

For Front Yard Setback Variance Request / Board of Adjustment



Transmittal

Date: _____ Job Number: _____
 Project Name: _____
 To: _____

We are sending these by

- | | | |
|--------------|---------|-------|
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| Hand Deliver | Courier | Other |

We are sending you

- | | | |
|---------------|--------------------------|---------------------|
| Attached | Under separate cover via | the following items |
| Shop drawings | Prints/Plans | Samples |
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Number	Date	Copy	Description

These are transmitted as checked below:

- | | | |
|------------------------|--------------------------|------------------|
| For your use | Approved as submitted | Resubmit |
| As requested | Approved as noted | Submit |
| For review and comment | Returned for corrections | Return |
| Copies for approval | Copies for distribution | Corrected prints |

Copy to: _____ Signed: _____
 Phone: _____



March 28, 2022

City of Portsmouth Board of Adjustment

RE: *Portsmouth Regional Hospital – Radiation Oncology – Building Setback Variance Request*

Project Narrative

The existing Portsmouth Regional Hospital is located at 333 Borthwick Ave, Portsmouth, NH 03801 (Map 240, Lot 2-1). The medical campus is located on the east side of Blue Star Turnpike (I-95), the west side of Borthwick Avenue, and can be accessed via multiple entrances from Borthwick Avenue.

The scope of the proposed Radiation Oncology project consists of internal renovations, and a 1-story building addition to provide the local community a new line of service for cancer treatment. The anticipated construction cost is \$10.76M.

The footprint of the proposed building addition is approximately ±8,715 square feet, and is located on the southeast corner of the existing hospital building to attempt to accommodate building setbacks and an existing 300' Eversource electrical easement that is located across the front of the hospital site.

The proposed sitework is anticipated to consist of asphalt, concrete, utility, landscape, and drive-under canopy demolition where the current patient discharge canopy and associated drive are located as well as removal of existing sidewalk and landscaping located along the south side of the existing hospital building. Site improvements are anticipated to consist of the new building addition, new drive-under canopy and associated drive, sidewalk connectivity, new granite curb, new mobile imaging pad, and associated new utilities/ utility relocations.

Working with the existing hospital building location, code requirements, internal building corridors, room sizes to accommodate the proposed radiology equipment and space for patient maneuverability, and the thickened concrete walls surrounding the radiology equipment for radiation shielding of others located outside the room, a small portion of the proposed building addition does encroach into the existing 50' front yard setback. Thus, a variance for dimensional relief to the front yard setback is being requested to be heard on the April 19, 2022 Board of Adjustment meeting.

This variance request should comply with Section 10.233.20 as the variance will not be contrary to the public interest as the hospital will provide a service to the local community that is nonexistent today; other than this variance, the spirit of the Zoning Ordinance will be observed; surrounding property values should not be diminished as the existing land use is medical and will continue to be medical; and due to existing site limitations (electrical easement), code requirements, specialized equipment and associated shielding listed above, the literal enforcement of the provisions of the Ordinance would result in an unnecessary hardship.

A portion of the project scope is located adjacent to and partially within a previously man-made stormwater management area which is now delineated as a city jurisdictional wetland and has an associated 100-ft wetland buffer, in which a portion of the site improvements will occur. A small amount

of disturbance to the actual wetland is being proposed. A separate submittal to the Conservation Commission has been made for review and approval.

Please refer to the photos below, and attached supporting documentation. If you have any questions or need more information, please feel free to reach me by email (chris.akers@kimley-horn.com) or by phone at 615-476-4764.

Sincerely,
Chris Akers, Project Manager



February 21, 2022

Kimley-Horn and Associates, Inc.
10 Lea Avenue, Suite 400
Nashville, TN 37210

404 Wyman Street, Suite 385
Waltham, MA 02451

RE: Agent Authorization

To Whom It May Concern:

Be advised that I am the Chief Executive Officer of the Portsmouth Regional Hospital located at 333 Borthwick Ave, Portsmouth, NH 03801. I am an authorized agent to the owners of HCA Health Services of New Hampshire, Inc. dba Portsmouth Regional Hospital. As the authorized agent, I hereby authorize and empower:

Kimley-Horn and Associates, Inc. to act as agent/ representative to communicate and submit required information as necessary in obtaining site-related approvals and permits for the proposed Radiation Oncology Addition project located at 333 Borthwick Ave, Portsmouth, NH 03801.

A handwritten signature in blue ink, appearing to read "D. M. Carucci", written over a horizontal line.

Owner's Signature
Dean M. Carucci, CEO

Photographs	Observations
	<p>Southern portion of hospital campus from Borthwick Ave. Subject wetland in foreground.</p>
Photographs	Observations
	<p>East elevation of hospital building where Radiation Oncology addition is proposed.</p> <p>Construction activity from current ICU Med/ Surg Stepdown project.</p>



Southeast elevation of hospital building where Radiation Oncology addition is proposed.

Construction activity from current ICU Med/ Surg Stepdown project.

Photographs

Observations



Existing brick canopy at Patient Discharge to be removed.

Construction activity from current ICU Med/ Surg Stepdown project.



Brick emergency generator enclosure to remain.

Details

Property	
Location	333 BORTHWICK AVE
Map-Lot	0240-0002-0001
Vision Account Number	35555

Ownership	
Owner	HCA HEALTH SVC OF NH INC D/B/A PRH 32902 C/O DUCCHARME MCMILLEN & ASSOC
Address	PO BOX 80610, INDIANAPOLIS, IN 46280

Valuation	
Total	\$86,709,000
Last Sale	\$0 on
Book/Page	2784/1340

Land	
Parcel Area (AC)	20.87

Zoning	
Zoning	OR

Q Search Selection Themes Markup

Q Search

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Showing 1-1 results. Scroll to see more.

