



Transmittal

Date: _____ Job Number: _____
Project Name: _____
To: _____

We are sending these by

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Other

We are sending you

Attached

Under separate cover via

the following items

Shop drawings

Prints/Plans

Samples

Specifications

Change Order

Other

Number	Date	Copy	Description

These are transmitted as checked below:

For your use

Approved as submitted

Resubmit

As requested

Approved as noted

Submit

For review and comment

Returned for corrections

Return

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Corrected prints

Copy to:

Signed:

Phone:



City of Portsmouth, New Hampshire

Site Plan Application Checklist

This site plan application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. The checklist is required to be completed and uploaded to the Site Plan application in the City's online permitting system. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan review regulations for full details.

Applicant Responsibilities (Section 2.5.2): Applicable fees are due upon application submittal along with required attachments. The application shall be complete as submitted and provide adequate information for evaluation of the proposed site development. Waiver requests must be submitted in writing with appropriate justification.

Name of Applicant: Kimley Horn & Associates, Inc. Date Submitted: May 23, 2022

Application # (in City's online permitting): LU-22-35

Site Address: 333 Borthwick Ave., Portsmouth, NH 03801 Map: 240 Lot: 2-1

Application Requirements			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Complete application form submitted via the City's web-based permitting program (2.5.2.1(2.5.2.3A))	LU-22-35	N/A
<input checked="" type="checkbox"/>	All application documents, plans, supporting documentation and other materials uploaded to the application form in viewpoint in digital Portable Document Format (PDF). One hard copy of all plans and materials shall be submitted to the Planning Department by the published deadline. (2.5.2.8)	ATTACHED	N/A

Site Plan Review Application Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Statement that lists and describes "green" building components and systems. (2.5.3.1B)	N/A	
<input checked="" type="checkbox"/>	Existing and proposed gross floor area and dimensions of all buildings and statement of uses and floor area for each floor. (2.5.3.1C)	COVER SHEET C0.00 SITE DATA TABLE	N/A
<input checked="" type="checkbox"/>	Tax map and lot number, and current zoning of all parcels under Site Plan Review. (2.5.3.1D)	COVER SHEET C0.00 SITE DATA TABLE	N/A

Site Plan Review Application Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. (2.5.3.1E)	COVER SHEET C0.00	N/A
<input checked="" type="checkbox"/>	Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property. (2.5.3.1F)	Existing Conditions Plan	N/A
<input checked="" type="checkbox"/>	Names, addresses and telephone numbers of all professionals involved in the site plan design. (2.5.3.1G)	COVER SHEET C0.00	N/A
<input checked="" type="checkbox"/>	List of reference plans. (2.5.3.1H)	COVER SHEET C0.00	N/A
<input checked="" type="checkbox"/>	List of names and contact information of all public or private utilities servicing the site. (2.5.3.1I)	COVER SHEET C0.00	N/A

Site Plan Specifications			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director.. (2.5.4.1A)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans. (2.5.4.1B)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. (2.5.4.1C)	SHEETS C0.02 (SURVEY BY OTHERS), C1.00 & C4.00, C401 NOTES	N/A
<input checked="" type="checkbox"/>	Plans shall be drawn to scale and stamped by a NH licensed civil engineer. (2.5.4.1D)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Wetlands shall be delineated by a NH certified wetlands scientist and so stamped. (2.5.4.1E)	C1.00, C4.00, C401	N/A
<input checked="" type="checkbox"/>	Title (name of development project), north point, scale, legend. (2.5.4.2A)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Date plans first submitted, date and explanation of revisions. (2.5.4.2B)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Individual plan sheet title that clearly describes the information that is displayed. (2.5.4.2C)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Source and date of data displayed on the plan. (2.5.4.2D)	Required on all plan sheets	N/A

