



Transmittal

Date: _____ Job Number: _____
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| Attached | Under separate cover via | the following items | | | |
| Shop drawings | Prints/Plans | Samples | Specifications | Change Order | Other |

Number	Date	Copy	Description

These are transmitted as checked below:

- | | | |
|------------------------|--------------------------|------------------|
| For your use | Approved as submitted | Resubmit |
| As requested | Approved as noted | Submit |
| For review and comment | Returned for corrections | Return |
| Copies for approval | Copies for distribution | Corrected prints |

Copy to: _____ Signed: _____
Phone: _____



Transmittal

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| As requested | Approved as noted | Submit |
| For review and comment | Returned for corrections | Return |
| Copies for approval | Copies for distribution | Corrected prints |

Copy to: _____ Signed: _____
Phone: _____



September 20, 2019

Kimley-Horn and Associates, Inc.
214 Oceanside Drive 300 Baker Avenue
Nashville, TN 37204 Concord, MA 01742

RE: Agent Authorization

To Whom It May Concern:

Be advised that I am the Chief Executive Officer of the Portsmouth Regional Hospital located at 333 Borthwick Ave, Portsmouth, NH 03801. I am an authorized agent to the owners of HCA Health Services of New Hampshire, Inc. dba Portsmouth Regional Hospital. As the authorized agent, I hereby authorize and empower:

Kimley-Horn and Associates, Inc. to act as agent/ representative to communicate and submit required information as necessary in obtaining site-related approvals and permits for the proposed ICU and Med/Surg Stepdown Expansion project located at 333 Borthwick Ave, Portsmouth, NH 03801.

A handwritten signature in blue ink, appearing to read "D. Carucci", written over a horizontal line.

Owner's Signature
Dean Carucci, CEO



October 30, 2019

City of Portsmouth

RE: Portsmouth Regional Hospital – Project Narrative

The existing Portsmouth Regional Hospital is located at 333 Borthwick Ave, Portsmouth, NH 03801 (Map 240, Lot 2-1). The medical campus is located on the east side of Blue Star Turnpike (I-95), the west side of Borthwick Avenue, and can be accessed via multiple entrances from Borthwick Avenue. The scope of the proposed ICU and Med/Surg Stepdown Expansion project consist of a 2-story building addition located on the southwest corner of the existing hospital building and internal renovations. The proposed footprint of the building addition is 1,220 square feet. The proposed sitework consist of asphalt, concrete, and utility demolition where the former mobile-MRI unit was previously located. Site improvements consists of the new building expansion, sidewalk connectivity, new granite curb, and associated new utilities.

The scope of this work is located adjacent to a previously man-made stormwater management area, which is now delineated as a city jurisdictional wetland and has an associated 100-ft wetland buffer, in which the site improvements will occur. No disturbance to the actual wetland is being proposed.

The stormwater implications of these site improvements actually reduces the amount of stormwater runoff by 5.9%. The existing conditions of the proposed work limits is a majority asphalt and concrete paving today. Existing and proposed land cover of this area are as follows:

Land Cover within Limits of Disturbance		
	Impervious (square footage)	Pervious (square footage)
Existing	± 2,455	±498
Proposed	±2,282	±671
Difference	-173	+173
Therefore; There's a Net Reduction of Impervious Area by 5.9%		

The following data was provided in the online application, but provided here again for reference. Please note, the overall wetland data has been calculated with older drawings by others. Only the wetland adjacent to this project was recently delineated and flagged by Gove Environmental Services, Inc. Please refer to attached letter.

Wetlands, Overall Site


- Subject Parcel: Map 240, Lot2-1 (±19.43 ac)
- Total wetland area onsite: approximately ±2.7 acres
- Total area of 100-foot wetland buffer onsite: approximately ±8.4 acres

Wetland, Proposed Impact

- Area of wetland to be disturbed: 0.00 square feet (sf)
- Area of 100-ft wetland buffer to be disturbed:
 - Permanent: approximately ±2,954 sf
 - Temporary: approximately ±1,610 sf

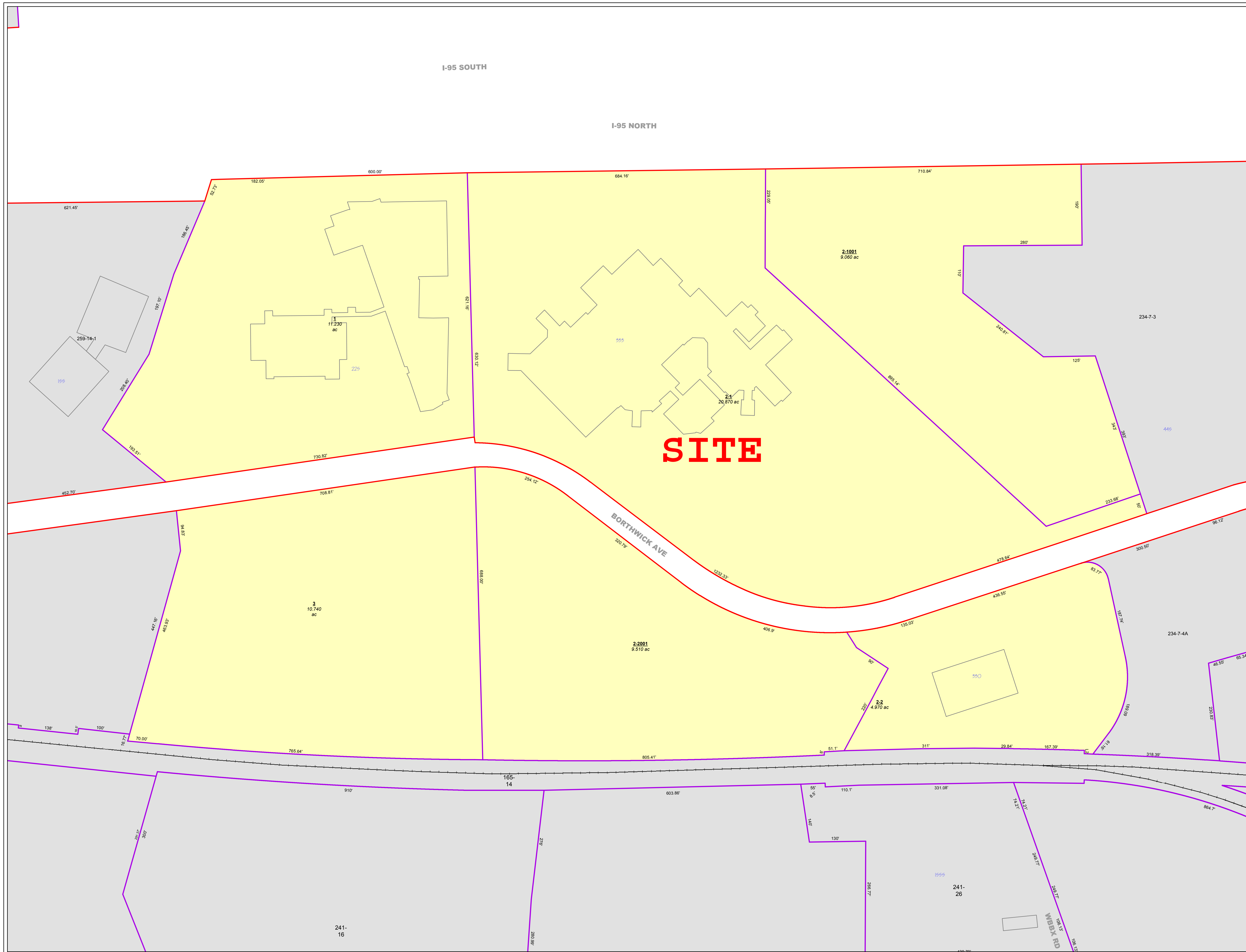
Please refer to the photos below. If you have any questions or need more information, please feel free to reach me by email (matthew.hamby@kimley-horn.com) or by phone at 615-645-4070.

Sincerely,
Matthew Hamby, EI
Project Manager

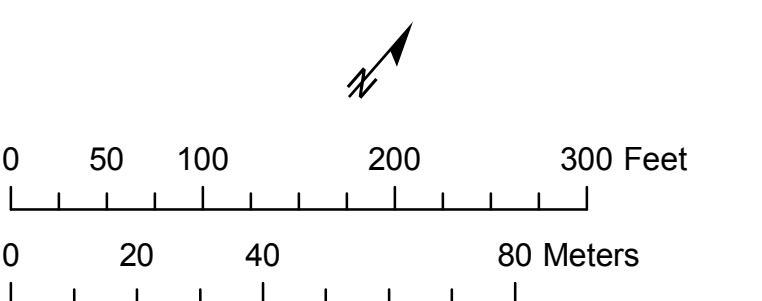
Photographs	Observations
	<p>Rear entrance into hospital campus from Borthwick. Subject wetland to the right of the drive.</p>

Photographs	Observations
	<p>Subject wetland to the right</p>
	<p>Existing asphalt pavement at previous mobile MRI unit location.</p>

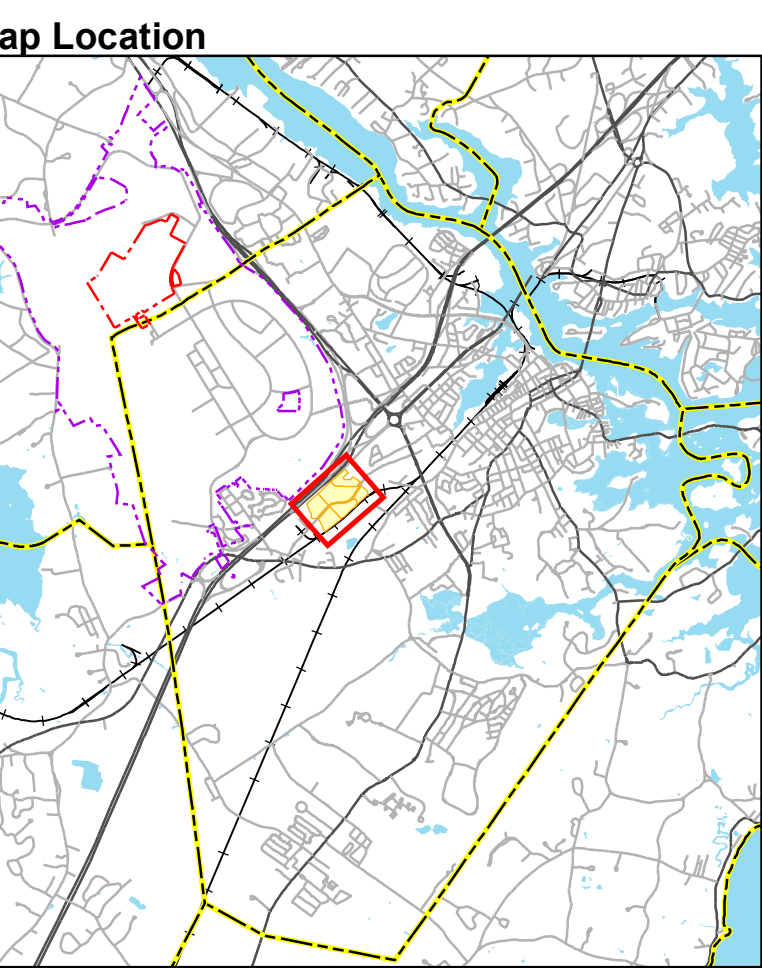
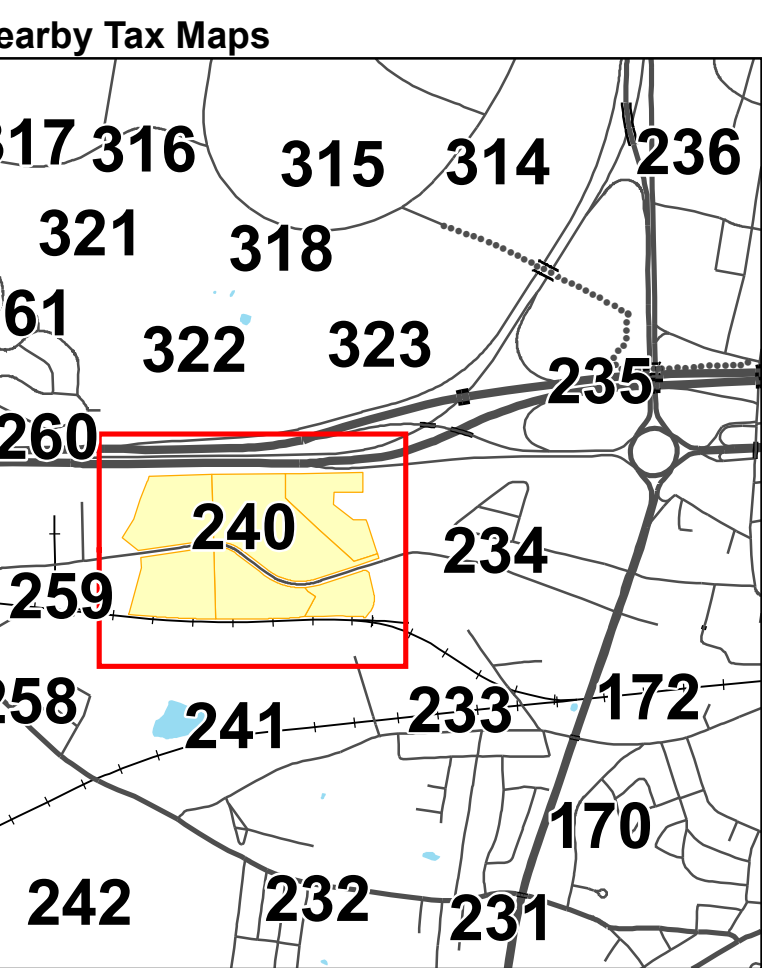
Photographs	Observations
 A photograph showing a paved path leading towards a brick building. The path has a white circular symbol with a bicycle icon and the number '25' on it. The building has a sign that says 'Ambulance' above a doorway. The sky is overcast.	<p>Asphalt pavement and concrete sidewalk to be removed for building expansion.</p>
 A photograph of a wetland area. There are several trees, some with autumn-colored leaves, and a grassy area in the foreground. A black mulch bed is visible around a tree in the foreground.	<p>Wetland flagging by Gove Environmental, Inc.</p>



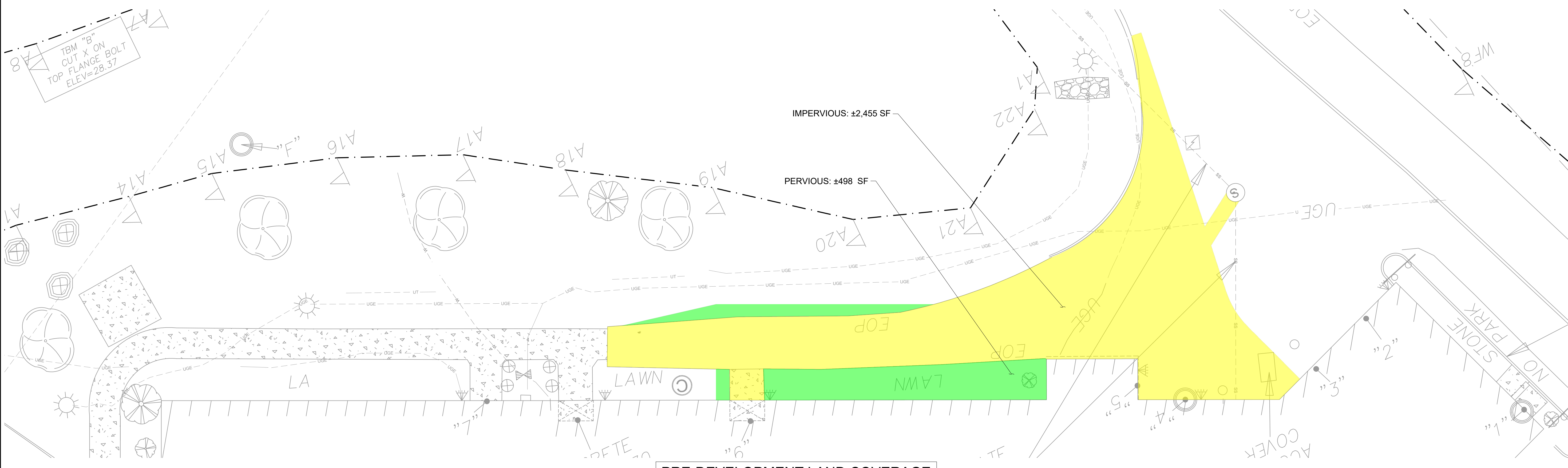
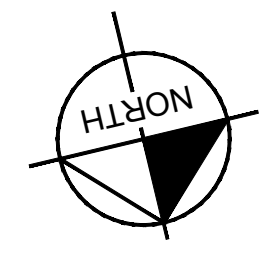
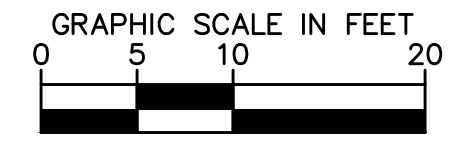
- Partial Legend**
 See the cover sheet for the complete legend.
- 7-5A** Lot or lot-unit number
 - 2.56 ac Parcel area in acres (ac) or square feet (sf)
 - 25 Address number
 - 233-137 Parcel number from a neighboring map
 - 68' Parcel line dimension
 - SIMS AVE Street name
- Parcel/Parcel boundary
 - Parcel/ROW boundary
 - Water boundary
 - Structure (1994 data)
- Parcel covered by this map
 - Parcel from a neighboring map (see other map for current status)



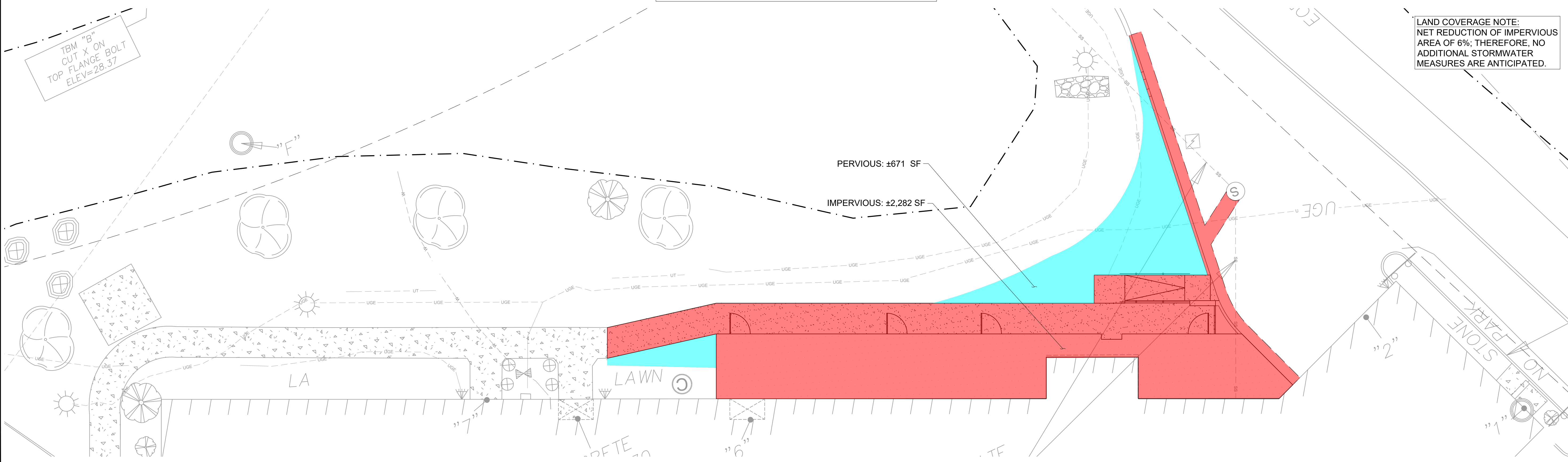
This map is for assessment purposes only. It is not intended for legal description or conveyance. Parcels are mapped as of April 1. Building footprints are 2006 data and may not represent current structures. Streets appearing on this map may be paper (unbuilt) streets. Lot numbers take precedence over address numbers. Address numbers shown on this map may not represent posted or legal addresses.



