



January 28, 2026

City of Portsmouth Planning Board

**Re: Portsmouth Regional Hospital – Ambulance Bay and Canopy
Project Narrative
Portsmouth, NH**

The existing Portsmouth Regional Hospital is located at 333 Borthwick Ave, Portsmouth, NH 03801 (Map 240, Lot 2-1). The medical campus is located on the east side of Blue Star Turnpike (I-95), the west side of Borthwick Avenue, and can be accessed via multiple entrances from Borthwick Avenue.

The scope of the proposed **Ambulance Bay and Canopy** project consists of an ambulance garage door replacement and the addition of a widened concrete sidewalk with a new overhead canopy for patients to be transported from ambulances (when backed up under the new canopy) to an existing hospital door ... all located on the southeast corner of the existing hospital building.

No new building area is proposed with this project. The proposed sitework is anticipated to consist of minimal asphalt, concrete sidewalk, utility, and landscape removal and replacement, along with the installation of a new overhead canopy with structural foundations and columns to support the new canopy.

Below are our responses to the Conservation Commission's approval conditions from a meeting held on January 14th, 2026:

- 1. Applicant shall provide a planting plan prior to submission to the Planning Board for the work site which should include new plantings for the river rock area noted on the plan, the area between the new sidewalk extension and existing building, and a portion of the top of the swale bank that stretches the length of the ambulance garage to the lawn south of the helipad.* **CDG Response: Please refer to the added drawing sheets L1.0 and L2.0 for proposed landscaping located in the river rock area, and the area between new sidewalk extension and existing building.**

For the portion of the top of the swale bank, per Gove Environmental Services, Inc.: given the current state of the wetland and the buffer is the natural established condition I think this area is already in a natural state to the extent feasible. The option and potential for supplemental plantings within this limited area were considered; however, given the existing conditions of the wetland and buffer including the dense and established Phragmites population, the location is not viable for plantings that would reasonably result in long-term success. While limited plantings could theoretically provide some degree of buffer protection, it is highly unlikely that any planting effort in this constrained area would result in a noticeable or measurable benefit to the existing functions and values currently provided by the established wetland and its buffer.

2. *Applicant shall submit a plan to the Planning & Sustainability Department staff for review prior to submission to the Planning Board that shows the existing locations of onsite snow storage areas and plans for mitigating snow storage near wetland resources onsite. If existing snow storage occurs within close proximity to wetland resources, alternative locations shall be sought.*
CDG Response: per the facility: Contractor does not mow the areas indicated where signs are being suggested to be posted. The snow is pushed along the side and any build up is removed offsite. Snow is never pushing into the wetlands.
3. *Applicant shall show on plans and install permanently prior to the start of construction, wetland boundary markers every fifty feet along the edge of the swale from the box culvert south down to the intersection of Borthwick Avenue.* **CDG Response: Please refer to the attached drawing sheet C3.1 "Wetland Boundary Marker Plan" that depicts the proposed locations of the requested wetland boundary markers.**
4. *Applicant shall note on plans that, during regular maintenance, no mowing shall occur in the area of new plantings along the top of the swale bank.* **CDG Response: Notes have been added to the attached drawing sheet C3.1 "Wetland Boundary Marker Plan" regarding the owner is to not mow beyond the added wetland boundary markers.**
5. *All necessary dredging and maintenance work for the swale onsite shall be completed by the applicant and approved by the City of Portsmouth Department of Public Works as a condition prior to the issuance of a Certificate of Completion for this project.* **CDG Response: We understand the owner of PRH is coordinating the effort regarding the recently completed box culvert project and any dredging in the existing swale. Updates will be shared when they become available.**
6. *It is recommended that staff from the Department of Public Works make themselves available at the Planning Board meeting to speak to Stipulation #5.* **CDG Response: Noted**

Findings of Fact | Wetland Conditional Use Permit

City of Portsmouth Planning Board

Date: February 19, 2026

Property Address: 333 Borthwick Avenue

Application #: LU-25-180

Decision: ☐ Approve ☐ Deny ☐ Approve with Conditions

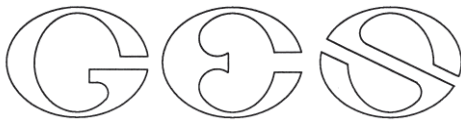
Findings of Fact:

Per RSA 676:3, I: The local land use board shall issue a final written decision which either approves or disapproves an application for a local permit and make a copy of the decision available to the applicant. **The decision shall include specific written findings of fact that support the decision. Failure of the board to make specific written findings of fact supporting a disapproval shall be grounds for automatic reversal and remand by the superior court upon appeal, in accordance with the time periods set forth in RSA 677:5 or RSA 677:15, unless the court determines that there are other factors warranting the disapproval.** If the application is not approved, the board shall provide the applicant with written reasons for the disapproval. If the application is approved with conditions, the board shall include in the written decision a detailed description of all conditions necessary to obtain final approval.

In order to grant Wetland Conditional Use permit approval the Planning Board shall find the application satisfies criteria set forth in the Section 10.1017.50 (Criteria for Approval) of the Zoning Ordinance.

| | Zoning Ordinance Sector 10.1017.50 Criteria for Approval | Finding (Meets Criteria for Approval) | Supporting Information |
|----------|---|--|--|
| 1 | <i>1. The land is reasonably suited to the use activity or alteration.</i> | Meets Does Not Meet | This lot is a previously disturbed lot with mostly impervious surfaces for transportation and pedestrian access to the hospital. This project is a safety improvement for patients of the hospital and would create a small increase in impervious surface where landscaping exists today. |
| 2 | <i>2. There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.</i> | Meets Does Not Meet | The location of proposed work is within the existing ambulance bay. There is no alternative location outside of the wetland buffer. |

| | Zoning Ordinance Sector 10.1017.50 Criteria for Approval | Finding (Meets Criteria for Approval) | Supporting Information |
|----------|---|--|---|
| 3 | <i>3. There will be no adverse impact on the wetland functional values of the site or surrounding properties.</i> | Meets Does Not Meet | This project proposed an increase in impervious surfaces while also adding new downspouts to proposed canopy to capture additional stormwater runoff. New plantings are proposed near the sidewalk, but additional plantings should be included along the top of the swale bank that stretches the length of the ambulance garage to the lawn south of the helipad. |
| 4 | <i>4. Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.</i> | Meets Does Not Meet | The expansion of impervious surfaces is proposed to occur within a portion of the existing landscape in order to accommodate the new sidewalk. New plantings are proposed adjacent to the new sidewalk. |
| 5 | <i>5. The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this section.</i> | Meets Does Not Meet | Removal Due to the nature of the use, the applicant is proposing concrete sidewalks and asphalt within the wetland buffer. Additional plantings along the resource should be provided to offset the proposed impacts. |
| 6 | <i>6. Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.</i> | Meets Does Not Meet | It appears as though the vegetated buffer strip is not being impacted as part of this project. Applicant should consider plantings within this area of the buffer to protect the wetland resource. |
| 7 | <u>Other Board Findings:</u> | | |



GOVE ENVIRONMENTAL SERVICES, INC.

January 12, 2025

Portsmouth Regional Hospital

Subject: Wetland Delineation Report
Portsmouth Regional Hospital
333 Borthwick Ave, Portsmouth, NH

Dear Chris Akers,

Per your request, this letter serves to verify that Gove Environmental Services, Inc. (GES) conducted a site inspection to re-verify the previously delineated wetlands at Portsmouth Regional Hospital, located at 333 Borthwick Avenue, Portsmouth, New Hampshire.

Wetlands were evaluated in accordance with the following standards:

1. *US Army Corps of Engineers Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region*, Technical Report ERDC/EL TR-12-1 (January 2012).
2. *Field Indicators for Identifying Hydric Soils in New England – Version 4, June 2020*. New England Hydric Soils Technical Committee.
3. *US Army Corps of Engineers National Wetland Plant List, 2022*.
4. *Classification of Wetlands and Deepwater Habitats of the United States*. USFW Manual FWS/OBS-79/31 (1979).

The site inspection was performed by Brenden Walden, NH Certified Wetland Scientist (CWS) #297, on January 6, 2026. The inspection was conducted to re-verify wetlands in proximity to the proposed project area, as outlined on the documentation provided. The inspection area was limited to a portion of the previously identified drainage area located southwest of the hospital, where the wetland boundary results in buffer overlap with the proposed project on the subject property.

No work or disturbance that would alter the previously identified wetland boundary delineated in 2019 was observed during the site assessment. The only change noted was limited vegetation management within the interior of the wetland; however, no evidence of ground-disturbing activities associated with this management was observed.

During the site evaluation, a total of six wetland pin flags were re-established to provide a visual reference for the scheduled Conservation Commission site walk. This re-established boundary was intended to assist Commission members in evaluating the location of the wetland boundary relative to the proposed project and associated buffer impacts for City Conditional Use Permitting purposes.

8 Continental Dr Unit H, Exeter, NH 03833-7507
Ph (603) 778 0644 / Fax (603) 778 0654
www.gesinc.biz
info@gesinc.biz

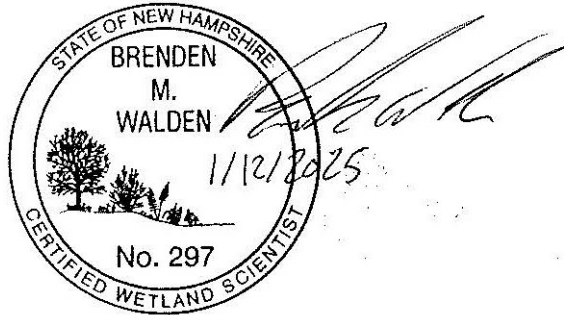
A full re-survey of the re-established wetland boundary was not conducted, as it is not necessary. The wetland boundary delineated in 2019 remains suitable for permitting purposes, and the location of this portion of the wetland boundary remains consistent with current delineation standards.

This concludes the wetland delineation letter of findings for the re-evaluation of wetlands at 333 Borthwick Ave, Portsmouth, NH. If I can be of further assistance, please feel free to contact me at bwalden@gesinc.biz.

Sincerely,

Brenden Walden
President & NH CWS
Gove Environmental Services, Inc.

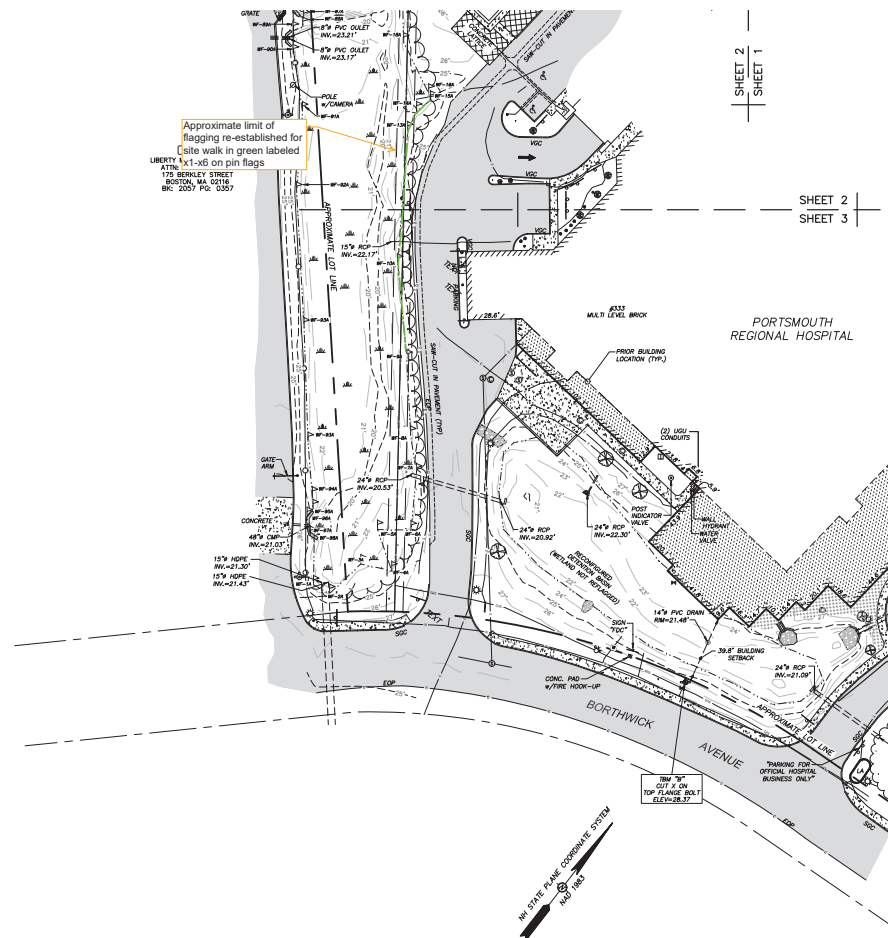
Enc. Re-Established Wetland Area
Proposed Project Area
Photo Log





GOVE ENVIRONMENTAL SERVICES, INC.
RE-ESTABLISHED WETLAND AREA

8 Continental Dr Unit H, Exeter, NH 03833-7507
Ph (603) 778 0644 / *Fax* (603) 778 0654
www.gesinc.biz
info@gesinc.biz

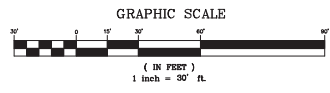


Approximate limit of
flagging re-established for
site walk in green labeled
x1-x6 on pin flags

LIBERTY &
ATTN:
175 BERNLEY STREET
BOSTON, MA 02116
BIC: 2027 PG 0307

SHEET 2
SHEET 1

SHEET 2
SHEET 3



PROPOSED PROJECT AREA





December 26, 2025

City of Portsmouth Conservation Commission

**Re: Portsmouth Regional Hospital – Ambulance Bay and Canopy
Project Narrative
Portsmouth, NH**

The existing Portsmouth Regional Hospital is located at 333 Borthwick Ave, Portsmouth, NH 03801 (Map 240, Lot 2-1). The medical campus is located on the east side of Blue Star Turnpike (I-95), the west side of Borthwick Avenue, and can be accessed via multiple entrances from Borthwick Avenue.

The scope of the proposed **Ambulance Bay and Canopy** project consists of an ambulance garage door replacement and the addition of a widened concrete sidewalk with a new overhead canopy for patients to be transported from ambulances (when backed up under the new canopy) to an existing hospital door ... all located on the southeast corner of the existing hospital building.

No new building area is proposed with this project. The proposed sitework is anticipated to consist of minimal asphalt, concrete sidewalk, utility, and landscape removal and replacement, along with the installation of a new overhead canopy with structural foundations and columns to support the new canopy.

A portion of the proposed project scope is located an existing 100-ft wetland buffer that is offset from the existing wetlands located on the outside of the existing rear hospital loop drive. No work is proposed within the wetlands, and only +/- 730 SF of area is proposed to be disturbed within the wetland buffer. Only +/- 240 SF of additional impervious area (due to widening an existing sidewalk) is proposed with the project scope.