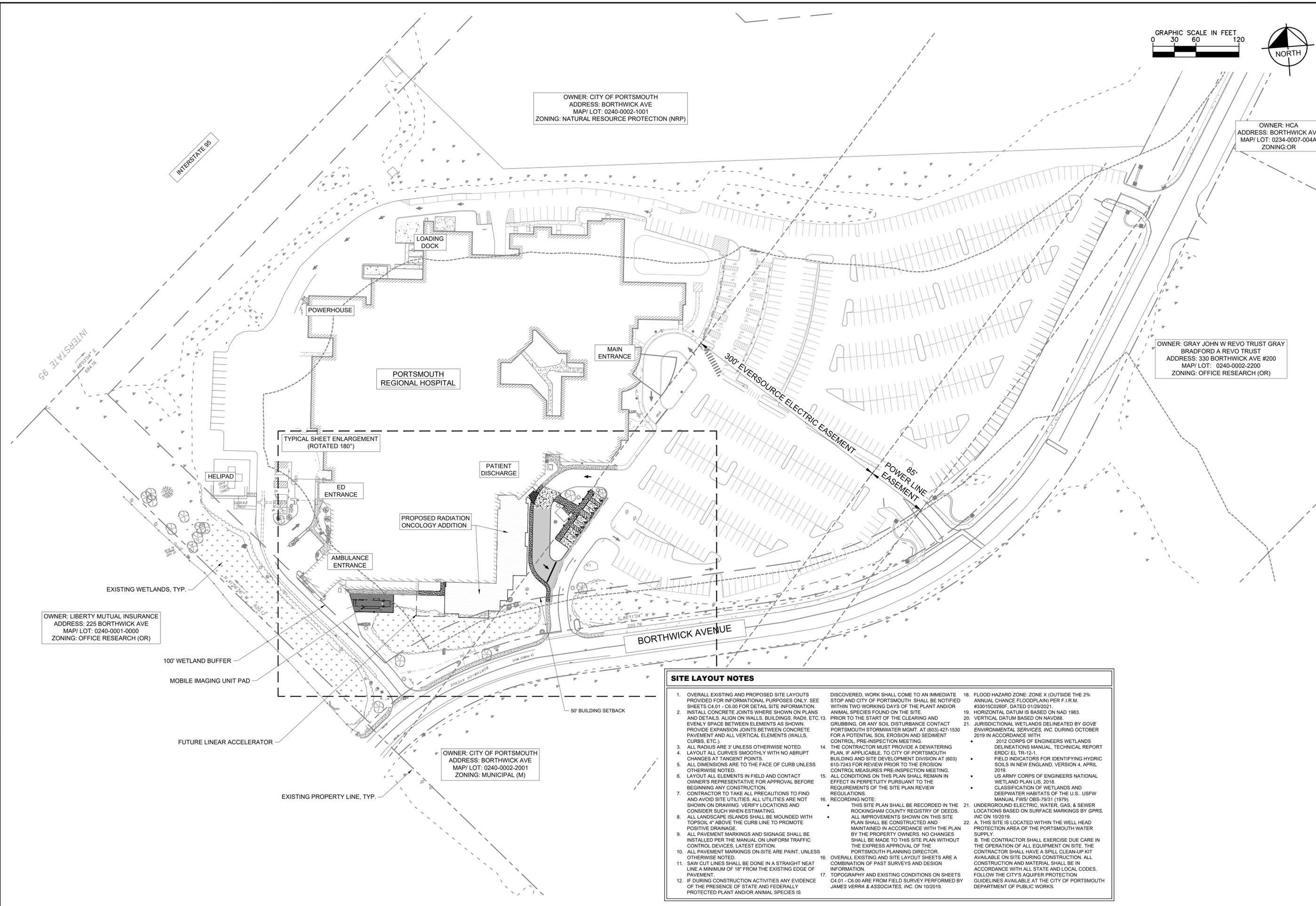
333 BORTHWICK AVE
HCA HEALTH SVC OF NH INC D/B/A PRH 3...
0240-0002-0001

NO.	DATE	BY	REVISIONS
1			
2			
3			
4			
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6			
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8			
9			
10			

DESIGNED BY:
 DRAWN BY:
 CHECKED BY:
 DATE: 02/23/2022
 KIMLEY-HORN PROJECT NO. 118252004

SITE LAYOUT - OVERALL

C4.00



OWNER: CITY OF PORTSMOUTH
 ADDRESS: BORTHWICK AVE
 MAP/LOT: 0240-0002-1001
 ZONING: NATURAL RESOURCE PROTECTION (NRP)

OWNER: HCA
 ADDRESS: BORTHWICK AVE
 MAP/LOT: 0234-0007-004A
 ZONING: OR

OWNER: GRAY JOHN W REVO TRUST GRAY
 BRADFORD A REVO TRUST
 ADDRESS: 330 BORTHWICK AVE #200
 MAP/LOT: 0240-0002-2200
 ZONING: OFFICE RESEARCH (OR)

OWNER: LIBERTY MUTUAL INSURANCE
 ADDRESS: 225 BORTHWICK AVE
 MAP/LOT: 0240-0001-0000
 ZONING: OFFICE RESEARCH (OR)

OWNER: CITY OF PORTSMOUTH
 ADDRESS: BORTHWICK AVE
 MAP/LOT: 0240-0002-2001
 ZONING: MUNICIPAL (M)