Portsmouth, New Hampshire
 2018
Tax Map 240



PRE-DEVELOPMENT LAND COVERAGE
 1" = 10'



POST-DEVELOPMENT LAND COVERAGE
 1" = 10'

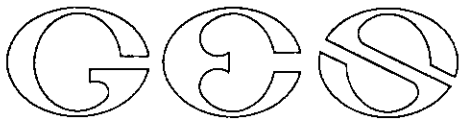
LAND COVERAGE NOTE:
 NET REDUCTION OF IMPERVIOUS
 AREA OF 6%; THEREFORE, NO
 ADDITIONAL STORMWATER
 MEASURES ARE ANTICIPATED.

NO.	DATE	BY	REVISIONS
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

DESIGNED BY:
 DRAWN BY:
 CHECKED BY:
 DATE: 10/30/2019
 KIMLEY-HORN PROJECT NO. 118252002

DRAINAGE EXHIBIT

SHEET NUMBER
EX-1



GOVE ENVIRONMENTAL SERVICES, INC.

October 15, 2019

Portsmouth Regional Hospital

Subject: Wetland Delineation Report
Portsmouth Regional Hospital
333 Borthwick Ave, Portsmouth, NH

Dear Chris Akers,

Per your request, this letter is to verify that Gove Environmental Services, Inc., performed a site inspection to identify wetlands at Portsmouth Regional Hospital, 333 Borthwick Ave, Portsmouth, NH. Wetlands were evaluated utilizing the following standards:

1. *US Army Corps of Engineers Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region, Technical Report ERDC/EL TR-12-1 (January 2012).*
2. *Field Indicators for Identifying Hydric Soils in New England – Version 4, April 2019. New England Hydric Soils Technical Committee.*
3. *US Army Corps of Engineers National Wetland Plant List, 2018.*
4. *Classification of Wetlands and Deepwater Habitats of the United States. USFW Manual FWS/OBS-79/31 (1979).*

Brenden Walden performed the site inspection on 9/17/19. During the site inspection, two areas of wetland were identified on the Site. The wetland areas were demarcated with a series of pink "Wetland Delineation" flagging consecutively labeled:

1 Start – 15 Stop & A1-A22

The attached sketch plan depicts the general location of the flag series, which were used to identify the resource areas in the field. A general description of the wetlands is also provided

The wetland demarcated by the **1 Start – 15 Stop** series of flags, delineated a drainage area dominated by emergent vegetation, hydric soils on the wetland border consisted of NE-S1 & HTM-S hydric soil classifications, soil saturation and water staining were also observed. Bordering upland area consisted developed area and impervious surface.

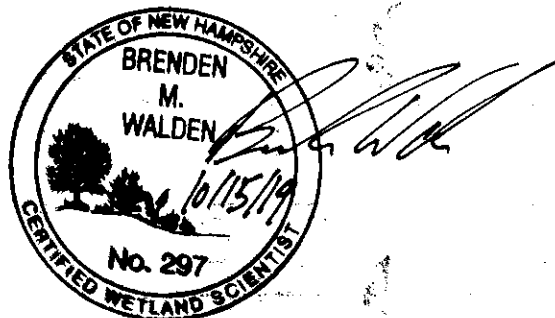
The wetland demarcated by the **A1-A22** series of flags, delineated the wetland boundary for a detention basin vegetated with emergent vegetation. The wetland boundary consisted of NE-S with areas of HTM-S. Bordering upland areas consist of maintained lawn areas and impervious surface from surrounding development.

This concludes the wetland delineation report. If I can be of further assistance, please feel free to contact me at (603) 778-0644.

Sincerely,

Brenden Walden
Business Manager & Wetland Scientist
Gove Environmental Services, Inc.

Enc. Wetland Delineation Sketch



8 Continental Dr Unit H, Exeter, NH 03833-7507

Ph (603) 778 0644 / Fax (603) 778 0654

www.gesinc.biz

info@gesinc.biz



Portsmouth Regional Hospital

Parking Occupancy Analysis

Summary: 10/22/19

Survey performed: 2/12/2019 and 2/13/2019

Summary Data

Overview

HCA Capital Deployment – Planning engaged S&ME to conduct a parking inventory for Portsmouth Regional Hospital. The inventory data was then utilized to prepare this occupancy analysis for the current number and type of parking spaces and provided a count of occupied parking spaces on an hourly basis over the course of two days. Parking occupancy for the survey days was then adjusted by comparing the survey day’s patient census statistics to the average daily weekday census for the peak month on a 12-month trailing basis. For this analysis, the adjusted parking occupancy was considered the “optimal day” and was utilized to determine current utilization, current parking requirements, and the projected number of required parking spaces. Summary information and observation data follow.

Table 1 – Current Capacity

Current Capacity					
User Group	Parking Supply	Parking Utilization	Functional Parking Supply	Functional Surplus (Deficit)	Target Utilization
Patient/Visitor	431	88%	409	28	95%
Employee	459	102%	459	(8)	100%
Physician	47	94%	47	3	100%
Total	937	95%	915	23	98%

Table 2 – Building Data

Building ID	Building Name	Bed Count	Gross Square Footage	Vacant Square Footage	% Occupied
Hospital					
A	Main Hospital	220 licensed	+/- 349,622		
MOB/Ancillary					
B	Medical Office Building (attached to hospital)		+/- 46,655	-	-

Campus Inventory

Figure 1 – Campus Map



Table 3 – Parking Inventory

Zone	Description	Number of Spaces	General/Patient	Accessible	Employee	Physician	Other Reserved	Blocked
1	Emergency Outpatient	52	42	6	0	2	2	
2	Northern Driveway	47	25	0	0	0	22	
3	Main Entrance - Northeast Lot	92	63	23	0	0	6	
4	Employee East Lot	369	148	0	221	0	0	
5	Main Entrance - Southeast Lot	223	96	0	81	45	1	
6 ¹	155 Borthwick Ave - Edge Parking	154	0	0	154	0	0	
Total		937	374	29	456	47	31	0

¹ The 155 Borthwick Avenue parking area is an off-site lot with shuttle service for employees.

Observation Data

Figure 2 – Campus Parking Utilization



Table 4 – Occupancy Data

Occupied Parking Spaces by Hour [Tuesday, February 12, 2019]										
Zone	Number of Spaces	8 AM - 9 AM	9 AM - 10 AM	10 AM - 11 AM	11 AM - 12 PM	12 PM - 1 PM	1 PM - 2 PM	2 PM - 3 PM	3 PM - 4 PM	4 PM - 5 PM
1	52	35	36	46	48	48	52	45	38	30
2	47	52	33	34	39	41	38	33	25	14
3	92	73	91	89	96	89	81	82	64	61
4	369	301	356	370	375	378	335	318	267	169
5	223	230	230	229	234	232	226	208	189	95
6	154	74	79	81	81	75	74	74	65	55
Total	937	765	825	849	873	863	806	760	648	424
Percent Occupied		82%	88%	91%	93%	92%	86%	81%	69%	45%

Occupied Parking Spaces by Hour [Wednesday, February 13, 2019]										
Zone	Number of Spaces	8 AM - 9 AM	9 AM - 10 AM	10 AM - 11 AM	11 AM - 12 PM	12 PM - 1 PM	1 PM - 2 PM	2 PM - 3 PM	3 PM - 4 PM	4 PM - 5 PM
1	52	33	37	37	47	51	48	47	50	47
2	47	27	27	31	32	33	33	32	29	25
3	92	53	83	90	84	89	81	82	86	71
4	369	234	274	319	337	348	329	304	278	187
5	223	215	225	228	235	227	229	221	203	185
6	154	66	73	80	85	81	77	80	70	54
Total	937	628	719	785	820	829	797	766	716	569
Percent Occupied		67%	77%	84%	88%	88%	85%	82%	76%	61%

Table 5 – Survey Day Utilization

Zone	Description	Number of Spaces	Survey Day Peak Utilization
1	Emergency Outpatient	52	92%
2	Northern Driveway	47	83%
3	Main Entrance - Northeast Lot	92	104%
4	Employee East Lot	369	102%
5	Main Entrance - Southeast Lot	223	105%
6	155 Borthwick Ave - Edge Parking	154	53%

Table 6 - Projected Parking Demand

Projected Parking Demand								
	Current Optimal Day Demand	YR 1	YR 2	YR 3	YR 4	YR 5	YR 6	YR 7
Patient/Visitor	381	386	391	396	401	406	411	416
Employee	467	473	479	485	491	497	503	510
Physician	44	45	46	47	48	49	50	51
Total	892	904	916	928	940	952	964	977
YOY Growth	0.012	101.2%	101.2%	101.2%	101.2%	101.2%	101.2%	101.2%

Summary

The current parking supply and functional parking supply both appear to exceed the current optimal day parking demand. Growth associated with the currently proposed ICU and Med/Surg Stepdown Expansion project is accounted for in the 1.2% Annual Growth anticipated. Thus, the parking supply should still be adequate for the YR 1 and YR 2 projected parking demand and no additional parking is anticipated to be needed as a result of the proposed ICU and Med/Surg Stepdown Expansion project.

SITE CIVIL PLANS FOR

PORTSMOUTH REGIONAL HOSPITAL

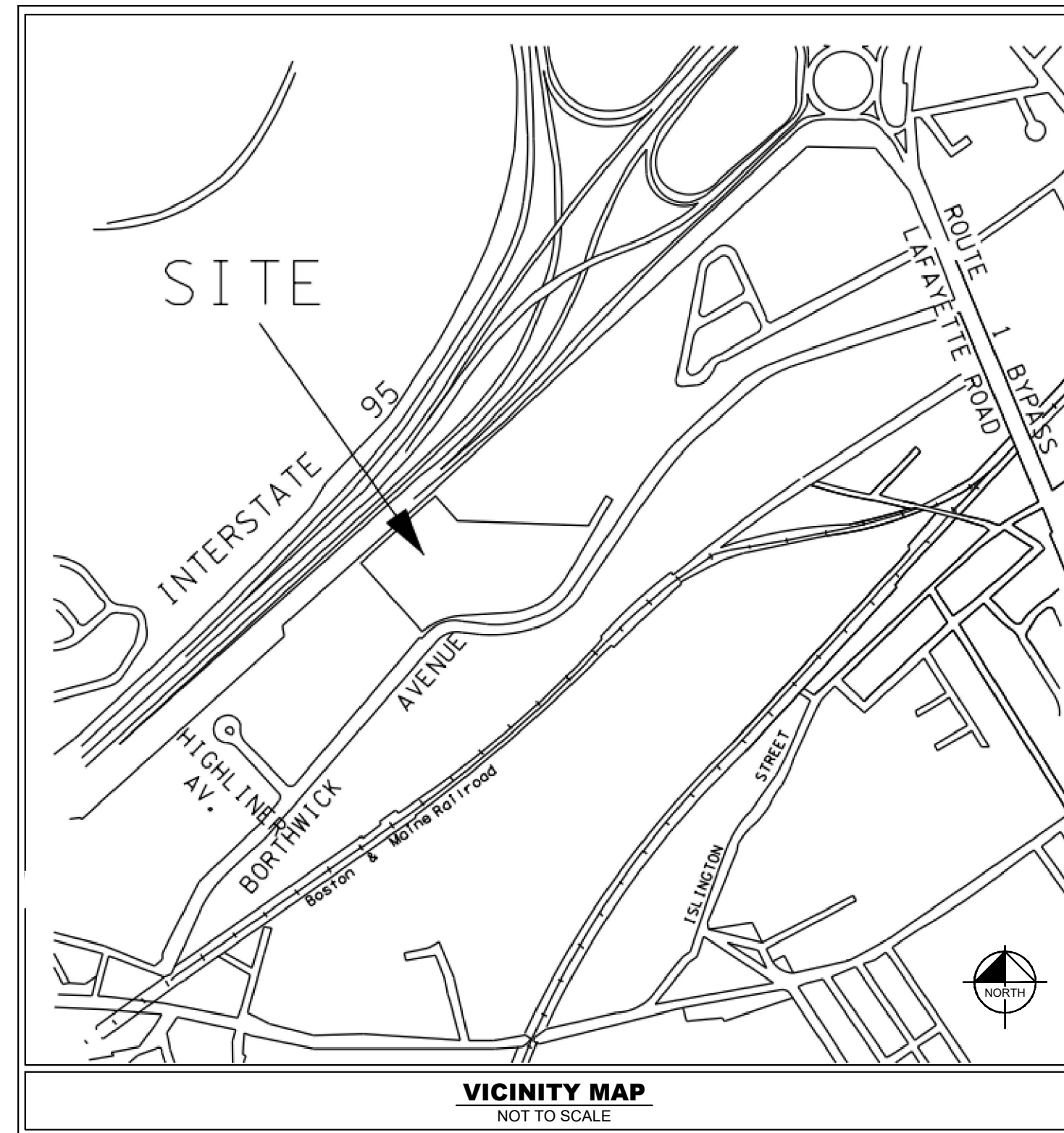
ICU & MED/SURG STEPDOWN EXPANSION

333 BORTHWICK AVE, PORTSMOUTH, NH 03801

CITY OF PORTSMOUTH SUBMISSION: OCT 30, 2019

SITE DATA TABLE		
OWNER OF RECORD	HCA HEALTH SERVICES OF NH INC D/B/A PRH 32902	
SITE ADDRESS	333 BORTHWICK AVE, PORTSMOUTH, NH 03801	
SITE AREA	± 19.43 AC	
DISTURBANCE LIMITS W/ THIS PROJECT	±6,000 SF (±0.14 AC)	
TAX MAP & LOT ZONING	TAX MAP 240, LOT 2-1 OR - OFFICE RESEARCH	
SETBACKS	REQUIRED	PROPOSED
FRONT YARD SETBACK	50'-0"	±83'
REAR YARD SETBACK	50'-0"	±157'
SIDE YARD SETBACK	75'-0"	±71" (EXISTING)
MIN. OPEN SPACE ON A LOT	30%	±39.0%
MAX FLOOR-AREA-RATIO (FAR)	30%	±20.4%
BUILDING DATA		
	EXISTING	PROPOSED ADDITION
HOSPITAL BEDS	220	13
HOSPITAL/ MOB FLOOR PLATE	±172,696 SF	1,220 SF
HOSPITAL GROSS AREA	±406,381 SF	24,114 SF
MEDICAL OFFICE BUILDING GROSS AREA (ATTACHED TO HOSPITAL BUILDING)	±46,665 SF	0 SF
PARKING DATA		
	EXISTING	PROPOSED
ONSITE STANDARD SPACES	754	754
OFFSITE STANDARD SPACES	154	154
ACCESSIBLE (INCL. VAN ACCESSIBLE)	29	29
TOTAL SPACES	937	937

REFERENCE PLANS	
1.	"LOT LINE REVISION PLAN FOR PORTSMOUTH HOSPITAL OFFICE BUILDING ASSOCIATION, ISLINGTON WOOD, LLC AND HCA REALTY, INC. (TAX MAP 234, LOTS 7-4A & 7-4B) (TAX MAP 240, LOT 2-2) BORTHWICK AVENUE EXTENSION PORTSMOUTH, NEW HAMPSHIRE" DATED JAN 13, 2006 PREPARED BY DOUCET SURVEY, INC., R.C.R.D. PLAN #D-33642
2.	"TOPOGRAPHIC PLAN" AT PORTSMOUTH REGIONAL HOSPITAL FOR HCA HEALTH SERVICES OF NH, INC. DATED OCTOBER 10, 2007 BY DOUCET SURVEY.
3.	"SIDEWALK SITE PLAN" FOR PORTSMOUTH REGIONAL HOSPITAL FOR HCA HEALTH SERVICES OF NH, INC. DATED OCTOBER 22, 2003 BY MILLETTE, SPRAGUE & COLWELL.
4.	"SITE PLAN" FOR PORTSMOUTH REGIONAL HOSPITAL FOR HCA HEALTH SERVICES OF NH, INC. DATED AUGUST 19, 2002 BY MILLETTE, SPRAGUE & COLWELL SHEET 2 OF 3.
5.	JURISDICTIONAL WETLANDS WERE DELINEATED BY NHSC, INC. ON SEPTEMBER 25, 2007 IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, AS REQUIRED BY THE NH DES WETLANDS BUREAU.
6.	"TOPOGRAPHIC WORKSHEET OF THE POWERLINES BY ISLINGTON & BORTHWICK AVE." PREPARED BY EASTERN TOPOGRAPHIC FOR DOUCET SURVEY, DATED SEPT 25, 2007.
7.	"PORTSMOUTH REGIONAL HOSPITAL PHASE 1 ADDITIONS AND RENOVATIONS" BY APPLIEDORE ENGINEERING, INC., DATED APRIL 1, 2008.
8.	JURISDICTIONAL WETLANDS DELINEATION BY GOVE ENVIRONMENTAL SERVICES, INC. DATED OCTOBER 2019.
9.	TOPOGRAPHIC SURVEY BY JAMES VERRA & ASSOCIATES, INC. DATED 10/2019.
10.	SHEETS C-2 AND C-2A OF "PORTSMOUTH HOSPITAL EXPANSION" BY APPLIEDORE ENGINEERING, DATED 8/4/11, "REVISED TO ADD REAR PARKING"



PROJECT DESIGN TEAM

ARCHITECT

GOULD TURNER GROUP, P.C.
4400 HARDING ROAD, SUITE 1000
NASHVILLE, TN 37205
PHONE: (615) 29-3122
CONTACT: LAURA PADGETT, AIA

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.
300 BAKER AVE, SUITE 300
CONCORD, MA 01742
PHONE: (781) 328-0676
CONTACT: CHRIS AKERS

M,P,E & T CONSULTANTS

I.C. THOMASSON ASSOCIATES, INC.
2950 KRAFT DRIVE, SUITE 500
NASHVILLE, TN 37204
PHONE: (615) 346-3400
CONTACT: BOYD JOHNSON

SURVEY

JAMES VERRA & ASSOCIATES, INC.
101 SHATTUCK WAY, SUITE 8
NEWINGTON, NH 03801
PHONE: (603) 436-3557
CONTACT: JIM VERRA, LLS

ENVIRONMENTAL

GOVE ENVIRONMENTAL SERVICES, INC
8 CONTINENTAL DR, UNIT H
EXETER, NH 03833
PHONE: (603) 778-0654
CONTACT: BRENDEN WALDEN

STRUCTURAL ENGINEER

STANLEY D. LINDSEY & ASSOCIATES, LTD.
750 OLD HICKORY BLVD, BLD 1, SUITE 175
BRENTWOOD, TN 37027
PHONE: (615) 320-1735
CONTACT: MARK HILNER

UTILITY CONTACTS

WATER/ SANITARY SEWER

PORTSMOUTH DEPT OF
PUBLIC WORKS
MIKE JENKINS
680 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801
PHONE: (603) 427-1530

NATURAL GAS

NORTHERN UTILITIES, INC.
JEFF INGLISH
325 WEST ROAD
PORTSMOUTH, NH 03801
PHONE (603) 436-0310

TELEPHONE/ CABLE

CONSOLIDATED COMMUNICATIONS
1575 GREENLOAD ROAD
GREENLAND, NH 03840
PHONE: (800) 240-5019

ELECTRIC

PUBLIC SERVICES OF NH/ EVERSOURCE
WAYNE BROOKS
1700 LAFAYETTE ROAD
PORTSMOUTH, NH 03801
PHONE:(800) 662-7764

Sheet List Table

Sheet Number	Sheet Title
C0.00	CIVIL COVER SHEET
C0.01	GENERAL NOTES
C0.02	SITE SURVEY - BY OTHERS
C1.00	EXISTING CONDITIONS - OVERALL
C2.00	SITE DEMOLITION - ENLARGEMENT
C3.00	SITE LAYOUT- OVERALL
C3.01	SITE LAYOUT - ENLARGEMENT
C4.00	SITE GRADING & EROSION CONTROL
C5.00	SITE UTILITIES
C6.00	SITE DETAILS

PLANS PREPARED BY

Kimley & Horn

300 Baker Ave, Suite 300, Concord, MA 01742

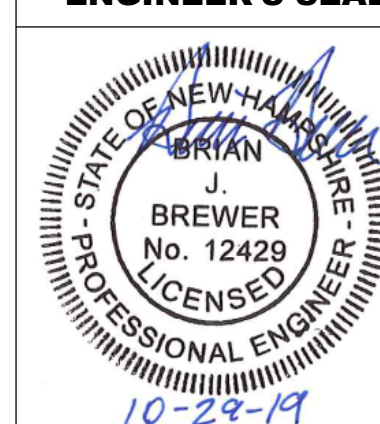
Main: (781) 328-0676 | www.kimley-horn.com

