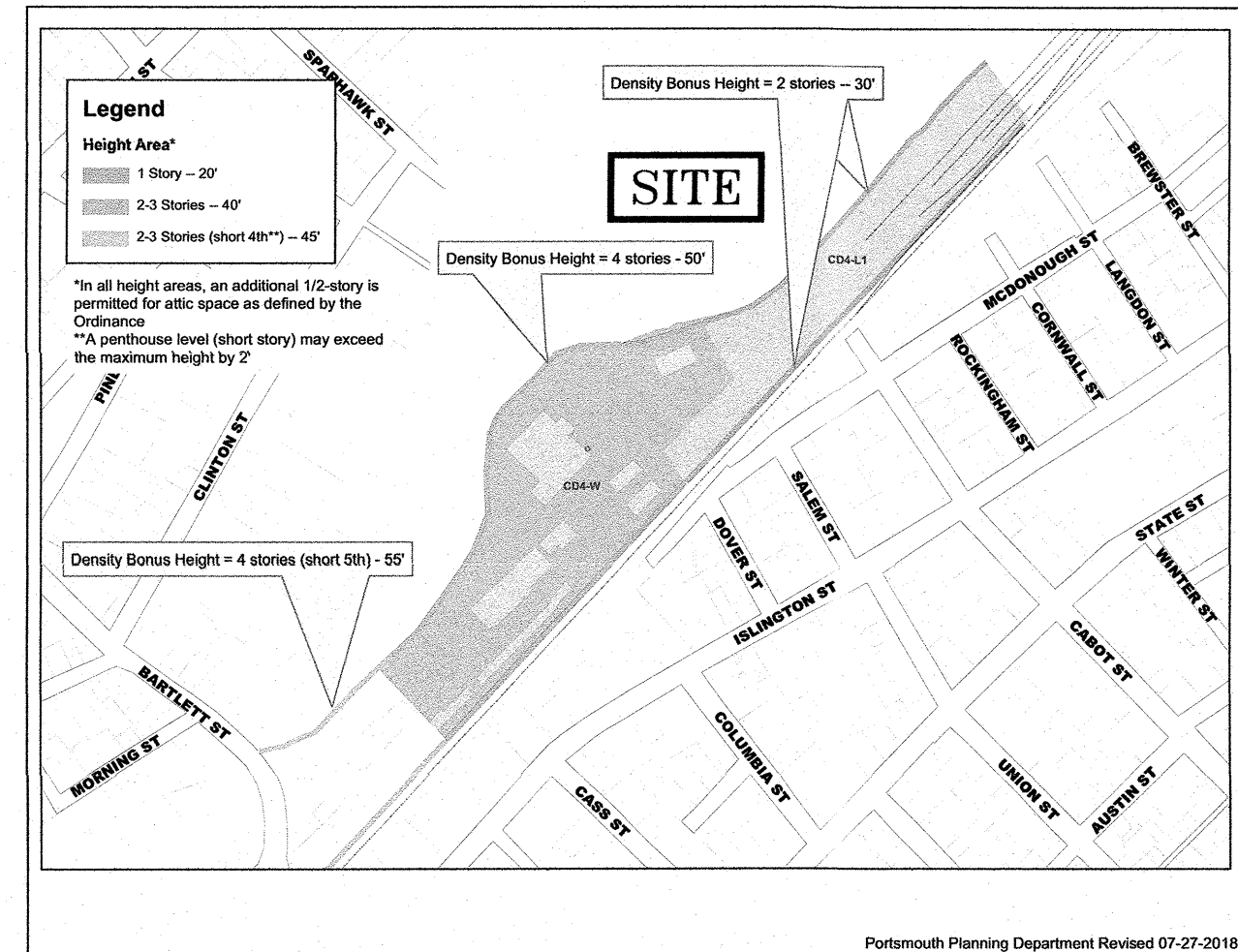
Downtown Overlay District
 Historic District

Character Districts

- CD5 Character District 5
- CD4 Character District 4
- CD4-W Character District 4-W
- CD4-L1 Character District 4-L1
- CD4-L2 Character District 4-L2

Civic District

- Civic District
- Municipal District



INDEX OF SHEETS

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- 03 UTILITY PLAN
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- L1-L4 LANDSCAPE PLAN
- 1-4 SUBDIVISION PLANS
- 1-3 EASEMENT PLANS
- C1-C3 EXISTING CONDITIONS PLANS
- C4-C8 LOT PLANS
- C9-C10 STORMWATER SEPARATION PLANS
- P1-P2 ROADWAY PLAN & PROFILES
- SD1-2 SIGHT DISTANCE PLANS
- D1-D6 DETAILS

UTILITY CONTACTS

ELECTRIC:
 EVERSOURCE
 1700 LAFAYETTE ROAD
 PORTSMOUTH, N.H. 03801
 Tel. (603) 436-7708, Ext. 555.5678
 ATTN: MICHAEL BUSBY, P.E. (MANAGER)

NATURAL GAS:
 UNITIL
 325 WEST ROAD
 PORTSMOUTH, N.H. 03801
 Tel. (603) 294-5144
 ATTN: DAVE BEAULIEU

CABLE:
 COMCAST
 155 COMMERCE WAY
 PORTSMOUTH, N.H. 03801
 Tel. (603) 679-5695 (X1037)
 ATTN: MIKE COLLINS

SEWER & WATER:
 PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
 680 PEVERLY HILL ROAD
 PORTSMOUTH, N.H. 03801
 Tel. (603) 427-1530
 ATTN: JIM TOW

COMMUNICATIONS:
 CONSOLIDATED COMMUNICATIONS
 JOE CONSIDINE
 1575 GREENLAND ROAD
 GREENLAND, N.H. 03840
 Tel. (603) 427-5525

SUBDIVISION PLANS
PROPOSED SUBDIVISION
 105 BARTLETT STREET
 PORTSMOUTH, N.H.



PLAN SET SUBMITTAL DATE: 6 NOVEMBER 2018

PORTSMOUTH APPROVAL CONDITIONS NOTE:
 ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____



AMBIT ENGINEERING, INC.
 Civil Engineers & Land Surveyors
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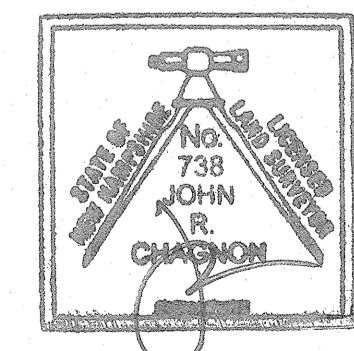
NOTES:

- 1) THE PURPOSE OF THIS PLAN IS TO SHOW THE OVERALL PROJECT AREA AND ZONING VARIANCES RECEIVED FOR THE SUBDIVISION.

**CLIPPER TRADERS
 105 BARTLETT STREET
 PROPOSED SUBDIVISION
 PORTSMOUTH, N.H.**

2	SHEET NUMBER	10/16/18
1	ISSUED FOR APPROVAL	9/18/18
0	ISSUED FOR COMMENT	4/26/18
NO.	DESCRIPTION	DATE

REVISIONS



SCALE 1" = 60' SEPTEMBER 2018

ZONING AND OVERALL PLAN

01

**VARIANCES GRANTED FROM
 PORTSMOUTH ZONING ORDINANCE**

PROPOSED LOT 1 (CD4-W ZONE):

- VARIANCES FROM 10.5A41.10B
 1) TO ALLOW FOR A FRONT LOT LINE BUILDOUT OF 13.4%, WHERE 28.5% CURRENTLY EXISTS AND 50% IS REQUIRED.
 2) TO ALLOW FOR A MAXIMUM PRIMARY FRONT SETBACK OF 27.2 FEET, WHERE 27.2 FEET CURRENTLY EXISTS AND 10 FEET IS REQUIRED.

PROPOSED LOT 2 (CD4-W & CD4-L1 ZONE):

- VARIANCES FROM 10.5A41.10B
 1) TO ALLOW FOR A PRIMARY FRONT LOT LINE BUILDOUT OF 13.3%, WHERE 7.5% CURRENTLY EXISTS AND 50% IS REQUIRED.
 2) TO ALLOW FOR A SECONDARY FRONT LOT LINE BUILDOUT OF 0%, WHERE NONE CURRENTLY EXISTS AND 50% IS REQUIRED.
 3) TO ALLOW FOR A MAXIMUM PRIMARY FRONT SETBACK OF 18.2 FEET, WHERE 18.2 FEET CURRENTLY EXISTS AND 10 FEET IS REQUIRED.
 4) TO ALLOW FOR A MAXIMUM SECONDARY FRONT SETBACK OF 30.2 FEET, WHERE NONE CURRENTLY EXISTS AND 15 FEET IS REQUIRED.

**VARIANCES GRANTED FROM
 PORTSMOUTH ZONING ORDINANCE**

PROPOSED LOT 3 (CD4-W):

- VARIANCES FROM 10.5A41.10B
 1) TO ALLOW FOR A FRONT LOT LINE BUILDOUT OF 24.7%, WHERE NO REQUIREMENT CURRENTLY EXISTS AND 50% IS REQUIRED.
 2) TO ALLOW FOR A MINIMUM OPEN SPACE OF 9.6%, WHERE 0% EXIST AND 15% IS REQUIRED.

PROPOSED LOT 4 (CD4-W):

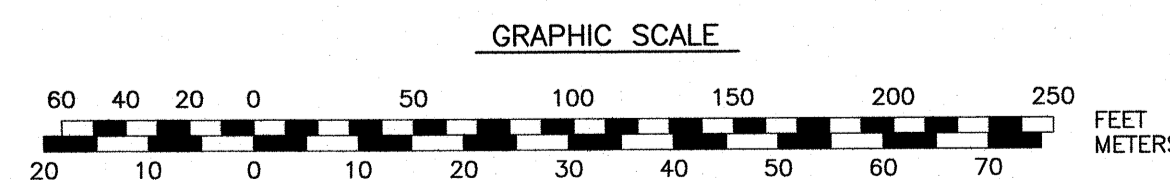
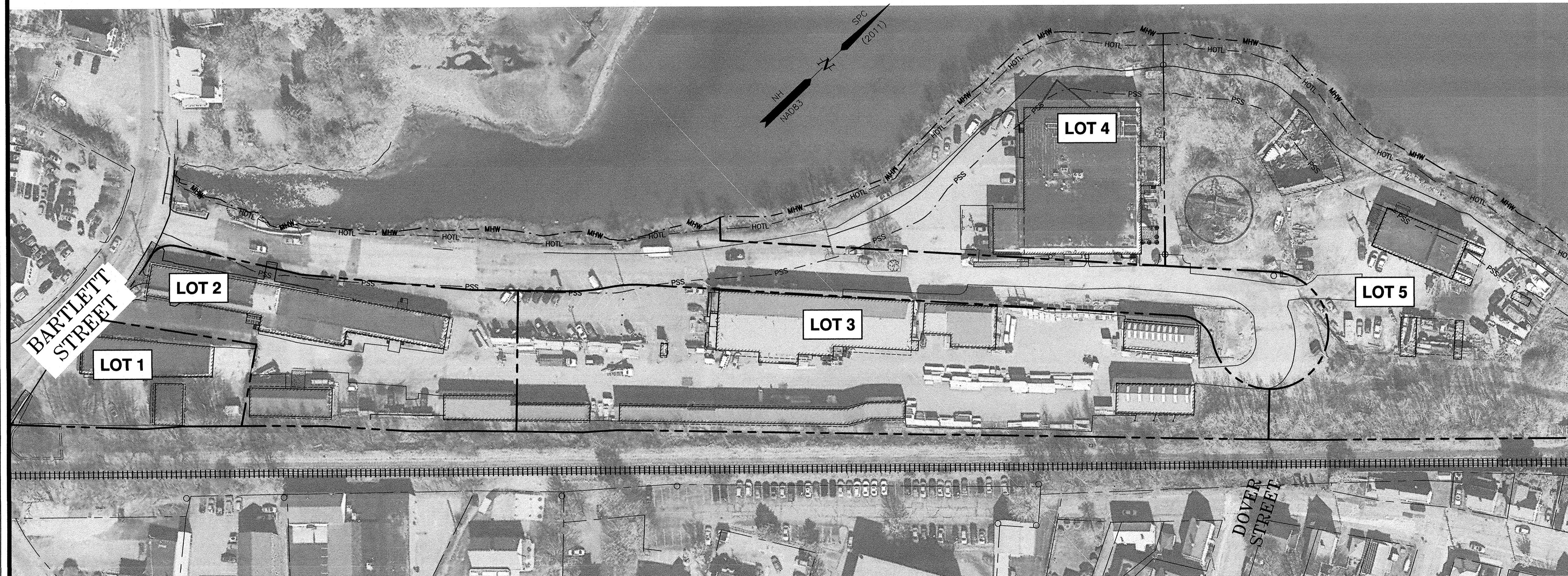
- VARIANCES FROM 10.5A41.10B
 1) TO ALLOW FOR A FRONT LOT LINE BUILDOUT OF 29.1%, WHERE NO REQUIREMENT CURRENTLY EXISTS AND 50% IS REQUIRED.
 2) TO ALLOW FOR A MAXIMUM BUILDING FOOTPRINT OF 20,313 S.F., WHERE NO REQUIREMENT CURRENTLY EXISTS, A BUILDING FOOTPRINT OF 20,313 S.F. CURRENTLY EXISTS AND A MAXIMUM OF 15,000 S.F. IS ALLOWED.

PROPOSED LOT 5 (CD4-W):

- VARIANCES FROM 10.5A41.10B
 1) TO ALLOW FOR A FRONT LOT LINE BUILDOUT OF 0%, WHERE NO REQUIREMENT CURRENTLY EXISTS AND 50% IS REQUIRED.
 2) TO ALLOW FOR A MAXIMUM PRIMARY FRONT SETBACK OF 75.6 FEET, WHERE NO MAXIMUM CURRENTLY EXISTS AND A MAXIMUM OF 10 FEET IS REQUIRED.

**PROPOSED LOT AREAS &
 TAX MAP NUMBERS**

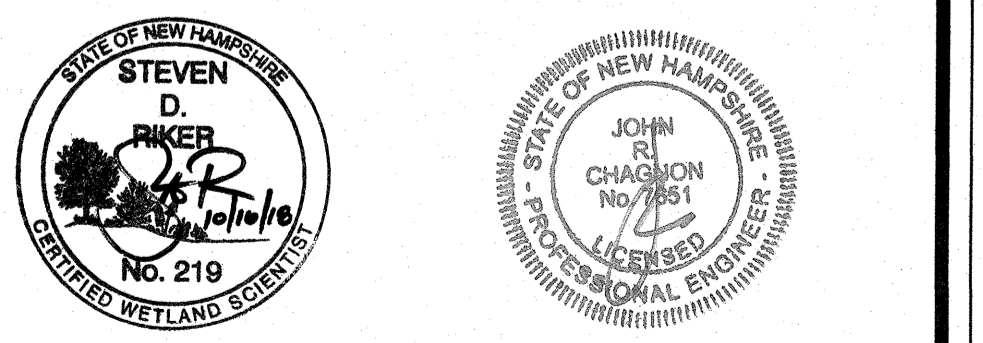
LOT	AREA	TM/LOT #
1	20,678 S.F. 0.4747 ACRES	TO BE DETERMINED
2	51,952 S.F. 1.1927 ACRES	TO BE DETERMINED
3	102,003 S.F. 2.3417 ACRES	TO BE DETERMINED
4	61,781± S.F. 1.4183± ACRES	TO BE DETERMINED
5	177,433± S.F. 4.0733± ACRES	TO BE DETERMINED
R.O.W.	69,610± S.F. 1.5980± ACRES	TO BE DETERMINED



- NOTES:**
- 1) THE PURPOSE OF THIS PLAN IS TO SHOW THE ANTICIPATED IMPACTS WITHIN AREAS OF JURISDICTION (CITY AND STATE).
 - 2) TEMPORARY CONSTRUCTION IMPACTS AND PERMANENT IMPACTS WILL BE CLEARLY DEPICTED AT THE TIME OF FILLING.
 - 3) IT IS ANTICIPATED THAT THERE WILL BE A REDUCTION IN IMPERVIOUS SURFACE AS A RESULT OF THE PROJECT.
 - 4) THE PROJECT DOES REQUIRE SOME REMOVAL OF VEGETATION WITHIN THE 50' WATERFRONT BUFFER.
 - 5) RAIN GARDEN AND OTHER PROPOSED PLANTINGS WILL BE COMPOSED OF NATIVE SPECIES.
 - 6) IT IS ANTICIPATED THAT THE NH DES WETLAND PERMIT WILL NOT REQUIRE ANY WAIVERS OF ANY RULES; ENV-WT 300-ENV-WT 800.
 - 7) IT IS ANTICIPATED THAT THE PROJECT WILL BE CONSIDERED "LESS NON CONFORMING" UNDER THE SWOPA AND A MORE NEARLY CONFORMING WORKSHEET WILL BE SUBMITTED WITH THE NH DES SHORELAND APPLICATION.
 - 8) ALL IMPACTS OCCUR IN AREA THAT ARE PREVIOUSLY DEVELOPED OR HISTORICALLY ALTERED.
 - 9) PREVIOUSLY APPROVED CUP (2012) CITY OF PORTSMOUTH FILE 16-12 FOR LOT 2 BUILDING.

**CLIPPER TRADERS
 105 BARTLETT STREET
 PROPOSED SUBDIVISION
 PORTSMOUTH, N.H.**

0	ISSUED FOR COMMENT	10/16/18
NO.	DESCRIPTION	DATE
REVISIONS		



SCALE 1" = 60' SEPTEMBER 2018

**ENVIRONMENTAL PERMIT
 PLAN** **02**

LEGEND:

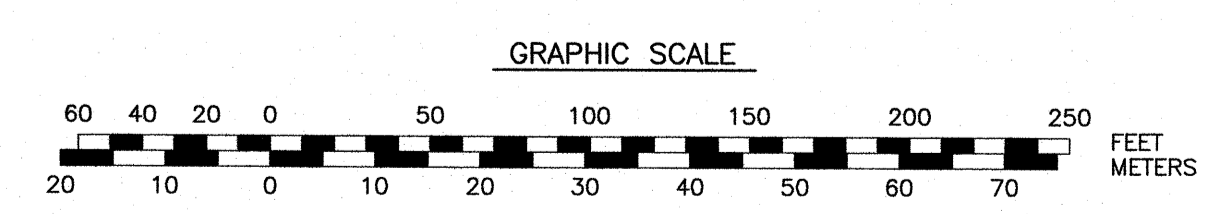
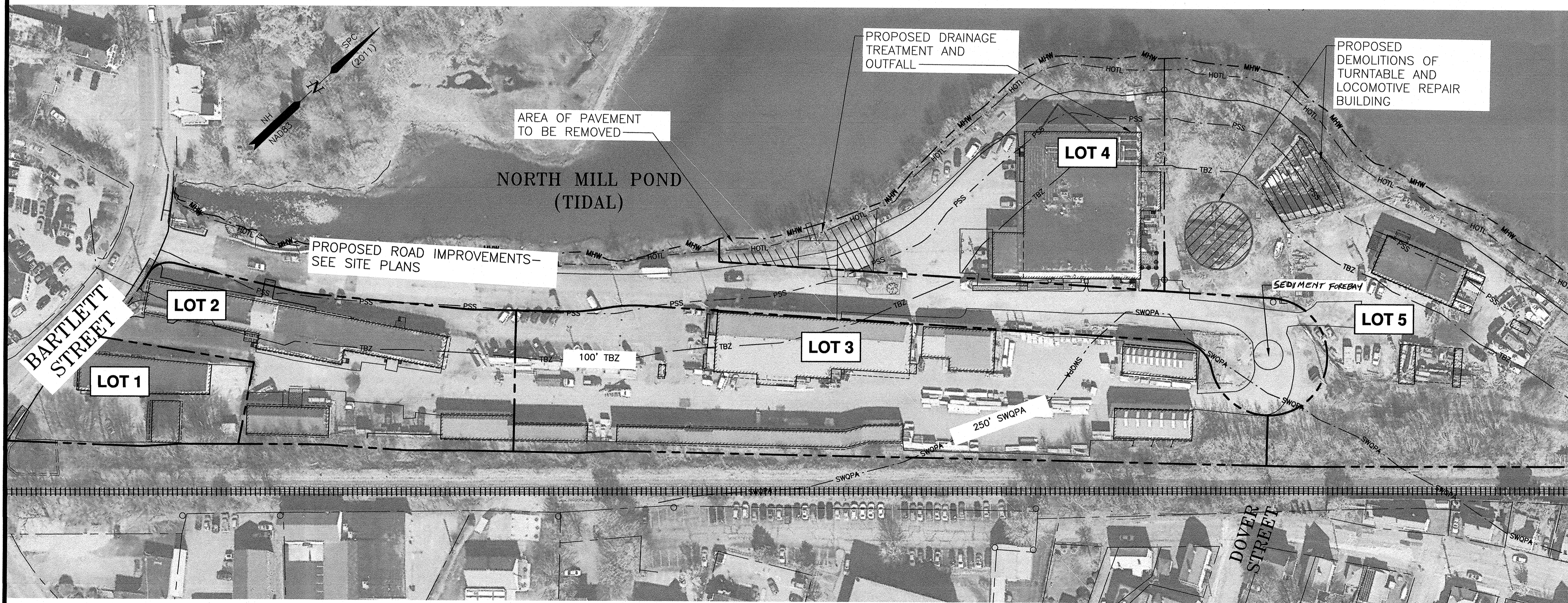
- HOTL --- HIGHEST OBSERVABLE TIDE LINE
- TBZ --- 100' TIDAL BUFFER ZONE
- SWOPA --- 250' PROTECTED SHORELAND
- MHW --- MEAN HIGH TIDAL WATER
- PSS --- PRIMARY STRUCTURE SETBACK

WETLAND NOTES:

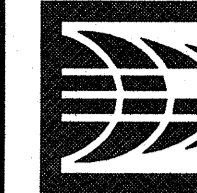
- 1) HIGHEST OBSERVABLE TIDE LINE DELINEATED BY STEVEN D. RIKER, CWS IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
 - A) U.S. ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 (JAN. 1987), AND REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012.
 - B) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 8.1, USDA-NRCS, 2017 AND (FOR DISTURBED SITES) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4. NEWPCC WETLANDS WORK GROUP (2017).
 - C) NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: NORTHEAST (REGION 1). USFWS (MAY 1988).
 - D) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. USFWS MANUAL FWS/OBS-79/31 (1997).
 - E) "IDENTIFICATION AND DOCUMENTATION OF VERNAL POOLS IN NEW HAMPSHIRE" (1997). NEW HAMPSHIRE FISH AND GAME DEPARTMENT.
- 2) WETLAND FLAGS WERE FIELD LOCATED ON 8/9/2017 BY AMBIT ENGINEERING, INC.

ANTICIPATED ENVIRONMENTAL PERMITTING

NH DES WETLANDS- IMPACTS TO TIDAL WETLAND AND THE PREVIOUSLY DEVELOPED 100' TIDAL BUFFER ZONE
 NH DES SHORELAND- IMPACTS TO THE 250' PROTECTED SHORELAND
 CITY OF PORTSMOUTH CONDITIONAL USE- IMPACTS TO CITY OF PORTSMOUTH 100' WETLAND BUFFER



ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE. DATE 02/10/2018 BY 2028BAM

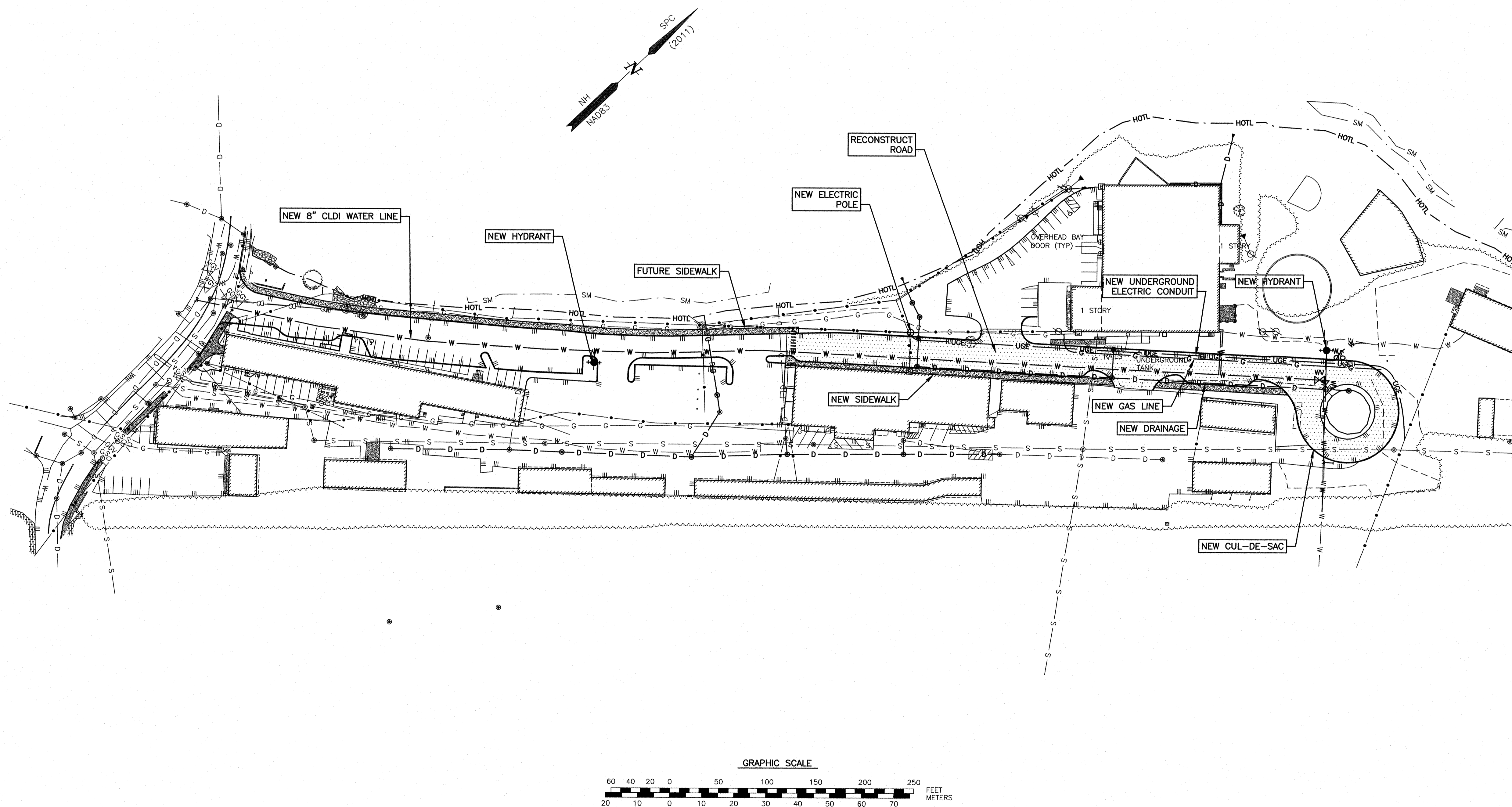


AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
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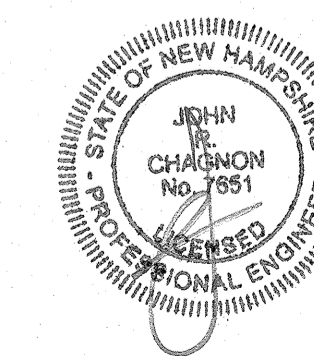
NOTE:

1) THE PURPOSE OF THIS PLAN IS TO SHOW PROPOSED UTILITY IMPROVEMENTS.



**UTILITY IMPROVEMENTS
CLIPPER TRADERS, LLC
OFF BARTLETT STREET
PORTSMOUTH, N.H.**

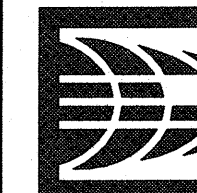
NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	10/16/18
REVISIONS		



SCALE: 1" = 60' OCTOBER 2018

UTILITY PLAN

03



AMBIT ENGINEERING, INC.
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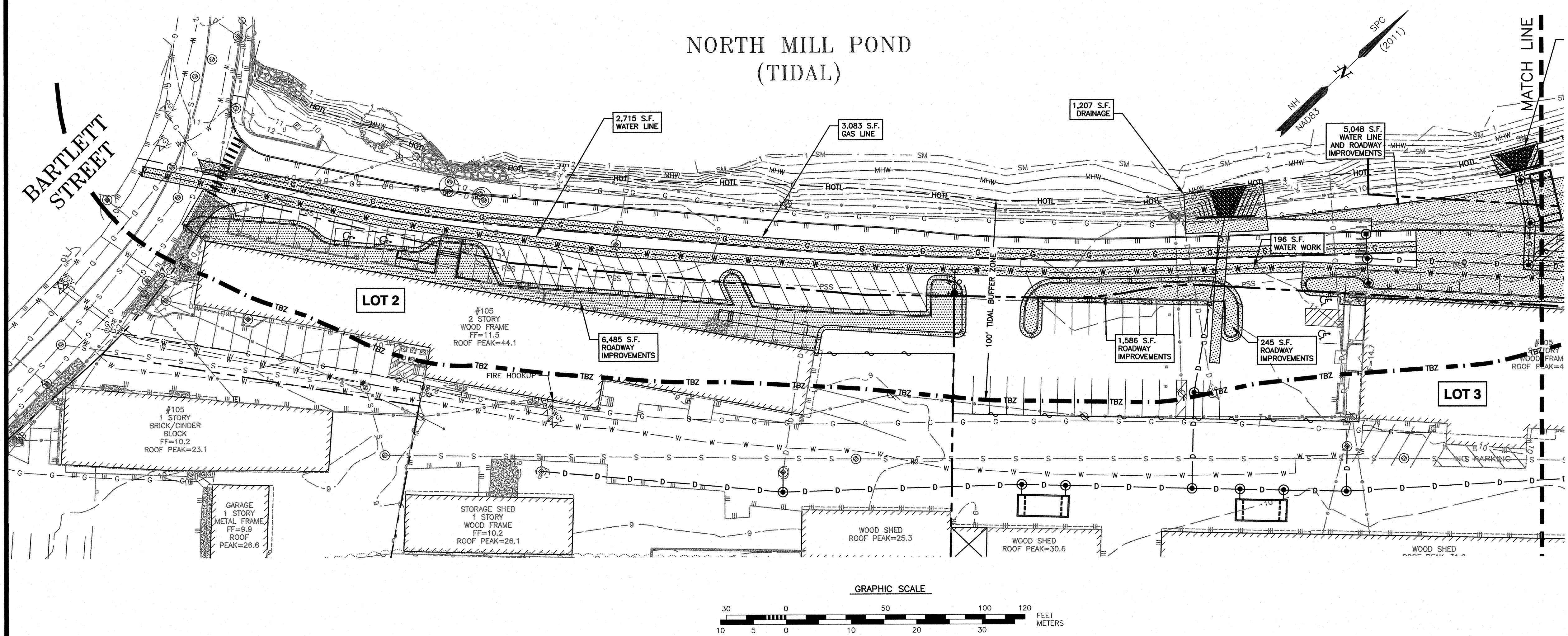
**WETLAND IMPACT AREAS
 IN S.F. FOR PROPOSED IMPROVEMENTS**

	AREA
TEMPORARY	13,481
PERMANENT	23,756
TOTAL	37,237

NOTES:

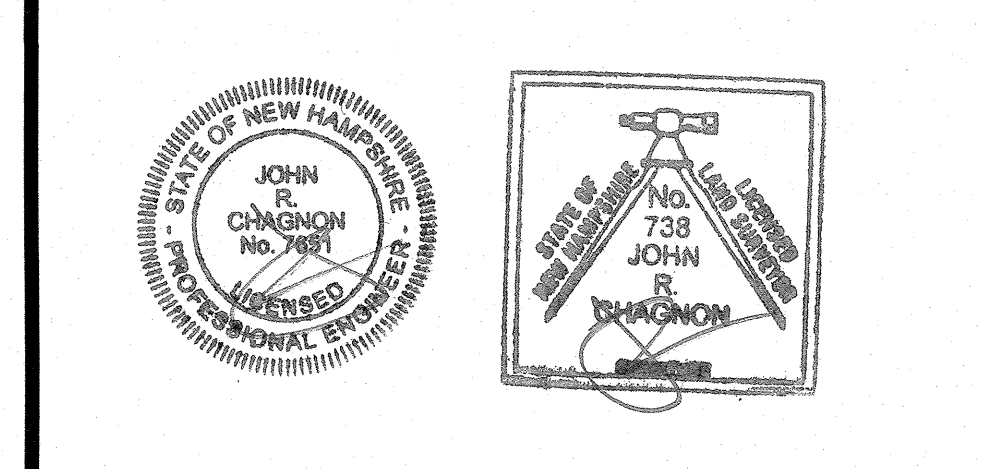
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) ROAD PROFILE SHOWN FROM STATION 0+00 TO 6+00 IS FOR CALCULATION OF WAIVERS; ROAD WILL ONLY BE RECONSTRUCTED FROM STATION 6+00 TO THE CUL-DE-SAC.

**NORTH MILL POND
 (TIDAL)**



**SUBDIVISION PLAN
 CLIPPER TRADERS, LLC
 OFF BARTLETT STREET
 PORTSMOUTH, N.H.**

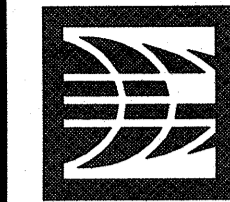
NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	11/6/18
0	ISSUED FOR COMMENT	11/1/18



SCALE 1"=30' OCTOBER 2018

**WETLAND BOARD
 CUP/PERMIT PLAN WP1**

J:_DBS2\Jnz\00a\JN 2429\JN 2429\2017 Site Development\Plans & Specs\Site\Junk 2429 SITE 2018.dwg, WETLAND PERMIT 1 of 2

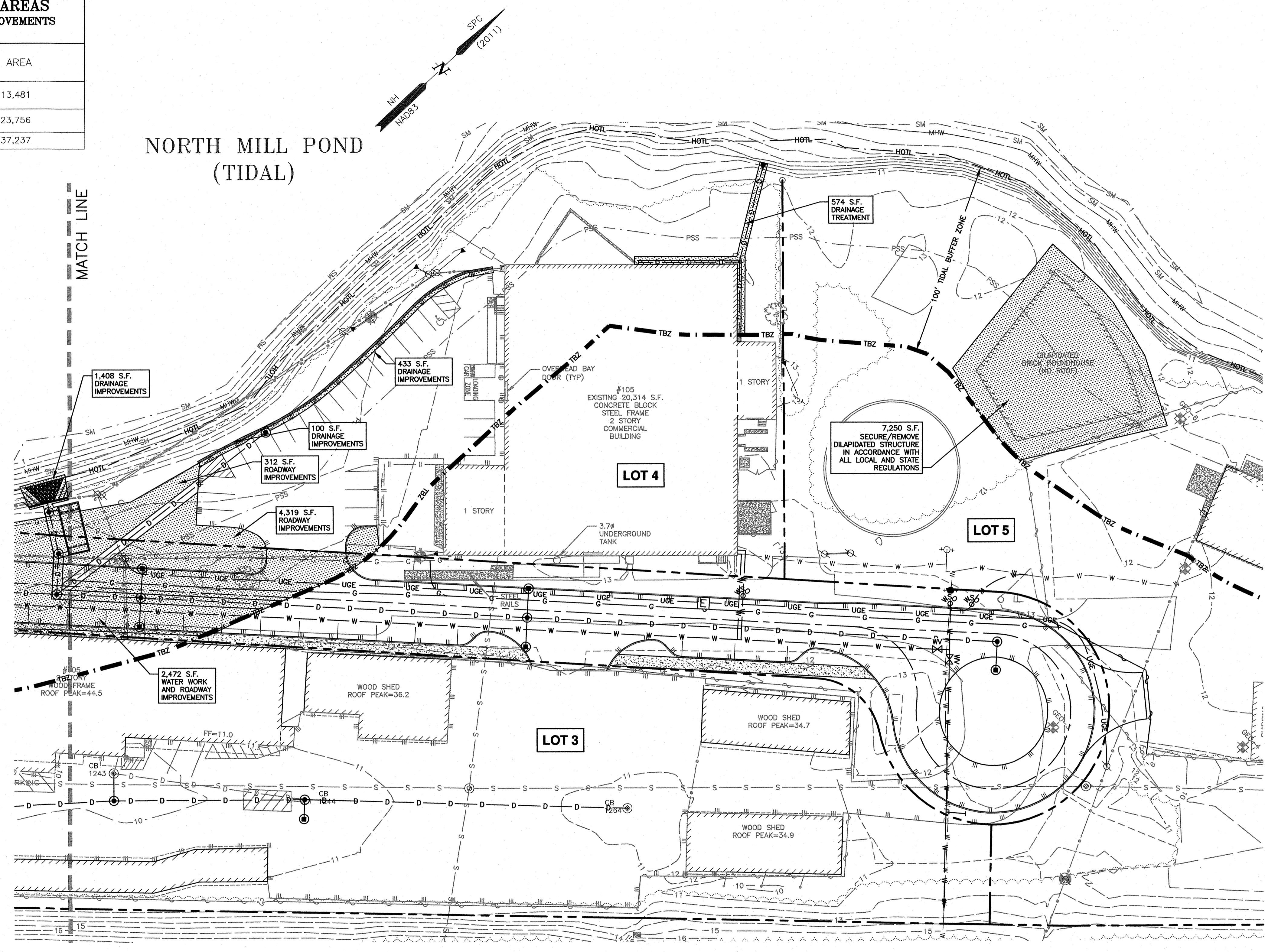


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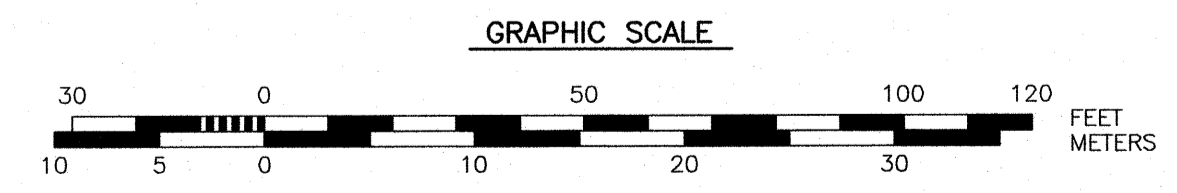
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**NORTH MILL POND
 (TIDAL)**



MATCH LINE

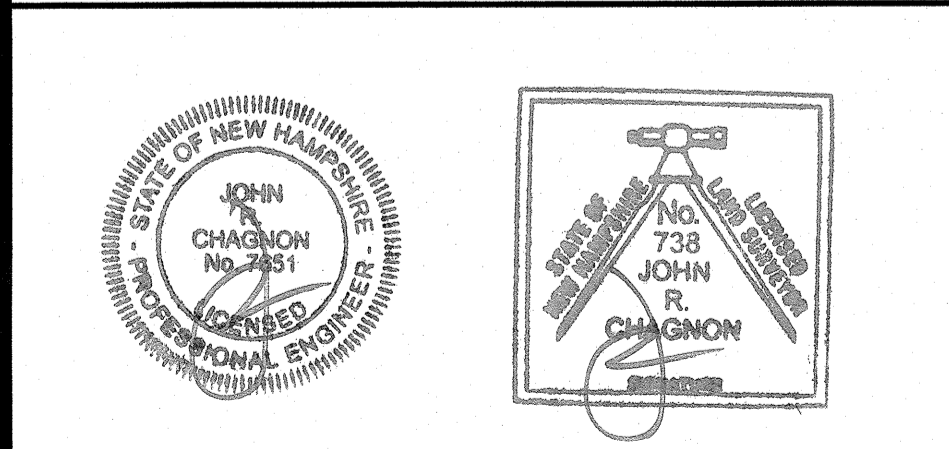


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- 4) ELECTRICAL CONDUITS WILL BE RUN AT THE TIME OF LOT 5 DEVELOPMENT. PULL ROPES TO BE INSTALLED AND LEFT FOR FUTURE USE.

**SUBDIVISION PLAN
 CLIPPER TRADERS, LLC
 OFF BARTLETT STREET
 PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	11/6/18
0	ISSUED FOR COMMENT	11/1/18

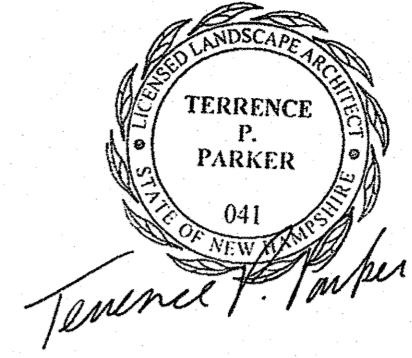
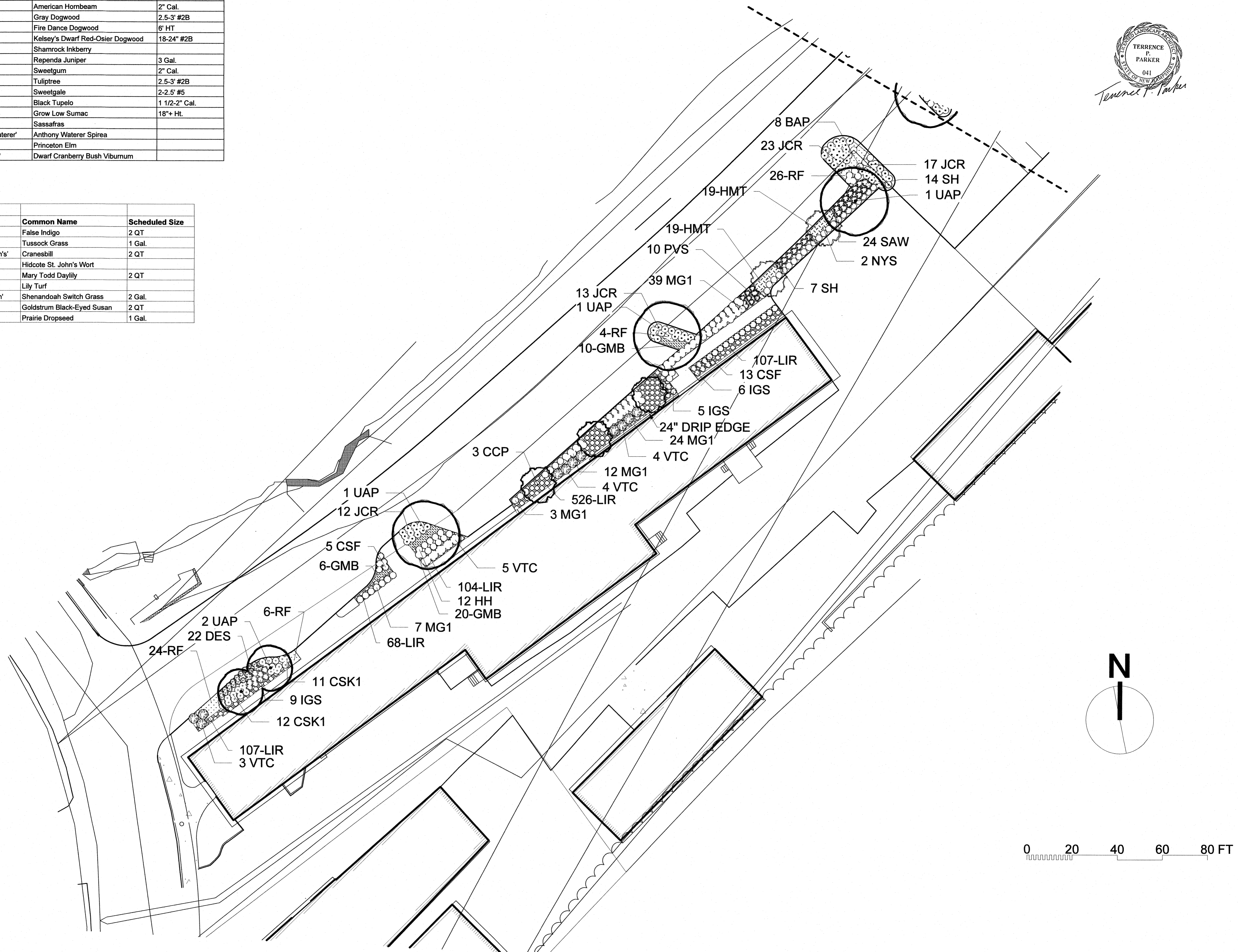


SCALE 1"=30' OCTOBER 2018

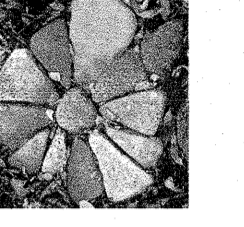
**WETLAND BOARD
 CUP/PERMIT PLAN WP2**

Plant List - TREES AND SHRUBS				
ID	Qty	Latin Name	Common Name	Scheduled Size
CCP	3	Carpinus caroliniana 'Palisade'	American Hornbeam	2" Cal.
CR1	21	Cornus racemosa	Gray Dogwood	2.5-3' #2B
CSF	18	Cornus sericea 'Fire Dance'	Fire Dance Dogwood	6' HT
CSK1	23	Cornus sericea 'Kelsey' (1)	Kelsey's Dwarf Red-Osier Dogwood	18-24" #2B
IGS	20	Ilex glabra 'Shamrock'	Shamrock Inkberry	
JCR	80	Juniperus communis 'Repanda'	Rependa Juniper	3 Gal.
LS	4	Liquidambar styraciflua	Sweetgum	2" Cal.
LT1	3	Liriodendron tulipifera	Tuliptree	2.5-3' #2B
MG1	154	Myrica gale	Sweetgale	2-2.5' #5
NYS	4	Nyssa sylvatica	Black Tupelo	1 1/2-2" Cal.
RGL	78	Rhus aromatica 'Grow Low'	Grow Low Sumac	18"+ Ht.
SAS	4	Sassafras albidum	Sassafras	
SAW	118	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spirea	
UAP	10	Ulmus americana 'Princeton'	Princeton Elm	
VTC	16	Viburnum trilobum 'Compactum'	Dwarf Cranberry Bush Viburnum	

Plant List - PERENNIALS				
ID	Qty	Latin Name	Common Name	Scheduled Size
BAP	28	Baptisia australis	False Indigo	2 QT
DES	22	Deschampsia cespitosa	Tussock Grass	1 Gal.
GMB	36	Geranium macrorrhizum 'Bevan's'	Cranesbill	2 QT
HH	12	Hypericum 'Hidcote'	Hidcote St. John's Wort	
HMT	48	Hemerocallis 'Mary Todd'	Mary Todd Daylily	2 QT
LIR	912	Liriope spicata	Lily Turf	
PVS	177	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	2 Gal.
RF	60	Rudbeckia fulgida 'Goldstrum'	Goldstrum Black-Eyed Susan	2 QT
SH	21	Sporobolus heterolepis	Prairie Dropseed	1 Gal.