Please note, the overall wetland data has been calculated with older design drawings by others. Only the wetland adjacent to the proposed project was previously delineated and flagged by Gove Environmental Services, Inc., and surveyed by James Verra and Associates, Inc. Refer to attached previous letter and site survey. The wetland flagging will be updated on site by Gove Environmental Services, Inc. for this proposed project.

Wetlands and 100-foot buffer, Overall Site

- Subject Parcel: Map 240, Lot2-1 (±20.87 ac)
- Total wetland area onsite: approximately ±2.7 acres
- Total area of 100-foot wetland buffer onsite: approximately ±8.4 acres

Wetland and 100-foot buffer, Proposed Project Impact

- Area of inland wetland to be disturbed:
 - Permanent: 0 SF
 - Temporary: 0 SF
 - Total disturbance: 0 SF

- Area of 100-ft wetland buffer to be disturbed:
 - Permanent: ±240 sf (concrete sidewalk widening)
 - Temporary: ±730 sf (construction of widened concrete sidewalk, installation of wider ambulance roll-up door, and installation of new overhead canopy)

Views of existing project area conditions:



Existing ambulance garage roll-up doors. Left garage door to be replaced with wider door to match door to the right:



Existing sidewalk to be widened and a new overhead canopy to be installed:



Existing sidewalk to be widened and a new overhead canopy to be installed:



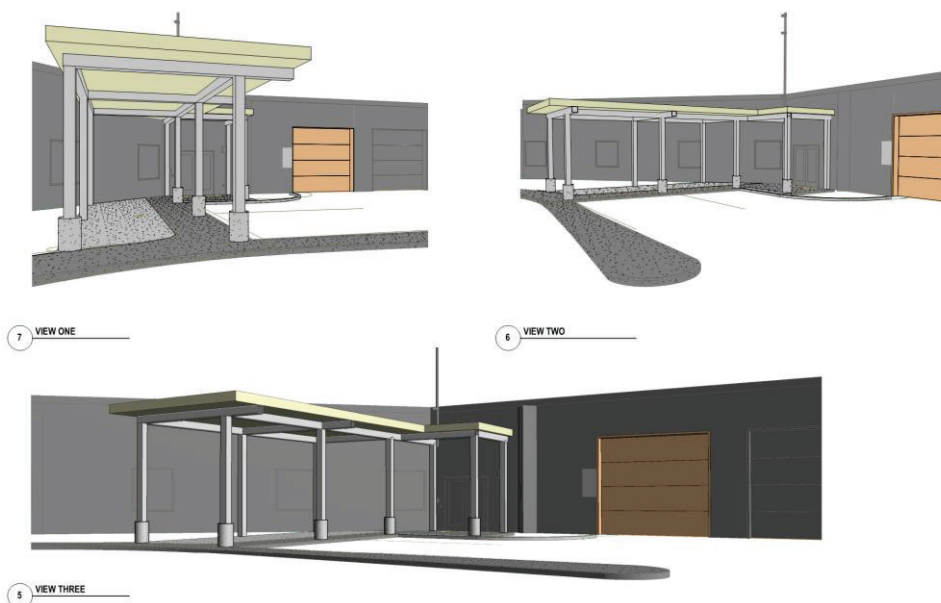
Existing wetlands located along the outside of the rear hospital loop drive (+/-75' from proposed project area):



Existing wetlands located along the outside of the rear hospital loop drive (+/- 75 from proposed project area):



Views of proposed wider garage roll-up door, overhead canopy, and widened sidewalk:





Proposed project area
+/- 730 SF of disturbance

Wetlands to be reflagged

15 St

15 St



GOVE ENVIRONMENTAL SERVICES, INC.
PHOTO LOG

Photo Log
333 Borthwick Ave, Portsmouth
Taken 1/6/2026



Photo 1: Looking north west at the drainage swale, noting some phragmites cutting.



Photo 2: Looking south towards Borthwick Ave at the drainage area.



GOVE ENVIRONMENTAL SERVICES, INC.



Photo 3: Looking north at the primary project area.



Photo 4: Looking south at towards Borthwick Ave a the re-established wetland and proximity to the project area.

8 Continental Dr Unit H, Exeter, NH 03833-7507
Ph (603) 778 0644 / Fax (603) 778 0654
www.gesinc.biz
info@gesinc.biz

SITE DATA

LOT NUMBER:
TAX MAP:
SITE ADDRESS:

SITE ACREAGE:
DISTURBED AREA:
DISTURBED AREA IN WETLAND BUFFER:

0240-0002-0001
240
333 BORTHWICK AVE
PORTSMOUTH, NH 03801
20.87 AC. (909,097 SF)
0.01 AC. (764 SF)
±730 SF

EXISTING ZONING:
PROPOSED USE:
EXISTING BUILDING HEIGHT:
ALLOWED MAX. BUILDING HEIGHT:
PROPOSED BUILDING ADDITION:
HOSPITAL BEDS:
HOSPITAL / MOB FOOTPRINT:
HOSPITAL GROSS FLOOR AREA:
ATTACHED MOB GROSS FLOOR AREA:

OR
HOSPITAL
± 65'-4"
60'
0'
EXISTING: 233
EXISTING: ±182,616 SF
EXISTING: ±436,365 SF
EXISTING: ± 46,665 SF

PROPOSED ADDITION: 0
PROPOSED ADDITION: 0 SF
PROPOSED ADDITION: 0 SF
PROPOSED ADDITION: 0 SF

IMPERVIOUS SURFACE AREA:
EXISTING IMPERVIOUS AREA:
PARKING & DRIVEWAYS:
OTHER IMPERVIOUS AREA:
TOTAL:

319,970 SF
19,506 SF
339,476 SF

PROPOSED IMPERVIOUS AREA ADDED:
TOTAL RESULTING IMPERVIOUS AREA:

240 SF
339,716 SF

SETBACKS
PRINCIPAL FRONT YARD:
REAR YARD:
RIGHT SIDE YARD:
LEFT SIDE YARD:

REQUIRED: 50 FT
REQUIRED: 50 FT
REQUIRED: 75 FT
REQUIRED: 75 FT

PROVIDED: 83 FT
PROVIDED: 157 FT
PROVIDED: 388 FT
PROVIDED: 83 FT

MIN. OPEN SPACE ON A LOT
REQUIRED:
PROPOSED:

30%
±39.0%

MAX. FLOOR-AREA-RATIO (FAR)
REQUIRED:
PROPOSED:

30%
±20.1%

PARKING SUMMARY
EXISTING PARKING PROVIDED:

±1,277 SPACES

OWNER:
ADDRESS:

PHONE NO.:
CONTACT NAME:
CONTACT E-MAIL ADDRESS:

PORTSMOUTH REGIONAL HOSPITAL
333 BORTHWICK AVE
PORTSMOUTH, NH 03801
603-436-5110
JAKE ENCE, VICE PRESIDENT OF OPERATIONS
jacob.ence@hcahealthcare.com

PROJECT REPRESENTATIVE:
ADDRESS:

PHONE NO.:
CONTACT NAME:
CONTACT E-MAIL ADDRESS:

CATALYST DESIGN GROUP
5100 TENNESSEE AVENUE
NASHVILLE, TN 37221
615-622-7200
CHRIS AKERS, PROJECT MANAGER
cakers@catalyst-dg.com

RECORDED DOCUMENTS: DEED BOOK 2784 PAGE 1340

FEMA PANEL:
THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO
COMMUNITY PANEL NO. 33015C0260F, JANUARY 29, 2021, COMMUNITY NAME: CITY OF PORTSMOUTH.

ABUTTERS:
ADDRESS:

LOT NUMBER:
TAX MAP:
OWNER:

255 BORTHWICK AVE
PORTSMOUTH, NH 03801
0240-0001-0000
240
LIBERTY MUTUAL INSURANCE CO

ADDRESS:

LOT NUMBER:
TAX MAP:
OWNER:

BORTHWICK AVE
PORTSMOUTH, NH 03801
0240-0002-2001
240
CITY OF PORTSMOUTH DPW

ADDRESS:

LOT NUMBER:
TAX MAP:
OWNER:

330 BORTHWICK AVE
PORTSMOUTH, NH 03801
0240-0002-2200
240
330 PORTSMOUTH LLC

ADDRESS:

LOT NUMBER:
TAX MAP:
OWNER:

BORTHWICK AVE
PORTSMOUTH, NH 03801
0240-0002-1001
240
CITY OF PORTSMOUTH DPW

RESOURCE LIST
NATURAL GAS:

NORTHERN UTILITIES, INC
JEFF INGLISH
325 WEST ROAD
PORTSMOUTH, NH 03801
PHONE: (603) 436-0310

ELECTRIC:

PUBLIC SERVICES OF NH/ EVERSOURCE
WAYNE BROOKS
1700 LAFAYETTE ROAD
PORTSMOUTH, NH 03801
PHONE: (800) 662-7764

TELEPHONE/ CABLE:

CONSOLIDATED COMMUNICATIONS
1575 GREENLOAD ROAD
GREENLAND, NH 03840
PHONE: (800) 240-5019

WATER/ SANITARY SEWER:

PORTSMOUTH DEPT OF PUBLIC WORKS
MIKE JENKINS
680 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801
PHONE: (603) 427-1530

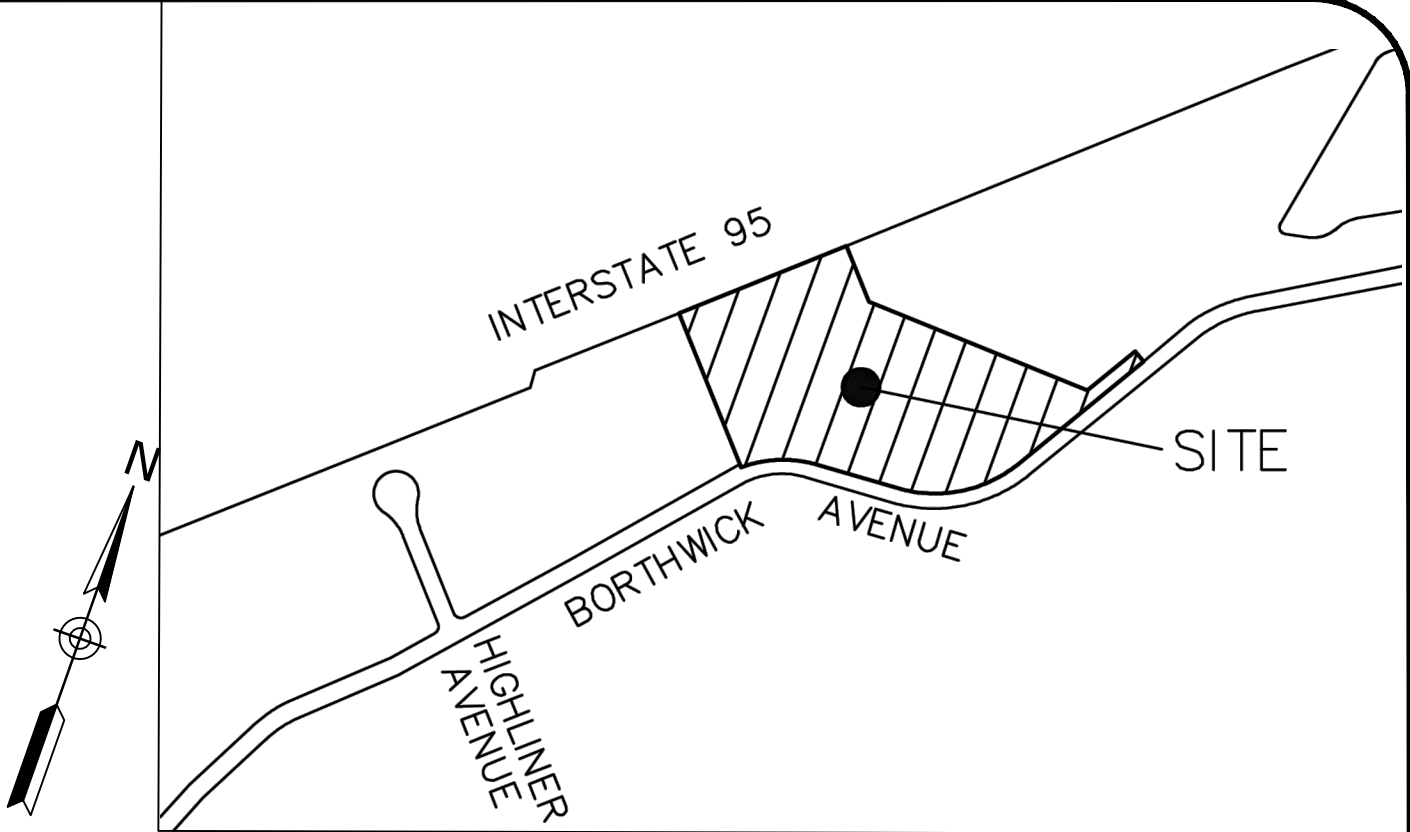
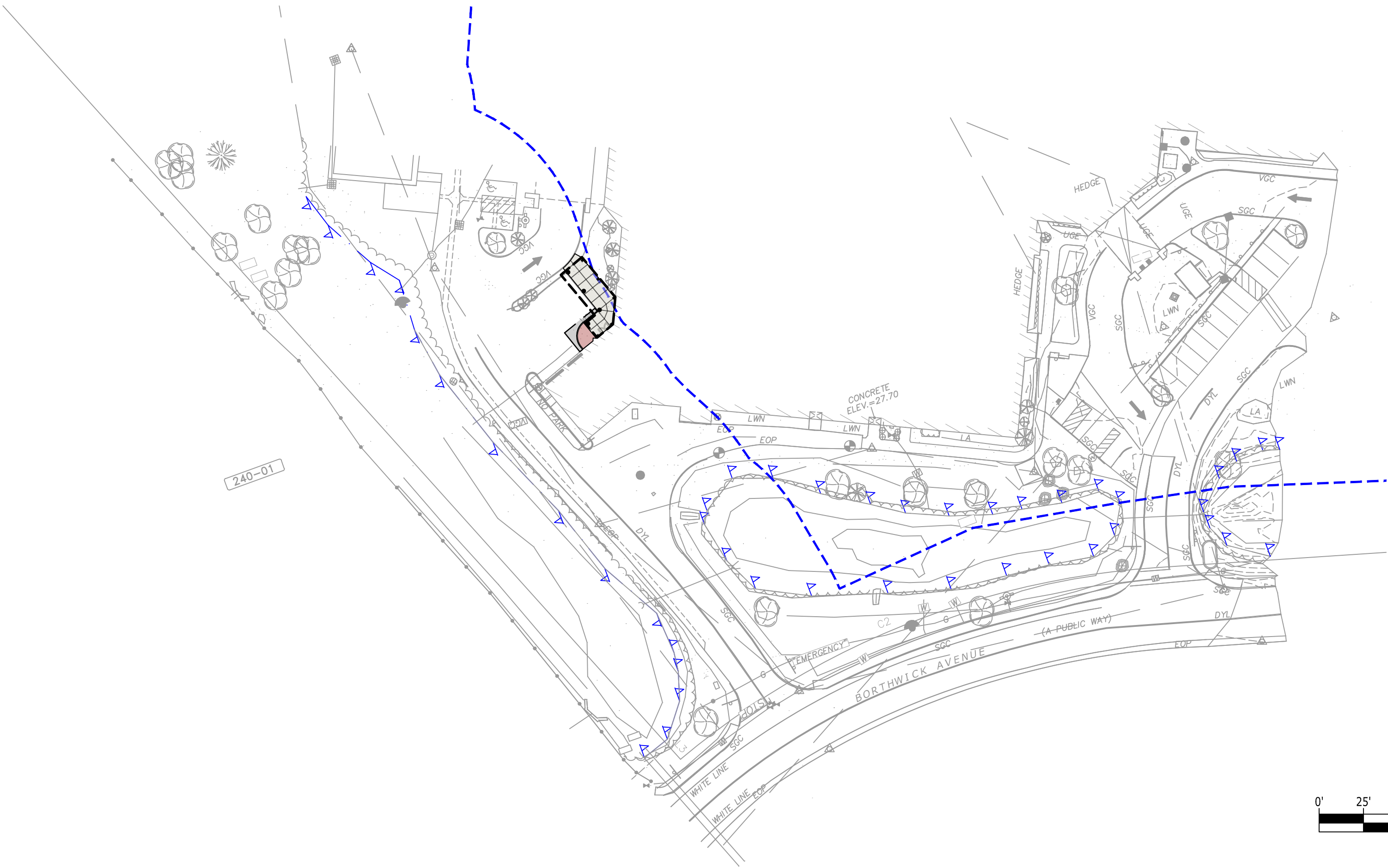
CONSTRUCTION DOCUMENTS