- SITE LAYOUT NOTES**
- OVERALL EXISTING AND PROPOSED SITE LAYOUTS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. SEE SHEETS C4.01 - C6.00 FOR DETAIL SITE INFORMATION.
 - INSTALL CONCRETE JOINTS WHERE SHOWN ON PLANS AND DETAILS. ALIGN ON WALLS, BUILDINGS, RADI, ETC. 13. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND ALL VERTICAL ELEMENTS (WALLS, CURBS, ETC.).
 - ALL RADIUS ARE 3' UNLESS OTHERWISE NOTED.
 - LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - LAYOUT ALL ELEMENTS IN FIELD AND CONTACT OWNER'S REPRESENTATIVE FOR APPROVAL BEFORE BEGINNING ANY CONSTRUCTION.
 - CONTRACTOR TO TAKE ALL PRECAUTIONS TO FIND AND AVOID SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. VERIFY LOCATIONS AND CONSIDER SUCH WHEN ESTIMATING.
 - ALL LANDSCAPE ISLANDS SHALL BE MOUNDED WITH TOPSOIL 4" ABOVE THE CURB LINE TO PROMOTE POSITIVE DRAINAGE.
 - ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - ALL PAVEMENT MARKINGS ON-SITE ARE PAINT, UNLESS OTHERWISE NOTED.
 - SAW CUT LINES SHALL BE DONE IN A STRAIGHT NEAT LINE A MINIMUM OF 18" FROM THE EXISTING EDGE OF PAVEMENT.
 - IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE AND FEDERALLY PROTECTED PLANT AND/OR ANIMAL SPECIES IS DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND CITY OF PORTSMOUTH SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND/OR ANIMAL SPECIES FOUND ON THE SITE.
 - ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
 - OVERALL EXISTING AND SITE LAYOUT SHEETS ARE A COMBINATION OF PAST SURVEYS AND DESIGN INFORMATION.
 - TOPOGRAPHY AND EXISTING CONDITIONS ON SHEETS C4.01 - C6.00 ARE FROM FIELD SURVEY PERFORMED BY JAMES VERRA & ASSOCIATES, INC. ON 10/2019.
 - FLOOD HAZARD ZONE: ZONE X (OUTSIDE THE 2% ANNUAL CHANCE FLOODPLAIN) PER F.I.R.M. #330150260F, DATED 01/29/2021.
 - HORIZONTAL DATUM IS BASED ON NAD 1983.
 - VERTICAL DATUM BASED ON NAVD88.
 - JURISDICTIONAL WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. DURING OCTOBER 2019 IN ACCORDANCE WITH:
 - 2012 CORPS OF ENGINEERS WETLANDS DELINEATIONS MANUAL, TECHNICAL REPORT ERDC/EL TR-12-1.
 - FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4, APRIL 2019.
 - US ARMY CORPS OF ENGINEERS NATIONAL WETLAND PLAN LIS, 2018.
 - CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE U.S. USFW MANUAL FWS/OBS-79/31 (1979).
 - UNDERGROUND ELECTRIC, WATER, GAS, & SEWER LOCATIONS BASED ON SURFACE MARKINGS BY GPRS, IWC ON 10/2019.
 - A. THIS SITE IS LOCATED WITHIN THE WELL HEAD PROTECTION AREA OF THE PORTSMOUTH WATER SUPPLY.
 B. THE CONTRACTOR SHALL EXERCISE DUE CARE IN THE OPERATION OF ALL EQUIPMENT ON SITE. THE CONTRACTOR SHALL HAVE A SPILL CLEAN-UP KIT AVAILABLE ON SITE DURING CONSTRUCTION. ALL CONSTRUCTION AND MATERIAL SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES. FOLLOW THE CITY'S AQUIFER PROTECTION GUIDELINES AVAILABLE AT THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.

SITE DATA TABLE		
OWNER OF RECORD	HCA HEALTH SERVICES OF NH INC D/B/A PRH 32902	
SITE ADDRESS	333 BORTHWICK AVE PORTSMOUTH, NH 03801	
SITE AREA	± 20.87 AC	
DISTURBANCE LIMITS W/ THIS PROJECT	± 0.7 AC	
TAX MAP & LOT	TAX MAP 240, LOT 2-1	
ZONING	OR - OFFICE RESEARCH	
SETBACKS	REQUIRED	PROPOSED
FRONT YARD SETBACK	50'-0"	±40'
REAR YARD SETBACK	50'-0"	±15'
SIDE YARD SETBACK	75'-0"	±71" (EXISTING)
MIN. OPEN SPACE ON A LOT	30%	±39.0%
MAX BUILDING COVERAGE	30%	± 20.1%
BUILDING DATA		
	EXISTING	PROPOSED ADDITION
HOSPITAL BEDS	233	0
HOSPITAL/ MOB FLOOR PLATE	±173,916 SF	± 9,180 SF
HOSPITAL GROSS AREA	±427,495 SF	± 9,180 SF
MEDICAL OFFICE BUILDING GROSS AREA (ATTACHED TO HOSPITAL BUILDING)	±46,665 SF	0 SF
BUILDING HEIGHT	± 65'-4"	± 14'-8"
PARKING DATA		
	EXISTING	PROPOSED
ONSITE STANDARD SPACES	754	745
OFFSITE STANDARD SPACES	154	154
ACCESSIBLE (INCL. VAN ACCESSIBLE)	29	31
TOTAL SPACES	937	930