Site Plan Specifications – Required Exhibits and Data			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	1. Existing Conditions: (2.5.4.3A) <ul style="list-style-type: none"> Surveyed plan of site showing existing natural and built features; Existing building footprints and gross floor area; Existing parking areas and number of parking spaces provided; Zoning district boundaries; Existing, required, and proposed dimensional zoning requirements including building and open space coverage, yards and/or setbacks, and dwelling units per acre; Existing impervious and disturbed areas; Limits and type of existing vegetation; Wetland delineation, wetland function and value assessment (including vernal pools); SFHA, 100-year flood elevation line and BFE data, as required. 	SITE SURVEY BY OTHERS C1.00 & COVER SHEET (DATA TABLE) C0.00 & C4.01 PARKING TABLE C1.00 EXISTING CONDITIONS PLAN C1.00, C4.00, C4.01, DATA TABLE ON C0.00 IMPERVIOUS AREA ON POND EXHIBIT LOD ON SITE DATA TABLE: C0.00 & C4.01 L1.00, C1.00, C0.02 (SURVEY), C2.00 WETLAND EXHIBIT, C1.00, C4.00, & C4.01 N/A - C1.00 & C4.00	
<input checked="" type="checkbox"/>	2. Buildings and Structures: (2.5.4.3B) <ul style="list-style-type: none"> Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation; Elevations: Height, massing, placement, materials, lighting, façade treatments; Total Floor Area; Number of Usable Floors; Gross floor area by floor and use. 	ARCH. PLANS A1.01B, A1.02A, A2.01, SITE PLAN - C4.01 & GRADING PLAN C5.00 ELEVATIONS & FACADE: A2.01 FLOOR AREA: C0.00 SITE DATA TABLE ARCH. PLANS A1.01B, A1.02A, A2.01 FLOOR AREA: C0.00 SITE DATA TABLE	
<input checked="" type="checkbox"/>	3. Access and Circulation: (2.5.4.3C) <ul style="list-style-type: none"> Location/width of access ways within site; Location of curbing, right of ways, edge of pavement and sidewalks; Location, type, size and design of traffic signing (pavement markings); Names/layout of existing abutting streets; Driveway curb cuts for abutting prop. and public roads; If subdivision; Names of all roads, right of way lines and easements noted; AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC). 	SITE LAYOUT C4.01; EXISTING FACILITY	
<input checked="" type="checkbox"/>	4. Parking and Loading: (2.5.4.3D) <ul style="list-style-type: none"> Location of off street parking/loading areas, landscaped areas/buffers; Parking Calculations (# required and the # provided). 	SITE LAYOUT C4.01 SITE DATA TABLE & PARKING TABLE	
<input checked="" type="checkbox"/>	5. Water Infrastructure: (2.5.4.3E) <ul style="list-style-type: none"> Size, type and location of water mains, shut-offs, hydrants & Engineering data; Location of wells and monitoring wells (include protective radii). 	SITE UTILITY PLAN C6.00; INTERNALLY FED	
<input checked="" type="checkbox"/>	6. Sewer Infrastructure: (2.5.4.3F) <ul style="list-style-type: none"> Size, type and location of sanitary sewage facilities & Engineering data, including any onsite temporary facilities during construction period. 	SITE UTILITY PLAN C6.00; TIE INTO EXST	

<input checked="" type="checkbox"/>	7. Utilities: (2.5.4.3G) <ul style="list-style-type: none"> The size, type and location of all above & below ground utilities; Size type and location of generator pads, transformers and other fixtures. 	SITE UTILITY PLAN C6.00	
<input checked="" type="checkbox"/>	8. Solid Waste Facilities: (2.5.4.3H)	N/A	
	<ul style="list-style-type: none"> The size, type and location of solid waste facilities. 	N/A; EXISTING	
<input checked="" type="checkbox"/>	9. Storm water Management: (2.5.4.3I) <ul style="list-style-type: none"> The location, elevation and layout of all storm-water drainage. The location of onsite snow storage areas and/or proposed off-site snow removal provisions. Location and containment measures for any salt storage facilities Location of proposed temporary and permanent material storage locations and distance from wetlands, water bodies, and stormwater structures. 	GRADING & DRAINAGE SHEET C5.00	
<input checked="" type="checkbox"/>	10. Outdoor Lighting: (2.5.4.3J) <ul style="list-style-type: none"> Type and placement of all lighting (exterior of building, parking lot and any other areas of the site) and photometric plan. 	N/A	
<input checked="" type="checkbox"/>	11. Indicate where dark sky friendly lighting measures have been implemented. (10.1)	N/A	
<input checked="" type="checkbox"/>	12. Landscaping: (2.5.4.3K) <ul style="list-style-type: none"> Identify all undisturbed area, existing vegetation and that which is to be retained; Location of any irrigation system and water source. 	LANDSCAPE PLAN - L100; EXISTING IRRIGATION SYSTEM TO BE EXTENDED	
<input checked="" type="checkbox"/>	13. Contours and Elevation: (2.5.4.3L) <ul style="list-style-type: none"> Existing/Proposed contours (2 foot minimum) and finished grade elevations. 	Grading and Drainage Plan Sheet C500	
<input checked="" type="checkbox"/>	14. Open Space: (2.5.4.3M) <ul style="list-style-type: none"> Type, extent and location of all existing/proposed open space. 	C0.00 & C4.01 & DRAINAGE AREA MAP	
<input checked="" type="checkbox"/>	15. All easements, deed restrictions and non-public rights of ways. (2.5.4.3N)	C1.00 & C4.00	
<input checked="" type="checkbox"/>	16. Character/Civic District (All following information shall be included): (2.5.4.3P) <ul style="list-style-type: none"> Applicable Building Height (10.5A21.20 & 10.5A43.30); Applicable Special Requirements (10.5A21.30); Proposed building form/type (10.5A43); Proposed community space (10.5A46). 	SITE DATA TABLE C0.00 & C4.01	
<input checked="" type="checkbox"/>	17. Special Flood Hazard Areas (2.5.4.3Q) <ul style="list-style-type: none"> The proposed development is consistent with the need to minimize flood damage; All public utilities and facilities are located and construction to minimize or eliminate flood damage; Adequate drainage is provided so as to reduce exposure to flood hazards. 	GRADING & DRAINAGE C5.00 UTILITY PLAN C6.00	