PORTSMOUTH REGIONAL HOSPITAL

AMBULANCE BAY & CANOPY

PORTSMOUTH, ROCKINGHAM COUNTY, NEW HAMPSHIRE

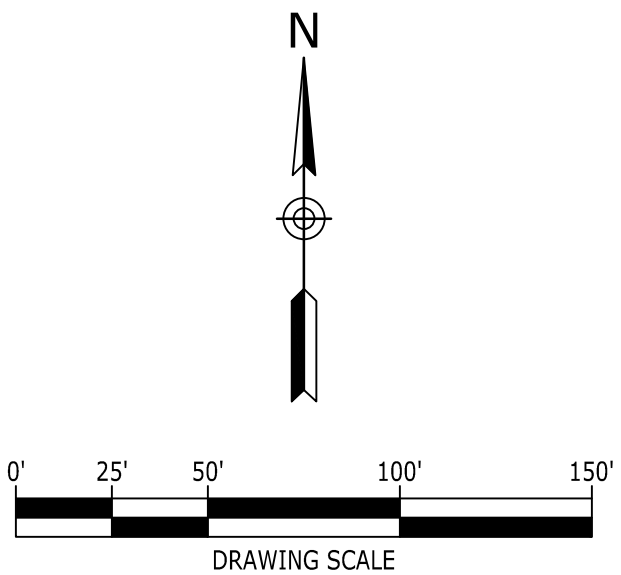
CATALYST PROJECT NO. 20250276
01/27/2026



VICINITY MAP
NOT TO SCALE

SHEET LIST TABLE

| SHEET NUMBER | SHEET TITLE |
|--------------|--------------------------------------|
| C0.0 | COVER SHEET |
| C1.0 | EXISTING CONDITIONS |
| C2.0 | GENERAL NOTES |
| C3.0 | DEMO, LAYOUT, GRADING & UTILITY PLAN |
| C3.1 | WETLAND BOUNDARY MARKER PLAN |
| C4.0 | SITE DETAILS |
| L1.0 | LANDSCAPE PLAN |
| L2.0 | LANDSCAPE DETAILS |



ARCHITECT



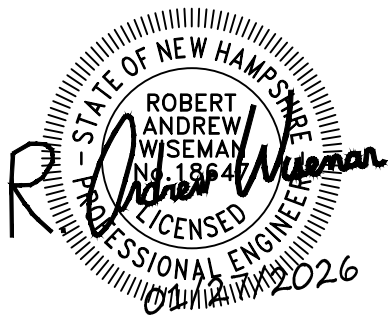
273 CORPORATE DR STE 100
PORTSMOUTH, NH 03801
603-436-2551

PREPARED FOR



333 BORTHWICK AVE
PORTSMOUTH, NH 03801
603-436-5110

CIVIL ENGINEER/LANDSCAPE ARCHITECT



5100 TENNESSEE AVENUE, NASHVILLE, TN 37209
(615) 622-7200 | WWW.CATALYST-DG.COM



COVER SHEET

C0.0



1. OWNER OF RECORD.....HCA HEALTH SERVICES OF NH, D/B/A PRH 32902
C/O DUCHARME MCMLLEN & ASSOCIATES
ADDRESS.....PO BOX 80610, INDIANAPOLIS, IN 46280
DEED REFERENCE.....2784/1340
TAX SHEET / LOT.....240-02-01
PARCEL AREA.....846,664 S.F. 19.44 ACRES
2. ZONED:.....OFFICE/RESEARCH (OR) FRONT YARD SETBACK50'
MINIMUM LOT AREA, 3 ACRES SIDE YARD SETBACK75'
FRONTAGE.....300' REAR YARD SETBACK.....50'
3. THE RELATIVE ERROR OF CLOSURE WAS LESS THAN 1 FOOT IN 15,000 FEET.
4. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
5. HORIZONTAL DATUM: NAD 1983 ESTABLISHED BY SURVEY GRADE GPS OBSERVATION AND NGS "OPUS" SOLUTION. REFERENCE FRAME: NAD83 (2011)(EPOCH: 2010.0000), US SURVEY FOOT.
VERTICAL DATUM: NAVD 1988. PRIMARY BENCHMARK: CITY OF PORTSMOUTH "ALBA"
6. ENGINEER OR CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE ESTABLISHMENT OF ANY GRADES OR ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOCIATES, INC..
7. THE PARCEL SHOWN HEREON LIES WITHIN ZONE X (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS IDENTIFIED ON FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE, MAP NUMBER 3301SC0260E, EFFECTIVE DATE MAY 17, 2005 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
8. LIMIT OF 300' EVERSOURCE ELECTRIC EASEMENT.
9. BRICK GENERATOR ENCLOSURE. TOP OF CONCRETE ELEV.=27.20
10. THE DELINEATION OF THE WETLANDS SHOWN HEREON WAS BY BRENDEN WALDEN NEW HAMPSHIRE CERTIFIED WETLAND SCIENTIST #297, GOVE ENVIRONMENTAL SERVICES, LLC., 8 CONTINENTAL DRIVE, UNIT H, EXETER, NH 03833.
11. THE SUBSURFACE UTILITIES SHOWN HEREON WERE IDENTIFIED BY WADE HANSEN, GROUND PENETRATING RADAR SYSTEMS, INC., 5217 MONROE STREET, SUITE A, TOLEDO, OHIO 43623.
12. AN EXISTING UTILITY GAS LINE SOUTHWESTERLY OF THE HOSPITAL IN THE VICINITY OF THE LIBERTY MUTUAL PARCEL & A 6" CLDI WATER LINE IN THE SAME AREA WERE NOT FIELD LOCATED BY GROUND PENETRATING RADAR SYSTEMS, INC.

REFERENCE PLANS:

1. GAS LINE AS-BUILT EASEMENT AND CONSERVATION PLAN, PREPARED FOR HOSPITAL CORPORATION OF AMERICA, PORTSMOUTH, NH, DATED 10/31/85. RCRD PLAN #D-15830.
2. SCHILLER S/O-OCEAN ROAD S/S, 115 KV TRANSMISSION LINE #U181, MILE 4, PLANR-6775-A, DATED 7/10/2009, BY NORTHEAST UTILITIES, NOT RECORDED.
3. SUBDIVISION OF LAND, FRANELTAL REALTY TRUST COMPANY, OPTIONED TO LIBERTY MUTUAL INSURANCE COMPANY, PORTSMOUTH, NEW HAMPSHIRE, REVISED TO 2/19/71 RCRD PLAN #2190.

PURSUANT TO RSA 676:18,III AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

 11-19-2019
JAMES VERRA DATE



| | | | |
|--|------------|--|----------|
| 0 | 11-08-2019 | FOR REVIEW & COMMENT | JV |
| REV. NO. | DATE | DESCRIPTION | APPROV'D |
| <p align="center"><i>LIMITED EXISTING CONDITIONS PLAN</i> <i>333 BORTHWICK AVENUE</i> <i>PORTSMOUTH, NEW HAMPSHIRE</i> <i>ASSESSOR'S PARCEL #240-002-001</i></p> <p align="center"><i>for</i> <i>HCA HEALTH SERVICES OF NEW HAMPSHIRE</i></p> <p align="center"><i>JAMES VERRA and ASSOCIATES, INC.</i></p> <p align="center">101 SHATTUCK WAY SUITE 8 NEWINGTON, N.H., 03801-7876 603-436-3557</p> | | | |
| OTD PROJECT JV COPYRIGHT ©2019 by JAMES VERRA and ASSOCIATES, INC. | | DATE: 11-19-2019 JOB NO: 23834 SCALE: 1" = 40' DWG NAME: 23834 PLAN NO: 23834 SHEET: 1 of 1 | |



Catalyst
DESIGN GROUP

5100 TENNESSEE AVENUE, NASHVILLE, TN 37203
(615) 622-7200 | WWW.CATALYST-DG.COM

**PORTSMOUTH
REGIONAL HOSPITAL**
333 BORTHWICK AVE
PORTSMOUTH, NH 03801
603-436-5110

CONSTRUCTION DOCUMENTS
PORTSMOUTH REGIONAL HOSPITAL
AMBULANCE BAY & CANOPY

333 BORTHWICK AVE
PORTSMOUTH, ROCKINGHAM COUNTY, NEW HAMPSHIRE

[illegible]

DRAWING TITLE

EXISTING CONDITIONS

| | |
|----------------|----------|
| PROJECT NUMBER | 20250276 |
| DRAWING NUMBER | |

C1.0

1. SUBJECT PROPERTY SHOWN ON TAX MAP 240, AS PARCEL 0240-0002-0001 OF THE ROCKINGHAM COUNTY, NEW HAMPSHIRE, TAX MAPS.
2. SITE EXISTING CONDITIONS ARE TAKEN FROM SURVEY BY JAMES VERRA & ASSOCIATES, INC. DATED NOVEMBER 8, 2019. CATALYST DESIGN GROUP SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF OR OMISSIONS FROM THE EXISTING CONDITIONS OR ERRORS RESULTING THEREFROM.
3. CATALYST DESIGN GROUP RECOMMENDS THAT CONSTRUCTION STAKING SERVICES BE PROVIDED BY A SURVEYOR LICENSED IN THE STATE OF THE PROJECT.
4. THE CONTRACTOR SHALL REVIEW THE SITE CONDITIONS PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY INCONSISTENCIES BETWEEN OBSERVED SITE CONDITIONS AND THE SURVEY OR EXISTING CONDITIONS PLAN.
5. DIMENSIONS PROVIDED ON THE PLANS ARE TAKEN TO THE FACE OF CURBS, EDGE OF CONCRETE OR EDGE OF BUILDING, UNLESS OTHERWISE NOTED.
6. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND PERMITS PRIOR TO INITIATING CONSTRUCTION AND SHALL ADHERE TO PERMIT REQUIREMENTS AS WORK PROCEEDS.
7. SITE CONTROL SHALL BE BASED OFFS OF THE REFERENCE POINT(S) AND SURVEY DATUM PROVIDED. SEE THE ARCHITECTURAL PLANS FOR LAYOUT CONTROL OF BUILDING ADJUSTIONS.
8. THE CONTRACTOR SHALL SUBMIT A REQUEST FOR UTILITY LOCATION (811) AND HAVE THE UTILITIES MARKED BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE FAMILIAR WITH UTILITY LOCATIONS, PROTECT UTILITIES WHICH REMAIN IN SERVICE, AND REPAIR ANY DAMAGE TO UTILITY SYSTEMS PER THE UTILITY PROVIDER REQUIREMENTS.
9. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO PUBLIC ROADWAYS, CURBS AND SIDEWALKS IN ACCORDANCE WITH THE LOCAL REQUIREMENTS AT THE CONTRACTOR'S EXPENSE.
10. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY WORK UNACCEPTABLE TO THE OWNER'S REPRESENTATIVE OR GOVERNING AGENCIES AT THE CONTRACTOR'S EXPENSE.
11. IN EASEMENTS AND RIGHTS-OF-WAY, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION EXCEPT AS NOTED.
12. PRIVATE ASPHALT PAVEMENT SECTIONS AND MATERIALS SHALL BE PER STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND GEOTECHNICAL REPORT RECOMMENDATIONS.
13. THE CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, AND FEDERAL SAFETY REGULATIONS AND PRECAUTIONS.
14. UNLESS OTHERWISE NOTED, SUBMIT SHOP DRAWINGS OF ALL FABRICATED MATERIALS FOR REVIEW. DESIGN DRAWINGS SHALL NOT BE REPRODUCED FOR USE AS SHOP DRAWINGS. THE ENGINEER'S REVIEW OF SHOP DRAWINGS, PRODUCT DATA, ETC., DOES NOT RELIEVE THE CONTRACTOR FROM COMPLYING WITH LOCAL/STATE SPECIFICATIONS. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY SPECIFIC DEVIATIONS AND OBTAIN ENGINEER'S WRITTEN APPROVAL OF THE DEVIATION.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COLLECTING AND MAINTAINING AS-BUILT INFORMATION AS CONSTRUCTION PROGRESSES AND/OR AT THE COMPLETION OF APPLICABLE SCOPES OF WORK. PROVIDE AS-BUILT DATA IN A USABLE FORMAT TO THE OWNER AND ENGINEER FOR THEIR RECORDS AND FOR SUBMITTAL TO GOVERNING AGENCIES WHEN REQUIRED. ESTABLISH AND CONFIRM APPLICABLE AS-BUILT REQUIREMENTS FOR ALL SCOPE ITEMS PRIOR TO CONSTRUCTION BASED ON OWNER'S REQUIREMENTS, JURISDICTIONAL STANDARDS, AND THE PROJECT SPECIFICATIONS. AS-BUILT DATA SHALL BE COLLECTED BY A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF NEW HAMPSHIRE, WHOSE SERVICES ARE ENGAGED AND PAID FOR BY THE CONTRACTOR.
16. ALL JURISDICTIONAL SPECIFICATIONS, DOCUMENTS, AND DETAILS REFERENCED SHALL BE THE LATEST REVISION IN EFFECT AT THE TIME OF PERMIT APPROVAL.
17. CONTRACTOR SHALL REPAIR ALL OFF-SITE CONSTRUCTION OR STAGING AREAS TO EQUAL AND/OR BETTER CONDITION THAN AT THE START OF CONSTRUCTION.