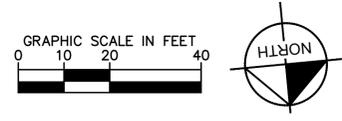
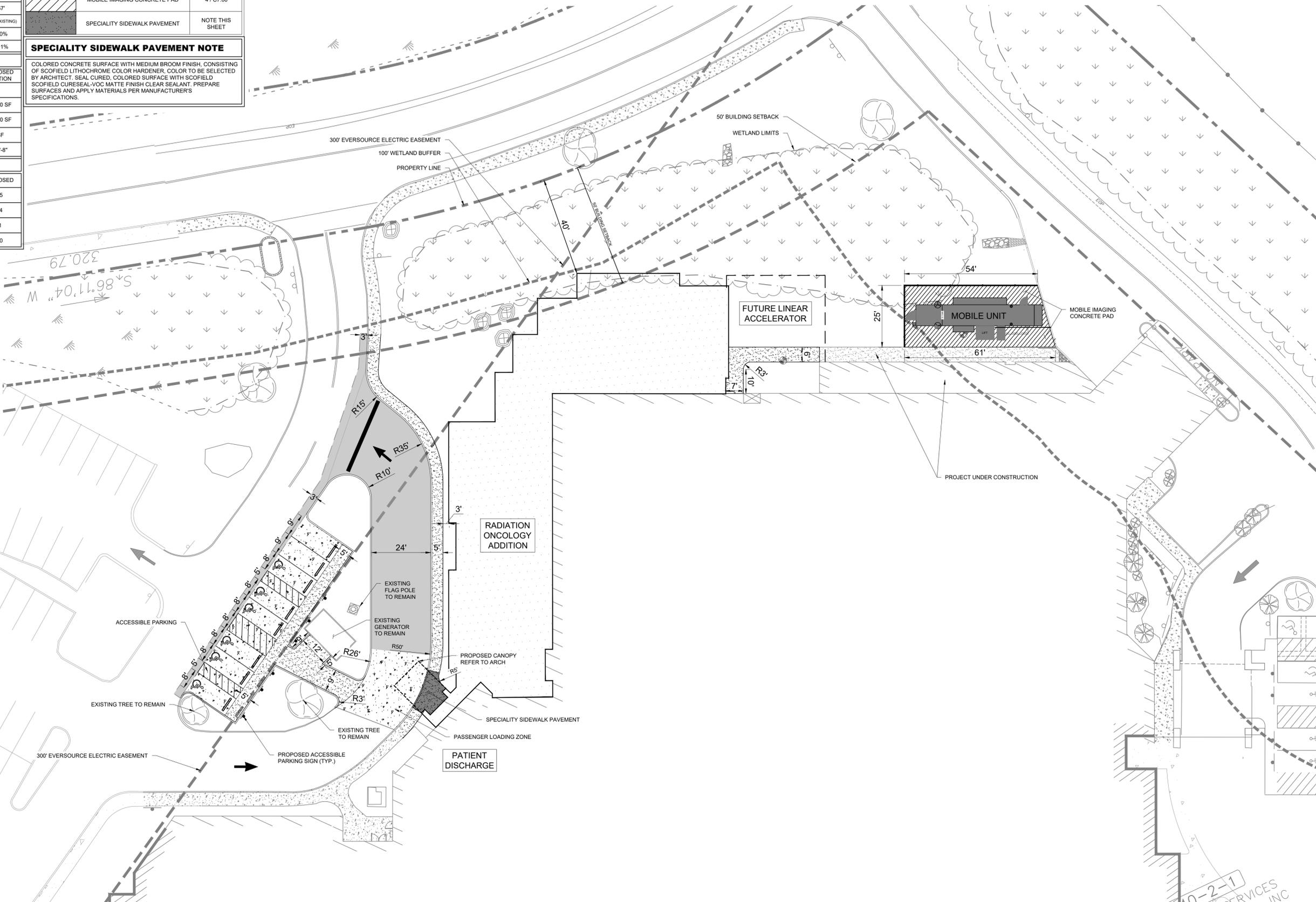
PAVEMENT LEGEND		
	DESCRIPTION	DET #/ SHEET
	SIDEWALK CONCRETE	1 / C7.00
	ASPHALT PAVEMENT	2 / C7.00
	CONCRETE PAVEMENT	3 / C7.00
	MOBILE IMAGING CONCRETE PAD	4 / C7.00
	SPECIALITY SIDEWALK PAVEMENT	NOTE THIS SHEET

SPECIALITY SIDEWALK PAVEMENT NOTE

COLORED CONCRETE SURFACE WITH MEDIUM BROOM FINISH, CONSISTING OF SCOFIELD LITHOCHROME COLOR HARDENER, COLOR TO BE SELECTED BY ARCHITECT. SEAL CURED, COLORED SURFACE WITH SCOFIELD SCOFIELD CURESEAL-VOO MATTE FINISH CLEAR SEALANT. PREPARE SURFACES AND APPLY MATERIALS PER MANUFACTURER'S SPECIFICATIONS.

SITE LAYOUT NOTES

- INSTALL CONCRETE JOINTS WHERE SHOWN ON PLANS AND DETAILS. ALIGN ON WALLS, BUILDINGS, RADI, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND ALL VERTICAL ELEMENTS (WALLS, CURBS, ETC.).
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- PRIOR TO THE START OF THE CLEARING AND GRUBBING, OR ANY SOIL DISTURBANCE CONTACT PORTSMOUTH STORMWATER MGMT. AT (603) 427-1530 FOR A POTENTIAL SOIL EROSION AND SEDIMENT CONTROL. PRE-INSPECTION MEETING.
- THE CONTRACTOR MUST PROVIDE A DEWATERING PLAN, IF APPLICABLE, TO CITY OF PORTSMOUTH BUILDING AND SITE DEVELOPMENT DIVISION AT (603) 610-7243 FOR REVIEW PRIOR TO THE EROSION CONTROL MEASURES PRE-INSPECTION MEETING.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- RECORDING NOTE:
 - THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
 - ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- TOPOGRAPHY AND EXISTING CONDITIONS FROM FIELD SURVEY PERFORMED BY JAMES VERRA & ASSOCIATES, INC. ON 10/2019.
- FLOOD HAZARD ZONE: ZONE X (OUTSIDE THE 2% ANNUAL CHANCE FLOODPLAIN) PER F.I.R.M. #33015C0260F, DATED 01/29/2021.
- HORIZONTAL DATUM IS BASED ON REFERENCE PLAN #1.
- VERTICAL DATUM BASED ON NGVD 29.
- JURISDICTIONAL WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. DURING OCTOBER 2019 IN ACCORDANCE WITH:
 - 2012 CORPS OF ENGINEERS WETLANDS DELINEATIONS MANUAL, TECHNICAL REPORT ERDC/EL TR-12-1.
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- UNDERGROUND ELECTRIC, WATER, GAS, & SEWER LOCATIONS BASED ON SURFACE MARKINGS BY GPRS, INC ON 10/2019.