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PLAN REVISIONS

REVISION NO.	DATE	REMARKS

ENGINEER'S SEAL



FILE NUMBER	SHEET NUMBER	TOTAL SHEETS
118252002	C0.00	10



**Know what's below.
Call before you dig.**

CONTRACTOR RESPONSIBILITIES:

- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR:
 - THE CONTRACTOR SHALL VERIFY ALL PROPOSED AND EXISTING CONDITIONS INCLUDING UTILITIES (INVERTS, CONNECTIONS, MATERIALS, ETC.) AND DIMENSIONS WITHIN THE LIMITS OF WORK PRIOR TO THE START OF CONSTRUCTION.
 - REFER TO ARCHITECTURAL DRAWINGS FOR DETAILED BUILDING INFORMATION.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL NOTIFICATIONS AND LIAISONS WITH UTILITY COMPANIES DURING THE PROCESS OF LOCATING, RELOCATING, AND TYING INTO PUBLIC UTILITIES.
 - PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE SHALL OCCUR INSIDE THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.
- DURING CONSTRUCTION:
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN CONSENT OF THE ENGINEER MAY CAUSE THE WORK TO BE UNACCEPTABLE.
 - THE CONTRACTOR SHALL USE MATERIALS AND EMPLOY CONSTRUCTION METHODS IN ORDER TO COMPLY WITH THE DRAWINGS AND SPECIFICATIONS. WHERE A CONFLICT OCCURS, THE STRICTEST DESIGN SHALL GOVERN. THE ENGINEER'S REVIEW OF SHOP DRAWINGS, PRODUCT DATA, ETC., DOES NOT RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY SPECIFIC DEVIATIONS AND OBTAIN ENGINEER'S WRITTEN APPROVAL OF THE SPECIFIC DEVIATION.
 - IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
 - ALL CONSTRUCTION MUST CONFORM TO THE STANDARDS, SPECIFICATIONS, AND CODES OF THE GOVERNING MUNICIPALITIES.
 - CONSTRUCTION SHALL MEET ALL CURRENT STANDARDS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT.
 - IF THE CONTRACTOR DAMAGES ANY EXISTING UTILITIES DURING CONSTRUCTION, HE SHALL, AT HIS OWN EXPENSE, REPLACE OR REPAIR THE UTILITIES TO ORIGINAL CONDITION AND QUALITY AS APPROVED BY THE OWNER AND REPRESENTATIVE OF THE APPROPRIATE UTILITY COMPANY.
 - SUFFICIENT BARRICADES, LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS IN ACCORDANCE WITH GOVERNING ORDINANCES MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC. SAID CONTROL DEVICES SHALL BE PER THE MANUAL OF TRAFFIC CONTROL DEVICES, M.U.T.C.D., CURRENT EDITION, AND SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.
 - TRAFFIC CONTROLS AND OTHER WARNING DEVICES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY WORK ON CITY, COUNTY, OR NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION ROADS. THEY SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL THE CONCLUSION OF ALL WORK.
 - ALL WARNING DEVICES SHALL BE EITHER TYPE I BARRICADES OR DRUMS WITH WARNING LIGHTS ON EVERY OTHER DEVICE. THEY SHALL CONFORM TO THE MANUAL ON WARNING TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION, AND PORTSMOUTH STANDARDS FOR COLOR, SIZE, REFLECTIVITY, HEIGHT, AND PLACEMENT.
 - FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED AT ALL TIMES.
 - CONTRACTOR SHALL SHORE AND BRACE ALL EARTH, FORMS, CONCRETE, STEEL, WOOD, AND MASONRY TO RESIST GRAVITY, EARTH, WIND, THERMAL, CONSTRUCTION, AND MISCELLANEOUS LOADS DURING CONSTRUCTION.
 - ON-SITE BURIAL OF DEBRIS IS PROHIBITED.
 - UNLESS OTHERWISE NOTED THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL FABRICATED MATERIALS TO THE ENGINEER. DESIGN DOCUMENTS SHALL NOT BE REPRODUCED AS SHOP DRAWINGS.
 - IN CASE OF UNFORESEEN CONSTRUCTION COMPLICATIONS OR DISCREPANCIES, THE CONTRACTOR IS TO IMMEDIATELY NOTIFY THE ENGINEER IN WRITING.
 - ALL REQUIRED TESTING REPORTS SHALL BE AVAILABLE AT THE JOB SITE.
 - AS-BUILT DRAWINGS OF ROADWAYS, STORM DRAINS, SANITARY SEWER AND WATER LINES, FIELD APPROVAL BY THE ENGINEER, AND ALL APPLICABLE BONDS ARE REQUIRED PRIOR TO FINAL ACCEPTANCE BY THE OWNER.
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL EXISTING BUILDINGS THROUGHOUT CONSTRUCTION UNLESS APPROVAL FOR SERVICE INTERRUPTION IS OBTAINED FROM THE OWNERS IN ADVANCE.
 - THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO ENSURE THAT THE NEW WORK SHALL FIT INTO THE EXISTING SITE IN THE MANNER INTENDED AND AS SHOWN ON THE DRAWINGS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING ANY WORK IN THE AREA INVOLVING DIFFERENCES. NOTIFICATION SHALL BE IN THE FORM OF A DRAWING OR SKETCH INDICATING FIELD MEASUREMENTS AND NOTES RELATING TO THE AREA.
 - ANY FOREIGN ITEM FOUND DURING CONSTRUCTION IS THE PROPERTY OF THE OWNER. THIS INCLUDES, BUT IS NOT LIMITED TO, PRECIOUS METALS, COINS, PAPER CURRENCY, ARTIFACTS AND ANTIQUITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, WHETHER CAUSED BY HIMSELF, HIS SUBCONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
 - THE CONTRACTOR SHALL FURNISH, INSTALL AND MAINTAIN ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK AND THE PUBLIC, INCLUDING BARRICADES, WARNING SIGNS, LIGHTS, ETC.
 - THE CONTRACTOR ACKNOWLEDGES & AGREES THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SITE IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER. THE CONTRACTOR WILL INDEMNIFY THE OWNER & OWNER'S REPRESENTATIVE FROM LIABILITY AT THE SITE THROUGHOUT THE CONSTRUCTION PROCESS.
 - THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL LEGAL FEES. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE BUILDING LAWS, ORDINANCES OR REGULATIONS RELATING TO BUILDING SIDEWALKS, STREETS, BLASTING, PUBLIC INFRASTRUCTURE, STORMWATER REGULATIONS, ETC.
 - THE CONTRACTOR IS TO CHECK AND VERIFY ALL MEASUREMENTS, LEVELS, ETC. BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK, AND IS TO BE RESPONSIBLE FOR THE SAME.

CONTRACTOR RESPONSIBILITIES (CONT.):

- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS AND HUBS DURING THE CONSTRUCTION OF HIS WORK, AND SHALL BEAR THE COST OF REPLACING SAME.
- CARE SHALL BE TAKEN TO PROTECT ANY UTILITIES, TREES, ETC. WHICH ARE TO REMAIN AND NOT TO BE DISTURBED BY THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO SUCH PROPERTY.

DEMOLITION INFORMATION:

- NOTIFICATIONS:
THE CONTRACTOR SHALL NOTIFY THE OWNER AND CITY INSPECTOR(S) 24 HOURS PRIOR TO ANY DEMOLITION OR CONSTRUCTION.
- DISPOSAL GUIDELINES:
 - ONLY ITEMS SPECIFICALLY NOTED TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE.
 - REMOVE EXISTING PAVED AREAS AS SHOWN INCLUDING DRIVEWAYS, SIDEWALKS, PARKING AREAS, SERVICE AREAS, EQUIPMENT PADS, AND ALL MISCELLANEOUS PAVING.
 - ALL DEBRIS RESULTING FROM DEMOLITION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR IN ACCORDANCE WITH LOCAL STATE AND FEDERAL REGULATIONS. BACKFILL ALL TRENCHES AND EXCAVATIONS RESULTING FROM DEMOLITION.
 - ALL DEMOLISHED MATERIAL BECOMES THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE NOTED.
- TREE PROTECTION GUIDELINES:
PROTECT ALL EXISTING TREES NOTED "TO REMAIN" AND ALL ITEMS TO BE TURNED OVER TO THE OWNER DURING DEMOLITION. TAKE ALL NECESSARY PRECAUTIONS AND PROTECTIVE MEASURES. ANY EXISTING ITEMS TO BE TURNED OVER TO THE OWNER WHICH ARE DAMAGED DURING DEMOLITION SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER. TREES WHICH ARE DAMAGED WILL BE REPLACED OR REIMBURSED AT A RATE TO BE DETERMINED BY THE OWNER.
- UTILITIES:
 - PRIOR TO REMOVING OR ABANDONING ANY UTILITY THE CONTRACTOR SHALL VERIFY THAT NO UPSTREAM SERVICE WILL BE TERMINATED. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY TERMINATION NOT SHOWN ON THE PLANS.
 - ALL ABANDONED WATER LINES, STORM SEWER PIPE, SANITARY SEWER PIPES, GAS LINES, OR ANY OTHER ABANDONED UNDERGROUND UTILITY SHALL BE ABANDONED IN PLACE UNLESS NOTED OTHERWISE.

SITE INFORMATION:

- THE FOLLOWING ARE APPLICABLE TO ALL CIVIL DOCUMENTS:
 - WHERE A DETAIL SECTION, TYPICAL SECTION, OR A NOTE IS SHOWN FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED ON THE PLANS.
 - EXISTING AND PROPOSED CONTOURS ARE AT ONE (1) FOOT INTERVALS.
 - ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE.
 - PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.

EROSION AND SEDIMENT CONTROL INFORMATION:

- COMPREHENSIVE:
 - THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
 - PROVISIONS TO PREVENT EROSION OF SOIL FROM THE SITE SHALL BE AT A MINIMUM IN CONFORMANCE WITH THE REQUIREMENTS OF THE NEW HAMPSHIRE EROSION AND SEDIMENT CONTROL HANDBOOKS. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 - FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE STANDARDS SPECIFIED IN THE NEW HAMPSHIRE EROSION AND SEDIMENT CONTROL HANDBOOKS, CURRENT EDITION.
 - EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 - EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
 - THE CONSTRUCTION OF THE SITE WILL COMMENCE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS/DRIVEWAYS HAVE BEEN PAVED.
 - CONSTRUCTION EXITS SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY OR EXIT FROM THE SITE AND SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE AS CONDITIONS DEMAND, REPAIR, AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OFF SITE ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. ACCESS POINTS PROTECTED WITH A CONSTRUCTION EXIT SHALL BE OTHERWISE BARRICADED UNTIL THE SITE IS STABILIZED.

CONCRETE INFORMATION (SITE WORK ONLY):

- PRODUCT CRITERIA:
 - UNLESS OTHERWISE NOTED CEMENT SHALL BE TYPE I OR III CONFORMING TO ASTM C150. AGGREGATES SHALL BE NORMAL WEIGHT CONFORMING TO ASTM C33.
 - CONCRETE SHALL CONFORM TO ACI BUILDING CODE (318-89). UNLESS NOTED CONCRETE SHALL BE NORMAL WEIGHT AND HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3,500 P.S.I.
 - SLUMP SHALL BE 3" TO 5" FOR REGULAR MIX. LARGER SLUMP SHALL BE PERMITTED WITH WATER REDUCING ADMIXTURES AND WRITTEN CONSENT OF THE ENGINEER.
 - THE RELATIONSHIP BETWEEN MAXIMUM AGGREGATE SIZE TO MINIMUM AMOUNT OF CEMENT IN CONCRETE PAVEMENT (LB. PER C.Y. OR MIX) SHALL BE AS FOLLOWS: 1" - 520, 3/4" - 540, 1/2" - 590, 3/8" - 610.
- CURING CRITERIA:
 - CONCRETE CURING SHALL COMPLY WITH ACI 308. CURING PROCESS SHALL START IMMEDIATELY FOLLOWING INITIAL SET. CURING SHALL BE BY CURING COMPOUND.
 - CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR-ENTRAINED IN ACCORDANCE WITH ACI 318-89 TABLE 4.1.1. NORMAL WEIGHT CONCRETE SLABS SHALL HAVE AIR CONTENT IN ACCORDANCE WITH ACI 302.1R-89 TABLE 5.2.7A.
 - HOT WEATHER CONCRETING SHALL COMPLY WITH ACI 305. NO CONCRETE ABOVE 90 DEGREES FAHRENHEIT SHALL BE POURED. LOWER CONCRETE TEMPERATURE BY COOLING WATER AND AGGREGATE. FORMS, STEEL, AND SUBGRADE SHALL BE SPRINKLED WITH COLD WATER. AFTER FINISHING CONCRETE USE LIGHT FOG SPRAY UNTIL CURING COMPOUND IS USED.
 - COLD WEATHER CONCRETING SHALL COMPLY WITH ACI 306. SPECIAL MATERIAL PROCEDURES SHALL BE PROVIDED DURING PLACING AND CURING OF CONCRETE BELOW 40 DEGREES FAHRENHEIT.
 - CURING, HOT, AND COLD WEATHER CONCRETING PROCEDURES ARE ONLY GIVEN AS A GUIDE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREVENT CONCRETE DAMAGE AND CRACKS. DAMAGED OR CRACKED CONCRETE WILL NOT BE ACCEPTED.

REINFORCING STEEL INFORMATION (SITE WORK ONLY):

- PRODUCT CRITERIA:
 - REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60 AND GRADE 40 FOR #3 AND SMALLER BARS. MINIMUM LAP 48" DIAMETER.
 - WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185, MINIMUM LAP SHALL BE 8".
 - REINFORCING THAT IS WELDED SHALL BE WELDABLE TYPE AND CONFORM TO ASTM A-706.
- SIGNING AND STRIPING:
 - SIGNING AND STRIPING TO BE PROVIDED BY THE CONTRACTOR ACCORDING TO THE DRAWINGS AND SPECIFICATIONS.
 - ALL STRIPING TO BE THERMOPLASTIC UNLESS OTHERWISE NOTED.

STORM SEWER NOTES:

- REINFORCED CONCRETE PIPE SHALL BE RCP CLASS III UNLESS OTHERWISE NOTED WITH BELL-AND-SPIGOT AND GASKETED JOINTS WITH ASTM C 443 RUBBER GASKETS.
- FILL HEIGHTS OVER 13' REQUIRE CLASS IV RCP STORM PIPE.
- STORM INLETS SHALL BE PRECAST IN ACCORDANCE WITH PORTSMOUTH PUBLIC WORKS SPECIFICATIONS WHICH MEET OR EXCEED ASTM C 478.
- ALL MANHOLE FRAMES AND COVERS ARE TO BE PER PORTSMOUTH PUBLIC WORKS STANDARD DETAIL FOR DIMENSIONS AND MATERIALS AND AS BELOW IF NOT OTHERWISE INDICATED: FERROUS; 24-INCH (610-MM) ID BY 7- TO 9-INCH (175- TO 225-MM) RISER WITH 4-INCH- (102-MM-) MINIMUM WIDTH FLANGE AND 26-INCH- (660-MM-) DIAMETER COVER. INCLUDE INDENTED TOP DESIGN WITH LETTERING CAST INTO COVER, USING WORDING EQUIVALENT TO "STORM SEWER."
- MATERIAL: GRAY IRON ASTM A48 CLASS 30 UNLESS OTHERWISE INDICATED.
- ALL HDPE PIPE SHALL BE CORRUGATED HIGH DENSITY POLYETHYLENE SMOOTH INTERIOR PIPE. HDPE PIPE SHALL CONFORM TO ASTM D3350 WITH SOIL TIGHT JOINTS.
- ALL HDPE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND AASHTO SECTION 30.
- CONTRACTOR TO PROVIDE AND INSTALL MANUFACTURER RECOMMENDED FITTINGS ON RCP CONNECTIONS TO HDPE STRUCTURES.
- REFER TO PIPE CHART FOR CASTING TYPES. INSTALL REDUCERS AS NECESSARY PER MANUFACTURER'S SPECIFICATIONS TO ACCOMMODATE LARGER INLET SIZES.
- FOLLOW CONSTRUCTION PLANS AND MANUFACTURER DETAILS, SPECIFICATIONS, AND INSTALLATION INSTRUCTION AS INCLUDED WITHIN THE PLANS AND PROVIDED BY MANUFACTURER FOR THE INSTALLATION OF WATER QUALITY AND DETENTION SYSTEMS.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL STORM SEWER PIPE, STRUCTURES, WATER QUALITY STRUCTURES, AND DETENTION STRUCTURES FOR ENGINEER AND OWNER APPROVAL PRIOR TO ORDERING MATERIALS.

CLEARING AND GRUBBING:

- DO NOT EXCEED CLEARING AND GRUBBING LIMITS OF CONSTRUCTION LINES INDICATED ON THE PLANS.
- ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION LINE SHALL NOT BE CROSSED BY HEAVY EQUIPMENT OR USED FOR STORING HEAVY EQUIPMENT OR MATERIALS.
- NO EQUIPMENT SHALL BE STORED UNDER THE DRIP LINE OF TREES TO REMAIN.
- DO NOT FALL ANY TREES OR PUSH PILES OF DEBRIS AGAINST ANY TREES TO REMAIN.
- REMOVE ALL STUMPS, ROCKS, ASPHALT & CONCRETE DEBRIS, ETC. AND DISPOSE OFF SITE IN ACCORDANCE WITH LOCAL, STATE & FEDERAL REGULATIONS.
- CONTACT ALL UTILITY AUTHORITIES WHO HAVE LINES WITHIN THE CLEARING AND GRUBBING LIMITS BEFORE STARTING WORK
- ALL EROSION CONTROL SEDIMENT BARRIERS, SILT FENCES, AND TREE PROTECTION DEVICES SHALL BE INSTALLED PRIOR TO BEGINNING CLEARING AND GRUBBING.
- AFTER STAKING IS COMPLETED, TREES WITHIN GRADING LIMITS TO BE SAVED WILL BE IDENTIFIED BY THE OWNER'S REPRESENTATIVE. FIELD CHANGES TO GRADING PLANS SHALL BE MADE FOR SMOOTH TRANSITION OF GRADES AROUND ALL TREES WHICH REQUIRE TREE WELLS WITHIN THE GRADING LIMITS.
- ALL CLEARING SHALL BE LIMITED TO AREAS TO BE GRADED WITHIN 15 CALENDAR DAYS.