1. THE CONTRACTOR SHALL REQUEST UTILITY LOCATIONS (811) AND VERIFY LOCATIONS OF ALL OTHER PRIVATE UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES FROM DAMAGE AND REPAIR PER PROVIDER REQUIREMENTS AT THE CONTRACTOR'S EXPENSE IF DAMAGED. COORDINATE ALL WORK AROUND EXISTING UTILITIES WITH CORRESPONDING PROVIDER.
2. THE CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION REQUIRED TO ACCOMPLISH THE PROPOSED WORK.
3. THE CONTRACTOR SHALL PROTECT PROPERTY BOUNDARY PINS AND SURVEY CONTROL POINTS FROM DAMAGE.
4. THE CONTRACTOR SHALL COMPLY WITH EROSION PREVENTION AND SEDIMENT CONTROL REQUIREMENTS AND INSTALL NECESSARY EPCMS MEASURES AND CONSTRUCTION ENTRANCE/EXIT PRIOR TO DISTURBING EXISTING VEGETATION. THE CONTRACTOR SHALL USE WATER SPRINKLING OR OTHER MEASURES TO CONTROL DUST AND OTHER AIRBORNE DEBRIS RESULTING FROM DEMOLITION.
5. TREE PROTECTION MEASURES SPECIFIED IN THESE PLANS SHALL BE INSTALLED PRIOR TO BEGINNING DEMOLITION OPERATIONS.
6. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR DEMOLITION AND TREE REMOVAL PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR MAY BE REQUIRED TO PHASE DEMOLITION TO MAINTAIN EXISTING UTILITY SERVICES, PROPER DRAINAGE, OR ACCESS TO THE SITE OR ADJOINING SITES. THE CONTRACTOR SHALL MINIMIZE THE DISRUPTION OF EXISTING ACTIVE UTILITIES AND TRAFFIC PATTERNS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE AND PROVIDE A DEMOLITION PHASING SCHEDULE WHERE REQUESTED.
8. WHERE ACTIVE UTILITIES OR STORM SEWERS ARE PROPOSED FOR RELOCATION, THESE FEATURES SHOULD NOT BE DEMOLISHED UNTIL NEW OR RELOCATED LINES HAVE BEEN INSTALLED AND ARE OPERATIONAL.
9. THE CONTRACTOR SHALL INCLUDE IN THEIR COST ANY ISOLATION VALVES OR TEMPORARY MEASURES REQUIRED TO ACCOMPLISH RELOCATIONS AND DEMOLITION OF UTILITIES.
10. PAVEMENTS, SIDEWALKS, CURBS, AND OTHER HARD SURFACES SHALL BE EVENLY SAW CUT AT THE LIMITS OF REMOVAL TO PROVIDE A CLEAN EDGE. COORDINATE LIMITS OF REMOVAL WITH PROPOSED CONSTRUCTION INCLUDING GRADING, UTILITY INSTALLATION, PROPOSED LAYOUT, ETC.
11. EXISTING SITE FEATURES NOTED AS BEING ABANDONED MAY BE ABANDONED IN PLACE IF THE ITEMS ARE LOCATED MORE THAN 24" BELOW FINISH SUBGRADE(S) (TO TOP OF PIPE OR OTHER FEATURE) AND NOT LOCATED WITHIN PROPOSED BUILDING FOOTPRINTS OR BELOW PROPOSED RETAINING WALLS. ENDS OF ABANDONED PIPES SHALL BE SEALED WITH CONCRETE.
12. ALL DEMOLISHED MATERIALS SHALL BE REMOVED FROM THE SITE AT THE CONTRACTOR'S COST UNLESS NOTED TO BE PROVIDED TO THE OWNER.
13. CAVITIES LEFT BY DEMOLITION SHALL BE PROPERLY BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, AND THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
14. WHERE EXISTING IRRIGATION LINES ARE LOCATED WITHIN THE AREA OF CONSTRUCTION, THEY SHALL BE PROTECTED OR RELOCATED AND CONNECTED TO MAINTAIN OPERATION IN LANDSCAPE AREAS WHICH REMAIN DURING CONSTRUCTION. COORDINATE TEMPORARY MEASURES WITH DESIGN OF NEW SYSTEM AND REMOVE TEMPORARY MEASURES WHEN NO LONGER NEEDED.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR ALL ON-SITE AND OFF-SITE DEWATERING OPERATIONS AND SHALL OBTAIN PERMITS THROUGH THE NECESSARY LOCAL AND STATE AGENCIES AS NEEDED.
16. IF AN EXISTING WELL IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL INFORM THE ENGINEER AND ABANDON/REMOVE ANY EXISTING WELLS PER LOCAL/STATE STANDARDS.

1. CURB RUMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY ARE TO BE CONSTRUCTED PER LOCAL AUTHORITY'S STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS, WHERE THERE ARE NO LOCAL STANDARDS, THE CONTRACTOR SHALL CONSTRUCT CURB RUMPS COMPLYING WITH THE CURRENT VERSION OF THE PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), PUBLISHED BY THE UNITED STATES ACCESS BOARD.
2. PRIVATE CURB RUMPS ON THE SITE OUTSIDE OF THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO AMERICANS WITH DISABILITIES ACT (ADA) AND/OR FAIR HOUSING ACT (FHA) STANDARDS, WHERE APPLICABLE.
3. BEFORE PAVING PAVEMENT OR SIDEWALKS, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA AND/OR FHA) EXIST TO AND FROM ACCESSIBLE DOORS, ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ACCESSIBLE ROUTES. MAXIMUM GRADES WITHIN ACCESSIBLE PARKING AND ACCESS AISLES SHALL BE 2% IN ANY DIRECTION. WITHIN ACCESSIBLE PATHS, MAXIMUM SLOPES FOR SIDEWALKS SHALL BE LONGITUDINALLY 1:20 (5% MAX) AND TRANSVERSELY 1:48 (2.1% MAX). CROSS SLOPES SHALL BE LONGITUDINALLY 1:48 (2.1% MAX) AND TRANSVERSELY 1:48 (2.1% MAX). CROSS SLOPES SHALL BE MAXIMUM 2% TURNING SPACES (5'x5' MIN), SHALL BE MAXIMUM 2% SLOPE IN ANY DIRECTION.
4. CURB RUMPS SHALL HAVE A LANDING AT THE TOP MATCHING THE WIDTH OF THE RAMP AND A MINIMUM DEPTH OF 48". RAMP SIDEWALK SHALL BE 5'x5' LANDING AT THE TOP AND BOTTOM OF THE RAMP. RAMP ACCESSIBLE RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS OR LOCAL BUILDING CODE STANDARDS, WHICHEVER IS MORE RESTRICTIVE.
5. THE CONTRACTOR SHALL FIELD VERIFY SLOPE MEASUREMENTS ON FINISHED GRADE, SUBGRADE, AND FORMWORK PRIOR TO PLACING PAVEMENT TO VERIFY CONFORMANCE TO ADA SLOPES. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAYING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CHANGE ORDERS WILL BE ACCEPTED FOR ADA SLOPE COMPLIANCE ISSUES. WHEN REQUESTED BY THE OWNER, THE ENGINEER WILL MEASURE FINISHED SLOPES IN ACCESSIBLE SPACES AND ALONG ACCESSIBLE ROUTES USING A 2" DIGITAL SLOPE LEVEL.
6. WHERE CONSTRUCTION IS TAKING PLACE WITHIN AN EXISTING DEVELOPMENT OR FACILITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN AN ACCESSIBLE PATH PER ADA AND/OR FHA STANDARDS THROUGHOUT THE CONSTRUCTION PROCESS AS NEEDED.

1. INSTALL TREE PROTECTION PRIOR TO DEMOLITION OR EARTH MOVING OPERATIONS IN ACCORDANCE WITH THE DETAILS AND NOTES PROVIDED IN THESE PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL STAKE THE LIMITS OF CONSTRUCTION TO ENSURE TREE PROTECTION MEASURES ARE INSTALLED IN THE PROPER LOCATIONS.
3. TREE PROTECTION MEASURES SHALL CONSIST OF 48" TALL CHAIN LINK FENCE WITH STEEL TREE POSTS OR ORANGE CONSTRUCTION BARRICADE FENCE. PRIOR TO CONSTRUCTION, TREE PROTECTION FENCE INSTALLATION SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE AND GOVERNING AUTHORITY IF REQUIRED.
4. ANY GRADING OR EXCAVATION WITHIN THE PROTECTED ROOT ZONE SHALL BE ACCOMPLISHED BY HAND OR WITH SMALL EQUIPMENT TO MINIMIZE DAMAGE.
5. ROOTS EXPOSED DURING CONSTRUCTION OPERATIONS SHALL BE PRUNED FLUSH WITH THE GROUND AND COVERED WITH BACKFILL AS SOON AS POSSIBLE. IF EARTHWORK OPERATIONS WILL DELAY THE PLACEMENT OF BACKFILL, THE ROOTS SHALL BE TEMPORARILY COVERED WITH MULCH AND WATERED UNTIL BACKFILL OPERATIONS CAN BE ACCOMPLISHED.
6. DO NOT STORE EQUIPMENT OR MATERIALS WITHIN THE DRIP LINE OF TREES TO BE PRESERVED.
7. WHEN GRADING OR TRENCING OPERATIONS ARE REQUIRED WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, THE ROOTS SHALL FIRST BE CUT USING A "DITCH WITCH" OR SIMILAR EQUIPMENT TO PROVIDE A CLEAN CUT AT THE LIMIT OF DISTURBANCE PRIOR TO USE OF OTHER GRADING MACHINERY. ONCE THE ROOTS HAVE BEEN CUT AS NOTED, ALL EQUIPMENT SHALL BE RESTRICTED FROM ENTERING THE AREA BETWEEN THE CUT LINE AND TREE TRUNK. TRENCHES SHALL BE BACKFILLED AND TAMPED TO MINIMIZE SETTLEMENT.
8. BARRICADES SHALL BE INSTALLED WITHIN THE LIMITS OF PROPOSED PAVEMENTS WHEN EXTENDING UNDER THE DRIP LINE OF TREES TO BE PRESERVED UNTIL OPERATIONS TO CONSTRUCT THE PAVED AREAS ARE INITIATED. THEN THE BARRICADES CAN BE RELOCATED TO PROVIDE THE MINIMUM AREA NECESSARY FOR CONSTRUCTION OF THE PROPOSED WORK AND SHALL REMAIN IN PLACE UNTIL ALL WORK IS COMPLETE.
9. PROVIDE WATERING OF SPECIMEN TREES DURING CONSTRUCTION DURING PERIODS OF DROUGHT EXCEEDING SEVEN DAYS. EVENLY DISTRIBUTE WATER OVER THE ENTIRE ROOT ZONE.
10. ROOT ZONE AREAS OF TREES THAT HAVE BEEN COMPACTED DUE TO CONSTRUCTION ACTIVITIES SHALL BE AERATED AT THE DIRECTION OF A QUALIFIED ARBORIST.
11. HOSE DOWN FOLIAGE OF SPECIMEN TREES SUBJECT TO HEAVY ACCUMULATION OF DUST FROM CONSTRUCTION ACTIVITIES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE GRASS TO LESS THAN 12" IN HEIGHT WITHIN THE AREAS OF TREE PROTECTION DURING THE CONSTRUCTION PERIOD. DO NOT USE HERBICIDES TO CONTROL VEGETATION WITHIN THE TREE PROTECTION AREA.
13. REMOVAL OF TREE PROTECTION FENCING SHALL NOT OCCUR UNTIL APPROVED BY THE GOVERNING AUTHORITY WHERE REQUIRED, OR THE OWNER'S REPRESENTATIVE. ALL REMNANTS OF THE FENCING SHALL BE REMOVED AND RESTORATION OF THE AREAS SHALL BE COMPLETED.

1. EROSION PREVENTION AND SEDIMENT CONTROL (EPCSC) MEASURES SHALL BE INSTALLED PER LOCAL AND STATE REQUIREMENTS PRIOR TO ANY EARTH MOVING ACTIVITIES.
2. PROVIDE CONSTRUCTION ENTRANCE/EXIT AS DETAILED ON THE PLANS AND PER LOCAL REQUIREMENTS. MAINTAIN ENTRANCE/EXIT THROUGHOUT CONSTRUCTION AND MAINTAIN THE PUBLIC ROADWAY FREE OF TRACKED MUD AND DIRT.
3. EPCSC MEASURES SHALL BE INSTALLED AND INSPECTED BY LOCAL OFFICIALS (IF REQUIRED) PRIOR TO BEGINNING EARTH MOVING OPERATIONS. EPCSC MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
4. LOCATION OF DIVERSION DITCHES, SILT FENCE, AND OTHER MEASURES MAY BE SLIGHTLY ADJUSTED IN THE FIELD TO AVOID TREES AND OTHER EXISTING FEATURES.
5. THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO THE REQUIREMENTS OUTLINED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) DEVELOPED FOR THE SITE, AS WELL AS LOCAL AND STATE REQUIREMENTS. THE CONTRACTOR SHALL ALSO PROVIDE THE CERTIFIED EROSION CONTROL INSPECTOR AND CONTINUAL MAINTENANCE OF THE EPCSC MEASURES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
6. AS THE WORK PROGRESSES THE LOCATION AND TYPE OF MEASURES MAY REQUIRE ADJUSTMENTS. TEMPORARY MEASURES MAY BE REQUIRED IN CERTAIN AREAS THAT CAN BE REMOVED DURING THE WORK DAY AND RE-ESTABLISHED WHEN WORK CEASES FOR THE DAY OR PRIOR TO A DAYTIME RAIN EVENT.
7. SEDIMENT SHALL BE REMOVED FROM EROSION PREVENTION AND SEDIMENT CONTROL MEASURES WHEN THE DESIGN CAPACITIES HAVE BEEN REDUCED BY 50% OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE OR GOVERNING AGENCY. PROPERLY DISPOSE OF ACCUMULATED SEDIMENT.
8. THE CONTRACTOR SHALL PROVIDE A RAIN GAUGE AT THE SITE AND DOCUMENT RAINFALL EVENTS DURING THE CONSTRUCTION PERIOD.
9. THE CONTRACTOR SHALL MAINTAIN THE FOLLOWING RECORDS AT THE SITE: DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, THE TEST RESULTS OF CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON PORTIONS OF THE SITE; DATES WHEN STABILIZATION MEASURES ARE INITIATED; INSPECTION RECORDS; AND RAINFALL EVENTS.
10. EXISTING SITE VEGETATION SHALL REMAIN IN PLACE AS LONG AS POSSIBLE AND SHALL NOT BE REMOVED MORE THAN 10 DAYS PRIOR TO THE DATE AT WHICH EARTH MOVING OPERATIONS ARE TO BEGIN UNLESS TEMPORARY COVER IS INSTALLED. DO NOT REMOVE VEGETATION OR TREES UNLESS NECESSARY FOR GRADING OR OTHER PROJECT PURPOSES.
11. THE CONSTRUCTION SHALL BE SEQUENCED TO MINIMIZE THE LENGTH OF TIME SITE SOILS ARE EXPOSED TO EROSION. PROVIDE TEMPORARY COVER AS NECESSARY.
12. EPCSC MEASURES SHALL BE REMOVED ONCE PERMANENT VEGETATION IS ESTABLISHED AND WHEN DEEMED NO LONGER NEEDED BY THE OWNER'S REPRESENTATIVE OR GOVERNING AGENCY.

1. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A LICENSED SURVEYOR IN THE STATE OF NEW HAMPSHIRE TO PROVIDE AS-BUILT SURVEY DATA FOR PUBLIC UTILITIES AND PUBLIC/PRIVATE STORMWATER MANAGEMENT INFRASTRUCTURE.
2. AS-BUILT SURVEYS FOR STORMWATER INFRASTRUCTURE SHOULD PROVIDE THE FOLLOWING ITEMS, AT A MINIMUM:
 - 2.1. SPOT ELEVATIONS OF THE EXCAVATED BIOTRETENMENT AND/OR PERMEABLE PAVEMENT SUBGRADE PRIOR TO BACKFILLING WITH SPECIALTY SOIL AND GRAVEL LAYERS.
 - 2.2. SPOT ELEVATIONS OF SUBGRADE FOR UNDERGROUND DETENTION SYSTEMS.
 - 2.3. SPOT ELEVATIONS AND CONTOUR ELEVATIONS NOT TO EXCEED 1' MAX. INTERVAL FOR ALL PERMANENT STORMWATER QUALITY AREAS, DETENTION PONDS, AND ASSOCIATED EMBANKMENTS TO ENSURE PROPER SIZING OF THESE FEATURES.
 - 2.4. SIZE, MATERIAL, ELEVATION INFORMATION FOR ALL STORMWATER PIPES AND STRUCTURES WITHIN THE PUBLIC RIGHT OF WAY.
 - 2.5. SIZE, MATERIAL, ELEVATION INFORMATION FOR ALL PRIVATE STORMWATER QUALITY FEATURES, DETENTION STRUCTURES AND INFRASTRUCTURE DOWNSTREAM OF THESE FEATURES.
 - 2.6. DETAILED INFORMATION FOR ALL OUTLET CONTROL STRUCTURES WITHIN DETENTION PONDS, WATER QUALITY FEATURES, OR UNDERGROUND DETENTION SYSTEMS, INCLUDING ELEVATION AND SIZE INFORMATION FOR ORIFICE, REFORMED RISERS, WEIRS, TOP OF CASTING, AND INVERTS ASSOCIATED WITH THE STRUCTURE.
 - 2.7. ALL OTHER AS-BUILT INFORMATION REQUIRED BY THE JURISDICTIONAL AUTHORITY OR NOTED ELSEWHERE IN THE PLAN.
3. THE CONTRACTOR SHALL REVIEW LOCAL AUTHORITY'S AS-BUILT REQUIREMENTS AND/OR CONTACT ENGINEER TO CONFIRM AS-BUILT INFORMATION. PHOTOGRAPHIC EVIDENCE OF PROPER INSTALLATION OF STORMWATER MANAGEMENT AND WATER QUALITY INFRASTRUCTURE AND/OR VIDEO INSPECTIONS OF STORMWATER PIPES MAY BE REQUIRED, THE CONTRACTOR SHALL CAPTURE AND RETAIN PHOTOGRAPHIC DOCUMENTATION OF KEY INSTALLATION MILESTONES AS NEEDED. FAILURE TO PROVIDE NECESSARY PHOTOGRAPHIC DOCUMENTATION PRIOR TO BACKFILLING MAY CAUSE DELAYS AND REQUIRE SITE INVESTIGATION THAT COULD INCLUDE RE-EXCAVATION OF COMPLETED INFRASTRUCTURE AT THE CONTRACTOR'S EXPENSE.
4. THE CONTRACTOR SHALL RETAIN AND PROVIDE RECEIPTS FOR ANY FABRICATED STORMWATER MANAGEMENT INFRASTRUCTURE SUCH AS PROPRIETARY WATER QUALITY UNITS, UNDERGROUND DETENTION STRUCTURES, PERMEABLE PAVERS, OR SPECIALTY SOIL MEDIA (WITH APPLICABLE TESTING IF REQUIRED).
5. REFER TO THE STANDARDS OF THE GOVERNING AUTHORITY OR UTILITY DISTRICT FOR AS-BUILT REQUIREMENTS FOR PUBLIC UTILITY INFRASTRUCTURE, INCLUDING METERS AND UTILITY TAPS, WHERE APPLICABLE. SUBMIT AS-BUILT DATA DIRECTLY TO THE LOCAL AUTHORITY AND/OR TO THE ENGINEER FOR REVIEW, AS APPLICABLE.

3. PUBLIC STORMWATER PIPES, STRUCTURES, AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE GOVERNING AUTHORITY'S STANDARD SPECIFICATIONS AND DETAILS. PRIVATE STORMWATER INFRASTRUCTURE SHALL BE CONSTRUCTED PER THE STANDARDS FOUND IN THESE PLANS AND SPECIFICATIONS. PROPRIETARY STORMWATER DETENTION AND WATER QUALITY FEATURES AND PLASTIC PIPES SHALL BE INSTALLED PER THE MANUFACTURER'S PUBLISHED GUIDANCE.
2. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL STORM SEWER PIPE, STRUCTURES, WATER QUALITY STRUCTURES, AND FABRICATED DETENTION STRUCTURES FOR ENGINEER AND OWNER APPROVAL PRIOR TO ORDERING MATERIALS.
3. STORM SEWER PIPE MATERIALS:
 - 3.1. REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III, WALL TYPE 'B' CONFORMING TO ASTM C76 UNLESS OTHERWISE NOTED WITH BELL-AND-SPIGOT AND GASKETED JOINTS WITH ASTM C434 RUBBER GASKETS OR MASTIC SEAL CONFORMING TO ASTM C990. RCP SHALL BE INSTALLED PER THE RECOMMENDATIONS OF ASTM C1479.
 - 3.1.1. CLASS IV RCP PIPE SHALL BE REQUIRED FOR RILL HEIGHTS OVER 13' OR WHERE NOTED BY THE ENGINEER.
 - 3.2. HIGH DENSITY POLYETHYLENE (HDPE) PIPE SHALL BE DUAL-WALL WITH CORRUGATED EXTERIOR AND SMOOTH INTERIOR. HDPE PIPE SHALL CONFORM TO ASTM F2648 OR AASHTO M252/M294 WITH GASKETED SOIL TIGHT JOINTS CONFORMING TO ASTM F477. THERMOPLASTIC PIPING SHALL BE INSTALLED PER ASTM D2321.
 - 3.3. HIGH PERFORMANCE POLYPROPYLENE (HP) PIPE SHALL BE DUAL-WALL WITH CORRUGATED EXTERIOR AND SMOOTH INTERIOR, CONFORMING TO ASTM F2881 AND AASHTO M330 WITH GASKETED SOIL TIGHT JOINTS CONFORMING TO ASTM F477. THERMOPLASTIC PIPING SHALL BE INSTALLED PER ASTM D2321.
 - 3.4. POLYVINYL CHLORIDE PIPE (PVC) SHALL BE SDR 35 PER ASTM D3034. JOINTS SHALL BE ELASTOMERIC GASKETED, BELL AND SPIGOT, PUSH-ON TYPE PROVIDING A WATER TIGHT SEAL PER ASTM D3212. THERMOPLASTIC PIPING SHALL BE INSTALLED PER ASTM D2321.
4. ALL PIPES SHALL BE INSTALLED, AT A MINIMUM, WITH SOIL TIGHT JOINTS AND CONNECTIONS TO TERMINAL STRUCTURES. COMPLY WITH MANUFACTURER'S SPECIFICATIONS FOR WATER TIGHT INSTALLATIONS WHERE INDICATED ON DRAWINGS.
5. PIPE BEDDING, BACKFILL, AND COMPACTATION REQUIREMENTS WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL AND STATE DEPARTMENT OF TRANSPORTATION DETAILS AND SPECIFICATIONS.
6. PIPES UNDER EXISTING PAVEMENT AREAS SHALL BE COMPLETELY BACKFILLED WITH CRUSHED STONE OR PER LOCAL AUTHORITY STANDARD REQUIREMENTS. PAVEMENT SECTIONS SHALL MEET OR EXCEED EXISTING CONDITIONS WITH A SMOOTH TRANSITION.
7. STORM SEWER STRUCTURE MATERIALS:
 - 7.1. STORM INLETS AND MANHOLES SHALL BE PRECAST IN COMPLIANCE WITH THE LOCAL/STATE JURISDICTIONAL AUTHORITY'S STANDARD DETAILS AND SPECIFICATIONS, AND MEET OR EXCEED SPECIFICATIONS OF ASTM A478 AND C913. STRUCTURES SHALL BE TRAFFIC RATED PER H-20 LOADING REQUIREMENTS.
 - 7.2. REFER TO STRUCTURE TABLE FOR CASTING FRAME AND GRATE TYPES. FRAMES AND GRATES TO BE PROVIDED IN ACCORDANCE WITH THE LOCAL/STATE JURISDICTIONAL AUTHORITY'S STANDARD DETAILS AND SPECIFICATIONS AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 - 7.3. PIPE CONNECTIONS TO STRUCTURES:
 - 7.3.1. NON-SHRINK GROUT PER ASTM C1107.
 - 7.3.2. WHERE REQUIRED, FLEXIBLE, WATER-TIGHT GASKETS SHALL COMPLY WITH ASTM C923.
 - 7.4. FRAMES AND GRATES:
 - 7.4.1. MATERIAL: GRAY IRON CLASS 35 PER ASTM A48 UNLESS OTHERWISE INDICATED.
 - 7.5. INSTALL REDUCERS AS NECESSARY PER MANUFACTURER'S SPECIFICATIONS TO ACCOMMODATE LARGER PIPE DIAMETERS OR CASTING SIZES.
8. DRAINAGE STRUCTURE SIZES SHOWN IN THE PLANS ARE SCHEDULED IN NATURE AND MAY VARY BASED ON CONNECTING PIPE SIZES OR ANGLES. FINAL STRUCTURE SIZES WILL BE DETERMINED BY THE PRECASTER BASED ON NATHEMATIC CONCRETE PIPE ASSOCIATION (NCPA) STANDARDS OR THE MANUFACTURER'S REQUIREMENTS.
9. TOP OF GRATE ELEVATIONS FOR DRAINAGE STRUCTURES SHALL BE PROVIDED PER THE DETAILS AND STRUCTURE TABLES.
10. CONTRACTOR SHALL PLACE STRUCTURES BASED ON THE ACTUAL DIMENSIONS OF ORDERED STRUCTURES AND GRATES TO ALIGN WITH PROPOSED OR EXISTING CURB LINES. DRAINAGE STRUCTURES SHOULD NOT BE INSTALLED BASED SOLELY ON STRUCTURE OR PIPE CENTERLINES.
11. STORM SEWERS SHALL BE CONSTRUCTED STARTING AT THE DOWNSTREAM DISCHARGE OR CONNECTION POINT AND THEN WORKING UPSTREAM. IN EXCEPTIONAL CASES WHERE SITE CONDITIONS OR SCHEDULE CONSTRAINTS REQUIRE CONSTRUCTION IN A DIFFERENT ORDER, THE CONTRACTOR SHALL TAKE SPECIAL CARE TO CONFIRM THAT THE ELEVATION OF THE DOWNSTREAM DISCHARGE OR CONNECTION CONFORMS TO THE PLANS AND THAT MINIMUM SLOPES CAN BE ACHIEVED.
12. COORDINATE THE LOCATION OF SITE DRAINAGE SYSTEMS WITH THE BUILDING ARCHITECTURE AND PLUMBING PLANS FOR COLLECTION OF ROOF DRAINS AND DOWNSPOUTS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
13. ADJUST THE CASTINGS OF ALL EXISTING AND NEW STRUCTURES TO MATCH PROPOSED FINISH GRADE, ENSURING POSITIVE DRAINAGE IS MAINTAINED. SLOPE TOPS OF CASTINGS TO MATCH SLOPES OF SURROUNDING PAVEMENTS AND CURBS.

1. THE CONTRACTOR SHALL REQUEST UTILITY LOCATIONS (811) AND VERIFY LOCATIONS OF ALL OTHER PRIVATE UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES FROM DAMAGE AND REPAIR PER PROVIDER REQUIREMENTS AT THE CONTRACTOR'S EXPENSE IF DAMAGED. COORDINATE ALL WORK AROUND EXISTING UTILITIES WITH CORRESPONDING PROVIDER.
2. THE CONTRACTOR SHALL COORDINATE WITH THE OWNERS OF EACH UTILITY AND VERIFY THE SCOPE OF INSTALLATIONS OR RELOCATIONS THAT WILL BE REQUIRED AND THE IMPACT EACH COULD HAVE ON THE PROJECT SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SEQUENCING OF INSTALLATION OF UTILITIES TO AVOID CONFLICTING HORIZONTAL AND VERTICAL LOCATIONS.
3. ALL PUBLIC WATER AND SEWER MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE TO THE GOVERNING AUTHORITY'S REQUIREMENTS AND SPECIFICATIONS. LIKEWISE, IF THE GOVERNING AUTHORITY HAS MATERIAL REQUIREMENTS FOR PRIVATE (SITE) UTILITIES, CONSTRUCT SITE UTILITIES IN ACCORDANCE WITH APPLICABLE PUBLIC UTILITY SPECIFICATIONS. OTHERWISE, THE FOLLOWING MINIMUM STANDARDS SHALL BE MET:
 - 3.1. PRIVATE GRAVITY SANITARY SEWER MATERIALS:
 - 3.1.1. POLYVINYL CHLORIDE PIPE (PVC) 4" AND GREATER SHALL BE SDR 35 PER ASTM D3034.
 - 3.1.1.1. JOINTS: ELASTOMERIC GASKETED, BELL AND SPIGOT, PUSH-ON TYPE PROVIDING A WATER TIGHT SEAL PER ASTM D3212.
 - 3.1.2. DUCTILE IRON PIPE (DIP) SHALL BE PRESSURE CLASS 350 COMPLYING WITH AWWA C150/C151
 - 3.1.2.1. JOINTS AND FITTINGS: PUSH-ON JOINTS CONFORMING TO AWWA C110/C111. SAME LINING AND COATING AS CONNECTING PIPES..
 - 3.1.2.2. LINING AND COATING: INTERIOR LINING CONFORMING TO LOCAL UTILITY SPECIFICATIONS FOR DUCTILE IRON GRAVITY SEWERS, OR APPROVED EQUAL. ASPHALTIC EXTERIOR COATINGS CONFORMING TO AWWA C151.
 - 3.2. PRIVATE POTABLE WATER MATERIALS:
 - 3.2.1. POLYVINYL CHLORIDE PIPE (PVC) LESS THAN 4" SHALL BE SCHEDULE 40 PVC PIPE PER ASTM D1785.
 - 3.2.1.1. JOINTS AND FITTINGS: SOLVENT CEMENTED JOINTS PER ASTM D2885, PVC FITTINGS PER ASTM D2466.
 - 3.2.2. POLYVINYL CHLORIDE PIPE (PVC) 4" AND GREATER SHALL BE AWWA C900, DR-18.
 - 3.2.2.1. JOINTS AND FITTINGS: GASKETED JOINTS PER ASTM F477 AND ASTM D3139. PROVIDE DUCTILE IRON FITTINGS WITH MECHANICAL JOINTS CONFORMING TO AWWA STANDARD C110/C111/C153 AND MEGALUG® JOINT RESTRAINTS, OR APPROVED EQUAL. PROVIDE CONCRETE THRUST BLOCKING PER STANDARDS OF JURISDICTIONAL AUTHORITY.
 - 3.2.3. DUCTILE IRON PIPE (DIP) 16" AND BELOW SHALL BE PRESSURE CLASS 350 COMPLYING WITH AWWA C150/C151.
 - 3.2.3.1. JOINTS AND FITTINGS: FLEXIBLE, PUSH-ON RESTRAINED JOINTS CONFORMING TO AWWA C111. PROVIDE DUCTILE IRON FITTINGS WITH MECHANICAL JOINTS CONFORMING TO AWWA C110/C111/C153 AND MEGALUG® JOINT RESTRAINTS, OR APPROVED EQUAL. SAME LINING AND COATING AS CONNECTING PIPES.
 - 3.2.3.2. LINING & COATING: INTERIOR CEMENT MORTAR LINING CONFORMING TO AWWA C104 AND ASPHALTIC EXTERIOR COATINGS CONFORMING TO AWWA C151 FOR ALL PIPES, JOINTS, AND FITTINGS.
 - 3.2.3.2. ABOVE-GROUND OR VAULT INSTALLATIONS: PROVIDE FLANGED DUCTILE IRON PIPE, JOINTS, AND FITTINGS CONFORMING TO AWWA C115.
 - 3.2.4. COPPER PIPE (CU) SHALL BE TYPE 'K' ANNEALED PER ASTM B88. PROVIDE JOINTS AND FITTINGS PER AWWA C800.