Other Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Traffic Impact Study or Trip Generation Report, as required. (3.2.1-2)	N/A	
<input checked="" type="checkbox"/>	Indicate where Low Impact Development Design practices have been incorporated. (7.1)	ATTACHED STORMWATER MANAGEMENT PLAN	
<input checked="" type="checkbox"/>	Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. (7.3.1)	N/A	
<input checked="" type="checkbox"/>	Stormwater Management and Erosion Control Plan. (7.4)	C3.00, C3.01, C3.02 & STORMWATER MANAGEMENT PLAN	
<input checked="" type="checkbox"/>	Inspection and Maintenance Plan (7.6.5)	ATTACHED	

Final Site Plan Approval Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	All local approvals, permits, easements and licenses required, including but not limited to: <ul style="list-style-type: none"> • Waivers; • Driveway permits; • Special exceptions; • Variances granted; • Easements; • Licenses. (2.5.3.2A)	LU-22-35: AWAITING CONDITIONAL APPROVAL LETTER FROM CONSERVATION COMMITTEE FROM 5/11/22 MEETING. BOA BUILDING SETBACK VARIANCE APPROVAL ATTACHED	
<input checked="" type="checkbox"/>	Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: <ul style="list-style-type: none"> • Calculations relating to stormwater runoff; • Information on composition and quantity of water demand and wastewater generated; • Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls; • Estimates of traffic generation and counts pre- and post- construction; • Estimates of noise generation; • A Stormwater Management and Erosion Control Plan; • Endangered species and archaeological / historical studies; • Wetland and water body (coastal and inland) delineations; • Environmental impact studies. (2.5.3.2B)	ATTACHED	
<input checked="" type="checkbox"/>	A document from each of the required private utility service providers indicating approval of the proposed site plan and indicating an ability to provide all required private utilities to the site. (2.5.3.2D)	N/A; EXISTING BUILDING	

Final Site Plan Approval Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	A list of any required state and federal permit applications required for the project and the status of same. (2.5.3.2E)	N/A	
<input checked="" type="checkbox"/>	A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations." (2.5.4.2E)	SITE LAYOUT C4.01 NOTE #14	N/A
<input checked="" type="checkbox"/>	For site plans that involve land designated as "Special Flood Hazard Areas" (SFHA) by the National Flood Insurance Program (NFIP) confirmation that all necessary permits have been received from those governmental agencies from which approval is required by Federal or State law, including Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S.C. 1334. (2.5.4.2F)	N/A	
<input checked="" type="checkbox"/>	Plan sheets submitted for recording shall include the following notes: a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds." b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director." (2.13.3)	SITE LAYOUT C4.01 NOTE #15	N/A

Applicant's Signature: Matthew Hanly Date: 5/24/2022



February 22, 2022
Updated May 5, 2022

City of Portsmouth

RE: *Portsmouth Regional Hospital – Radiation Oncology Project Narrative*

The existing Portsmouth Regional Hospital is located at 333 Borthwick Ave, Portsmouth, NH 03801 (Map 240, Lot 2-1). The medical campus is located on the east side of Blue Star Turnpike (I-95), the west side of Borthwick Avenue, and can be accessed via multiple entrances from Borthwick Avenue. The scope of the proposed Radiation Oncology project consists of internal renovations, and a 1-story building addition located on the southeast corner of the existing hospital building.