GRADING NOTES:

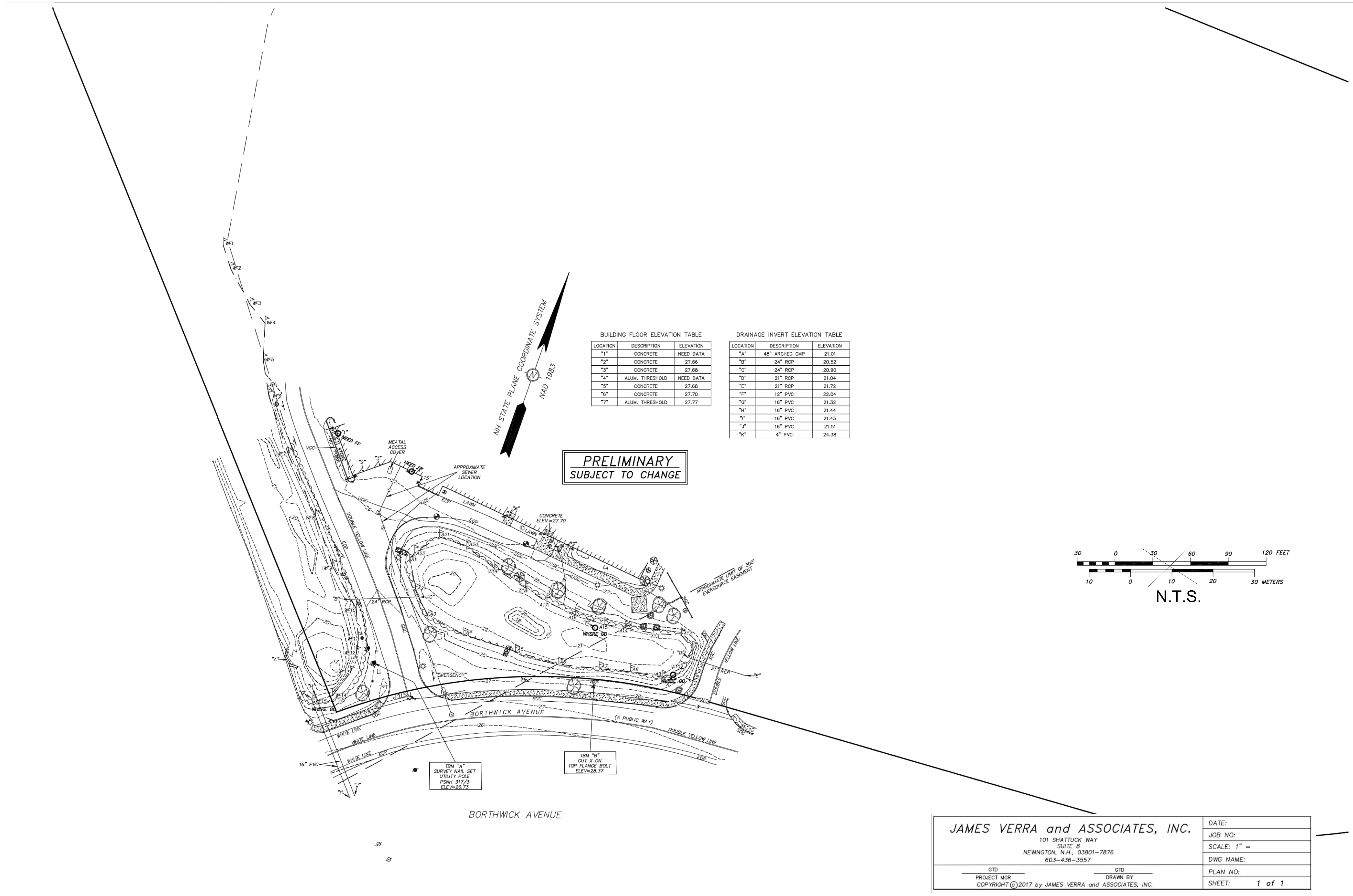
- TOPSOIL SHALL BE STORED ON SITE IN LOCATIONS APPROVED BY THE OWNER'S REPRESENTATIVE. DRAINAGE SHALL ROUT AROUND THESE TOPSOIL STOCKPILES FOR THE DURATION OF THE GRADING OPERATIONS. EROSION CONTROL MEASURES SHALL PREVENT THE LOSS OF TOPSOIL MATERIAL.
- UNSATURABLE SOILS SHALL BE UNIFORMLY SPREAD ACROSS NON-STRUCTURAL FILL AREAS AND COVERED WITH TOPSOIL AND SEEDED.
- FILL AREA SHALL BE PROOF-ROLLED WITH RUBBER-TIRED EQUIPMENT WITH A MINIMUM WEIGHT OF FIFTEEN TONS PRIOR TO BEGINNING FILL OPERATION. AREAS WHICH ARE SOFT OR UNSTABLE SHALL BE UNDERCUT UNTIL STABLE SOILS ARE FOUND. RE-COMPACTION OF THESE SOILS SHALL BE PER GEOTECHNICAL ENGINEER RECOMMENDATIONS.
- CUT AREA SHALL BE PROOF-ROLLED AFTER FINAL SUBGRADE IS ACHIEVED IN THE SAME MANNER AS FILLED AREAS. SOFT OR UNSTABLE SOILS SHALL BE SCARIFIED TO A DEPTH OF 12" AND RE-COMPACTED PER GEOTECHNICAL ENGINEER RECOMMENDATIONS.
- ALL GRADING SHALL BE COMPLETED TO THE LEVEL INDICATED BY THE SCOPE OF WORK LISTED IN THE BID DOCUMENTS.
- ELEVATIONS SHOWN ON THE PLANS IS THE FINISH GRADE ELEVATION.
- GRADING SHALL BE SEQUENCED SO THAT BASE STONE IS PLACED WITHIN 10 CALENDAR DAYS PF ACHIEVING OPTIMUM SUBGRADE COMPACTION.
- SOILS TESTING LABORATORY/ SOILS ENGINEER, CONTRACTOR WILL EMPLOY A QUALIFIED SOILS TESTING LABORATORY/ ENGINEER TO OBSERVE THIS WORK AND MAKE TESTS AS REQUIRED.
- HAVE EARTH BORROW FILL, AGGREGATE, AND TOPSOIL, AND STRUCTURAL FILL TESTED AND APPROVED BY DESIGNATED TESTING LABORATORY BEFORE MOVING IT TO THE JOB SITE.
- CONTRACTOR SHALL OBSERVE PROOF-ROLLING OF AREAS WHERE BUILDING AND PAVING WILL BE LOCATED TO DETERMINE ADEQUACY OF SOIL COMPACTION AND IN-PLACE SOILS. OTHER AREAS WILL BE INSPECTED BY SOILS ENGINEER TO DETERMINE ADEQUACY IN THOSE AREAS. IF SOILS ARE NOT ADEQUATE TO BEAR WEIGHTS THAT WILL BE IMPOSED, TESTING LABORATORY WILL OBSERVE AND REPORT CORRECTIVE ACTION TAKEN.
- TEST IN-PLACE SOIL AND FILLED AND COMPACTED AREAS. IF THESE ARE NOT ADEQUATE TO BEAR WEIGHTS IMPOSED, TESTING LABORATORY WILL ADVISE THE OWNER'S REPRESENTATIVE OF THEIR RECOMMENDATIONS. HE WILL DIRECT ANY CORRECTIVE MEASURES THAT ARE NECESSARY.
- SOILS COMPACTION TESTING OF IN-PLACE AND FILLED AND COMPACTED AREAS WILL BE PERFORMED BY TESTING LABORATORY IN ACCORDANCE WITH THEIR REQUIREMENTS.
- THE SOILS ENGINEER'S AND TESTING LABORATORY'S FEES WILL BE PAID BY THE CONTRACTOR.
- APPLICABLE SPECIFICATIONS FOR COMPACTED FILL: THE FOLLOWING CURRENT AMERICAN SOCIETY OF TESTING MATERIALS (ASTM) STANDARDS ARE HEREBY MADE PART OF THIS SPECIFICATION:
 - D421-58, DRY PREPARATION OF SOIL SAMPLES FOR GRAIN-SIZE ANALYSIS AND DETERMINATION OF SOIL CONSTANTS.
 - D422-63, STANDARD METHOD OF PARTICLE SIZE ANALYSIS OF SOILS.
 - D1140-54, METHOD OF TEST FOR AMOUNT OF MATERIAL IN SOILS FINER THAN NO.200 SIEVE.
 - D698, METHOD FOR LABORATORY COMPACTION CHARACTERISTICS OF SOIL USING STANDARD EFFORT
 - D1557-78, STANDARD TEST METHODS FOR MOISTURE-DENSITY RELATIONS OF SOILS AND SOIL-AGGREGATE MIXTURES USING 10 LB. (4.54-KG) RAMMER AND 18-INCH (457 MM) DROP.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AT ALL LOCATIONS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REVIEW THE SITE SPECIFIC GEOTECHNICAL REPORT PRIOR TO COMMENCING WITH GRADING OPERATIONS. WHERE CONFLICTS BETWEEN THE GRADING NOTES AND GEOTECHNICAL REPORT EXIST, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING WITH LOAD TICKETS, PHOTOGRAPHS, LOG BOOK, VIDEO RECORDING AND OTHER MEANS AS NECESSARY TO VERIFY THE INSTALLATION OF STORMWATER BEST MANAGEMENT PRACTICES REQUIRED BY THE LOCAL MUNICIPALITY AND JURISDICTION. AS-BUILT TOPOGRAPHY AND UTILITY PLANS HAVING BEEN PREPARED BY A QUALIFIED LAND SURVEYOR ARE REQUIRED TO BE SUBMITTED TO KIMLEY-HORN AT THE CONCLUSION OF THE PROJECT FOR VERIFICATION OF DESIGN INTENT. ANY MODIFICATIONS TO THE GRADING AND UTILITY SYSTEMS REQUIRED, NOT PREVIOUSLY APPROVED BY THE OWNER AND ENGINEER ARE THE RESPONSIBILITY OF THE CONTRACTOR.

PORTSMOUTH REGIONAL HOSPITAL
HOSPITAL
ICU & MED/STEPDOWN EXPANSION
PORTSMOUTH, NEW HAMPSHIRE



NO	DATE	BY	REVISIONS				
DESIGNED BY: CRA							
DRAWN BY: MEH							
CHECKED BY: BB							
DATE: 10/30/2019							
KIMLEY-HORN PROJECT NO. 118252002							
GENERAL NOTES							
SHEET NUMBER C0.01							

PORTSMOUTH REGIONAL HOSPITAL ICU & MED/STEPDOWN EXPANSION PORTSMOUTH, NEW HAMPSHIRE

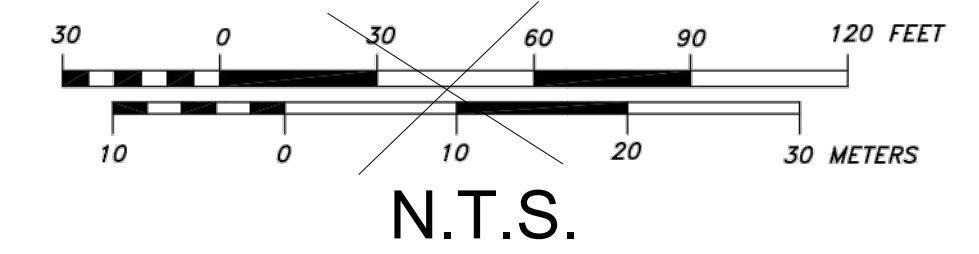


BUILDING FLOOR ELEVATION TABLE

LOCATION	DESCRIPTION	ELEVATION
1	CONCRETE	NEED DATA
2	CONCRETE	27.66
3	CONCRETE	27.68
4	ALUM. THRESHOLD	NEED DATA
5	CONCRETE	27.68
6	CONCRETE	27.70
7	ALUM. THRESHOLD	27.77

DRAINAGE INVERT ELEVATION TABLE

LOCATION	DESCRIPTION	ELEVATION
A	48" ARCHED CMP	21.01
B	24" RCP	20.52
C	24" RCP	20.90
D	21" RCP	21.04
E	21" RCP	21.72
F	12" PVC	22.04
G	16" PVC	21.32
H	16" PVC	21.44
I	16" PVC	21.43
J	16" PVC	21.51
K	4" PVC	24.38



JAMES VERRA and ASSOCIATES, INC.
 101 SHATTUCK WAY
 SUITE 8
 NEWINGTON, N.H., 03801-7876
 603-436-3557

DATE: _____
 JOB NO: _____
 SCALE: 1" = _____
 DWG NAME: _____
 PLAN NO: _____
 SHEET: 1 of 1

GTD PROJECT MGR
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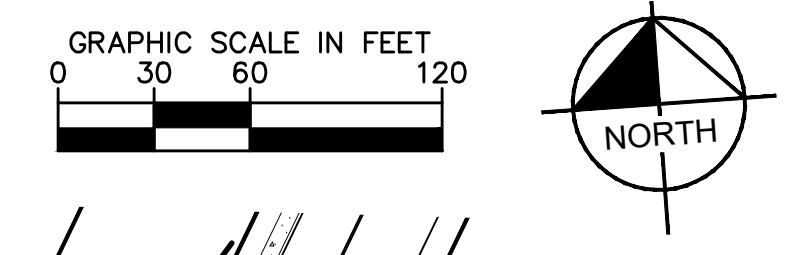
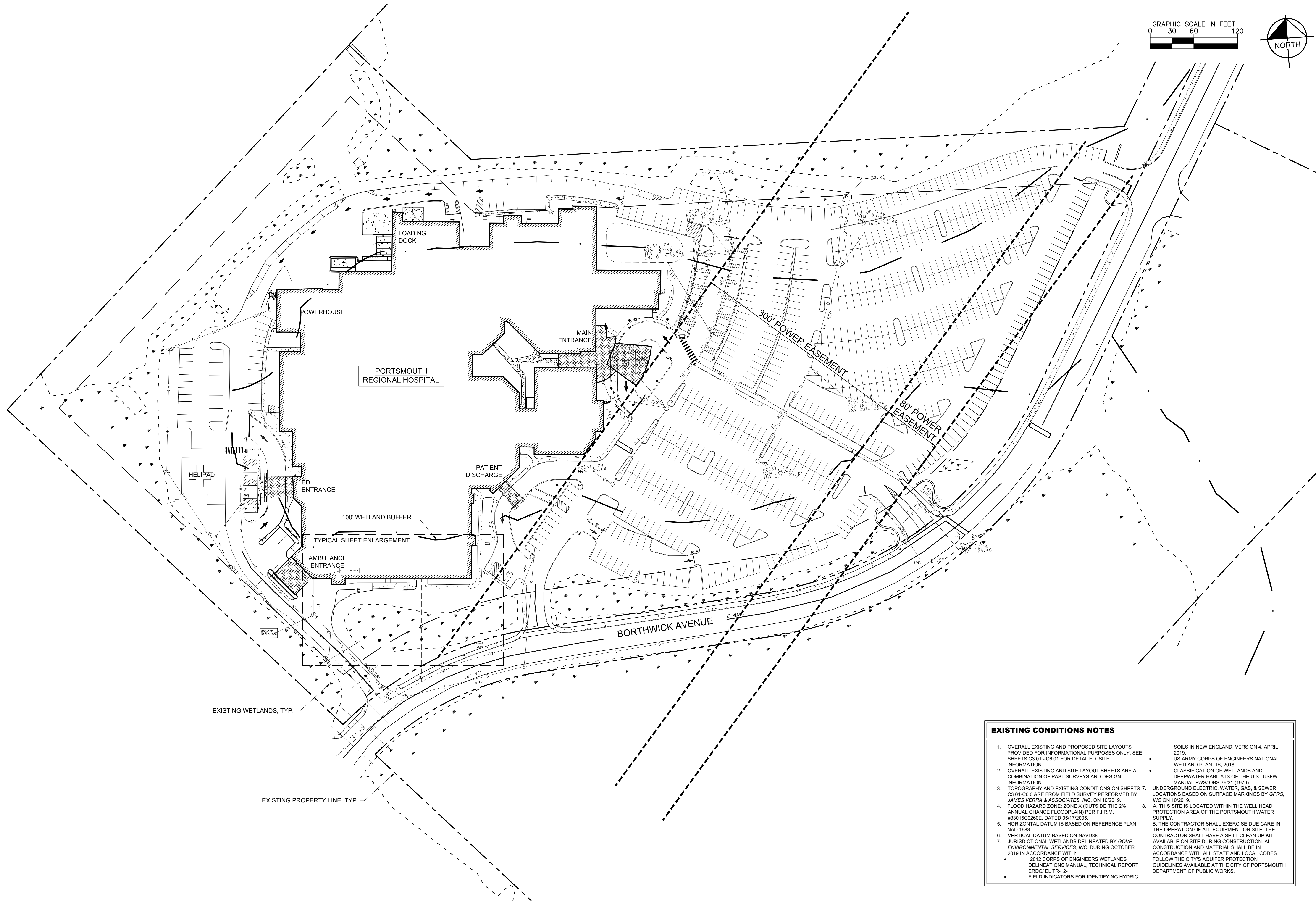
GTD DRAWN BY
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DESIGNED BY: CRA
 DRAWN BY: MEH
 CHECKED BY: BB
 DATE: 10/30/2019
 KIMLEY-HORN PROJECT NO. 118252002

SITE SURVEY - BY OTHERS

SHEET NUMBER
C0.02



**PORTSMOUTH REGIONAL HOSPITAL
 ICU & MED/STEPDOWN EXPANSION**
 PORTSMOUTH, NEW HAMPSHIRE



NO.	DATE	BY	REVISIONS
1			
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DESIGNED BY: PHN
 DRAWN BY: PHN
 CHECKED BY: ZJD
 DATE: 10/30/2019
 KIMLEY-HORN PROJECT NO. 118252002

EXISTING CONDITIONS - OVERALL

SHEET NUMBER
C1.00

- EXISTING CONDITIONS NOTES**
- OVERALL EXISTING AND PROPOSED SITE LAYOUTS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. SEE SHEETS C3.01 - C6.01 FOR DETAILED SITE INFORMATION.
 - OVERALL EXISTING AND SITE LAYOUT SHEETS ARE A COMBINATION OF PAST SURVEYS AND DESIGN INFORMATION.
 - TOPOGRAPHY AND EXISTING CONDITIONS ON SHEETS C3.01 - C6.0 ARE FROM FIELD SURVEY PERFORMED BY JAMES VERRA & ASSOCIATES, INC. ON 10/20/19.
 - FLOOD HAZARD ZONE, ZONE X (OUTSIDE THE 2% ANNUAL CHANCE FLOODPLAIN) PER F.I.R.M. #33015C0260E, DATED 05/17/2005.
 - HORIZONTAL DATUM IS BASED ON REFERENCE PLAN NAD 1983.
 - VERTICAL DATUM BASED ON NAVD88.
 - JURISDICTIONAL WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. DURING OCTOBER 2019 IN ACCORDANCE WITH:
 - 2012 CORPS OF ENGINEERS WETLANDS DELINEATIONS MANUAL, TECHNICAL REPORT ERDC/EL TR-12-1.
 - FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4, APRIL 2019.
 - US ARMY CORPS OF ENGINEERS NATIONAL WETLAND PLAN LIS, 2018.
 - CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE U.S. USFW MANUAL FWS/OBS-78/31 (1979).
 - UNDERGROUND ELECTRIC, WATER, GAS, & SEWER LOCATIONS BASED ON SURFACE MARKINGS BY GPRS, INC ON 10/20/19.
 - THIS SITE IS LOCATED WITHIN THE WELL HEAD PROTECTION AREA OF THE PORTSMOUTH WATER SUPPLY.
 - THE CONTRACTOR SHALL EXERCISE DUE CARE IN THE OPERATION OF ALL EQUIPMENT ON SITE. THE CONTRACTOR SHALL HAVE A SPILL CLEANUP KIT AVAILABLE ON SITE DURING CONSTRUCTION. ALL CONSTRUCTION AND MATERIAL SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES. FOLLOW THE CITY'S AQUIFER PROTECTION GUIDELINES AVAILABLE AT THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.



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DESIGNED BY: CRA
 DRAWN BY: MEH
 CHECKED BY: BB

DATE: 10/30/2019
 KIMLEY-HORN PROJECT NO. 118252002

SITE DEMOLITION - ENLARGEMENT

SHEET NUMBER
C2.00

EXISTING UTILITIES NOTE
 CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.