3. THE DISTURBED AREA FOR THIS PROJECT IS ESTIMATED TO BE +0.01 ACRES.
4. THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO COUNTY PANEL NO. 330150260F OF THE FEMA FLOOD INSURANCE MAPS FOR ROCKINGHAM COUNTY, NEW HAMPSHIRE, DATED JANUARY 29, 2021.
5. FOLLOW THE DIRECTIONS OF THE EROSION CONTROL AND TREE PROTECTION NOTES INCLUDED ELSEWHERE IN THESE DOCUMENTS.
6. THE GEOTECHNICAL REPORT, PREPARED BY OTHERS, IS INCORPORATED BY REFERENCE AND MADE A PART OF THE CONTRACT DOCUMENTS. IT IS INTENDED THAT THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT BE FOLLOWED. IN THE EVENT OF CONFLICTS BETWEEN THE CONSTRUCTION DRAWINGS, SPECIFICATIONS, AND THE GEOTECHNICAL REPORT, MAKE NO ASSUMPTIONS. THE ENGINEER SHALL BE IMMEDIATELY BE NOTIFIED FOR CLARIFICATION.
7. THE CONTRACTOR SHALL REQUEST UTILITY LOCATIONS (811) AND VERIFY LOCATIONS OF ALL OTHER UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES FROM DAMAGE AND REPAIR PER PROVIDER REQUIREMENTS AT THE CONTRACTOR'S EXPENSE IF DAMAGED. COORDINATE ALL WORK AROUND EXISTING UTILITIES WITH CORRESPONDING PROVIDER.
8. THE CONTRACTOR SHALL CONFIRM EXISTING GRADES AND DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY DISCREPANCIES.
9. THE CONTRACTOR SHALL OBTAIN ALL APPROVALS AND PERMITS PRIOR TO INITIATING GRADING OPERATIONS.
10. POSITIVE DRAINAGE SHALL BE ESTABLISHED INITIALLY AND MAINTAINED THROUGHOUT CONSTRUCTION.
11. PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE THE FINISH GRADE ELEVATIONS. THE CONTRACTOR SHALL REVIEW THE PROPOSED GRADING PLAN AND SPOT ELEVATIONS AND REQUEST INFORMATION FROM THE ENGINEER FOR SPOTS OR CONTOURS THAT DO NOT APPEAR TO CORRESPOND WITH OTHER SURROUNDING GRADES. PROPOSED GRADES REFLECT AN INTENT FOR THE SLOPES AND DIRECTION OF DRAINAGE. THE CONTRACTOR SHALL REQUEST DIRECTION FOR AREAS WHERE THE INTENT IS NOT CLEAR.
12. STRIP TOPSOIL FROM PROPOSED GRADING AREAS AND STOCKPILE FOR REUSE. PROVIDE TEMPORARY SEEDING FOR STOCKPILE AREAS DURING CONSTRUCTION. REDISTRIBUTE TOPSOIL AT A MINIMUM DEPTH OF 6" IN LAWN AREAS AND 18" IN LANDSCAPE BEDS, OR AS OTHERWISE NOTED IN THE PROJECT SPECIFICATIONS. PROVIDE ADDITIONAL TOPSOIL WHEN ON-SITE QUANTITIES ARE INSUFFICIENT.
13. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A QUALIFIED GEOTECHNICAL ENGINEER AND SOILS TESTING LABORATORY TO OBSERVE WORK AND PERFORM TESTS AS REQUIRED.
14. CONTRACTOR SHOULD COMPLETE GRADING ACTIVITIES WITHIN 10 CALENDAR DAYS OF ACHIEVING OPTIMUM SUBGRADE COMPACTION.
15. FILL AREAS SHALL BE PROOF ROLLED WITH RUBBER-TIRED EQUIPMENT WITH A MINIMUM WEIGHT OF FIFTEEN TONS PRIOR TO BEGINNING FILL OPERATIONS, OR AS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL EXCAVATE SOFT SPOTS, UNSATISFACTORY SOILS, AND AREAS OF EXCESSIVE PUMPING OR RUTTING, AS DETERMINED BY GEOTECHNICAL ENGINEER, AND REPLACE WITH COMPACTED BACKFILL OR FILL AS DIRECTED. COMPACTION OF BACKFILL MATERIALS SHALL BE 98% MAXIMUM DRY DENSITY AS PER ASTM D698 (STANDARD PROCTOR), UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
16. THE CONTRACTOR SHALL, AT THEIR COST, PROVIDE OFFSITE MATERIALS MEETING THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER WHERE ONSITE SOIL QUANTITIES ARE NOT SUFFICIENT. ALL FILL MATERIAL SHALL BE PROVIDED BY THE GEOTECHNICAL ENGINEER PRIOR TO BEING HAULED TO THE SITE. MATERIAL SHALL BE LAYERED AND COMPACTED IN LIFT DEPTHS AS OUTLINED IN THE SPECIFICATIONS OR AS OTHERWISE DETERMINED BY THE GEOTECHNICAL ENGINEER. SUBGRADES SHALL BE PROOF ROLLED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S DIRECTIONS. UNSUITABLE MATERIALS SHALL BE REMOVED AND REPLACED AS DIRECTED.
17. CUT AREAS SHALL BE PROOF-ROLLED AFTER FINAL SUBGRADE IS ACHIEVED IN THE SAME MANNER AS FILL AREAS. THE CONTRACTOR SHALL EXCAVATE SOFT SPOTS, UNSATISFACTORY SOILS, AND AREAS OF EXCESSIVE PUMPING OR RUTTING, AS DETERMINED BY GEOTECHNICAL ENGINEER, AND REPLACE WITH COMPACTED BACKFILL OR FILL AS DIRECTED. COMPACTION OF BACKFILL MATERIALS SHALL BE TO 98% MAXIMUM DRY DENSITY AS PER ASTM D698 (STANDARD PROCTOR), UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
18. THE CONTRACTOR SHALL CONFIRM EXISTING GRADES GENERALLY REFLECT THE SURVEY DATA USED IN PREPARING THESE PLANS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING SITE WORK.
19. WHERE BUILDINGS (EXISTING OR PROPOSED) OR OTHER SITE ELEMENTS CLOSELY ABUT THE RIGHT-OF-WAY OR AN ACCESSIBLE AREA, THE CONTRACTOR SHALL CONFIRM TIEOUT, CURB, AND SIDEWALK GRADES IN THESE AREAS ARE CONSISTENT WITH THE EXPECTED ELEVATIONS & HORIZONTAL LOCATIONS WITHIN THE PLANS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
20. WHERE PROPOSED NEW CURB AND SIDEWALK ARE ALONG EXISTING RIGHT-OF-WAY, THE CONTRACTOR SHALL CONFIRM CENTERLINE AND EDGE OF PAVEMENT ELEVATIONS, AND PLACE NEW CURB SUCH THAT PROPER CROSS SLOPES ARE ACHIEVED PER THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE PROPOSED DESIGN ELEVATIONS AND FIELD CONDITIONS.
21. MAXIMUM CUT AND FILL SLOPES SHALL BE 3 HORIZONTAL TO 1 VERTICAL UNLESS DIRECTLY NOTED OTHERWISE ON THE PLAN. FILL SLOPES SHALL BE CONSTRUCTED BY FILLING BEHIND THE DESIRED GRADES TO THE COMPACTED SUBGRADE, CUT BACK TO THE DESIRED GRADES. WHERE GRADES ARE 3:1 OR STEEPER, THE CONTRACTOR SHALL PROVIDE SLOPE STABILIZATION AS SHOWN ON THE EROSION CONTROL PLANS.
22. MINIMUM GRADES SHALL BE 1% IN PAVEMENT AREAS, AND A MINIMUM OF 2% IN LAWN AREAS UNLESS DIRECTLY NOTED OTHERWISE IN THE PLANS.
23. THE CONTRACTOR SHALL TAKE CARE TO PROPERLY COMPACT FILL WITHIN UTILITY TRENCHES AND AROUND OTHER PROJECT FEATURES TO AVOID SETTLEMENT. SETTLEMENT OCCURRING WITHIN 12 MONTHS OF COMPLETION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
24. UNLESS SPECIFICALLY NOTED OTHERWISE WITHIN THE PLANS, ALL PROPOSED GRADES SHALL TIE INTO EXISTING GRADES AT THE PROJECT PROPERTY BOUNDARY. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF IT APPEARS CONFLICTING FIELD CONDITIONS EXIST THAT WOULD NOT ALLOW GRADING AS DESIGNED.
25. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS AFTER FINAL GRADING IS ACHIEVED.

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STATE OF NEW HAMPSHIRE
ROBERT ANDREW WISEMAN
PROFESSIONAL ENGINEER
LICENSED
[Signature]
09144364
2026

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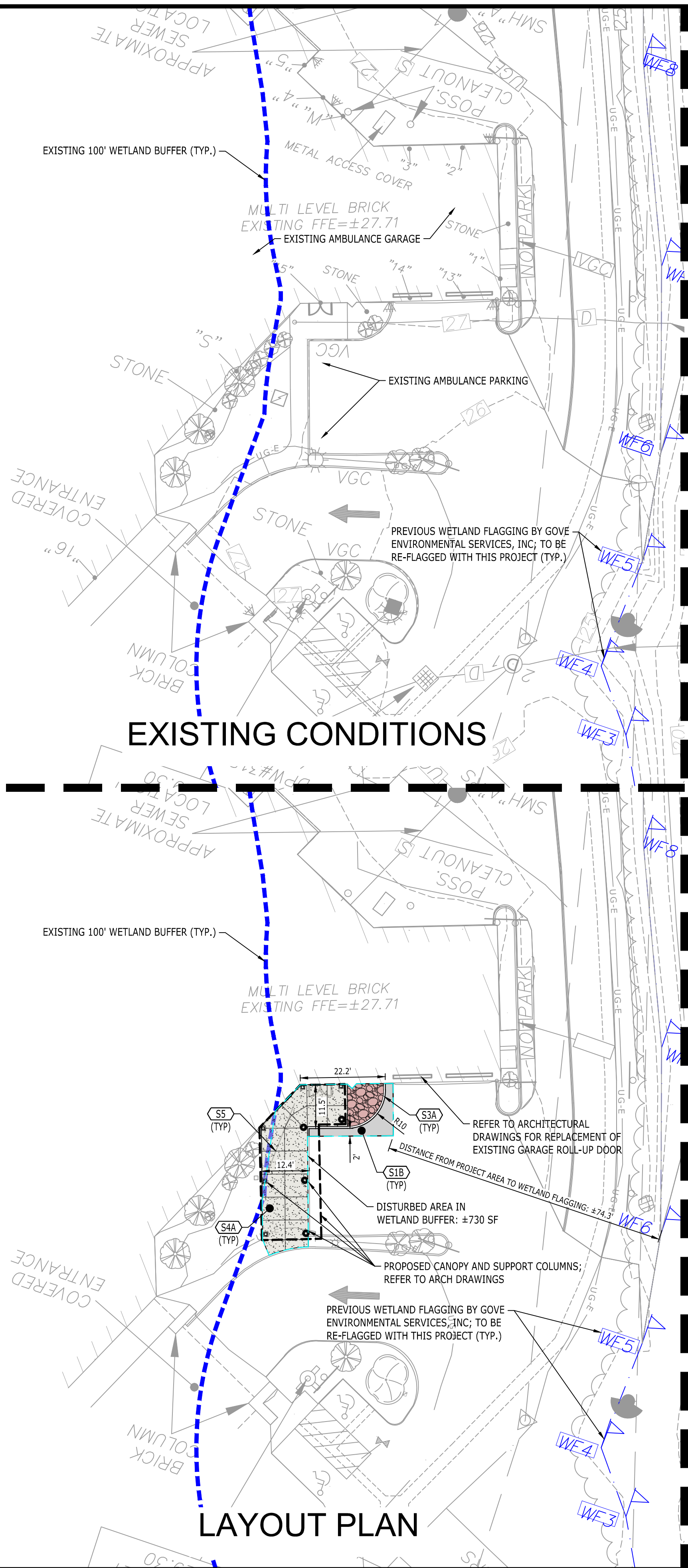
| DRAWING TITLE | NO. | DATE | DESCRIPTION |
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| GENERAL NOTES | | | |