The proposed footprint of the building addition is approximately $\pm 8,700$ square feet. The proposed sitework is anticipated to consist of asphalt, concrete, utility, landscape, and drive-under canopy demolition where the current patient discharge canopy and associated drive are located as well as removal of existing sidewalk and landscaping located along the south side of the existing hospital building. Site improvements are anticipated to consist of the new building addition, new drive-under canopy and associated drive, sidewalk connectivity, new granite curb, new mobile imaging pad, and associated new utilities/ utility relocations.

A portion of the project scope is located adjacent to and partially within a previously man-made stormwater management area which is now delineated as a city jurisdictional inland wetland and has an associated 100-ft wetland buffer, in which a portion of the site improvements will occur. A small amount of disturbance to the actual wetland is being proposed. Refer to the attached wetland exhibit. Please note, the overall wetland data has been calculated with older drawings by others. Only the wetland adjacent to this project was delineated and flagged by Gove Environmental Services, Inc., and surveyed by James Verra and Associates, Inc. Refer to attached letter and site survey.

Wetlands and 100-foot buffer, Overall Site

- Subject Parcel: Map 240, Lot2-1 (± 20.87 ac)
- Total wetland area onsite: approximately ± 2.7 acres
- Total area of 100-foot wetland buffer onsite: approximately ± 8.4 acres

Wetland and 100-foot buffer, Proposed Impact

- Area of inland wetland to be disturbed:
 - Permanent (due to proposed building location): ± 200 square feet (sf)
 - Temporary (due to construction of proposed building and utility relocations, but will be planted back as wetlands): $\pm 4,400$ square feet (sf)
 - Total disturbance: $\pm 4,600$ square feet (sf)
- Area of 100-ft wetland buffer to be disturbed:
 - Permanent: $\pm 13,200$ sf
 - Temporary: $\pm 4,300$ sf

Stormwater drainage summary:

The drainage area to the existing man-made stormwater management area/ inland wetland that is located within the proposed project area (**Pond 1**) was analyzed utilizing provided site surveys as well as previous design drawings for the medical campus. It appears a portion of the southeastern parking lot drains to another existing man-made stormwater management area/ inland wetland that is located along the north side of Borthwick Avenue (**Pond 2**). Pond 2 drains to Pond 1 via a 21" RCP pipe. The drainage area to the Pond 2 remains the same as the current existing condition.

The drainage area to the Pond 1 also remains relatively the same as existing conditions as a portion of the existing hospital building roof will continue to drain to Pond 1, new roof for the proposed building addition is located where existing sidewalks and drives are currently located, and some existing pavement is being removed to allow Pond 1 to expand to provide additional pond volume to attempt to offset any pond volume lost due to the proposed project. The existing 24" RCP pipe outfall from Pond 1 remains in place. Refer to the attached drainage area exhibit.

Existing pond volume: ±54,190 cubic feet (cf)

Proposed pond volume: ±56,265 cubic feet (cf)

A HydroCAD stormwater model was utilized to analyze both the pre-developed and post-developed conditions, and the following results were generated for Type III, 24-hour storm events:



Total drainage area to Pond 1: +/-4.2 acres

	CN	2-yr (cfs)	10-yr (cfs)	25-yr (cfs)	50-yr (cfs)	100-yr (cfs)
Pre-developed:	92	9.1	14.2	17.7	19.9	21.9
Post-Developed:	92	8.8	13.6	17.1	19.3	21.5

Per the table above, the stormwater discharge for the post-developed conditions from the revised Pond 1 are slightly less than the pre-developed conditions.

Please refer to the photos below, and attached supporting documentation. If you have any questions or need more information, please feel free to reach me by email (chris.akers@kimley-horn.com) or by phone at 615-476-4764.

Sincerely,
Chris Akers, Project Manager

Photographs	Observations
	<p>Southern portion of hospital campus with subject wetland (image taken from internal front drive).</p>
Photographs	Observations
	<p>East elevation of hospital building where Radiation Oncology addition is proposed (image taken from internal front drive).</p> <p>Construction activity from current ICU Med/ Surg Stepdown project.</p>



Southern portion of hospital campus with subject wetland (image taken from internal ambulance/ ED drive).

Photographs

Observations



Existing brick canopy at Patient Discharge to be removed.

Construction activity from current ICU Med/ Surg Stepdown project.



Brick emergency generator enclosure to remain.