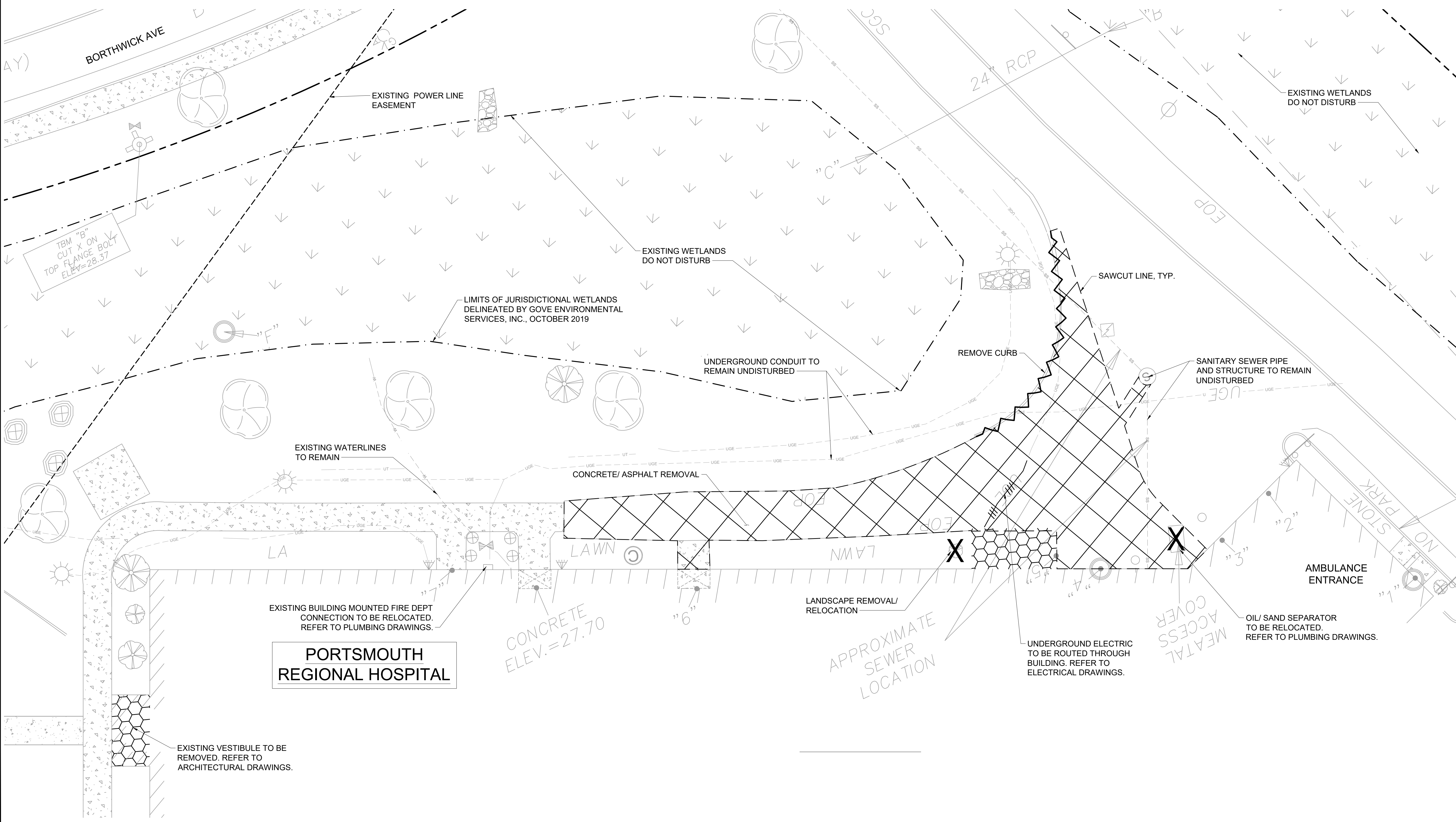
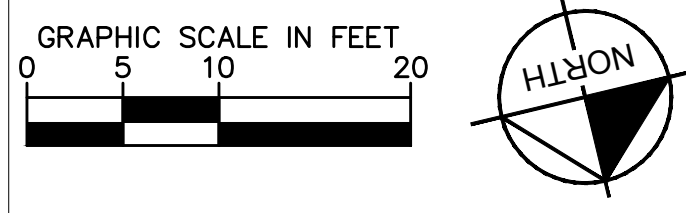
SEE DEMOLITION NOTES, SHEET C0-01.

EXISTING LEGEND

	LIMITS OF WETLANDS		BOLLARD
	PROPERTY LINE		STORMWATER HEADWALL
	BUILDING SETBACK		UTILITY POLE
	ELECTRIC EASEMENT		MONITORING WELL
	FENCE		FIRE HYDRANT
	UNDERGROUND ELECTRIC		WATER VALVE
	UNDERGROUND CABLE		CLEANOUT
	STORM PIPE		SANITARY SEWER MANHOLE
	SANITARY SEWER PIPE		SITE LIGHT POLE
	WATER PIPE		SIGN
	LANDSCAPE		

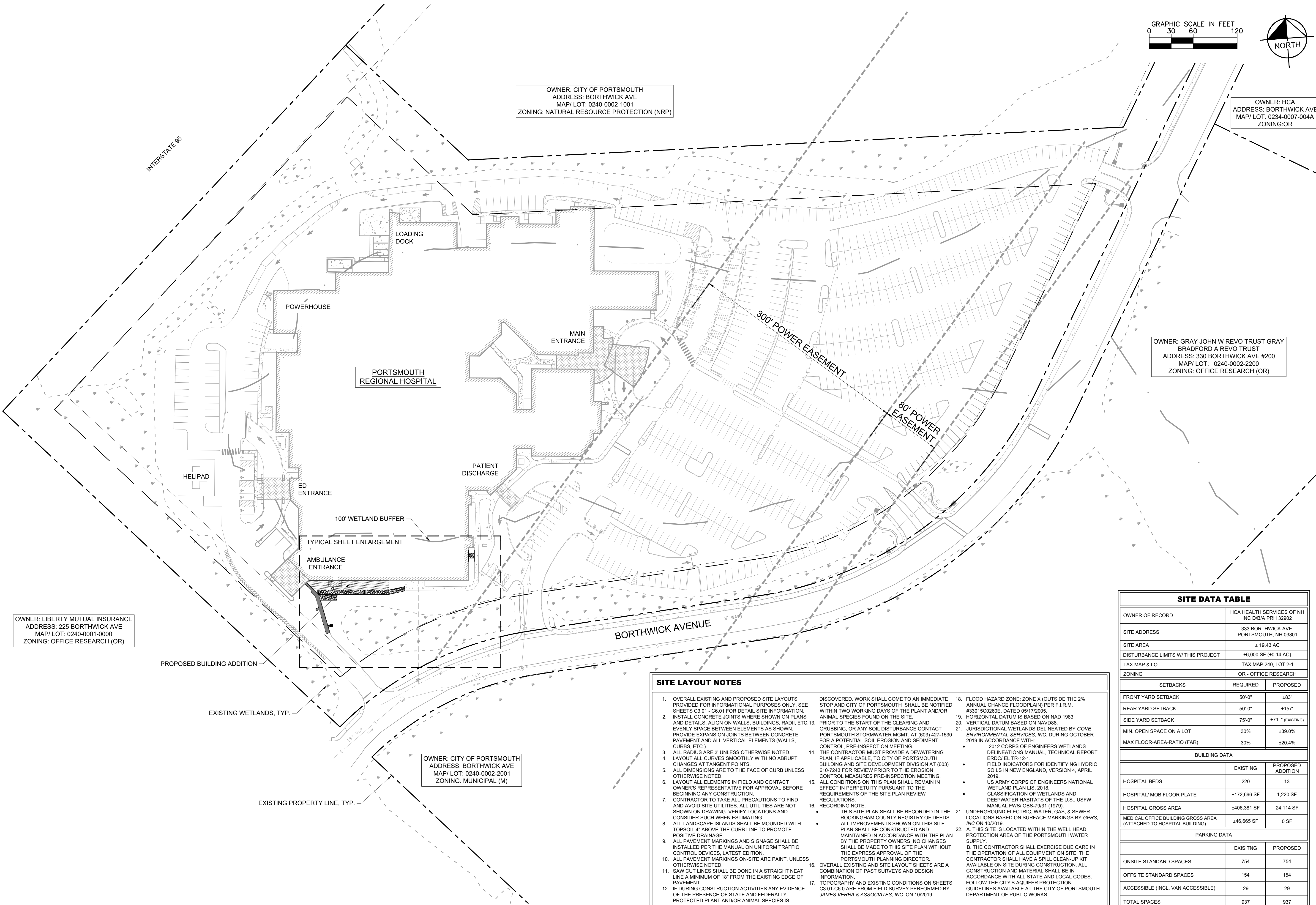
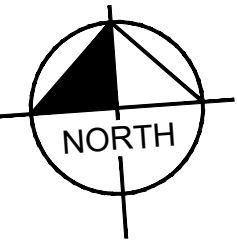
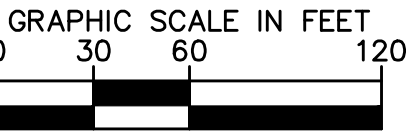
DEMOLITION LEGEND

	REMOVE CONCRETE/ ASPHALT
	BUILDING DEMOLITION
	REMOVE UTILITY
	REMOVE CURB
	REMOVE OBJECT



OWNER: CITY OF PORTSMOUTH
 ADDRESS: BORTHWICK AVE
 MAP/ LOT: 0240-0002-1001
 ZONING: NATURAL RESOURCE PROTECTION (NRP)

OWNER: HCA
 ADDRESS: BORTHWICK AVE
 MAP/ LOT: 0234-0007-004A
 ZONING: OR



OWNER: LIBERTY MUTUAL INSURANCE
 ADDRESS: 225 BORTHWICK AVE
 MAP/ LOT: 0240-0001-0000
 ZONING: OFFICE RESEARCH (OR)

OWNER: CITY OF PORTSMOUTH
 ADDRESS: BORTHWICK AVE
 MAP/ LOT: 0240-0002-2001
 ZONING: MUNICIPAL (M)

OWNER: GRAY JOHN W REVO TRUST GRAY
 BRADFORD A REVO TRUST
 ADDRESS: 330 BORTHWICK AVE #200
 MAP/ LOT: 0240-0002-2200
 ZONING: OFFICE RESEARCH (OR)

SITE LAYOUT NOTES

- OVERALL EXISTING AND PROPOSED SITE LAYOUTS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. SEE SHEETS C3.01 - C6.01 FOR DETAIL SITE INFORMATION.
- INSTALL CONCRETE JOINTS WHERE SHOWN ON PLANS AND DETAILS. ALIGN ON WALLS, BUILDINGS, RADI, ETC. 13. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND ALL VERTICAL ELEMENTS (WALLS, CURBS, ETC.).
- ALL RADII ARE 3' UNLESS OTHERWISE NOTED.
- LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- LAYOUT ALL ELEMENTS IN FIELD AND CONTACT OWNER'S REPRESENTATIVE FOR APPROVAL BEFORE BEGINNING ANY CONSTRUCTION.
- CONTRACTOR TO TAKE ALL PRECAUTIONS TO FIND AND AVOID SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. VERIFY LOCATIONS AND CONSIDER SUCH WHEN ESTIMATING.
- ALL LANDSCAPE ISLANDS SHALL BE MOUNDING WITH TOPSOIL 4" ABOVE THE CURB LINE TO PROMOTE POSITIVE DRAINAGE.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- ALL PAVEMENT MARKINGS ON-SITE ARE PAINT, UNLESS OTHERWISE NOTED.
- SAW CUT LINES SHALL BE DONE IN A STRAIGHT NEAT LINE A MINIMUM OF 18" FROM THE EXISTING EDGE OF PAVEMENT.
- IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE AND FEDERALLY PROTECTED PLANT AND/OR ANIMAL SPECIES IS DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND CITY OF PORTSMOUTH SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND/OR ANIMAL SPECIES FOUND ON THE SITE.
- PRIOR TO THE START OF THE CLEARING AND GRUBBING, OR ANY SOIL DISTURBANCE CONTACT PORTSMOUTH STORMWATER MGMT. AT (603) 427-1530 FOR A POTENTIAL SOIL EROSION AND SEDIMENT CONTROL. PRE-INSPECTION MEETING.
- THE CONTRACTOR MUST PROVIDE A DEWATERING PLAN, IF APPLICABLE, TO CITY OF PORTSMOUTH BUILDING AND SITE DEVELOPMENT DIVISION AT (603) 610-7243 FOR REVIEW PRIOR TO THE EROSION CONTROL MEASURES PRE-INSPECTION MEETING.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- RECORDING NOTE:
 • THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
 • ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- OVERALL EXISTING AND SITE LAYOUT SHEETS ARE A COMBINATION OF PAST SURVEYS AND DESIGN INFORMATION.
- TOPOGRAPHY AND EXISTING CONDITIONS ON SHEETS C3.01-C6.0 ARE FROM FIELD SURVEY PERFORMED BY JAMES VERRA & ASSOCIATES, INC. ON 10/20/19.
- FLOOD HAZARD ZONE: ZONE X (OUTSIDE THE 2% ANNUAL CHANCE FLOODPLAIN) PER F.I.R.M. #330150C0260E, DATED 05/17/2005.
- HORIZONTAL DATUM IS BASED ON NAD 1983.
- VERTICAL DATUM BASED ON NAVD83.
- JURISDICTIONAL WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. DURING OCTOBER 2019 IN ACCORDANCE WITH:
 • 2012 CORPUS OF ENGINEERS WETLANDS DELINEATIONS MANUAL, TECHNICAL REPORT ERDC/EL TR-12-1.
 • FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4, APRIL 2019.
 • US ARMY CORPS OF ENGINEERS NATIONAL WETLAND PLAN LIS, 2018.
 • CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE U.S. USFW MANUAL FWS/OBS-79/31 (1979).
- UNDERGROUND ELECTRIC, WATER, GAS, & SEWER LOCATIONS BASED ON SURFACE MARKINGS BY GPRS, I/O ON 10/20/19.
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 B. THE CONTRACTOR SHALL EXERCISE DUE CARE IN THE OPERATION OF ALL EQUIPMENT ON SITE. THE CONTRACTOR SHALL HAVE A SPILL CLEAN-UP KIT AVAILABLE ON SITE DURING CONSTRUCTION. ALL CONSTRUCTION AND MATERIAL SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES. FOLLOW THE CITY'S AQUIFER PROTECTION GUIDELINES AVAILABLE AT THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.

SITE DATA TABLE

OWNER OF RECORD	HCA HEALTH SERVICES OF NH INC D/B/A PRH 32902	
SITE ADDRESS	333 BORTHWICK AVE, PORTSMOUTH, NH 03801	
SITE AREA	± 19.43 AC	
DISTURBANCE LIMITS W/ THIS PROJECT	±6,000 SF (±0.14 AC)	
TAX MAP & LOT	TAX MAP 240, LOT 2-1	
ZONING	OR - OFFICE RESEARCH	
SETBACKS	REQUIRED	PROPOSED
FRONT YARD SETBACK	50'-0"	±83'
REAR YARD SETBACK	50'-0"	±157'
SIDE YARD SETBACK	75'-0"	±71" (EXISTING)
MIN. OPEN SPACE ON A LOT	30%	±39.0%
MAX FLOOR-AREA-RATIO (FAR)	30%	±20.4%
BUILDING DATA		
	EXISTING	PROPOSED ADDITION
HOSPITAL BEDS	220	13
HOSPITAL/ MOB FLOOR PLATE	±172,696 SF	1,220 SF
HOSPITAL GROSS AREA	±406,381 SF	24,114 SF
MEDICAL OFFICE BUILDING GROSS AREA (ATTACHED TO HOSPITAL BUILDING)	±46,665 SF	0 SF
PARKING DATA		
	EXISTING	PROPOSED
ONSITE STANDARD SPACES	754	754
OFFSITE STANDARD SPACES	154	154
ACCESSIBLE (INCL. VAN ACCESSIBLE)	29	29
TOTAL SPACES	937	937

Kimley»Horn
 300 Baker Avenue, Suite 300, Concord, MA 01742
 Main: 781.328.0676 | www.kimley-horn.com
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**PORTSMOUTH REGIONAL
 HOSPITAL**
 ICU & MED/STEPDOWN EXPANSION
 PORTSMOUTH, NEW HAMPSHIRE



DESIGNED BY:	PHN
DRAWN BY:	PHN
CHECKED BY:	ZJD
DATE:	10/30/2019
KIMLEY-HORN PROJECT NO.:	118252002

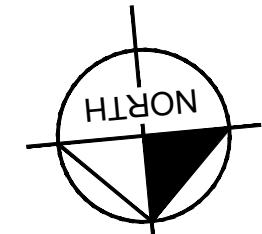
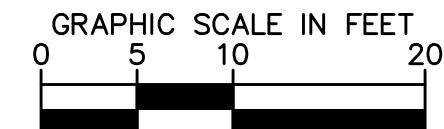
SITE LAYOUT- OVERALL
 SHEET NUMBER
C3.00

SITE LAYOUT NOTES

- INSTALL CONCRETE JOINTS WHERE SHOWN ON PLANS AND DETAILS. ALIGN ON WALLS, BUILDINGS, RADI, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND ALL VERTICAL ELEMENTS (WALLS, CURBS, ETC.).
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- TOPOGRAPHY AND EXISTING CONDITIONS FROM FIELD SURVEY PERFORMED BY JAMES VERRA & ASSOCIATES, INC. ON 10/2019.
- FLOOD HAZARD ZONE: ZONE X (OUTSIDE THE 2% ANNUAL CHANCE FLOODPLAIN) PER F.I.R.M. #33015C0260E, DATED 05/17/2005.
- HORIZONTAL DATUM IS BASED ON REFERENCE PLAN #1.
- VERTICAL DATUM BASED ON NGVD 29.
- JURISDICTIONAL WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. DURING OCTOBER 2019 IN ACCORDANCE WITH:
 - 2012 CORPS OF ENGINEERS WETLANDS DELINEATIONS MANUAL, TECHNICAL REPORT ERDC/EL TR-12-1.
 - FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4, APRIL 2019.
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- UNDERGROUND ELECTRIC, WATER, GAS, & SEWER LOCATIONS BASED ON SURFACE MARKINGS BY GPRS, INC. ON 10/2019.

SITE DATA TABLE

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TAX MAP & LOT	TAX MAP 240, LOT 2-1	
ZONING	OR - OFFICE RESEARCH	
SETBACKS		
	REQUIRED	PROPOSED
FRONT YARD SETBACK	50'-0"	± 83'
REAR YARD SETBACK	50'-0"	± 157'
SIDE YARD SETBACK	75'-0"	± 71' (EXISTING)
MIN. OPEN SPACE ON A LOT	30%	± 39.0%
MAX FLOOR-AREA-RATIO (FAR)	30%	± 20.4%
BUILDING DATA		
	EXISTING	PROPOSED ADDITION
HOSPITAL BEDS	220	13
HOSPITAL/ MOB FLOOR PLATE	± 172,696 SF	1,220 SF
HOSPITAL GROSS AREA	± 406,381 SF	24,114 SF
MEDICAL OFFICE BUILDING GROSS AREA (ATTACHED TO HOSPITAL BUILDING)	± 46,665 SF	0 SF
PARKING DATA		
	EXISTING	PROPOSED
ONSITE STANDARD SPACES	754	754
OFFSITE STANDARD SPACES	154	154
ACCESSIBLE (INCL. VAN ACCESSIBLE)	29	29
TOTAL SPACES	937	937

