

HOEFLE, PHOENIX, GORMLEY & ROBERTS, PLLC

ATTORNEYS AT LAW

127 Parrott Avenue | Portsmouth, NH, 03801
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June 24, 2026

HAND DELIVERED

Stefanie Casella, Planner
Portsmouth City Hall
1 Junkins Avenue
Portsmouth, NH 03801

Re: Brendan A. & Kaitlyn O. West, Owner/Applicant
315 Bartlett Street/Map 162, Lot 12
General Residence A Zone

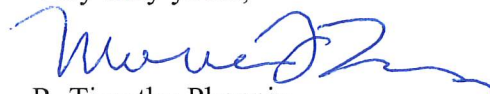
Dear Ms. Casella, Chair Margeson, and Zoning Board Members:

On behalf of Owners and Applicants, Brendan A. & Kaitlyn O. West ("West"), enclosed please find the following in support of a request for zoning relief:

- Digital Application submitted earlier today.
- Owner's Authorization.
- 6/24/2026 – Memorandum and exhibits in support of Variance Application

We look forward to presenting this application to the Zoning Board at its July 21, 2026 meeting.

Very truly yours,



R. Timothy Phoenix
Monica F. Kieser

Encl.

cc: Brendan & Kaitlyn West
Ross Engineering, LLC
Esoteric Designs, Inc.

DANIEL C. HOEFLE	ALEC L. MCEACHERN	PETER V. DOYLE	MATTHEW J. COWAN
R. TIMOTHY PHOENIX	KEVIN M. BAUM	MONICA F. KIESER	STEPHEN H. ROBERTS In Memoriam
LAWRENCE B. GORMLEY	JACOB J.B. MARVELLEY	CHRISTOPHER P. MULLIGAN	OF COUNSEL:
R. PETER TAYLOR	GREGORY D. ROBBINS	STEPHANIE J. JOHNSON	SAMUEL REID & JOHN AHLGREN

OWNER'S AUTHORIZATION

We, Brendan & Kaitlyn West, Owners/Applicants of 315 Bartlett Street, Tax Map 162/Lot 12, hereby authorize law firm Hoefle, Phoenix, Gormley & Roberts, PLLC to represent me before any and all City of Portsmouth Representatives, Boards and Commissions for permitting the project.

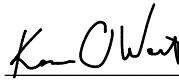
Respectfully submitted,

Date: 06/18/2026

A handwritten signature in black ink, appearing to read 'B. West', written over a horizontal line.

Brendan West

Date: 06/18/2026

A handwritten signature in black ink, appearing to read 'K. West', written over a horizontal line.

Kaitlyn West

MEMORANDUM

TO: Portsmouth Zoning Board of Adjustment
FROM: R. Timothy Phoenix, Esquire
Monica F. Kieser, Esquire
DATE: June 24, 2026
RE: Brendan A. & Kaitlyn O. West, Owner/Applicant
315 Bartlett Street/Map 162, Lot 12
General Residence A Zone

Dear Chair Margeson and Zoning Board Members:

On behalf of Brendan & Kaitlyn West (“West”), we are pleased to submit this memorandum and attached exhibits in support of West’s request for relief from the Portsmouth Zoning Ordinance (“PZO” or “the Ordinance”) to be considered by the Zoning Board of Adjustment (“ZBA”) at its July 21, 2026.

I. EXHIBITS

- A. Plan Set – issued by Ross Engineering, LLC.
- B. Rockingham County Registry of Deeds:
Book 543, Page 374.
Book 6700, Page 358.
- C. Architectural Plan Set – Esoteric Residential Design, Inc.
- D. Site Photographs.
- E. Tax Map 162.

II. PROPERTY/PROJECT

315 Bartlett Street is a 9,481 square foot lot with a 59.53 linear feet of frontage (“the Property”). The lot supports a single-family residential use in a small, one-story, two-bedroom, single-family home (946 s.f.) and deck/landings (170 s.f.). **(Exhibit A)**. The lot has been described in a deed in its current configuration since 1894. **(Exhibit B)**. The existing house is 9.9. feet from the left side lot line and was constructed in 1975 according to the tax card.

West intends to remove the existing ranch home and construct a new home on the same foundation, expanding it to include an incorporated one-car garage and living space above (“the Project”). The new home will comply with height, open space, building coverage, and front and rear yard requirements and maintains the left-side yard setback to the home will remain the same. The Project requires relief to accommodate the expansion/reconstruction of the home in the left-side yard and the garage addition in the right-side yard setback.

Because the existing home is removed to the foundation and the lot may have been held in common ownership with other lots prior to 1966, relief may be required from frontage requirements to re-establish the permitted use on the same foundation after intentional demolition of the existing walls and roof. See PZO §10.311-12 and PZO §10.312.22. We question whether relief is necessary, but include the request in an abundance of caution.

III. RELIEF REQUIRED:

<u>Variance Section</u>	<u>Existing</u>	<u>Proposed</u>
<u>PZO §10.520/Table §10.521:</u> <u>Dimensional Standards</u> <u>10' Side Yard</u>	9.9' house (left) >10' deck (right)	9.9' house (left) 9.9' rear porch 6.1' sub-grade stairs (left) ¹ 7.2' garage (right)
<u>PZO §10.520/Table §10.521:</u> <u>Dimensional Standards</u> <u>100' street frontage</u>	±60' since 1894 home added in 1975	±60' new home

V. VARIANCE REQUIREMENTS

- 1. The variances will not be contrary to the public interest.**
- 2. The spirit of the ordinance is observed.**

The first step in the ZBA's analysis is to determine whether granting a variance is not contrary to the public interest and is consistent with the spirit and intent of the ordinance, considered together pursuant to Malachy Glen Associates, Inc. v. Town of Chichester, 155 N.H. 102 (2007) and its progeny. Upon examination, it must be determined whether granting a variance "would unduly and to a marked degree conflict with the ordinance such that it violates the ordinance's basic zoning objectives." Id. "Mere conflict with the zoning ordinance is not enough." Id.

¹ We include the request for the basement stairs on the left-side of the home in an abundance of caution. These basement egress stairs are below grade and occupy 50 square feet. Accordingly, they meet the Ordinance 5-foot setback requirement for stoops and stairs less than 3 feet high occupying less than 100 square feet. PZO 10.516.40.

Portsmouth Zoning Ordinance (“PZO”) Section 10.121 identifies the general purposes and intent of the ordinance “to promote the health, safety, and general welfare of Portsmouth...in accordance with the...Master Plan” This is accomplished by regulating:

1. The use of land, buildings and structures for business, industrial, residential and other purposes – The Project replaces a modest ranch on a lot that has existed since 1894 with a classically designed, code-compliant, single-family home with incorporated one-car garage.
2. The intensity of land use, including lot sizes, building coverage, building height and bulk, yards and open space – Open space, building coverage, height, and front/rear yard setbacks comply, while side yard setbacks match conditions in the area.
3. The design of facilities for vehicular access, circulation, parking and loading – No change.
4. The impact on properties on of outdoor lighting, noise, vibration, stormwater runoff and flooding – Use of the property will not change.
5. The preservation and enhancement of the visual environment – The existing outdated ranch will be replaced with tastefully designed home and incorporated one-car garage.
6. The preservation of historic districts and building and structures of historic architectural interest – The Property is not in the Historic Overlay District.
7. The protection of natural resources, including groundwater, surface water, wetlands, wildlife habitat and air quality – The Property is a previously developed lot and the Project is not in the vicinity of any wetlands.

In considering whether variances “in a marked degree conflict with the ordinance such that they violate the ordinance’s basic zoning objectives.” Malachy Glen, supra, also held:

One way to ascertain whether granting the variance would violate basic zoning objectives is to examine whether it would alter the essential character of the locality.... . Another approach to [determine] whether granting the variance violates basic zoning objectives is to examine whether granting the variance would threaten the public health, safety or welfare. (emphasis added)

Here, the Property meets lot area requirements and contains an existing modest single-family home which will be reconstructed and expanded to include a single-car garage. The Lot size and frontage remain the same. Open space, building coverage, front and rear yard setbacks all comply while side yard setbacks are comparable to others in the area. Accordingly, the Project will neither “alter the essential character of the locality nor threaten the public health, safety or welfare.”

3. Substantial justice will be done by granting the variance.

If “there is no benefit to the public that would outweigh the hardship to the applicant” this factor is satisfied. Harborside Associates, L.P. v. Parade Residence Hotel, L.L.C., 162 N.H. 508 (2011). That is, “any loss to the [applicant] that is not outweighed by a gain to the general public is an injustice.” Malachy Glen, supra at 109. West is constitutionally entitled to the use of the lot as they see fit; including reconstruction of a code-compliant, permitted single-family home with an incorporated garage, meeting all dimensional requirements except for frontage, which cannot be changed, and side yard requirements. “The right to use and enjoy one's property is a fundamental right protected by both the State and Federal Constitutions.” N.H. CONST. pt. I, arts. 2, 12; U.S. CONST. amends. V, XIV; Town of Chesterfield v. Brooks, 126 N.H. 64 (1985) at 68. Part I, Article 12 of the New Hampshire Constitution provides in part that “no part of a man's property shall be taken from him, or applied to public uses, without his own consent, or that of the representative body of the people.” Thus, our State Constitutional protections limit the police power of the State and its municipalities in their regulation of the use of property. L. Grossman & Sons, Inc. v. Town of Gilford, 118 N.H. 480, 482 (1978). “Property” in the constitutional sense has been interpreted to mean not the tangible property itself, but rather the right to possess, use, enjoy and dispose of it. Burrows v. City of Keene, 121 N.H. 590, 597 (1981). (emphasis added).

The Supreme Court has held that zoning ordinances must be reasonable, not arbitrary and must rest upon some ground of difference having fair and substantial relation to the object of the regulation. Simplex Technologies, Inc. v. Town of Newington, 145 N.H. 727, 731 (2001); Chesterfield at 69.

Because the lot meets area requirements, frontage matches the surrounding area and the lot has been developed with a home, there is no harm from reestablishing a permitted use on the Property. Similarly, the Project complies with open space, building coverage, height, and front/rear yard requirements, matches the existing dimension from the home to left side lot line, and proposes a right-side yard setback similar to others in the area. Accordingly, there is no benefit to the public from denying the variances. Conversely, West will suffer great harm from denial because they will be unable to replace the dated ranch with a new, code-compliant home

with incorporated garage. There is no benefit to public that outweighs the hardship to the applicant if the variances are denied.

4. Granting the variance will not diminish surrounding property values.

The Project significantly improves the Property with a new, code-compliant home while complying with open space, building overage, height, and front/rear yard setbacks. Relief is required solely from frontage, which has existed since 1894 and supported a home from at least 1975. The proposed left-side side yard matches existing conditions, while the right-side yard setback proposed is common for the small lots in the area and the homes that have been expanded with garages. **(Exhibit E)**. Under these circumstances, granting a variance for the newly designed home and garage addition will not diminish surrounding property values.

5. Denial of the variances results in an unnecessary hardship.

a. Special conditions distinguish the property/project from others in the area.

The Property contains sufficient lot area, but the parcel's frontage does not meet today's requirements. The parcel's depth is disproportionate to its frontage and results in a long narrow lot. These circumstances, along with the location on Bartlett Street and need to accommodate as much parking as possible, combine to create special conditions.

b. No fair and substantial relationship exists between the general public purposes of the ordinance and its specific application in this instance.