Details


Property		Ownership		Valuation	
Location	333 BORTHWICK AVE	Owner	HCA HEALTH SVC OF NH INC D/B/A	Total	\$86,709,000
Map-Lot	0240-0002-0001		PRH 32902 C/O DUCHARME	Last Sale	\$0 on
Vision Account Number	35555		MCMILLEN & ASSOC	Book/Page	2784/1340
		Address	PO BOX 80610, INDIANAPOLIS, IN 46280		
Land		Zoning			
Parcel Area (AC)	20.87	Zoning			
			OR		

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333 BORTHWICK AVE

HCA HEALTH SVC OF NH INC D/B/A PRH 3.

0240-0002-0001



February 21, 2022

Kimley-Horn and Associates, Inc.
10 Lea Avenue, Suite 400
Nashville, TN 37210

404 Wyman Street, Suite 385
Waltham, MA 02451

RE: Agent Authorization

To Whom It May Concern:

Be advised that I am the Chief Executive Officer of the Portsmouth Regional Hospital located at 333 Borthwick Ave, Portsmouth, NH 03801. I am an authorized agent to the owners of HCA Health Services of New Hampshire, Inc. dba Portsmouth Regional Hospital. As the authorized agent, I hereby authorize and empower:

Kimley-Horn and Associates, Inc. to act as agent/ representative to communicate and submit required information as necessary in obtaining site-related approvals and permits for the proposed Radiation Oncology Addition project located at 333 Borthwick Ave, Portsmouth, NH 03801.

A handwritten signature in blue ink, appearing to read 'D. Carucci', written over a horizontal line.

Owner's Signature
Dean M. Carucci, CEO

SITE CIVIL PLANS FOR PORTSMOUTH REGIONAL HOSPITAL RADIATION ONCOLOGY ADDITION

333 BORTHWICK AVENUE, PORTSMOUTH, NH 03801

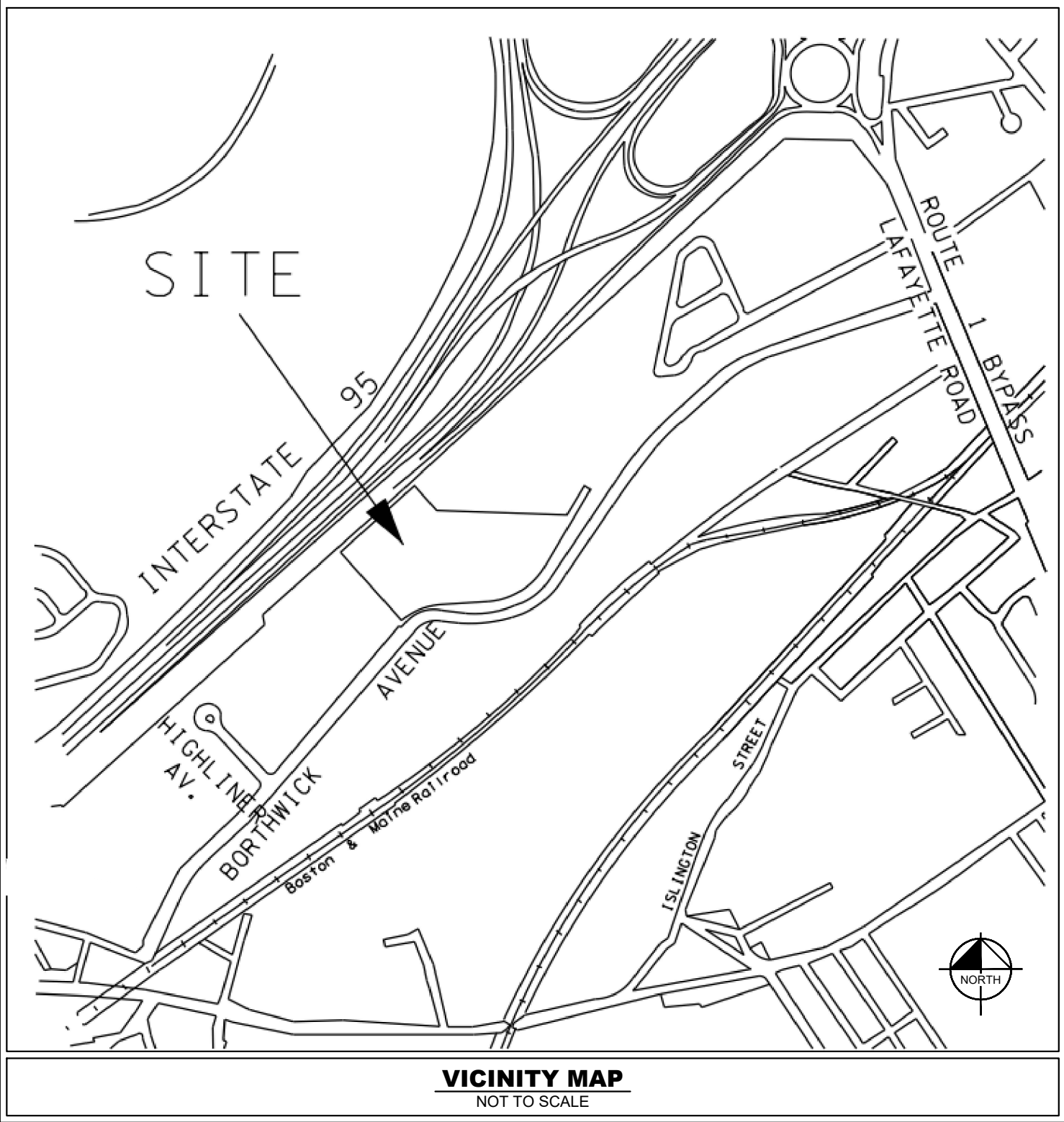
TECHNICAL ADVISORY COMMITTEE: MAY 23, 2022