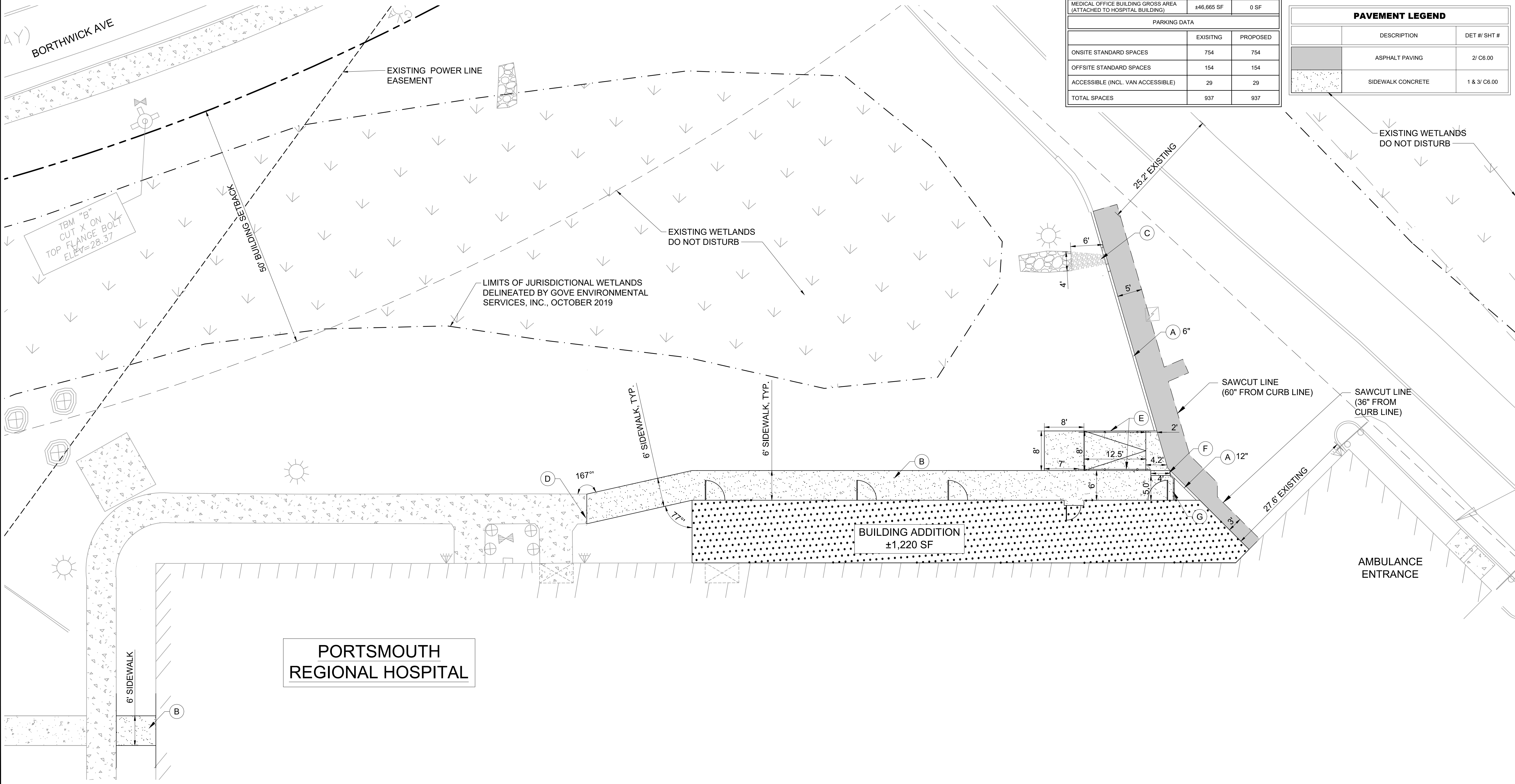


CONSTRUCTION NOTES

- A INSTALL ± 5.5 LF OF 6" VERTICAL GRANITE CURB
DETAIL #8/ SHEET C6.00
- B INSTALL ± 120 LF OF 6" CONCRETE SIDEWALK
DETAIL #1 & 3/ SHEET C6.00
- C INSTALL 2' CURB CUT
DETAIL #9/ SHEET C6.00
- D DOWEL CONNECT TO EXISTING SIDEWALK.
CONTRACTOR TO PROVIDE SMOOTH TRANSITION.
- E INSTALL 12.5' LONG, 8" WIDE SIDEWALK RAMP
WITH HANDRAILS; DETAIL #10/ SHEET C6.00
- F INSTALL (2) 6-INCH RISERS WITH 1-F TREADS
DETAIL #11/ SHEET C6.00
- G INSTALL ± 5.5 LF OF GUARDRAIL
DETAIL #12/ SHEET C6.00

PAVEMENT LEGEND

DESCRIPTION	DET #/ SHT #
ASPHALT PAVING	2/ C6.00
SIDEWALK CONCRETE	1 & 3/ C6.00



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 ICU & MED/STEPDOWN EXPANSION**
 PORTSMOUTH, NEW HAMPSHIRE



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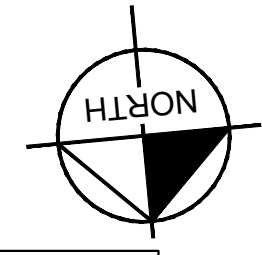
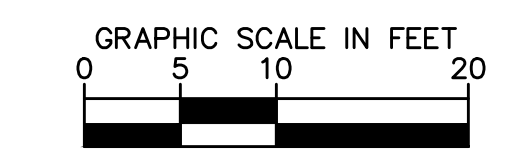
DESIGNED BY: CRA
 DRAWN BY: MEH
 CHECKED BY: BB
 DATE: 10/30/2019
 KIMLEY-HORN PROJECT NO. 118252002

SITE LAYOUT - ENLARGEMENT
 SHEET NUMBER
C3.01

EXISTING LEGEND	
--- (dashed line)	LIMITS OF WETLANDS
--- (dashed line)	PROPERTY LINE
--- (dashed line)	BUILDING SETBACK
--- (dashed line)	ELECTRIC EASEMENT
--- (dashed line)	FENCE
--- (dashed line)	UNDERGROUND ELECTRIC
--- (dashed line)	UNDERGROUND CABLE
--- (dashed line)	STORM PIPE
--- (dashed line)	SANITARY SEWER PIPE
--- (dashed line)	WATER PIPE
--- (dashed line)	LANDSCAPE
--- (dashed line)	BOLLARD
--- (dashed line)	STORMWATER HEADWALL
--- (dashed line)	UTILITY POLE
--- (dashed line)	MONITORING WELL
--- (dashed line)	FIRE HYDRANT
--- (dashed line)	WATER VALVE
--- (dashed line)	CLEANOUT
--- (dashed line)	SANITARY SEWER MANHOLE
--- (dashed line)	SITE LIGHT POLE
--- (dashed line)	SIGN

GRADING NOTES

- CONTRACTOR RESPONSIBLE FOR VERIFYING LOCATION, SIZE, AND ELEVATIONS OF EXISTING UTILITIES AT CONNECTION POINTS PRIOR TO GRADING OR INSTALLATION OF ANY PROPOSED UTILITIES. CONTRACTOR TO IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
- ADDITIONAL EROSION CONTROL DEVICES TO BE USED AS REQUIRED BY LOCAL INSPECTOR.
- DISTURBED AREAS LEFT IDLE FOR FIVE DAYS, AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION. MULCH, TEMPORARY VEGETATION OR PERMANENT VEGETATION SHALL BE COMPLETED ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE. ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION UPON COMPLETION.
- WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDING AREA WITHIN 24 HOURS OF SEEDING. IF UNABLE TO ACCOMPLISH, MULCH SHALL BE USED AS A TEMPORARY COVER. CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2.5:1 AND WITH A HEIGHT OF TEN FEET OR GREATER (DOES NOT APPLY TO RETAINING WALLS), AND CUTS AND FILLS WITHIN BUFFERS, SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKETS.
- THE GRADING PERMIT/SITE PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.
- EROSION AND SEDIMENT CONTROL DEVICES MUST BE DISPLAYED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR MUST CALL FOR AN INSPECTION TO OBTAIN A PERMIT TO GRADE. PLEASE CALL WITH ENOUGH LEAD-TIME FOR AN INSPECTION TO MEET YOUR SCHEDULE.
- SEDIMENT/EROSION CONTROL DEVICES MUST BE INSPECTED ACCORDING TO LOCAL AND STATE REQUIREMENTS AND AS STIPULATED IN THE STORMWATER POLLUTION PREVENTION PLAN. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MAY BE NECESSARY AS THE PROJECT PROGRESSES AND NEW CHANNELS HAVE DEVELOPED.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- CONTRACTOR SHALL REVIEW SITE GEOTECHNICAL REPORT BEFORE COMMENCING GRADING OPERATIONS.
- TOPSOIL ON SITE TO BE STRIPPED AND STOCKPILED FOR REUSE IN LAWN AREAS.
- INSTALL SOD OR RIPRAP IN SWALES AS INDICATED ON GRADING PLANS AND EROSION CONTROL PLANS.
- ADAPTED DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER WATER QUALITY MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
- UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, DESIGNER, OR THEIR REPRESENTATIVES. BEFORE YOU DIG CALL ONE CALL-811 OR 1-800-752-6007.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.
- HORIZONTAL DATUM IS BASED ON NAD 1983.
- VERTICAL DATUM BASED ON NAVD88.

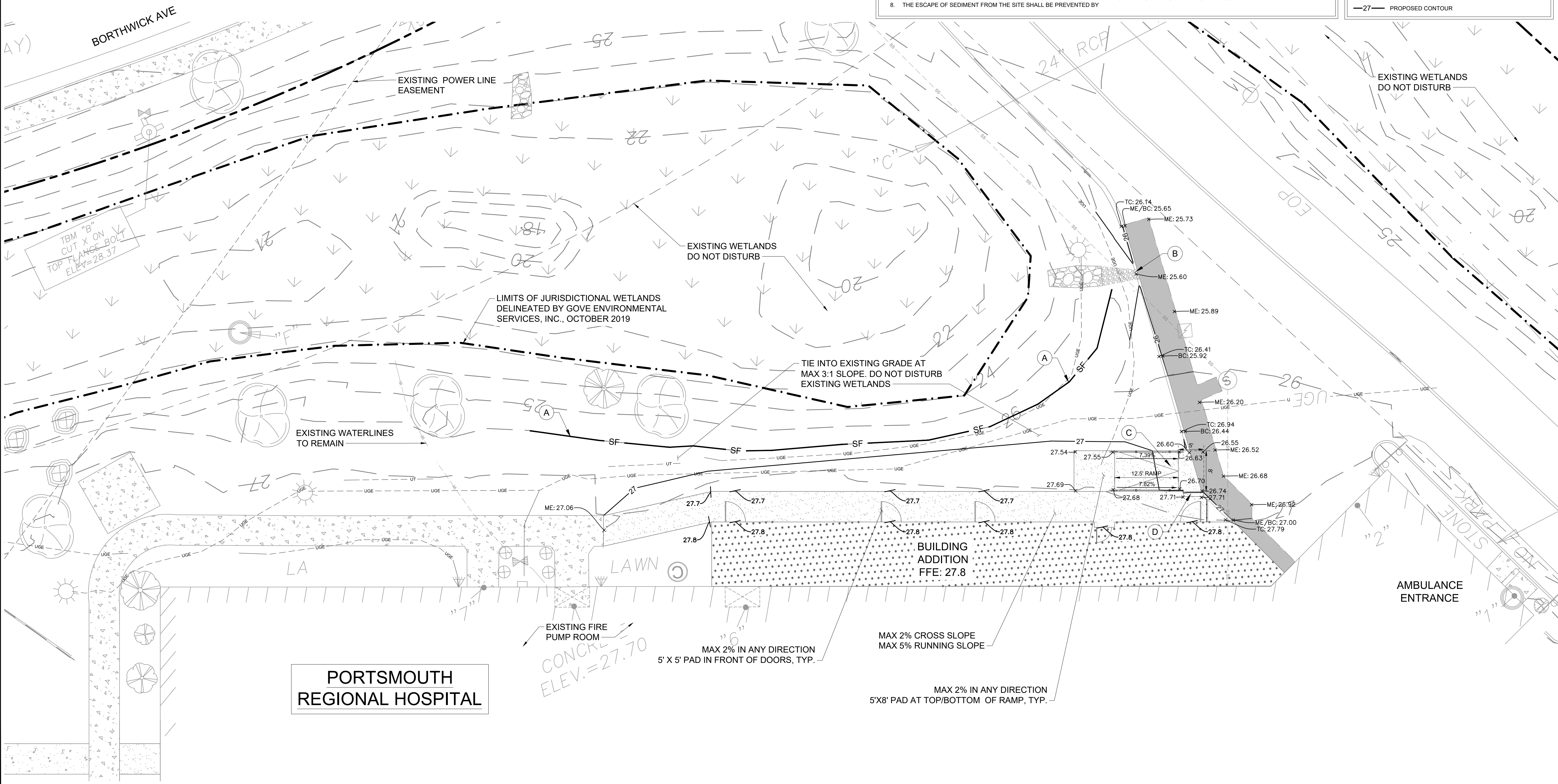


CONSTRUCTION NOTES

- A INSTALL #130 LF OF SILT FENCE. REMOVE UPON FINAL STABILIZATION. DETAIL #71/SHEET C6.00
- B INSTALL 2' CURB CUT & OUTLET PROTECTION DETAIL #91/SHEET C6.00
- C INSTALL 12.5' SIDEWALK RAMP W/ HANDRAILS DETAIL #101/SHEET C6.00
- D INSTALL (2) 6-INCH RISERS WITH 1-FT TREADS DETAIL #111/SHEET C6.00

GRADING PLAN LEGEND

28.60	SPOT ELEVATION	LP	LOW POINT
HP	HIGH POINT	BC	BOTTOM OF CURB/ GUTTER LINE
TC	TOP OF CURB	BM	BOTTOM OF EXPOSED WALL
TW	TOP OF WALL	RIM	TOP OF GRATE / COVER
INW	INVERT		
ME	MATCH EXISTING		
FFE	FINISH FLOOR ELEVATION		
---	EXISTING CONTOUR		
---	PROPOSED CONTOUR		



PORTSMOUTH REGIONAL HOSPITAL

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**PORTSMOUTH REGIONAL HOSPITAL
 ICU & MED/STEPDOWN EXPANSION**
 PORTSMOUTH, NEW HAMPSHIRE



NO.	DATE	BY	REVISIONS
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DESIGNED BY: CRA
 DRAWN BY: MEH
 CHECKED BY: BB
 DATE: 10/30/2019
 KIMLEY-HORN PROJECT NO. 118252002

SITE GRADING & EROSION CONTROL

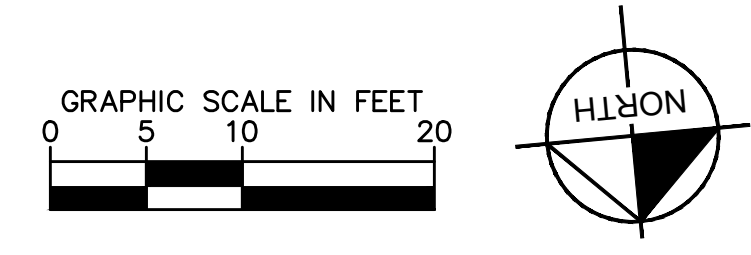
SHEET NUMBER
C4.00

EXISTING LEGEND	
--- (dashed line)	LIMITS OF WETLANDS
--- (long dashed line)	PROPERTY LINE
--- (short dashed line)	BUILDING SETBACK
--- (dash-dot line)	ELECTRIC EASEMENT
--- (line with circles)	FENCE
--- (line with 'U') and --- (line with 'E')	UNDERGROUND ELECTRIC
--- (line with 'C')	UNDERGROUND CABLE
--- (line with 'S')	STORM PIPE
--- (line with 'SS')	SANITARY SEWER PIPE
--- (line with 'W')	WATER PIPE
--- (line with 'L')	LANDSCAPE
--- (line with 'B')	BOLLARD
--- (line with 'H')	STORMWATER HEADWALL
--- (line with 'U')	UTILITY POLE
--- (line with 'M')	MONITORING WELL
--- (line with 'F')	FIRE HYDRANT
--- (line with 'V')	WATER VALVE
--- (line with 'C')	CLEANOUT
--- (line with 'S')	SANITARY SEWER MANHOLE
--- (line with 'L')	SITE LIGHT POLE
--- (line with 'S')	SIGN

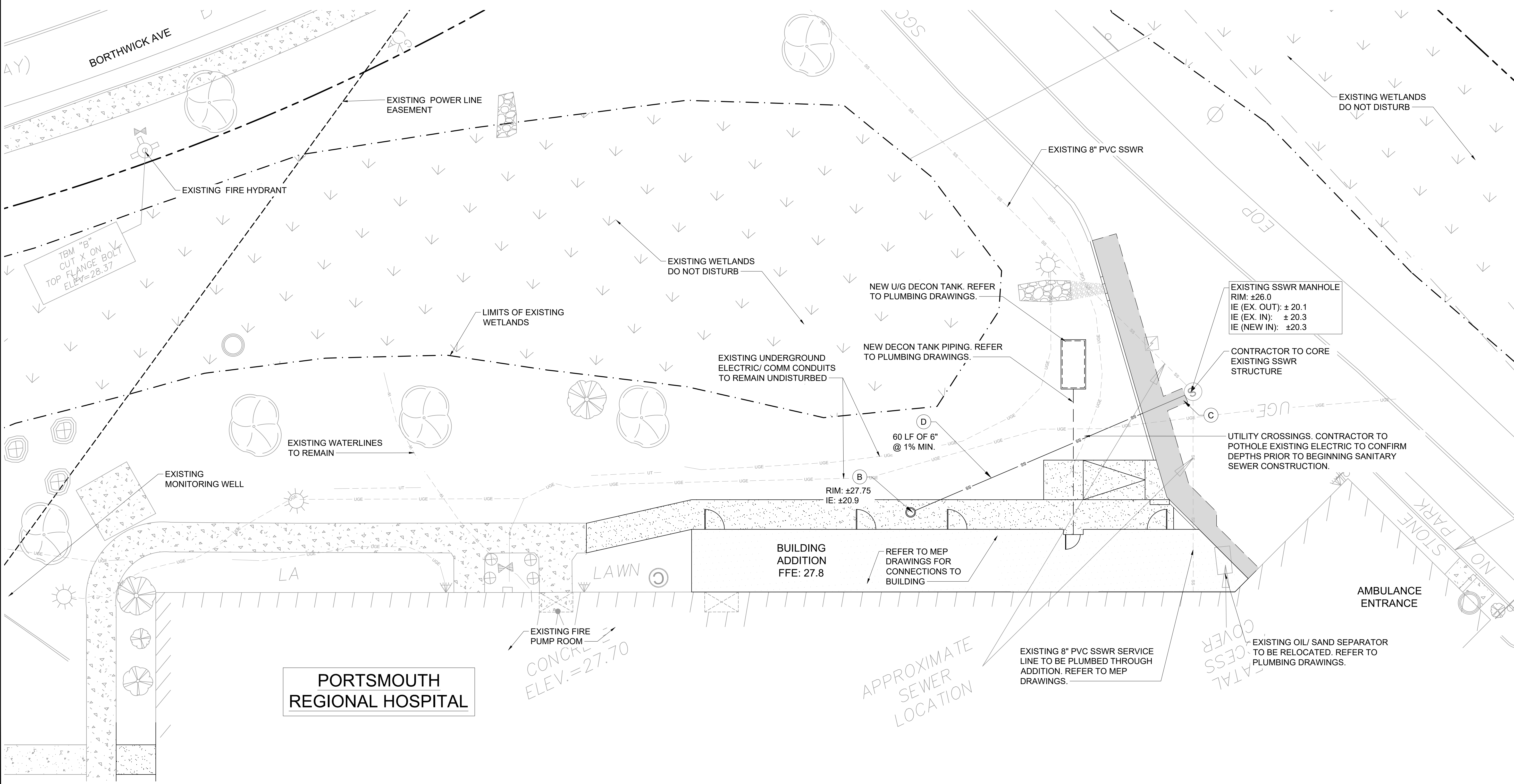
- UTILITY NOTES**
- CONTRACTOR RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS COMPARED TO THOSE SHOWN ON PLAN PRIOR TO GRADING. NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
 - ALL WATER AND SEWER MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH CITY OF PORTSMOUTH WATER/SEWER DEPARTMENT STANDARD SPECIFICATIONS.
 - MAINTAIN MINIMUM 10 FEET HORIZONTAL SEPARATION BETWEEN WATER & SANITARY SEWER OR 18" VERTICAL SEPARATION AT CROSSING LOCATIONS.
 - REFER TO CITY OF PORTSMOUTH WATER/SEWER DEPARTMENT STANDARD SPECIFICATIONS FOR PIPE BEDDING REQUIREMENTS.
 - THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS-BUILT DRAWINGS OF WATER & SANITARY SEWER CONSTRUCTION PRIOR TO THE ACCEPTANCE OF THE PUBLIC UTILITIES.

EXISTING UTILITIES NOTE

CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.