Yard setbacks and frontage exist to promote air, light, separation between neighbors, maintain sightlines and to provide space for stormwater treatment. The frontage proposed is identical to what has existed since 1984 and has long supported a modest home. The existing home, 9.9 feet from the left-side lot line, is nearly compliant so the change from the larger home is minimal. On the right side, the incorporation of the one care garage slightly intrudes on the right-side yard setback, but the Project matches neighborhood conditions and allows ample room for air, light, separation between neighbors and space for stormwater treatment. Accordingly, the purposes of these regulations are met, so there is no reason to apply the strict side setback requirements of the zoning ordinance.

c. The proposed use is reasonable.

If the use is permitted, it is deemed reasonable. Vigeant v. Hudson, 151 N.H. 747 (2005). The Project provides a reconstructed home and garage addition, significantly improving

functionality of a modest single-family home in the GRA and enhancing one of the main throughfares into the City. Accordingly, the use is reasonable.

VI. CONCLUSION

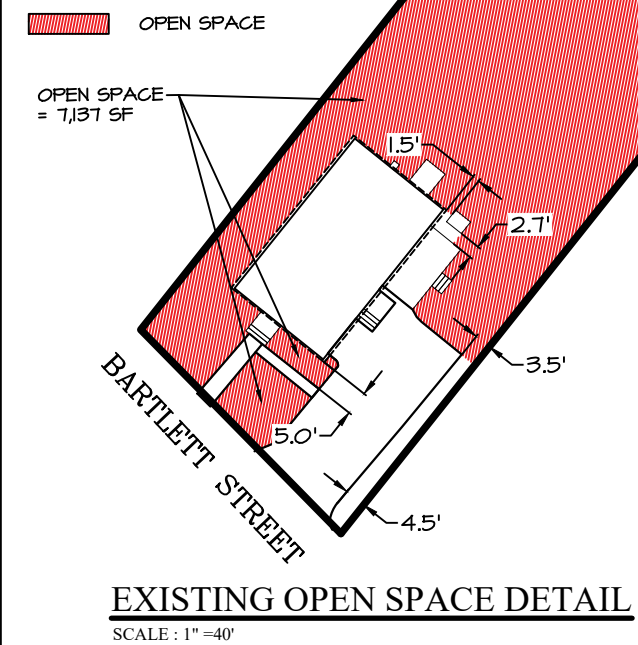
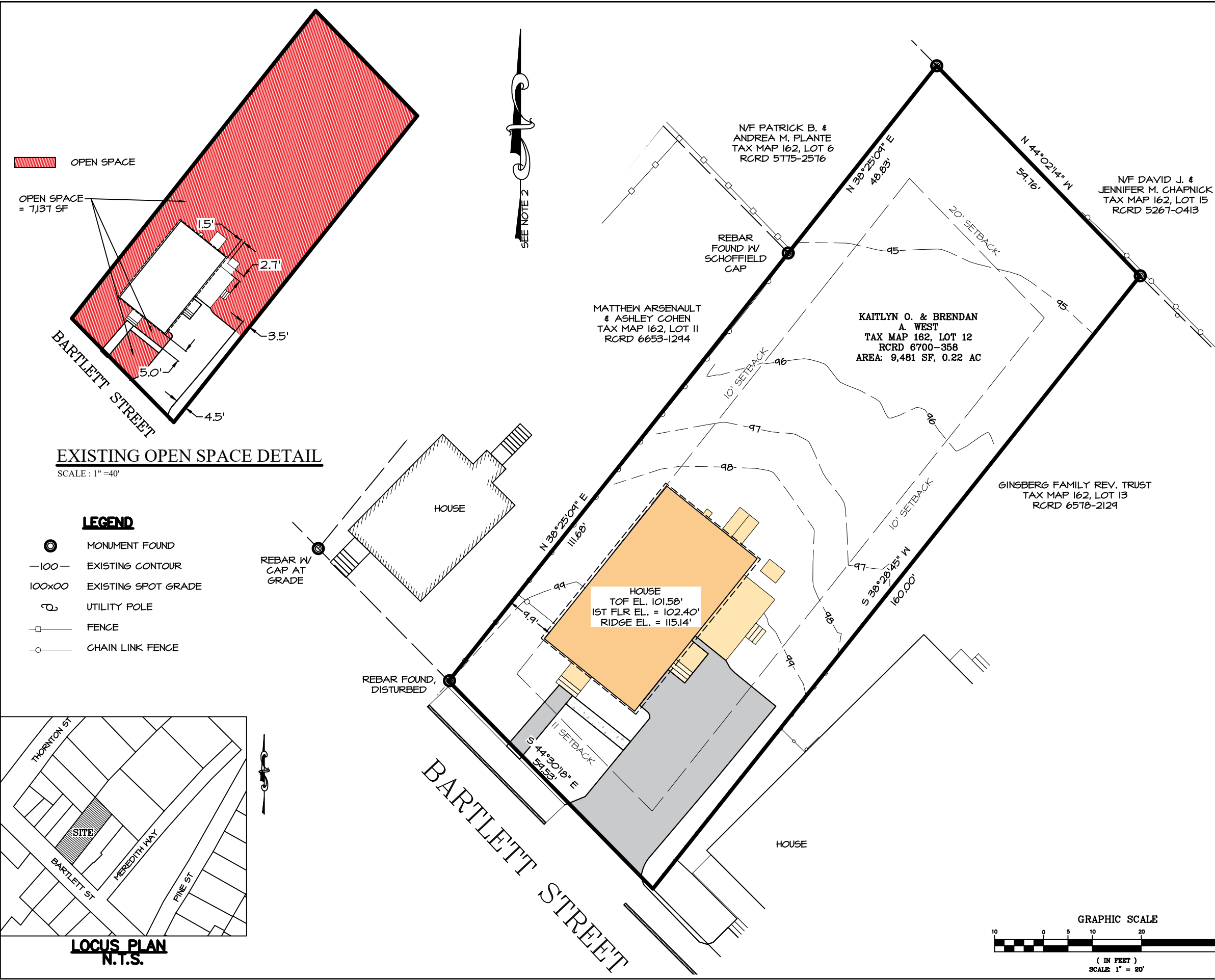
For all of the reasons stated, West respectfully requests that the Portsmouth Zoning Board of Adjustment grant all requested variances. We look forward to presenting this application at the July 21, 2026 Meeting.

Respectfully submitted,

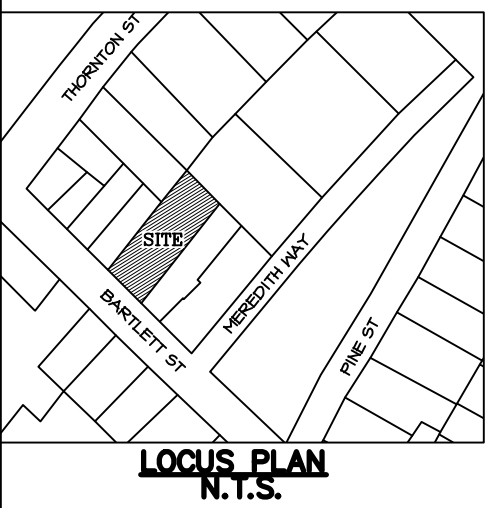
BRENDAN & KAITLYN WEST

A handwritten signature in blue ink, appearing to read "Monica F. Kieser", is written over a horizontal line.

By: R. Timothy Phoenix
Monica F. Kieser



- LEGEND**
- MONUMENT FOUND
 - EXISTING CONTOUR
 - EXISTING SPOT GRADE
 - UTILITY POLE
 - FENCE
 - CHAIN LINK FENCE



NOTES

1) OWNER OF RECORD:
KAITLYN O. & BRENDAN A. WEST
315 BARTLETT STREET
PORTSMOUTH, NH 03801
TAX MAP 162, LOT 12
RCRD: 6700-358
AREA: 9,481 SF, 0.22 ACRES

2) BASIS OF BEARING HELD FROM PLAN REFERENCE #1.

3) PARCEL IS IN GENERAL RESIDENCE A (GRA) ZONE:
MINIMUM LOT AREA.....7,500 SF
MIN. LOT AREA PER DWELLING UNIT.....7,500 SF
MINIMUM FRONTAGE.....100 FT
MINIMUM DEPTH.....70 FT
SETBACKS:
FRONT.....11 FT*
SIDE.....10 FT
REAR.....20 FT
MAXIMUM BUILDING HEIGHT:
SLOPED ROOF.....35 FT
FLAT ROOF.....30 FT
MAXIMUM BUILDING COVERAGE.....25%
MINIMUM OPEN SPACE.....30%

*AS PER PORTSMOUTH ZONING ORDINANCE 10.516.10, IF EXISTING PRINCIPAL BUILDINGS ON THE SAME SIDE OF THE SAME STREET, IN THE SAME ZONING DISTRICT, AND WITHIN 200 FEET OF A LOT ARE LOCATED CLOSER TO THE STREET THAN THE MINIMUM REQUIRED FRONT YARD SPECIFIED IN THIS ARTICLE, THE REQUIRED FRONT YARD FOR THE PRINCIPAL BUILDING ON SUCH LOT SHALL BE THE AVERAGE OF THE EXISTING ALIGNMENTS OF ALL SUCH PRINCIPAL BUILDINGS, ROUNDED TO THE NEAREST FOOT. FOR THE PURPOSES OF THIS PROVISION, BUILDINGS ON THE SUBJECT LOT SHALL NOT BE INCLUDED IN THE AVERAGE OF EXISTING ALIGNMENTS.

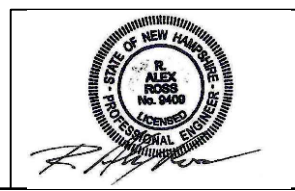
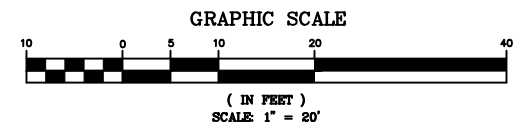
THE DISTANCE FROM THE PRINCIPAL BUILDING TO BARTLETT ST FOR ALL LOTS WITHIN 200' OF LOT 12 ARE LISTED BELOW.

TAX MAP 162, LOT 8 - 27.4'
TAX MAP 162, LOT 9 - 5.4'
TAX MAP 162, LOT 10 - 6.1'
TAX MAP 162, LOT 11 - 6.9'
TAX MAP 162, LOT 13 - 13.3'
TAX MAP 162, LOT 14 - 4.5'
AVERAGE OF LOTS = 27.4+5.4+6.1+6.9+13.3+4.5/6 = 10.6'
REQUIRED FRONT SETBACK = 11'

4) THE PARCEL IS NOT WITHIN A FEMA SPECIAL HAZARD FLOOD AREA (SFHA), AS PER FLOOD INSURANCE RATE MAP #33015C0254F, PANEL 254 OF 681, DATED JANUARY 29, 2021. VERTICAL DATUM IS NAVD 1988.