SITE DATA TABLE		
OWNER OF RECORD	HCA HEALTH SERVICES OF NH INC D/B/A PRH 32902	
SITE ADDRESS	333 BORTHWICK AVE, PORTSMOUTH, NH 03801	
SITE AREA	± 20.87 AC	
DISTURBANCE LIMITS W/ THIS PROJECT	± 0.7 AC	
TAX MAP & LOT	TAX MAP 240, LOT 2-1	
ZONING	OR - OFFICE RESEARCH	
SETBACKS	REQUIRED	PROPOSED
FRONT YARD SETBACK	50'-0"	±40'
REAR YARD SETBACK	50'-0"	±157'
SIDE YARD SETBACK	75'-0"	±71' * (EXISTING)
MIN. OPEN SPACE ON A LOT	30%	±38.3%
MAX BUILDING COVERAGE	30%	± 20.1%
BUILDING DATA		
	EXISTING	PROPOSED ADDITION
HOSPITAL BEDS	233	0
HOSPITAL/ MOB FLOOR PLATE	±173,916 SF	± 8,700 SF
HOSPITAL GROSS AREA	±427,495 SF	± 8,870 SF
MEDICAL OFFICE BUILDING GROSS AREA (ATTACHED TO HOSPITAL BUILDING)	±46,665 SF	0 SF
BUILDING HEIGHT	± 65'-4"	± 14'-8"

PARKING SUMMARY				
	EXISTING	DEMOLISHED	PROPOSED	NET RESULT
ONSITE STANDARD SPACES	754	11	2	745
ONSITE ACCESSIBLE (INCLUDING VAN ACCESSIBLE)	29	4	6	31
OFFSITE STANDARD SPACES*	0	0	490	490
OFFSITE ACCESSIBLE (INCLUDING VAN ACCESSIBLE)*	0	0	11	11
TOTAL				1277