- CONSTRUCTION NOTES**
- (A) NOT USED
 - (B) INSTALL SSWR CLEANOUT DETAIL #4/ SHEET C6.00
 - (C) TRENCH BACKFILL DETAIL #5/ SHEET C6.00
 - (D) SDR 35 PVC SSWR PIPE



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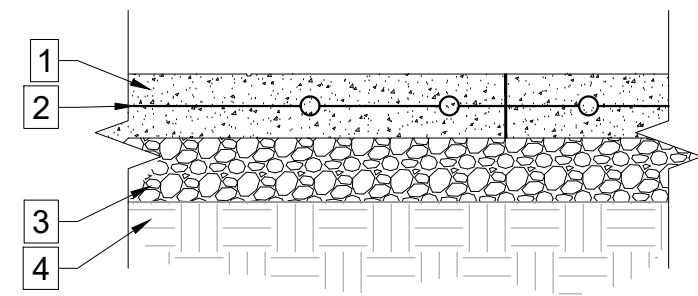
PORTSMOUTH REGIONAL HOSPITAL
ICU & MED/STEPDOWN EXPANSION
 PORTSMOUTH, NEW HAMPSHIRE



NO.	DATE	BY	REVISIONS
1			
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8			
9			
10			

DESIGNED BY: CRA
 DRAWN BY: MEH
 CHECKED BY: BB
 DATE: 10/30/2019
 KIMLEY-HORN PROJECT NO. 118252002

SITE UTILITIES
 SHEET NUMBER
C5.00

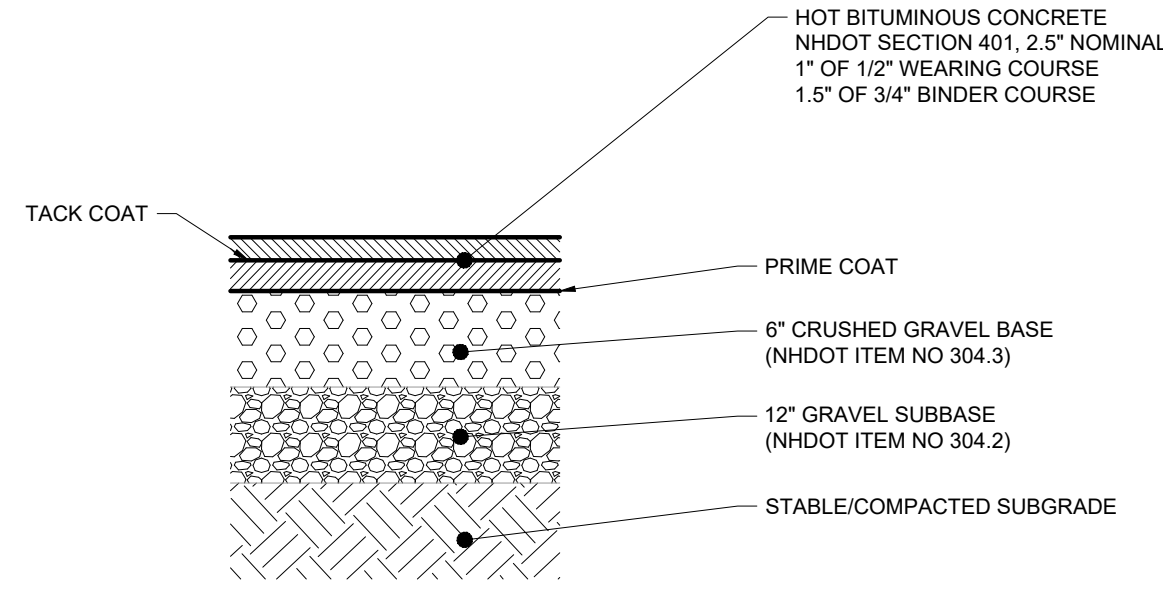


- NOTES:
- PAVEMENT SECTION TO BE PROVIDED BY GEOTECH REPORT. FINAL PAVEMENT SECTION TO BE DETERMINED BY ONSITE GEOTECH BASED UPON EXISTING SOIL CONDITIONS.
 - FIBER MESH REINFORCING CAN BE SUBSTITUTED FOR W.W.M. APPLICATION RATES SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 - ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH NH-DOT STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION.
 - LIGHT BROOM FINISH SHALL BE PERPENDICULAR TO THE DIRECTION OF TRAVEL.

PAVEMENT LEGEND

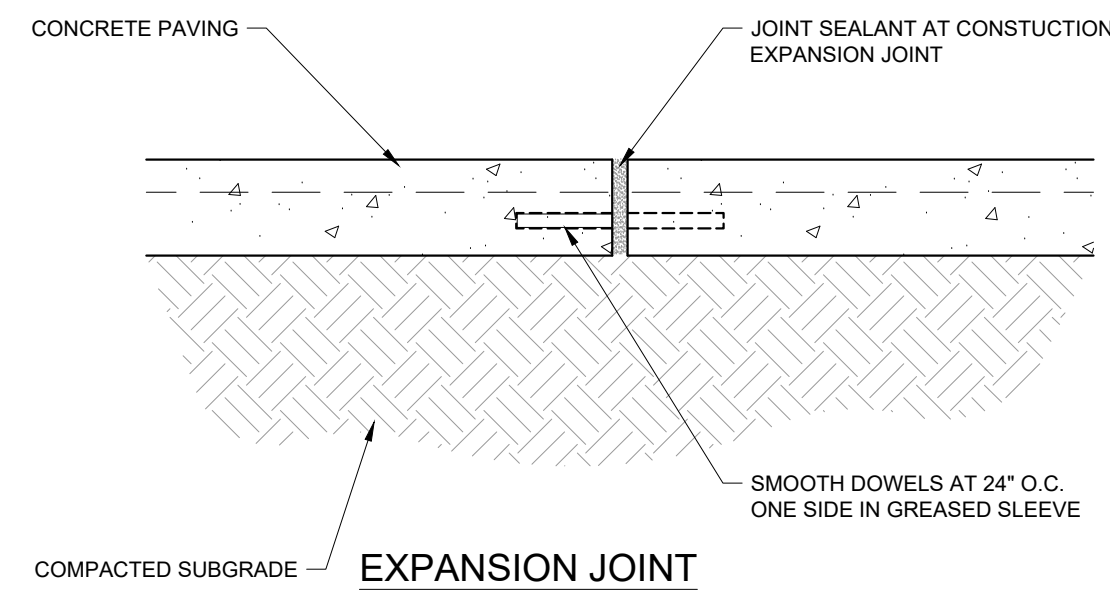
1	4" 3,500 PSI CONCRETE WITH LIGHT BROOM FINISH
2	6 X 6, 10, 10 W.W.M.
3	6" COMPACTED CRUSHED GRAVEL (NH DOT 304.3)
4	COMPACTED SUBGRADE

1 CONCRETE SIDEWALK
NOT TO SCALE

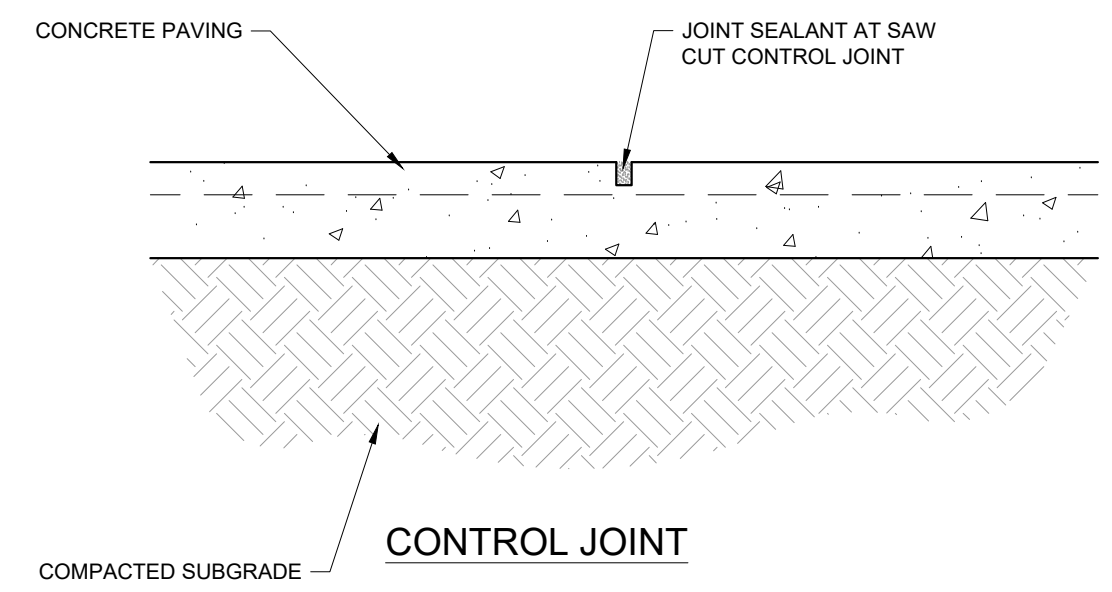


- NOTES:
- PAVEMENT SECTION TO BE PROVIDED BY GEOTECH ENGINEER REPORT. FINAL PAVEMENT SECTION TO BE DETERMINED BY ONSITE GEOTECH BASED UPON EXISTING SOIL CONDITIONS.
 - ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH NH-DOT STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION.

2 HEAVY DUTY ASPHALT
NOT TO SCALE

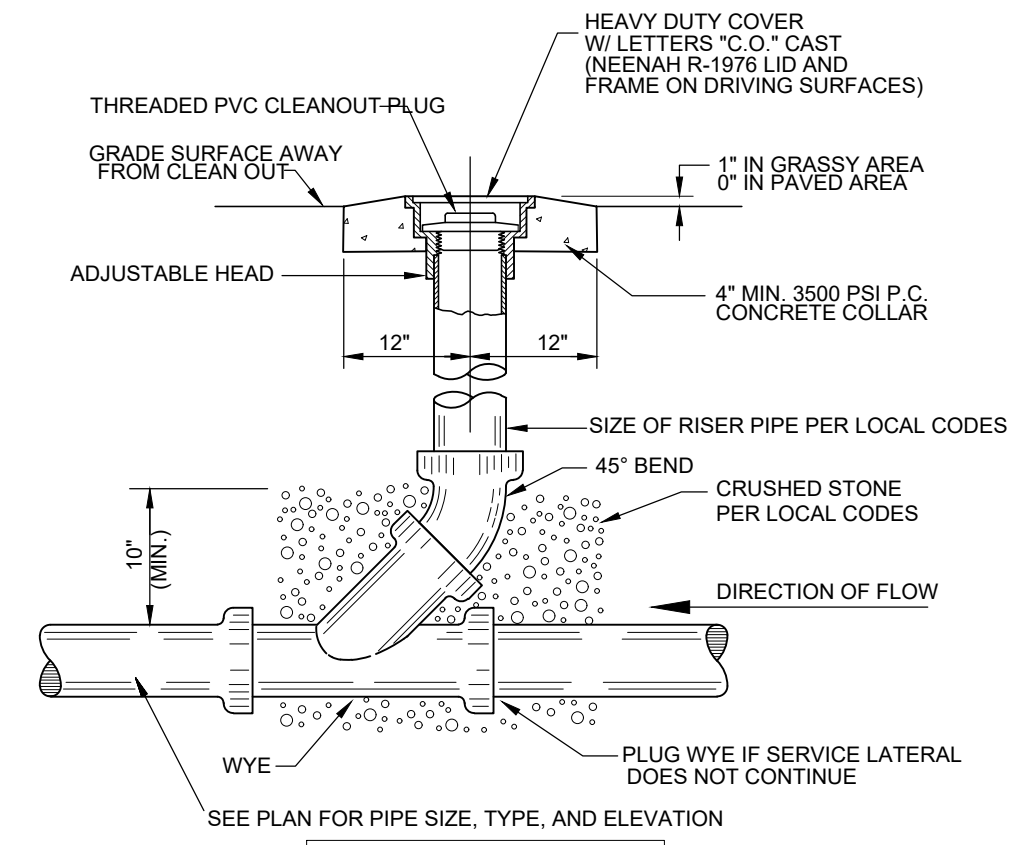


3 SIDEWALK JOINT DETAIL
NOT TO SCALE



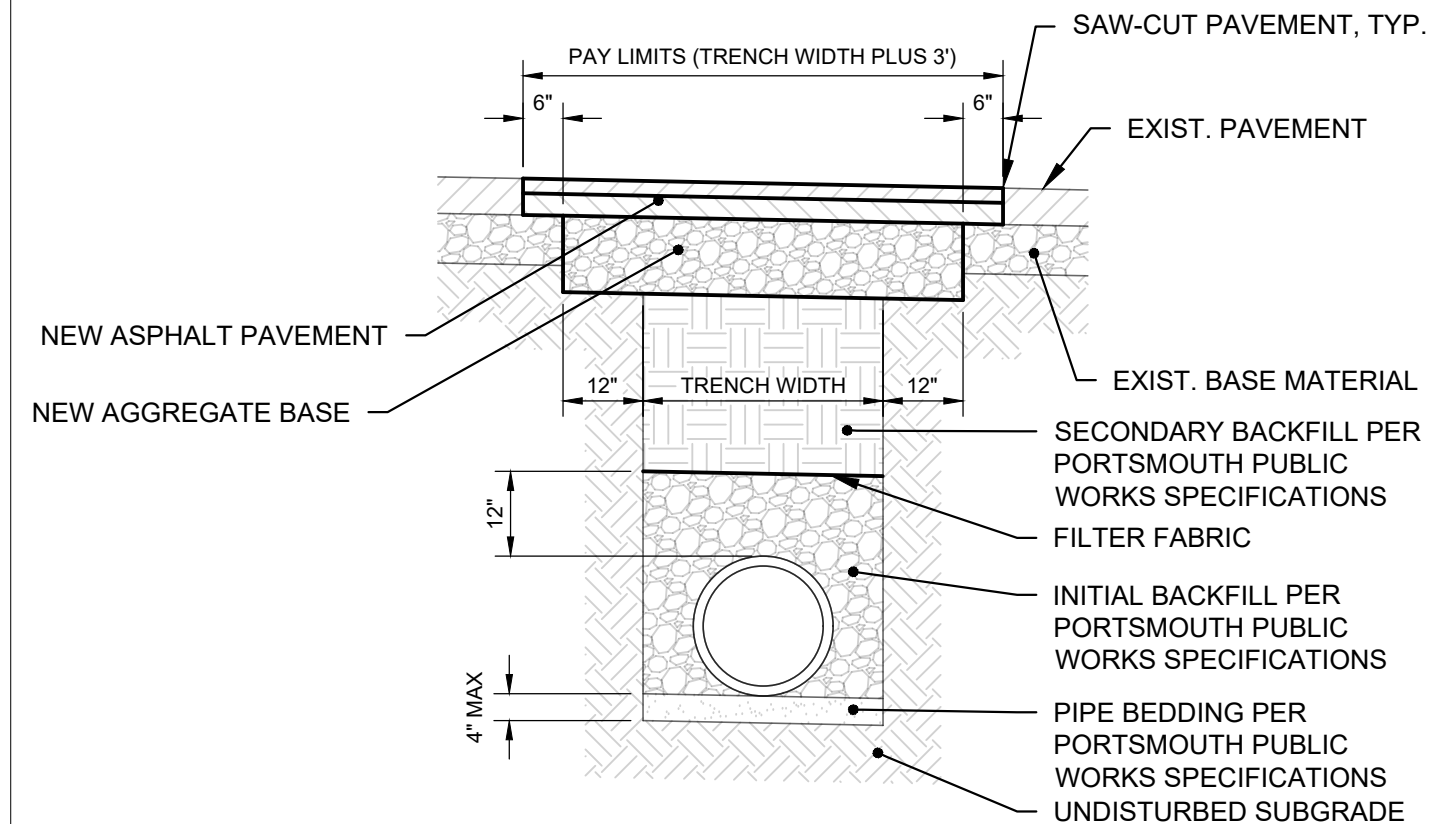
- NOTE:
- CONTROL JOINTS TO BE SPACED EVERY 5' MAX HORIZONTALLY.
 - EXPANSION JOINTS TO BE SPACED EVERY 20' MAX HORIZONTALLY.
 - EXPANSION JOINTS SHALL BE PLACED AT ANY TIE-IN POINT TO EXISTING CONCRETE AND AT ALL VERTICAL INTERFACES WITH BUILDINGS AND WALLS.

CONTROL JOINT



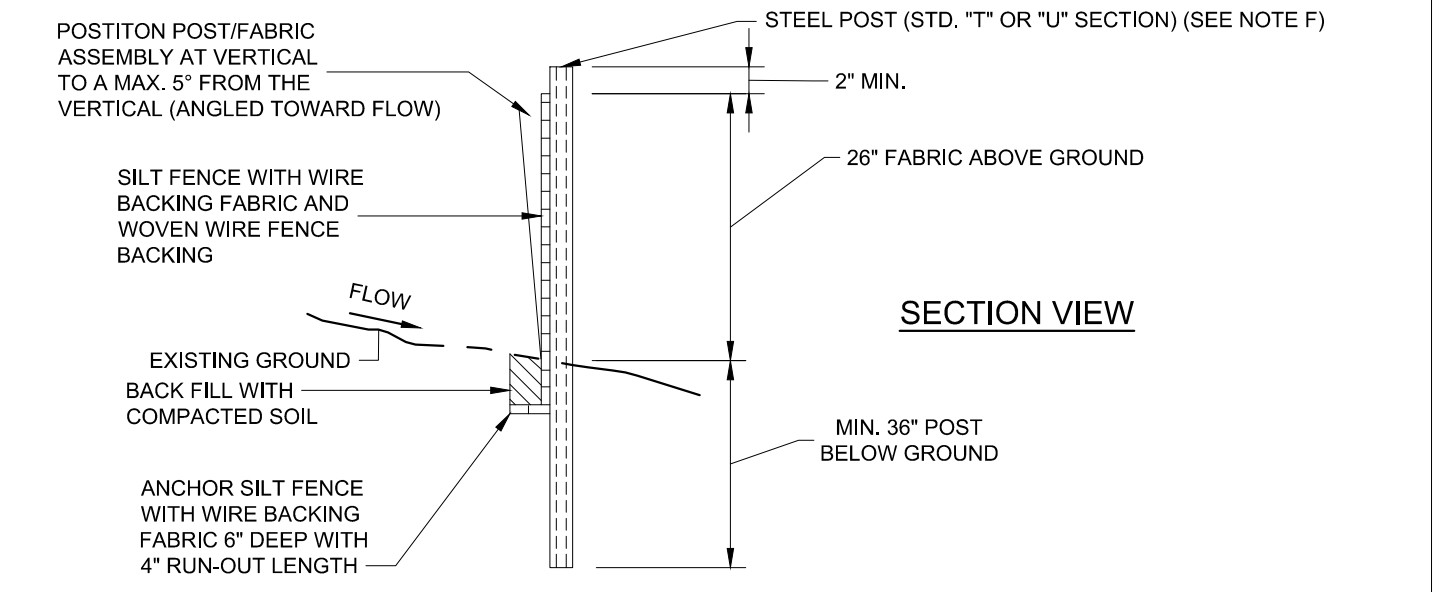
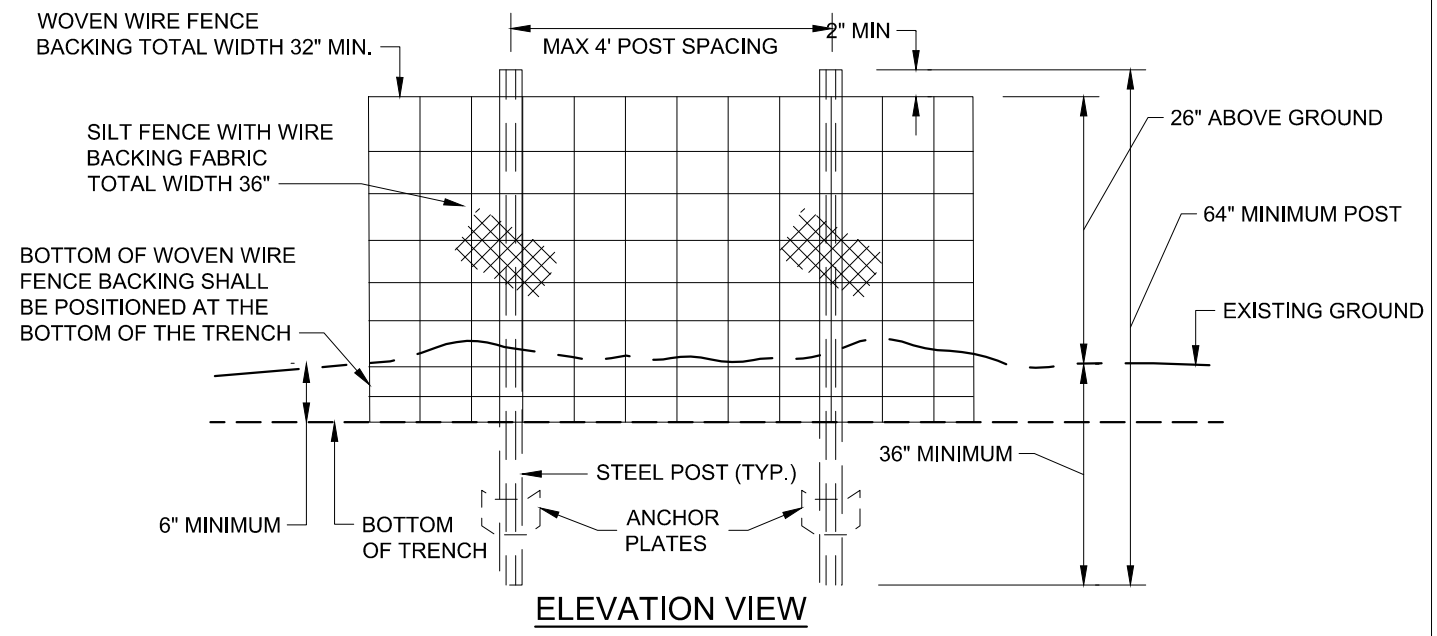
NOTE: SEE APPLICABLE DETAIL FOR BACKFILL AND BEDDING INSTRUCTIONS.