Kimley»Horn
 404 WYMAN STREET, SUITE 385 WALTHAM, MA 02451
 MAIN/781.328.0676 | WWW.KIMLEY-HORN.COM
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PORTSMOUTH REGIONAL
 HOSPITAL
 RADIATION ONCOLOGY ADDITION
 PORTSMOUTH, NEW HAMPSHIRE

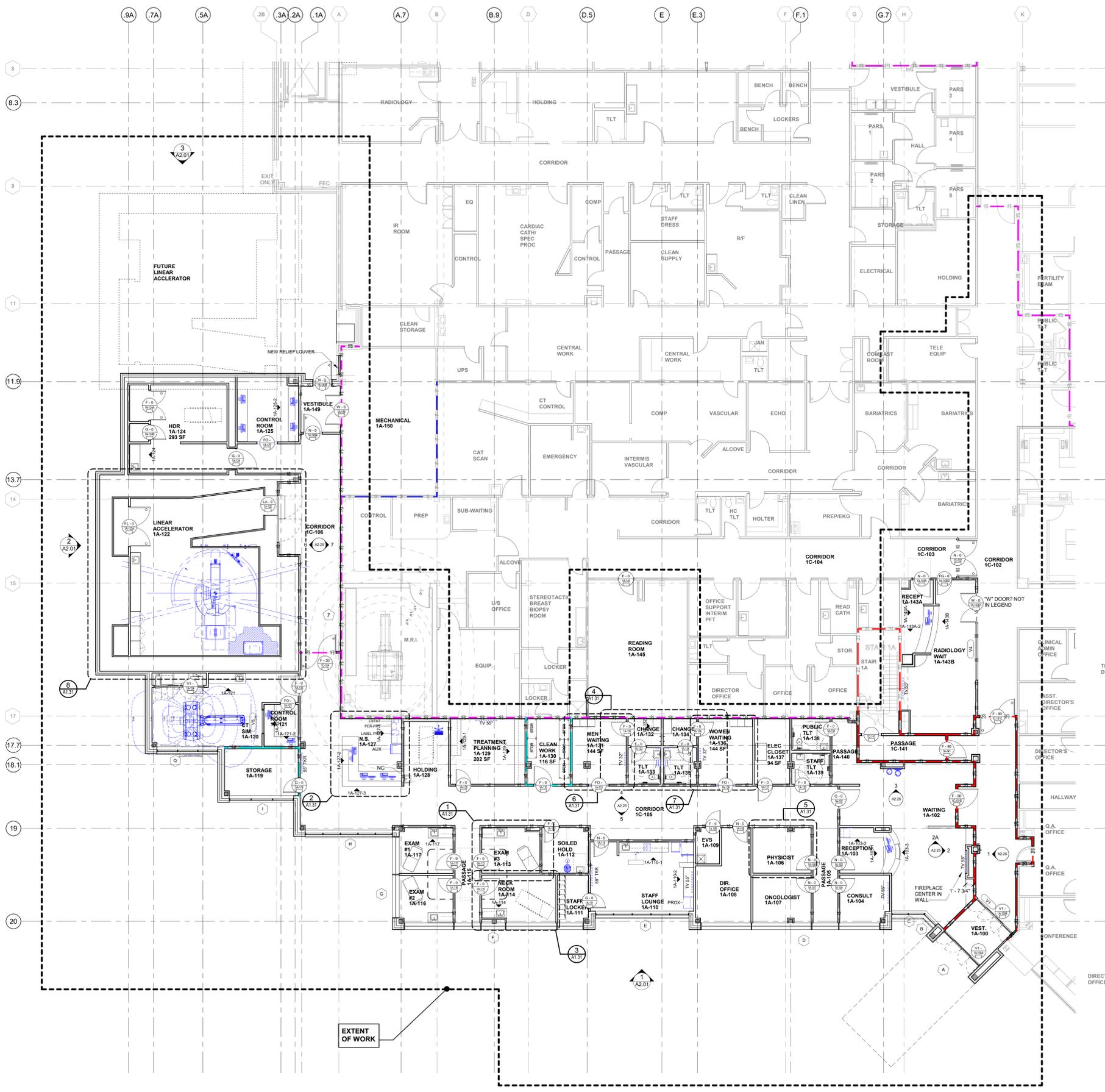
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DESIGNED BY:
 DRAWN BY:
 CHECKED BY:
 DATE: 02/23/2022
 KIMLEY-HORN PROJECT NO. 118252004

SITE LAYOUT - ENLARGEMENT

C4.01

RESPONSIBILITY: Author, Checker, Date
 CHECKED BY: [Signature] DATE: [Date]
 8/14/2022 10:00 AM
 3/23/2022 4:28:37 PM
 PORTSMOUTH REGIONAL HOSPITAL
 Radiation Oncology 2918365 Portsmouth, ON: P201.rvt