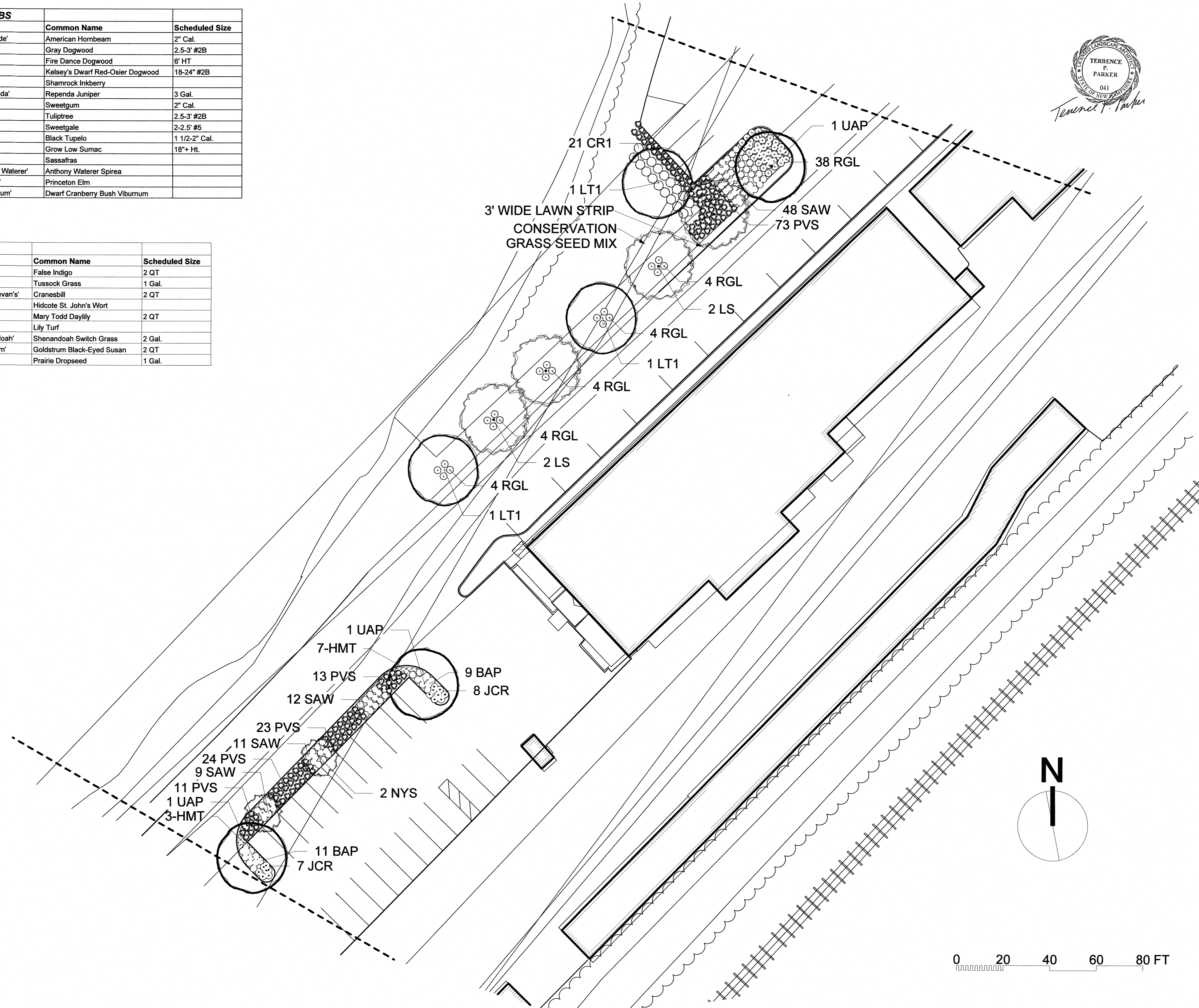
terra firma
landscape architecture



Project Title		CLIPPERS TRADERS		Sheet No.		L-1	
Project Address		163.9 Court Street Portsmouth, NH 03801		Scale		1"=20'	
Design Firm		terra firma landscape architecture		Project No.		00/00/00	
Project Manager		TP		Issue Notes			
Submitted By		TP		Date			
Reviewed By		TP		No.			
Checked By		TP		Date			
Drawn By		TC		Revision			
Designed By		TP		Date		10/15/2018	

Plant List - TREES AND SHRUBS				
ID	Qty	Latin Name	Common Name	Scheduled Size
CCP	3	Carpinus caroliniana 'Palisade'	American Hornbeam	2" Cal.
CR1	21	Cornus racemosa	Gray Dogwood	2.5-3' #2B
CSF	18	Cornus sericea 'Fire Dance'	Fire Dance Dogwood	6' HT
CSK1	23	Cornus sericea 'Kelsey' (1)	Kelsey's Dwarf Red-Osier Dogwood	18-24" #2B
IGS	20	Ilex glabra 'Shamrock'	Shamrock Inkberry	
JCR	80	Juniperus communis 'Repanda'	Repanda Juniper	3 Gal.
LS	4	Liquidambar styraciflua	Sweetgum	2" Cal.
LT1	3	Liriodendron tulipifera	Tuliptree	2.5-3' #2B
MG1	154	Myrica gale	Sweetgale	2-2.5' #5
NYS	4	Nyssa sylvatica	Black Tupelo	1 1/2-2" Cal.
RGL	78	Rhus aromatica 'Grow Low'	Grow Low Sumac	18"+ Ht.
SAS	4	Sassafras albidum	Sassafras	
SAW	118	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spirea	
UAP	10	Ulmus americana 'Princeton'	Princeton Elm	
VTC	16	Viburnum trilobum 'Compactum'	Dwarf Cranberry Bush Viburnum	

Plant List - PERENNIALS				
ID	Qty	Latin Name	Common Name	Scheduled Size
BAP	28	Baptisia australis	False Indigo	2 QT
DES	22	Deschampsia cespitosa	Tussock Grass	1 Gal.
GMB	36	Geranium macrorrhizum 'Bevan's'	Cranesbill	2 QT
HH	12	Hypericum 'Hidcote'	Hidcote St. John's Wort	
HMT	48	Hemerocallis 'Mary Todd'	Mary Todd Daylily	2 QT
LIR	912	Liriope spicata	Lily Turf	
PVS	177	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	2 Gal.
RF	60	Rudbeckia fulgida 'Goldstrum'	Goldstrum Black-Eyed Susan	2 QT
SH	21	Sporobolus heterolepis	Prairie Dropseed	1 Gal.



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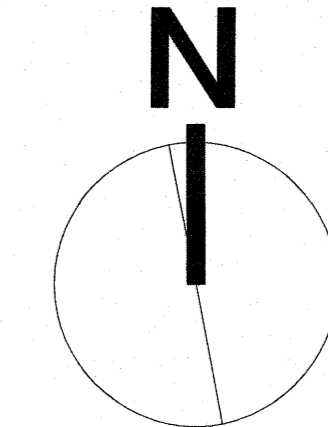
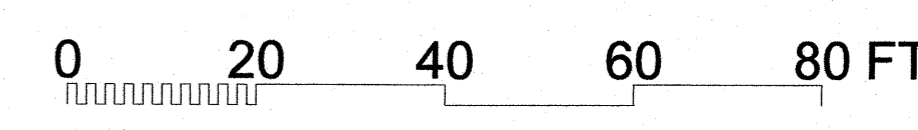
No.	Date	Issue Notes

Date	Revision
10/15/2018	
	Revision
	Project ID
	Project Name
	Project Manager
	Project No.
	Project Date

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163 a Court Street
Portsmouth, NH 03801

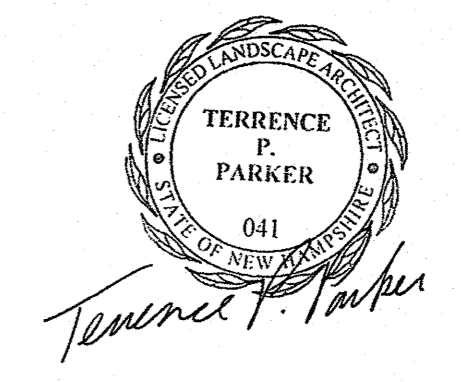
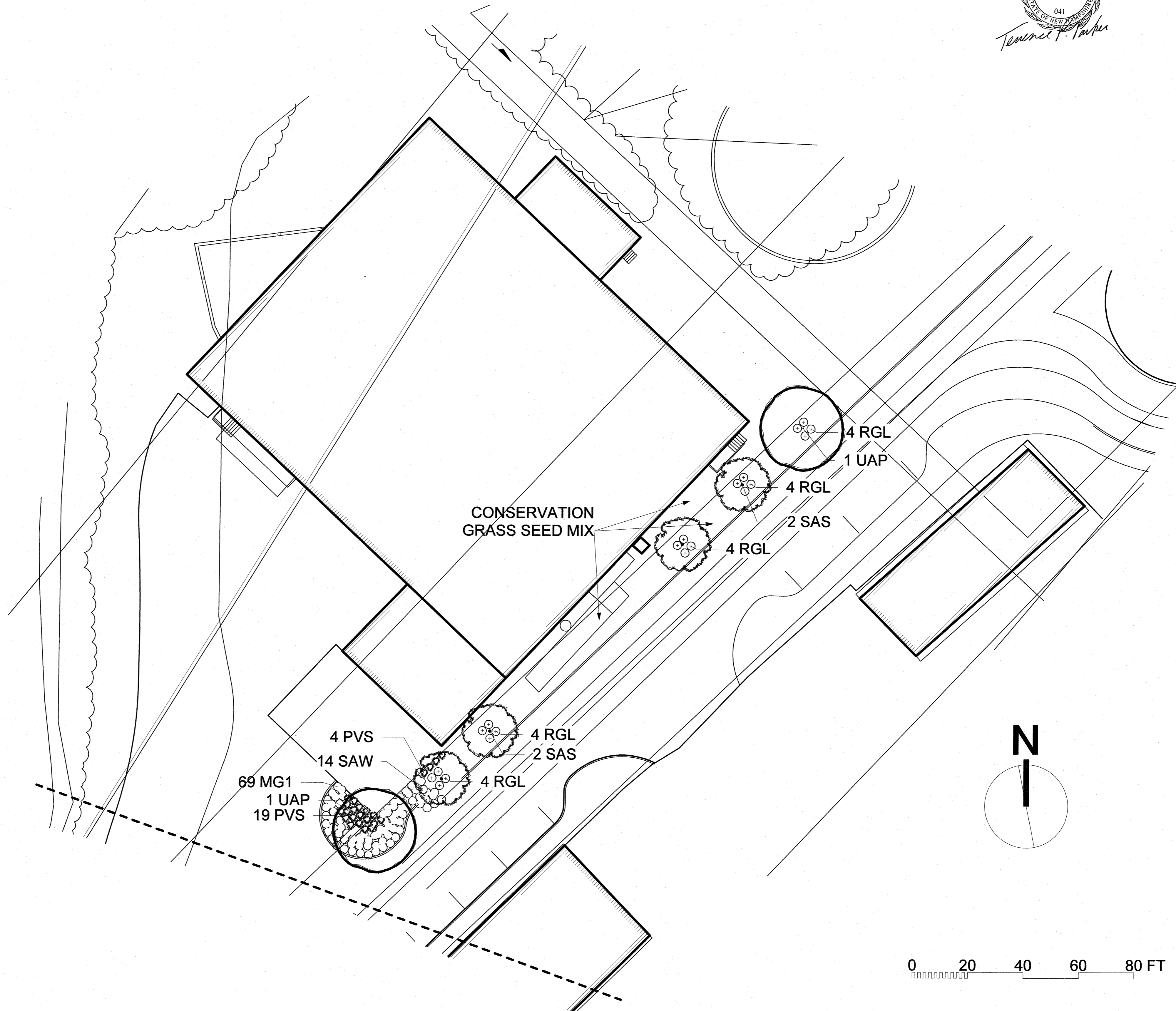
CLIPPERS TRADERS
LANDSCAPE PLAN
PART 2

Scale: 1"=20'
Sheet No.: L-2 of 4



Plant List - TREES AND SHRUBS				
ID	Qty	Latin Name	Common Name	Scheduled Size
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CR1	21	Cornus racemosa	Gray Dogwood	2.5-3' #2B
CSF	18	Cornus sericea 'Fire Dance'	Fire Dance Dogwood	6' HT
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SAW	118	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spirea	
UAP	10	Ulmus americana 'Princeton'	Princeton Elm	
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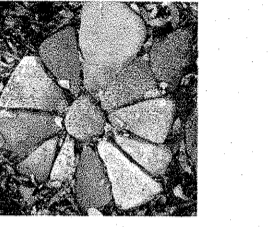
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No.	Date	Issue Notes

Designated By	TP	Date	10/15/2018
Drawn By	TC	Revision	
Checked By	TP	Project ID	CLIPPERS TRADERS
Reviewed By	TP	Drawing Code	
Submitted By	TP	CAD File Name	101018cldr1
Project Manager	TP	File Date	00/00/00

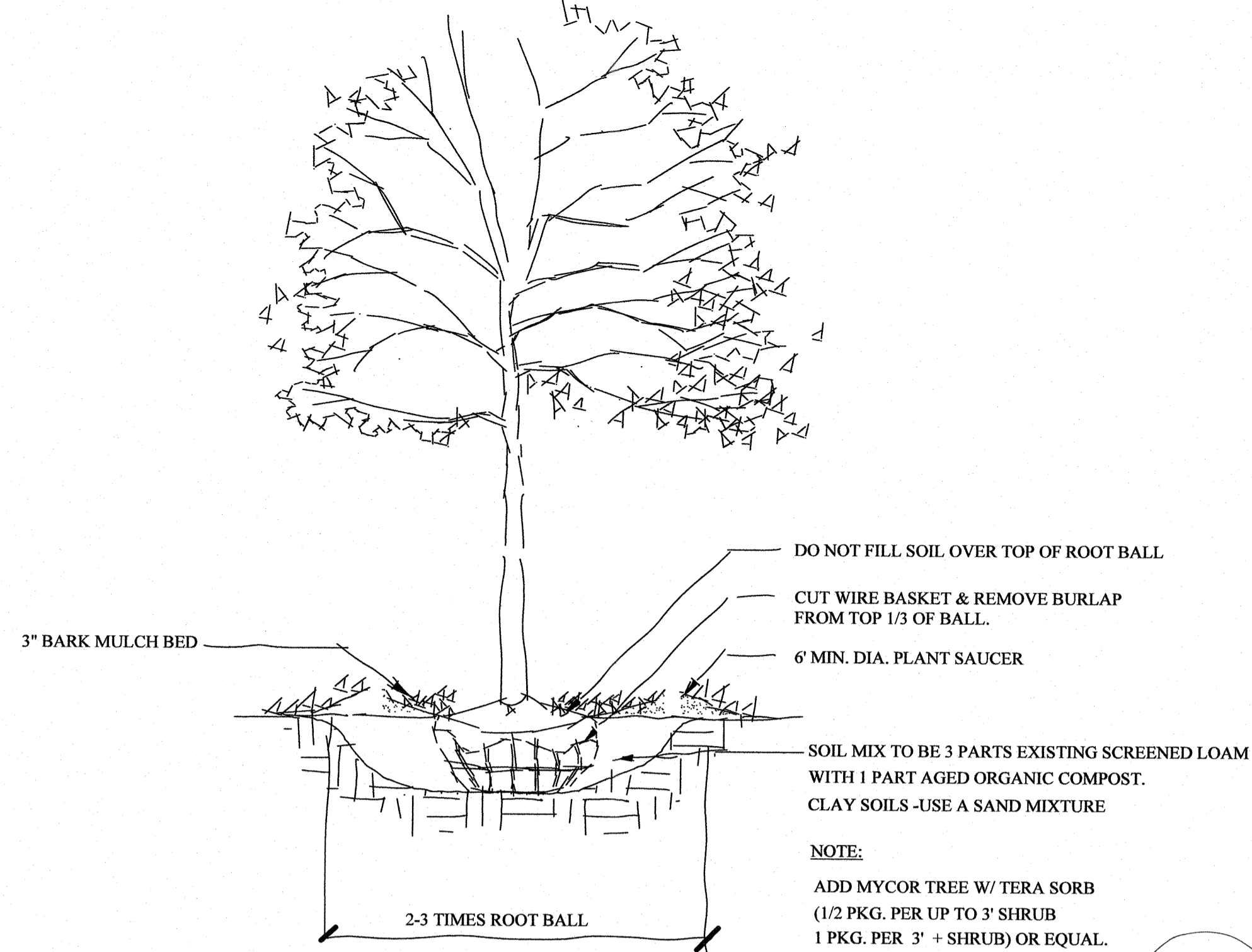
Design Firm: terra firma landscape architecture
163 a Court Street
Portsmouth, NH 03801

Project Title: CLIPPERS TRADERS
Sheet Title: LANDSCAPE PLAN PART 3

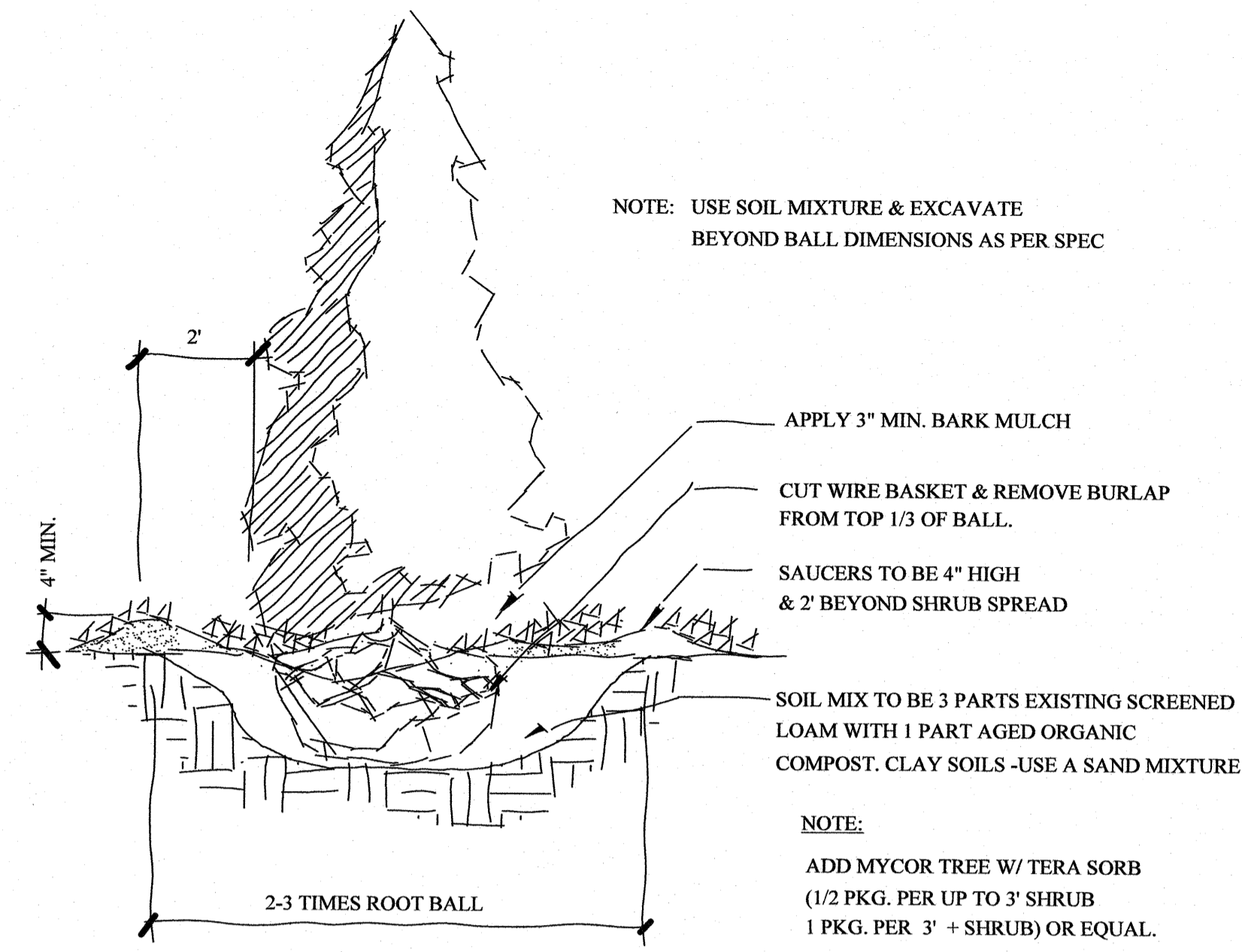


LANDSCAPE NOTES:

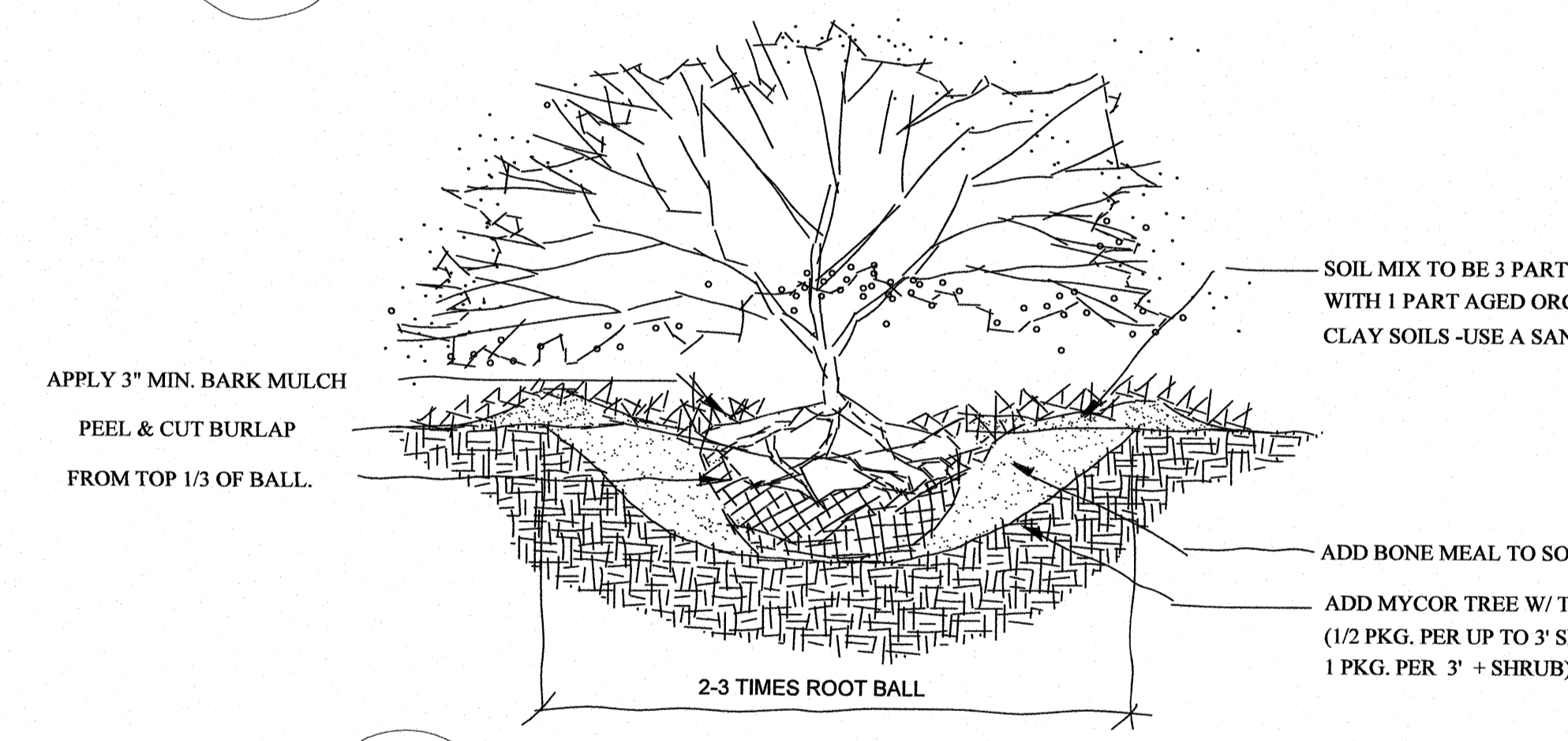
1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
3. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. ALL PLANT SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
5. ALL PLANT MATERIALS SHALL BE EXACTLY AS SPECIFIED BY THE LANDSCAPE ARCHITECT. IF PLANT SPECIES CULTIVARS ARE FOUND TO VARY FROM THAT SPECIFIED AT ANY TIME DURING THE GUARANTEE PERIOD, THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO HAVE THE CONTRACTOR REPLACE THAT PLANT MATERIAL. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT DELIVERED TO THE SITE FOR AESTHETIC REASONS BEFORE PLANTING. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE QUALITY FOR ALL THE PLANTS.
6. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ON-GOING TO CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
7. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
8. NO PLANT SHALL BE PUT IN THE GROUND BEFORE GRADING HAS BEEN FINISHED AND APPROVED BY THE LANDSCAPE ARCHITECT.
9. ALL PLANTS SHALL BE INSTALLED AND DETAILED PER PROJECT SPECIFICATIONS.
10. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
11. ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR NOT LESS THAN ONE FULL YEAR FROM THE TIME OF PROVISIONAL ACCEPTANCE. DURING THIS TIME, THE OWNER SHALL MAINTAIN ALL PLANT MATERIALS IN THE ABOVE MANNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE PLANTS TO ENSURE PROPER CARE. IF THE CONTRACTOR IS DISSATISFIED WITH THE CARE GIVEN, HE SHALL IMMEDIATELY, AND IN SUFFICIENT TIME TO PERMIT THE CONDITION TO BE RECTIFIED, NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OR OTHERWISE FORFEIT HIS CLAIM. LANDSCAPE CONTRACTOR SHALL PRUNE PLANTINGS OF DEAD LIMBS OR TWIGS DURING THE FIRST YEAR OF GROWTH.
12. FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT WILL BE MADE UPON THE CONTRACTOR'S REQUEST AFTER ALL CORRECTIVE WORK HAS BEEN COMPLETED.
13. LANDSCAPE CONTRACTOR SHOULD REPLACE DEAD PLANTINGS IMMEDIATELY UPON OWNER DIRECTION WITHIN THE WARRANTY PERIOD AND AGAIN AT THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL HAVE REPLACED ANY PLANT MATERIAL THAT IS MISSING, NOT TRUE TO SIZE AS SPECIFIED, THAT HAVE DIED, THAT HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESSIVE PRUNING OR INADEQUATE OR IMPROPER CARE, OR THAT ARE, IN THE OPINION OF THE LANDSCAPE ARCHITECT, IN UNHEALTHY OR UNSIGHTLY CONDITION.
14. ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION EXCEPT FOR INTERIOR LANDSCAPED ISLANDS OR WHERE OTHER PLANT MATERIAL IS CALLED FOR.
15. ALL TREES AND SHRUBS TO BE PLANTED IN MULCH BEDS WITH DEFINED AND CUT EDGES TO SEPARATE TURF GRASS AREAS.
16. FOR ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE, REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC., THEN APPLY GRASS SEED OR PINE BARK MULCH AS DEPICTED ON PLANS.
17. LANDSCAPE CONTRACTOR SHALL FEED AND PRUNE EX. TREES, ON OR JUST OFF SITE, THAT HAVE EXPERIENCED ROOT BASE INTRUSION OR DAMAGE DURING CONSTRUCTION IMMEDIATELY AND FOR THE DURATION OF THE WARRANTY PERIOD AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
18. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY SNOW FENCING AT THE EDGE OF THE EX. TREE CANOPY THE CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS WITHIN THE LANDSCAPED AREAS. ANY DAMAGE TO EXISTING TREES, SHRUBS OR LAWN SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
19. ALL MULCH AREAS SHALL RECEIVE A 2" LAYER OF SHREDDED PINE BARK MULCH.
20. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.



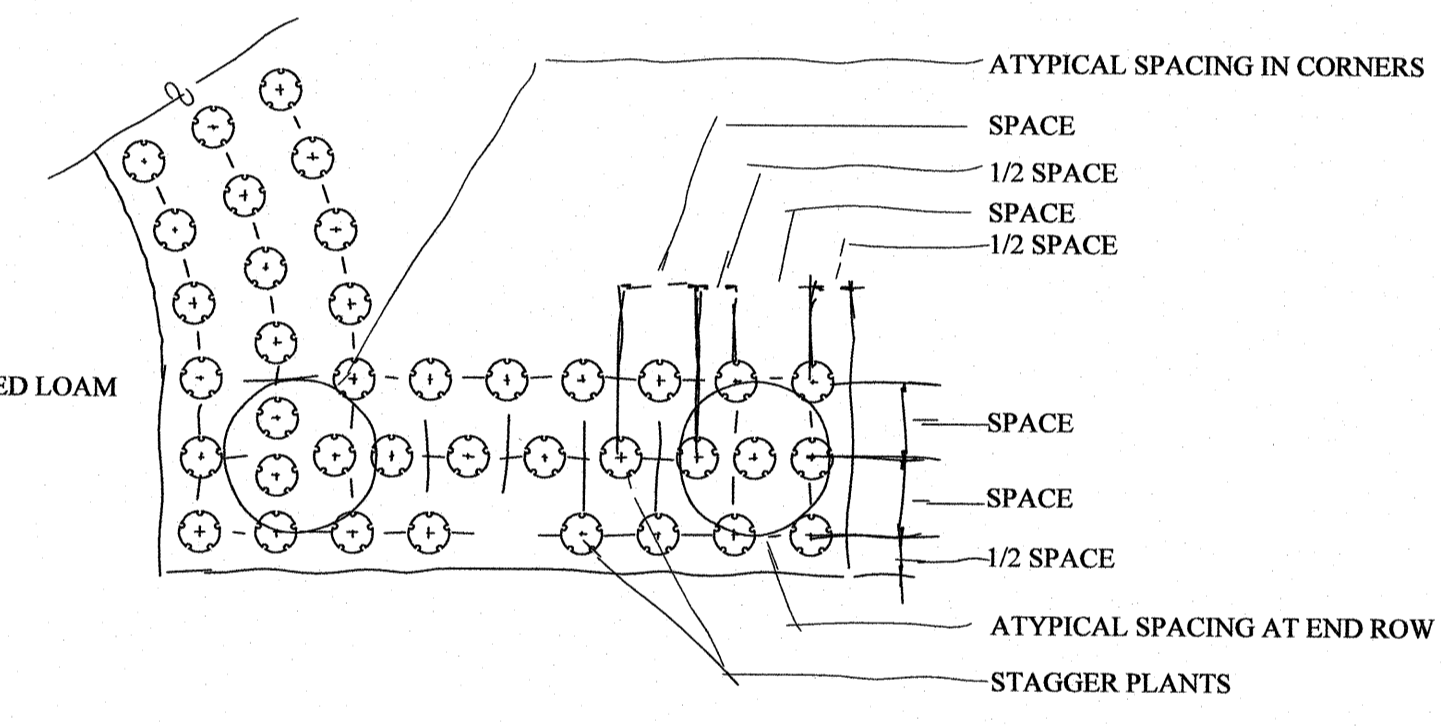
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SCALE: NTS



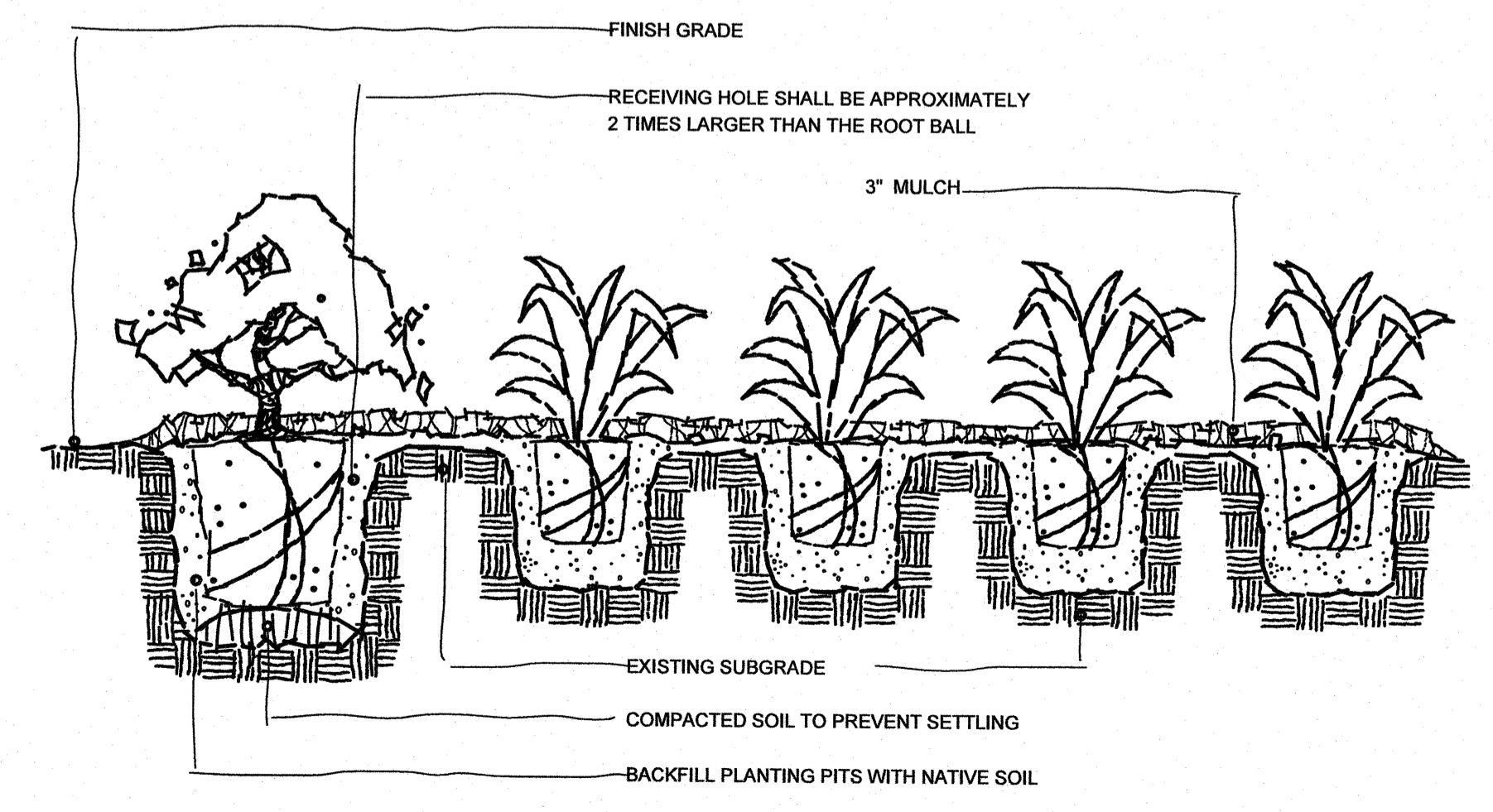
2 PYRAMIDAL EVERGREEN TREE PLANTING
SCALE: NTS



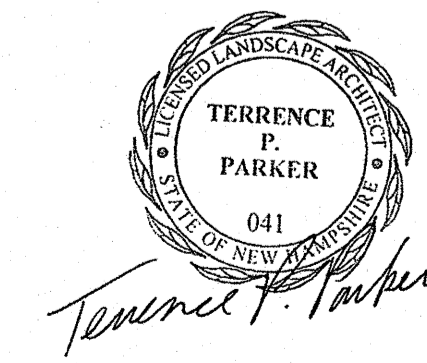
3 B&B SHRUB PLANTING
SCALE: NTS



4 GROUND COVER SPACING DETAIL
SCALE: NTS



5 SHRUB/GROUND COVER PLANTING DETAIL
SCALE: NTS



Project Title		CLIPPERS TRADERS		Sheet No.		L-4	
Scale		NTS		Sheet No.		4	
Project Manager		CLIPPERS TRADERS		Drawing Code		101018c1	
Date		10/15/2018		Revision			
Designed By		TP		Checked By		TP	
Drawn By		TC		Reviewed By		TP	
Project		CLIPPERS TRADERS		Calc. File		101018c1	
Revision				Per Date		00/00/00	
No.				Date			
Issue Notes							

ABUTTER LIST

- 139 1 N/F REGAN ELECTRONIC CO., INC. 94 LANGDON STREET PORTSMOUTH, NH 03801 2956/1527
- 144 37 N/F ANDREW S. MARTIN 230 McDONOUGH STREET PORTSMOUTH, NH 03801 5082/386
- 144 38 N/F HEIDI J. RAMMER 765 PARK PLACE, APT. 1 BROOKLYN, NY 11216 3484/299
- 144 41 N/F BRANDON J. TERRY & LAURA E. TERRY 209 McDONOUGH STREET PORTSMOUTH, NH 03801 4322/66
- 144 42 N/F CANDACE COUTURE 199 McDONOUGH STREET PORTSMOUTH, NH 03801 5451/2657
- 144 43 N/F HAVEN PROPERTIES, LLC 80 HAVEN ROAD PORTSMOUTH, NH 03801 5791/2011
- 144 44 N/F RUTH E. JAMES 179 McDONOUGH STREET PORTSMOUTH, NH 03801 5342/2028
- 144 45 N/F JAMES A. HEWITT REVOCABLE TRUST & ELIZABETH E. HEWITT REVOCABLE TRUST 726 MIDDLE ROAD PORTSMOUTH, NH 03801 5438/2237
- 144 46 N/F MYLES S. BRATTER 177 BARTLETT STREET PORTSMOUTH, NH 03801 2424/1690
- 144 47 N/F GREAT McDONOUGH STREET, LLC 135 McDONOUGH STREET PORTSMOUTH, NH 03801 3440/532
- 157 6 N/F SUMMIT 501 ISLINGTON, LLC c/o TODD BAKER 953 ISLINGTON STREET #230 PORTSMOUTH, NH 03801 5256/441
- 157 7 N/F J & J'S DROP AND DRIVE, LLC 402 DEER STREET PORTSMOUTH, NH 03801 5353/2395
- 157 13 N/F J & J'S DROP AND DRIVE, LLC 402 DEER STREET PORTSMOUTH, NH 03801 5353/2395
- 157 14 N/F J & J'S DROP AND DRIVE, LLC 402 DEER STREET PORTSMOUTH, NH 03801 5353/2395
- 157 15 N/F J & J'S DROP AND DRIVE, LLC 402 DEER STREET PORTSMOUTH, NH 03801 5353/2395
- 158 13 N/F SLATTERY & DUMONT, LLC 66 OLD CONCORD TURNPIKE #10 BARRINGTON, NH 03825 3471/196
- 163 1 N/F M & B PROPERTIES, LLC 54 BARTLETT STREET PORTSMOUTH, NH 03801 5794/996
- 183 2 N/F INDUSTRIAL RENTS-NH, LLC 8 WAYNE ROAD WESTFORD, MA 01866 5806/2334
- 184 5 N/F HOUSTON HOLDINGS, LLC 653 ISLINGTON STREET PORTSMOUTH, NH 03801 3558/464
- 184 6 N/F NED AND BILL PROPERTIES, LLC ATTN: WILLIAM SAVOIE PO BOX 822 SOUTHERN PINES, NC 28388 4586/2511
- 184 7 N/F HH WHOLESALERS, LLC 1 MIDDLE STREET, SUITE 1 PORTSMOUTH, NH 03801 5399/810
- 184 8 N/F ARANOSIAN OIL COMPANY 557 NORTH STATE STREET CONCORD, NH 03301 1866/263
- 184 12 N/F JOSEPH GOBBI SUPPLY CORPORATION PO BOX 125 PORTSMOUTH, NH 03801 3233/1949
- 185 1 N/F ALAN MERTON INVESTMENTS, LLC PO BOX 284 STRATHAM, NH 03885 4771/1259
- 185 14 N/F BOSTON AND MAINE CORPORATION IRON HORSE PARK HIGH STREET NORTH BILLERICA, MA 01862

WETLAND NOTES:

- 1) HIGHEST OBSERVABLE TIDE LINE DELINEATED BY STEVEN D. RIKER, CWS ON 8/17/2018 IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
 - A) U.S. ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL TECHNICAL REPORT Y-87-1 (JAN. 1987). AND REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012.
 - B) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 8.1, USDA-NRCS, 2017 AND (FOR DISTURBED SITES) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4. NEWPPCC WETLANDS WORK GROUP (2017).
 - C) NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: NORTHEAST (REGION 1). USFWS (MAY 1988).
 - D) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. USFWS MANUAL FWS/OBS-79/31 (1997).
 - E) "IDENTIFICATION AND DOCUMENTATION OF VERNAL POOLS IN NEW HAMPSHIRE" (1997). NEW HAMPSHIRE FISH AND GAME DEPARTMENT.
- 2) WETLAND FLAGS WERE FIELD LOCATED BY AMBIT ENGINEERING, INC.

ZONING DISTRICT DIMENSIONAL REQUIREMENTS:

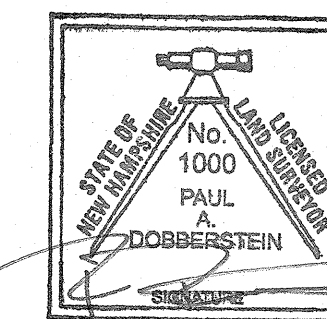
CHARACTER DISTRICT CD4-W:
 MIN. LOT AREA: 5,000 S.F.
 FRONTAGE: NO REQUIREMENT
 SETBACKS:
 FRONT (MAX.) 10 FEET (PRIMARY)
 FRONT (MAX.) 15 FEET (SECONDARY)
 SIDE NO REQUIREMENT
 REAR 5 FEET
 MAXIMUM STRUCTURE HEIGHT: 45 FEET
 MAXIMUM STRUCTURE COVERAGE: 60%
 MAXIMUM BUILDING FOOTPRINT: 15,000-20,000 S.F.
 MINIMUM OPEN SPACE: 15%
 MINIMUM FRONT LOT LINE BUILDOUT: 50%

CHARACTER DISTRICT CD4-L1:
 MIN. LOT AREA: 3,000 S.F.
 FRONTAGE: NO REQUIREMENT
 SETBACKS:
 FRONT (MAX.) 15 FEET (PRIMARY)
 FRONT (MAX.) 12 FEET (SECONDARY)
 SIDE 5-20 FEET
 REAR 5 FEET
 MAXIMUM STRUCTURE HEIGHT: 20-30 FEET
 MAXIMUM STRUCTURE COVERAGE: 60%
 MAXIMUM BUILDING FOOTPRINT: 2,500-3,500 S.F.
 MINIMUM OPEN SPACE: 25%
 MAXIMUM BLOCK LENGTH: 80-100 FEET
 BUILDING SEPARATION: 15-30 FEET
 VIEW CORRIDORS: SEE ZONING ORDINANCE

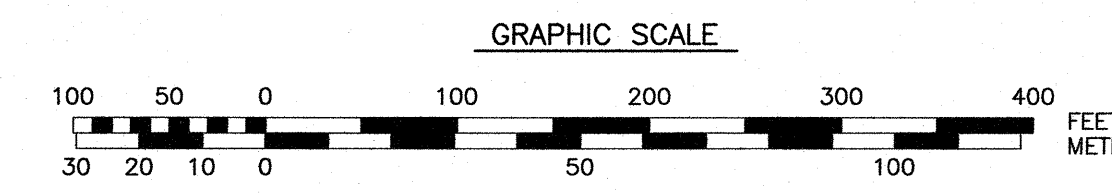
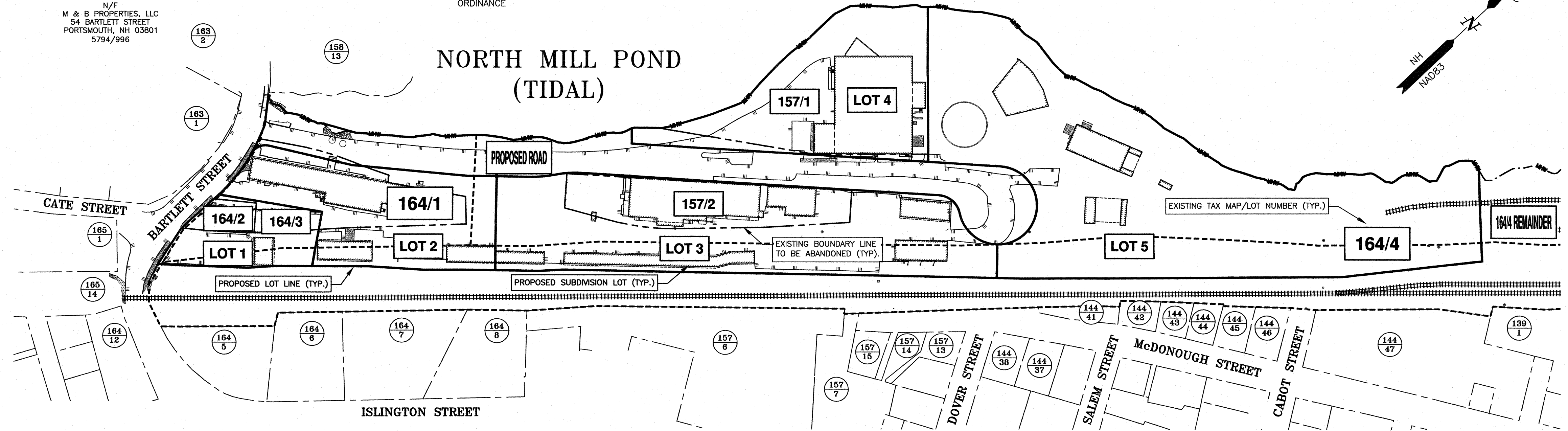
TRANSPORTATION CORRIDOR (TC):
 NO DIMENSIONAL OR USE REQUIREMENTS DEFINED IN ORDINANCE

PLAN REFERENCES:

- 1) LAND IN PORTSMOUTH, N.H. BOSTON AND MAINE RAILROAD TO ERMINIO A.RICCI, SCALE 1" = 40', APRIL 1960 RCRD 1959/091.
- 2) LAND IN PORTSMOUTH, N.H. BOSTON AND MAINE RAILROAD TO ERMINIO A.RICCI, SCALE 1" = 40', MAY 1957 RCRD 02612.
- 3) EASEMENT OF LAND IN PORTSMOUTH, N.H. BOSTON AND MAINE RAILROAD TO UNITED STATES OF AMERICA, SCALE 1" = 20', MAY 1957, RCRD 02633.
- 4) LAND IN PORTSMOUTH, N.H. VITO P. MASSARO TO PORT CITY BEVERAGE CO, SCALE 1" = 40', APRIL 1949, RCRD 01448.
- 5) LAND IN PORTSMOUTH, N.H. MARY E. MORAN TO BOSTON AND MAINE RAILROAD, SCALE 1" = 40', MARCH 1920, RCRD 00540.
- 6) PLAN OF LAND OF MARY E. MORAN ON BARTLETT AND ISLINGTON STREETS PORTSMOUTH, N.H., PREPARED BY JOHN W. DURGIN, SCALE 1" = 20', MAY 1920, RCRD 08.
- 7) DRAINAGE EASEMENT GEORGE E. FRISBEE TO THE CITY OF PORTSMOUTH, N.H., PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES, SCALE 1" = 20', JUNE 1981, RCRD B-10456.
- 8) BOSTON AND MAINE RAILROAD PLAN TO ACCOMPANY AGREEMENT BETWEEN BOSTON AND MAINE RAILROAD AND CONCORD AND PORTSMOUTH RAILROAD COVERING RELOCATION OF TRACKS OF CONCORD AND PORTSMOUTH RAILROAD IN PORTSMOUTH, N.H. OCCASIONED BY CONSTRUCTION OF NEW HIGHWAY AND BRIDGE BY MAINE - NEW HAMPSHIRE INTERSTATE BRIDGE AUTHORITY, SCALE 1" = 500', DECEMBER 1936, RCRD 0934.
- 9) NH ELECTRIC CO. PLAN SHOWING AREA RESERVED FOR TRANSFORMER SUBSTATION ON PROPERTY OF CONTINENTAL SHOE CORP. PORTSMOUTH, N.H., SCALE 1" = 30', 11-27-53, RCRD 1303/378.
- 10) BOSTON AND MAINE RAILROAD PLAN TO ACCOMPANY AGREEMENT BETWEEN BOSTON AND MAINE RAILROAD AND CONCORD AND PORTSMOUTH RAILROAD COVERING RELOCATION OF TRACKS OF CONCORD AND PORTSMOUTH RAILROAD IN PORTSMOUTH, N.H. OCCASIONED BY CONSTRUCTION OF NEW HIGHWAY AND BRIDGE BY MAINE - NEW HAMPSHIRE INTERSTATE BRIDGE AUTHORITY, SCALE 1" = 500', DECEMBER 1936, RCRD 0934.
- 11) LAND IN PORTSMOUTH, N.H. BOSTON AND MAINE RAILROAD TO CITY CONCRETE CO., INC., SCALE 1" = 80', JANUARY 1955, RCRD 02897.
- 12) LAND IN PORTSMOUTH, N.H. BOSTON AND MAIN RAILROAD TO ALL STATE REALTY CORPORATION, SCALE 1" = 50', FEBRUARY 1961, RCRD 160.
- 13) LAND IN PORTSMOUTH, N.H. BOSTON AND MAINE RAILROAD TO VITO P. MASSARO, SCALE 1" = 40', APRIL 1949, RCRD 01450.
- 14) DRAINAGE EASEMENT STUART AND PAULA BOXER AND ARANOSIAN OIL COMPANY TO THE CITY OF PORTSMOUTH, N.H., PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES, SCALE: 1" = 20', JUNE 1981, RCRD B-10455.
- 15) CONDOMINIUM PLAN ISLINGTON PLACE PREPARED FOR ANCHOR BUILDING ASSOCIATES, PREPARED BY KIMBALL CHASE COMPANY, INC., SCALE 1" = 20', 12-10-86, RCRD D-15826.
- 16) PLAN OF LOT 565-581 ISLINGTON STREET PORTSMOUTH, N.H., PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, SCALE 1" = 10', DECEMBER 1949 REVISED JANUARY 1963, RCRD B28.
- 17) SUBDIVISION OF LAND PORTSMOUTH, N.H. FOR GEORGE AND PAULINE J. FRISBEE, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS PROFESSIONAL ASSOCIATION, SCALE 1" = 30', DECEMBER 1976, RCRD C-6587.
- 18) RIGHT OF WAY AND TRACK MAP BOSTON AND MAINE R.R. OPERATED BY THE BOSTON AND MAINE R.R. STATION 2966+20 TO STATION 3019+0, SCALE 1" = 100', JUNE 30, 1914, VAL V3NH 55.
- 19) PLAN OF LAND FOR DEER STREET ASSOCIATES DEER AND BRIDGE STREETS AND MAPLEWOOD AVENUE PORTSMOUTH, N.H. COUNTY OF ROCKINGHAM, PREPARED BY AMBIT SURVEY, SCALE: 1" = 30', SEPTEMBER 1993.
- 20) PROPOSED EASEMENTS- BARTLETT STREET BARTLETT SEWER SEPERATION PROJECT OVER LAND OF PAN AM RAILWAYS PORTSMOUTH, NEW HAMPSHIRE FOR CITY OF PORTSMOUTH, PREPARED BY JAMES VERRA AND ASSOCIATES, INC., SCALE 1" = 20', DATED 10-01-2007 RCRD D-35477.
- 21) SEWER AND STORM DRAIN EASEMENT PLAN 105 BARTLETT STREET PORTSMOUTH, NEW HAMPSHIRE ASSESSOR'S PARCEL 164-001 & 164-003 EASEMENT OWNER CITY OF PORTSMOUTH, PREPARED BY JAMES VERRA AND ASSOCIATES, INC., SCALE 1" = 20', DATED 01/05/2012, RCRD D-37763.
- 22) EASEMENT PLAN TAX MAP 164 - LOT 4 BOSTON & MAINE CORPORATION TO THE CITY OF PORTSMOUTH OFF BREWSTER STREET CITY OF PORTSMOUTH COUNTY OF ROCKINGHAM STATE OF NEW HAMPSHIRE, PREPARED BY AMBIT ENGINEERING, INC. SCALE: 1" = 30', DATED SEPTEMBER 2012, RCRD D-37720.
- 23) STANDARD BOUNDARY SURVEY TAX MAP 157 - LOTS 7,8,10,11,12,13,14 AND 15 WASHBURN REALTY, INC. AND WASHBURN PLUMBING AND HEATING SUPPLY COMPANY, INC. FOR JAY McSHARRY 449 & 459 ISLINGTON STREET AND 18, 30, 40, & 46 DOVER STREET AND 268 & 280 McDONOUGH STREET CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM STATE OF NEW HAMPSHIRE, PREPARED BY AMBIT ENGINEERING, INC., SCALE 1" = 20', DATED JANUARY 2012, NOT RECORDED.
- 24) SITE REDEVELOPMENT NED & BILL PROPERTIES 621-627 ISLINGTON STREET PORTSMOUTH, N.H., PREPARED BY AMBIT ENGINEERING, INC., SCALE 1" = 10', DATED MARCH 2006, NOT RECORDED.
- 25) PLAN OF LAND FOR SAGAMORE ENTERPRISES 653 ISLINGTON STREET COUNTY OF ROCKINGHAM PORTSMOUTH N.H., PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES, SCALE 1" = 10', DATED SEPTEMBER 21, 1988, RCRD D-18742.
- 26) STATION MAP - LANDS BOSTON AND MAINE R.R. OPERATED BY THE BOSTON AND MAINE R.R. STATION 2966+20 TO STATION 3019+0, OFFICE OF VALUATION ENGINEER. BOSTON, MASS, SCALE 1" = 100', JUNE 30, 1914 VAL V3NH SL55.
- 27) STATION MAP - LANDS CONCORD AND PORTSMOUTH R.R. OPERATED BY THE BOSTON AND MAINE R.R. STATION 0+0 TO STATION 33+0, OFFICE OF VALUATION ENGINEER. BOSTON, MASS, SCALE 1" = 100', JUNE 30, 1914 VAL V3NH SL55A.