PROJECT NUMBER






20250276

DRAWING NUMBER

C2.0



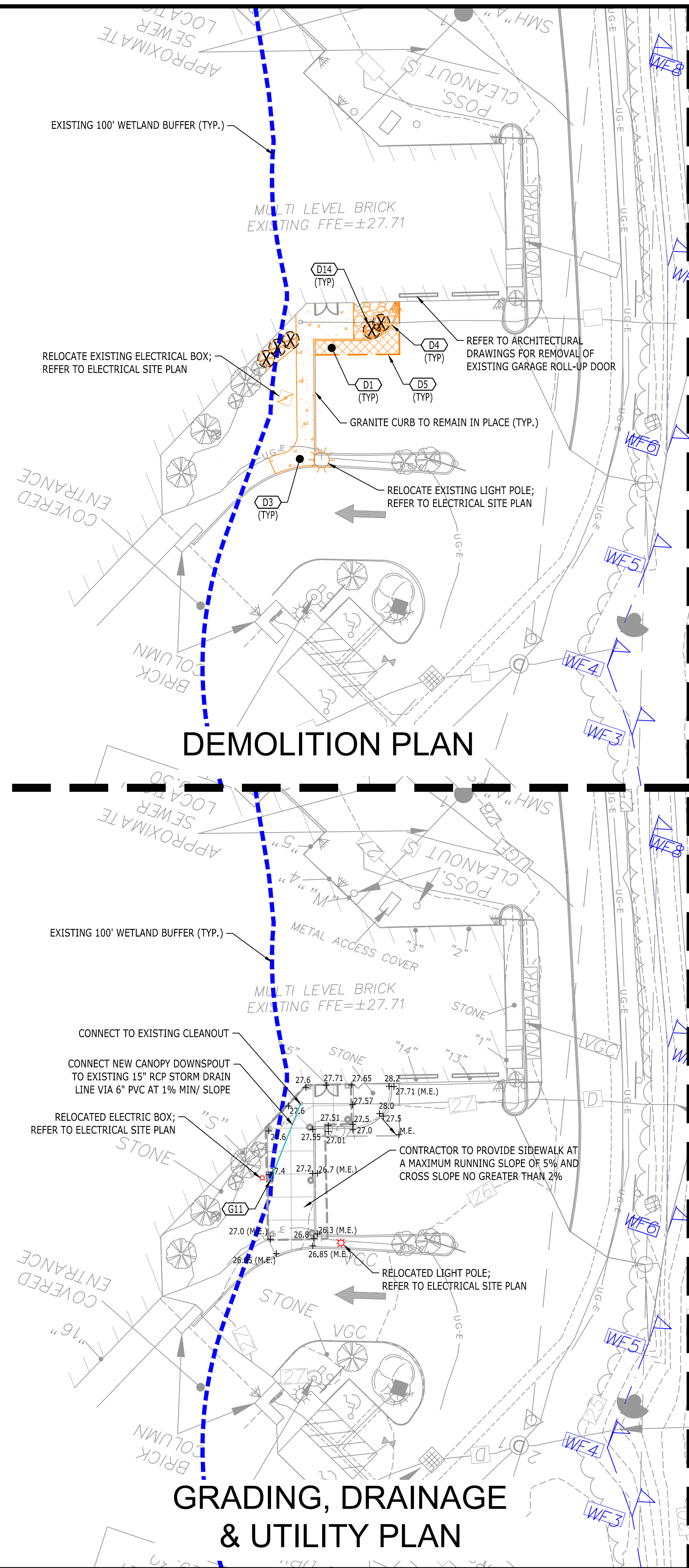
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| LEGEND | |
|---------------------|---|
| CONCRETE PAVEMENT |  |
| CONCRETE SIDEWALK |  |
| HEAVY DUTY PAVEMENT |  |
| RIVER ROCK |  |
| GRANITE CURB |  |

| SITE LAYOUT KEYNOTES | | |
|----------------------|-------------------------------|-------------|
| CODE | DESCRIPTION | DET #/SHT # |
| <u>S1B</u> | ASPHALT PAVEMENT - HEAVY DUTY | 1 / C4.0 |
| <u>S3A</u> | GRANITE POST CURB | 3 / C4.0 |
| <u>S4A</u> | CONCRETE SIDEWALK | 2 / C4.0 |
| <u>S5</u> | SIDEWALK JOINTS | 4 / C4.0 |




NOTES

1. ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS
2. REFER TO L1.0 AND L2.0 FOR LANDSCAPE PLAN AND DETAILS



| LEGEND | |
|--------------------------------------|---|
| CONCRETE TO REMOVE |  |
| ASPHALT PAVEMENT TO REMOVE |  |
| REMOVE AND REUSE EXISTING RIVER ROCK |  |
| SHRUBS TO BE REMOVED |  |

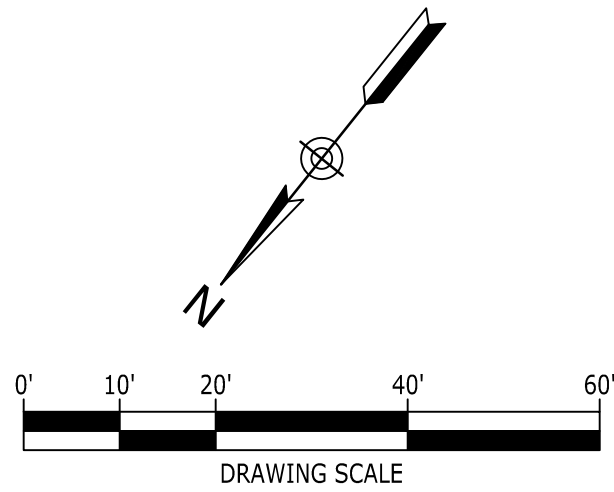
| DEMOLITION KEYNOTES | |
|---------------------|--|
| CODE | DESCRIPTION |
| D1 | REMOVE EXISTING ASPHALT PAVEMENT |
| D3 | REMOVE EXISTING CONCRETE SIDEWALK |
| D4 | REMOVE AND REUSE EXISTING GRANITE CURB |
| D5 | EVENLY SAWCUT |
| D14 | REMOVE EXISTING SHRUB |

| LEGEND | |
|----------------------|---|
| STORM PIPE |  |
| SPOT ELEVATION |  |
| UNDERGROUND ELECTRIC |  |

| GRADING & DRAINAGE KEYNOTES | | |
|-----------------------------|-------------------------------|-------------|
| CODE | DESCRIPTION | DET #/SHT # |
| G11 | BUILDING DOWNSPOUT CONNECTION | 5 / C4.0 |



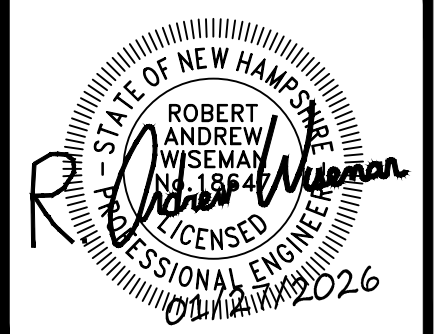
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[illegible]

DRAWING TITLE

DEMO, LAYOUT,
GRADING & UTILITY
PLAN

| | |
|----------------|----------|
| PROJECT NUMBER | 20250276 |
| DRAWING NUMBER | |

C3.0

P:\2025\20250276_bsa - hca prh - ambulance bay and canopy.dwg(construction)\20250276_DET.dwg-C4.0 SITE DETAILS Jan 28, 2026 anderson

7

RESERVED
NOT TO SCALE

8

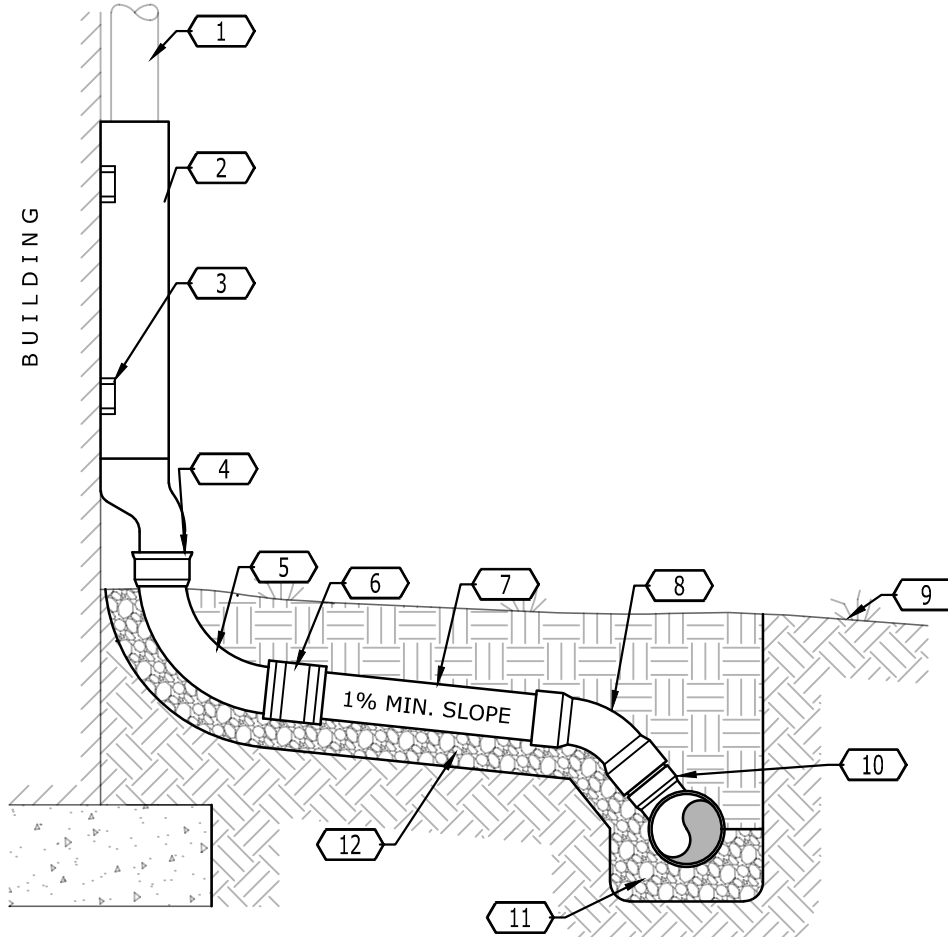
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5

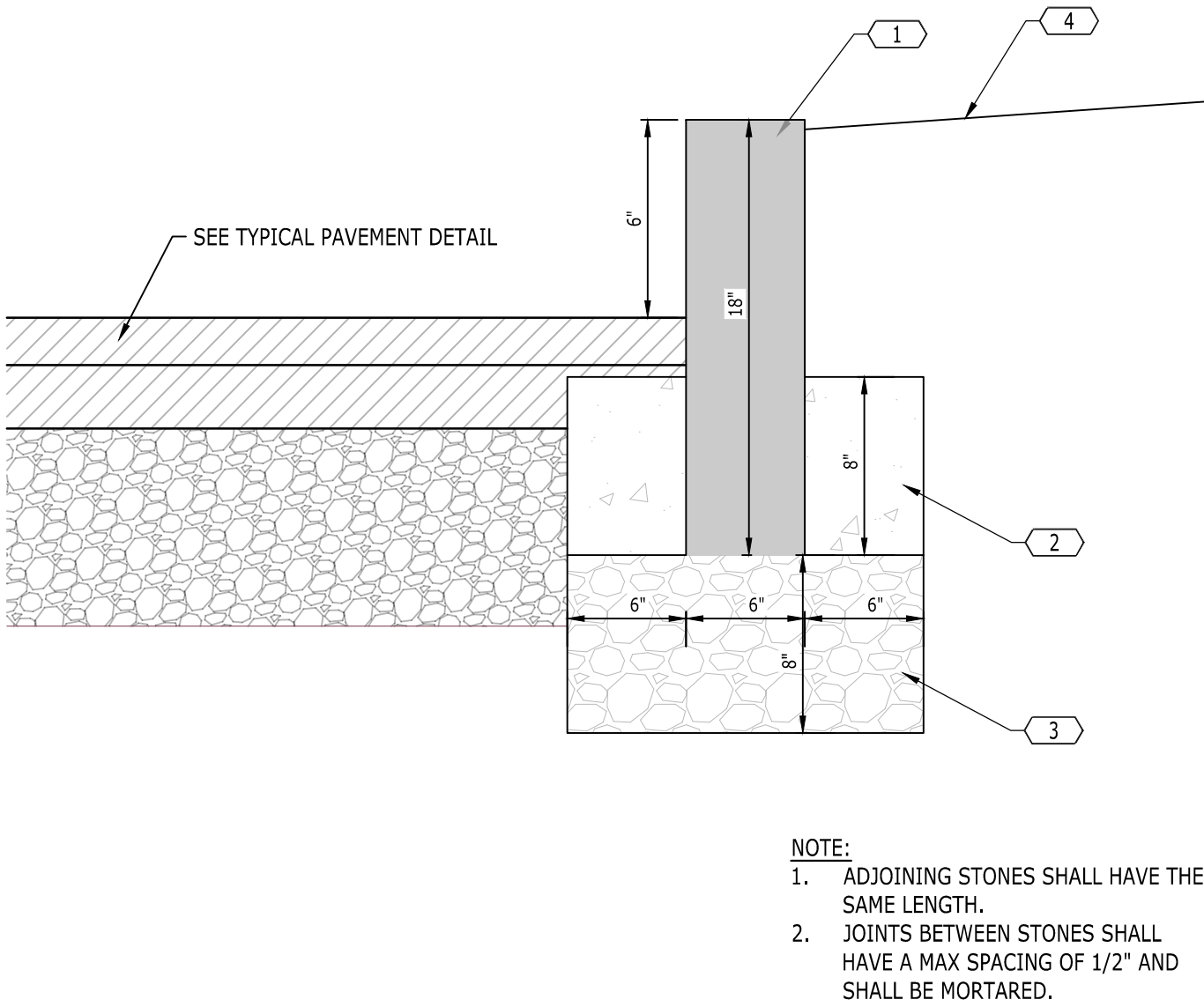
DOWNSPOUT COLLECTOR
NOT TO SCALE



| KEYNOTES | |
|----------|---|
| CODE | DESCRIPTION |
| 1 | DOWNSPOUT |
| 2 | CAST IRON DOWNSPOUT SHOE NEENAH R-4929-012 OR APPROVED EQUAL, WITH ADAPTER IF REQUIRED. |
| 3 | BOLT DOWNSPOUT SHOE TO BUILDING |
| 4 | MAKE JOINT WITH OAKUM AND HOT LEAD. CONCRETE WILL NOT BE ALLOWED. |
| 5 | 6" CAST IRON BEND |
| 6 | 6" NEOPRENE COMPRESSION CONNECTOR |
| 7 | 6" PVC ROOF LEADER |
| 8 | 6" PVC 1/8 BEND |
| 9 | FINISH GRADE |
| 10 | SANITARY WYE IN EXIST. STORM LINE |
| 11 | CAREFULLY AND THOROUGHLY COMPACT PIPE BEDDING UNDER FITTING |
| 12 | PIPE BEDDING |