- ### GENERAL FLOOR PLAN NOTES
- REFER TO A0.00 FOR ADDITIONAL GENERAL NOTES.
 - SEE SHEET A4.01 FOR PARTITION TYPES AND DETAILS.
 - MECHANICAL AND/OR ELECTRICAL PORTIONS OF THE WORK MAY REQUIRE WORK ON THE FLOOR BELOW OR IN SPACES ADJACENT TO THE WORK. THE SCOPE OF PROJECT INCLUDES WORK NECESSARY TO ACCESS THESE AREAS AND TO REPAIR OR REPLACE ANY FINISHES, FLOORS, WALLS, CEILING OR OTHER ITEMS DAMAGED OBTAINING SUCH ACCESS.
 - WHEN PENETRATING FLOOR SLAB OR REMOVING MECHANICAL, PLUMBING, ELECTRICAL, AND LOW VOLTAGE FROM FLOOR, SEAL PENETRATION WITH A TESTED FIRE PROTECTION ASSEMBLY WITH A RATING EQUAL TO THE SURROUNDING CONSTRUCTION.
 - REFER TO SOUND TRANSMISSION PLANS FOR SOUND BATT LOCATIONS AND REQUIRED STC RATINGS REQUIRED.
 - REFER TO FINISH AND FURNITURE PLANS FOR TACK BOARD/MARKER BOARD/CLOCK LOCATIONS. PROVIDE NECESSARY BLOCKING FOR THESE ITEMS, WHICH SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR, & FOR ITEMS PROVIDED BY OTHERS.
 - SEE FINISH PLANS FOR CORNER GUARD, HANDRAIL AND DOOR GUARD LOCATIONS.
 - PROVIDE FIRE RETARDANT WOOD BLOCKING AS REQUIRED BY PROJECT CONDITIONS.
 - O.F.E. - OWNER FURNISHED EQUIPMENT INSTALLED BY THE CONTRACTOR, VENDOR OR OWNER. REFER TO THE O.F.E. BROCHURE TO DETERMINE THE PARTY RESPONSIBLE FOR INSTALLATION. OWNER TO PURCHASE AND DELIVER ALL NEW EQUIPMENT TO THE SITE. CONTRACTOR SHALL COORDINATE DELIVERY SCHEDULE WITH OWNER. CONTRACTOR SHALL PROVIDE MECHANICAL, PLUMBING AND ELECTRICAL CONNECTIONS REQUIRED FOR ALL EQUIPMENT IN THE O.F.E. BROCHURE.
 - SEE SPECIFICATIONS FOR SPECIFIC LEVEL OF FINISH AND PREPARATION REQUIREMENTS FOR EACH SURFACE.
 - THE OWNER SHALL FURNISH AND THE CONTRACTOR SHALL COORDINATE AND PROPERLY INSTALL THE FOLLOWING:
 - AT EACH SINK/LAVATORY LOCATION, ONE SOAP DISPENSER UNLESS NOTED OTHERWISE. VERIFY LOCATIONS WITH OWNER'S REPRESENTATIVE.
 - AT EACH PATIENT CARE, UTILITY AND WORK AREA ONE SHARP'S DISPOSAL UNIT, GLOVES DISPENSER AND HAND GEL DISPENSER, AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
 - WALL MOUNTED SINKS AND LAVATORIES SHALL BE MOUNTED SO THAT THE CENTERLINE OF THE SINK IS 1'-0" MIN. TO FACE OF ADJACENT FIXED EQUIPMENT, SIDE WALL, CASEWORK, ETC.
 - CLINICAL SINKS SHALL BE MOUNTED SO THAT THE CENTERLINE OF THE SINK IS 1'-6" MIN. TO THE FACE OF THE ADJACENT FIXED EQUIPMENT, SIDE WALL, CASEWORK, ETC.

PARTITION LEGEND

--SEE SHEET A4.01

HIGHEST PRIORITY	1	TWO HOUR RATED FIRE & SMOKE BARRIER - SHAFTHWALL	2S 2S 2S
	2	TWO HOUR RATED FIRE & SMOKE BARRIER	2FS 2FS 2FS
	3	THREE HOUR RATED FIRE BARRIER	2F 2F 2F
	4	ONE HOUR RATED FIRE & SMOKE BARRIER - SHAFTHWALL	1S 1S 1S
	5	ONE HOUR RATED FIRE & SMOKE BARRIER	1FS 1FS 1FS
	6	ONE HOUR RATED FIRE BARRIER	1F 1F 1F
	7	ONE HOUR RATED FIRE BARRIER - (INCIDENTAL USE/HAZARDOUS AREAS)	1HR 1HR 1HR
	8	SMOKE PARTITION	NS NS NS
LOWEST PRIORITY	9	PARTITION TO CEILING - STUDS TO DECK, STOP GYPSUM BOARD 4" ABOVE CEILING	

NOTED 1ST FLOOR PLAN PART A

REVISION S: _____ DATE 04/25/2022

CONSTRUCTION DOCUMENT

GOULD TURNER GROUP, ARCHITECTUR
 6530 AVENUE SOUTH, SUITE 100
 KNOXVILLE, TENNESSEE 37624
©2022 by Gould Turner Group - 2022



Architects - Planners - Interiors

PORTSMOUTH REGIONAL HOSPITAL
 RADIATION ONCOLOGY ADDITION
 333 Borthwick Ave, PORTSMOUTH, NH 03801
HCA# 320000021
 GTF# 2769005