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."
 PAUL A. DOBBERSTEIN, LLS DATE 10/16/2018



APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

AMBIT ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 200 Griffin Road - Unit 3
 Portsmouth, N.H. 03801-7114
 Tel (603) 430-9282
 Fax (603) 436-2315

NOTES:
 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 157 AS LOTS 1 & 2 AND ASSESSOR'S MAP 164 AS LOTS 1, 2, 3, & 4.

2) OWNERS OF RECORD:
 MAP 157 LOT 1:
 CLIPPER TRADERS, LLC
 105 BARTLETT STREET
 PORTSMOUTH, NH 03801
 5598/2725

MAP 157 LOT 2:
 PORTSMOUTH LUMBER AND HARDWARE, LLC
 105 BARTLETT STREET
 PORTSMOUTH, NH 03801
 5372/2606

MAP 164 LOT 1, 2, AND 3
 PORTSMOUTH LUMBER AND HARDWARE, LLC
 105 BARTLETT STREET
 PORTSMOUTH, NH 03801
 5372/2606, 5808/1379, AND 5540/2567

MAP 164 LOT 4
 BOSTON AND MAINE CORPORATION
 IRON HORSE PARK
 NORTH BILLERICA, MA 01862
 VARIOUS DEED & PLAN REFERENCES

3) PORTIONS OF MAP 157 LOT 1 AND MAP 164 LOT 4 ARE IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.

4) PARCELS ARE LOCATED IN CHARACTER DISTRICT 4-W (CD4-W), OFFICE RESEARCH (OR), AND TRANSPORTATION CORRIDOR (TC) ZONING DISTRICTS.

5) THE PURPOSE OF THIS PLAN IS TO SHOW THE CONSOLIDATION AND SUBDIVISION OF THE PARCELS INTO 5 LOTS AND A RIGHT-OF-WAY, AND TO RELOCATE THE LOT LINE OF MAP 164 LOT 4.

6) VARIANCES TO DIMENSIONAL REQUIREMENTS GRANTED BY THE PORTSMOUTH ZONING BOARD OF ADJUSTMENT APRIL 17, 2018. SEE LISTING ON SHEET 4 OF 4.

3	UPDATE ZONING	10/16/18
2	RENAME PROPOSED ROAD	7/17/18
1	ISSUED FOR APPROVAL	6/18/18
0	ISSUED FOR COMMENT	3/5/18
NO.	DESCRIPTION	DATE

OVERALL SUBDIVISION PLAN
TAX MAP 157 - LOTS 1 & 2
TAX MAP 164 -
LOTS 1, 2, 3, & 4
 OWNER OF RECORD
 TAX MAP 157, LOT 2 &
 TAX MAP 164, LOTS 1, 2, & 3:
PORTSMOUTH LUMBER AND
HARDWARE, LLC
 OWNER OF RECORD
 TAX MAP 157, LOT 1
CLIPPER TRADERS, LLC
 OWNER OF RECORD
 TAX MAP 164, LOT 4:
BOSTON AND MAINE CORPORATION
 PROPERTY LOCATED AT:
 105 BARTLETT STREET
 CITY OF PORTSMOUTH
 COUNTY OF ROCKINGHAM
 STATE OF NEW HAMPSHIRE



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
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NOTES:

- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 157 AS LOTS 1 & 2 AND ASSESSOR'S MAP 164 AS LOTS 1, 2, 3, & 4.
- 2) PORTIONS OF MAP 157 LOT 1 AND MAP 164 LOT 4 ARE IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
- 3) PARCELS ARE LOCATED IN CHARACTER DISTRICT 4-W (CD4-W), CHARACTER DISTRICT 4-L1 (CD4-L1) AND TRANSPORTATION CORRIDOR (TC) ZONING DISTRICTS.
- 4) THE PURPOSE OF THIS PLAN IS TO SHOW THE CONSOLIDATION AND SUBDIVISION OF THE PARCELS INTO 5 LOTS AND A ROAD, AND TO RELOCATE THE LOT LINE OF MAP 164 LOT 4.

PROPOSED LOT AREAS & TAX MAP NUMBERS

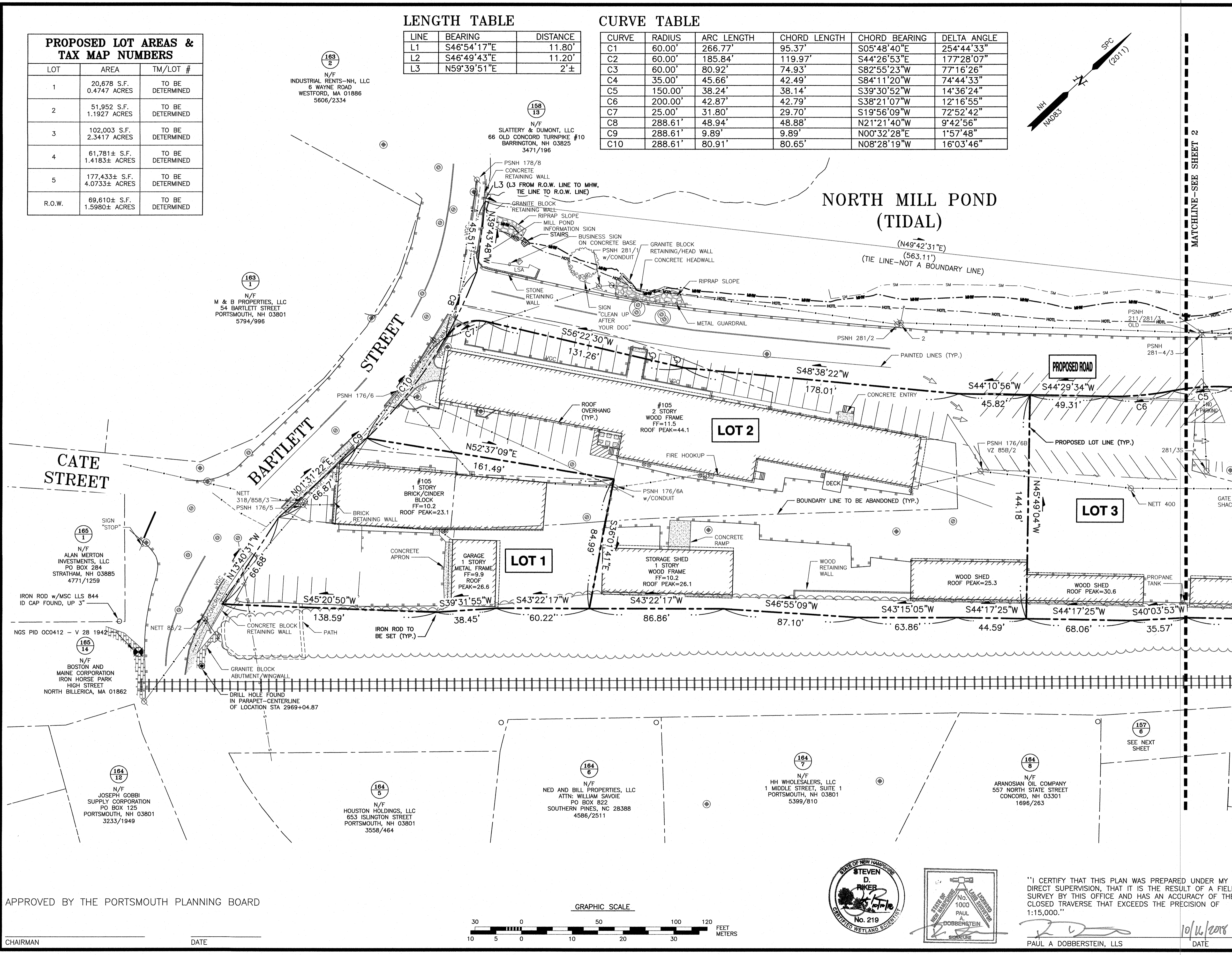
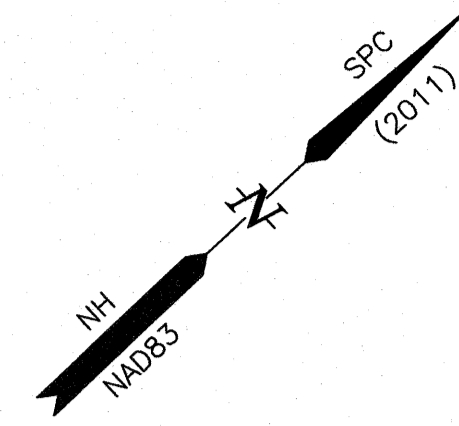
LOT	AREA	TM/LOT #
1	20,678 S.F. 0.4747 ACRES	TO BE DETERMINED
2	51,952 S.F. 1.1927 ACRES	TO BE DETERMINED
3	102,003 S.F. 2.3417 ACRES	TO BE DETERMINED
4	61,781± S.F. 1.4183± ACRES	TO BE DETERMINED
5	177,433± S.F. 4.0733± ACRES	TO BE DETERMINED
R.O.W.	69,610± S.F. 1.5980± ACRES	TO BE DETERMINED

LENGTH TABLE

LINE	BEARING	DISTANCE
L1	S46°54'17"E	11.80'
L2	S46°49'43"E	11.20'
L3	N59°39'51"E	2'±

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	60.00'	266.77'	95.37'	S05°48'40"E	254°44'33"
C2	60.00'	185.84'	119.97'	S44°26'53"E	177°28'07"
C3	60.00'	80.92'	74.93'	S82°55'23"W	77°16'26"
C4	35.00'	45.66'	42.49'	S84°11'20"W	74°44'33"
C5	150.00'	38.24'	38.14'	S39°30'52"W	14°36'24"
C6	200.00'	42.87'	42.79'	S38°21'07"W	12°16'55"
C7	25.00'	31.80'	29.70'	S19°56'09"W	72°52'42"
C8	288.61'	48.94'	48.88'	N21°21'40"W	9°42'56"
C9	288.61'	9.89'	9.89'	N00°32'28"E	1°57'48"
C10	288.61'	80.91'	80.65'	N08°28'19"W	16°03'46"



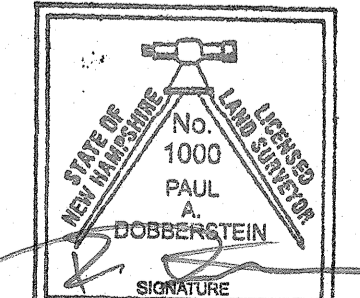
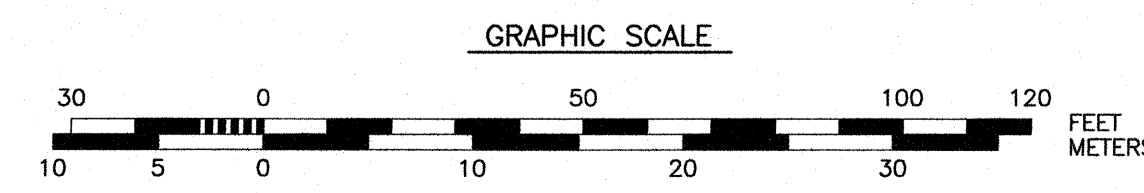
MATCHLINE - SEE SHEET 2

NO.	DESCRIPTION	DATE
4	RE-PLOT	10/16/18
3	RENAME PROPOSED ROAD	7/17/18
2	ISSUED FOR APPROVAL	6/18/18
1	ISSUED FOR CONCEPTUAL REVIEW	3/5/18
0	ISSUED FOR COMMENT	2/12/18

SUBDIVISION PLAN
TAX MAP 157 - LOTS 1 & 2
TAX MAP 164 -
LOTS 1, 2, 3, & 4
OWNER OF RECORD
TAX MAP 157, LOT 2 &
TAX MAP 164, LOTS 1, 2, & 3:
PORTSMOUTH LUMBER AND
HARDWARE, LLC
OWNER OF RECORD
TAX MAP 157, LOT 1
CLIPPER TRADERS, LLC
OWNER OF RECORD
TAX MAP 164, LOT 4:
BOSTON AND MAINE CORPORATION
PROPERTY LOCATED AT:
105 BARTLETT STREET
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

PAUL A. DOBBERSTEIN, LLS
DATE 10/16/2018

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	60.00'	266.77'	95.37'	S05°48'40"E	254°44'33"
C2	60.00'	185.84'	119.97'	S44°26'53"E	177°28'07"
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C4	35.00'	45.66'	42.49'	S84°11'20"W	74°44'33"
C5	150.00'	38.24'	38.14'	S39°30'52"W	14°36'24"
C6	200.00'	42.87'	42.79'	S38°21'07"W	12°16'55"
C7	25.00'	31.80'	29.70'	S19°56'09"W	72°52'42"
C8	288.61'	48.94'	48.88'	N21°21'40"W	9°42'56"
C9	288.61'	9.89'	9.89'	N00°32'28"E	1°57'48"
C10	288.61'	80.91'	80.65'	N08°28'19"W	16°03'46"

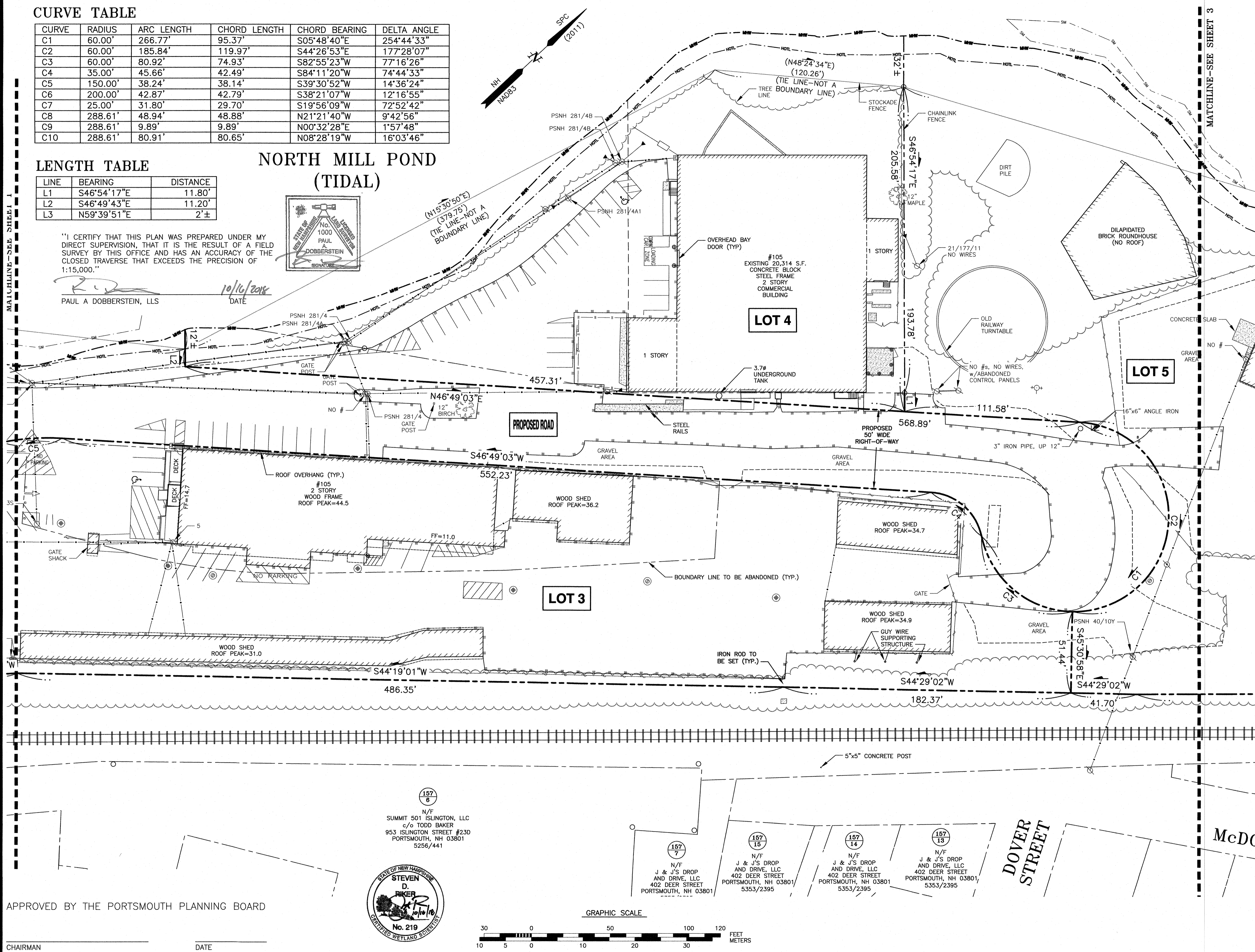
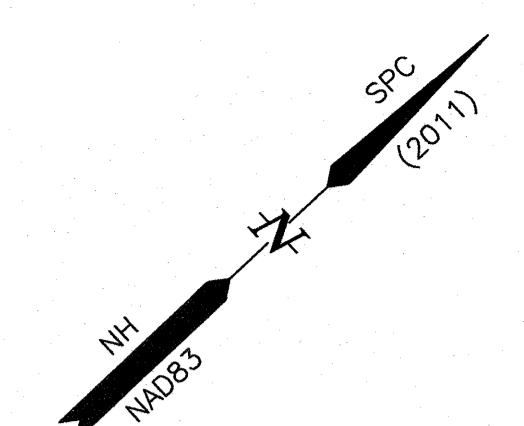
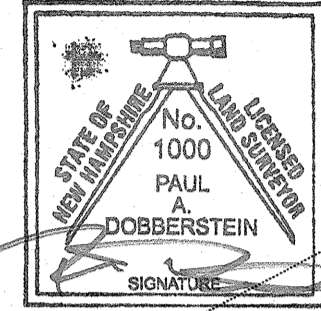
LENGTH TABLE

LINE	BEARING	DISTANCE
L1	S46°54'17"E	11.80'
L2	S46°49'43"E	11.20'
L3	N59°39'51"E	2'±

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

PAUL A DOBBERSTEIN, LLS
DATE 10/16/2018

NORTH MILL POND (TIDAL)



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 438-2315

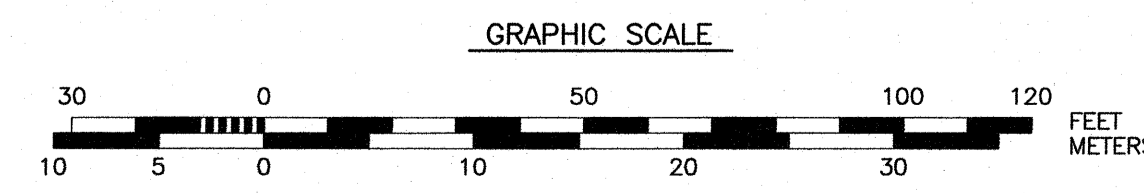
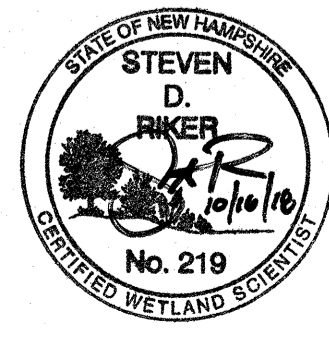
- NOTES:**
- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 157 AS LOTS 1 & 2 AND ASSESSOR'S MAP 164 AS LOTS 1, 2, 3, & 4.
 - 2) PORTIONS OF MAP 157 LOT 1 AND MAP 164 LOT 4 ARE IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
 - 3) PARCELS ARE LOCATED IN CHARACTER DISTRICT 4-W (CD4-W), CHARACTER DISTRICT 4-L1 (CD4-L1) AND TRANSPORTATION CORRIDOR (TC) ZONING DISTRICTS.
 - 4) THE PURPOSE OF THIS PLAN IS TO SHOW THE CONSOLIDATION AND SUBDIVISION OF THE PARCELS INTO 5 LOTS AND A ROAD, AND TO RELOCATE THE LOT LINE OF MAP 164 LOT 4.

NO.	DESCRIPTION	DATE
4	LABEL ROW	10/16/18
3	RENAME PROPOSED ROAD	7/17/18
2	ISSUED FOR APPROVAL	6/18/18
1	ISSUED FOR CONCEPTUAL REVIEW	3/5/18
0	ISSUED FOR COMMENT	2/12/18

SUBDIVISION PLAN
TAX MAP 157 - LOTS 1 & 2
TAX MAP 164 -
LOTS 1, 2, 3, & 4
OWNER OF RECORD
TAX MAP 157, LOT 2 &
TAX MAP 164, LOTS 1, 2, & 3:
PORTSMOUTH LUMBER AND
HARDWARE, LLC
OWNER OF RECORD
TAX MAP 157, LOT 1
CLIPPER TRADERS, LLC
OWNER OF RECORD
TAX MAP 164, LOT 4:
BOSTON AND MAINE CORPORATION
PROPERTY LOCATED AT:
105 BARTLETT STREET
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____





AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

VARIANCES GRANTED FROM PORTSMOUTH ZONING ORDINANCE

PROPOSED LOT 3 (CD4-W):

- VARIANCES FROM 10.5A41.10B
- 1) TO ALLOW FOR A FRONT LOT LINE BUILDOUT OF 24.7%, WHERE NO REQUIREMENT CURRENTLY EXIST AND 50% IS REQUIRED.
 - 2) TO ALLOW FOR A MINIMUM OPEN SPACE OF 9.6%, WHERE 0% EXIST AND 15% IS REQUIRED.

PROPOSED LOT 4 (CD4-W):

- VARIANCES FROM 10.5A41.10B
- 1) TO ALLOW FOR A FRONT LOT LINE BUILDOUT OF 29.1%, WHERE NO REQUIREMENT CURRENTLY EXIST AND 50% IS REQUIRED.
 - 2) TO ALLOW FOR A MAXIMUM BUILDING FOOTPRINT OF 20,313 S.F., WHERE NO REQUIREMENT CURRENTLY EXISTS, A BUILDING FOOTPRINT OF 20,313 S.F. CURRENTLY EXISTS AND A MAXIMUM OF 15,000 S.F. IS ALLOWED.

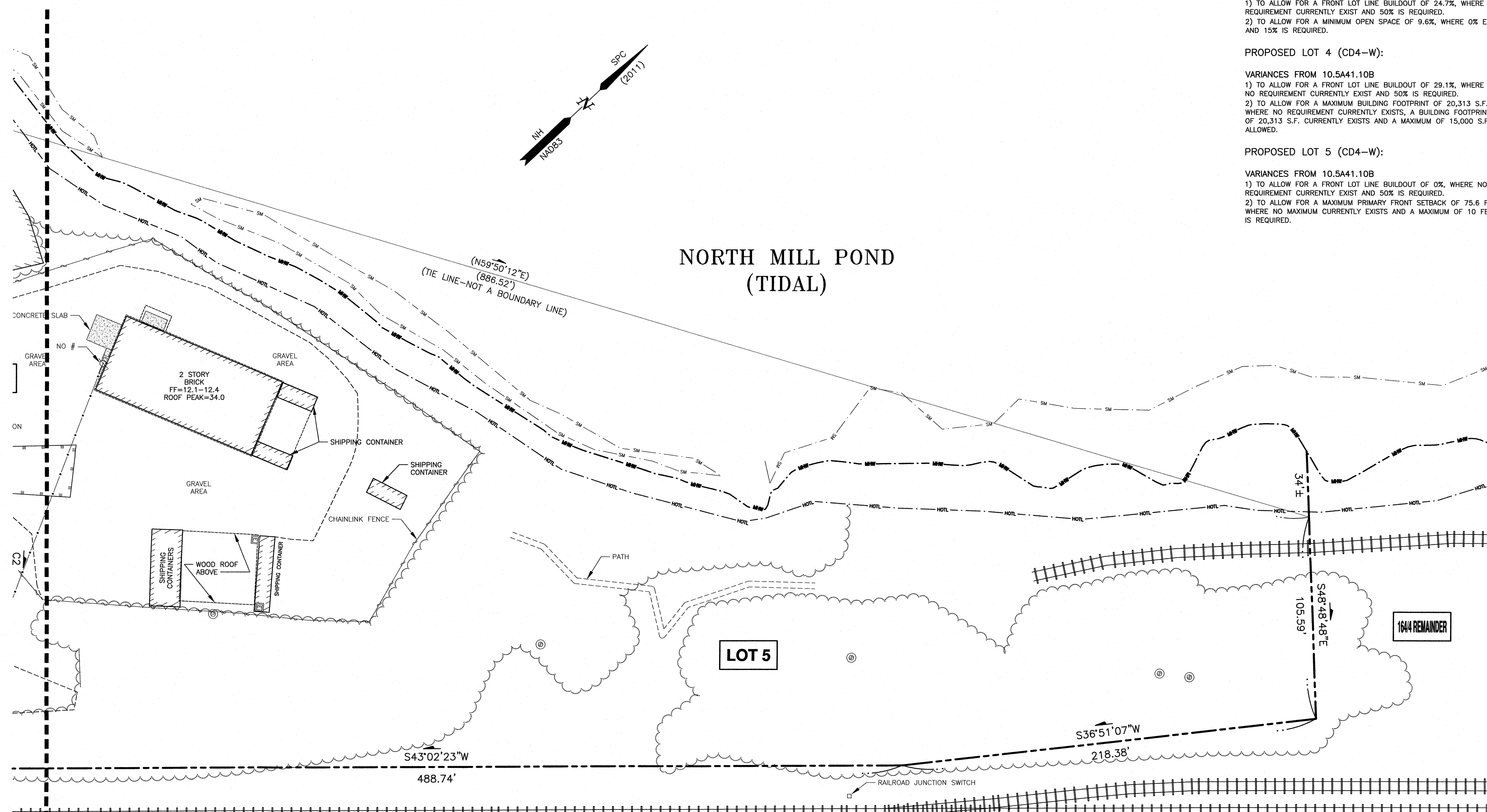
PROPOSED LOT 5 (CD4-W):

- VARIANCES FROM 10.5A41.10B
- 1) TO ALLOW FOR A FRONT LOT LINE BUILDOUT OF 0%, WHERE NO REQUIREMENT CURRENTLY EXIST AND 50% IS REQUIRED.
 - 2) TO ALLOW FOR A MAXIMUM PRIMARY FRONT SETBACK OF 75.6 FEET, WHERE NO MAXIMUM CURRENTLY EXISTS AND A MAXIMUM OF 10 FEET IS REQUIRED.

NOTES:

- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 157 AS LOTS 1 & 2 AND ASSESSOR'S MAP 164 AS LOTS 1, 2, 3, & 4.
- 2) PORTIONS OF MAP 157 LOT 1 AND MAP 164 LOT 4 ARE IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
- 3) PARCELS ARE LOCATED IN CHARACTER DISTRICT 4-W (CD4-W), CHARACTER DISTRICT 4-L1 (CD4-L1) AND TRANSPORTATION CORRIDOR (TC) ZONING DISTRICTS.
- 4) THE PURPOSE OF THIS PLAN IS TO SHOW THE CONSOLIDATION AND SUBDIVISION OF THE PARCELS INTO 5 LOTS AND A ROAD, AND TO RELOCATE THE LOT LINE OF MAP 164 LOT 4.

NORTH MILL POND (TIDAL)



LOT 5

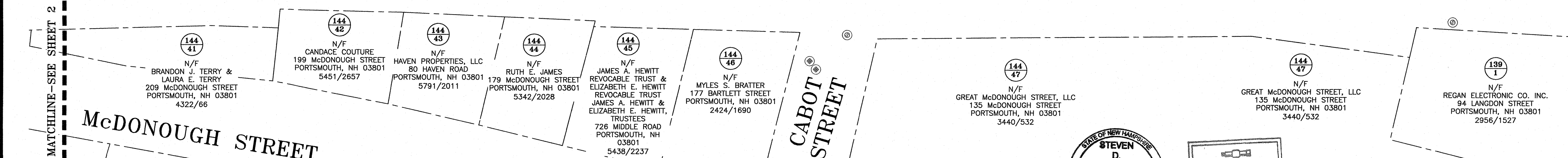
1644 REMAINDER

NO.	DESCRIPTION	DATE
4	UPDATE ZONING	10/16/18
3	ADD GRANTED VARIANCES	7/17/18
2	ISSUED FOR APPROVAL	6/18/18
1	ISSUED FOR CONCEPTUAL REVIEW	3/5/18
0	ISSUED FOR COMMENT	2/12/18

REVISIONS

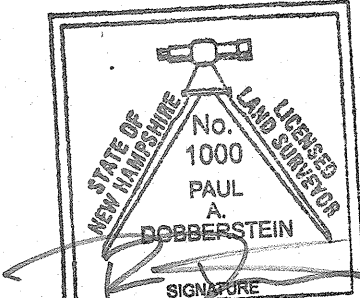
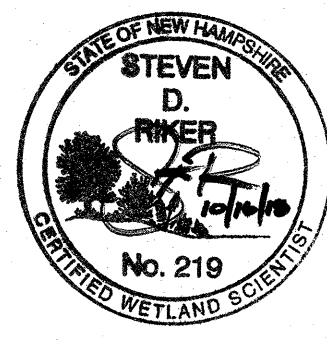
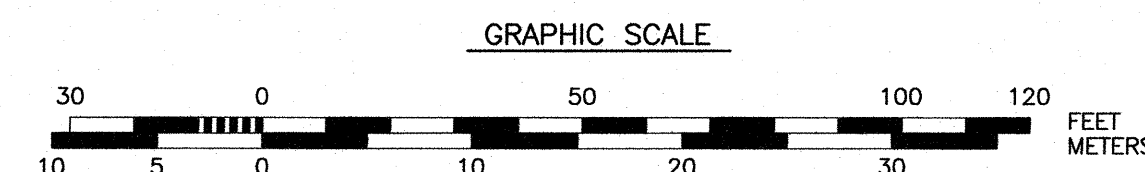
**SUBDIVISION PLAN
TAX MAP 157 - LOTS 1 & 2
TAX MAP 164 -
LOTS 1, 2, 3, & 4**

OWNER OF RECORD
TAX MAP 157, LOT 2 &
TAX MAP 164, LOTS 1, 2, & 3:
**PORTSMOUTH LUMBER AND
HARDWARE, LLC**
OWNER OF RECORD
TAX MAP 157, LOT 1
CLIPPER TRADERS, LLC
OWNER OF RECORD
TAX MAP 164, LOT 4:
BOSTON AND MAINE CORPORATION
PROPERTY LOCATED AT:
**105 BARTLETT STREET
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE**



APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

PAUL A DOBBERSTEIN, LLS DATE 10/16/2018

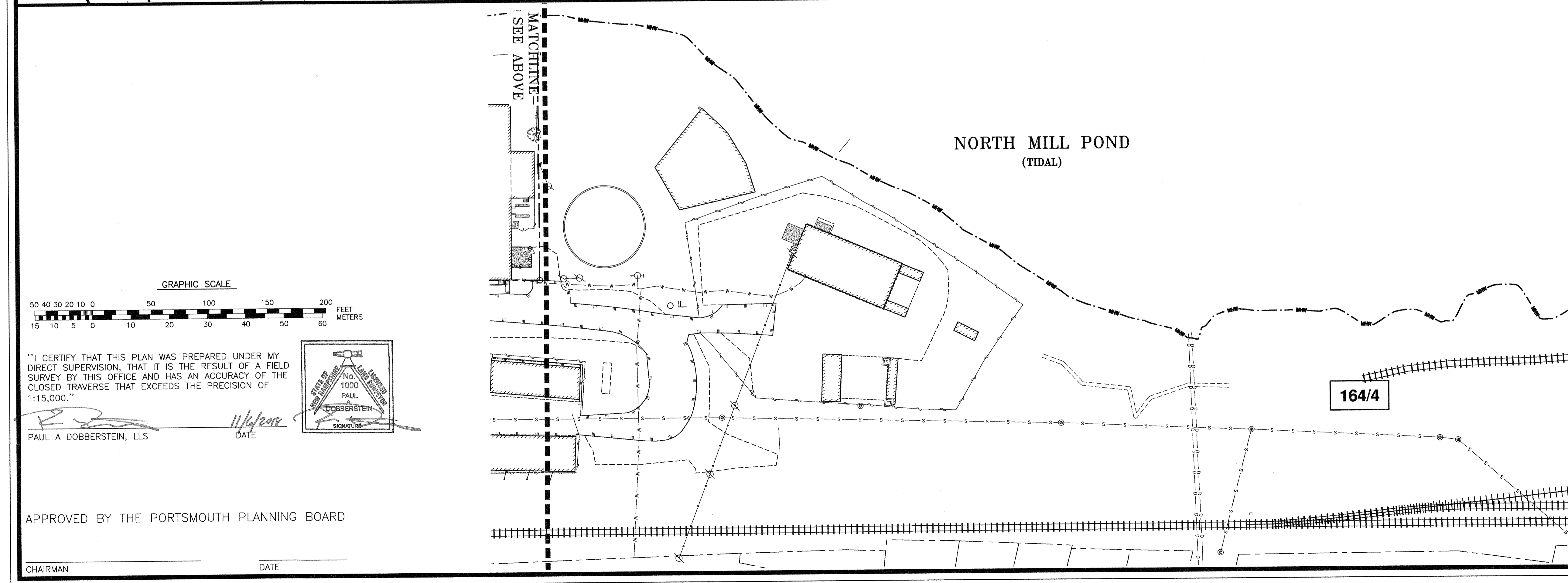
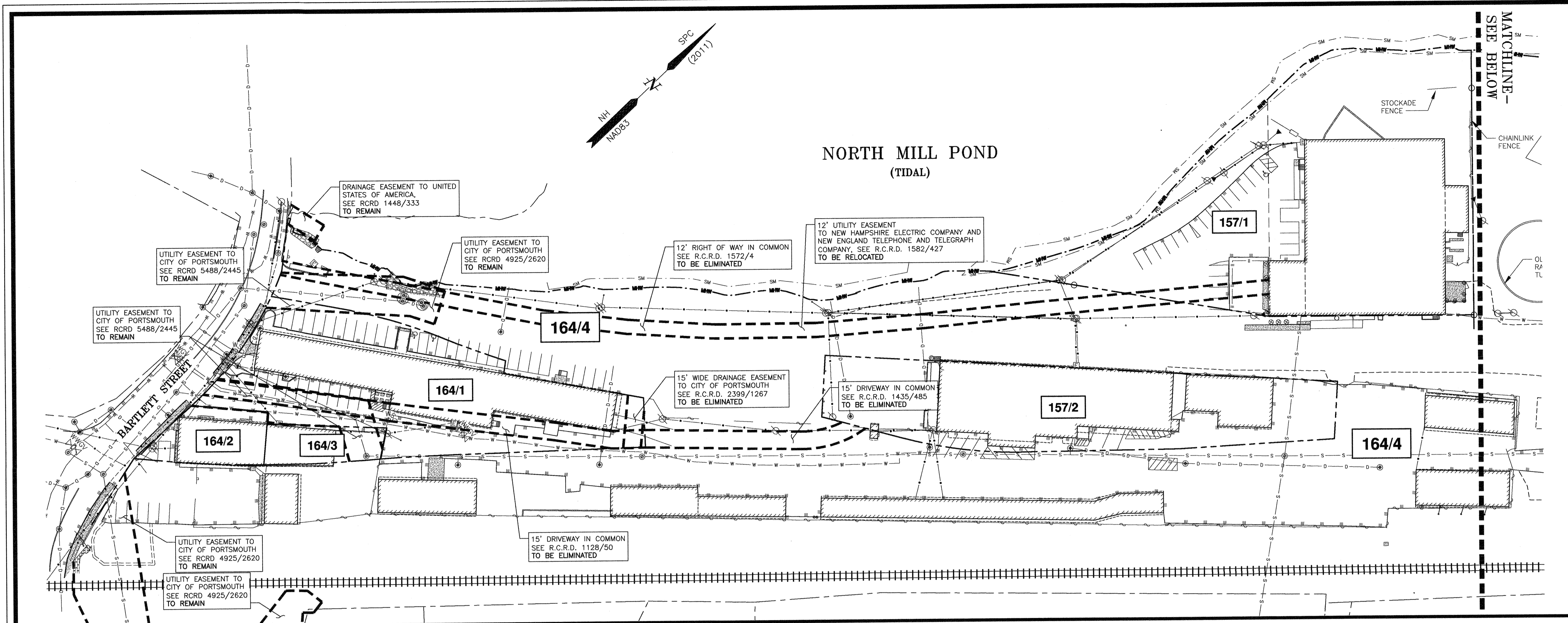


AMBIT ENGINEERING, INC.
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NOTES:

- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 157 AS LOTS 1 & 2 AND ASSESSOR'S MAP 164 AS LOTS 1, 2, 3, & 4.
- 2) PORTIONS OF MAP 157 LOT 1 AND MAP 164 LOT 4 ARE IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
- 3) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING EASEMENTS ENCUMBERING AND BENEFITING THE PARCELS.
- 4) HORIZONTAL DATUM AND BASIS OF BEARINGS IS THE NH STATE PLANE COORDINATE SYSTEM NAD 83 (2011). BASIS OF HORIZONTAL DATUM IS REDUNDANT RTN GPS OBSERVATIONS.



NO.	DESCRIPTION	DATE
1	SHEET NUMBER	11/6/18
0	ISSUED FOR COMMENT	10/16/18
REVISIONS		

EXISTING EASEMENT PLAN
TAX MAP 157 - LOTS 1 & 2
TAX MAP 164 -
LOTS 1, 2, 3, & 4
 OWNER OF RECORD
 TAX MAP 157, LOT 2 &
 TAX MAP 164, LOTS 1, 2, & 3:
PORTSMOUTH LUMBER AND
HARDWARE, LLC
 OWNER OF RECORD
 TAX MAP 157, LOT 1
CLIPPER TRADERS, LLC
 OWNER OF RECORD
 TAX MAP 164, LOT 4:
BOSTON AND MAINE CORPORATION
 PROPERTY LOCATED AT:
 105 BARTLETT STREET
 CITY OF PORTSMOUTH
 COUNTY OF ROCKINGHAM
 STATE OF NEW HAMPSHIRE



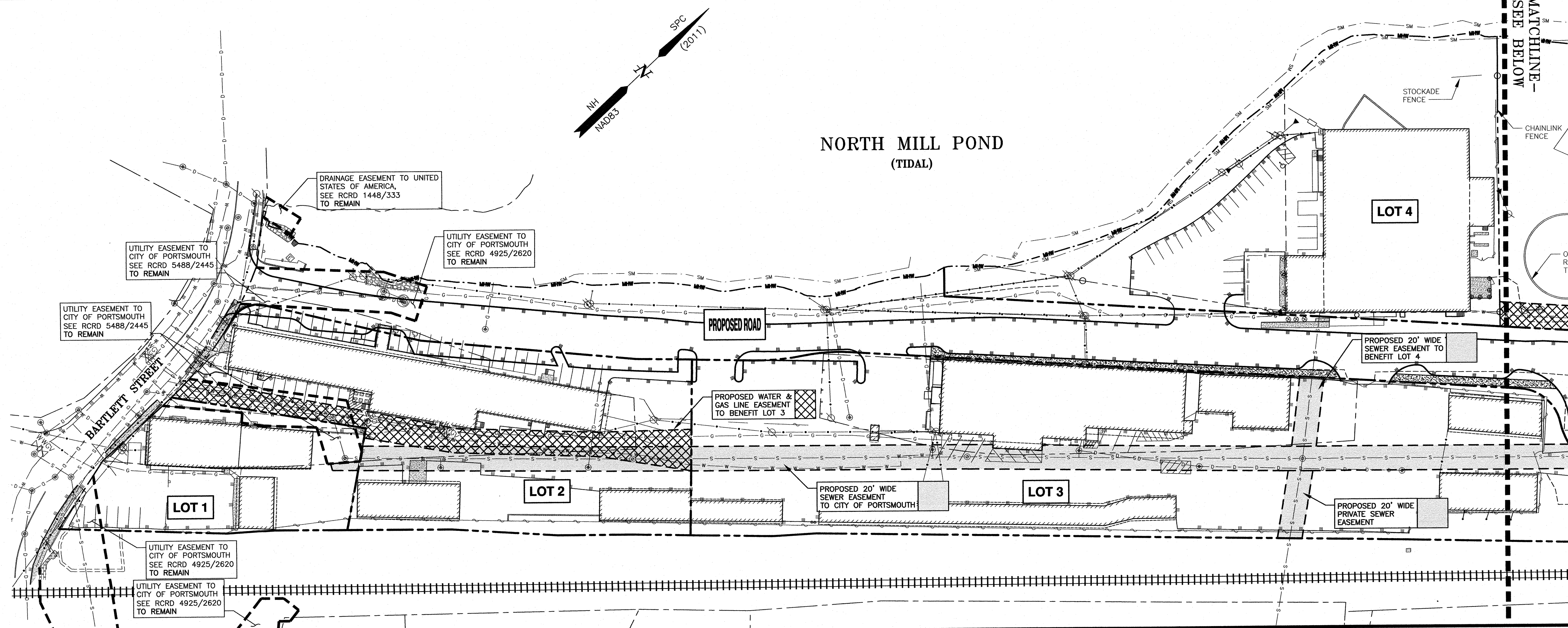
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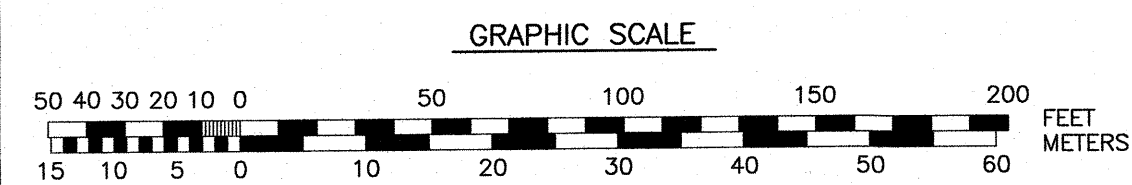
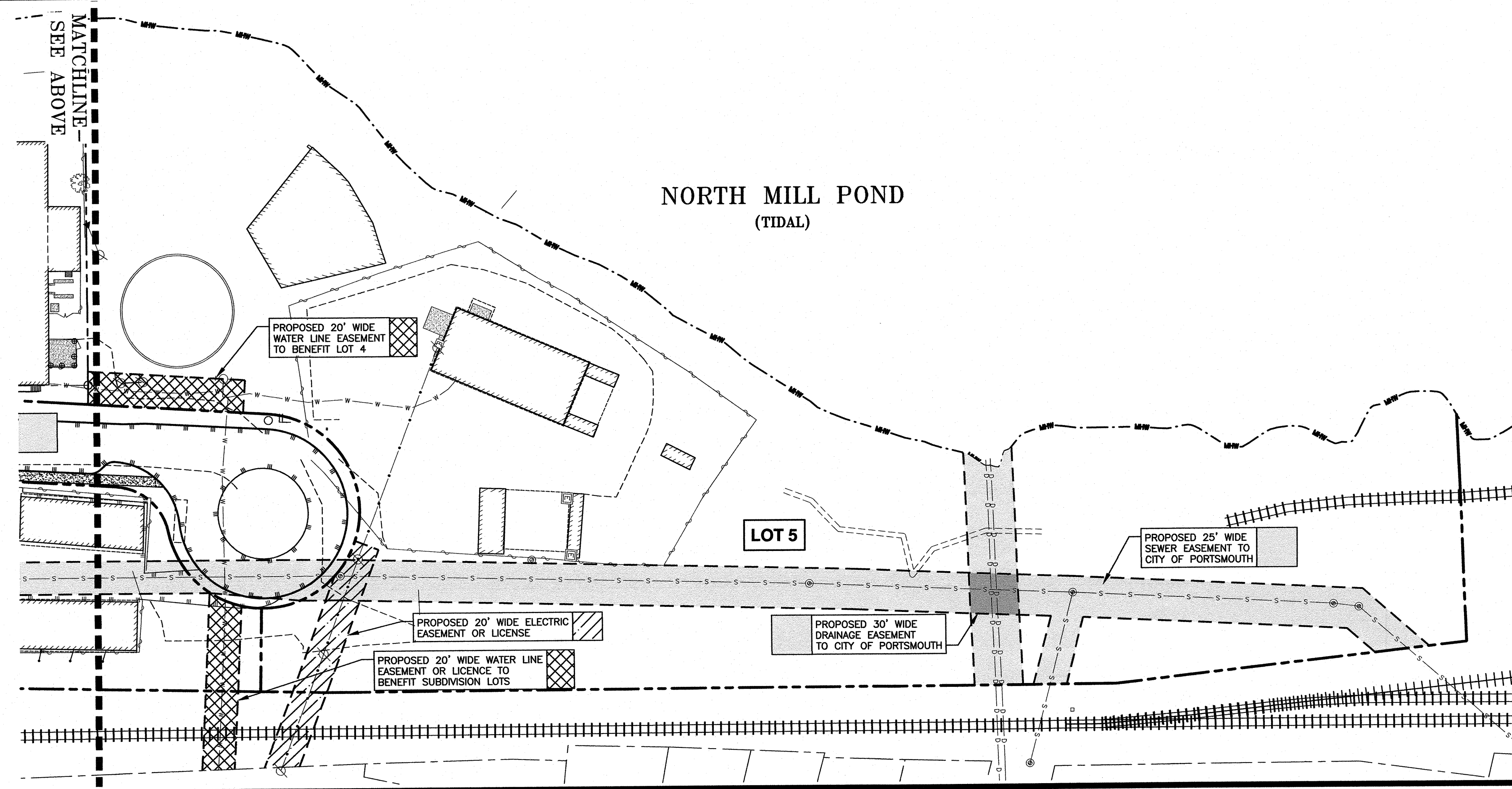
NOTES:

- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 157 AS LOTS 1 & 2 AND ASSESSOR'S MAP 164 AS LOTS 1, 2, 3, & 4.
- 2) PORTIONS OF MAP 157 LOT 1 AND MAP 164 LOT 4 ARE IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
- 3) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED EASEMENTS ENCUMBERING AND BENEFITING THE PARCELS.
- 4) HORIZONTAL DATUM AND BASIS OF BEARINGS IS THE NH STATE PLANE COORDINATE SYSTEM NAD 83 (2011). BASIS OF HORIZONTAL DATUM IS REDUNDANT RTN GPS OBSERVATIONS.
- 5) THE CITY OF PORTSMOUTH WILL BE GRANTED A BLANKET EASEMENT, ALONG WITH OTHER UTILITIES, WITHIN THE AREA OF THE PROPOSED ROAD.