4 STORM / SANITARY SEWER CLEANOUT
NOT TO SCALE

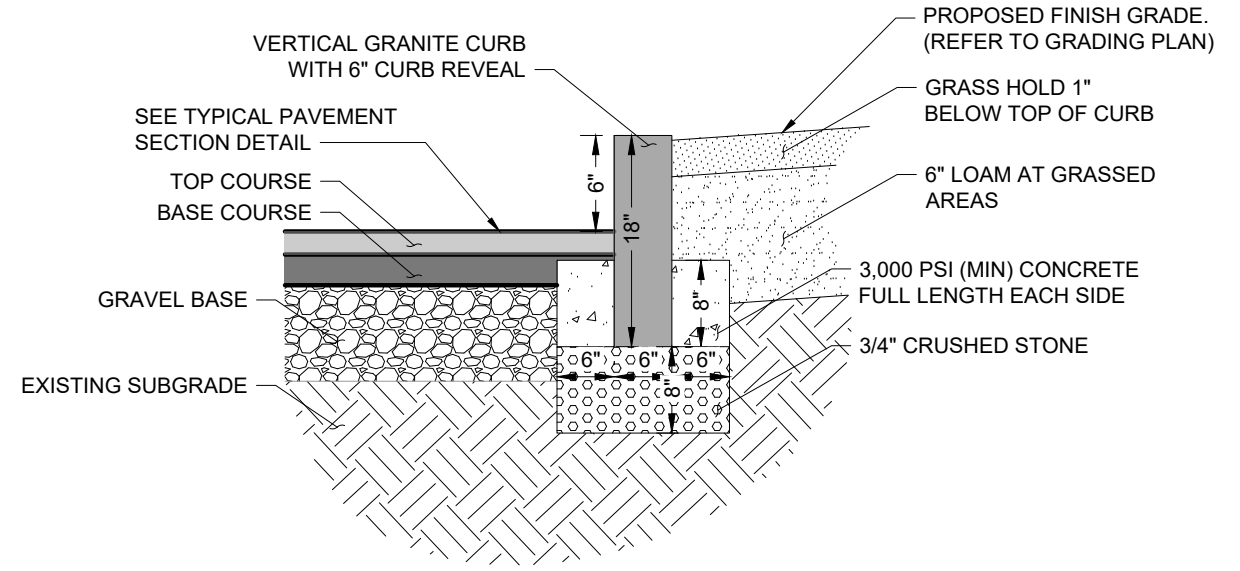


- NOTES:
- THE NEW ASPHALT PAVEMENT SHALL BE OF THE SAME TYPE AND, AT A MINIMUM, THE SAME THICKNESS AS THE EXISTING ASPHALT PAVEMENT.
 - THE NEW AGGREGATE BASE SHALL BE AT LEAST 1.5 TIMES THE THICKNESS OF THE EXISTING AGGREGATE BASE (6" MINIMUM).

5 PAVEMENT TRENCH REPAIR
NOT TO SCALE



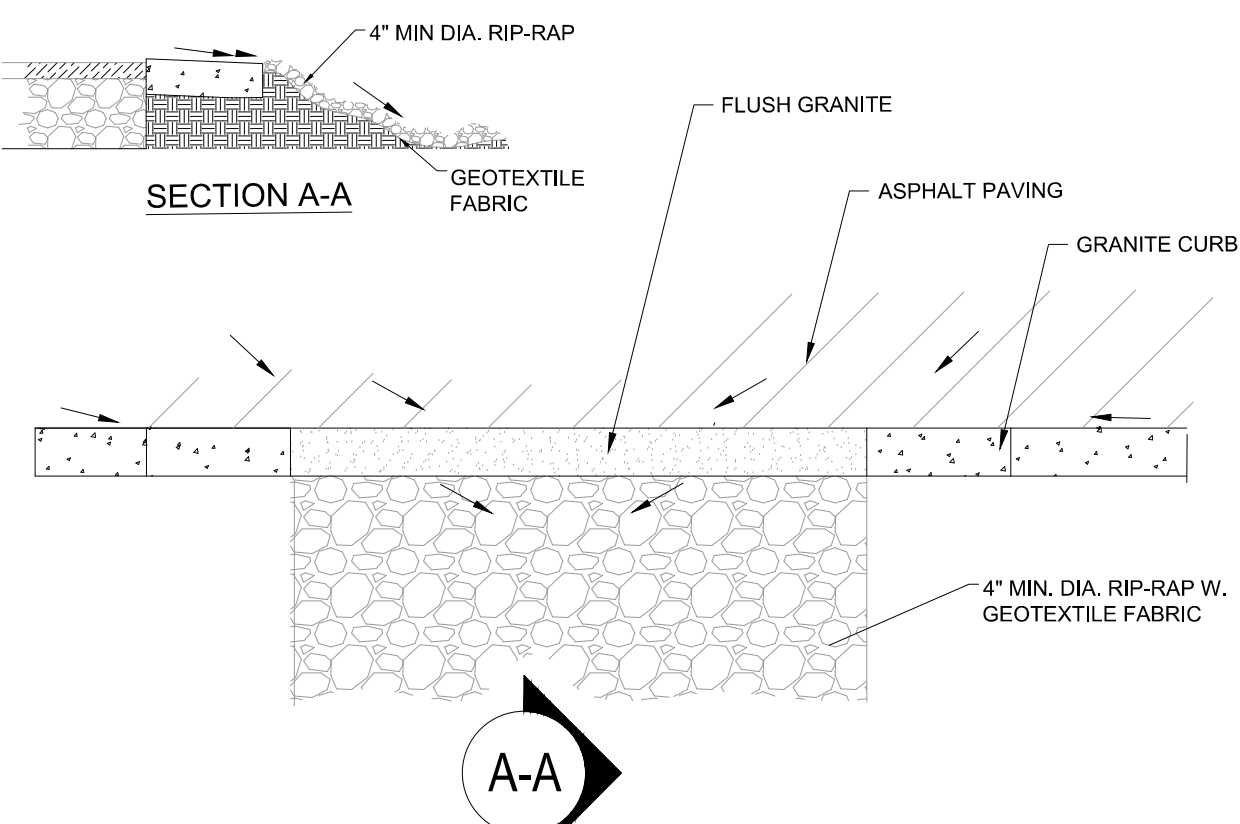
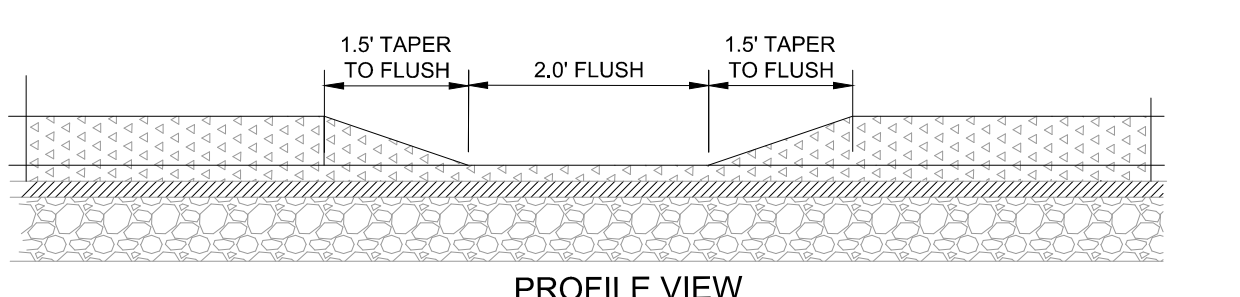
7 SILT FENCE WITH WIRE BACKING
NOT TO SCALE



CURB RADIUS TABLE

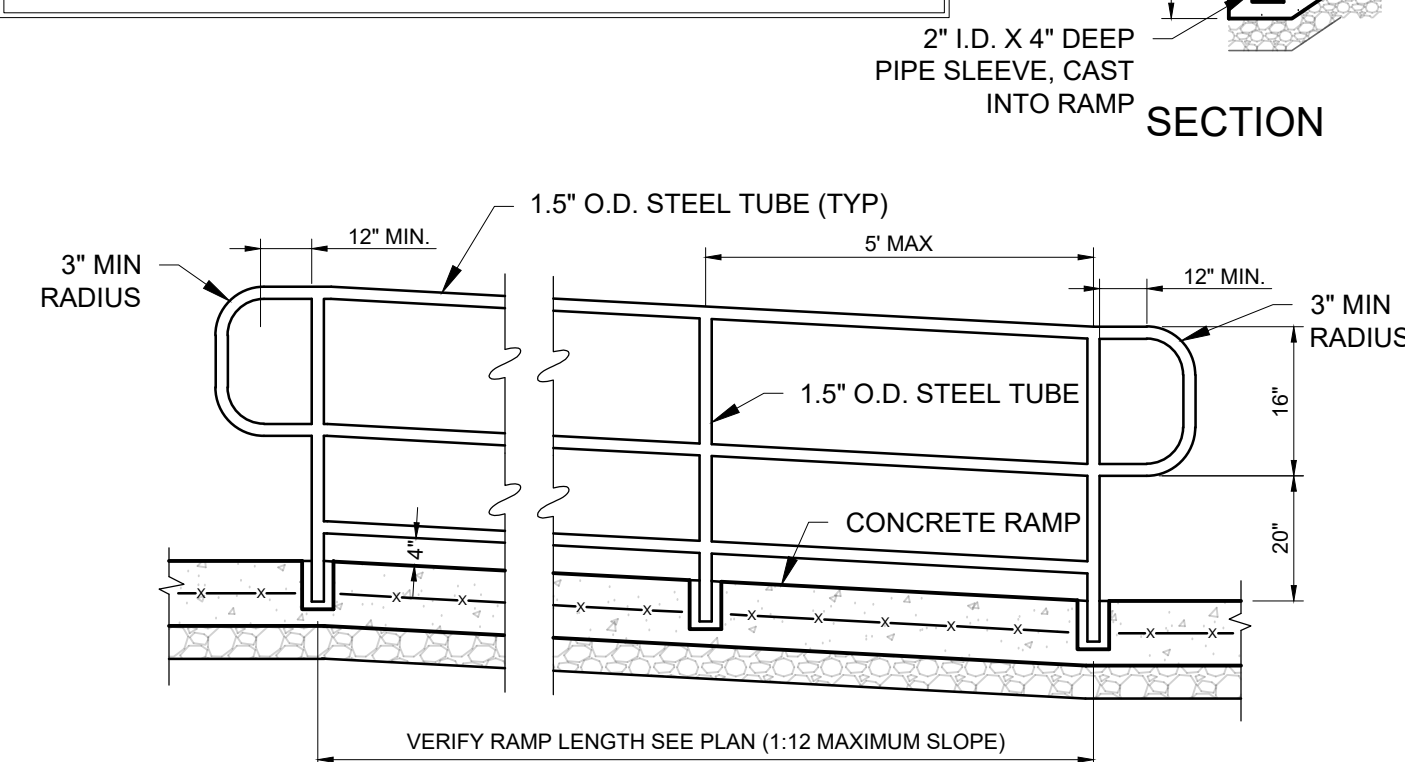
RADIUS	MAX LENGTH
<20'	USE CURVED CURB
21'	3'
22'-28'	4'
29'-35'	5'
36'-42'	6'
43'-49'	7'
50'-56'	8'
57'-60'	9'
>60'	10'

8 6" VERTICAL GRANITE CURB
NOT TO SCALE

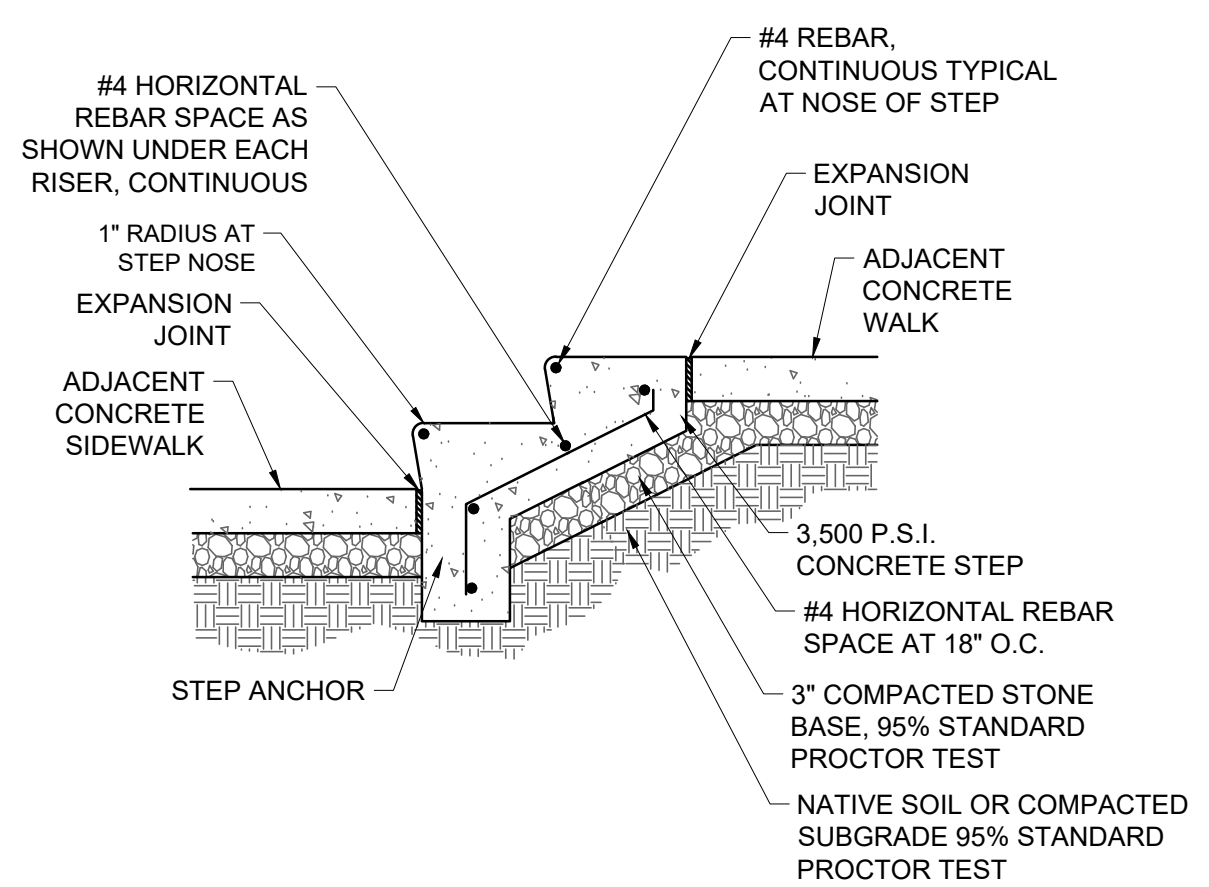


9 CURB CUT
NOT TO SCALE

- NOTES:
- PROVIDE 36" HEIGHT 1.5" O.D. HAND RAIL ON BOTH SIDES OF THE RAMP WITH 12" HAND RAIL EXTENSIONS PAST THE TOP AND BOTTOM OF THE RAMP.
 - VARIATIONS IN HAND RAIL HEIGHT SHALL NOT BE ALLOWED.
 - THE RAMP SHALL HAVE A MINIMUM WIDTH OF 60".
 - HAND RAIL SHALL BE SMOOTH-FINISH. ALL WELDED SURFACES SHALL BE PAINTED WITH TWO COATS OF ENAMEL. COLOR TO BE SELECTED BY THE ARCHITECT.
 - PROVIDE HAND RAIL/GUARD RAIL AT ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT.
 - RAMP CONSTRUCTION SHALL BE SIMILAR TO CONCRETE SIDEWALKS.

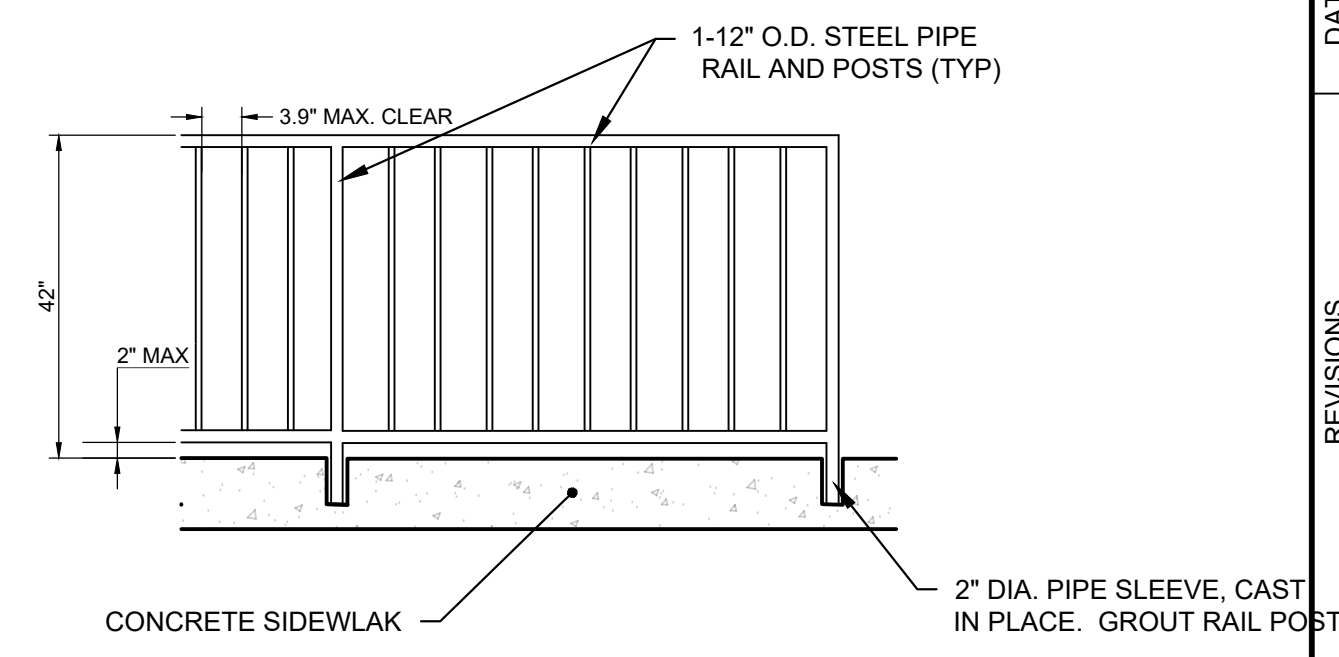


10 ACCESSIBLE RAMP WITH HANDRAIL
NOT TO SCALE



- NOTES:
- CONCRETE STEPS TO HAVE A LIGHT BROOM FINISH FROM RISER TO NOSE.
 - STEP SHALL HAVE CONTRACTION JOINTS @24" O.C. ON RISER AND TREAD. JOINTS SHALL ALTERNATE TO CREATE A 12" OFFSET FROM STEP TO STEP.
 - EXPANSION JOINTS CONTINUOUS AT ALL VERTICAL STRUCTURES.

11 CONCRETE RISER STEPS
NOT TO SCALE



- NOTES:
- VARIATIONS IN GUARD RAIL HEIGHT SHALL NOT BE ALLOWED.
 - MAXIMUM CLEARANCE BETWEEN BOTTOM RAIL AND CONCRETE SHALL BE 2". GUARD RAIL SHALL BE SMOOTH-FINISHED. ALL WELDED SURFACES PRIMED AND PAINTED WITH TWO COATS OF ENAMEL. COLOR TO BE SELECTED BY ARCHITECT.

12 GUARD RAIL
NOT TO SCALE



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DESIGNED BY: CRA
DRAWN BY: MEH
CHECKED BY: BB
DATE: 10/30/2019
KIMLEY-HORN PROJECT NO. 118252002

SITE DETAILS

SHEET NUMBER
C6.00