*PER SATELLITE PARKING LOT DRAWINGS PREPARED BY TIGHE & BOND

REFERENCE PLANS
1. "LOT LINE REVISION PLAN FOR PORTSMOUTH HOSPITAL OFFICE BUILDING ASSOCIATION, ISLINGTON WOOD, LLC AND HCA REALTY, INC. (TAX MAP 234, LOTS 7-4A & 7-4B) (TAX MAP 240, LOT 2-2) BORTHWICK AVENUE EXTENSION PORTSMOUTH, NEW HAMPSHIRE" DATED JAN 13, 2006 PREPARED BY DOUCET SURVEY, INC., R.C.R.D. PLAN #B-33642
2. "TOPOGRAPHIC PLAN" AT PORTSMOUTH REGIONAL HOSPITAL FOR HCA HEALTH SERVICES OF NH, INC. DATED OCTOBER 10, 2007 BY DOUCET SURVEY.
3. "SIDEWALK SITE PLAN" FOR PORTSMOUTH REGIONAL HOSPITAL FOR HCA HEALTH SERVICES OF NH, INC. DATED OCTOBER 22, 2003 BY MILLETTE, SPRAGUE & COLWELL.
4. "SITE PLAN" FOR PORTSMOUTH REGIONAL HOSPITAL FOR HCA HEALTH SERVICES OF NH, INC. DATED AUGUST 19, 2002 BY MILLETTE, SPRAGUE & COLWELL, SHEET 2 OF 3.
5. JURISDICTIONAL WETLANDS WERE DELINEATED BY NHSC, INC. ON SEPTEMBER 25, 2007 IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, AS REQUIRED BY THE NH DES WETLANDS BUREAU.
6. "TOPOGRAPHIC WORKSHEET OF THE POWERLINES BY ISLINGTON & BORTHWICK AVE." PREPARED BY EASTERN TOPOGRAPHIC FOR DOUCET SURVEY, DATED SEPT 25, 2007.
7. "PORTSMOUTH REGIONAL HOSPITAL PHASE 1 ADDITIONS AND RENOVATIONS" BY APPLEDORE ENGINEERING, INC., DATED APRIL 1, 2008.
8. JURISDICTIONAL WETLANDS DELINEATION BY GOVE ENVIRONMENTAL SERVICES, INC. DATED OCTOBER 2019.
9. TOPOGRAPHIC SURVEY BY JAMES VERRA & ASSOCIATES, INC. DATED 10/2019.
10. SHEETS C-2 AND C-2A OF "PORTSMOUTH HOSPITAL EXPANSION" BY APPLEDORE ENGINEERING, DATED 8/4/11. "REVISED TO ADD REAR PARKING"



PROJECT DESIGN TEAM

ARCHITECT

GOULD TURNER GROUP, P.C.
615 3RD AVENUE SOUTH, SUITE 700
NASHVILLE, TN 37210
PHONE: (615) 254-1500
CONTACT: CHRIS DUMONT, AIA

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.
404 WYMAN STREET, SUITE 385
WALTHAM, MA 02451
PHONE: (781) 328-0676
CONTACT: MATTHEW HAMBY

M,P,E & T CONSULTANTS

I.C. THOMASSON ASSOCIATES, INC.
2950 KRAFT DRIVE, SUITE 500
NASHVILLE, TN 37204
PHONE: (615) 346-3400
CONTACT: BOYD JOHNSON

SURVEY

JAMES VERRA & ASSOCIATES, INC.
101 SHATTUCK WAY, SUITE 8
NEWINGTON, NH 03801
PHONE: (603) 436-3557
CONTACT: JIM VERRA, LLS

ENVIRONMENTAL

GOVE ENVIRONMENTAL SERVICES, INC
8 CONTINENTAL DR, UNIT H
EXETER, NH 03833
PHONE: (603) 778-0654
CONTACT: BRENDEN WALDEN

STRUCTURAL ENGINEER

STANLEY D. LINDSEY & ASSOCIATES, LTD.
750 OLD HICKORY BLVD, BLD 1, SUITE 175
BRENTWOOD, TN 37027
PHONE: (615) 320-1735
CONTACT: MARK HILNER

UTILITY CONTACTS

WATER/ SANITARY SEWER

PORTSMOUTH DEPT OF
PUBLIC WORKS
MIKE JENKINS
680 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801
PHONE: (603) 427-1530

NATURAL GAS

NORTHERN UTILITIES, INC.
JEFF INGLISH
325 WEST ROAD
PORTSMOUTH, NH 03801
PHONE (603) 436-0310

TELEPHONE/ CABLE

CONSOLIDATED COMMUNICATIONS
1575 GREENLEAD ROAD
GREENLAND, NH 03840
PHONE: (800) 240-5019

ELECTRIC

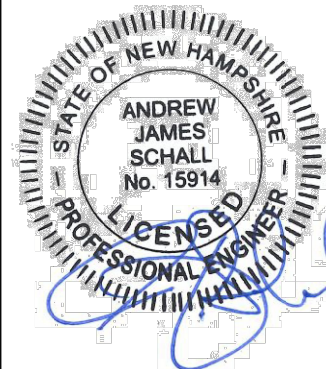
PUBLIC SERVICES OF NH/ EVERSOURCE
WAYNE BROOKS
1700 LAFAYETTE ROAD
PORTSMOUTH, NH 03801
PHONE:(800) 662-7764