VENDOR INFORMATION

GENERAL CONTRACTORS

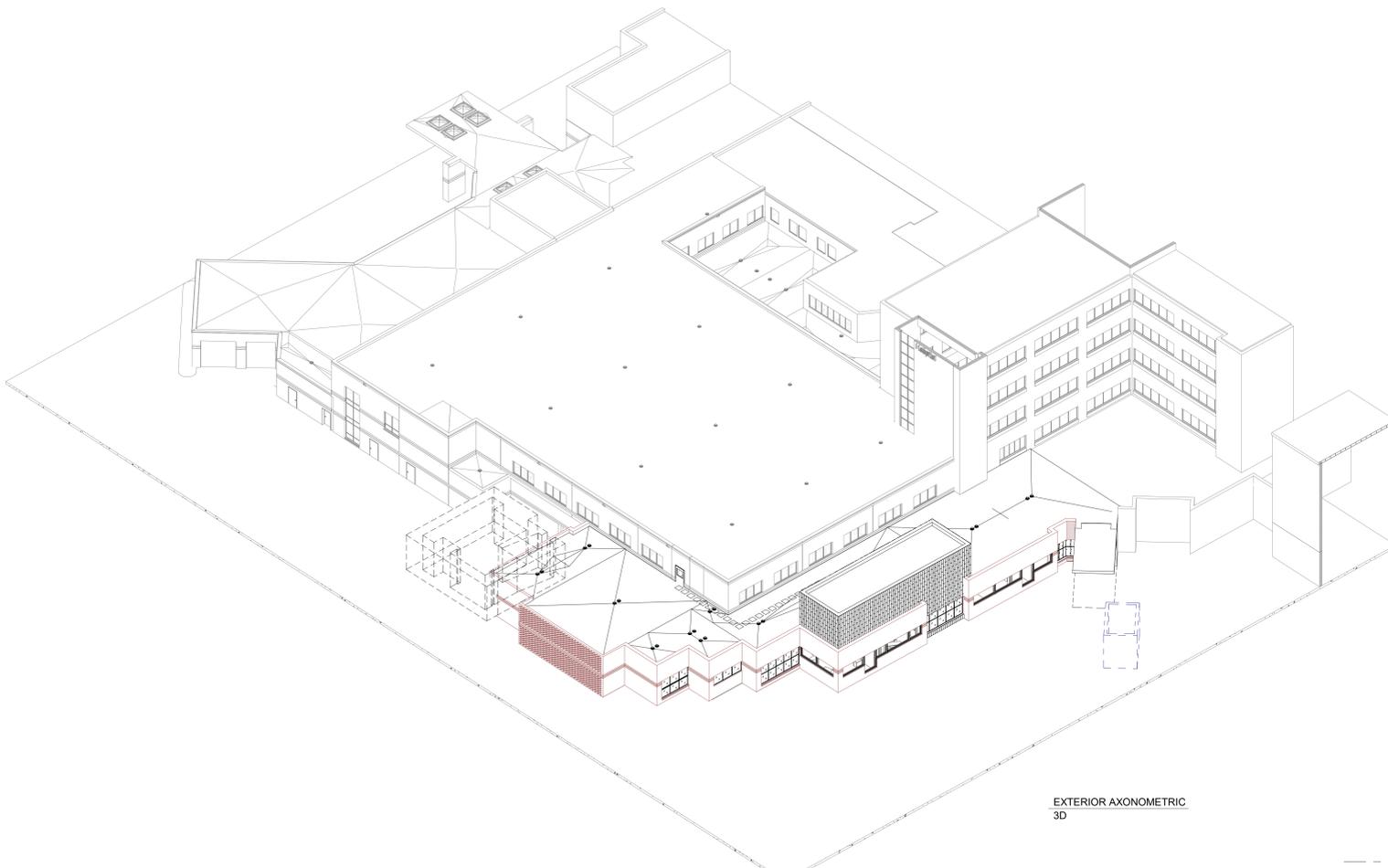
CIVIL CONSULTANT
 KIMLEY-HORN & ASSOCIATES, INC.
 10 LEA AVE, SUITE 400
 BREWSTER, NH 03824
 MANAGER: CHRIS WAGERS

STRUCTURAL CONSULTANT
 STANLEY D. LINDSEY & ASSOC. LTD.
 750 OLD HICKORY BLVD, BLDG 1, STE 175
 BREWSTER, NH 03824
 MANAGER: BARRY FISHER