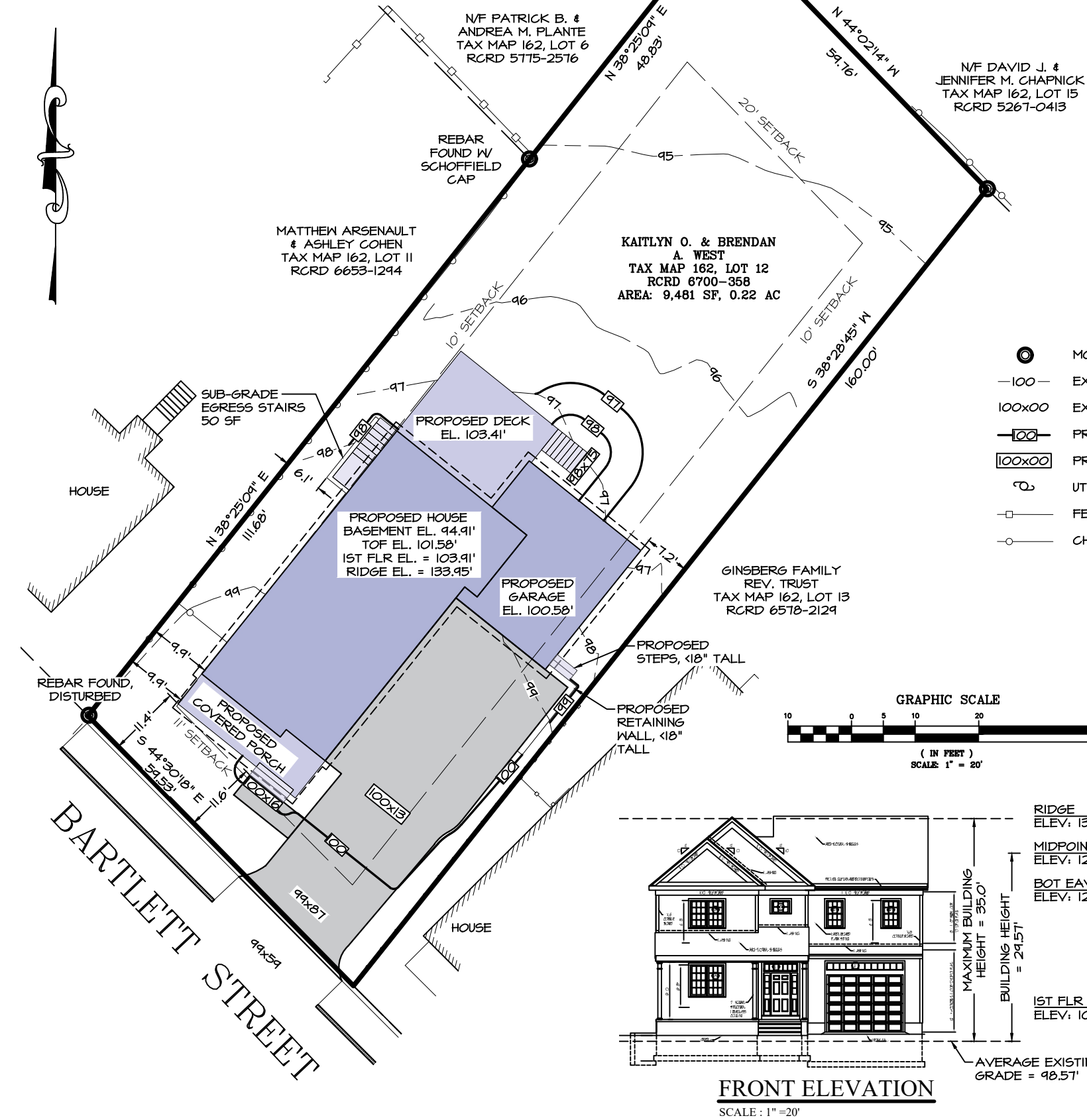
EXHIBIT A

1	6/24/2026	ZBA SUBMITTAL
ISS.	DATE	DESCRIPTION OF ISSUE
SCALE	1" = 20'	
CHECKED	A.ROSS	
DRAWN	J.G.E.	
ROSS ENGINEERING, LLC Civil/Structural Engineering & Surveying 650 Idington St, 2nd Floor Portsmouth, NH 03801 (603) 433-7560		
CLIENT KAITLYN & BRENDAN WEST 315 BARTLETT STREET PORTSMOUTH, NH 03801		
TITLE EXISTING CONDITIONS PLAN 315 BARTLETT STREET PORTSMOUTH, NH 03801 TAX MAP 162, LOT 12		
JOB NUMBER	DWG. NO.	ISSUE
26-046	1 OF 3	1



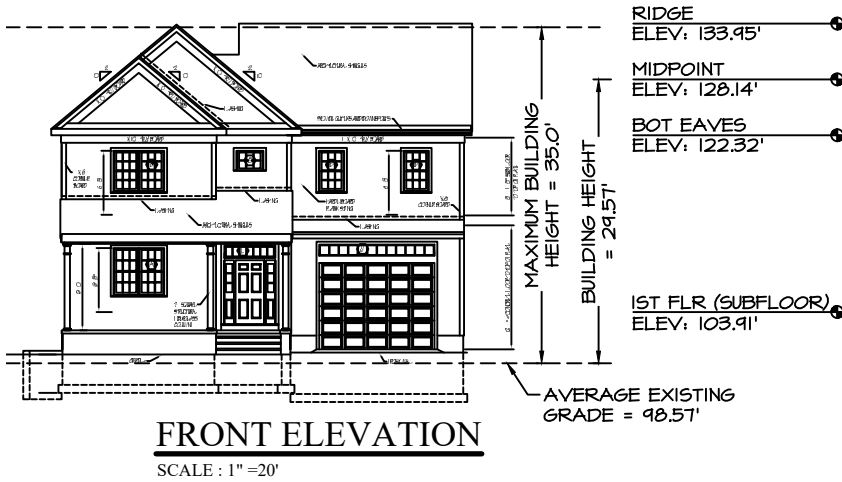
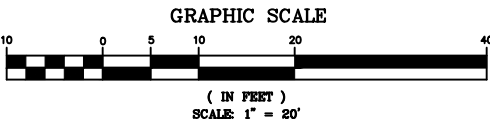
VARIANCES REQUIRED

SETBACKS	REQUIRED	EXISTING	PROPOSED
LEFT SIDE PROPERTY LINE TO PORCH	10'	N/A	9.9'
LEFT SIDE PROPERTY LINE TO FOUNDATION	10'	9.9'	9.9'
RIGHT SIDE PROPERTY LINE TO GARAGE	10'	N/A	7.2'



LEGEND

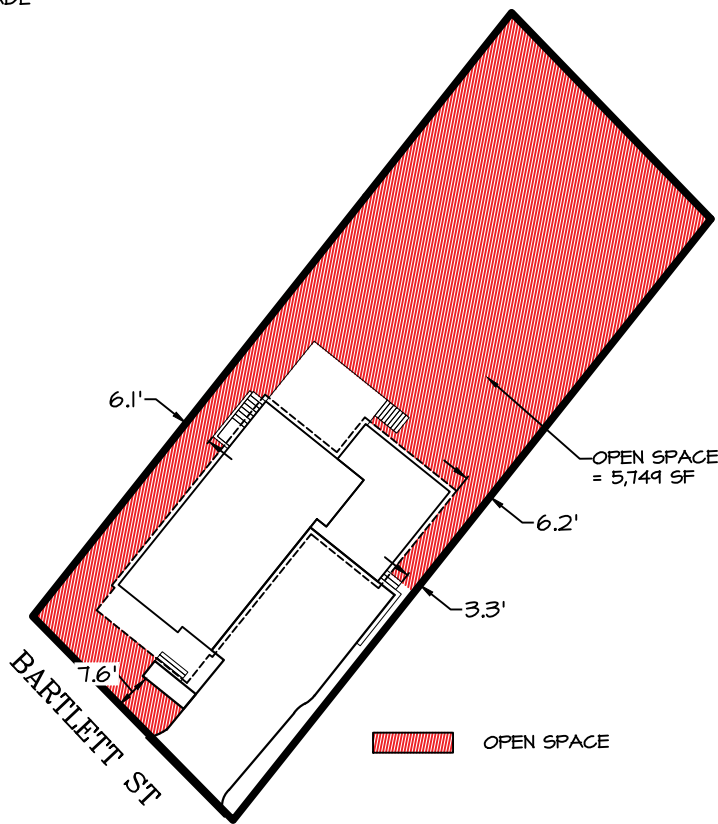
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MINIMUM DEPTH.....70 FT
SETBACKS:
FRONT.....11 FT*
SIDE.....10 FT
REAR.....20 FT
MAXIMUM BUILDING HEIGHT:
SLOPED ROOF.....35 FT
FLAT ROOF.....30 FT
MAXIMUM BUILDING COVERAGE.....25%
MINIMUM OPEN SPACE.....30%
- OPEN SPACE
EXISTING
SEE EXISTING OPEN SPACE DETAIL. EXISTING OPEN SPACE IS 7,137 SF.
OPEN SPACE = 7137 / 9481 = 75.3%
- PROPOSED
SEE PROPOSED OPEN SPACE DETAIL. PROPOSED OPEN SPACE IS 5,731 SF.
OPEN SPACE = 5744 / 9481 = 60.6%

- BUILDING COVERAGE
EXISTING
HOUSE.....946 SF
CHIMNEY.....2 SF
BULKHEAD.....30 SF
DECKS & LANDINGS > 18".....170 SF
STAIRS > 18".....7 SF
TOTAL.....1,155 SF
BUILDING COVERAGE = 1155 / 9481 = 12.2%
PROPOSED
HOUSE.....1179 SF
GARAGE.....443 SF
COVERED PORCH.....148 SF
DECKS.....311 SF
STAIRS > 18".....23 SF
TOTAL.....2,104 SF
BUILDING COVERAGE = 2104 / 9481 = 22.3%
- AVERAGE EXISTING GRADE:
AS PER PORTSMOUTH ZONING ORDINANCE THE AVERAGE EXISTING GRADE SHALL BE THE AVERAGE GROUND LEVELS ADJOINING THE BUILDING AT ALL EXTERIOR WALLS MEASURED EVERY FIVE FEET AROUND THE PERIMETER OF THE BUILDING.
THE AVERAGE EXISTING GRADE WAS CALCULATED AS 98.57'.
- BUILDING HEIGHT:
AS PER PORTSMOUTH ZONING ORDINANCE THE BUILDING HEIGHT SHALL BE THE GREATEST VERTICAL MEASUREMENT BETWEEN THE LOWER AND UPPER REFERENCE POINTS. THE LOWER REFERENCE POINT SHALL BE THE AVERAGE EXISTING GRADE OR AVERAGE FINISHED GRADE, WHICHEVER IS LOWER. THE UPPER REFERENCE POINT FOR GAMBREL, HIP, HIP-TOPPED MANSARD ROOF, OR PENTHOUSE SHALL BE THE ELEVATION MIDWAY BETWEEN THE LEVEL OF EAVES AND THE HIGHEST POINT OF THE ROOF.
AVERAGE EXISTING GRADE = 98.57'
EAVES EL. = 122.32'
RIDGE EL. = 133.95'
MIDPOINT EL. = 133.95 + 122.32 / 2 = 128.14'
BUILDING HEIGHT = 128.14' - 98.57' = 29.57'



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SCALE	1" = 20'		
CHECKED	A.ROSS		
DRAWN	D.D.D.		
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CLIENT KAITLYN & BRENDAN WEST 315 BARTLETT STREET PORTSMOUTH, NH 03801			
TITLE SITE PLAN			
315 BARTLETT STREET PORTSMOUTH, NH 03801 TAX MAP 162, LOT 12			
JOB NUMBER	DWG. NO.	ISSUE	
26-046	2 OF 3	1	

THORNTON STREET

TAX MAP
162, LOT 8

HOUSE

TAX MAP
162, LOT 9

HOUSE

TAX MAP
162, LOT 10

HOUSE

TAX MAP
162, LOT 11

HOUSE

#315
BARTLETT ST
TAX MAP 162,
LOT 12

TAX MAP
162, LOT 13

HOUSE

TAX MAP
162, LOT 14

HOUSE

MEREDITH STREET (PUBLIC)

BARTLETT STREET

27.4'

5.4'

6.1'

6.9'

13.3'

4.5'