3

6" VERTICAL GRANITE CURB @ PAVEMENT
NOT TO SCALE



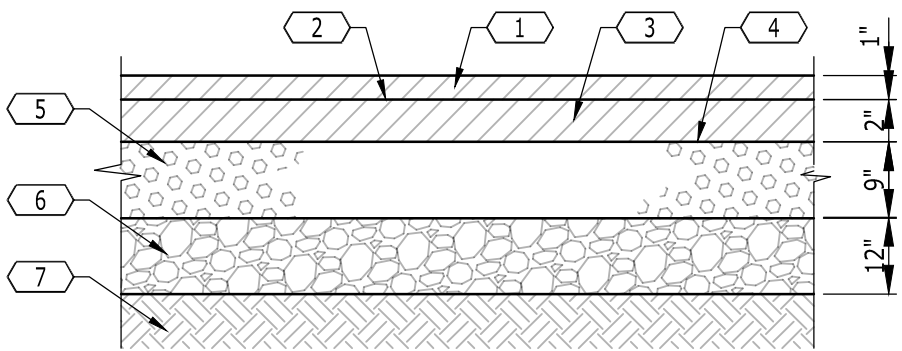
| KEYNOTES | |
|----------|--|
| CODE | DESCRIPTION |
| 1 | VERTICAL GRANITE CURB WITH 6" REVEAL |
| 2 | 3,000 PSI (MIN) CONCRETE FULL LENGTH EACH SIDE |
| 3 | 3/4" CRUSHED STONE |
| 4 | PROPOSED FINISH GRADE (REFER TO GRADING PLAN) |

| CURB RADIUS TABLE | |
|-------------------|-----------------|
| RADIUS | MAX LENGTH |
| <20' | USE CURVED CURB |
| 21' | 3' |
| 22'-28' | 4' |
| 29'-35' | 5' |
| 36'-42' | 6' |
| 43'-49' | 7' |
| 50'-56' | 8' |
| 57'-60' | 9' |
| >60' | 10' |

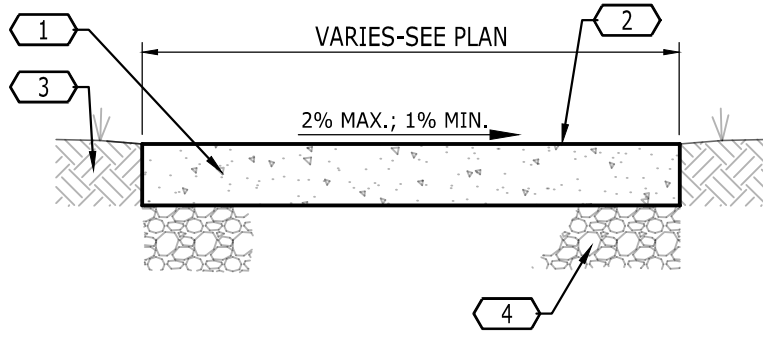
| KEYNOTES | |
|----------|---|
| CODE | DESCRIPTION |
| 1 | ASPHALTIC WEARING COURSE |
| 2 | TACK COAT AT 0.10 GAL./S.Y. |
| 3 | ASPHALTIC BINDER COURSE |
| 4 | PRIME COAT AT 0.30 GAL./S.Y. |
| 5 | CRUSHED GRAVEL BASE (NHDOT ITEM NO 304.3) |
| 6 | GRAVEL BORROW SUBBASE (NHDOT ITEM NO 304.2) |
| 7 | STABLE/ COMPACTED SUBGRADE |

1

ASPHALT PAVEMENT
NOT TO SCALE



| KEYNOTES | |
|----------|---|
| CODE | DESCRIPTION |
| 1 | 3500 PSI CONCRETE, 4" THICK WITH FIBERFORCE 350 FIBER REINFORCEMENT AT A DOSING RATE OF 1.0 LBS/CY.; BROOM FINISH; CROSS SLOPE 2% MAX., 1% MIN. |
| 2 | PROVIDE CONTRACTION AND EXPANSION JOINTS AT SPECIFIED INTERVALS. SEE SIDEWALK JOINTING DETAILS AND PROJECT SPECIFICATIONS. |
| 3 | TOPSOIL; PLACE WITHIN 1/2" OF WALKWAY SURFACE |
| 4 | 6" COMPACTED CRUSHED GRAVEL (NHDOT 304.3) |

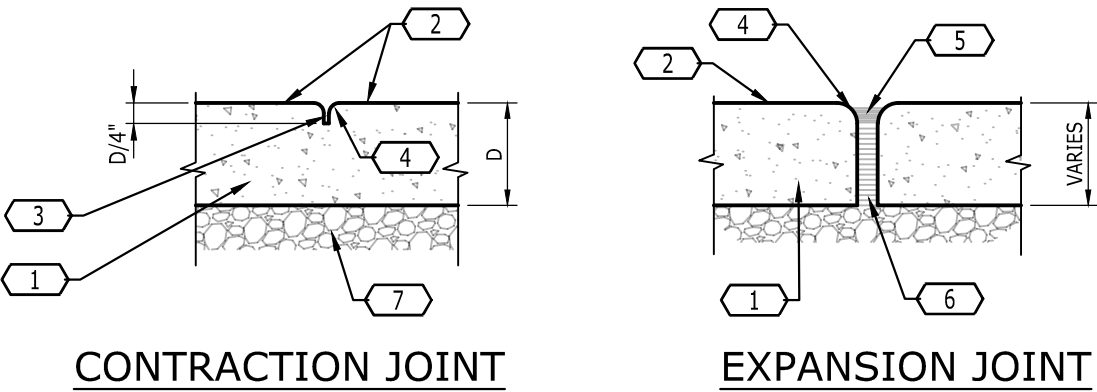


2

CONCRETE SIDEWALK
NOT TO SCALE

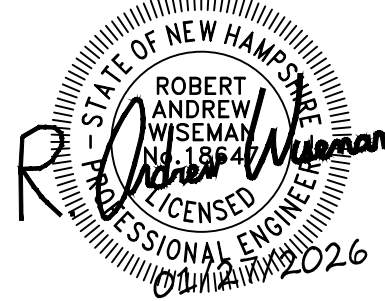
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SIDEWALK JOINTS
NOT TO SCALE



| KEYNOTES | |
|----------|---|
| CODE | DESCRIPTION |
| 1 | CONCRETE SIDEWALK |
| 2 | BROOM FINISH |
| 3 | 1/4" HAND-GROOVED JOINT |
| 4 | TOOLED EDGE; 1/2" RADIUS (TYP.) |
| 5 | 1/4" DEPTH POLYURETHANE SEALANT (SIKAFLEX 2c-SL); RECESS 1/4" FROM SURFACE. |
| 6 | 1/2" PREMOLDED EXPANSION JOINT MATERIAL |
| 7 | MINERAL AGGREGATE BASE (TYP.) |

- NOTES:**
- PROVIDE SIDEWALK JOINTS AS FOLLOWS:
 - CONTRACTION (CONTROL) JOINTS**
 - AT 5' MAX. INTERVALS IN TRANSVERSE DIRECTION;
 - ALONG LONGITUDINAL CENTERLINE OF THE SIDEWALK (FOR SIDEWALKS 6' OR WIDER);
 - ALIGNING WITH CONTRACTION JOINTS IN ADJOINING CONCRETE PAVEMENT OR CURB.
 - EXPANSION JOINTS**
 - AT 25' MAX. INTERVALS;
 - AT INTERFACE WITH BUILDINGS, FOUNDATIONS, OR RETAINING WALLS;
 - BETWEEN SIDEWALK AND SEPARATE CONCRETE CURB;
 - AT PERIMETER OF DRAINAGE OR UTILITY CASTINGS WITHIN OR ABUTTING THE SIDEWALK;
 - AT INTERFACE WITH STAIRS, RAMPS, OR CURB RAMPS;
 - AT INTERFACE WITH INTERSECTING CONCRETE SIDEWALKS;
 - AT ANY OTHER RIGID OBSTRUCTION, OR AS DIRECTED BY THE ENGINEER;
 - ALIGNING WITH EXPANSION JOINTS IN ADJOINING CONCRETE PAVEMENT OR CURB.
 - PROVIDE JOINTING AT INTERVALS AS NOTED HEREIN, ON THE PLANS, AND/OR IN THE SPECIFICATIONS. JOINTING INTERVALS MAY BE REDUCED BASED ON SITE GEOMETRY, LOCATION OF OBSTRUCTIONS, ALIGNMENT WITH CURB/SIDEWALK JOINTING, AND OTHER FACTORS. INDIVIDUAL PANELS SHALL NOT EXCEED A LENGTH-TO-WIDTH RATIO OF 1.5 TO 1.
 - SEALED JOINTS SHALL BE FREE FROM DUST AND DEBRIS PRIOR TO APPLYING SEALANT.
 - SUBMIT ALTERNATE SEALANT PRODUCTS TO THE ENGINEER FOR REVIEW PRIOR TO APPLICATION. EXPANSION JOINT CAPS (PLASTIC OR OTHERWISE) SHALL NOT BE CONSIDERED A SUBSTITUTE FOR ELASTOMERIC SEALANT.



CONSTRUCTION DOCUMENTS
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| DRAWING TITLE | |
|----------------|----------------|
| SITE DETAILS | |
| PROJECT NUMBER | DRAWING NUMBER |
| 20250276 | C4.0 |

PROJECT NUMBER
20250276

DRAWING NUMBER

C4.0

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2. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CONFIRM ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER THE MATERIAL SCHEDULE.
3. NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
4. THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
5. ALL PLANTING BEDS TO RECEIVE "CHANCELLOR" HARDWOOD MULCH. MULCH TO BE INSTALLED TO 3" DEPTH UNLESS OTHERWISE INDICATED ON THE PLANTING DETAILS.
6. NEW TREE PLANTINGS TO BE STAKED PER PLANTING DETAILS
7. DIMENSIONS LISTED FOR HEIGHTS, SPREAD AND TRUNK SPECIFICATIONS ON THE PLANT MATERIAL SCHEDULE ARE GENERAL GUIDE FOR THE MINIMUM REQUIRED SIZE OF EACH PLANT.
8. PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IMMEDIATELY PRIOR TO PLACEMENT OF MULCH FOR WEED CONTROL.
9. ALL DISTURBED AREAS OF THE SITE ARE TO BE SEEDED AND/OR SODDED IN ACCORDANCE WITH THE SPECIFICATIONS.
10. NO EXCAVATION OR PLANTING PIT SHALL BE LEFT OPEN OVERNIGHT.
11. THE LANDSCAPE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS, LICENSES, ETC. AND SHALL GIVE ALL NOTICES AND COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, CODES, RULES AND REGULATIONS DURING THE COURSE OF THE INSTALLATION OF THIS PROJECT.
12. ALL PLANT MATERIALS TO BE NURSERY GROWN AND TO COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK FOR SIZE AND QUALITY.
13. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL OR ANY DEFECTIVE WORKMANSHIP.
14. ALL PLANTS SHALL HAVE A WELL-FORMED HEAD WITH MINIMUM CALIPER, HEIGHT AND SPREAD OF THE SIDE BRANCHES AS SHOWN ON THE PLANT LIST. TRUNKS SHALL BE UNDAMAGED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
15. MEASUREMENT OF CONIFER HEIGHT SHALL INCLUDE NOT MORE THAN FIFTY PERCENT (50%) OF THIS YEARS VERTICAL GROWTH (TOP CANDLE).
16. THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR STAKING AND LAYOUT OF PLANTINGS ON THIS PROJECT. THE LANDSCAPE ARCHITECT OR OWNER SHALL BE ADVISED WHEN STAKES ARE READY FOR INSPECTION ON VARIOUS PLANTING AREAS. ALL LAYOUT WORK SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO OPENING ANY PLANT PITS.
17. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO VERIFY THAT EACH EXCAVATED TREE OR SHRUB PIT WILL PERCOLATE (DRAIN) PRIOR TO ADDING TOPSOIL AND INSTALLING TREES OR SHRUBS. THE CONTRACTOR SHALL FILL THE BOTTOM OF SELECTED HOLES WITH SIX INCHES OF WATER. THIS WATER SHOULD PERCOLATE OUT WITHIN A 24-HOUR PERIOD. THE OWNER OR LANDSCAPE ARCHITECT SHALL VERIFY ACCURACY AND EFFECT OF PERCOLATION TESTING. IF THE SOIL AT A GIVEN AREA DOES NOT DRAIN PROPERLY, A P V C DRAIN OR GRAVEL SUMP SHALL BE INSTALLED OR THE PLANTING RELOCATED.
18. SHOULD THE LANDSCAPE CONTRACTOR ENCOUNTER UNSATISFACTORY SURFACE OR OTHER SUBSURFACE DRAINAGE CONDITIONS, SOIL DEPTH, LATENT SOILS, HARD PAN, STEAM OF OTHER UTILITY LINES OR OTHER CONDITIONS THAT WILL JEOPARDIZE THE HEALTH AND VIGOR OF THE PLANTS, HE MUST ADVISE THE LANDSCAPE ARCHITECT IN WRITING OF THE CONDITIONS PRIOR TO INSTALLING THE PLANTS, OTHERWISE THE LANDSCAPE CONTRACTOR WARRANTS THAT THE PLANTING AREAS ARE SUITABLE PROPER GROWTH AND DEVELOPMENT OF THE PLANTS TO BE INSTALLED.
19. NO MATERIAL SHALL BE PLANTED BEFORE FINISH GRADING HAS BEEN COMPLETED.
20. EXISTING TREES TO BE PRESERVED ARE TO BE BARRICADED BEFORE BEGINNING CONSTRUCTION. IN ACCORDANCE WITH THE TREE PRESERVATION NOTES AND DETAILS ON THE LANDSCAPE PLAN.
21. SELECTIVE CLEARING CONSISTING OF REMOVAL OF VINES, SAPLINGS UNDER 1" DIAMETER AND UNDERBRUSH SHALL BE PERFORMED IN TREE PRESERVATION AREAS INTERNAL TO THE PROJECT AND NOTED ON PLANS.
22. PLANTS IDENTIFIED IN ALTERNATE AREAS ARE TO BE BID SEPARATELY.
23. ALL BEDS ARE TO BE TILLED TO A DEPTH OF 8" WITH THE ADDITION OF: (1) 6 CU. FT. BALE OR SPHAGNUM PEAT MOSS PER 40 SQ. FT. OF BED AREA; (25#) 10-10-10 FERTILIZER PER 1000 SQ. FT. IF AZALEAS, RHODODENDRONS, OR PIERIS ARE USED, ADD 1 3 CU. FT. FINELY GROUND "PINE" BARK MULCH PER 25 SQ. FT. OF BED AREA. ALL ADDITIONS ARE TO BE SPREAD AND TILLED INTO THE SOIL UNIFORMLY.
24. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WHEN THE PLANT MATERIALS ARE AVAILABLE AT THE JOB SITE FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



603-436-5110



333 BORTHWICK AVE

DESCRIPTION

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No.

DRAWING TITLE

LANDSCAPE DETAILS

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|----------------|----------|
| PROJECT NUMBER | 20250276 |
| DRAWING NUMBER | |

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