NORTH MILL POND (TIDAL)



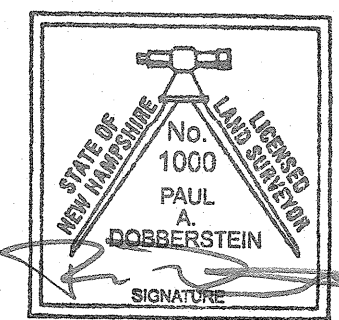
NORTH MILL POND (TIDAL)



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

PAUL A DOBBERSTEIN, LLS

11/6/2018 DATE



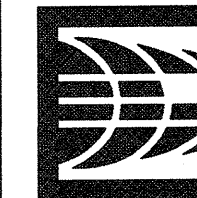
APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

NO.	DESCRIPTION	DATE
1	ADD ADDITIONAL EASEMENTS	11/6/18
0	ISSUED FOR COMMENT	10/16/18

REVISIONS

PROPOSED UTILITY EASEMENT PLAN
TAX MAP 157 - LOTS 1 & 2
TAX MAP 164 -
LOTS 1, 2, 3, & 4
OWNER OF RECORD
TAX MAP 157, LOT 2 &
TAX MAP 164, LOTS 1, 2, & 3:
PORTSMOUTH LUMBER AND
HARDWARE, LLC
OWNER OF RECORD
TAX MAP 157, LOT 1
CLIPPER TRADERS, LLC
OWNER OF RECORD
TAX MAP 164, LOT 4:
BOSTON AND MAINE CORPORATION
PROPERTY LOCATED AT:
105 BARTLETT STREET
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

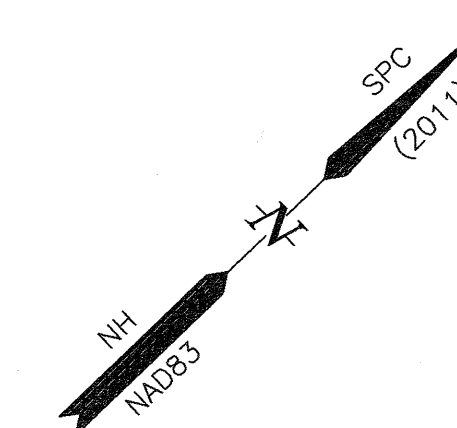


AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 436-9282
Fax (603) 436-2315

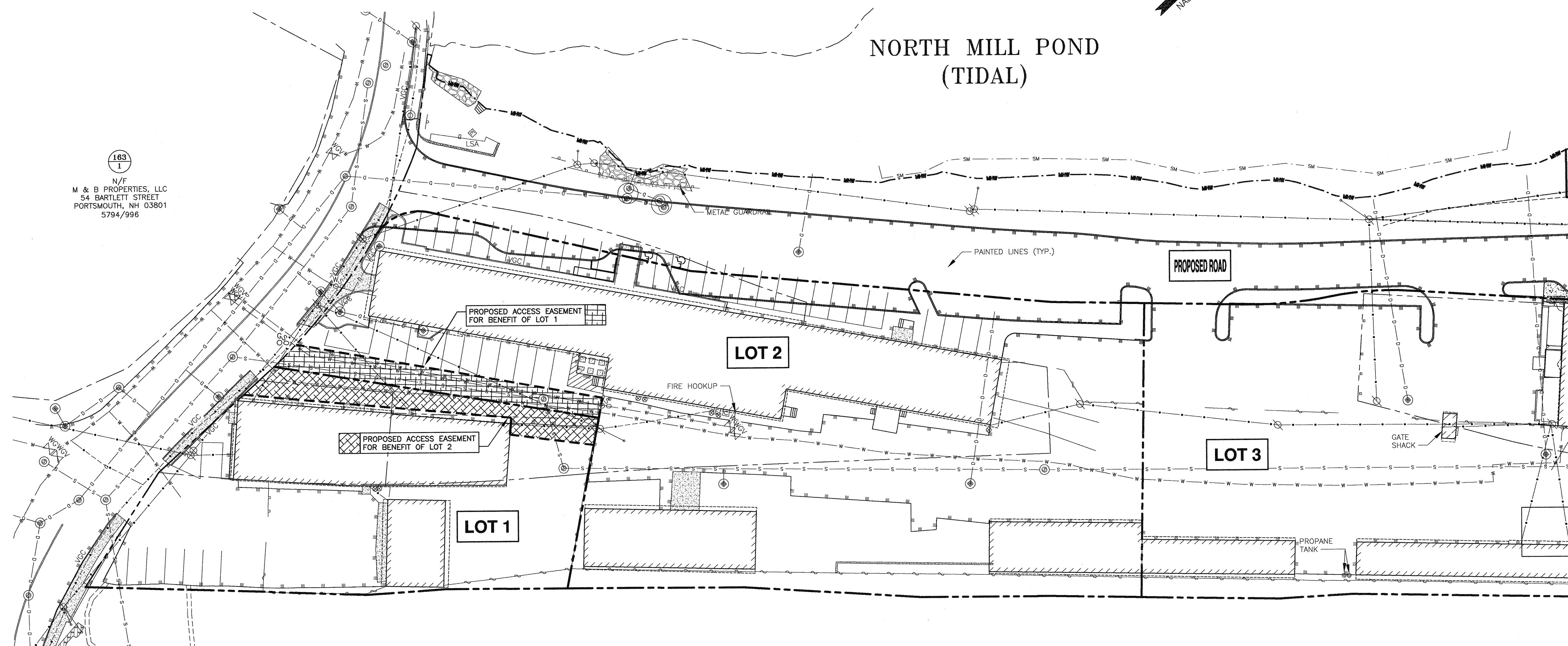
NOTES:

- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 157 AS LOTS 1 & 2 AND ASSESSOR'S MAP 164 AS LOTS 1, 2, 3, & 4.
- 2) PORTIONS OF MAP 157 LOT 1 AND MAP 164 LOT 4 ARE IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
- 3) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED EASEMENTS ENCUMBERING AND BENEFITING THE PARCELS.
- 4) HORIZONTAL DATUM AND BASIS OF BEARINGS IS THE NH STATE PLANE COORDINATE SYSTEM NAD 83 (2011). BASIS OF HORIZONTAL DATUM IS REDUNDANT RTN GPS OBSERVATIONS.
- 5) THE CLIPPER TRADERS SUBDIVISION LOT 2-5 OWNERS SHALL ENTER INTO A ROADWAY MAINTENANCE AGREEMENT FOR THE JOINT ACCESS, USE, AND MAINTENANCE OF THE PROPOSED ROAD.



**NORTH MILL POND
(TIDAL)**

163
1
N/F
M & B PROPERTIES, LLC
54 BARTLETT STREET
PORTSMOUTH, NH 03801
5794/996



NO.	DESCRIPTION	DATE
1	REMOVE ACCESS EASEMENT TO LOT 3	11/6/18
0	ISSUED FOR COMMENT	10/16/18

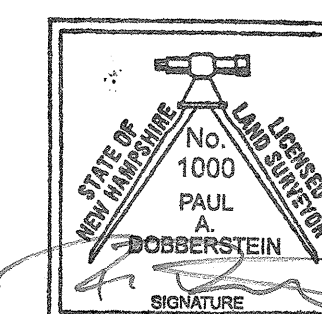
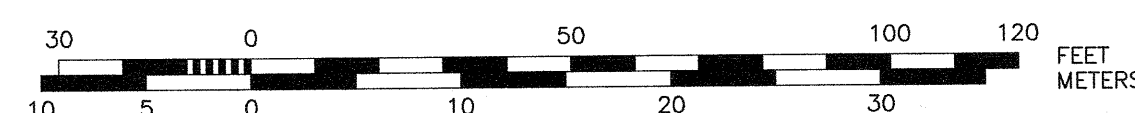
REVISIONS

PROPOSED ACCESS EASEMENT PLAN
TAX MAP 157 - LOTS 1 & 2
TAX MAP 164 -
LOTS 1, 2, 3, & 4
 OWNER OF RECORD
 TAX MAP 157, LOT 2 &
 TAX MAP 164, LOTS 1, 2, & 3:
PORTSMOUTH LUMBER AND
HARDWARE, LLC
 OWNER OF RECORD
 TAX MAP 157, LOT 1
CLIPPER TRADERS, LLC
 OWNER OF RECORD
 TAX MAP 164, LOT 4:
BOSTON AND MAINE CORPORATION
 PROPERTY LOCATED AT:
 105 BARTLETT STREET
 CITY OF PORTSMOUTH
 COUNTY OF ROCKINGHAM
 STATE OF NEW HAMPSHIRE

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

GRAPHIC SCALE



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

PAUL A DOBBERSTEIN, LLS

DATE 11/6/2018

SCALE 1"=30'

SHEET 3 OF 3

OCTOBER 2018

FB 243 PG 22

2429



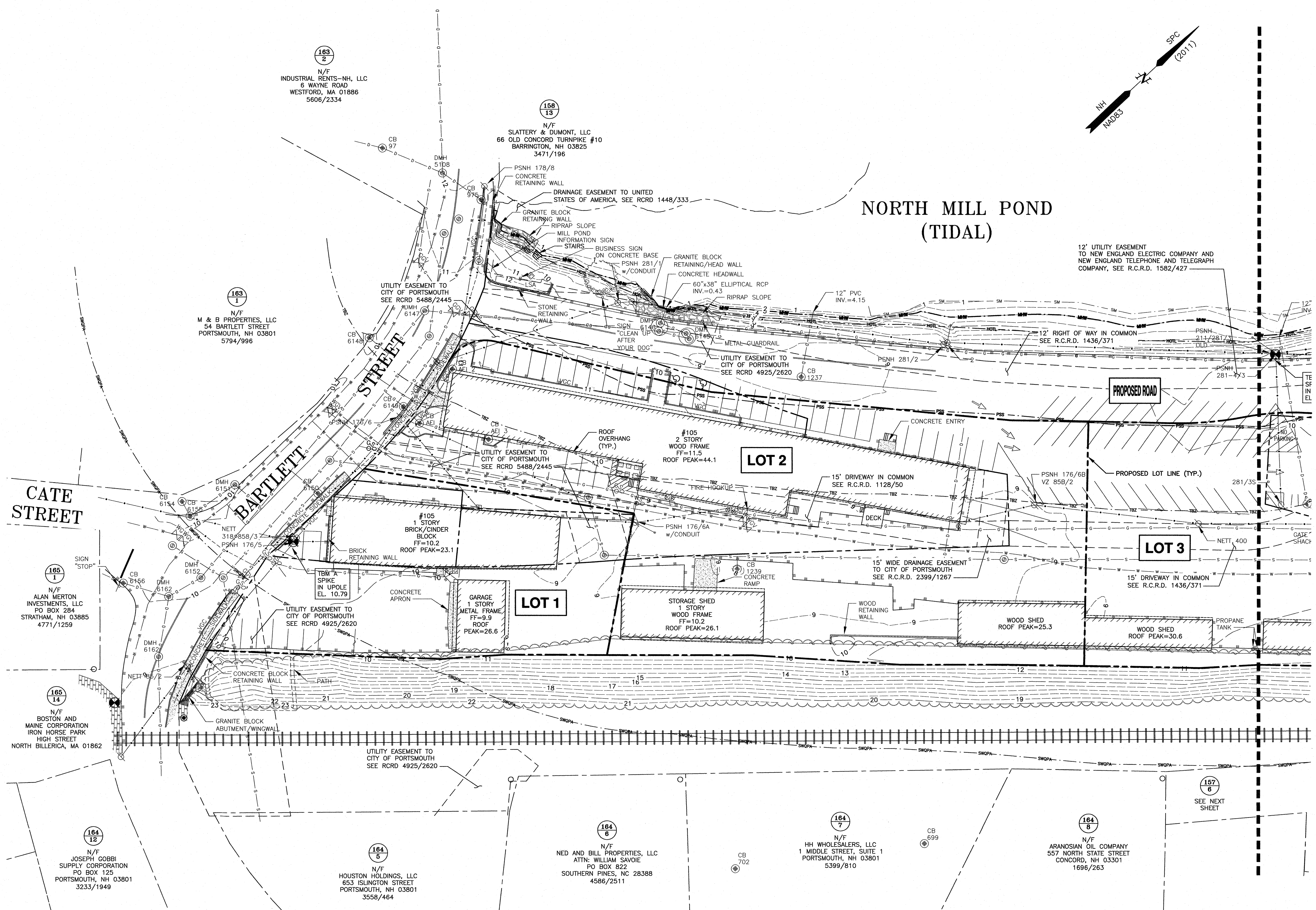
AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 438-2315

NOTES:

- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 157 AS LOTS 1 & 2 AND ASSESSOR'S MAP 16 AS LOTS 1, 2, 3, & 4.
- 2) PORTIONS OF MAP 157 LOT 1 AND MAP 164 LOT 4 ARE IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
- 3) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON THE PARCELS.
- 4) VERTICAL DATUM IS MEAN SEA LEVEL NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GPS OBSERVATIONS (±0.3').
- 5) HORIZONTAL DATUM AND BASIS OF BEARINGS IS THE NH STATE PLANE COORDINATE SYSTEM NAD 83 (2011). BASIS OF HORIZONTAL DATUM IS REDUNDANT RTN GPS OBSERVATIONS.

NORTH MILL POND (TIDAL)



SUBDIVISION PLAN CLIPPER TRADERS, LLC OFF BARTLETT STREET PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
3	ADD EXISTING EASEMENTS	10/16/18
2	RENAME PROPOSED ROAD	7/17/18
1	ISSUED FOR CONCEPTUAL REVIEW	3/5/18
0	ISSUED FOR COMMENT	2/12/18

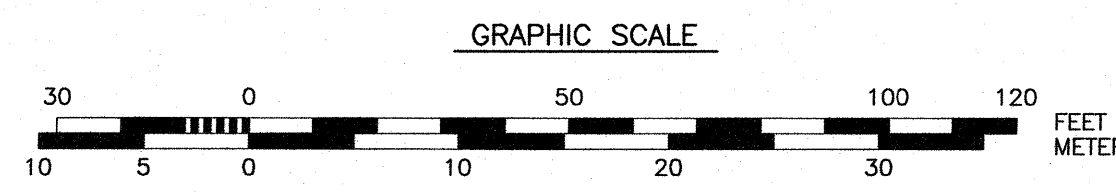
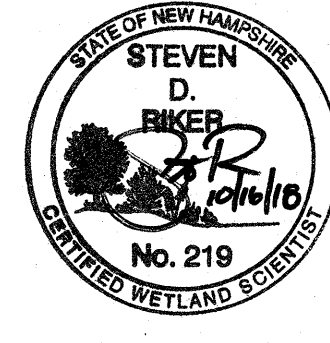
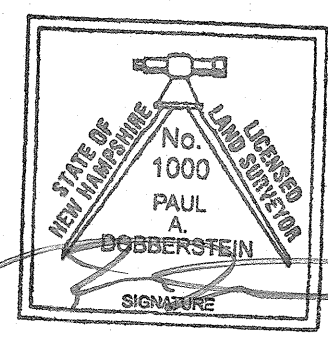
REVISIONS		
NO.	DESCRIPTION	DATE

SCALE 1"=30' FEBRUARY 2018

EXISTING CONDITIONS PLAN **C1**

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

PAUL A DOBBERSTEIN, LLS DATE 10/16/2018





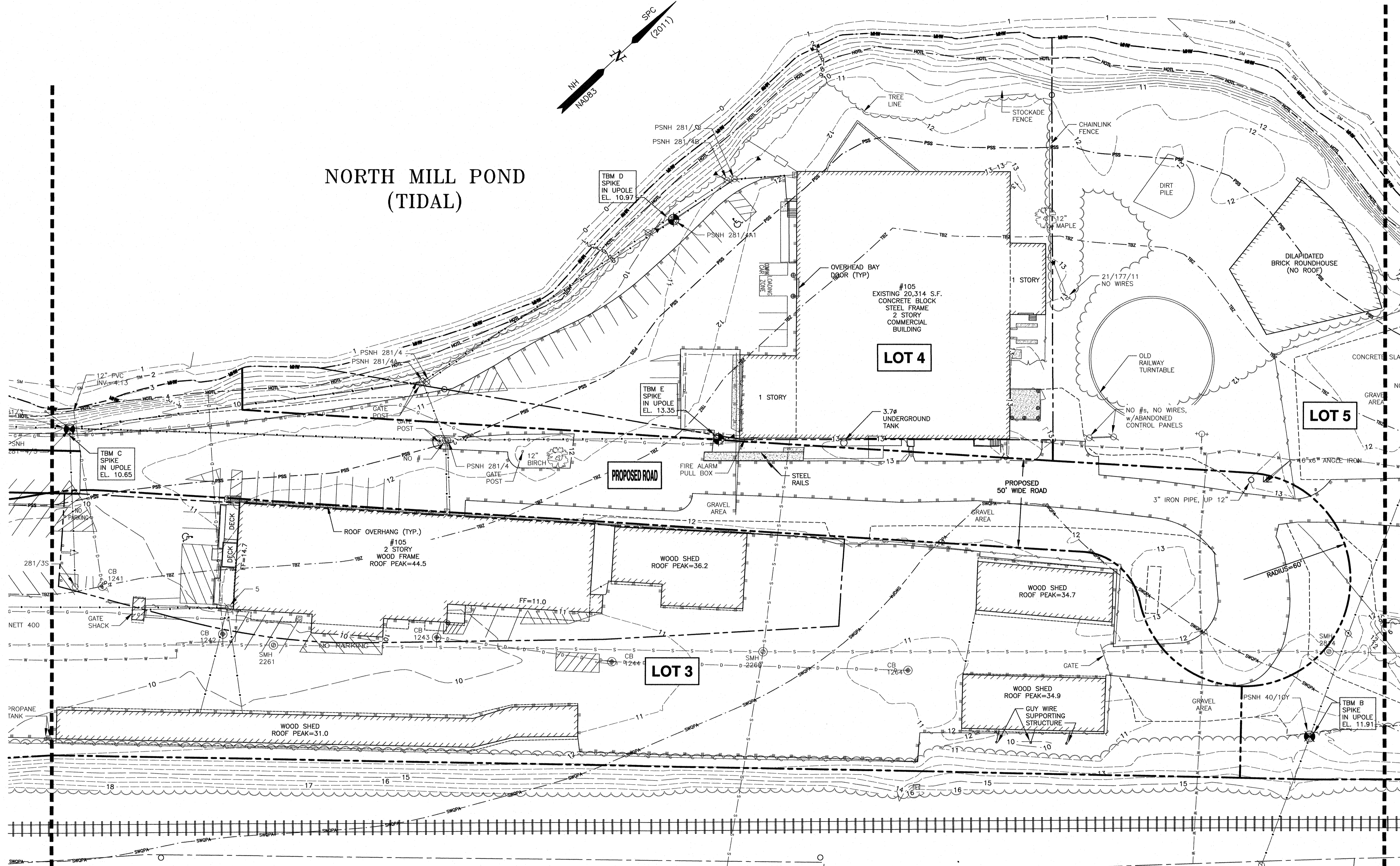
AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 157 AS LOTS 1 & 2 AND ASSESSOR'S MAP 16 AS LOTS 1, 2, 3, & 4.
- 2) PORTIONS OF MAP 157 LOT 1 AND MAP 164 LOT 4 ARE IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
- 3) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON THE PARCELS.
- 4) VERTICAL DATUM IS MEAN SEA LEVEL NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GPS OBSERVATIONS (±0.3').
- 5) HORIZONTAL DATUM AND BASIS OF BEARINGS IS THE NH STATE PLANE COORDINATE SYSTEM NAD 83 (2011). BASIS OF HORIZONTAL DATUM IS REDUNDANT RTN GPS OBSERVATIONS.

**NORTH MILL POND
(TIDAL)**



**SUBDIVISION PLAN
CLIPPER TRADERS, LLC
OFF BARTLETT STREET
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
3	ADD EXISTING EASEMENTS, ADD TOPOGRAPHIC INFORMATION ON LOT 157/1	10/16/18
2	RENAME PROPOSED ROAD	7/17/18
1	ISSUED FOR CONCEPTUAL REVIEW	3/5/18
0	ISSUED FOR COMMENT	2/12/18

REVISIONS

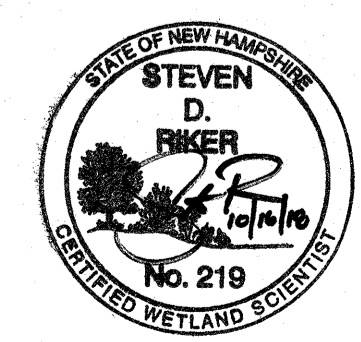
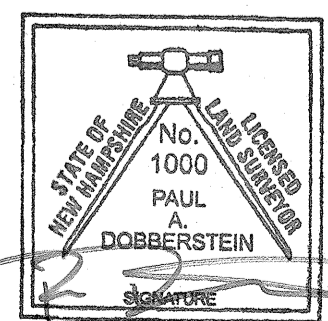
SCALE 1"=30' FEBRUARY 2018

EXISTING CONDITIONS PLAN

C2

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

PAUL A DOBBERSTEIN, LLS DATE 10/16/2018



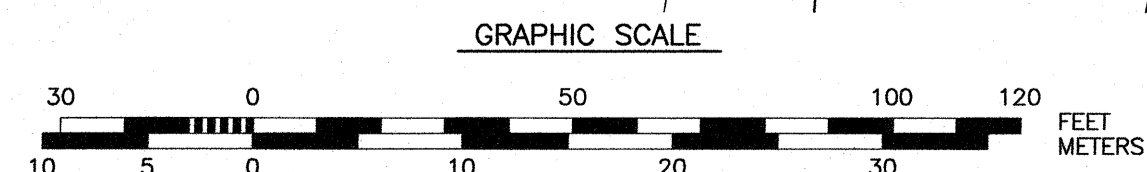
157/6
N/F
SUMMIT 501 ISLINGTON, LLC
c/o TODD BAKER
953 ISLINGTON STREET #23D
PORTSMOUTH, NH 03801
5256/441

157/7
N/F
J & J'S DROP AND DRIVE, LLC
402 DEER STREET
PORTSMOUTH, NH 03801
5353/2395

157/15
N/F
J & J'S DROP AND DRIVE, LLC
402 DEER STREET
PORTSMOUTH, NH 03801
5353/2395

157/14
N/F
J & J'S DROP AND DRIVE, LLC
402 DEER STREET
PORTSMOUTH, NH 03801
5353/2395

157/13
N/F
J & J'S DROP AND DRIVE, LLC
402 DEER STREET
PORTSMOUTH, NH 03801
5353/2395





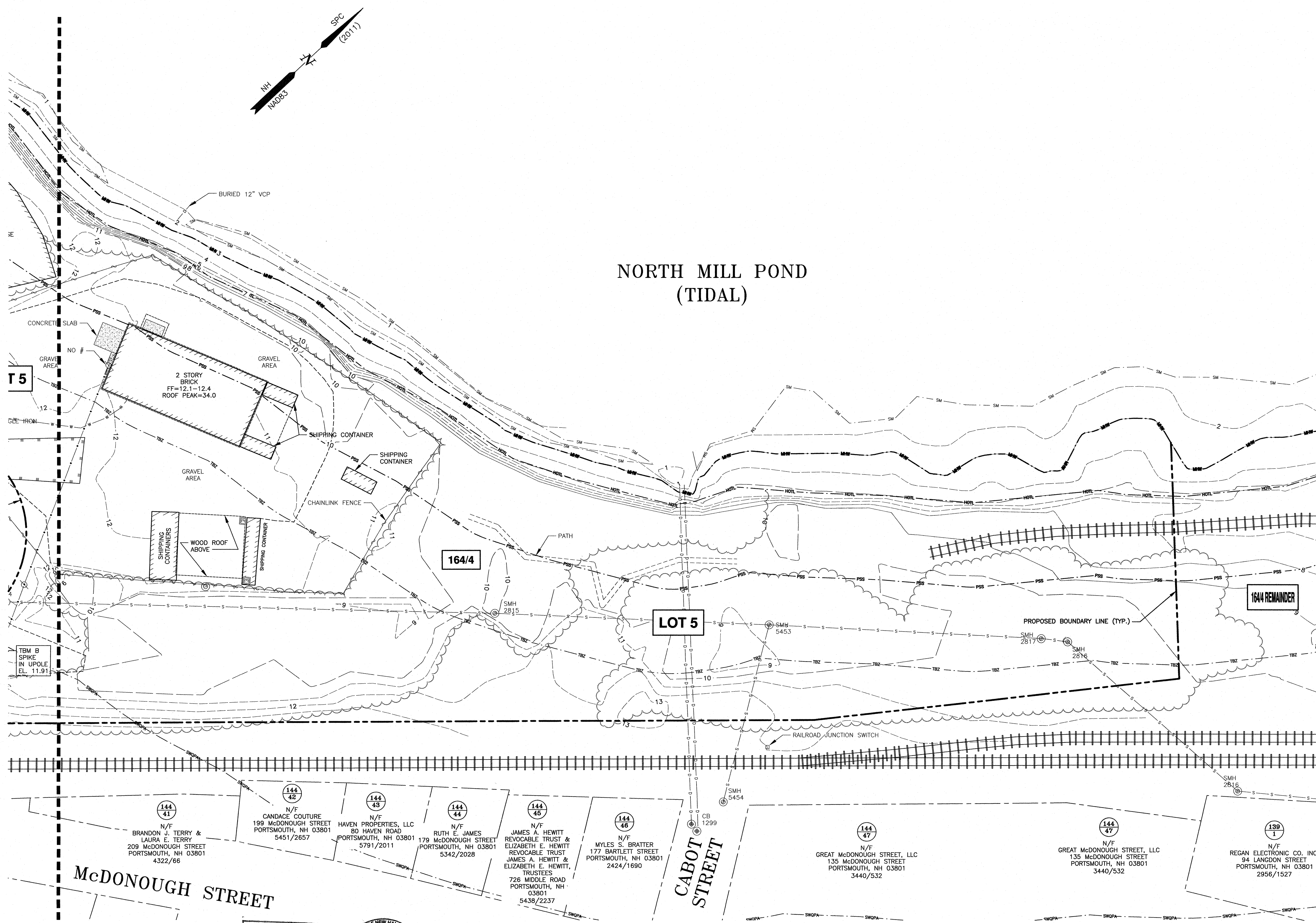
AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 157 AS LOTS 1 & 2 AND ASSESSOR'S MAP 16 AS LOTS 1, 2, 3, & 4.
- 2) PORTIONS OF MAP 157 LOT 1 AND MAP 164 LOT 4 ARE IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
- 3) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON THE PARCELS.
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- 5) HORIZONTAL DATUM AND BASIS OF BEARINGS IS THE NH STATE PLANE COORDINATE SYSTEM NAD 83 (2011). BASIS OF HORIZONTAL DATUM IS REDUNDANT RTN GPS OBSERVATIONS.

NORTH MILL POND (TIDAL)



SUBDIVISION PLAN CLIPPER TRADERS, LLC OFF BARTLETT STREET PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	ISSUED FOR CONCEPTUAL REVIEW	3/5/18
0	ISSUED FOR COMMENT	2/12/18

REVISIONS

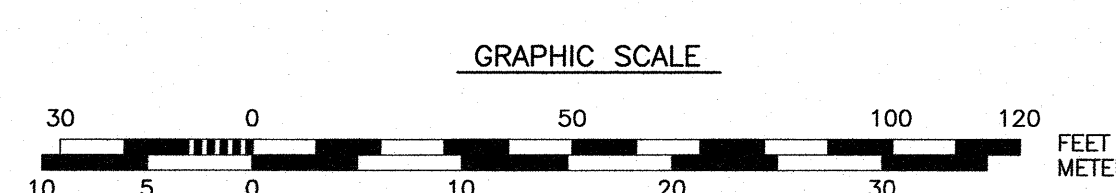
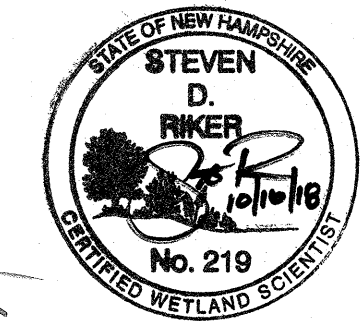
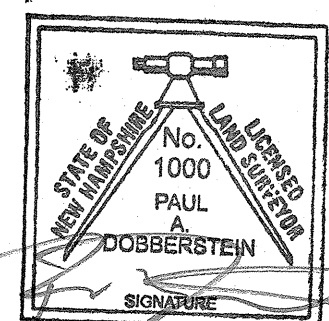
NO.	DESCRIPTION	DATE
144 41	N/F BRANDON J. TERRY & LAURA E. TERRY 209 McDONOUGH STREET PORTSMOUTH, NH 03801 4322/66	
144 42	N/F CANDACE COUTURE 199 McDONOUGH STREET PORTSMOUTH, NH 03801 5451/2657	
144 43	N/F HAVEN PROPERTIES, LLC 80 HAVEN ROAD PORTSMOUTH, NH 03801 5791/2011	
144 44	N/F RUTH E. JAMES 179 McDONOUGH STREET PORTSMOUTH, NH 03801 5342/2028	
144 45	N/F JAMES A. HEWITT REVOCABLE TRUST & ELIZABETH E. HEWITT REVOCABLE TRUST 726 MIDDLE ROAD PORTSMOUTH, NH 03801 5438/2237	
144 46	N/F MYLES S. BRATTER 177 BARTLETT STREET PORTSMOUTH, NH 03801 2424/1690	
144 47	N/F GREAT McDONOUGH STREET, LLC 135 McDONOUGH STREET PORTSMOUTH, NH 03801 3440/532	
144 47	N/F GREAT McDONOUGH STREET, LLC 135 McDONOUGH STREET PORTSMOUTH, NH 03801 3440/532	
139 1	N/F REGAN ELECTRONIC CO. INC. 84 LANGDON STREET PORTSMOUTH, NH 03801 2956/1527	

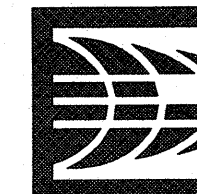
SCALE 1"=30' FEBRUARY 2018

EXISTING CONDITIONS PLAN **C3**

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

PAUL A. DOBBERSTEIN
PAUL A. DOBBERSTEIN, LLS
DATE 1/16/2018



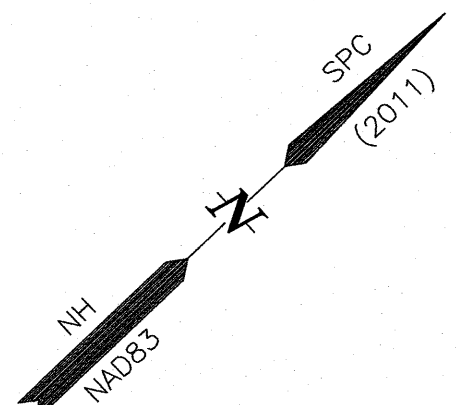


AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

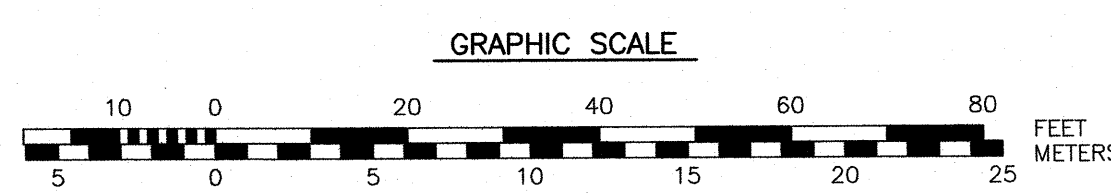
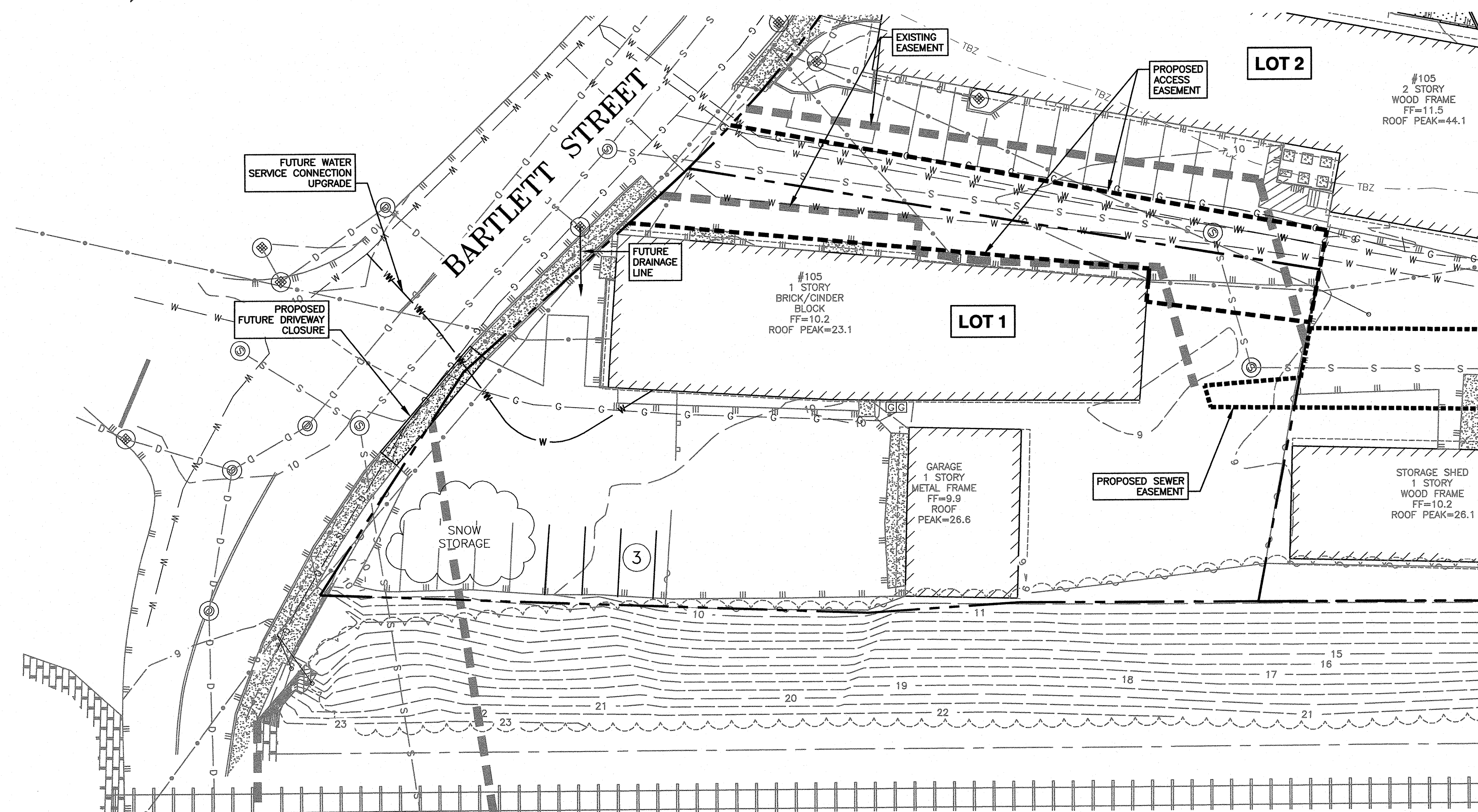
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

**IMPERVIOUS SURFACE AREAS
(TO PROPERTY LINE)**

STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
STRUCTURE (TO ROOF EDGE)	6,379	6,379
CONCRETE	165	169
GRAVEL	0	0
RETAINING WALLS	13	13
PAVEMENT	8,693	8,693
TOTAL	15,250	15,254
LOT SIZE	20,677	20,677
% LOT COVERAGE	73.8%	73.8%



CATE STREET



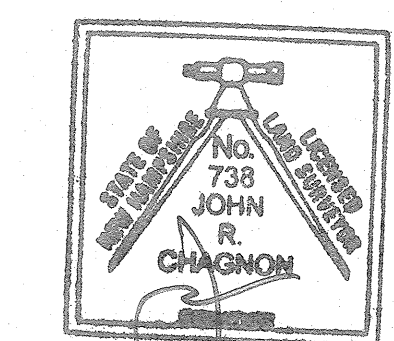
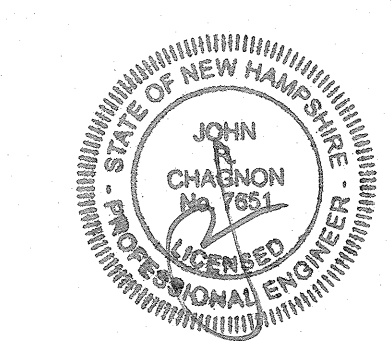
NOTES:

- CITY OF PORTSMOUTH ASSESSOR'S MAP AND LOT NUMBER TO BE DETERMINED.
- OWNER OF RECORD:
PORTSMOUTH LUMBER AND HARDWARE, LLC
105 BARTLETT STREET
PORTSMOUTH, NH 03801
- PROPOSED LOT AREA:
20,677 SF; 0.4747 ACRE
- PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
- PARCEL ARE LOCATED IN CHARACTER DISTRICT 4-W (CD4-W) ZONING DISTRICT.
- VERTICAL DATUM IS MEAN SEA LEVEL NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GPS OBSERVATIONS ($\pm 0.3'$).
- HORIZONTAL DATUM AND BASIS OF BEARINGS IS THE NH STATE PLANE COORDINATE SYSTEM NAD 83 (2011). BASIS OF HORIZONTAL DATUM IS REDUNDANT RTN GPS OBSERVATIONS
- THE PURPOSE OF THIS PLAN IS TO SHOW SITE DETAILS ON PROPOSED LOT 1.
- PARKING CALCULATION:
EXISTING USE:
GARAGE (NO REQUIREMENT)
WAREHOUSE: 4,800 S.F.
4,800 S.F. x 1 Space/1,000 S.F. =
3 SPACES REQUIRED

**CLIPPER TRADERS
PROPOSED LOT 1
PORTSMOUTH, N.H.**

4	UTILITIES	11/6/18
3	PARKING, NOTES	10/16/18
2	ISSUED FOR APPROVAL	9/18/18
1	ISSUED FOR APPROVAL	5/22/18
0	ISSUED FOR COMMENT	4/26/18

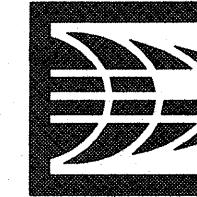
NO.	DESCRIPTION	DATE
REVISIONS		



SCALE 1" = 20' APRIL 2018

LOT 1 PLAN

C4



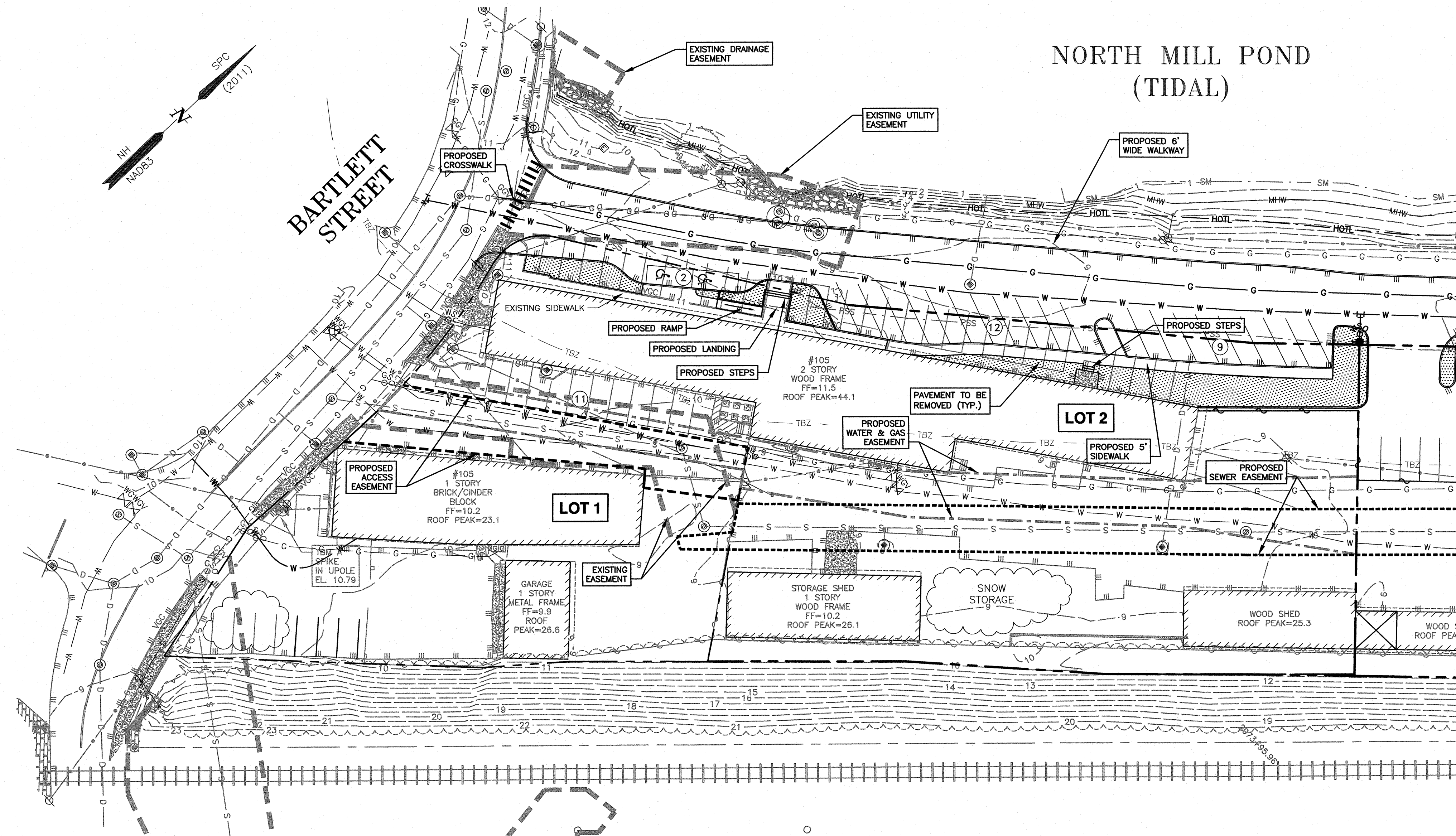
AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)			
STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)	
MAIN STRUCTURE	17,203	17,203	
CONCRETE, STAIRS, PADS	1,117	594	
RETAINING WALLS	60	60	
PAVEMENT	24,049	23,691	
TOTAL	42,429	41,548	
LOT SIZE	51,952	51,952	
% LOT COVERAGE	81.7%	80.0%	

NOTES:

- 1) PARCEL IS TO BE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP WITH LOT NUMBER TO BE DETERMINED.
- 2) OWNER OF RECORD:
PORTSMOUTH LUMBER AND HARDWARE, LLC
105 BARTLETT STREET
PORTSMOUTH, NH 03801
- 3) PROPOSED LOT AREA:
51,952 SF; 1.192 ACRES
- 4) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
- 5) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4-W (CD4-W) ZONING DISTRICT.
- 6) VERTICAL DATUM IS MEAN SEA LEVEL NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GPS OBSERVATIONS ($\pm 0.3'$).
- 7) HORIZONTAL DATUM AND BASIS OF BEARINGS IS THE NH STATE PLANE COORDINATE SYSTEM NAD 83 (2011). BASIS OF HORIZONTAL DATUM IS REDUNDANT RTN GPS OBSERVATIONS
- 8) PARKING REQUIREMENTS:
GENERAL RETAIL:
4832 SF X 1 SP PER 300 SF = 17 SPACES
GENERAL MANUFACTURING:
1888 SF X 1 SP PER 1000SF = 2 SPACES
WHOLESALE USE/WAREHOUSE FL 1:
4550 SF X 1 SP PER 2000SF = 3 SPACES
WHOLESALE USE/WAREHOUSE FL 2:
5048 SF X 1 SP PER 2000SF = 3 SPACES
BUSINESS OFFICE:
1000 SF X 1SP/350 SF = 3 SPACES

TOTAL SPACES: 28 REQUIRED SPACES
PROPOSED SPACES: 32 SPACES
- 8) THE PURPOSE OF THIS PLAN IS TO SHOW SITE DETAILS ON PROPOSED LOT 2.