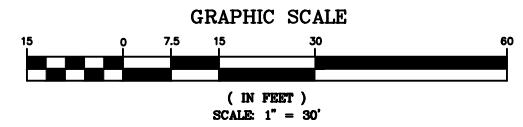
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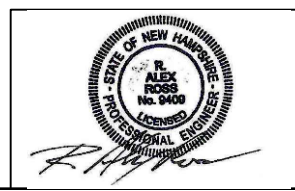
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TITLE SETBACK COMPARISON 315 BARTLETT STREET PORTSMOUTH, NH 03801 TAX MAP 162, LOT 12			
JOB NUMBER	DWG. NO.	ISSUE	
26-046	3 OF 3	1	



26013938 04/23/2026 12:26:52 PM
Book 6700 Page 358 Page 1 of 7
Register of Deeds, Rockingham County

Carly Ann Seavey

LCHIP	ROA738485	25.00
TRANSFER TAX	RO142598	10,050.00
RECORDING		34.00
SURCHARGE		2.00

Return to 
Kaitlyn O. West and Brendan A. West
315 Bartlett Street
Portsmouth, NH 03801

T/S: \$10,050



EXHIBIT B

FIDUCIARY DEED

KNOW ALL MEN BY THESE PRESENTS: That Robert Charles Montville, Executor of The Estate of Mary Ann Deatley AKA Mary Ann De Atley, of 315 Bartlett Street, Portsmouth, NH 03801, by power conferred by the 19th Circuit Court – Probate Division, Brentwood, and every other power, for consideration paid grant to Kaitlyn O. West and Brendan A. West, of 633 Dennett Street, Portsmouth, NH 03801 as Joint Tenants with Rights to Survivorship with FIDUCIARY COVENANTS:

A certain parcel of land, with the buildings thereon, situate in Portsmouth, County of Rockingham and State of New Hampshire, bounded and described as follows:

Beginning on Bartlett Street at the Northwest corner of the lot, at other land of Miriam V. Mullen, and thence running Easterly by land of said Mullen and by land of Helen Davis a distance of 160 feet to land of Laurence E. and Bella M. Robbins; thence turning and running Southerly by land of said Robbins, 60 feet to land of Joseph W. Geiger; thence turning and running Westerly by land of said Geiger and by land of Joseph R. and Marie C. Tosi, 160 feet to Bartlett Street; thence turning and running Northerly by and along said Bartlett Street, 60 feet, more or less, to the point of beginning.

Meaning and intending to describe and convey the same premises conveyed to Michael De Atley and Mary Ann De Atley by virtue of a deed dated July 20, 1973 and recorded in the Rockingham County Registry of Deeds at Book 2206 and Page 1960. Death Certificate for Mary Ann De Atley recorded at Book 6661, Page 1037 of the Rockingham County Registry of Deeds. Death Certificate for Michael De Atley recorded herewith.

This is not homestead property.

Executed this 13th day of April, 2026.

The Estate of Mary Ann Deatley AKA Mary Ann
De Atley

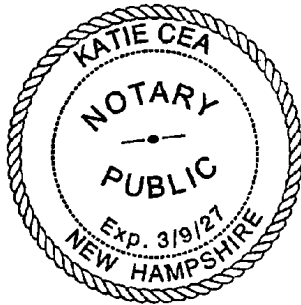
Robert Charles Montville, Executor

Robert Charles Montville, Executor

State of New Hampshire
County of Rockingham

April 13, 2026

Then personally appeared before me on this 13th day of April, 2026, the said Robert Charles Montville, Executor of The Estate of Mary Ann Deatley AKA Mary Ann De Atley and acknowledged the foregoing to be his voluntary act and deed.



[Signature]

Notary Public/Justice of the Peace
Commission expiration: 3/9/27

Know all Men by these Presents,

That S. Mary J. Wain of Portsmouth in the County of Rockingham and State of New Hampshire.

Wain
to
Lester

For and in consideration of the sum of one dollar
to me in hand before the delivery hereof, well and truly paid by

Thomas B. Lester of the same Portsmouth.

Delivered to
S. W. Emery
Mail

the receipt whereof I do hereby acknowledge, have given, granted, bargained and sold, and by these presents do give, grant, bargain, sell, alien, enfeof, convey and confirm unto the said
Thomas B. Lester and his heirs and assigns forever,

A certain parcel of lands situated in Portsmouth aforesaid, and bounded and described as follows: beginning on Bartlett street at the North west corner of the lot and running Easterly one hundred sixty feet to lands of John Beardon, thence running Southerly by lands of John Beardon fifty feet to land of Mary J. Wain, thence running by lands of Mary J. Wain, westerly, one hundred and sixty feet to Bartlett street, and thence Northerly by Bartlett street, sixty feet to the point begun at.

To have and to hold the said granted premises, with all the privileges and appurtenances to the same belonging to him the said Thomas B. Lester and his heirs and assigns, to his and their only proper use and benefit forever. And I the said Mary J. Wain for myself and my heirs, executors and administrators, do hereby covenant, grant and agree, to and with the said Thos. B. Lester and his heirs and assigns, that until the delivery hereof I am the lawful owner of the said premises, and am seized and possessed hereof in my own right in fee simple; and have full power and lawful authority to grant and convey the same in manner aforesaid; that the said premises are free and clear from all and every incumbrance whatsoever; and that I and my heirs, executors and administrators, shall and will warrant and defend the same to the said Thos. B. Lester

and his heirs and assigns, against the lawful claims and demands of any person or persons whomsoever. And I, Joseph Wain, husband of the said Mary J. Wain in consideration aforesaid, do hereby release, discharge and waive all such rights of exemption from attachment and levy or sale on execution, and such other rights whatsoever in said premises, and in each and every part thereof, as our Family Homestead, as are reserved or secured to us, or either of us, by the Statute of the State of New Hampshire, passed July 4, 1851, entitled "an Act to exempt the Homestead of Families from attachment and levy or sale on execution," or by any other Statute or Statutes of said State.

In witness whereof, we have hereunto set our hands and seals this first day of September in the year of our Lord 1894

SIGNED, SEALED AND DELIVERED IN PRESENCE OF US:

S. W. Emery
John Grant

Mary J. Wain
Joseph Wain

State of New Hampshire, Rockingham, ss.

Sept 1.

A. D. 1894.

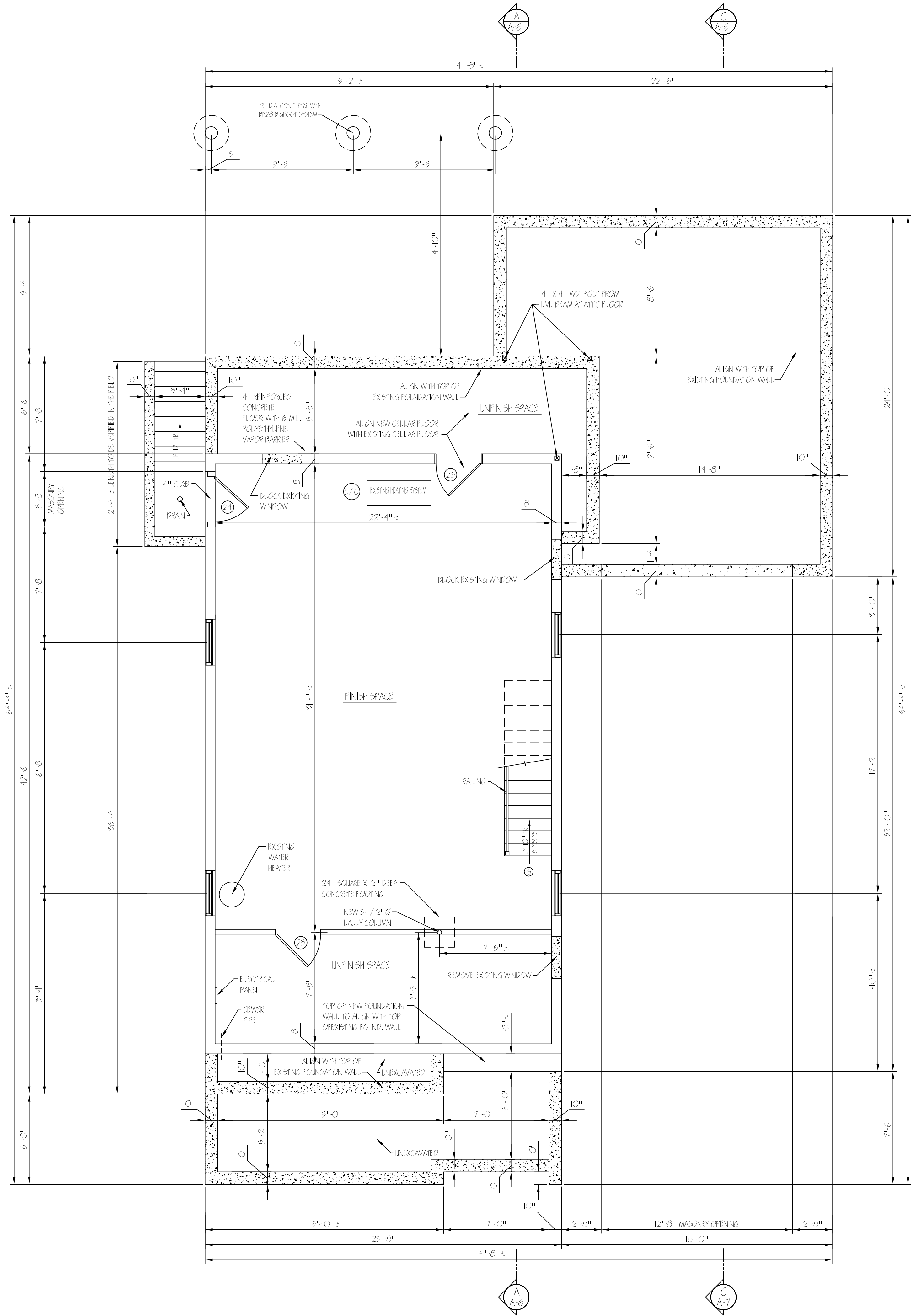
PERSONALLY appeared the above-named Mary J. Wain and Joseph Wain and acknowledged the foregoing instrument to be their voluntary act and deed. Before me,

Samuel W. Emery Justice of the Peace.

Received and Recorded, Oct. 22, 4-40 Pm 1894

William Morrell

Register.



FOUNDATION NOTES:

1. ALL FOOTINGS TO BE ON SOLID SOIL BEARINGS.
2. ALL CONCRETE TO BE 3000#.
3. ALL ANCHOR BOLTS 1/2" DIA. X 16" LONG
J-BOLTS AT 6'-0" O.C.
4. ASPHALT COAT FOUNDATION WALLS FROM FOOTING TO GRADE.
5. TOP OF FOUNDATION WALL TO BE 8" MIN. ABOVE FINISH GRADE.
6. PROVIDE DAMPROOFING AT ALL FOUNDATION WALLS.