M.P.E. & T CONSULTANT
 I.C. THOMASSON ASSOCIATES, INC.
 2550 KRAFT DRIVE,
 WINDHAM, NH 03093
 MANAGER: SCOTT MCCOY

HCA# 320000021
HCA DESIGN MANAGER:
 MICHAEL WALKER
 PH: 603-884-6598

HCA CONSTRUCTION MANAGER:
 PH: 603-884-2487

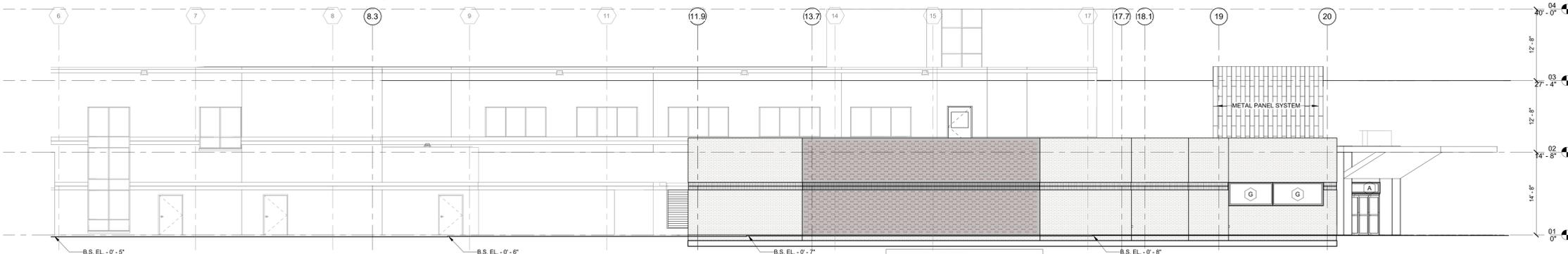
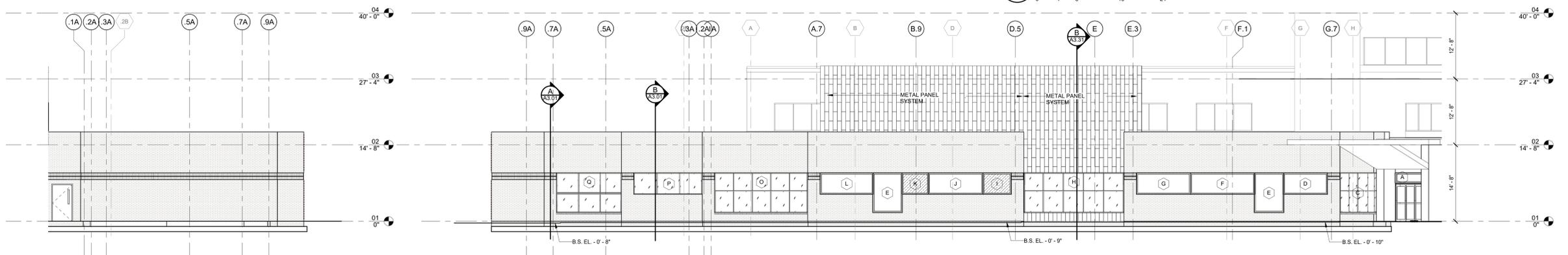
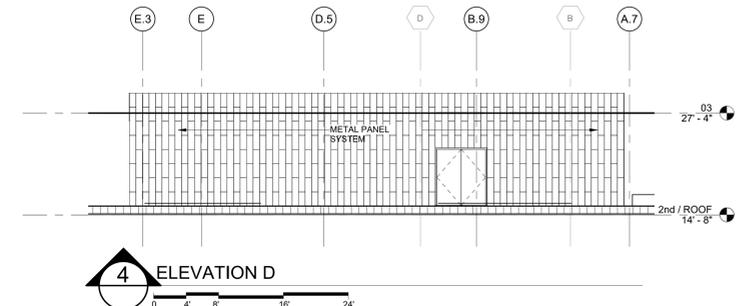
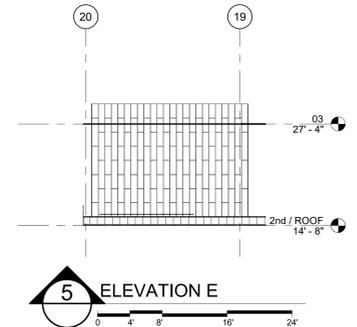
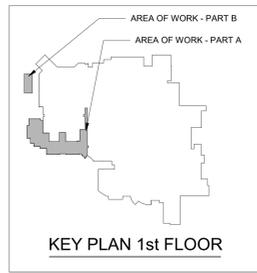


EXTERIOR AXONOMETRIC
3D

- EXTERIOR ELEVATION NOTES**
1. ALL BRICK CONTROL JOINTS SHALL ALIGN WITH EXISTING JOINTS.
 2. ALL EXTERIOR FINISHES (INCLUDING EIFS, BRICK, CAST STONE, MORTAR, CAULK, ETC.) SHALL MATCH EXISTING IN FINISH, SIZE, COLOR AND TEXTURE.
 3. REFER TO SHEET A6.01 FOR EXTERIOR WINDOW ELEVATIONS
 4. ALL EXTERIOR LOUVERS SHALL HAVE DARK BRONZE FINISH TO MATCH EXISTING
 5. ALL ALUMINUM STOREFRONT SYSTEMS SHALL HAVE DARK BRONZE FINISH TO MATCH EXISTING

EXTERIOR MATERIALS LEGEND

	BRICK - MATCH EXISTING
	BRICK SOLDIER COURSE - MATCH EXISTING
	NEW WINDOWS SHALL MATCH APPEARANCE OF EXISTING GLASS UNITS *ALL GLAZING SHALL BE VISION GLASS
	*INDICATES SPANDREL PANEL



SHADED AREA DENOTES:
CORBEL RUNNING BOND PATTERN
MATCH EXISTING RUNNING BOND PATTERN
1/2 INCH CORBEL
VERTICAL EVERY (3) COURSES
HORIZONTALLY STAGGERED w/ (2) BRICKS BETWEEN CORBELS

REVISION S: _____ DATE 04/25/2022

CONSTRUCTION DOCUMENT

GOULD TURNER GROUP,
ARCHITECTUR
615 PRO AVENUE SOUTH, SUITE
1000, MEMPHIS, TENNESSEE
901.596.1900 | gturner.com



PORTSMOUTH REGIONAL HOSPITAL
RADIATION ONCOLOGY ADDITION
333 Borthwick Ave., PORTSMOUTH, NH 03801

CIVIL CONSULTANT
KIMLEY-HORN & ASSOCIATES, INC.
10 LEA AVE. SUITE 400
BREWSTER, MA 01937
MANAGER: CHRIS BARNES

STRUCTURAL CONSULTANT
STANLEY D. LINDSEY & ASSOC. LTD.
750 OLD HICKORY BLVD., BLDG 1, STE 175
BREWSTER, MA 01937
MANAGER: BARRY BENDER

M.P.E. & T CONSULTANT
I.C. THOMASSON ASSOCIATES, INC.
2850 KRAFF DRIVE,
MAYFIELD, TN 37050
MANAGER: SPENCER HANCOCK

HCA HealthPartners
HCA DESIGN MANAGER:
MIRAL WALKER PH: 615-344-6588
HCA CONSTRUCTION
MANAGER: PH: 615-344-2487

VENDOR INFORMATION

EXTERIOR ELEVATIONS
A2.01

RESPONSIBLE P.E. Author: 02/27/19
CHECKED BY: _____
DATE: _____

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PORTSMOUTH REGIONAL HOSPITAL - Radiation Oncology 2/19/2022
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