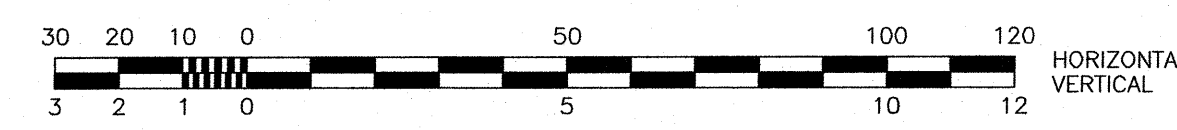
NORTH MILL POND
(TIDAL)

BARTLETT STREET

LOT 1

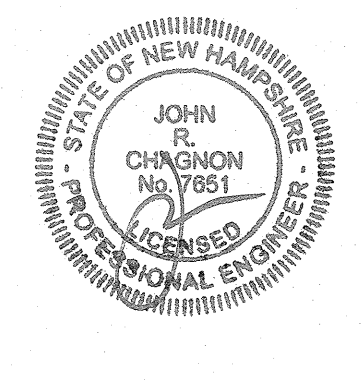
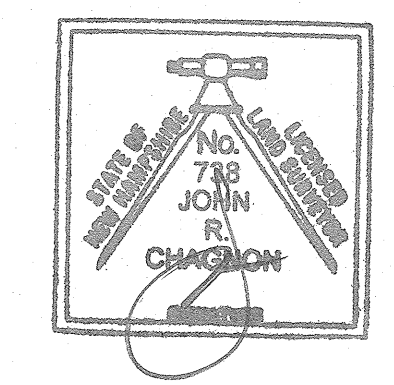
LOT 2

GRAPHIC SCALE
1" = 30'



**CLIPPER TRADERS
PROPOSED LOT 2
PORTSMOUTH, N.H.**

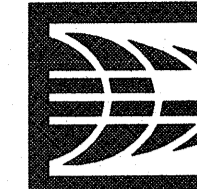
NO.	DESCRIPTION	DATE
3	EASEMENTS, SIDEWALK	11/6/18
2	PARKING, COVERAGE	10/16/18
1	ISSUED FOR APPROVAL	5/22/18
0	ISSUED FOR COMMENT	4/26/18



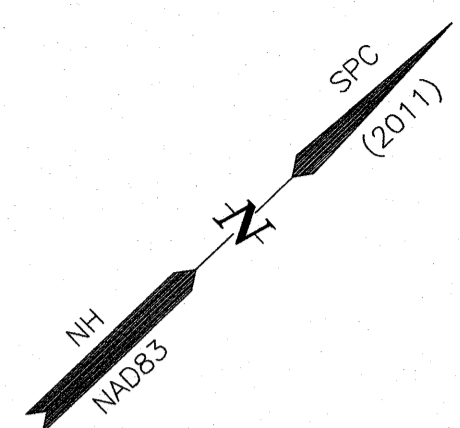
SCALE 1" = 30' APRIL 2018

LOT 2 PLAN

C5

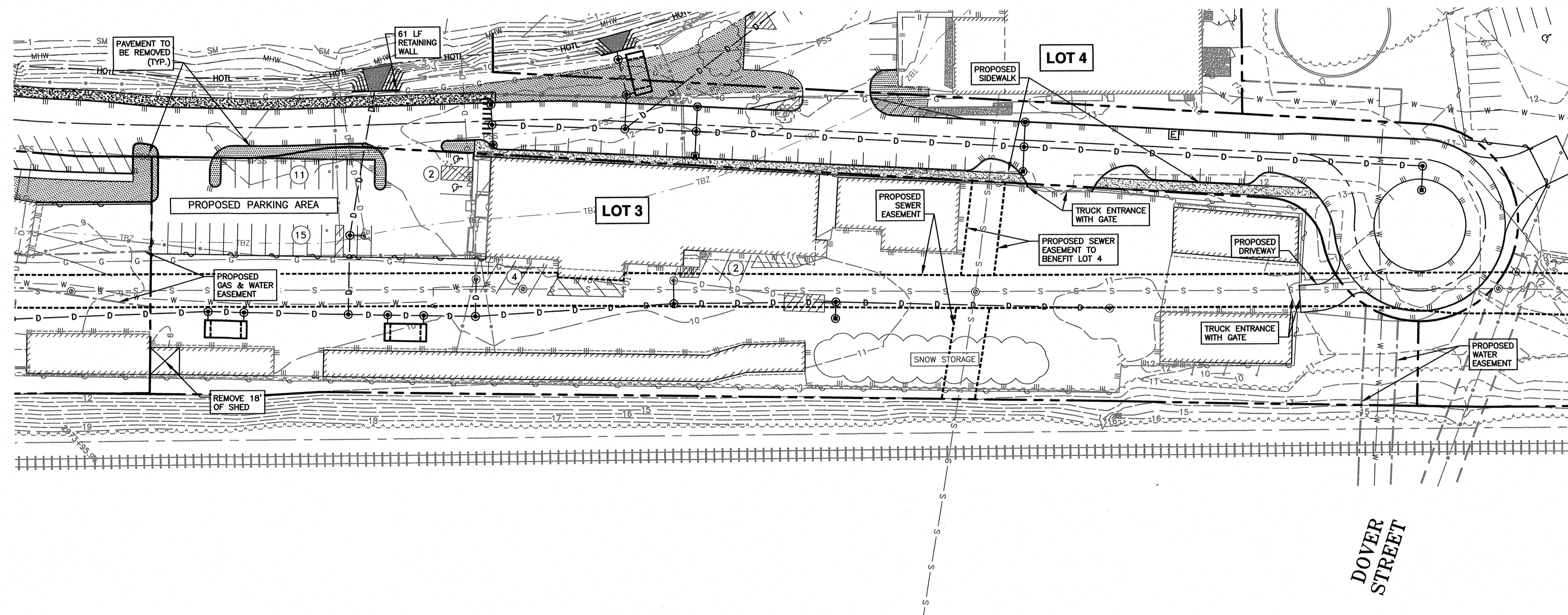


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200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315



IMPERVIOUS SURFACE AREAS
(TO PROPERTY LINE)

STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
STRUCTURES	26,062	26,062
CONCRETE & CURBING	59	59
GRAVEL	1,352	1,352
PAVEMENT	59,798	58,831
TOTAL	87,271	86,304
LOT SIZE	102,003	102,003
% LOT COVERAGE	85.6%	84.6%



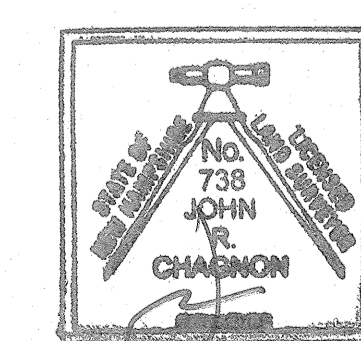
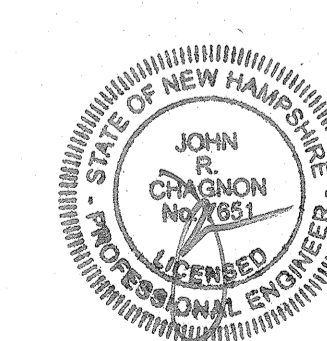
NOTES:

- 1) PARCEL IS TO BE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP AND LOT NUMBER TO BE DETERMINED.
- 2) OWNER OF RECORD:
PORTSMOUTH LUMBER AND HARDWARE, LLC
105 BARTLETT STREET
PORTSMOUTH, NH 03801
- 3) PROPOSED LOT AREA:
102,003 SF; 2.341 ACRES
- 4) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
- 5) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4-W (CD4-W) ZONING DISTRICT.
- 6) VERTICAL DATUM IS MEAN SEA LEVEL NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GPS OBSERVATIONS (±0.3').
- 7) HORIZONTAL DATUM AND BASIS OF BEARINGS IS THE NH STATE PLANE COORDINATE SYSTEM NAD 83 (2011). BASIS OF HORIZONTAL DATUM IS REDUNDANT RTN GPS OBSERVATIONS
- 8) THE PURPOSE OF THIS PLAN IS TO SHOW SITE DETAILS ON PROPOSED LOT 3.
- 9) PROPOSED PARKING:
STORE: 8,100 SF x 1 SP/300 SF = 27
OFFICE: 2,050 SF x 1 SP/350 SF = 6
LUMBER OPERATIONS: 10,490 SF NO REQUIREMENT
TOTAL REQUIRED: 33 SPACES
TOTAL PROVIDED: 34 SPACES
- 10) THE CITY OF PORTSMOUTH WILL BE GRANTED A BLANKET EASEMENT FOR THE EXISTING WATER UTILITY.

**CLIPPER TRADERS
PROPOSED LOT 3
PORTSMOUTH, N.H.**

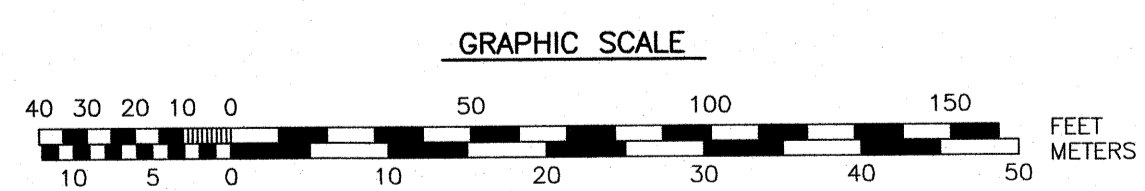
NO.	DESCRIPTION	DATE
3	EASEMENT, UTILITIES	11/6/18
2	PARKING NOTES	10/16/18
1	ISSUED FOR APPROVAL	5/22/18
0	ISSUED FOR COMMENT	4/26/18

REVISIONS



SCALE 1" = 40' APRIL 2018

LOT 3 PLAN **C6**



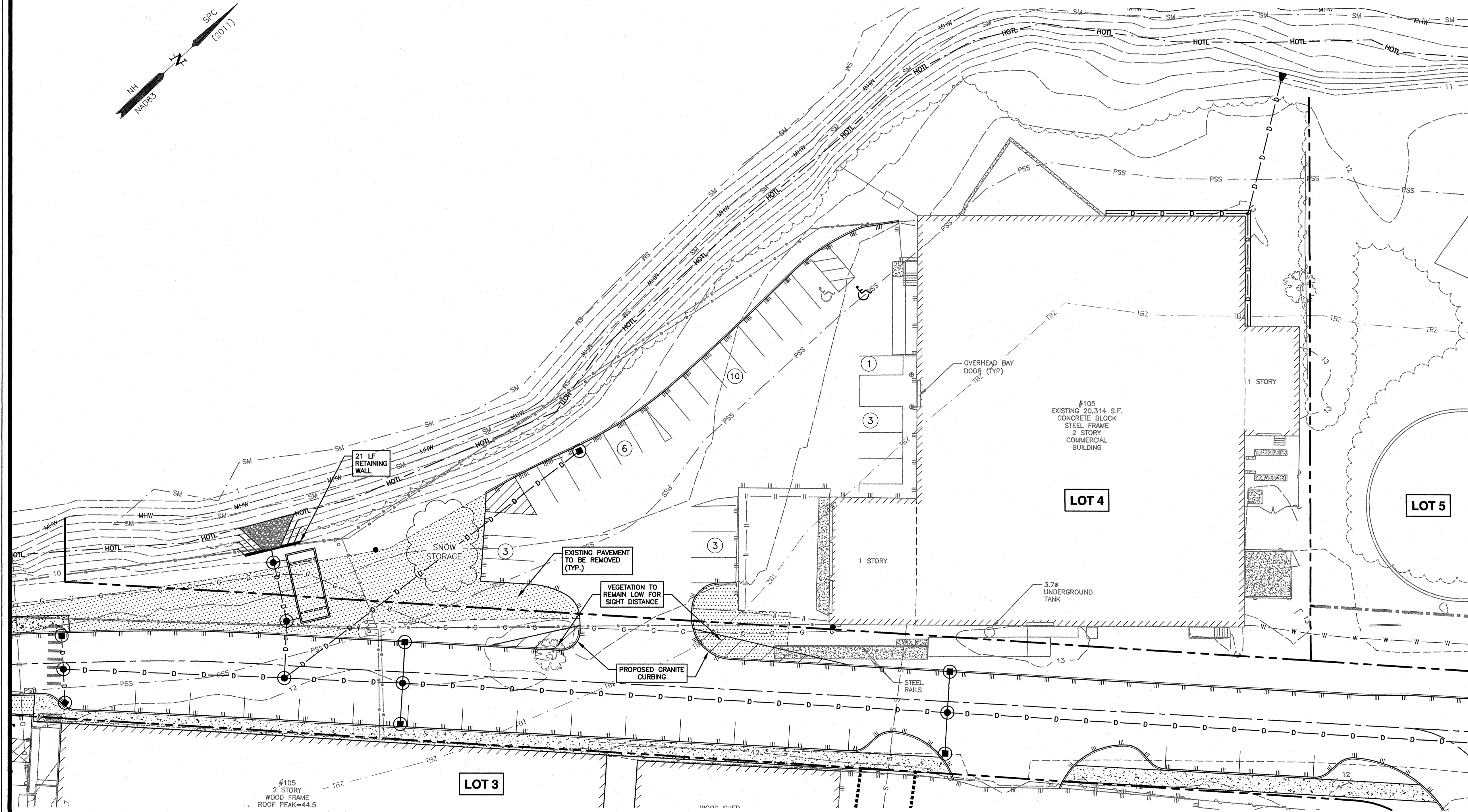
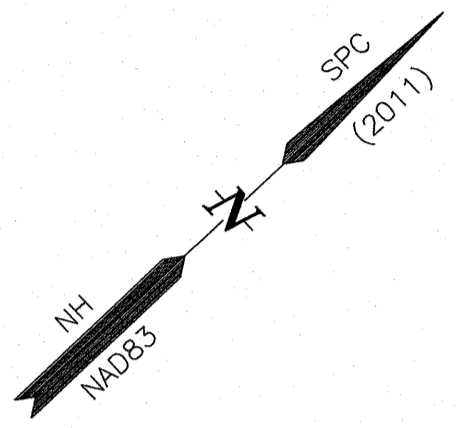
I:_0852\UN24005\N_2429\2017_Site Development\Plans & Specs\Site\2429 SITE 2018.dwg, C6 LOT 3

IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)		
STRUCTURE	PR-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE	20,552	20,552
CONCRETE	572	572
RAMP	157	157
GRAVEL	611	1,352
PAVEMENT	14,416	11,908
RETAINING WALL	78	78
TOTAL	36,308	34,541
LOT SIZE	61,781	61,781
% LOT COVERAGE	58.8%	55.9%

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2316

- NOTES:**
- 1) PARCEL IS TO BE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP AND LOT NUMBER TO BE DETERMINED.
 - 2) OWNERS OF RECORD:
BOSTON AND MAINE CORPORATION
IRON HORSE PARK
NORTH BILLERICA, MA 01862

CLIPPER TRADERS, LLC
105 BARTLETT STREET
PORTSMOUTH, NH 03801
5598/2725
 - 3) PROPOSED LOT AREA:
61,764 SF; 1.418 ACRES
 - 4) PORTIONS OF THE PARCEL IS IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
 - 5) PROPOSED PARCEL IS LOCATED IN THE CD-4W ZONING DISTRICT.
 - 6) VERTICAL DATUM IS MEAN SEA LEVEL NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GPS OBSERVATIONS ($\pm 0.3'$).
 - 7) HORIZONTAL DATUM AND BASIS OF BEARINGS IS THE NH STATE PLANE COORDINATE SYSTEM NAD 83 (2011). BASIS OF HORIZONTAL DATUM IS REDUNDANT RTN GPS OBSERVATIONS
 - 8) THE PURPOSE OF THIS PLAN IS TO SHOW SITE DETAILS ON PROPOSED LOT 4.
 - 9) PROPOSED PARKING:
25 SPACES REQUIRED PER VARIANCE GRANTED 3/21/2016
25 SPACES PROVIDED

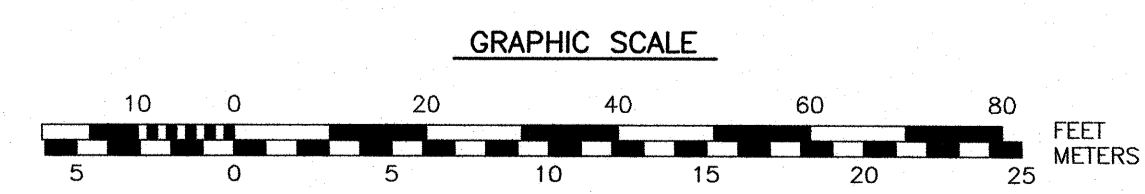


**CLIPPER TRADERS
PROPOSED LOT 4
PORTSMOUTH, N.H.**

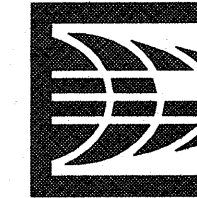
NO.	DESCRIPTION	DATE
3	SIGHT DISTANCE AREAS	11/6/18
2	PARKING NOTES	10/16/18
1	ISSUED FOR APPROVAL	5/22/18
0	ISSUED FOR COMMENT	4/26/18

SCALE 1" = 20' APRIL 2018

LOT 4 PLAN C7

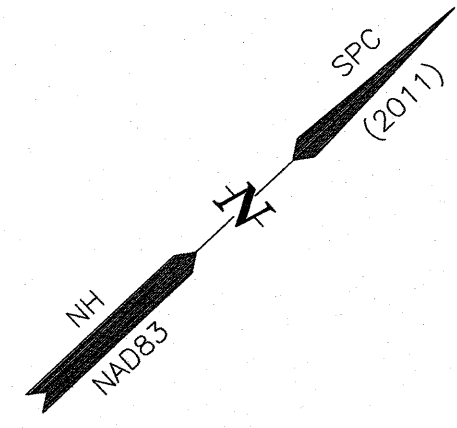
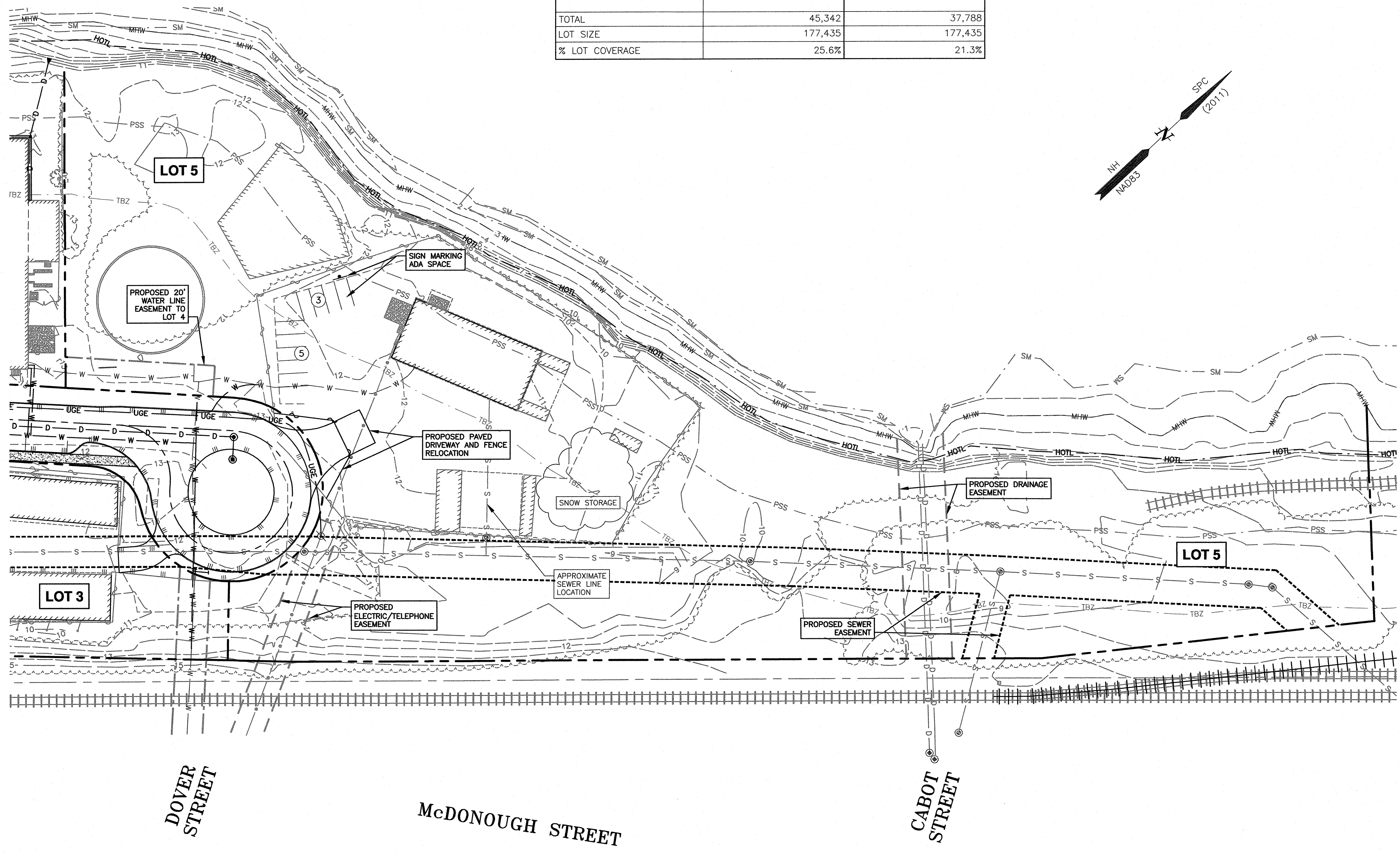


J:_0852\IN2400a\IN 2429\2017 Site Development\Plans & Specs\Site\2429 SITE 2018.dwg, C7 LOT 4



AMBIT ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 200 Griffin Road - Unit 3
 Portsmouth, N.H. 03801-7114
 Tel (603) 430-9282
 Fax (603) 436-2316

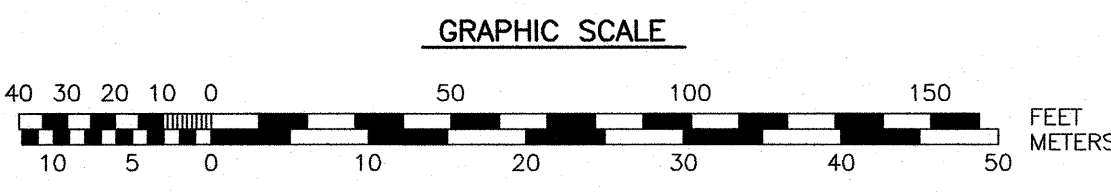
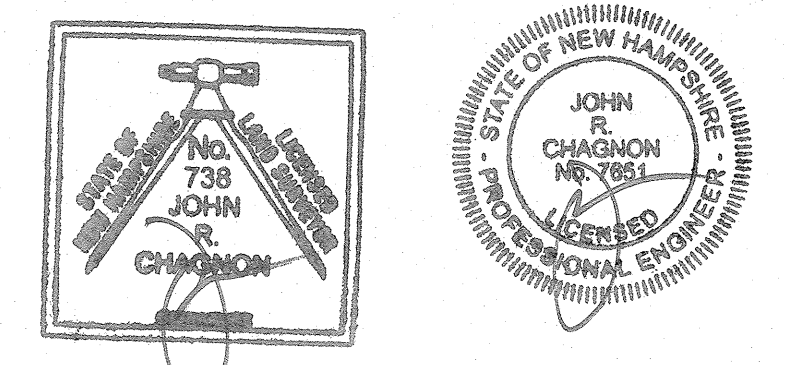
IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)		
STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
STRUCTURES + TURNSTYLE	14,688	7,351
CONCRETE	227	227
GRAVEL	29,191	29,191
PAVEMENT	1,236	1,019
TOTAL	45,342	37,788
LOT SIZE	177,435	177,435
% LOT COVERAGE	25.6%	21.3%



- NOTES:**
- 1) PARCEL IS TO BE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP AND LOT NUMBER TO BE DETERMINED.
 - 2) OWNERS OF RECORD:
 BOSTON AND MAINE CORPORATION
 IRON HORSE PARK
 NORTH BILLERICA, MA 01862
 - 3) PROPOSED LOT AREA:
 177,435 SF
 - 4) PORTIONS OF THE PARCEL IS IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
 - 5) PROPOSED PARCEL IS LOCATED IN THE CD4-W & CD4-L1 ZONING DISTRICTS.
 - 6) VERTICAL DATUM IS MEAN SEA LEVEL NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GPS OBSERVATIONS (±0.3').
 - 7) HORIZONTAL DATUM AND BASIS OF BEARINGS IS THE NH STATE PLANE COORDINATE SYSTEM NAD 83 (2011). BASIS OF HORIZONTAL DATUM IS REDUNDANT RTN GPS OBSERVATIONS
 - 8) THE PURPOSE OF THIS PLAN IS TO SHOW SITE DETAILS ON PROPOSED LOT 5.
 - 9) PROPOSED PARKING: LIGHT INDUSTRY
 4,000 SF x 1 SP/500 SF = 8 SPACES REQUIRED
 8 SPACES PROVIDED.

**CLIPPER TRADERS
 PROPOSED LOT 5
 PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
3	PARKING, UTILITIES	11/6/18
2	DRIVEWAY & PARKING NOTES	10/16/18
1	ISSUED FOR APPROVAL	5/22/18
0	ISSUED FOR COMMENT	4/26/18



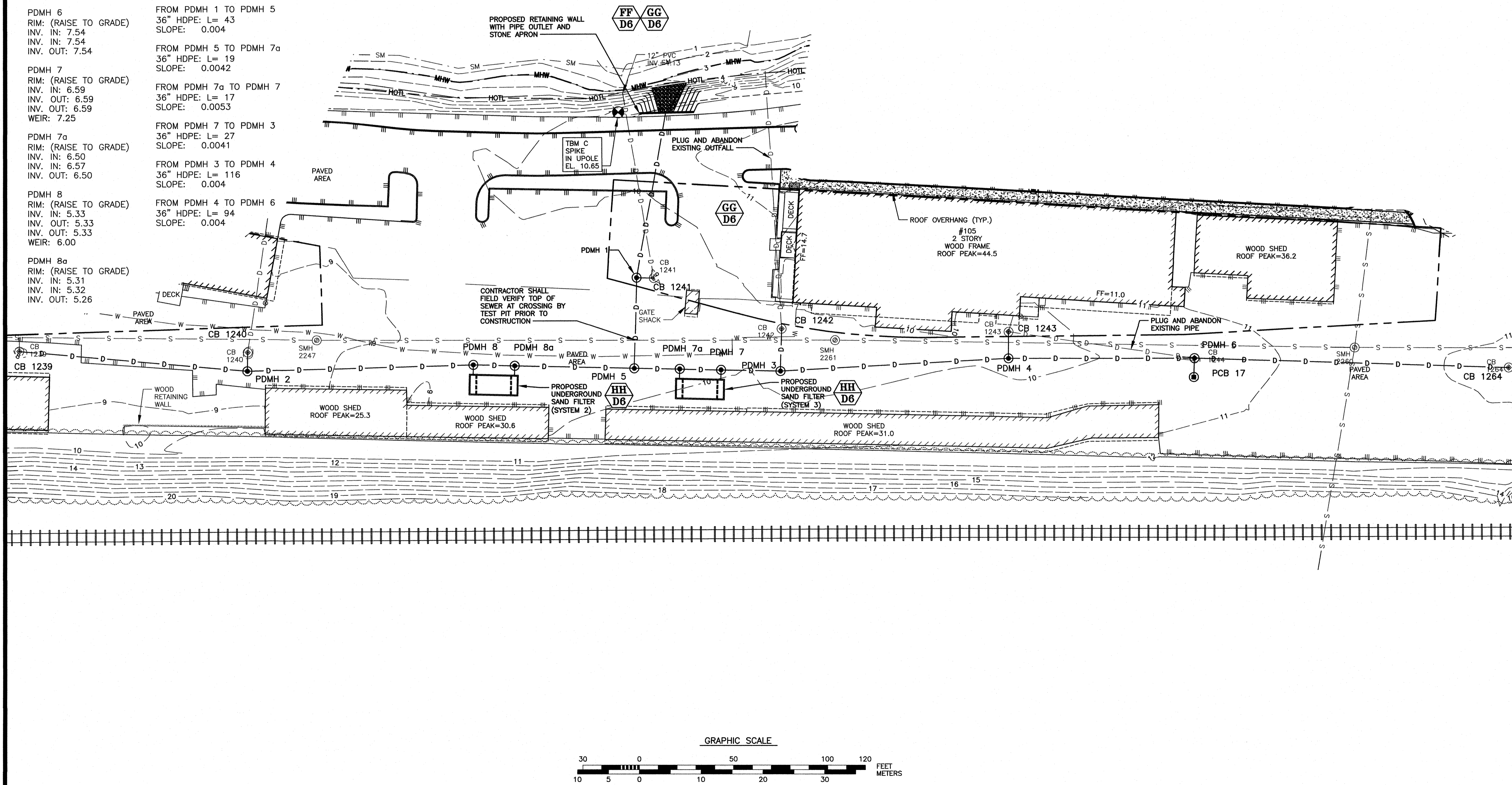
SCALE 1" = 40' APRIL 2018

LOT 5 PLAN **C8**

DRAINAGE STRUCTURES

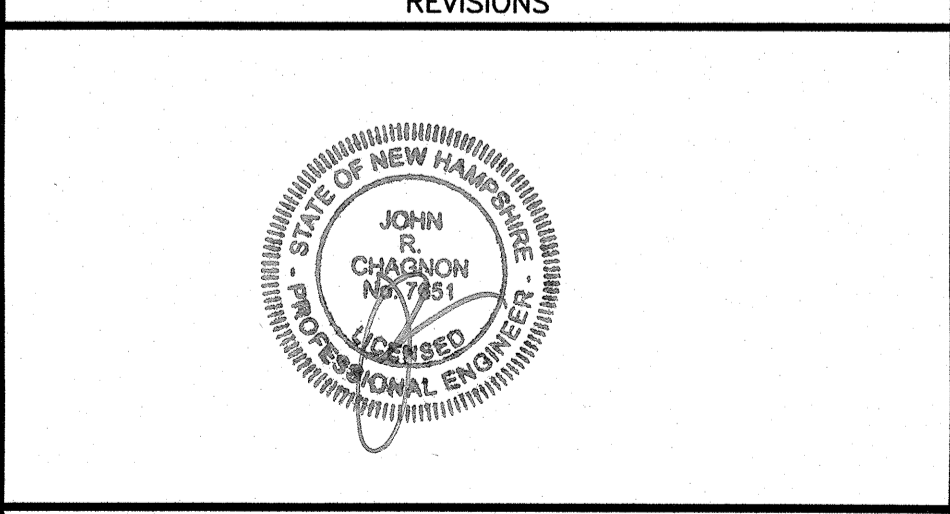
STONE APRON INV. OUT: 4.51	CB 1264 RIM: 10.22 INV. OUT: 8.19	SLOPE: 0.004 FROM PDMH 6 TO CB 1264 36" HDPE: L= 162 SLOPE: 0.004
PDMH 1 RIM: 9.XX (RAISE TO GRADE) INV. IN: 4.85 INV. IN: 4.85 INV. OUT: 4.85	PCB 17 RIM: 10.20 INV. OUT: 7.56 (12")	FROM PDMH 5 TO PDMH 7a 36" HDPE: L= 19 SLOPE: 0.0042
PDMH 2 RIM: 8.XX (RAISE TO GRADE) INV. IN: 5.79 INV. IN: 5.79 INV. IN: 5.79 INV. OUT: 5.79	CB 1243 RIM: 9.54 INV. IN: 7.43 (4") INV. OUT: 7.21 (NEW 12")	FROM PDMH 5 TO PDMH 8a 36" HDPE: L= 59 SLOPE: 0.0041
PDMH 3 RIM: (RAISE TO GRADE) INV. IN: 6.70 INV. IN: 6.70 INV. OUT: 6.70	CB 1242 RIM: 9.34 INV. IN: 3.88 (6") INV. OUT: 6.79 (NEW 12")	FROM PDMH 8a TO PDMH 8 36" HDPE: L= 17 SLOPE: 0.0041
PDMH 4 RIM: (RAISE TO GRADE) INV. IN: 7.16 INV. IN: 7.16 INV. IN: 7.16 INV. OUT: 7.16	CB 1241 RIM: 8.91 INV. OUT: 4.87 (NEW 12")	FROM PDMH 8 TO PDMH 2 36" HDPE: L= 115 SLOPE: 0.004
PDMH 5 RIM: (RAISE TO GRADE) INV. IN: 5.02 INV. IN: 6.42 INV. OUT: 5.02	CB 1240 RAISE RIM EL. 8.13 INV. OUT: 6.04 (NEW 12")	FROM PDMH 2 TO CB 1239 36" HDPE: L= 117 SLOPE: 0.004
PDMH 6 RIM: (RAISE TO GRADE) INV. IN: 7.54 INV. IN: 7.54 INV. OUT: 7.54	CB 1239 RAISE RIM EL. 8.13 INV. OUT: 6.26 (NEW 24")	FROM STONE APRON TO PDMH 1 36" HDPE: L= 85 SLOPE: 0.004
PDMH 7 RIM: (RAISE TO GRADE) INV. IN: 6.59 INV. OUT: 6.59 WEIR: 7.25	FROM PDMH 1 TO PDMH 5 36" HDPE: L= 43 SLOPE: 0.004	FROM PDMH 5 TO PDMH 7a 36" HDPE: L= 19 SLOPE: 0.0042
PDMH 7a RIM: (RAISE TO GRADE) INV. IN: 6.50 INV. IN: 6.57 INV. OUT: 6.50	FROM PDMH 7a TO PDMH 7 36" HDPE: L= 17 SLOPE: 0.0053	FROM PDMH 7 TO PDMH 3 36" HDPE: L= 27 SLOPE: 0.0041
PDMH 8 RIM: (RAISE TO GRADE) INV. IN: 5.33 INV. OUT: 5.33 WEIR: 6.00	FROM PDMH 3 TO PDMH 4 36" HDPE: L= 116 SLOPE: 0.004	FROM PDMH 4 TO PDMH 6 36" HDPE: L= 94 SLOPE: 0.004
PDMH 8a RIM: (RAISE TO GRADE) INV. IN: 5.31 INV. IN: 5.32 INV. OUT: 5.26		

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).



**SUBDIVISION PLAN
CLIPPER TRADERS, LLC
OFF BARTLETT STREET
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
2	DRAINAGE LAYOUT, TREATMENT	11/6/18
1	ISSUED TO NHDES	11/1/18
0	ISSUED FOR COMMENT	10/16/18



SCALE 1"=30' FEBRUARY 2018

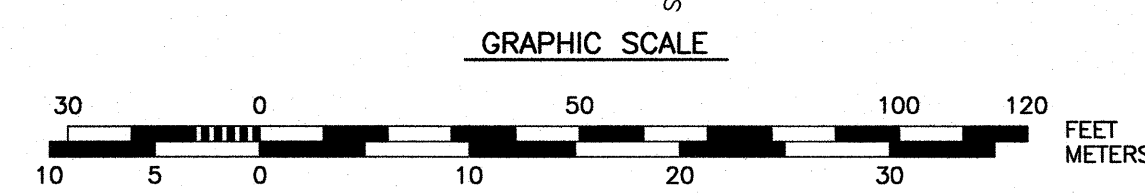
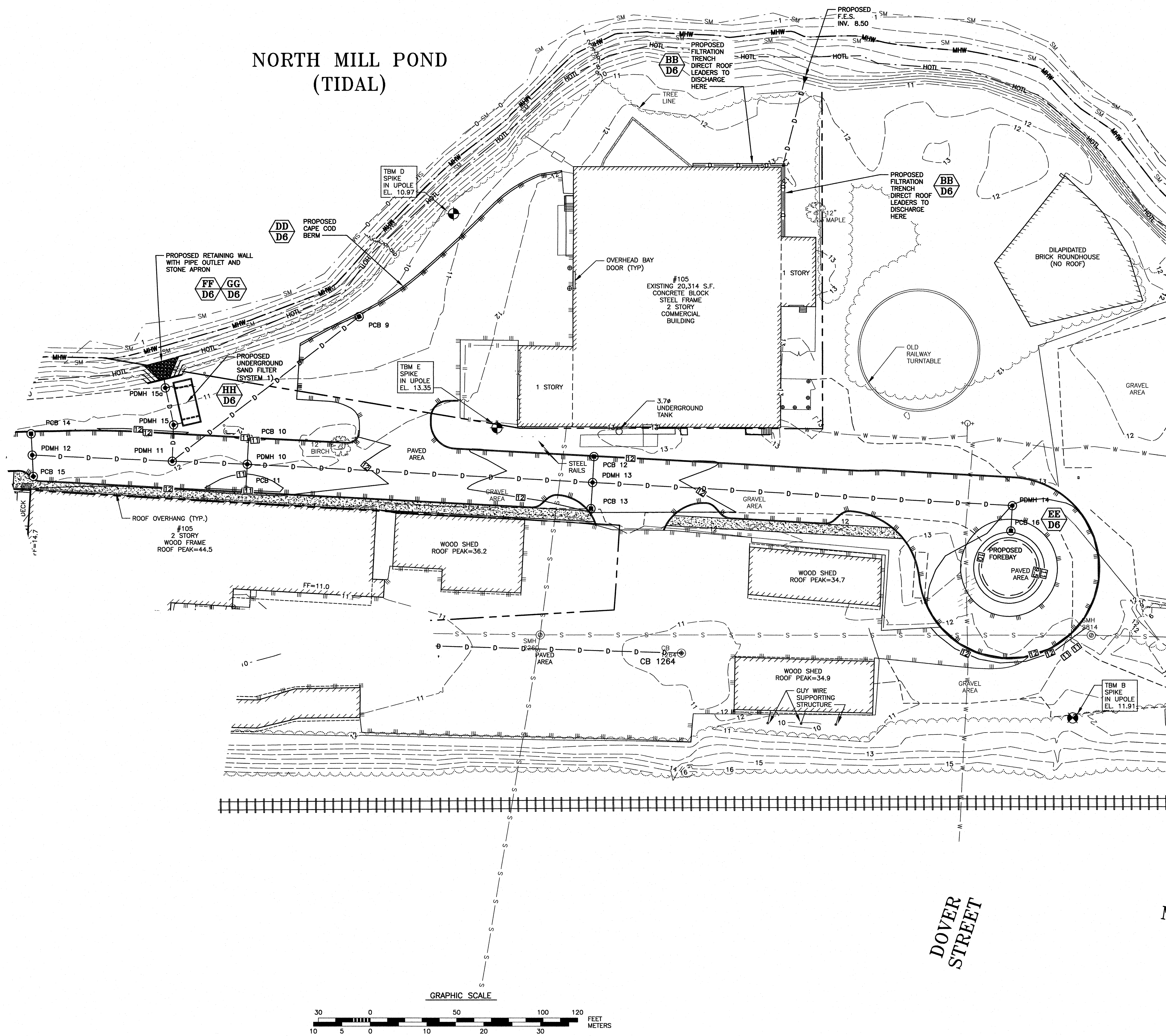
STORMWATER SEPARATION PLAN **C9**

J:\0852\UN24006\UN 2429 2017 Site Development\Plans & Specs\Site\2429 SW 2017.dwg, Sewer Separation

DRAINAGE STRUCTURES

- STONE APRON
INV. OUT: 5.73
- PDMH 10
RIM: 11.19
INV. IN: 6.03
INV. IN: 6.03
INV. IN: 6.03
INV. OUT: 6.03
- PDMH 11
RIM: 11.65
INV. IN: 5.88
INV. IN: 5.88
INV. IN: 5.88
INV. OUT: 5.88
- PDMH 12
RIM: 11.26
INV. IN: 6.18
INV. IN: 6.18
INV. OUT: 6.18
- PDMH 13
RIM: 11.63
INV. IN: 7.00
INV. IN: 7.00
INV. IN: 7.00
INV. OUT: 7.00
- PDMH 14
RIM: 12.00
INV. IN: 8.19
OUT: 8.19
- PDMH 15
RIM: 10.97
INV. IN: 5.82
OUT: 5.82
WEIR: 6.50
- PDMH 15a
RIM: 10.97
INV. IN: 5.75
INV. IN: 5.80 (8")
OUT: 5.75
- PCB 9
RIM: 10.00
INV. OUT: 7.50
- PCB 10
RIM: 10.97
INV. OUT: 6.08
- PCB 11
RIM: 10.97
INV. 6.08
- PCB 12
RIM: 11.41
OUT: 7.05
- PCB 13
RIM: 11.41
OUT: 7.05
- PCB 14
RIM: 11.41
OUT: 6.23
- PCB 15
RIM: 11.41
OUT: 6.23
- PCB 16
SEE DETAIL SHEET
RIM: 10.75
ORIFICE: 9.50 (3 - 2" DIA.)
OUT: 8.25
- FROM STONE APRON TO PDMH 15a
24" HDPE: L: 4.5 FT
SLOPE: 0.0044
- FROM PDMH 15a TO PDMH 15
24" HDPE: L: 17 FT
SLOPE: 0.0041
- FROM PDMH 15 TO PDMH 11
24" HDPE: L: 16 FT
SLOPE: 0.0037
- FROM PDMH 11 TO PDMH 12
24" HDPE: L: 76 FT
SLOPE: 0.0039
- FROM PDMH 11 TO PDMH 10
24" HDPE: L: 38 FT
SLOPE: 0.0039
- FROM PDMH 10 TO PDMH 13
24" HDPE: L: 195 FT
SLOPE: 0.005
- FROM PDMH 13 TO PDMH 14
24" HDPE: L: 238 FT
SLOPE: 0.005

**NORTH MILL POND
(TIDAL)**



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
 - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

**SUBDIVISION PLAN
CLIPPER TRADERS, LLC
OFF BARTLETT STREET
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
2	DRAINAGE LAYOUT, TREATMENT	11/6/18
1	ISSUED TO NHDES	11/1/18
0	ISSUED FOR COMMENT	10/16/18

REVISIONS

SCALE 1"=30' FEBRUARY 2018

**STORMWATER
SEPARATION PLAN**

C10

J:\0852\12400s\12420s\12429\2017_Site_Development\Plans & Specs\Site\2429_SW_2017.dwg, Lor 4, Drainage



AMBIT ENGINEERING, INC.

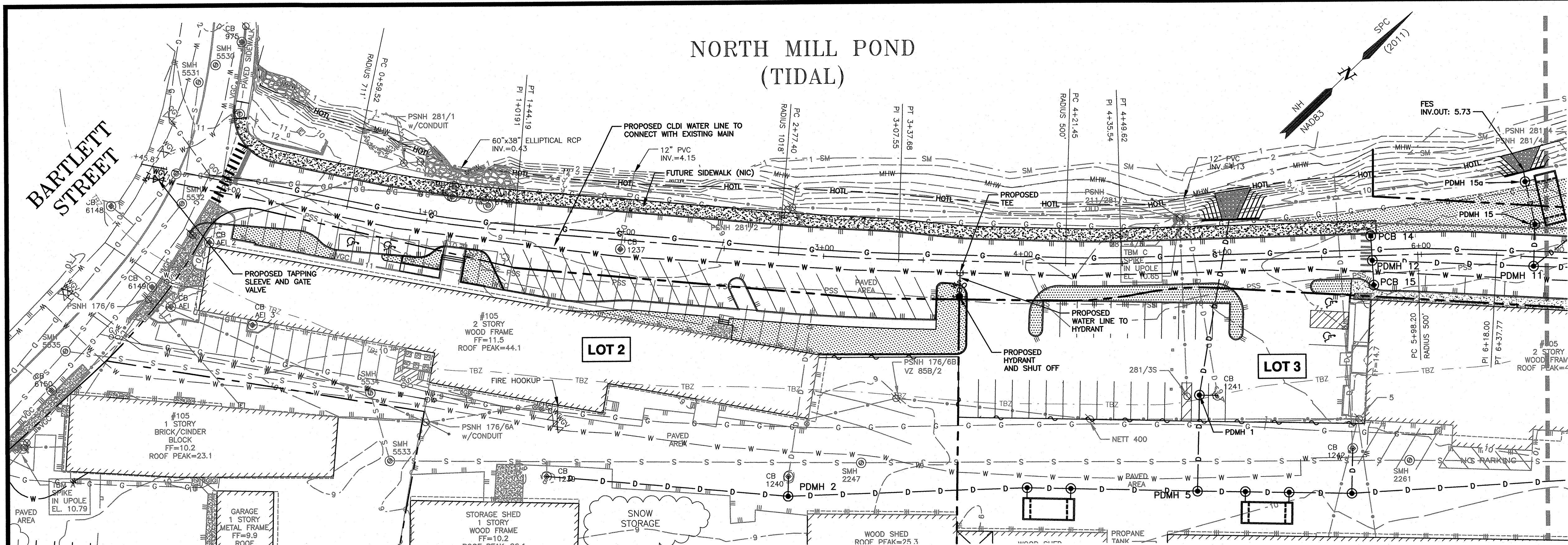
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

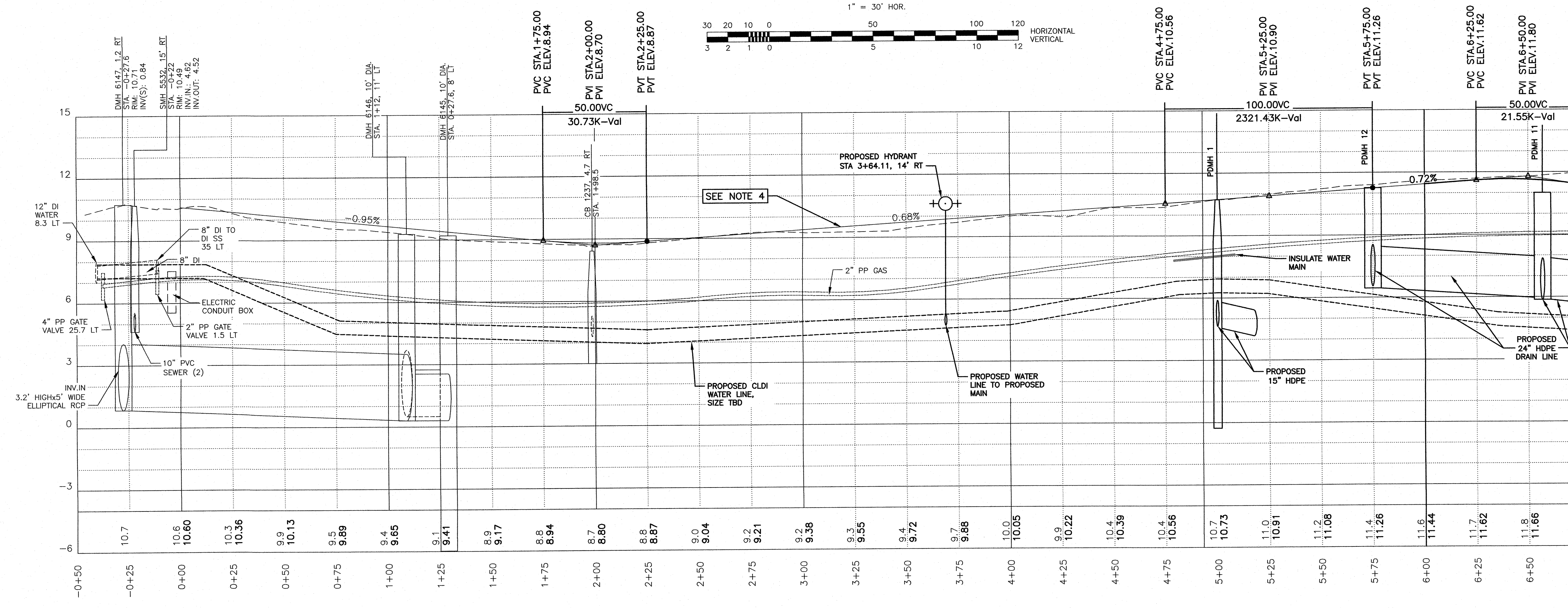
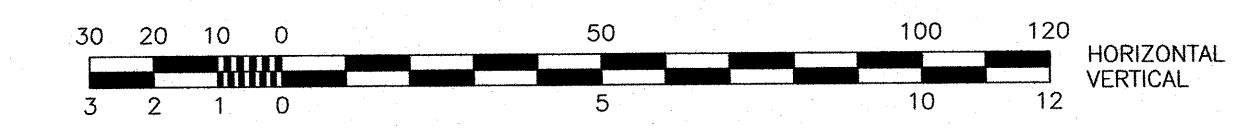
NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) ROAD PROFILE SHOWN FROM STATION 0+00 TO 6+00 IS FOR CALCULATION OF WAIVERS; ROAD WILL ONLY BE RECONSTRUCTED FROM STATION 6+00 TO THE CUL-DE-SAC.

NORTH MILL POND (TIDAL)



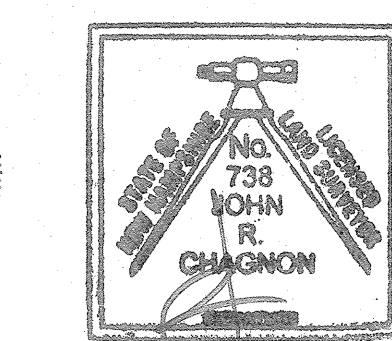
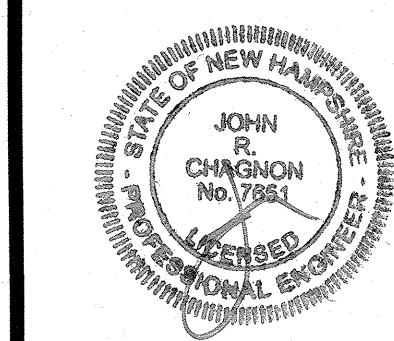
GRAPHIC SCALE
1" = 3' VERT.
1" = 30' HOR.