⊙ - SMOKE DETECTOR

⊙ - SMOKE / CARBON MONOXIDE DETECTOR

— EXISTING CONCRETE FOUNDATION

— NEW CONCRETE FOUNDATION

COVERED PORCH TOP OF FOUNDATION HEIGHT NOTE:

DETERMINE THE MATERIAL USED FOR THE FINISH FLOOR SO THAT THE FINISH PORCH FLOOR IS 7-3/4" BELOW THE FOYER FLOOR

DEMOLITION NOTE:

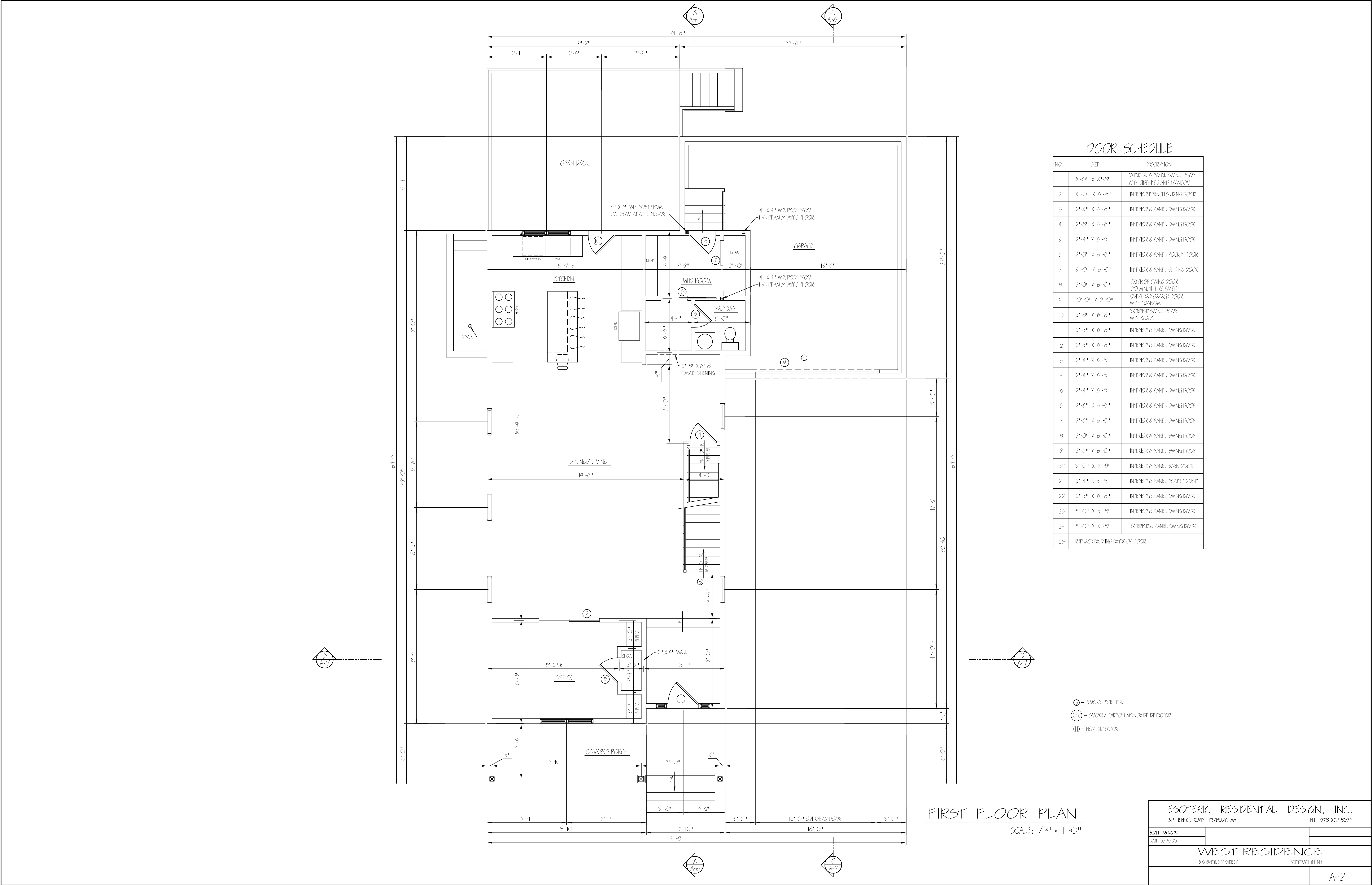
DEMOLISH ALL STRUCTURES ABOVE THE EXISTING TOP OF FOUNDATION WALL.
DEMOLISH ALL EXISTING PARTITIONS, STAIRS AND LALLY COLUMNS IN THE EXISTING CELLAR.

BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

EXHIBIT C

ESOTERIC RESIDENTIAL DESIGN, INC.		
39 HERROCK ROAD PEABODY, MA. PH 1-978-979-8294		
SCALE: AS NOTED		
DATE: 6/5/26		
WEST RESIDENCE		
319 BARLETT STREET PORTSMOUTH, NH		
		A-1



DOOR SCHEDULE		
NO.	SIZE	DESCRIPTION
1	3'-0" X 6'-8"	EXTERIOR 6 PANEL SWING DOOR WITH SIDELITES AND TRANSOM
2	6'-0" X 6'-8"	INTERIOR FRENCH SLIDING DOOR
3	2'-6" X 6'-8"	INTERIOR 6 PANEL SWING DOOR
4	2'-8" X 6'-8"	INTERIOR 6 PANEL SWING DOOR
5	2'-4" X 6'-8"	INTERIOR 6 PANEL SWING DOOR
6	2'-8" X 6'-8"	INTERIOR 6 PANEL POCKET DOOR
7	5'-0" X 6'-8"	INTERIOR 6 PANEL SLIDING DOOR
8	2'-8" X 6'-8"	EXTERIOR SWING DOOR 20 MINUTE FIRE RATED
9	10'-0" X 9'-0"	OVERHEAD GARAGE DOOR WITH TRANSOM
10	2'-8" X 6'-8"	EXTERIOR SWING DOOR WITH GLASS
11	2'-6" X 6'-8"	INTERIOR 6 PANEL SWING DOOR
12	2'-6" X 6'-8"	INTERIOR 6 PANEL SWING DOOR
13	2'-4" X 6'-8"	INTERIOR 6 PANEL SWING DOOR
14	2'-4" X 6'-8"	INTERIOR 6 PANEL SWING DOOR
15	2'-4" X 6'-8"	INTERIOR 6 PANEL SWING DOOR
16	2'-6" X 6'-8"	INTERIOR 6 PANEL SWING DOOR
17	2'-6" X 6'-8"	INTERIOR 6 PANEL SWING DOOR
18	2'-8" X 6'-8"	INTERIOR 6 PANEL SWING DOOR
19	2'-6" X 6'-8"	INTERIOR 6 PANEL SWING DOOR
20	3'-0" X 6'-8"	INTERIOR 6 PANEL BARN DOOR
21	2'-4" X 6'-8"	INTERIOR 6 PANEL POCKET DOOR
22	2'-6" X 6'-8"	INTERIOR 6 PANEL SWING DOOR
23	3'-0" X 6'-8"	INTERIOR 6 PANEL SWING DOOR
24	3'-0" X 6'-8"	EXTERIOR 6 PANEL SWING DOOR
25	REPLACE EXISTING EXTERIOR DOOR	

- ① - SMOKE DETECTOR
② - SMOKE / CARBON MONOXIDE DETECTOR
③ - HEAT DETECTOR

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

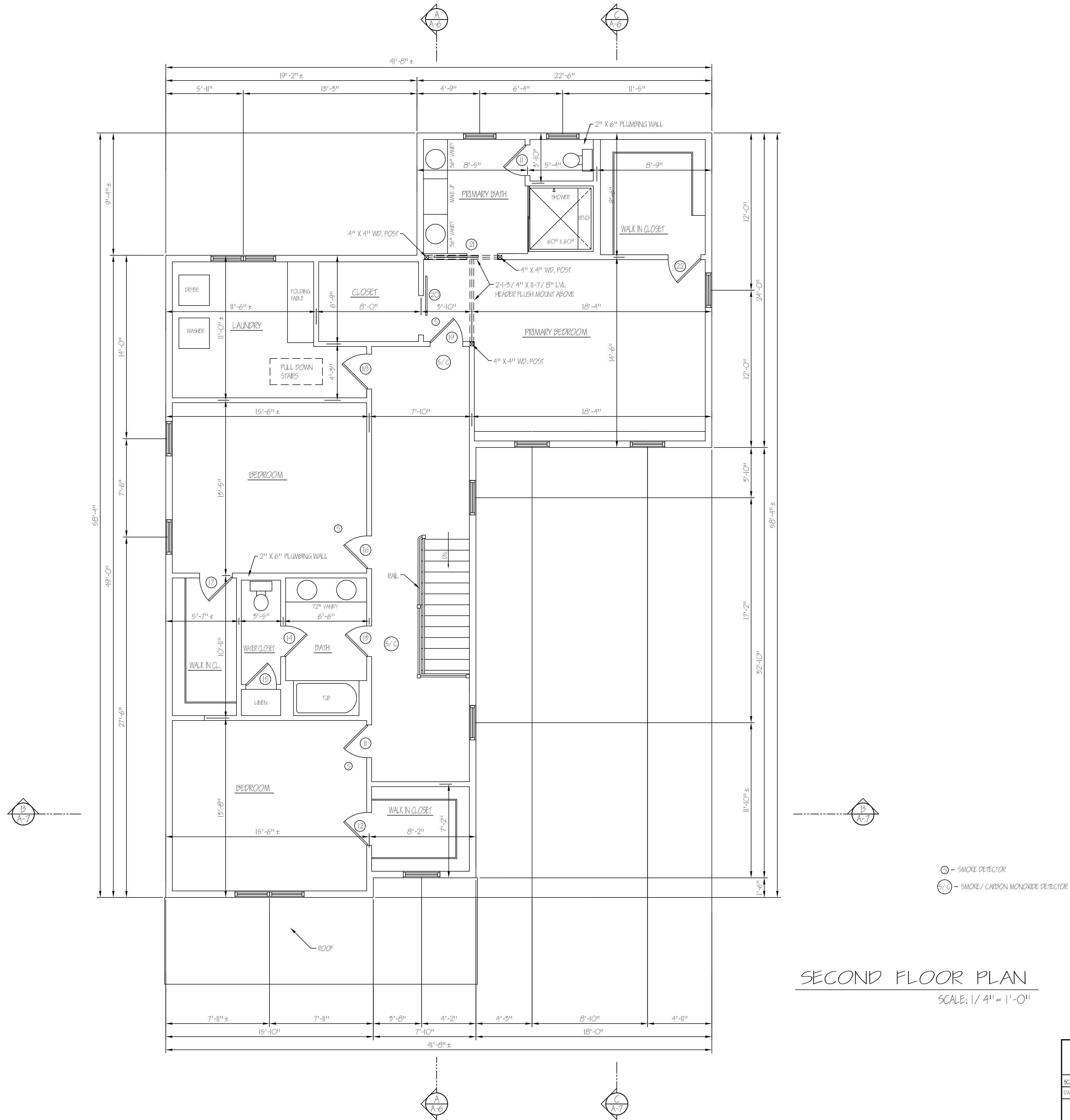
ESOTERIC RESIDENTIAL DESIGN, INC.
39 HERROCK ROAD PEABODY, MA
319 BARLETT STREET PORTSMOUTH, NH

PH 1-978-979-8294

SCALE: AS NOTED
DATE: 6/5/26

WEST RESIDENCE

A-2



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE

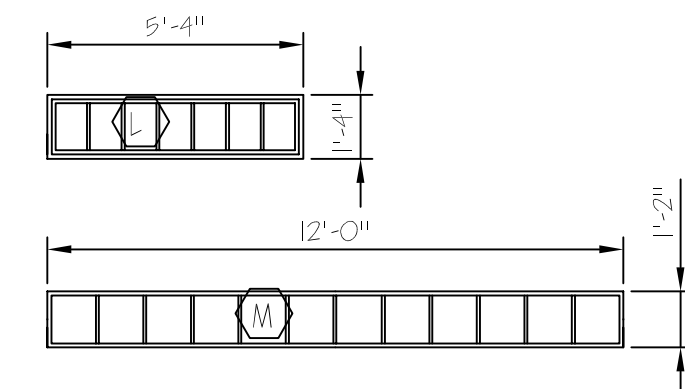
DES.	QTY.	ANDERSEN WDW. NO.	ROUGH OPENING (W x L)	DESCRIPTION
A	1	TW26410-2	5'-3-7/8" X 5'-0-7/8"	MILLED DOUBLE HUNG
B	1	TW2642-2	5'-3-7/8" X 4'-4-7/8"	MILLED DOUBLE HUNG
C	1	TW120111	2'-2-1/8" X 2'-1-7/8"	TRANSOM
**	7	TW2642	2'-8-1/8" X 4'-4-7/8"	DOUBLE HUNG
**	5	TW26410	2'-8-1/8" X 5'-0-7/8"	DOUBLE HUNG
F	4	A31	5'-0-1/2" X 2'-0-5/8"	AWNING
G	1	CW235	4'-9" X 5'-5-5/8"	CASEMENT
H	1	TW2442-2	4'-11-7/8" X 4'-4-7/8"	MILLED DOUBLE HUNG
I	1	TW24210	2'-6-1/8" X 5'-0-7/8"	DOUBLE HUNG
**	2	TW2456	2'-6-1/8" X 5'-8-7/8"	DOUBLE HUNG
K		DELETE		
L	1	TRANSOM	SEE UNIT DIMENSION BELOW	
M	1	TRANSOM	SEE UNIT DIMENSION BELOW	