SUBDIVISION PLAN
CLIPPER TRADERS, LLC
OFF BARTLETT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
3	DRAINAGE	11/6/18
2	ADDED UTILITIES	10/16/18
1	ISSUED FOR APPROVAL	9/18/18
0	ISSUED FOR COMMENT	2/12/18

REVISIONS



SCALE 1"=30' FEBRUARY 2018

ROADWAY
PLAN & PROFILE
P1

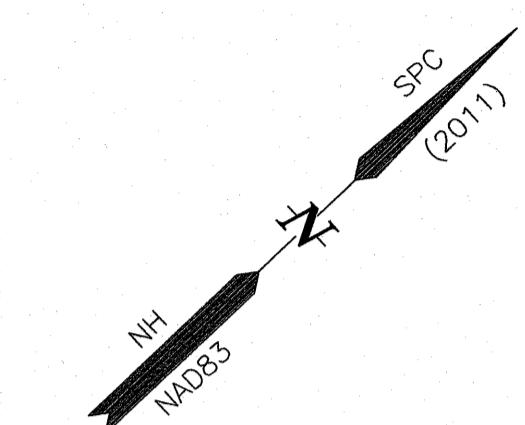
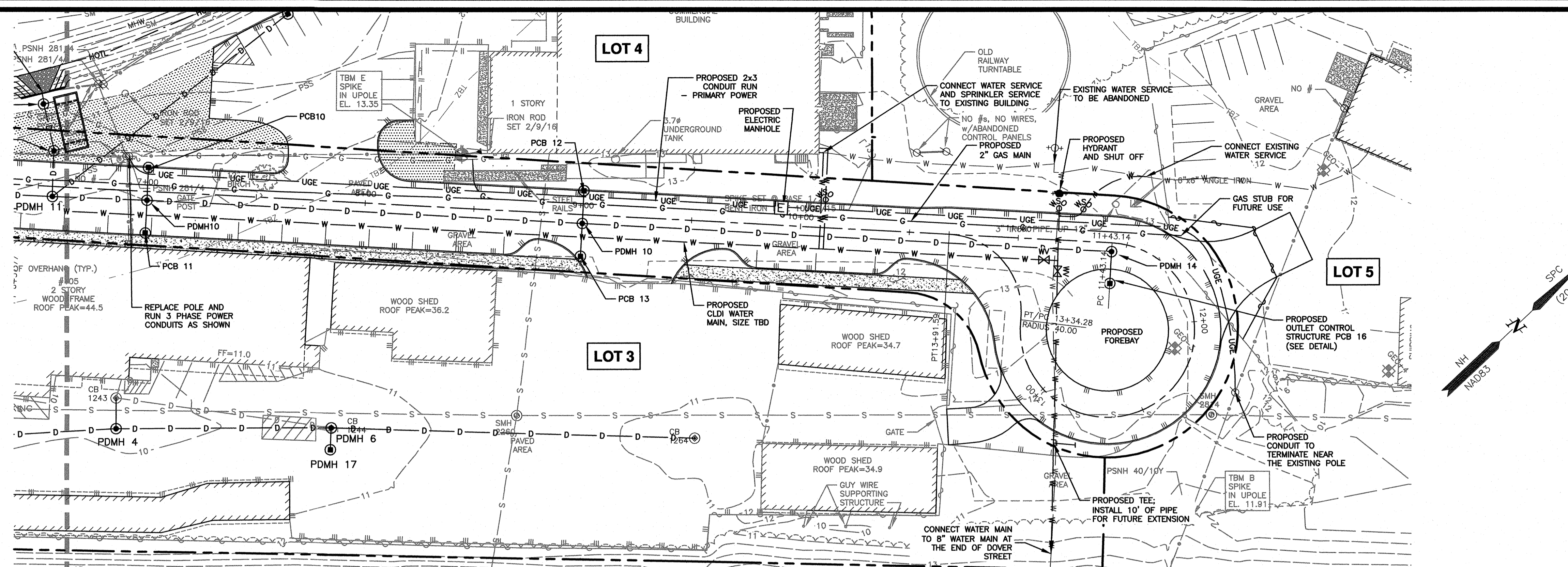


AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

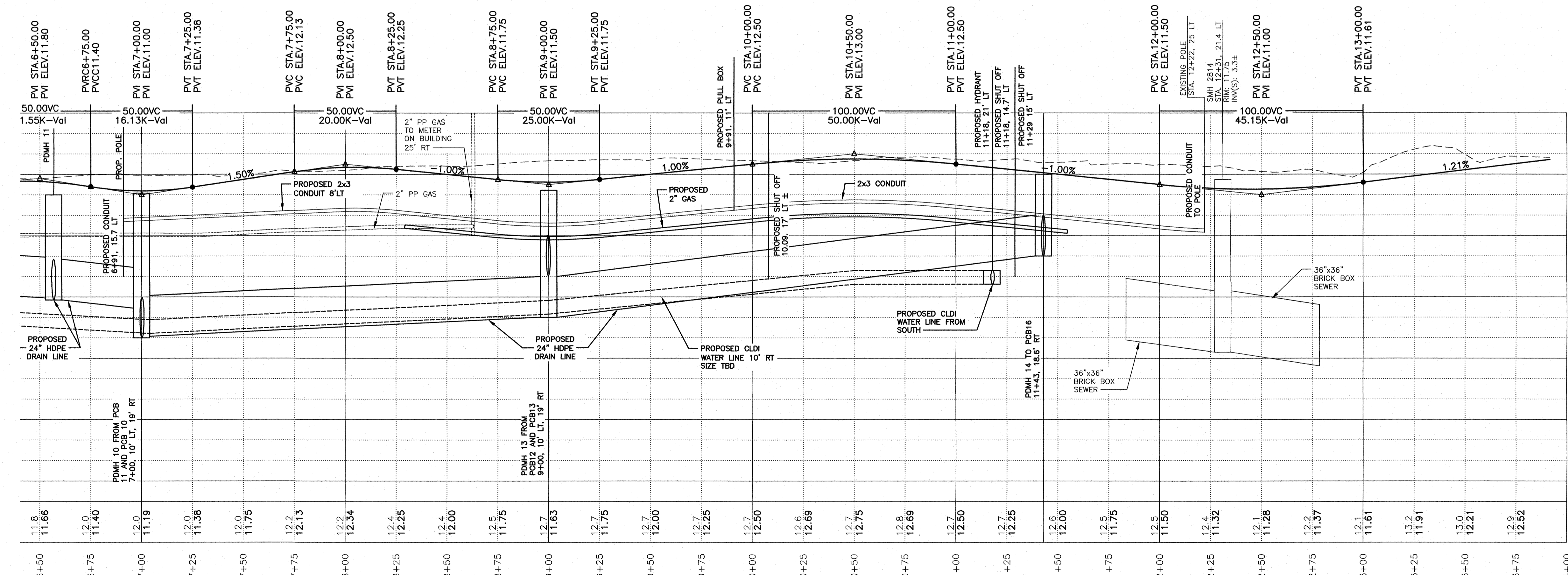
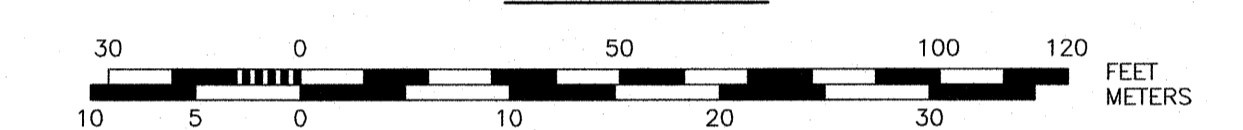
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

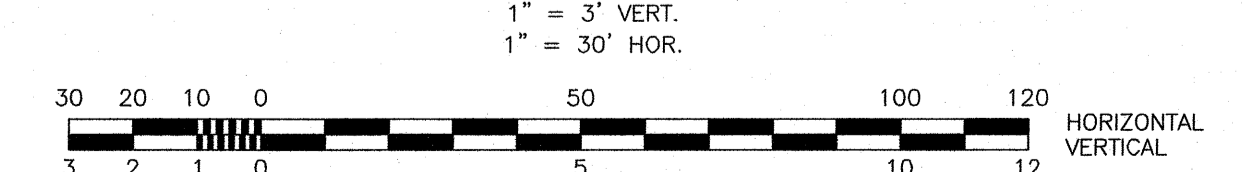
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) ELECTRICAL CONDUITS WILL BE RUN AT THE TIME OF LOT 5 DEVELOPMENT. PULL ROPES TO BE INSTALLED AND LEFT FOR FUTURE USE.



GRAPHIC SCALE



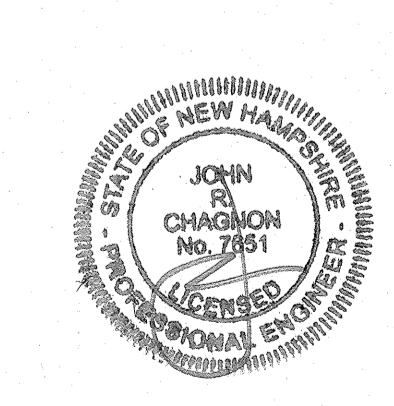
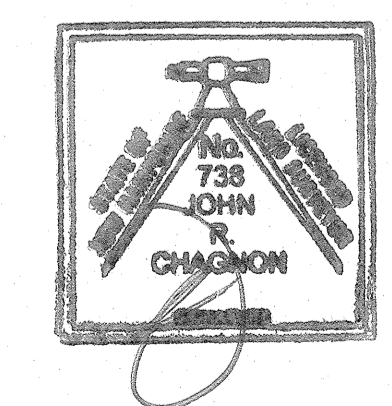
GRAPHIC SCALE



**SUBDIVISION PLAN
CLIPPER TRADERS, LLC
OFF BARTLETT STREET
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
3	DRAINAGE	11/6/18
2	ADDED UTILITIES	10/16/18
1	ISSUED FOR APPROVAL	9/18/18
0	ISSUED FOR COMMENT	2/12/18

REVISIONS



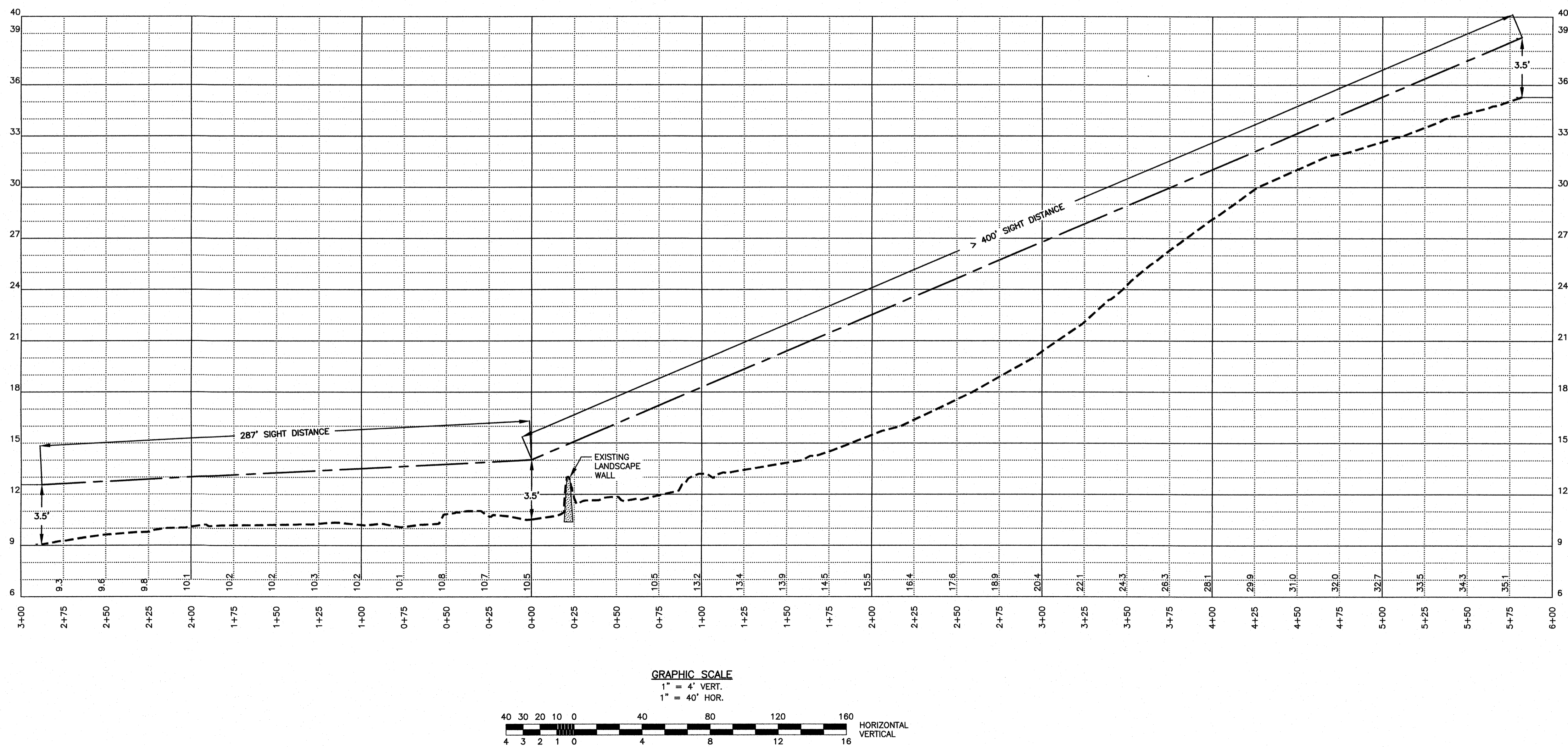
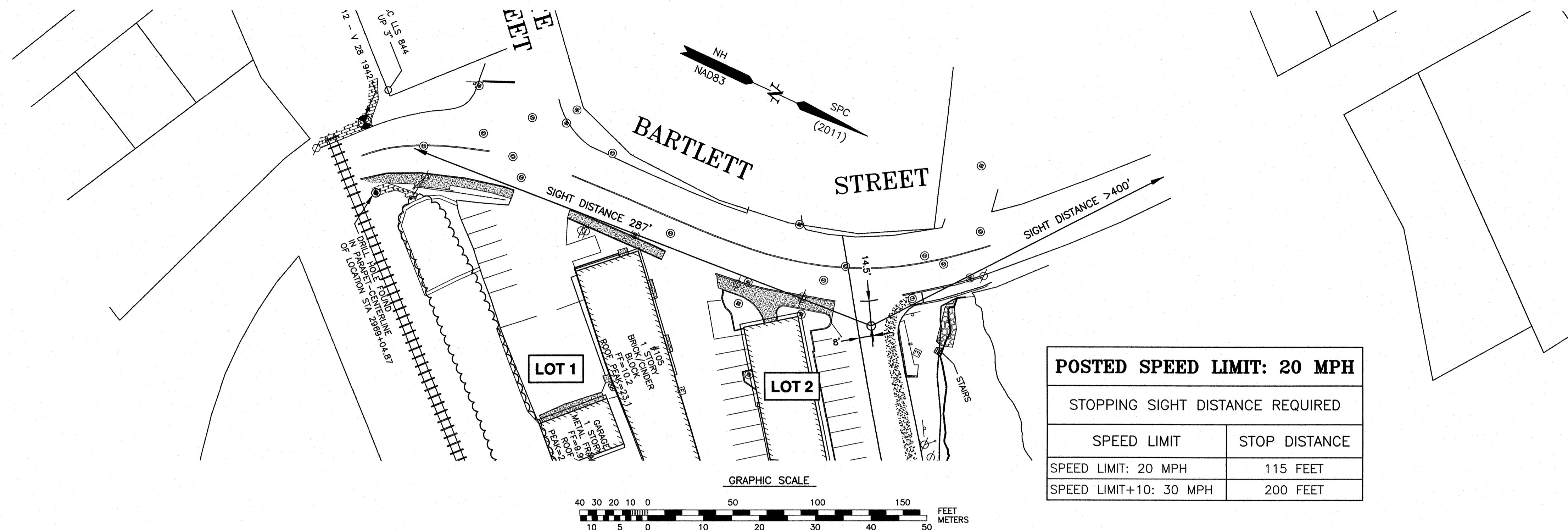
SCALE 1"=30' FEBRUARY 2018

ROADWAY
PLAN & PROFILE **P2**

J:\0822\UN2405\IN 2429\2017 Site Development\Plans & Specs\Site\2429 SITE 2018.dwg - P2 PROFILE



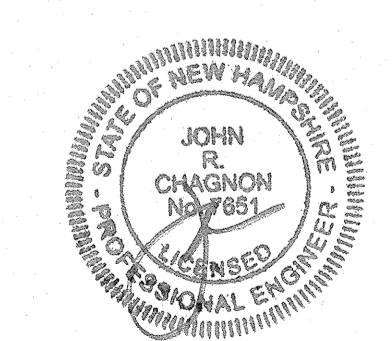
AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315



**SIGHT DISTANCE
BARTLETT STREET
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	10/29/18
0	ISSUED FOR COMMENT	10/24/18

REVISIONS

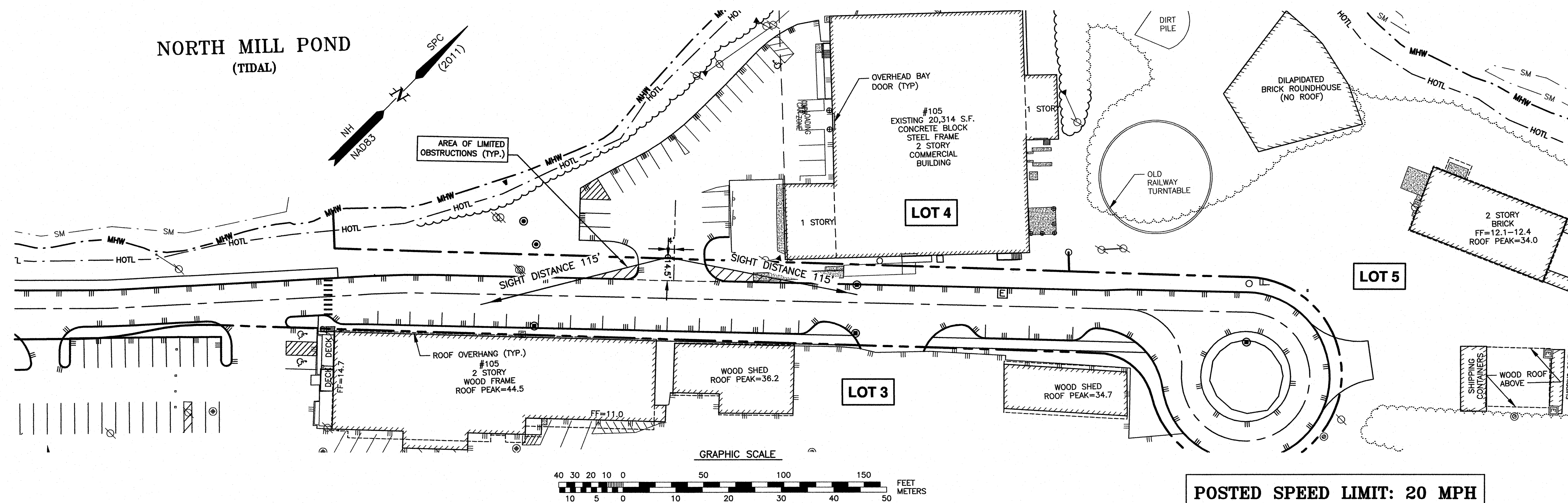


SCALE 1" = 40' OCTOBER 2018

SIGHT DISTANCE PLAN SD1

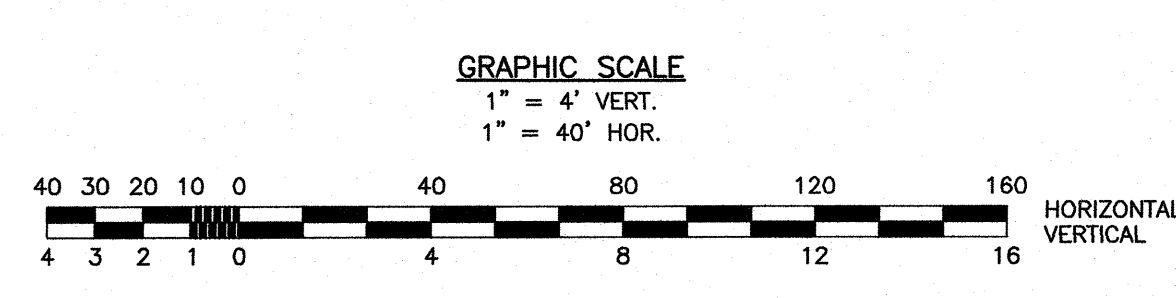
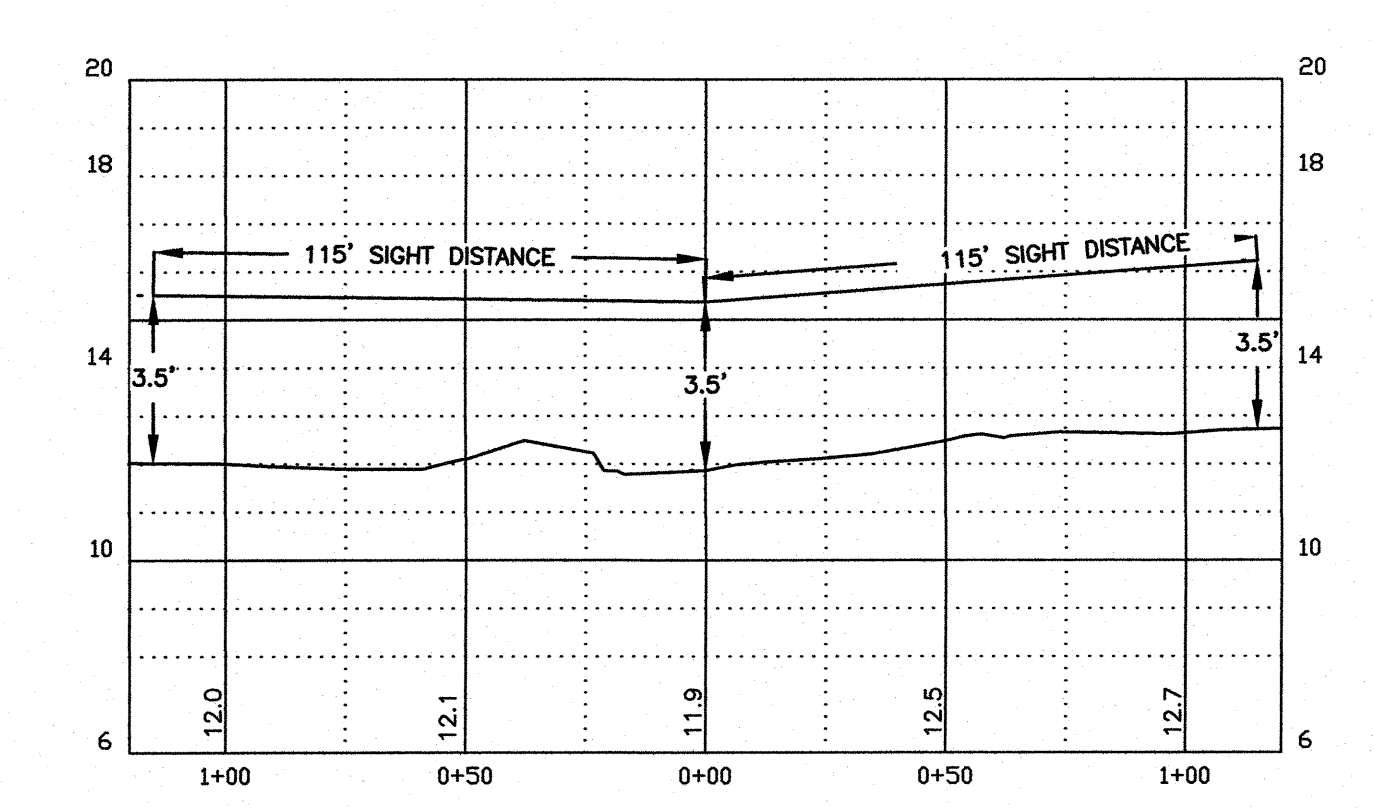


AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315



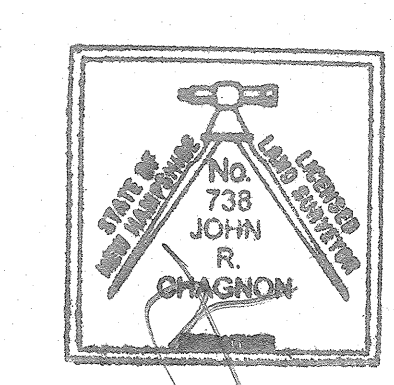
POSTED SPEED LIMIT: 20 MPH

STOPPING SIGHT DISTANCE REQUIRED	
SPEED LIMIT	STOP DISTANCE
SPEED LIMIT: 10 MPH	N/A
SPEED LIMIT+10: 20 MPH	115 FEET



**SIGHT DISTANCE
LOT 4
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	10/29/18
0	ISSUED FOR COMMENT	10/24/18
REVISIONS		



SCALE 1" = 40' OCTOBER 2018

SIGHT DISTANCE PLAN **SD2**

J:\JOBSS\2420s\2429\2017 Site Development\Plans & Specs\Site\2429 SIGHT DIST 2018.dwg, SD2 TRADERS

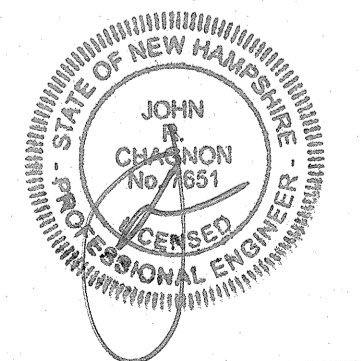
NOTES:

- 1) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 2) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

**PROPOSED SUBDIVISION
 CLIPPER TRADERS, LLC
 105 BARTLETT STREET
 PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
3	DETAIL "E"	11/2/18
2	ISSUED FOR APPROVAL	10/16/18
1	ISSUED FOR COMMENT	9/18/18
0	ISSUED FOR COMMENT	2/12/18

REVISIONS



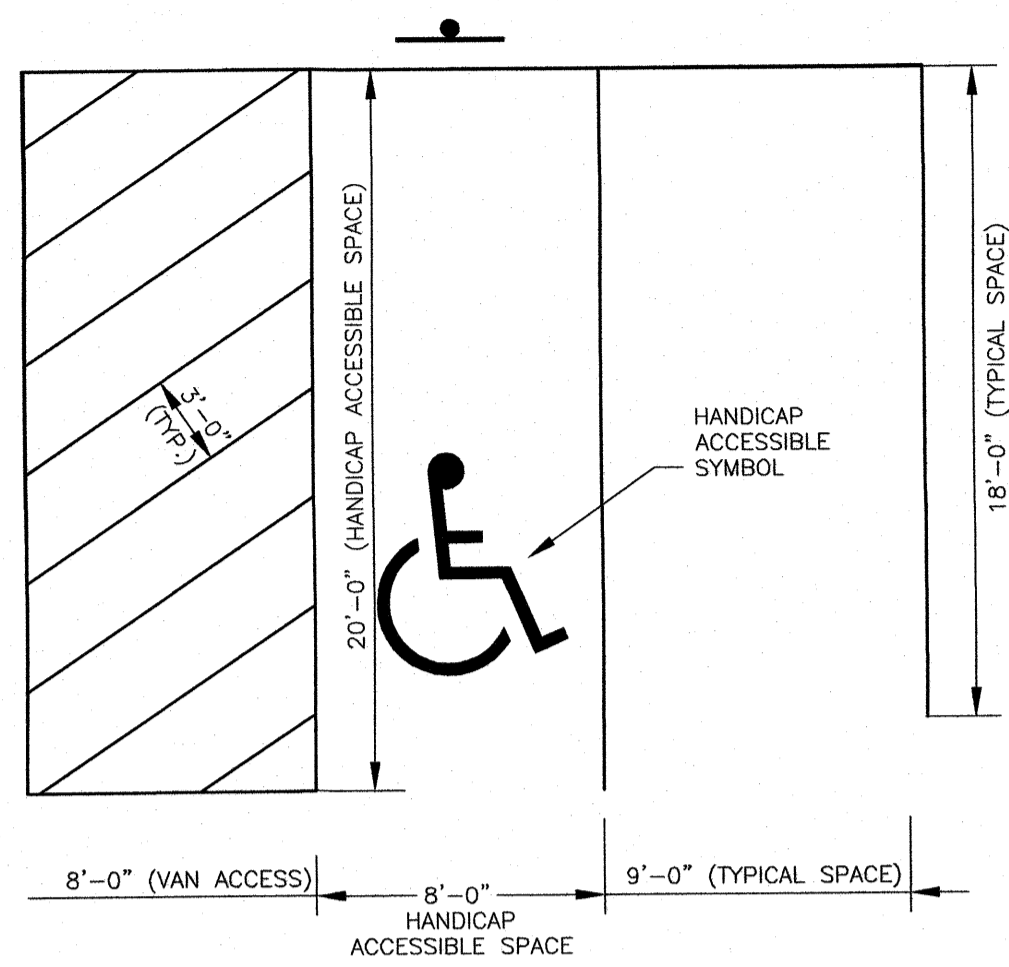
SCALE: AS NOTED FEBRUARY 2018

DETAILS

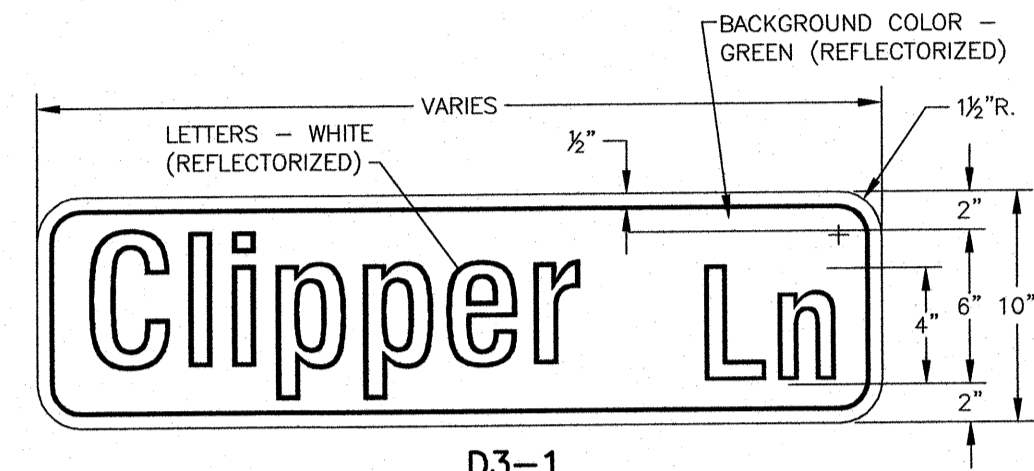
D2



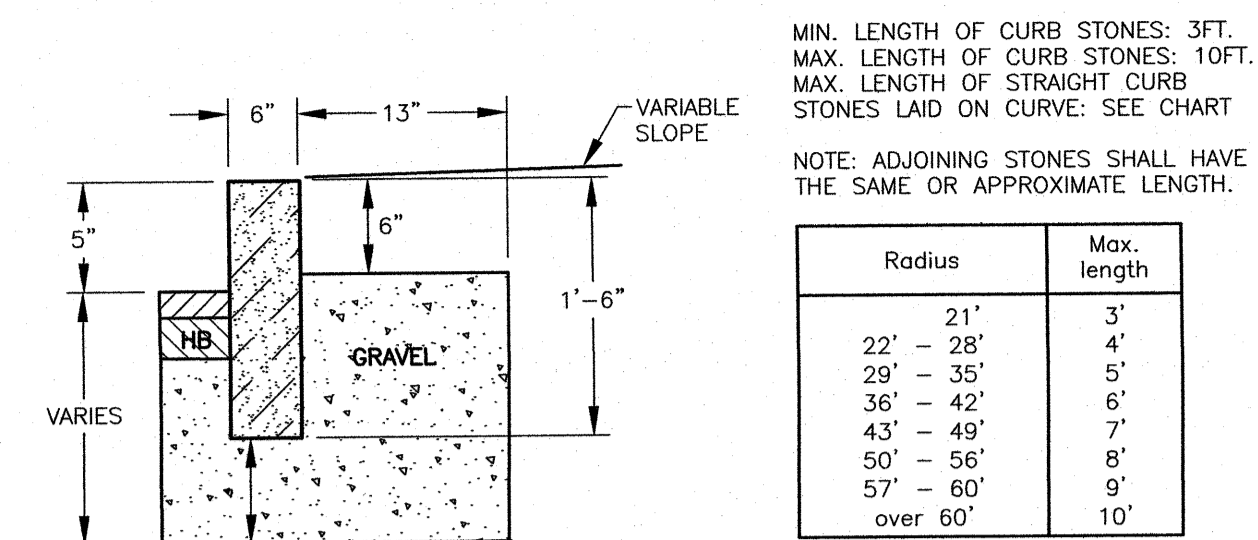
R7-9a
 12" x 18"
 SIGN ON POST
 EACH SPACE
 SHALL HAVE
 THIS SIGN
 DISPLAYED PER
 ADA CODE



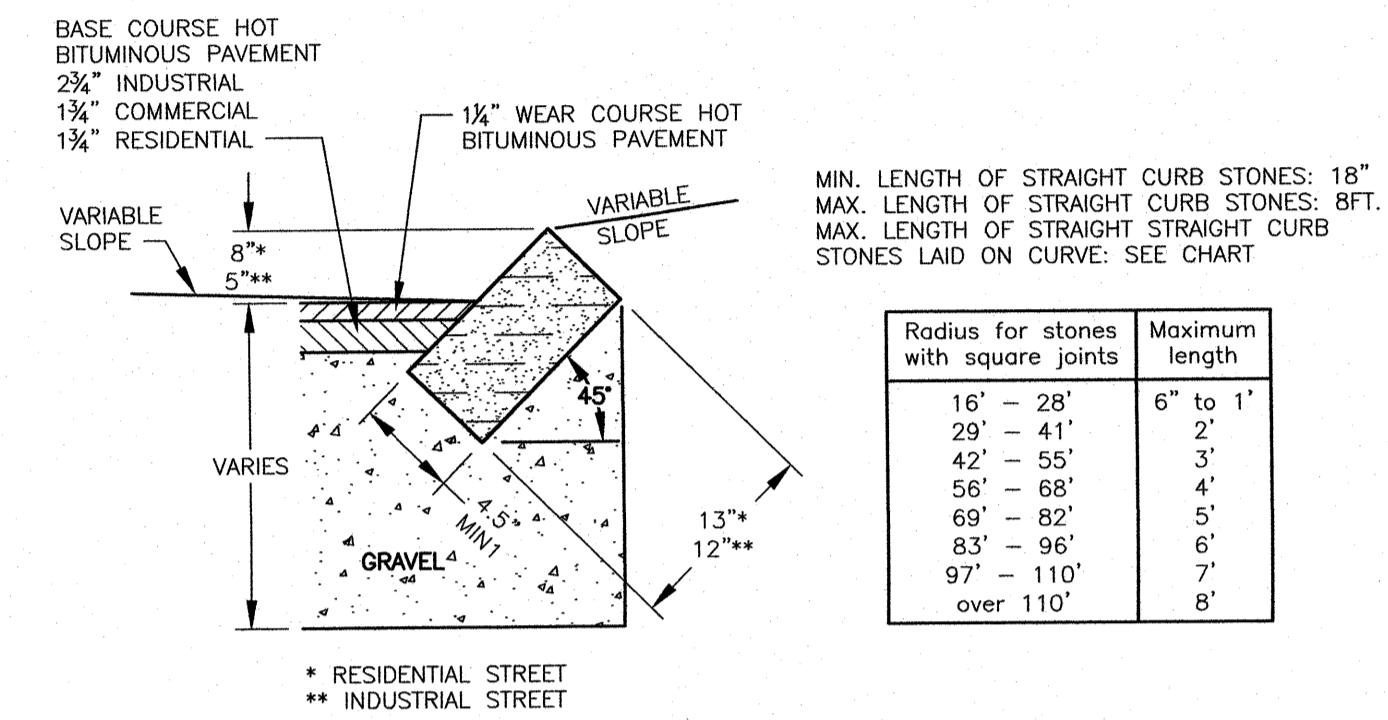
D ADA PARKING SIGN AND STRIPING
 NTS



E "STREET NAME" SIGN DETAIL
 NTS

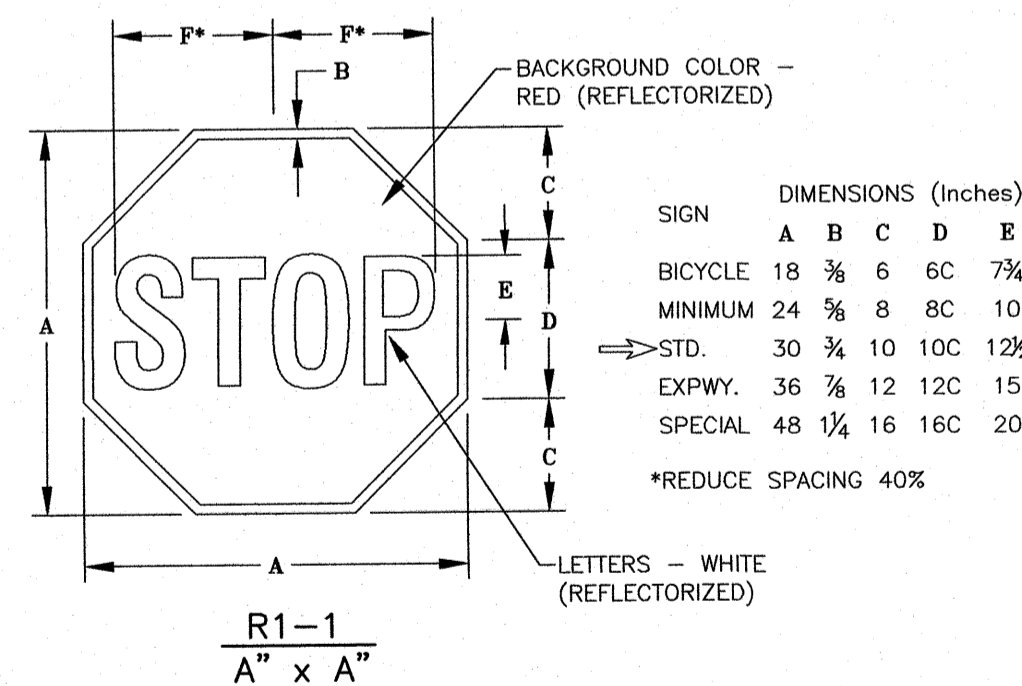


VERTICAL GRANITE CURB
 (COMMERCIAL STREETS)

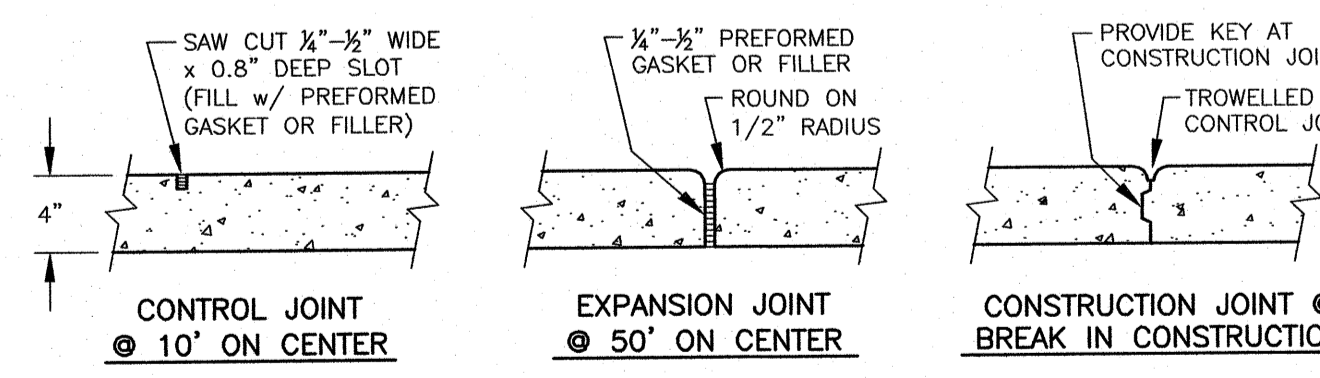
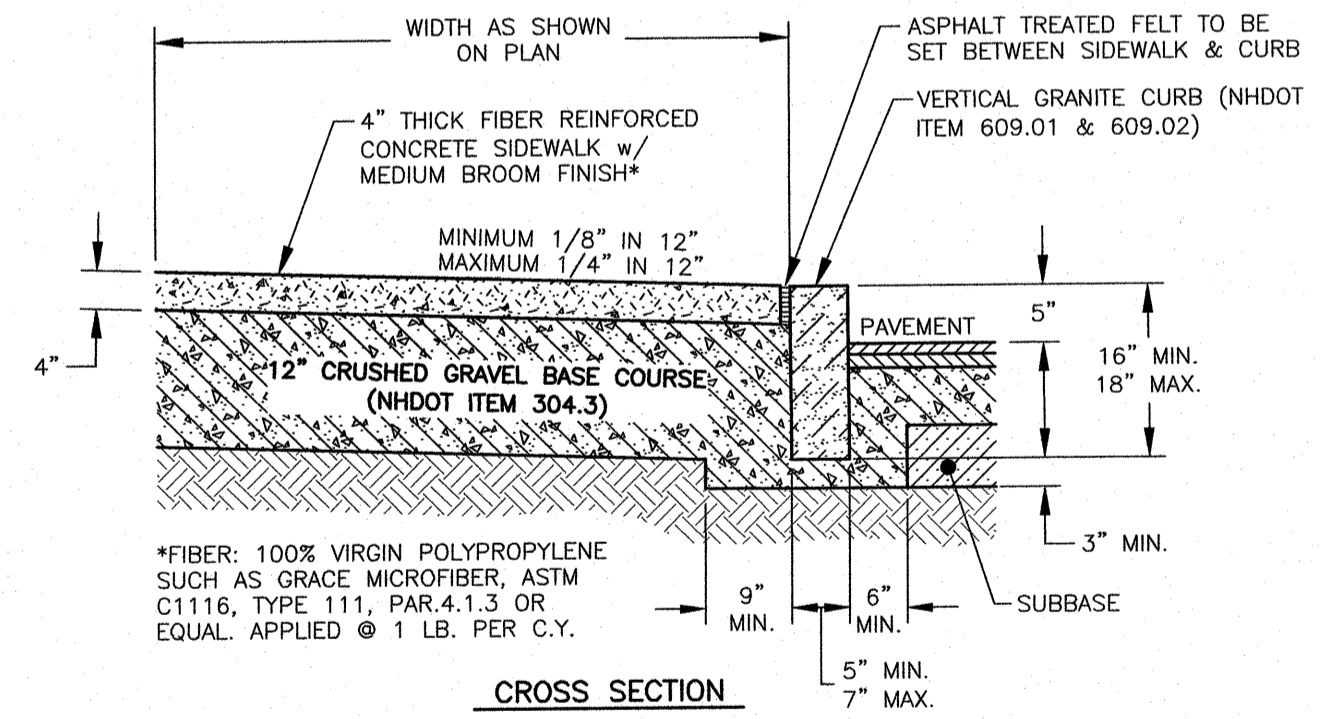


SLOPED GRANITE CURB
 (RESIDENTIAL & INDUSTRIAL STREETS)

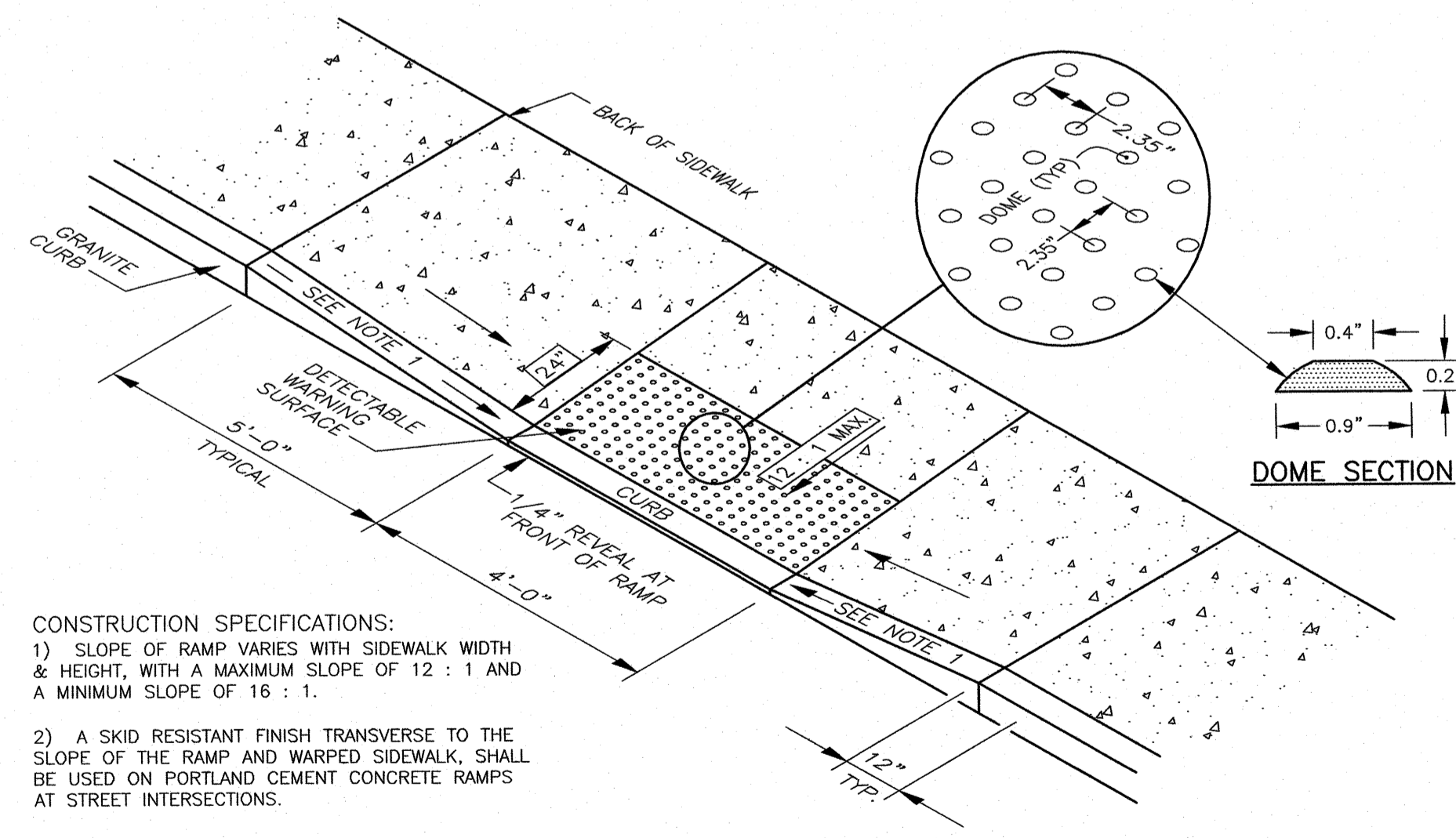
H GRANITE CURBING DETAILS
 NTS



E STOP SIGN DETAIL
 NTS



G PORTLAND CEMENT CONCRETE SIDEWALK
 (WITH VERTICAL GRANITE CURB)
 NTS



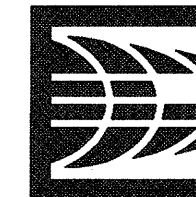
CONSTRUCTION SPECIFICATIONS:
 1) SLOPE OF RAMP VARIES WITH SIDEWALK WIDTH & HEIGHT, WITH A MAXIMUM SLOPE OF 12 : 1 AND A MINIMUM SLOPE OF 16 : 1.
 2) A SKID RESISTANT FINISH TRANSVERSE TO THE SLOPE OF THE RAMP AND WARPED SIDEWALK, SHALL BE USED ON PORTLAND CEMENT CONCRETE RAMPS AT STREET INTERSECTIONS.

I TIP DOWN FOR CONCRETE SIDEWALK
 NTS

J:\JOB52\UN24006\UN 2429\2017 Site Development\Plans & Specs\Site\2429D01.dwg, D2_22x34

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

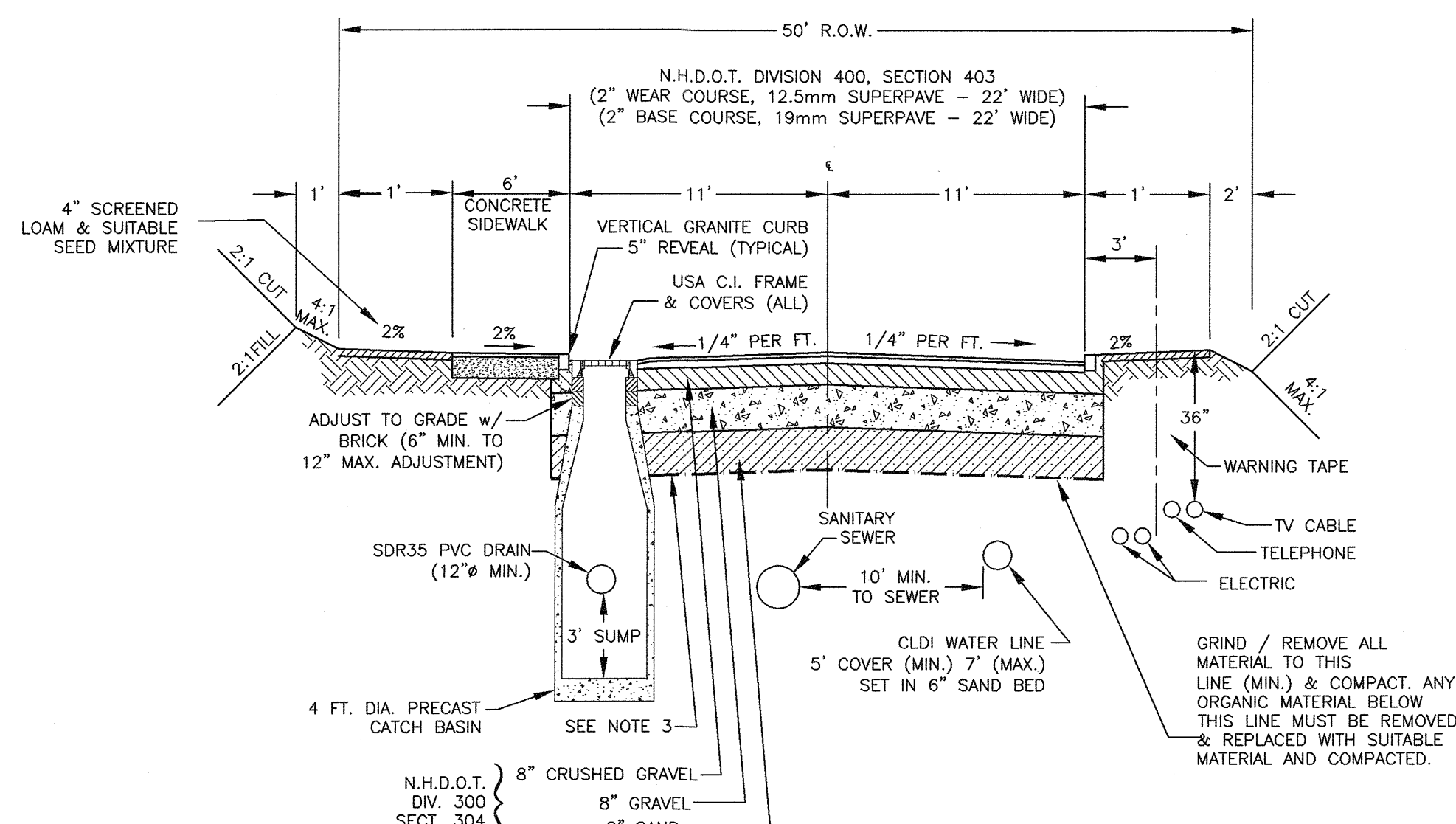


AMBIT ENGINEERING, INC.
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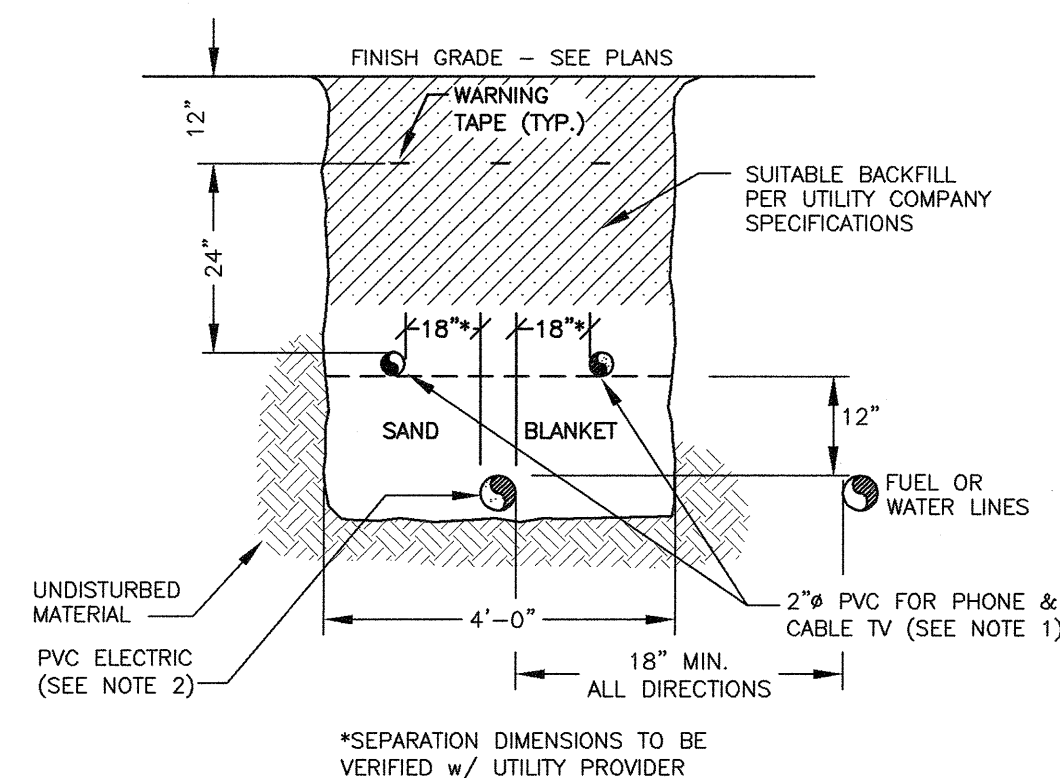
NOTES:

- 1) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 2) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).



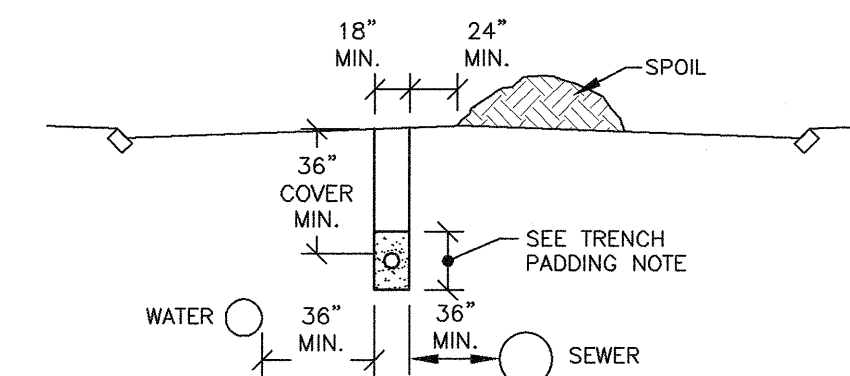
- NOTES:
- 1) REMOVE LEDGE TO 28" BELOW FINISHED SURFACE.
 - 2) REMOVE CLAY, LOAM AND ANY OTHER UNSUITABLE MATERIALS TO 28" BELOW FINISHED SURFACE.
 - 3) INSTALL GEOTEXTILE FABRIC ABOVE CLAYS AND SILTS OR IN AREAS WHERE EXCAVATION IS BELOW THE SEASONAL HIGH WATER TABLE.

J TYPICAL ROADWAY CROSS SECTION
NTS



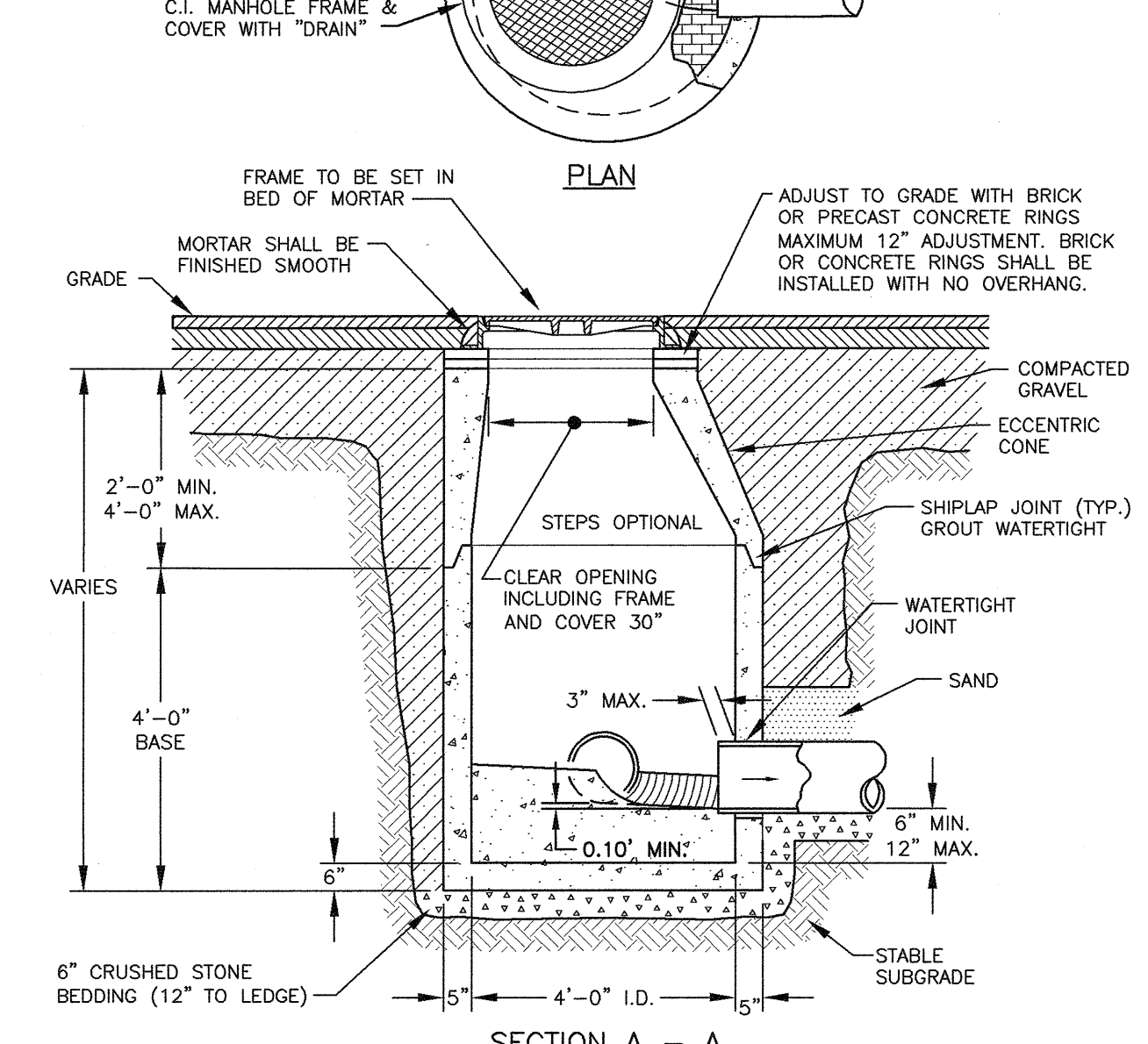
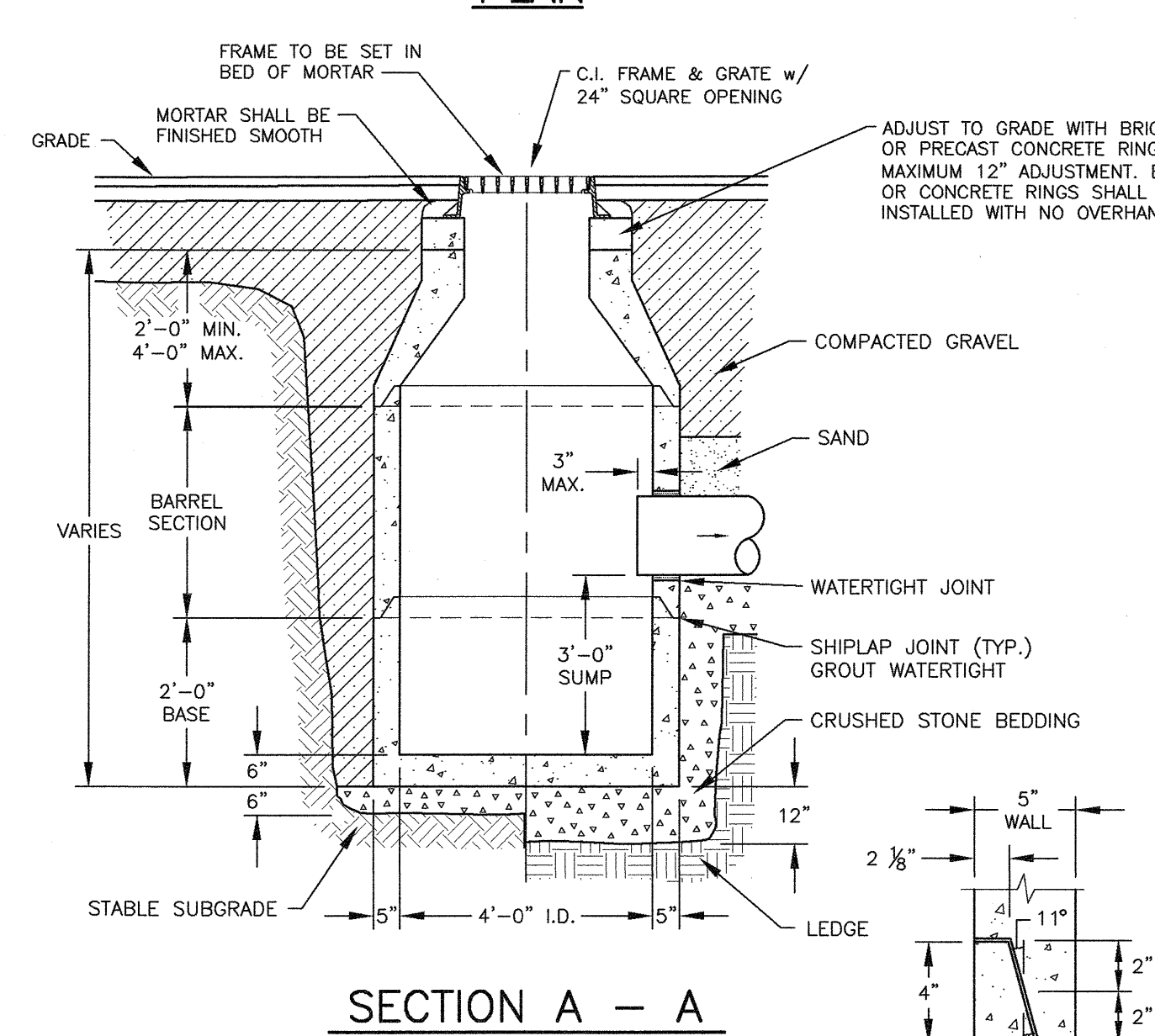
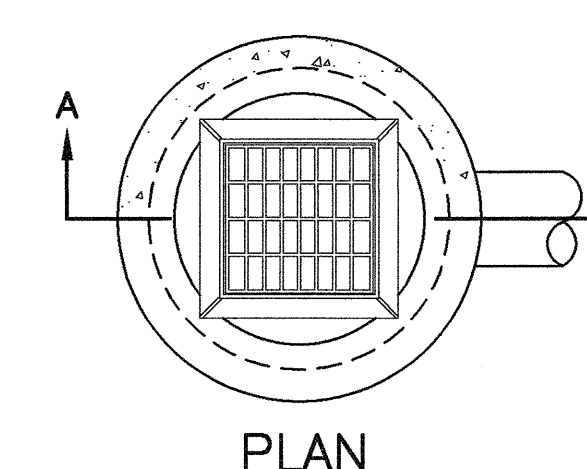
- NOTES:
- 1) ALL CONDUIT TO BE U.L. LISTED, SCH. 80 UNDER ALL TRAVEL WAYS, & SCHED. 40 FOR THE REMAINDER.
 - 2) NORMAL CONDUIT SIZES FOR PSNH ARE 3 INCH FOR SINGLE PHASE PRIMARY AND SECONDARY VOLTAGE CABLES, 4 INCH FOR THREE PHASE SECONDARY, AND 5 INCH FOR THREE PHASE PRIMARY.
 - 3) ALL WORK TO CONFORM TO THE NATIONAL ELECTRICAL CODE (LATEST REVISION)
 - 4) INSTALL A 200# PULL ROPE FOR EACH CONDUIT

M BURIED ELEC/COMM CABLE
NTS



- TRENCH DEPTH:**
MAINS: THE TRENCH SHALL BE DEEP ENOUGH TO PROVIDE 36" OF COVER FROM FINISHED GRADE TO CROWN OF PIPE.
SERVICES & MAINS ON PRIVATE PROPERTY: 24" OF COVER REQUIRED
- TRENCH WIDTH:**
TRENCH SHALL BE AT LEAST 18" WIDE, UNLESS OTHERWISE SPECIFIED BY UTIL PERSONNEL. THE SPOIL SHOULD BE AT LEAST 24" FROM THE EDGE OF THE TRENCH (O.S.H.A.).
- TRENCH OFFSET:**
TRENCH SHALL BE LAID OUT SO AS TO PROVIDE A MINIMUM OFFSET OF 36" FROM OTHER UTILITIES. WHERE PRACTICAL, GAS MAINS SHOULD BE ON THE OPPOSITE SIDE OF THE STREET FROM WATER MAIN.
- TRENCH PADDING:**
THE NATURAL BOTTOM OF THE TRENCH SHALL BE PADDED WITH 6" OF SAND. ALSO, SUFFICIENT SAND MUST BE PROVIDED FOR A MINIMUM OF 6" OF COVER ABOVE THE GAS MAIN. SAND SHALL BE PROVIDED BY THE EXCAVATOR AND MUST BE ON SITE PRIOR TO INSTALLATION OF PIPE.
- PRE-CONSTRUCTION MEETING:**
NO TRENCHING SHALL BE STARTED PRIOR UNTIL AN ON SITE MEETING HAS BEEN HELD BETWEEN THE EXCAVATING CONTRACTOR AND UTIL PERSONNEL. PRIOR TO THE MEETING, THE CONTRACTOR MUST NOTIFY DIGSAFE OF THE PROPOSED WORK. THE FOLLOWING SHALL BE CONFIRMED AT THE MEETING: ROUTE OF TRENCH AND TENTATIVE START DATE.
- INSTALLATION OF GAS MAIN & SERVICES:**
ONCE UTIL HAS INSTALLED THE MAIN AND SERVICES, THE BUILDER/DEVELOPER WILL COVER THE PIPE WITH 6" OF SAND AND INSTALL THE TRACING WIRE AND WARNING TAPE PRIOR TO BACKFILLING. THE EXCAVATING CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER COMPACTING OF THE TRENCH AND MAINTAINING ALL SURFACE (VALVE) BOXES PRIOR TO AND DURING ON SITE PAVING.
- IF THIS WORK IS TO TAKE PLACE OUTSIDE OF NORMAL CONSTRUCTION SEASON (APRIL THROUGH NOVEMBER), OFF SITE TIE-INS ON CITY STREETS SHALL BE DONE SUBJECT TO UTIL CREW AVAILABILITY AND ISSUANCE OF REQUIRED PERMITS.

O GAS INSTALLATION
NTS



- TRENCH NOTES:**
- A) TRENCH BACKFILL:
- IN PAVED AREAS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIALS DEEMED TO BE UNACCEPTABLE BY THE ENGINEER.
- IN CROSS-COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE.
- B) "W" = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D..
- C) TRENCH SHEETING:
IF REQUIRED, WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
- D) MINIMUM PIPE COVER FOR UTILITY MAINS (UNLESS GOVERNED BY OTHER CODES):
6" MINIMUM FOR SEWER (IN PAVEMENT)
4" MINIMUM FOR SEWER (CROSS COUNTRY)
3" MINIMUM FOR STORMWATER DRAINS
5" MINIMUM FOR WATER MAINS
- E) ALL PAVEMENT CUTS SHALL BE REPAIRED BY THE INFRARED HEAT METHOD.

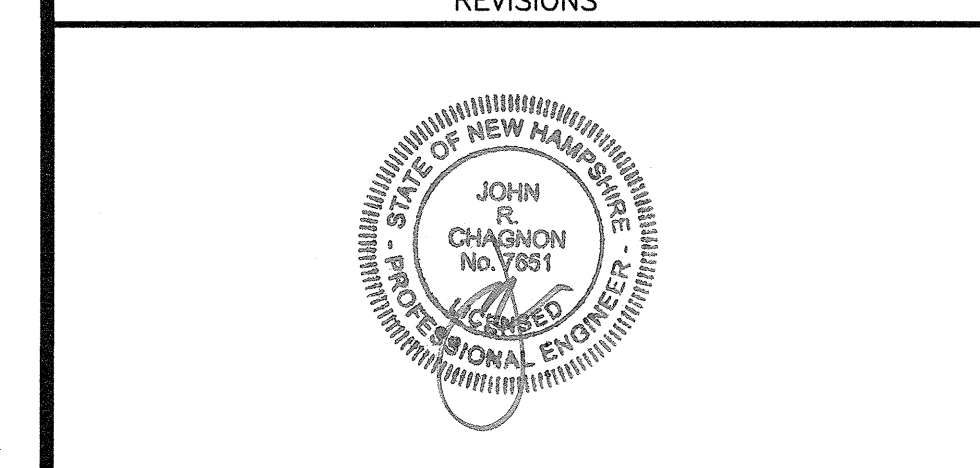
L TYPICAL PIPE TRENCH
NTS

N DRAIN MANHOLE DETAIL
NTS

P CATCH BASIN
NTS

PROPOSED SUBDIVISION
CLIPPER TRADERS, LLC
105 BARTLETT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
2	ISSUED FOR APPROVAL	10/16/18
1	ISSUED FOR COMMENT	9/18/18
0	ISSUED FOR COMMENT	2/12/18

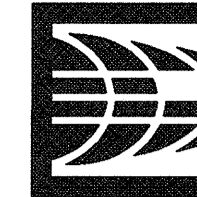


SCALE: AS NOTED FEBRUARY 2018

DETAILS **D3**

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____



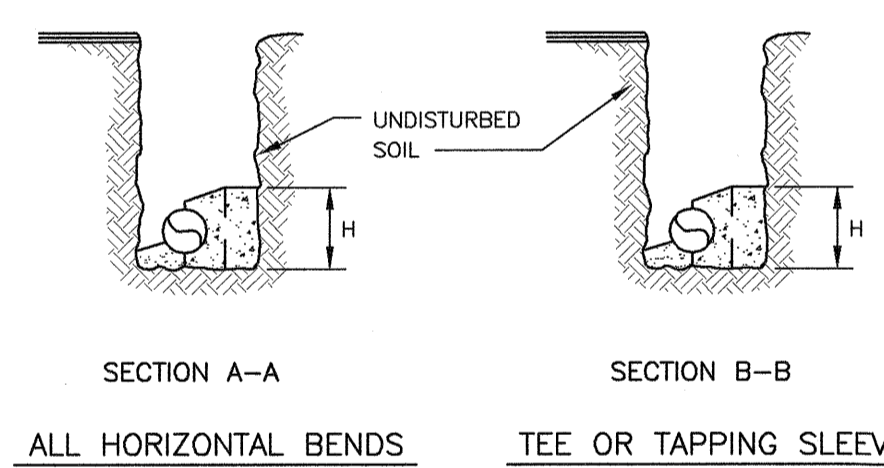
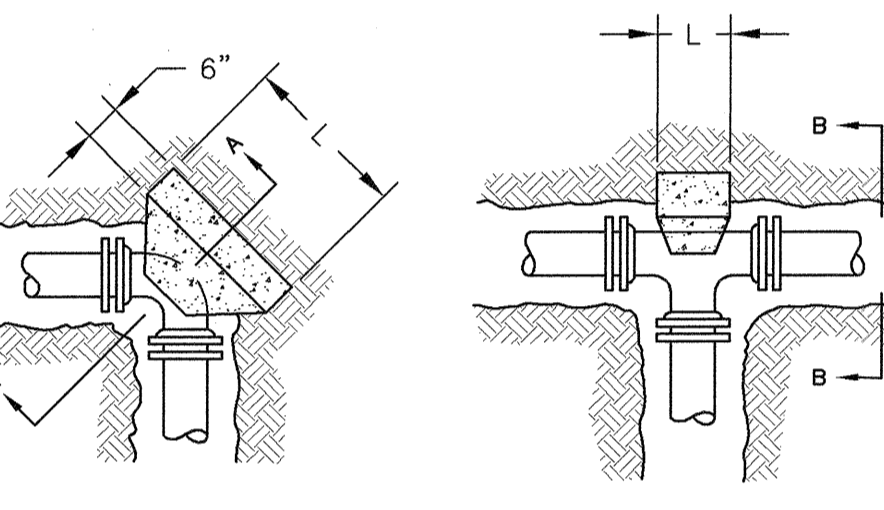
HORIZONTAL ANCHOR DIMENSIONS FOR PIPE INSTALLATION IN ROCK
UP TO 150 P.S.I. WORKING PRESSURE

PIPE SIZE	TEE OR TAP SLEEVE		90° BEND		45° BEND		22 1/2° BEND		11 1/4° BEND	
	H	L	H	L	H	L	H	L	H	L
4"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"
6"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"
8"	1'-2"	1'-2"	1'-2"	1'-2"	1'-2"	1'-2"	1'-2"	1'-2"	1'-2"	1'-2"
10"	1'-4"	1'-4"	1'-4"	1'-4"	1'-4"	1'-4"	1'-4"	1'-4"	1'-4"	1'-4"
12"	1'-8"	1'-8"	1'-8"	1'-8"	1'-8"	1'-8"	1'-8"	1'-8"	1'-8"	1'-8"

HORIZONTAL ANCHOR DIMENSIONS FOR AVERAGE SOIL CONDITIONS
UP TO 150 P.S.I. WORKING PRESSURE

PIPE SIZE	TEE OR TAP SLEEVE		90° BEND		45° BEND		22 1/2° BEND		11 1/4° BEND	
	H	L	H	L	H	L	H	L	H	L
4"	1'-0"	2'-0"	1'-0"	2'-0"	1'-0"	1'-4"	0'-9"	1'-0"	0'-6"	1'-0"
6"	1'-0"	2'-0"	1'-0"	2'-0"	1'-0"	1'-4"	0'-9"	1'-0"	0'-6"	1'-0"
8"	1'-4"	2'-8"	1'-4"	2'-8"	1'-4"	1'-6"	1'-0"	1'-0"	0'-9"	1'-0"
10"	1'-8"	3'-4"	1'-8"	3'-4"	1'-8"	2'-0"	1'-3"	1'-3"	1'-0"	1'-0"
12"	2'-0"	4'-0"	2'-0"	4'-0"	2'-0"	2'-2"	1'-6"	1'-6"	1'-3"	1'-3"

NOTES:
1) TABLES ARE BASED ON AN ALLOWABLE SOIL PRESSURE OF 3000 PSF ON UNDISTURBED EARTH BEHIND THE ANCHOR BLOCK. WHERE SOIL HAS BEEN DISTURBED BY ADJACENT EXCAVATIONS OR WHERE SOIL CANNOT WITHSTAND SUCH A PRESSURE, THE TABLE DOES NOT APPLY.
2) WHERE ENTIRE DEPTH OF PIPE IS BELOW THE TOP SURFACE OF SOUND ROCK, USE "HORIZONTAL ANCHOR DIMENSIONS FOR PIPE INSTALLATION IN ROCK" TABLE.

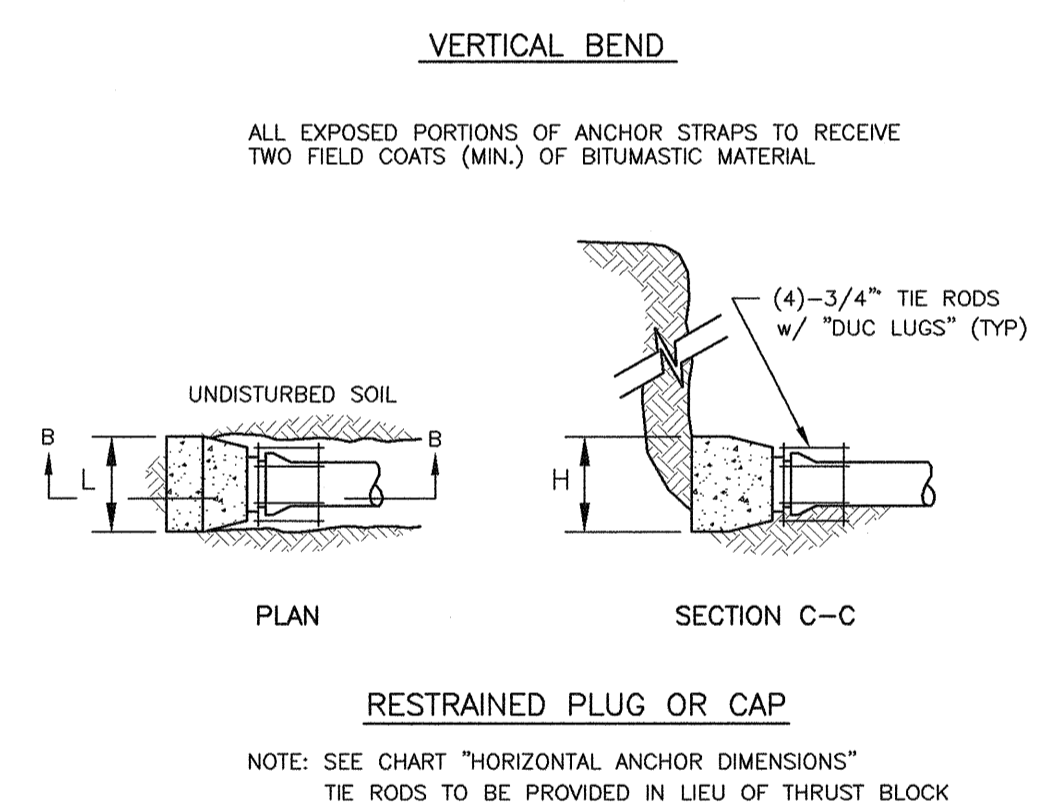
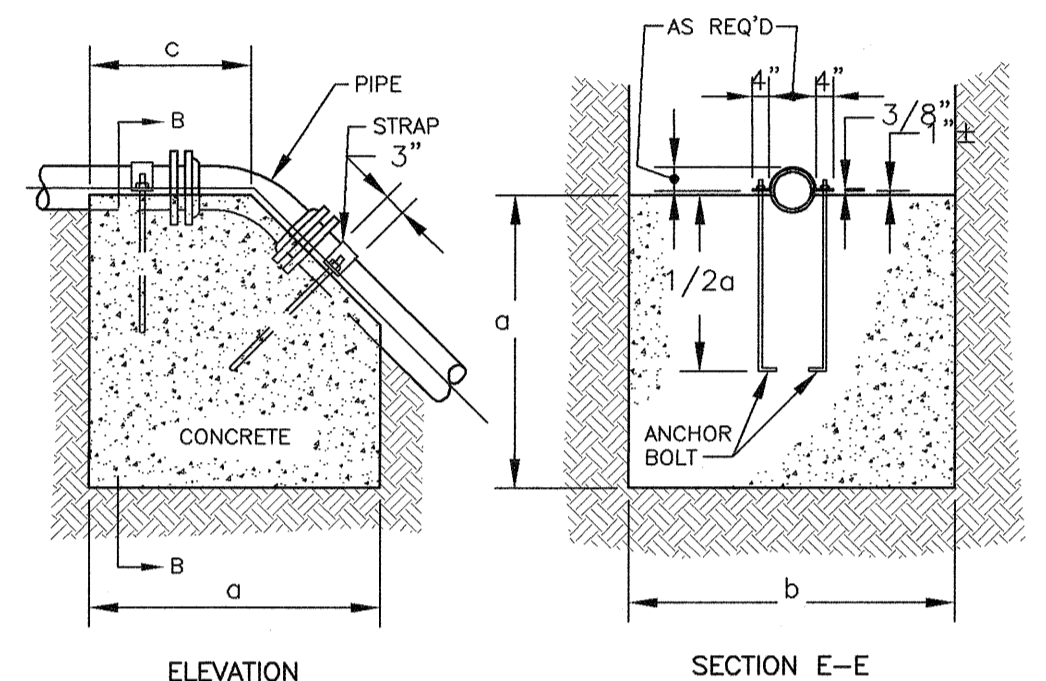
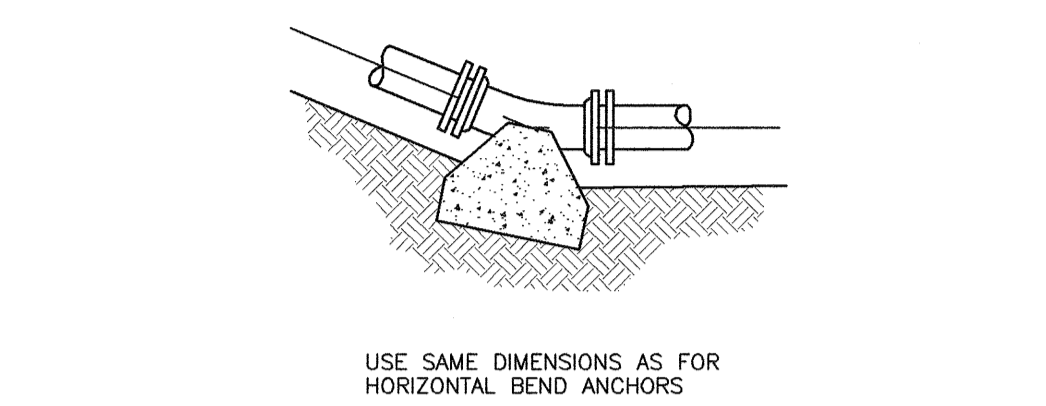


HORIZONTAL ANCHORING

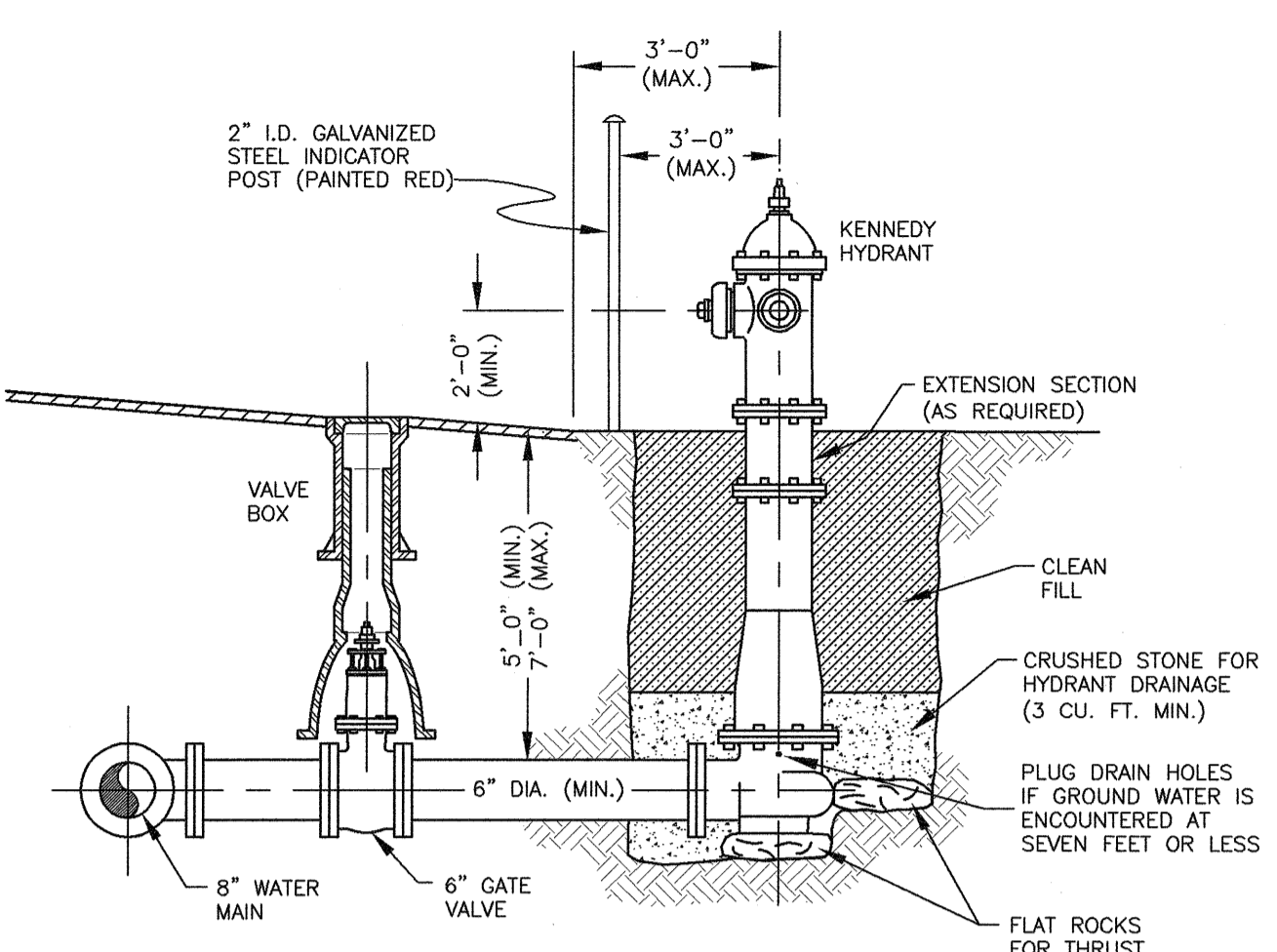
Q PRESSURE PIPE ANCHORING DETAILS
NTS

VERTICAL ANCHOR DIMENSIONS
UP TO 150 P.S.I. WORKING PRESSURE

PIPE SIZE	45° BEND			22 1/2° BEND			11 1/4° BEND			
	a	b	c	a	b	c	a	b	c	
4"	3'-0"	3'-0"	2'-0"	3/4"	2'-6"	2'-3"	1'-6"	3/4"	2'-0"	2'-0"
6"	3'-0"	3'-0"	2'-0"	3/4"	2'-6"	2'-3"	1'-6"	3/4"	2'-0"	2'-0"
8"	3'-6"	3'-6"	2'-6"	3/4"	3'-0"	3'-0"	1'-9"	3/4"	2'-6"	2'-6"
10"	4'-3"	4'-0"	3'-0"	3/4"	3'-6"	3'-3"	2'-0"	3/4"	2'-9"	2'-9"
12"	4'-9"	4'-6"	3'-3"	3/4"	4'-0"	3'-9"	2'-6"	3/4"	3'-3"	3'-3"

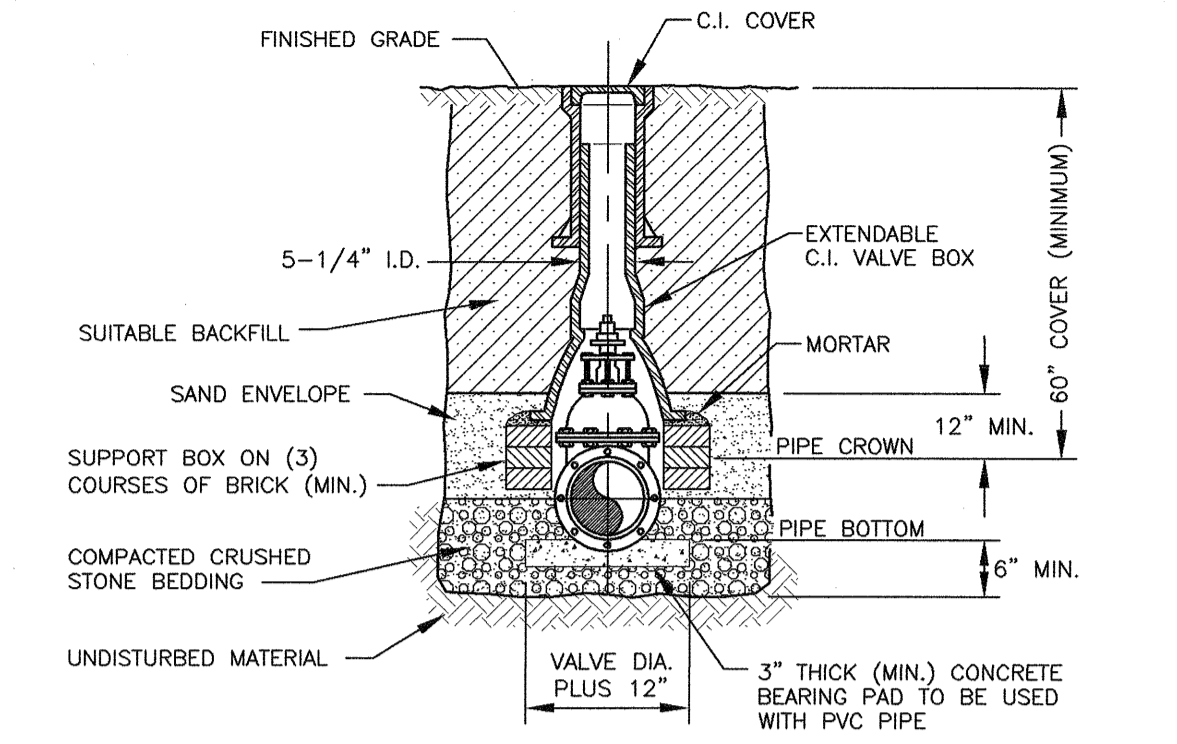


VERTICAL ANCHORING

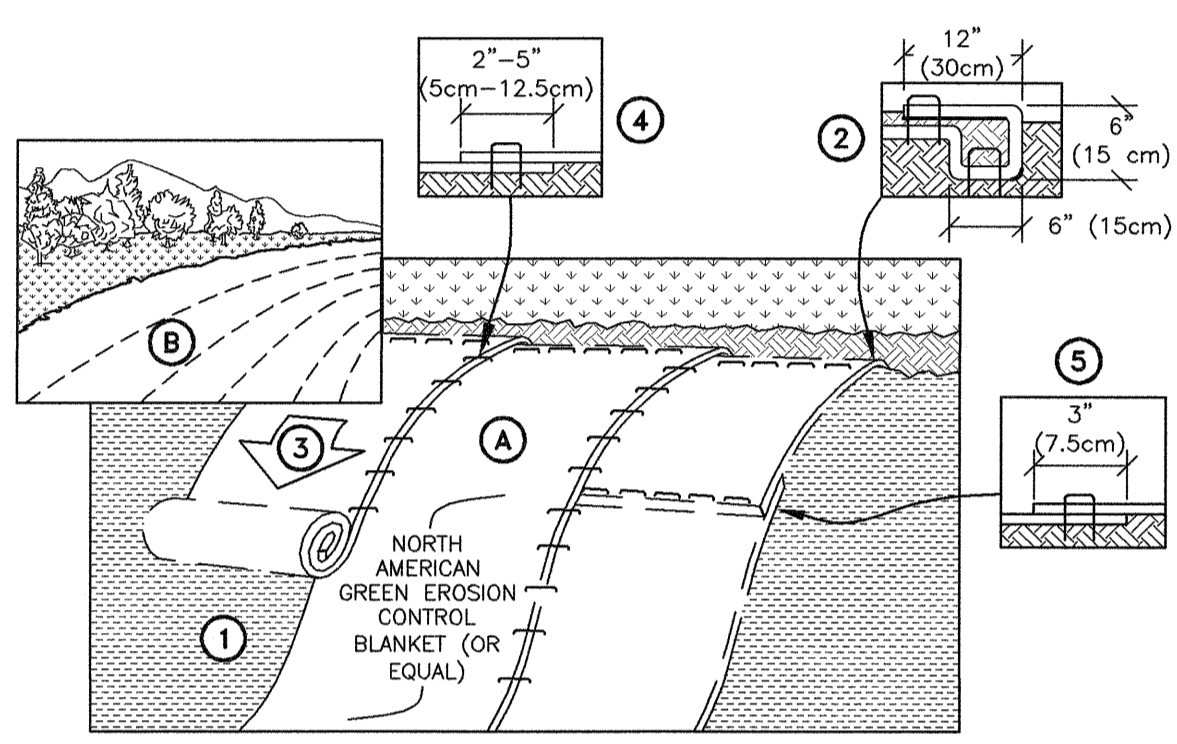


NOTES:
1) HYDRANTS SHALL BE INSTALLED A MAXIMUM DISTANCE OF 3 FEET CURB LINE TO OPERATING NUT.
2) THE PUMPER OUTLET NOZZLE SHALL FACE THE STREET.
3) CENTERLINE OF NOZZLES SHALL BE A MINIMUM OF 2 FEET ABOVE FINISHED GRADE OF STREET.
4) AREA AROUND HYDRANT SHALL BE GRADED TO ALLOW ANY SURFACE WATER TO DRAIN AWAY FROM HYDRANT.
5) HYDRANT SHALL BE FIRMLY SUPPORTED ALL AROUND THE STANDPIPE.
6) EARTH FILL SHALL BE TAMPED TO GIVE FIRM SUPPORT TO THE HYDRANT BARREL.
7) A GATE VALVE SHALL BE INSTALLED BETWEEN THE HYDRANT AND THE MAIN ON THE LATERAL.
8) HYDRANT LATERALS SHALL BE 6" INSIDE DIAMETER (MINIMUM).
9) HYDRANT LATERALS SHALL BE CONNECTED TO WATER MAINS 8 INCHES IN DIAMETER OR LARGER.
10) ALL JOINTS AT HYDRANT CONNECTION SHALL BE RESTRAINED MECHANICAL JOINTS.
11) INSTALLATION OF HYDRANTS IN AREAS OF HEAVY VEGETATIVE GROWTH SHALL HAVE A 10 FOOT RADIUS CLEAR AREA ALL AROUND THE OPERATING NUT OF THE HYDRANT.
12) THERE SHALL ALSO BE AN INDICATOR POST FABRICATED FROM 2 INCH INSIDE DIAMETER GALVANIZED STEEL PIPE, 7 FEET ABOVE FINISHED GRADE, AND SET 2 FEET BELOW GRADE IN CLASS "A" CONCRETE CONCRETE 6 INCHES ALL AROUND POST. THIS POST SHALL BE COATED WITH ZINC CHROMATE PRIMER AND PAINTED WITH HIGH VISIBILITY RED. THE INDICATOR POST SHALL BE NO CLOSER THAN 3 FEET FROM THE OPERATING NUT, AND SET ON THE SIDE OF THE HYDRANT FACING ONCOMING TRAFFIC. TOP OF POST SHALL BE THREADED AND CAPPED.
13) INSTALLATION OF HYDRANTS IN HEAVY GROWTH AREAS SHALL HAVE GATE BOXES RAISED 6 INCHES ABOVE GRADE AND SHALL BE PAINTED ORANGE FOR HIGH VISIBILITY.