* ANDERSEN 400 SERIES

** PROVIDE SAFETY GLASS AT WINDOWS E-I AT FIRST FLOOR STAIRWAY UP AND DOWN

** PROVIDE SAFETY GLASS AT WINDOW D-I AT SECOND FLOOR STAIRWAY DOWN

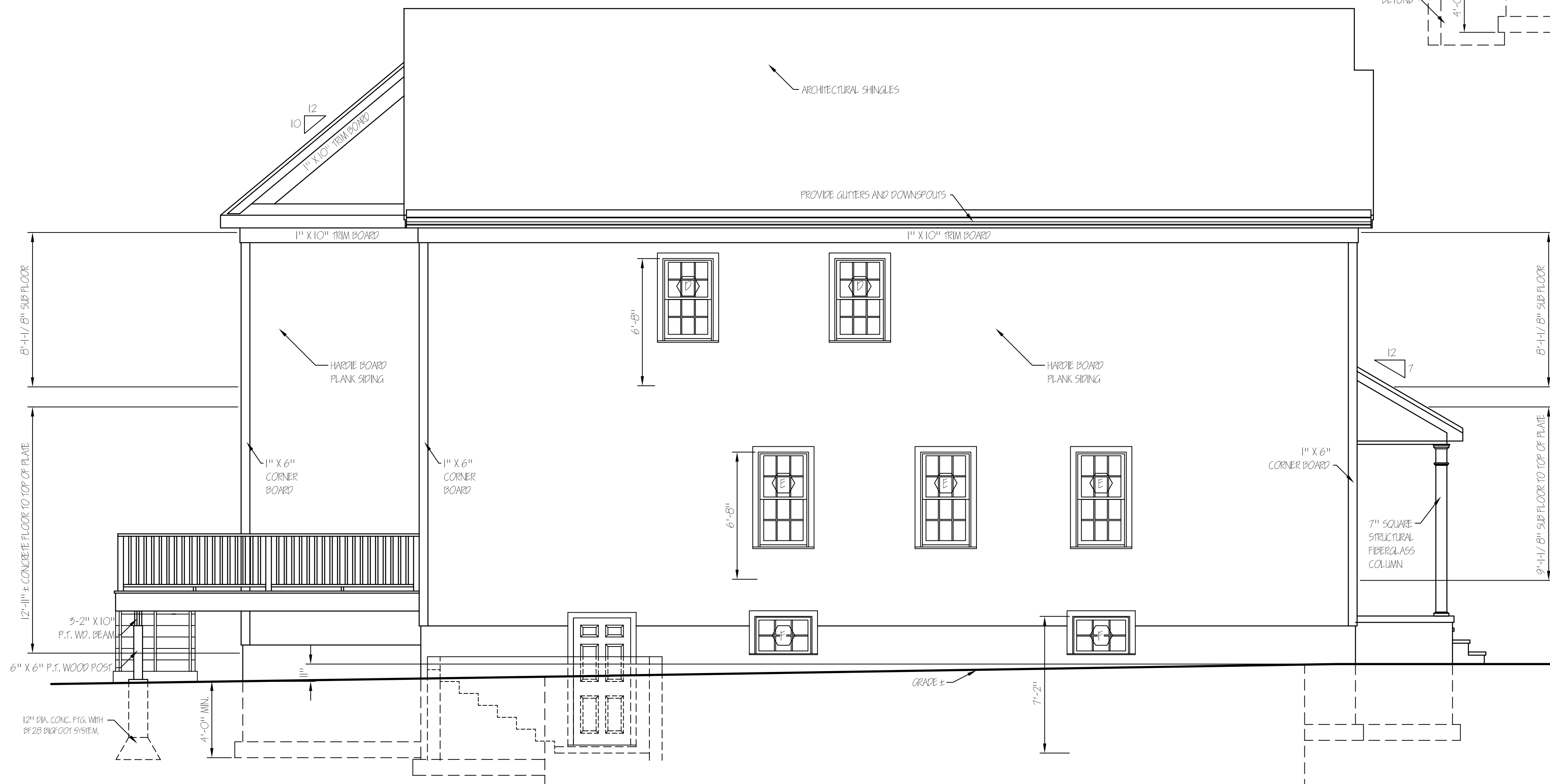
** PROVIDE SAFETY GLASS AT WINDOW J-I AT PRIMARY BATH



ESOTERIC RESIDENTIAL DESIGN, INC.
39 HERROCK ROAD PEABODY, MA PH 1-978-979-8294

SCALE: AS NOTED
DATE: 6/5/26
WEST RESIDENCE
319 BARTLETT STREET PORTSMOUTH, NH

A-4



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

ESOTERIC RESIDENTIAL DESIGN, INC.
39 HERROCK ROAD PEABODY, MA. PH 1-978-979-8294

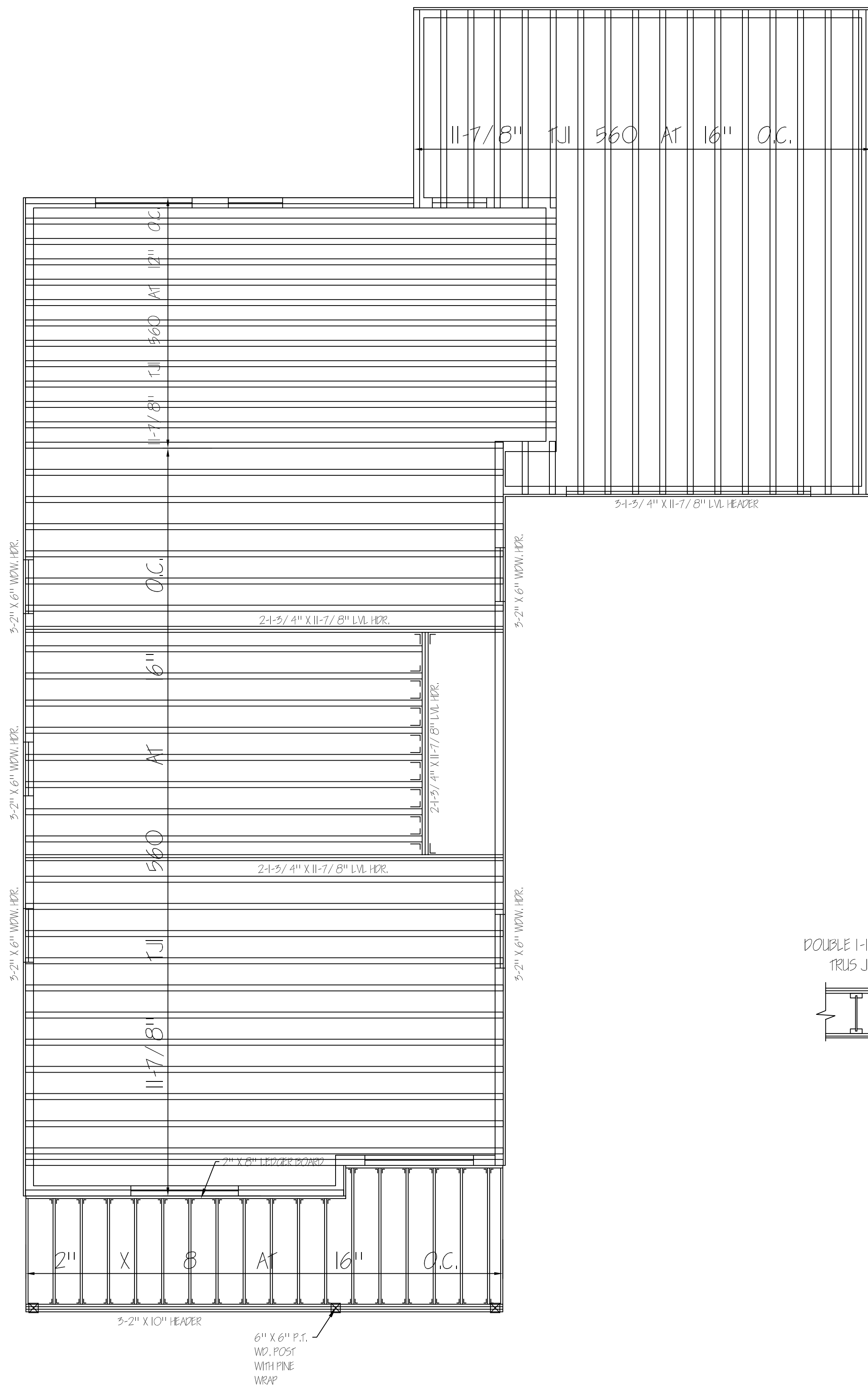
SCALE: AS NOTED
DATE: 6/5/26

WEST RESIDENCE
319 BARLETT STREET PORTSMOUTH, NH





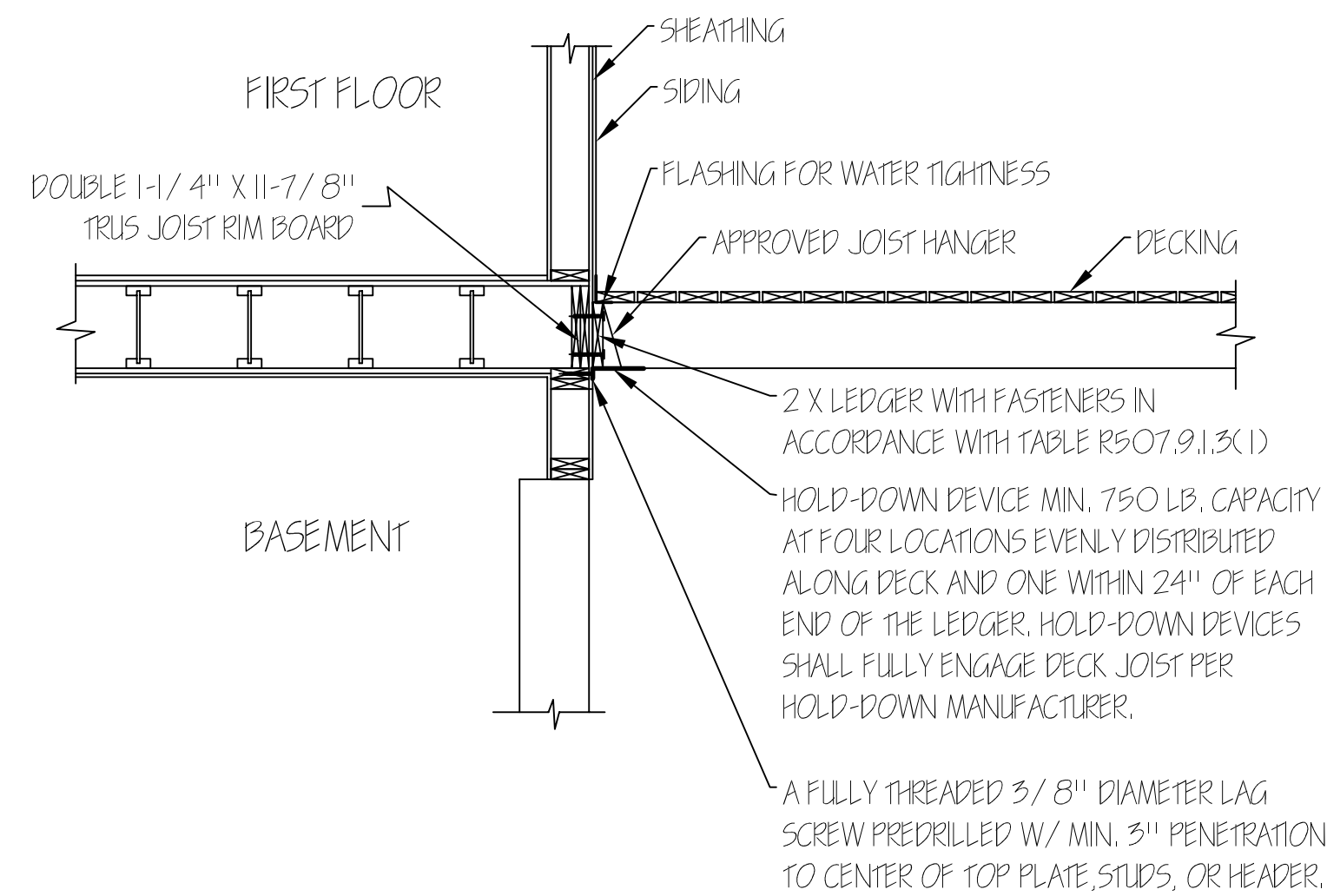
A-7



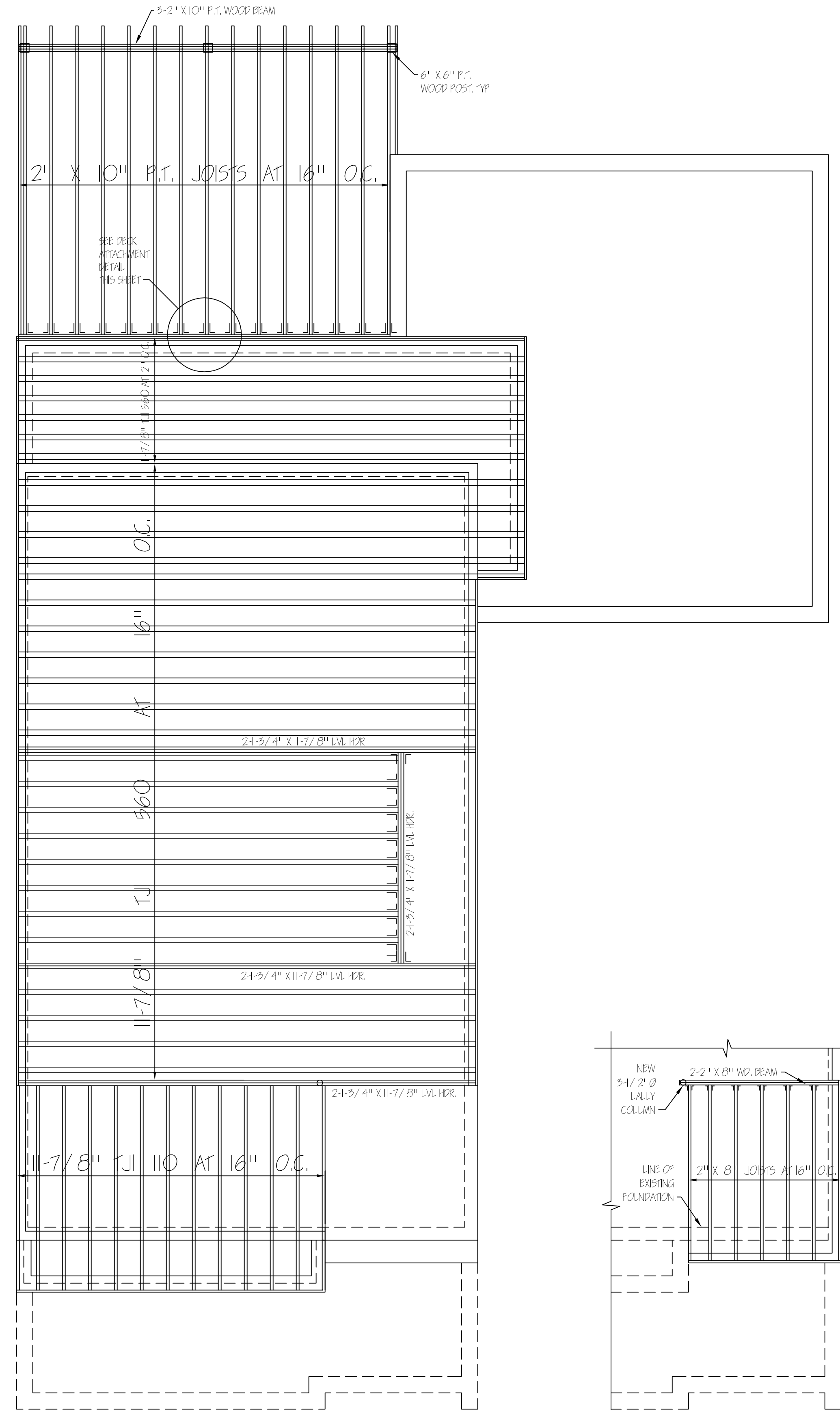
SECOND FLOOR/ PORCH CEILING FRAMING PLAN
SCALE: 1/4" = 1'-0"

FRAMING NOTES

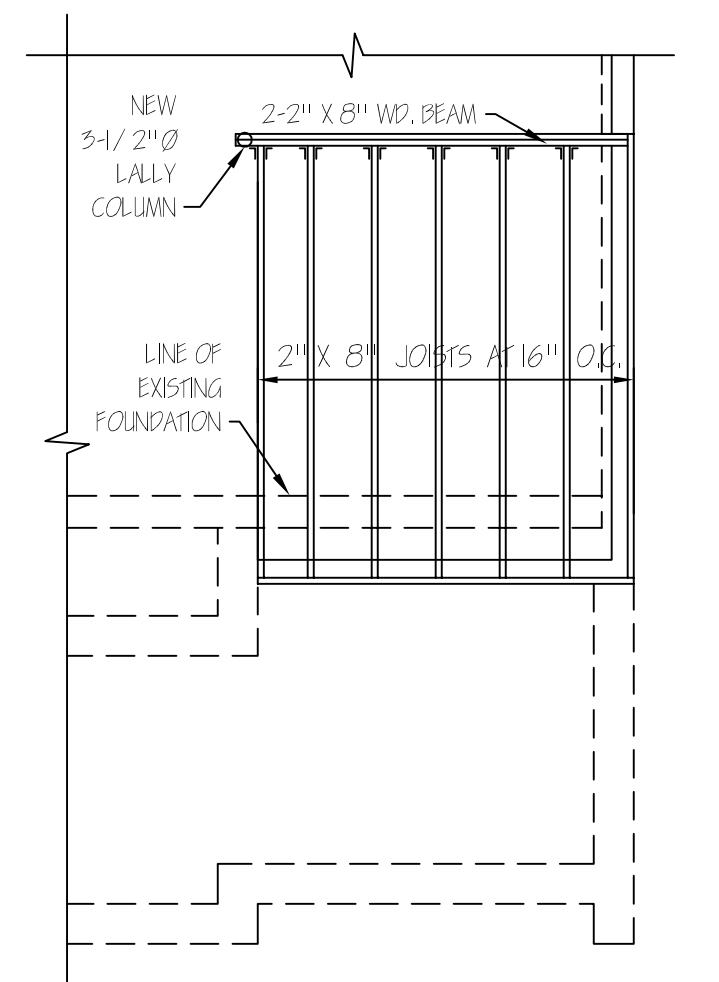
1. ALL JOISTS TO BE TJI'S UNLESS OTHERWISE NOTED
2. PROVIDE JOIST HANGERS AT ALL FLUSH FRAMED CONDITIONS
3. PROVIDE COLUMN CAPS AT ALL POST TO BEAM CONNECTIONS
4. PROVIDE COLUMN BASE CAPS AT ALL POST TO BASE CONNECTIONS
5. ALL NEW SILLS TO BE 2-2" X 6" PRESSURE TREATED



DECK ATTACHMENT DETAIL
SCALE: 1/2" = 1'-0"



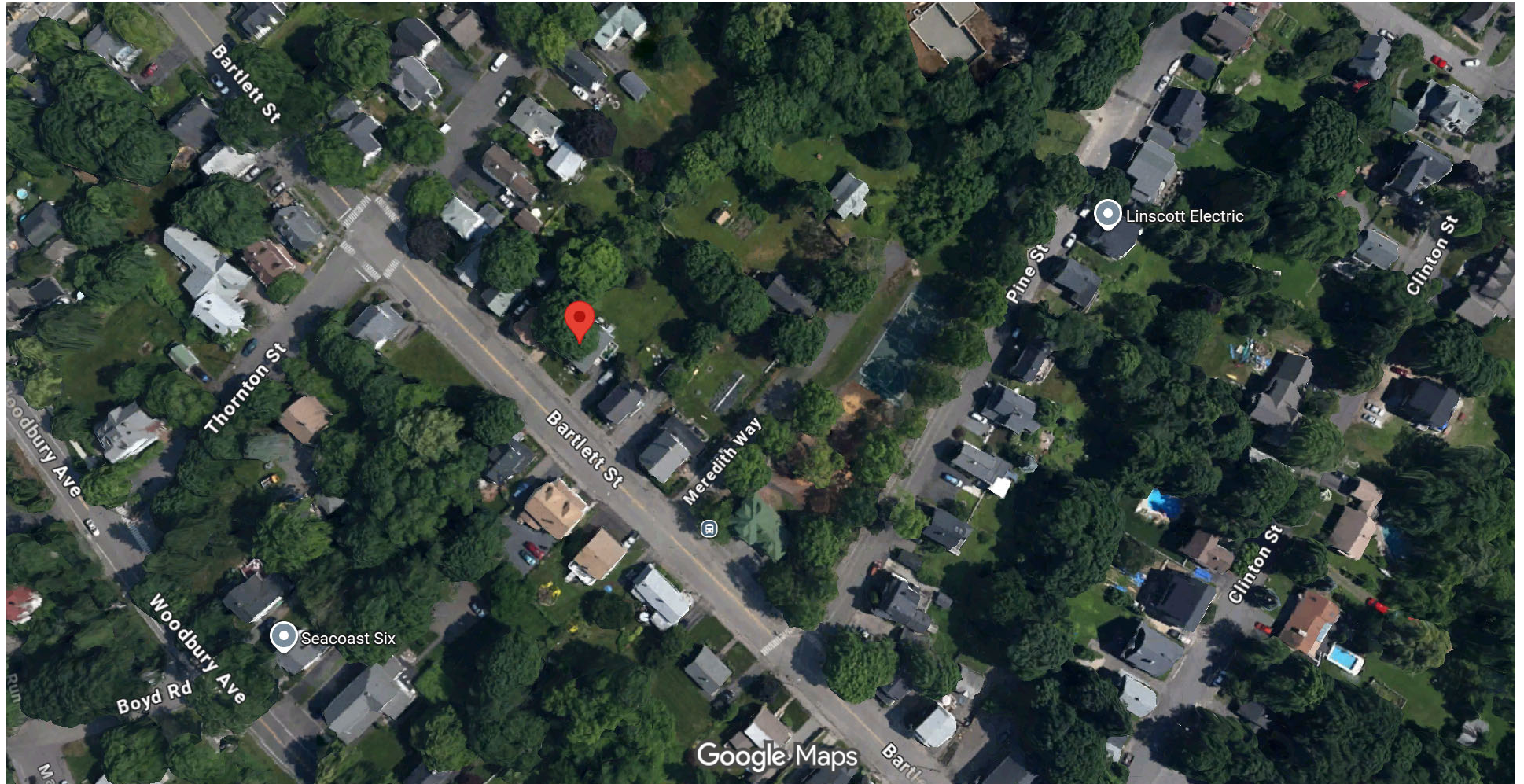
FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