R FIRE HYDRANT INSTALLATION DETAIL
PORTSMOUTH
NTS

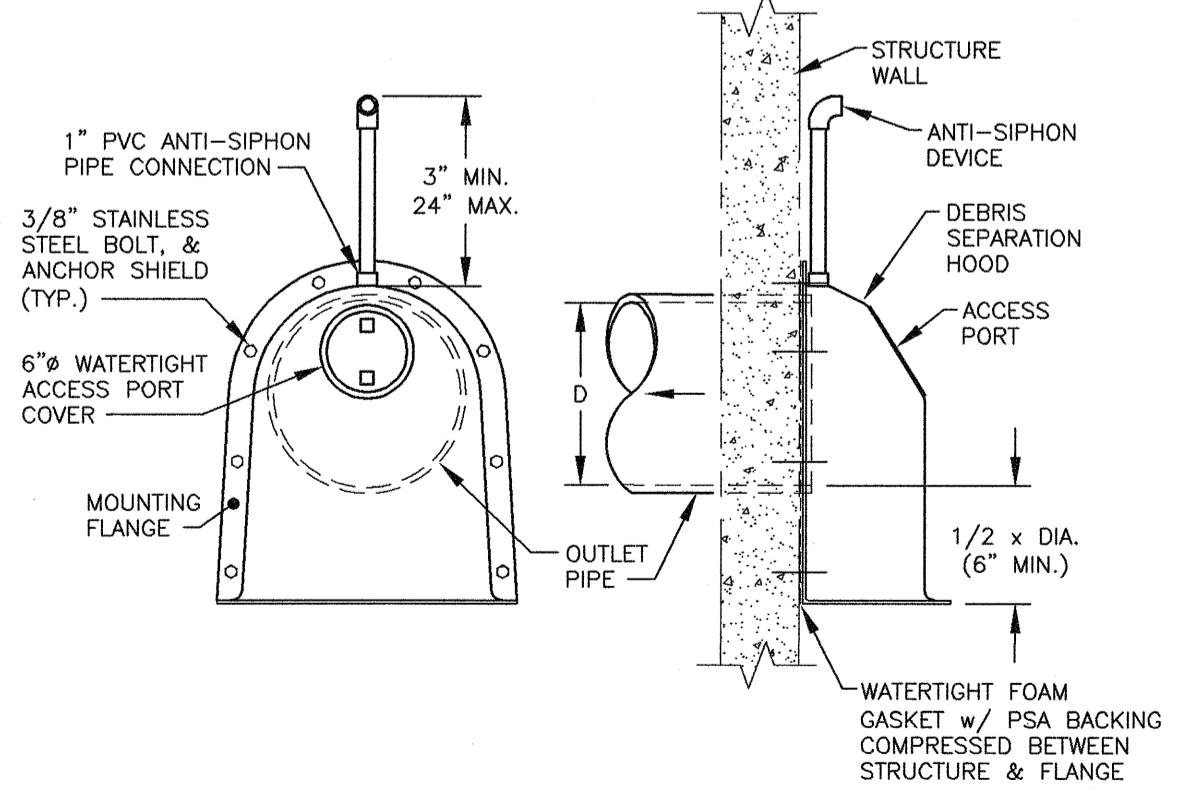


T TYPICAL VALVE BOX INSTALLATION
NTS



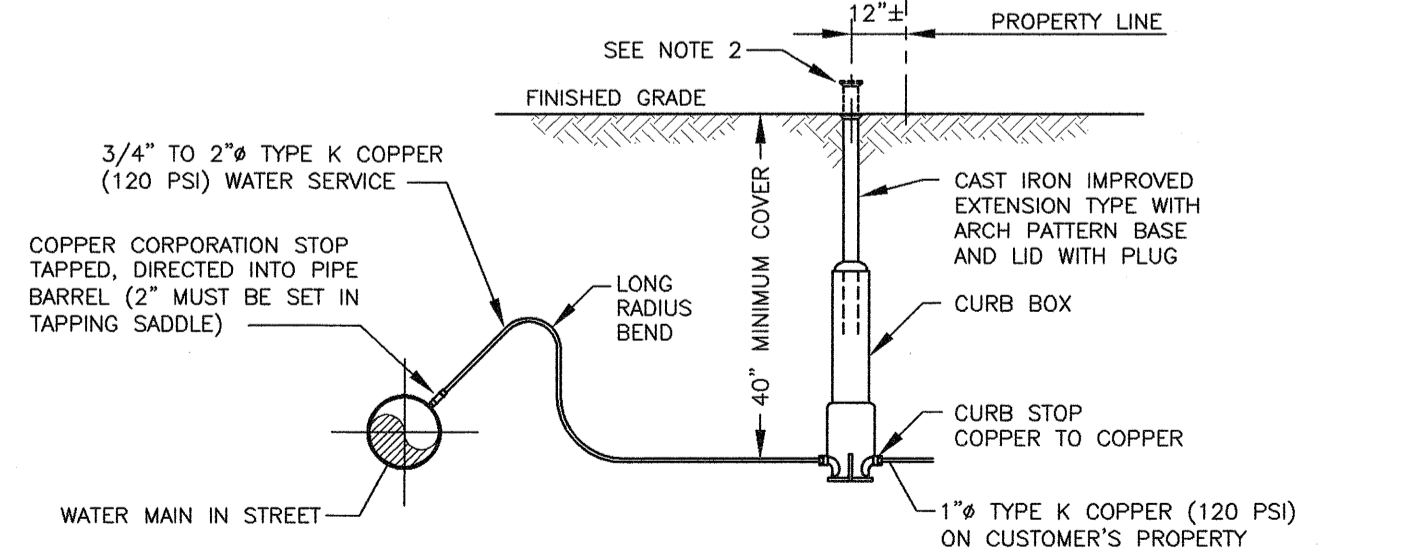
1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP'S), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE RECP'S.
3. ROLL THE RECP'S (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON RECP'S TYPE.
5. CONSECUTIVE RECP'S SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE RECP'S WIDTH.
NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTH GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE RECP'S.

U EROSION CONTROL BLANKET
FOR SLOPES STEEPER THAN 3:1, UP TO 2:1
NTS



V CATCH BASIN OUTLET HOOD DETAIL
THE "SNOUT"
NTS

NOTE:
1) INSTALLATION OF WATER MAIN TAP & CURB STOP & BOX SHALL ONLY BE PERFORMED BY THOSE AUTHORIZED BY THE PUBLIC WORKS DEPARTMENT.
2) IN AREAS OF HEAVY GROWTH THE CURB BOX COVER SHALL BE SET 6" ABOVE FINISH GRADE AND A WITNESS STAKE SET.
3) CURB BOX SHALL BE SET APPROXIMATELY 12" OUTSIDE PROPERTY LINE AS SHOWN.
4) PRIOR TO ACCEPTANCE, A PLAN INDICATING THE LOCATION OF THE CURB BOX SHALL BE SUBMITTED TO THE CITY OF PORTSMOUTH WATER DIVISION.



S WATER SERVICE CONNECTION
(PORTSMOUTH)
NTS

PROPOSED SUBDIVISION
CLIPPER TRADERS, LLC
105 BARTLETT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
2	ISSUED FOR APPROVAL	10/16/18
1	ISSUED FOR COMMENT	9/18/18
0	ISSUED FOR COMMENT	2/12/18

REVISIONS

NO.	DESCRIPTION	DATE

SCALE: AS NOTED FEBRUARY 2018

DETAILS **D4**

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN DATE

GENERAL NOTES

- 1) MINIMUM PIPE SIZE FOR COMMERCIAL SERVICE SHALL BE SIX INCHES.
- 2) PIPE AND JOINT MATERIALS:
 - A. PLASTIC SEWER PIPE

1. PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:

ASTM STANDARDS	GENERIC PIPE MATERIAL	SIZES APPROVED
D3034	*PVC (SOLID WALL)	8" THROUGH 15" (SDR 35)
F679	PVC (SOLID WALL)	18" THROUGH 27" (T-1 & T-2)
F789	PVC (SOLID WALL)	4" THROUGH 18" (T-1 To T-3)
F794	PVC (RIBBED WALL)	8" THROUGH 36"
AWWA C900	PVC (SOLID WALL)	8" THROUGH 18"

*PVC: POLYVINYL CHLORIDE

2. JOINT SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON BELL AND SPIGOT TYPE.

B. DUCTILE IRON PIPE, FITTINGS AND JOINTS.

1. DUCTILE IRON PIPE AND FITTINGS FOR SEWERS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE:

A21.50 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-536 DUCTILE IRON CASTINGS.

A21.51 DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL MOULDS OR SAND LINED MOULDS FOR SEWER APPLICATIONS.

2. JOINTS SHALL BE OF THE MECHANICAL OR PUSH ON TYPE. JOINTS AND GASKETS SHALL CONFORM TO:

A21.11 RUBBER GASKET JOINTS FOR CAST IRON PRESSURE PIPE & FITTINGS.

3) DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.

4) JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.

5) TEES AND WYES: WHERE A TEE OR WYE IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE DEPENDING ON THE PIPE ENCOUNTERED, FOR PVC PIPE, USE PVC SADDLES OR INSERT-A-TEE, OR CUT IN A SANITARY TEE. FOR CLAY PIPE, USE INSERT-A-TEE OR CUT IN A SANITARY TEE. ALL WORK TO BE APPROVED BY GOVERNING BODY.

6) HOUSE SEWER INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 4 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL AS SPECIFIED IN NOTE 10. BEDDING AND REFILL FOR DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH APPROPRIATE MECHANICAL DEVICES.

THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE FOUNDATION AT A GRADE OF NOT LESS THAN 1/4 INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DEWATER THE TRENCH.

7) TESTING: WHEN REQUIRED BY THE GOVERNING AUTHORITY, TESTING SHALL CONFORM TO ENV-WQ 704.07.

8) ILLEGAL CONNECTIONS: NOTHING BUT SANITARY WASTE FLOW FROM DWELLING TOILETS, SINKS, LAUNDRY ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS, SUMP PUMPS OR OTHER SIMILAR CONNECTIONS CARRYING RAIN WATER, DRAINAGE OR GROUND WATER SHALL NOT BE PERMITTED.

9) WATER SERVICE SHALL NOT BE LAID IN SAME TRENCH AS SEWER SERVICE, UNLESS IT IS ON A SHELF 12" HIGHER, AND 18" APART.

10) BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE, FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33 STONE SIZE NO. 67.

100% PASSING	1 INCH SCREEN
90%-100% PASSING	3/4 INCH SCREEN
20%- 55% PASSING	3/8 INCH SCREEN
0%- 10% PASSING	#4 SIEVE
0%- 5% PASSING	#8 SIEVE

WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, GRADED SCREENED GRAVEL OR CRUSHED STONE 1/2 INCH TO 1-1/2 INCH SHALL BE USED.

11) LOCATION: THE LOCATION OF THE TEE OR WYE SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS METAL ROD OR PIPE SHALL BE PLACED OVER THE TEE OR WYE AS DESCRIBED IN THE TYPICAL "CHIMNEY" DETAIL, TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPE FINDER.

12) CAST-IN-PLACE CONCRETE: SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000 PSI) CONCRETE OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS:

CEMENT: 6.0 BAGS PER CUBIC YARD
 WATER: 5.75 GALLONS PER BAG OF CEMENT
 MAXIMUM AGGREGATE SIZE: 3/4 INCH

13) CHIMNEYS: IF VERTICAL DROP INTO SEWER IS GREATER THAN 4 FEET, A CHIMNEY SHALL BE CONSTRUCTED FOR THE HOUSE CONNECTION. CHIMNEY INSTALLATION AS RECOMMENDED BY THE PIPE MANUFACTURER MAY BE USED IF APPROVED BY THE ENGINEER.

14) BACKFILL UP TO SUBBASE GRAVEL SHALL BE WITH EXCAVATED SOIL FROM TRENCHING OPERATIONS. COMPACT IN 8" LIFTS WITH VIBRATORY PLATE COMPACTORS TO 90% OF MODIFIED PROCTOR DENSITY. IF FINE-GRAINED, COMPACT WITH POGO STICKS OR SHEEPSFOOT ROLLERS. PLACE NO LARGE ROCKS WITHIN 24" OF PIPE. TRENCHES THAT ARE NOT ADEQUATELY COMPACTED SHALL BE RE-EXCAVATED AND BACKFILLED UNDER THE SUPERVISION OF THE DESIGN ENGINEER OR GOVERNING BODY. UNSUITABLE BACKFILL MATERIAL INCLUDES CHUNKS OF PAVEMENT, TOPSOIL, ROCKS OVER 6" IN SIZE, MUCK, PEAT OR PIECES OF PAVEMENT.

15) THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB-SITE SAFETY AND COMPLIANCE WITH GOVERNING REGULATIONS.

GENERAL NOTES, cont'd

16) ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE. REFILL WITH BEDDING MATERIAL. FOR TRENCH WIDTH SEE TRENCH DETAIL.

17) SAND BLANKET: CLEAN SAND, FREE FROM ORGANIC MATTER, SO GRADED THAT 90% - 100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #200 SIEVE. BLANKET MAY BE OMITTED FOR DUCTILE IRON AND REINFORCED CONCRETE PIPE PROVIDED THAT NO STONE LARGER THAN 2 INCHES IS IN CONTACT WITH THE PIPE.

18) BASE COURSE GRAVEL, IF ORDERED BY THE ENGINEER, SHALL MEET THE REQUIREMENTS OF DIVISION 300 OF THE LATEST EDITION OF THE:

STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION.

19) FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MOUND TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

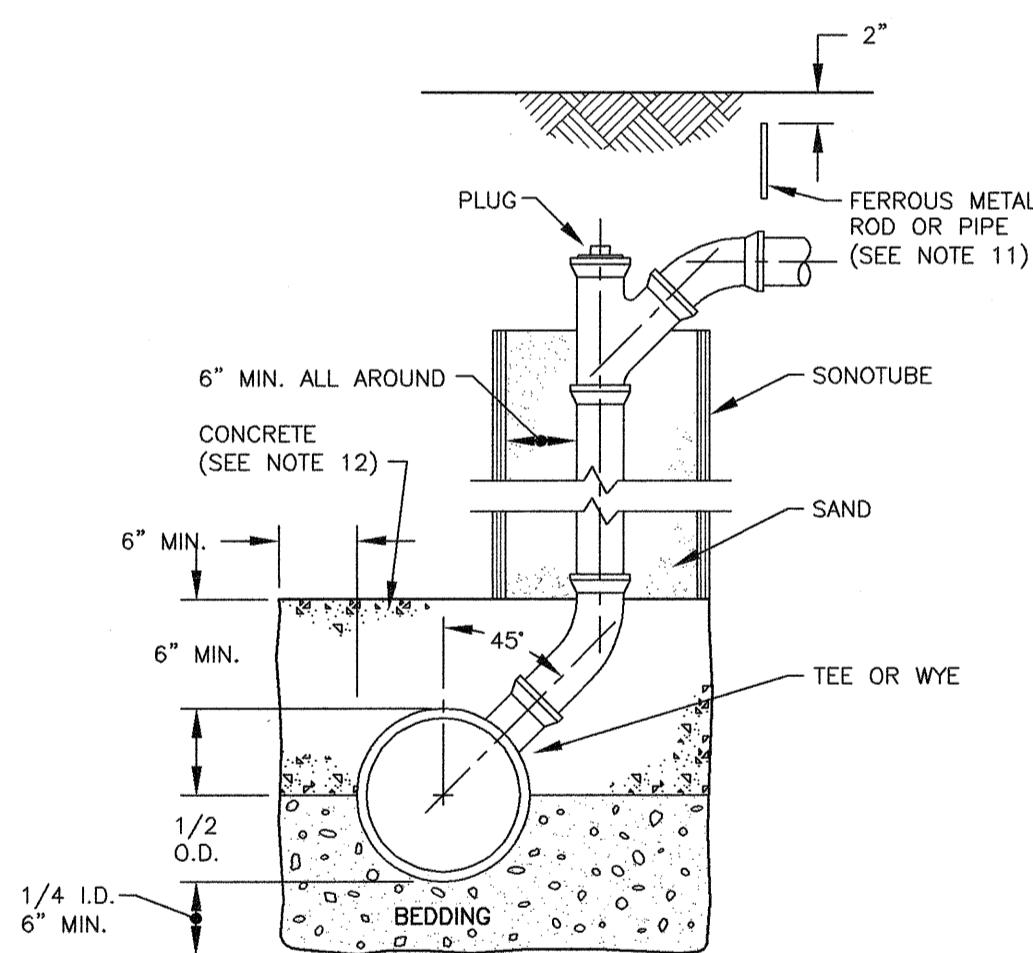
20) IF FULL ENCASEMENT IS UTILIZED, DEPTH OF CONCRETE BELOW PIPE SHALL BE 1/4 I.D. (4" MIN.) BLOCK SUPPORT SHALL BE SOLID CONCRETE BLOCKS.

21) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

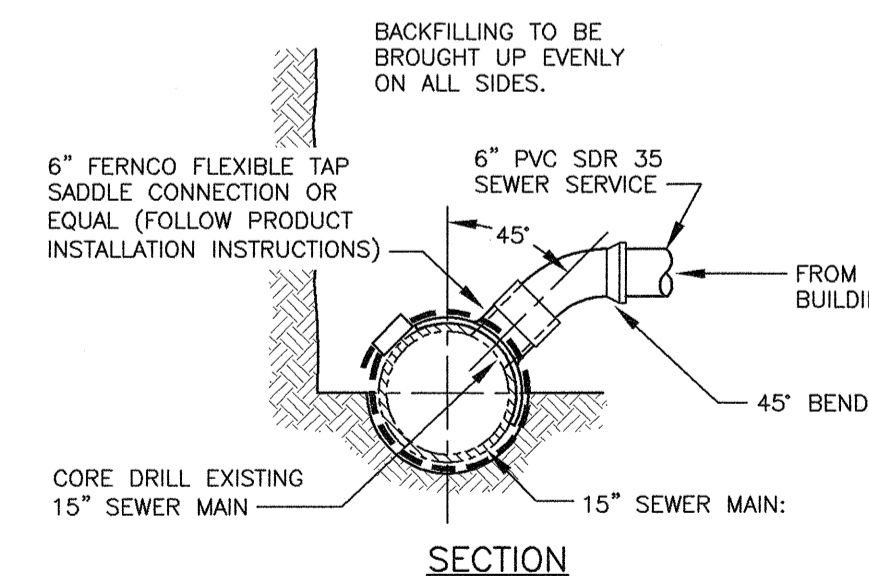
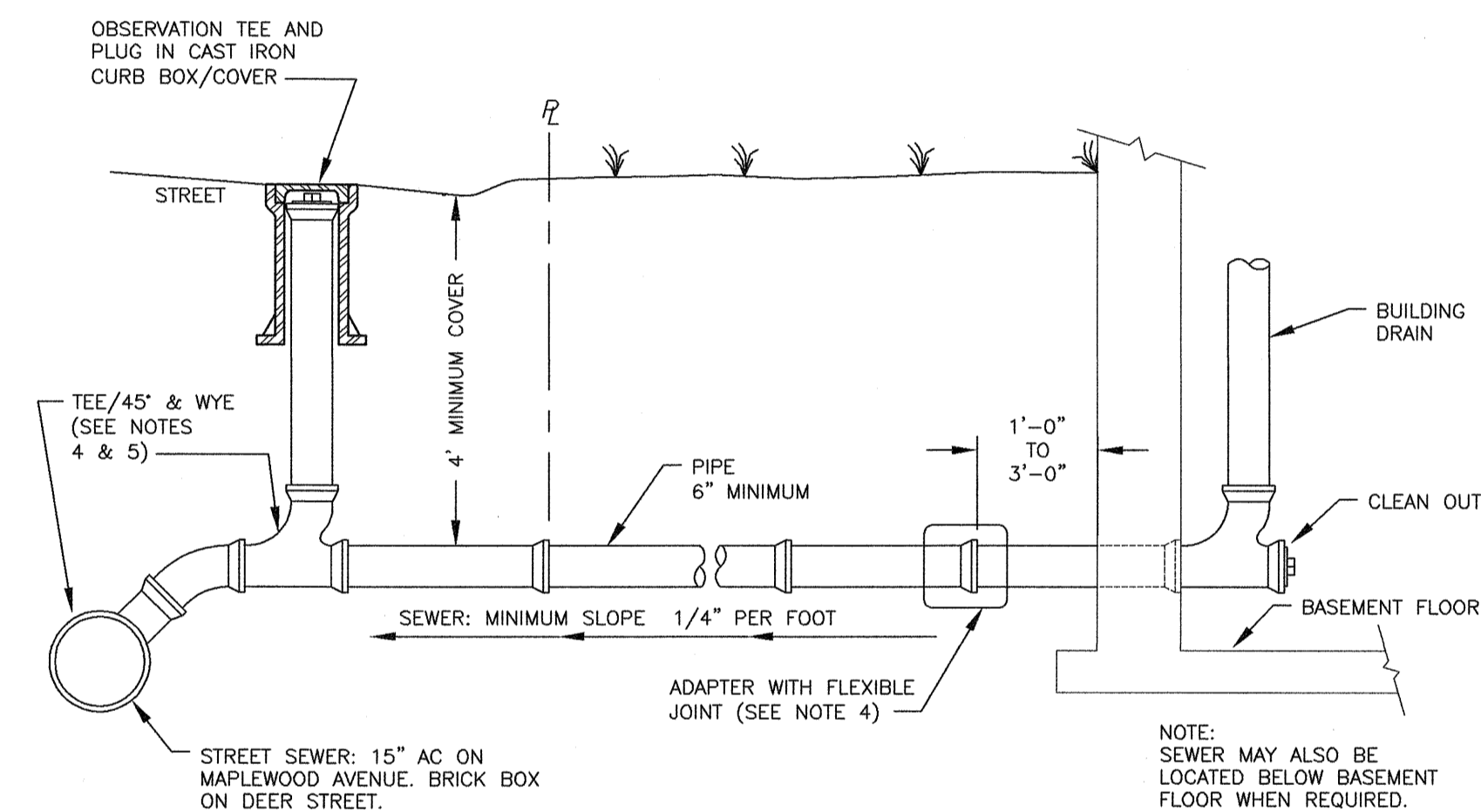
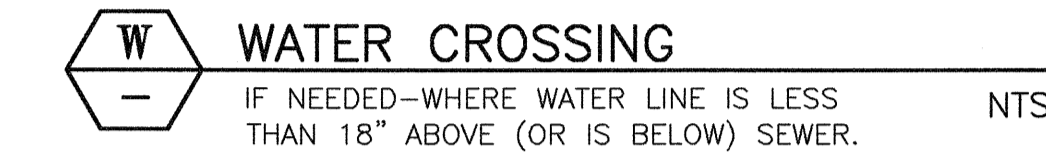
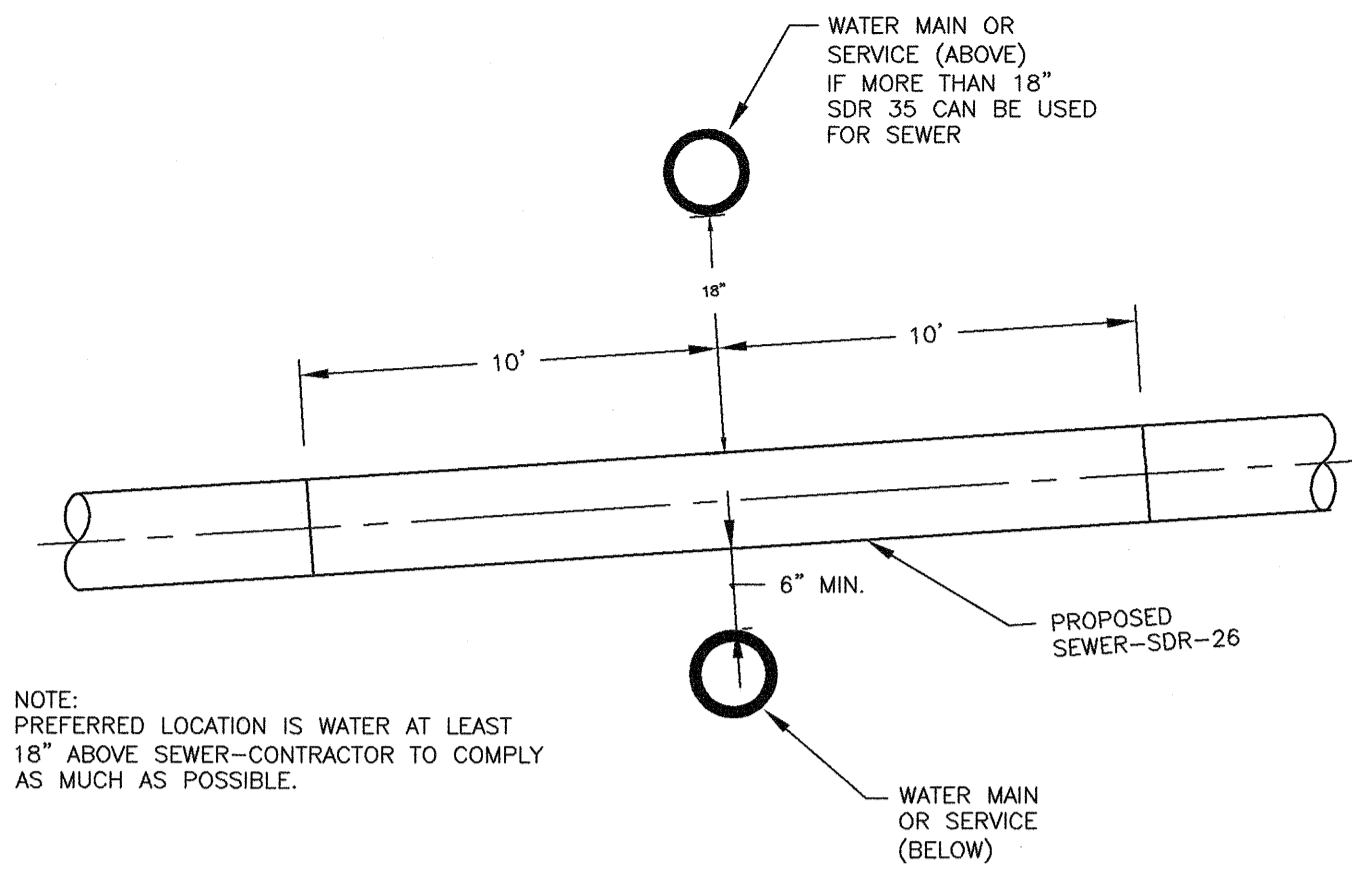
22) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION.

23) THE PURPOSE OF THIS PLAN IS TO SHOW STANDARDS FOR SEWER CONSTRUCTION.

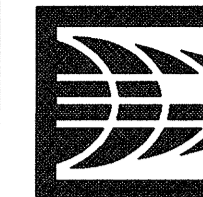
24) ALL WORK SHALL BE IN COMPLIANCE WITH NHDES CODE OF ADMINISTRATIVE RULES PART ENV-WQ 704 DESIGN OF SEWERS.



NO BACKFILLING BEFORE CONCRETE HAS TAKEN INITIAL SET (7 HRS. MIN.). BACKFILLING TO BE BROUGHT UP EVENLY ON ALL SIDES.



NOTE: COORDINATE DESIGN OF BRICK BOX SEWER CONNECTION WITH CITY OF PORTSMOUTH DPW. PROVIDE SHOP DRAWINGS FOR REVIEW.



AMBIT ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 200 Griffin Road - Unit 3
 Portsmouth, N.H. 03801-7114
 Tel (603) 430-9282
 Fax (603) 436-2315

NOTES:

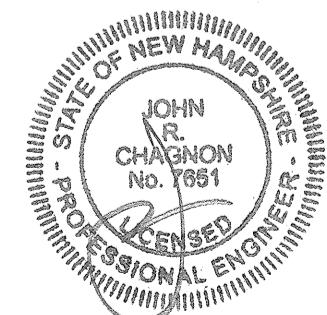
1) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

2) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.

3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

**PROPOSED SUBDIVISION
 CLIPPER TRADERS, LLC
 105 BARTLETT STREET
 PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
0	ISSUED FOR APPROVAL	10/16/18
REVISIONS		



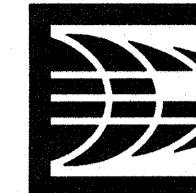
SCALE: AS NOTED FEBRUARY 2018

SEWER DETAILS

D5

APPROVED BY THE PORTSMOUTH PLANNING BOARD

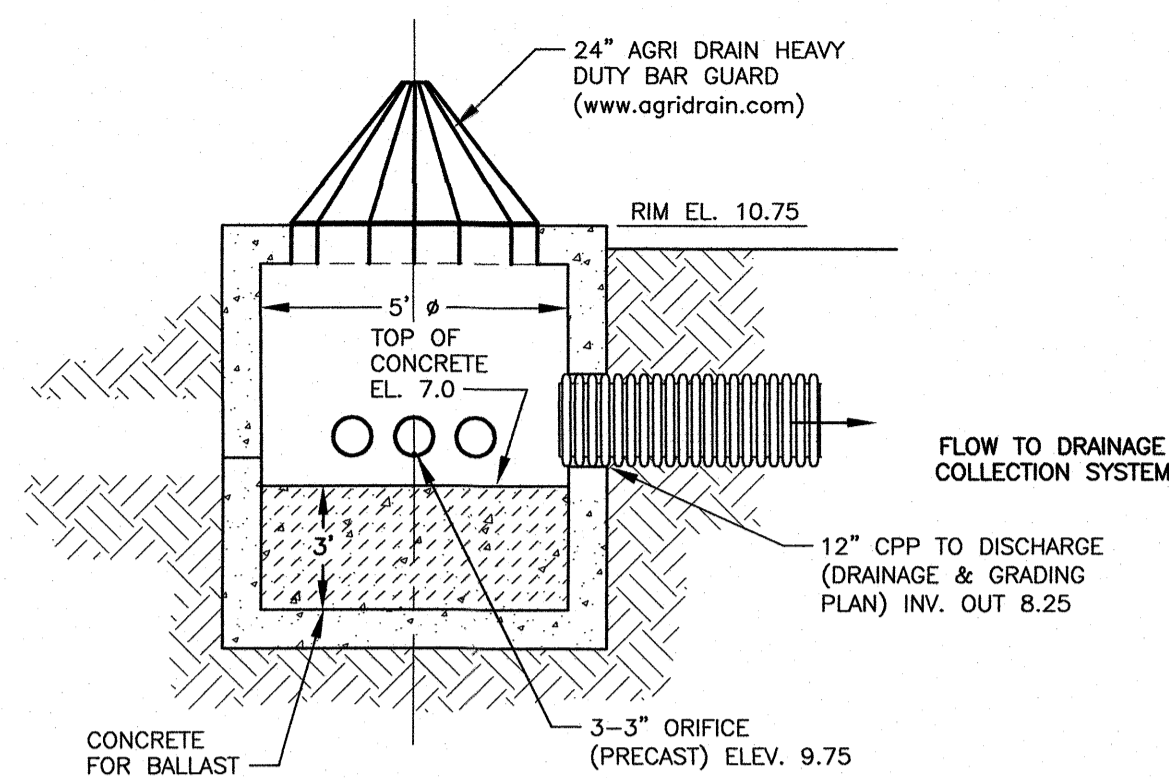
CHAIRMAN _____ DATE _____



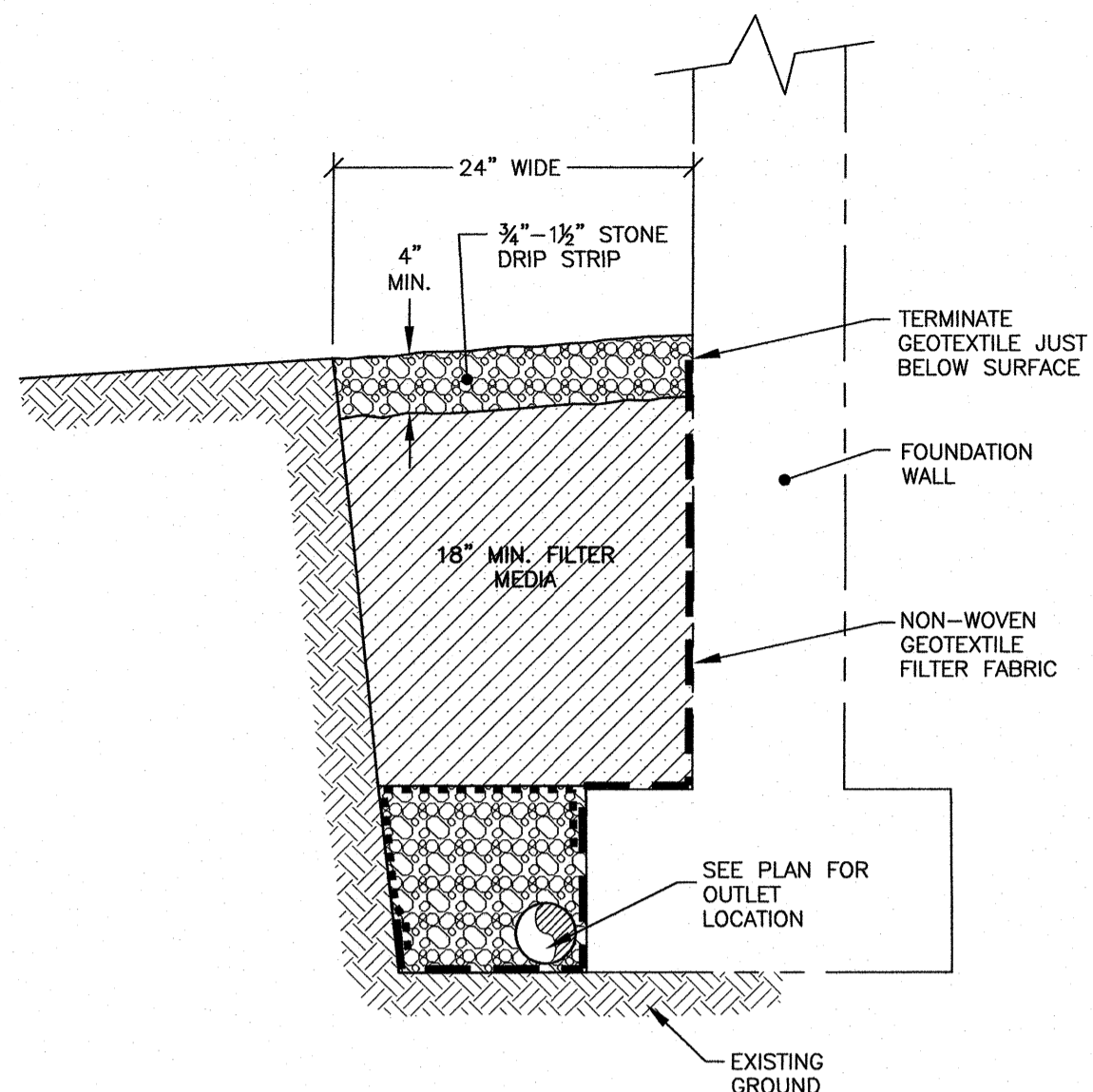
AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315



EE FOREBAY OUTLET CONTROL STRUCTURE
C10 NTS



BB STONE DRIP APRON
C10 (UNDER BUILDING DRIP LINE) NTS

SAND SPECIFICATION	
SIEVE SIZE	ASTM C33 FINE AGGREGATE SPECIFICATION
3/8"	100
#4	95-100
#8	80-100
#10	50-85
#16	50-85
#30	25-60
#40	50-85
#50	5-30
#100	0-10

FILTER MEDIA	
SOIL FILTER LAYER: 20% - 30% MULCH BY VOLUME, MIXED THOROUGHLY WITH LOAMY, COARSE SAND (70% - 80% BY VOLUME) MEETING THE FOLLOWING GRADATION:	
SIEVE NO.	% BY WEIGHT, PASSING
10	85 - 100
20	70 - 100
60	15 - 40
200	8 - 15

FILTRATION MAINTENANCE
SOILS: VISUALLY INSPECT AND REPAIR EROSION MONTHLY. USE SMALL STONES TO STABILIZE EROSION ALONG DRAINAGE PATHS. CHECK THE pH ONCE OR TWICE A YEAR. APPLY AN ALKALINE PRODUCT, SUCH AS LIMESTONE, IF NEEDED.

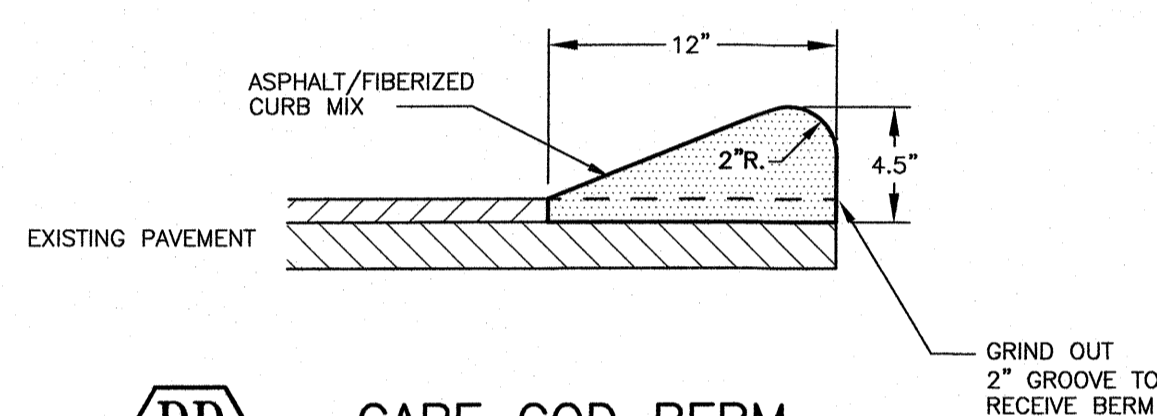
IF FILTRATION BASIN FAILS TO EMPTY 72 AFTER A RAINFALL, THE BASIN SHALL BE INSPECTED. IF AFTER INSPECTION IT IS DETERMINED THAT THE ENGINEERED SOIL HAS CLOGGED, THE ENGINEERED SOIL SHALL BE REPLACED. IN THE EVENT OF SOIL REPLACEMENT IN THE FILTRATION BASIN, AN AIRSPADE SHALL BE USED, TO CAREFULLY REMOVE THE SOILS SURROUNDING THE TREE ROOTS. TREE ROOTS ARE TO BE PROTECTED FROM DRYING OUT DURING THE PLACEMENT OF NEW SOILS AND NEW SOILS ARE TO BE REPLACED IMMEDIATELY UPON EXPOSING THE ROOT SYSTEMS.

FILTRATION CONSTRUCTION
SOILS: DO NOT COMPACT SOIL. HAND RAKE STONE, PEA STONE AND MULCH LAYERS.

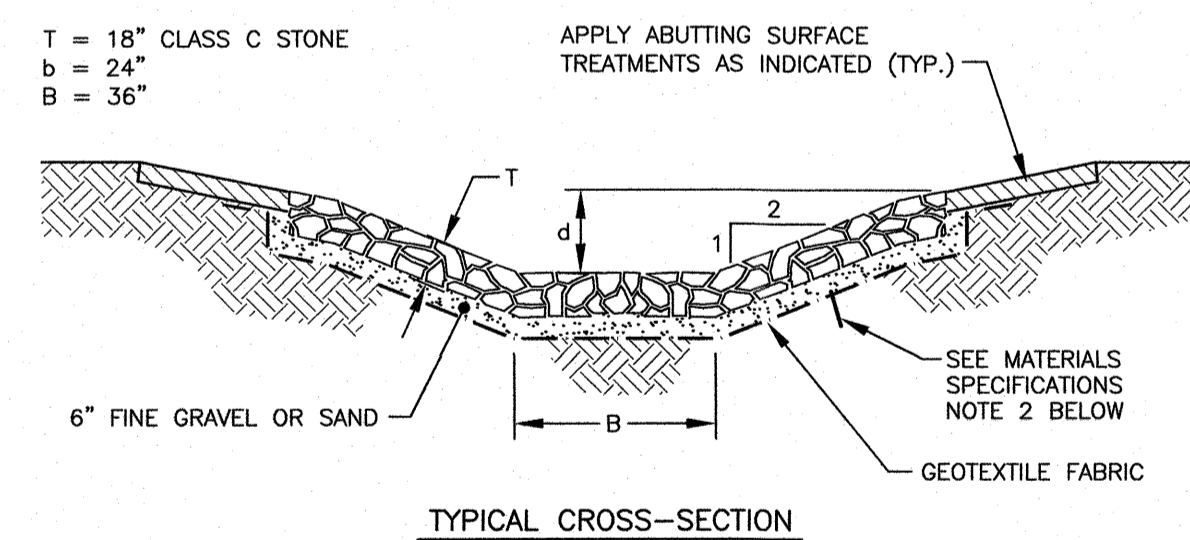
FILTRATION CONSTRUCTION INSPECTION
INSPECT EACH LAYER OF CONSTRUCTION: CONTACT THE PORTSMOUTH DEPARTMENT OF PUBLIC WORKS FOR INSPECTIONS DURING THE CONSTRUCTION PROCESS. CALL FOR INSPECTION BEFORE FILLING EXCAVATION WITH STONE, PEA STONE AND MULCH.

NOTES:

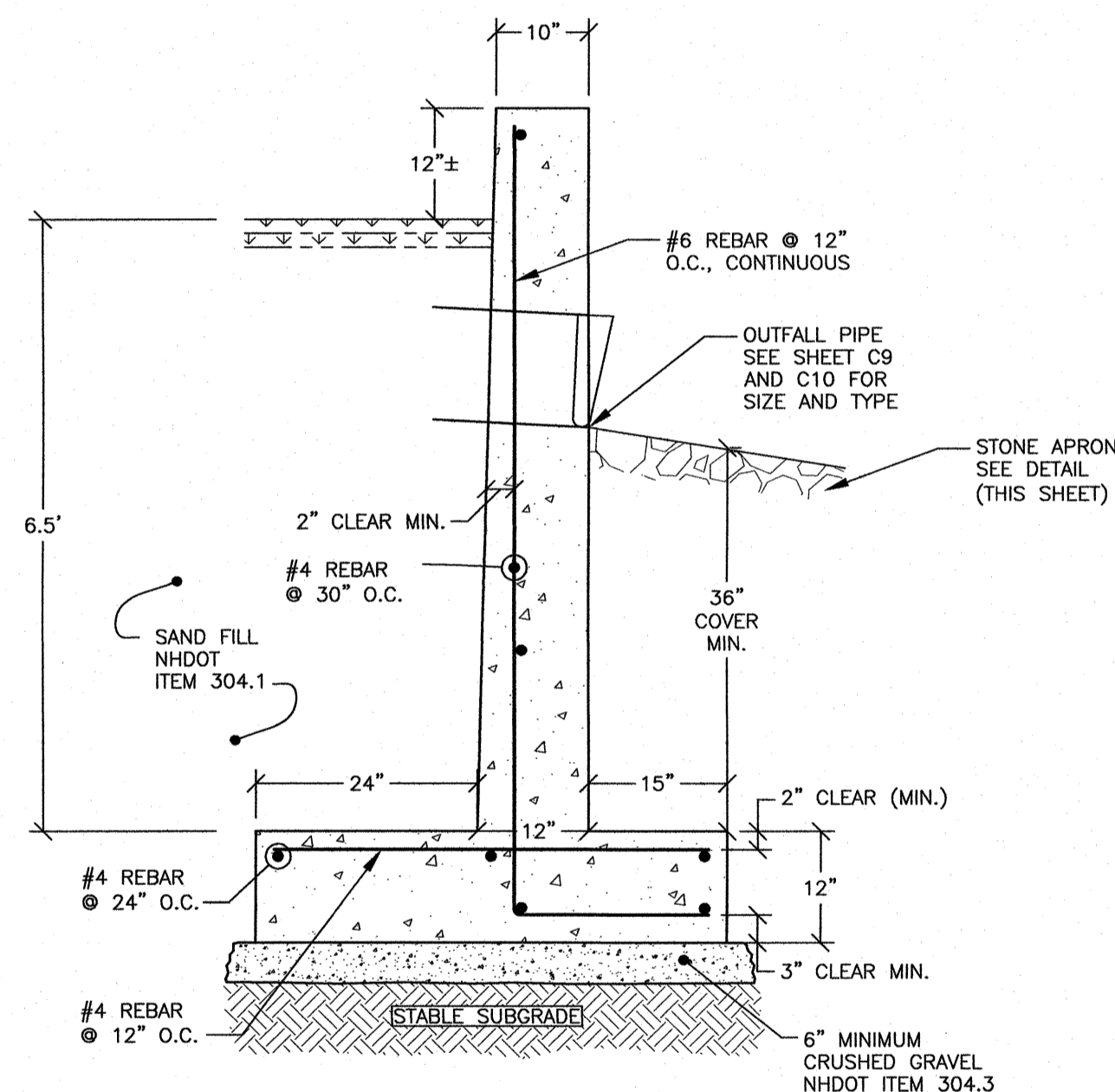
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DD CAPE COD BERM
C10 NTS



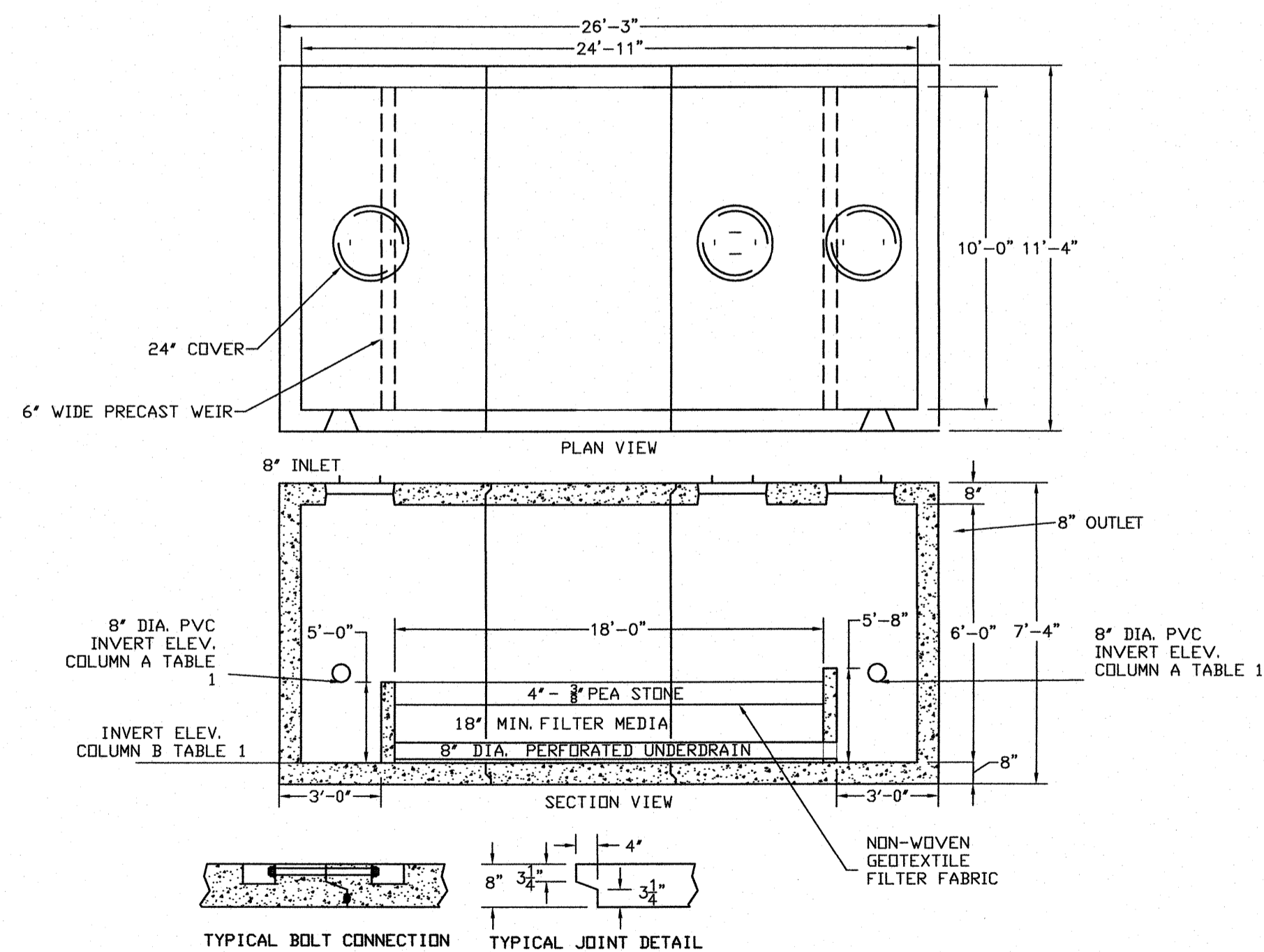
FF RIP RAP LINED OUTLET
C9 C10 NTS



- NOTES:
- 1) NO SPlicing OF VERTICAL BARS.
 - 2) SPlice LENGTHS OF HORIZONTAL BARS SHALL BE 24".
 - 3) 3,000 PSI CONCRETE @28 DAYS.

GG RETAINING WALL DETAIL
C9 C10 (CAST IN PLACE) NTS

FINAL STAMPED DESIGN TO BE SUBMITTED FOR APPROVAL



- NOTES:
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGN CONFORMS WITH 310 CMR 15.00, DEP TITLE 5 REGS, FOR SEPTIC TANKS.
 3. ALL REINFORCEMENT PER ASTM A-615
 4. DESIGNED FOR AASHTO HS-20 LOADING, 2 TO 5 FEET COVER.
 5. PIPES AND FILTER MEDIA PROVIDED BY SITE CONTRACTOR.
 6. TONGUE AND GROOVE JOINT SEALED WITH BUTYL RESIN AND BOLTED WITH 3/4" DIA BOLTS.

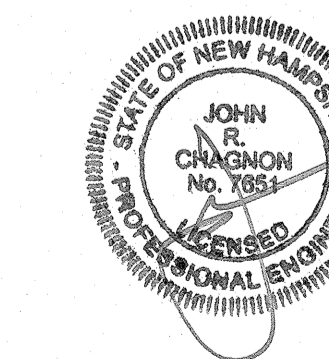
TABLE 1		
SYSTEM	A	B
1	5.81	0.81
2	5.32	0.32
3	6.58	1.58

HH UNDERGROUND SAND FILTER
C9 C10 NTS

PROPOSED SUBDIVISION
CLIPPER TRADERS, LLC
105 BARTLETT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	DETAIL BB, EE, FF, GG,	11/6/18
0	ISSUED FOR APPROVAL	10/16/18

REVISIONS



SCALE: AS NOTED FEBRUARY 2018

DETAILS

D6