FOYER FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



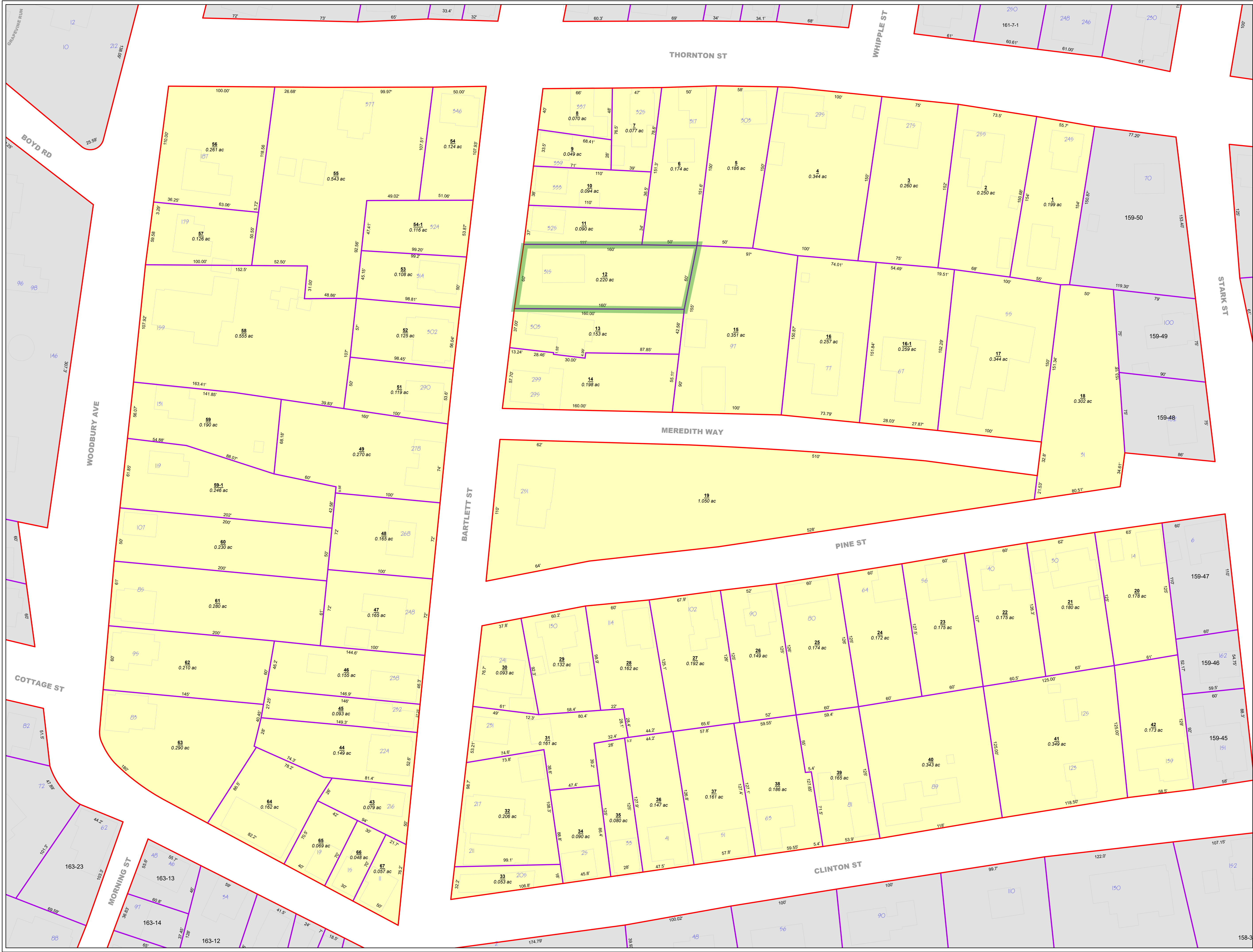
315 Bartlett St



Imagery ©2026 Google, Imagery ©2026 Airbus, Maxar Technologies, Map data ©2026 100 ft

EXHIBIT D





Partial Legend

See the cover sheet for the complete legend.

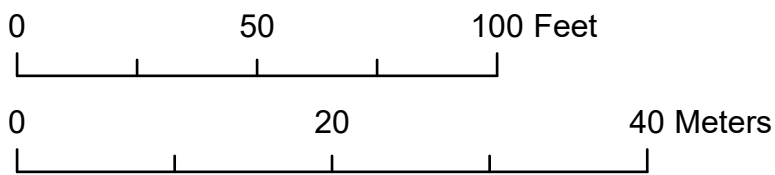
7-5A Lot or lot-unit number
2.56 ac Parcel area in acres (ac) or square feet (sf)
Address number
233-137 Parcel number from a neighboring map
68' Parcel line dimension
Street name

SIMS AVE

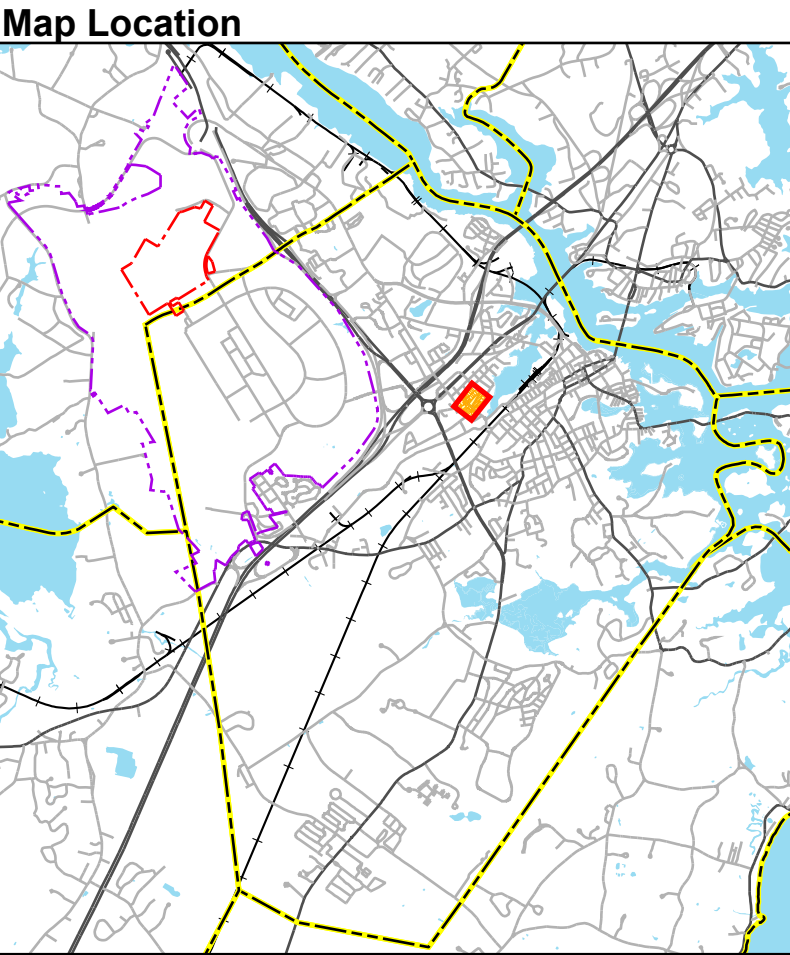
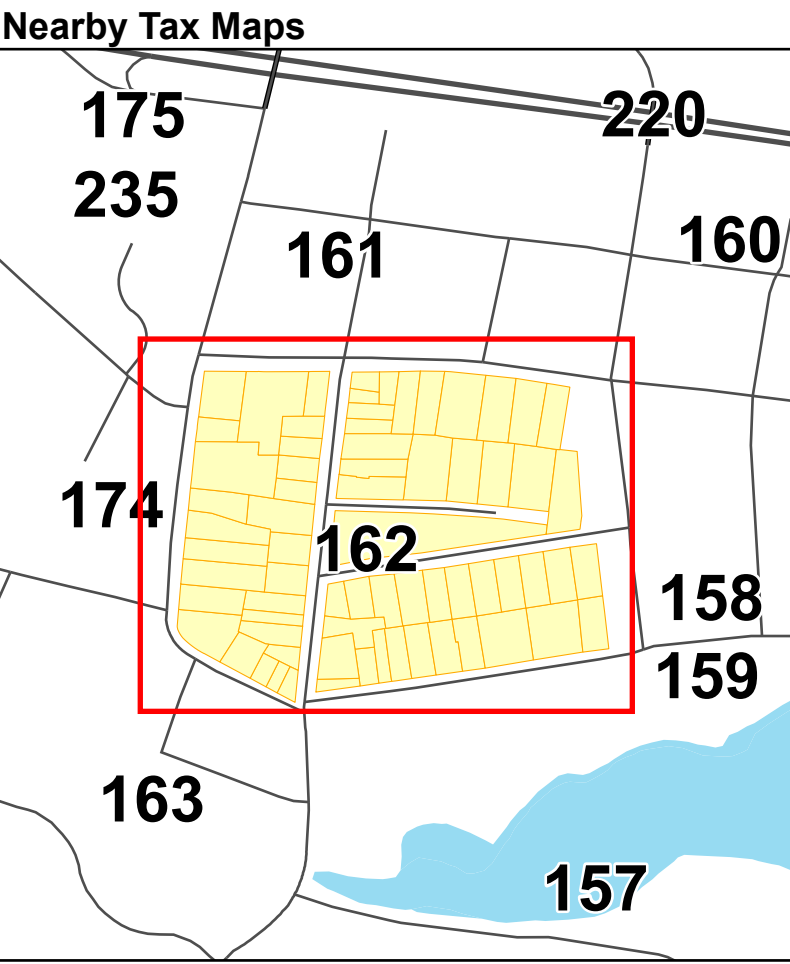
Parcel/Parcel boundary
Parcel/ROW boundary
Water boundary
Structure (1994 data)

Parcel covered by this map
Parcel from a neighboring map (see other map for current status)

EXHIBIT E



This map is for assessment purposes only. It is not intended for legal description or conveyance. Parcels are mapped as of April 1. Building footprints are 2006 data and may not represent current structures. Streets appearing on this map may be paper (unbuilt) streets. Lot numbers take precedence over address numbers. Address numbers shown on this map may not represent posted or legal addresses.



Portsmouth, New Hampshire
2025

Tax Map 162