Sheet List Table	
SHEET NUMBER	SHEET TITLE
C0.00	COVER SHEET
C0.01	GENERAL NOTES
C0.02	SURVEY BY OTHERS
C1.00	EXISTING CONDITIONS - OVERALL
C2.00	SITE DEMOLITION PLAN
C3.00	EROSION CONTROL PLAN - PHASE 1
C3.01	EROSION CONTROL PLAN - PHASE 2
C3.02	EROSION CONTROL DETAILS
C4.00	SITE LAYOUT - OVERALL
C4.01	SITE LAYOUT - ENLARGEMENT
C5.00	GRADING & DRAINAGE PLAN
C6.00	SITE UTILITY PLAN
C7.00	SITE DETAILS
C7.01	SITE DETAILS
L1.00	LANDSCAPE PLAN

Kimley»Horn

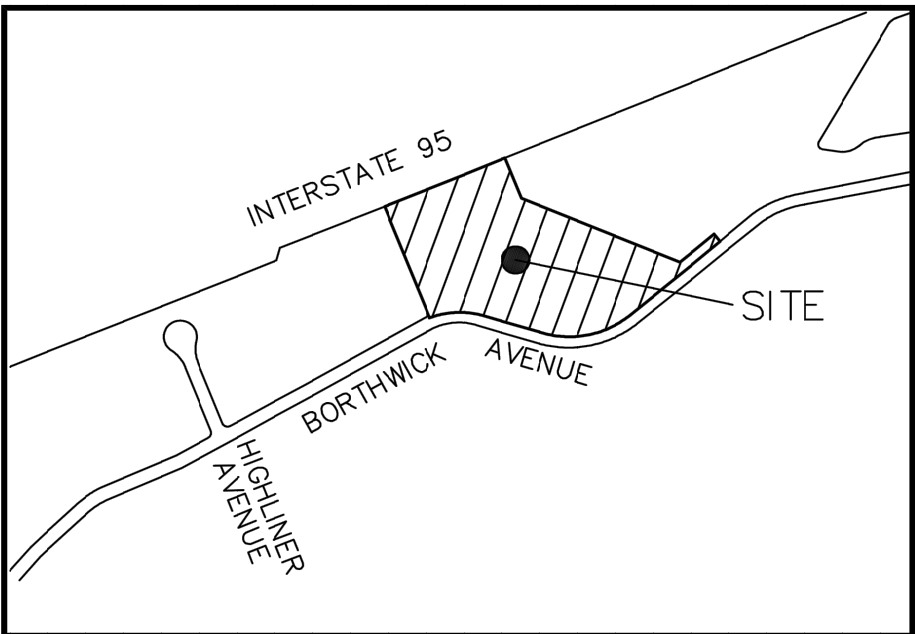
404 WYMAN STREET, SUITE 385 WALTHAM, MA 02451
MAIN:781.328.0676 | WWW.KIMLEY-HORN.COM
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PORTSMOUTH REGIONAL
HOSPITAL
RADIATION ONCOLOGY ADDITION
PORTSMOUTH, NEW HAMPSHIRE



REVISIONS										DATE	BY	
No.	1	2	3	4	5	6	7	8	9	10		
DESIGNED BY: ZCN												
DRAWN BY: ZCN												
CHECKED BY: MEH												
DATE:										05/23/2022		
KIMLEY-HORN PROJECT NO. 118252004												
COVER SHEET												
C0.00												





LOCUS
(N.T.S.)

INTERSTATE 95
N 48°03'04" E
684.16

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C2	294.05	464.64	36°15'38"	S 68°03'15" W	289.17

BOUNDARY LINE TABLE

LINE	BEARING	DISTANCE
L3	N 41°56'56" W	10.00
L15	N 87°57'24" W	895.13
L16	N 41°56'56" W	229.05

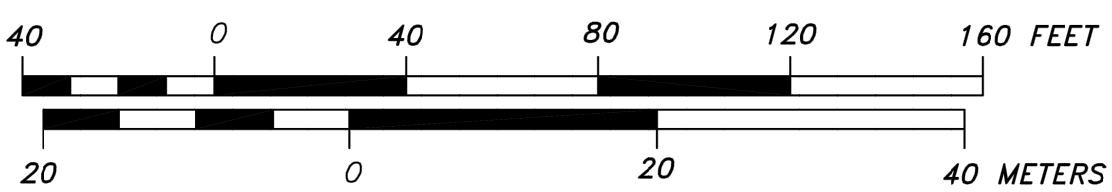
LOCATION	DESCRIPTION	ELEVATION
"A"	48" ARCHED CMP	21.01
"B"	24" RCP	20.52
"C"	24" RCP	20.90
"D"	21" RCP	21.04
"E"	21" RCP	21.72
"F"	12" PVC	22.04
"G"	16" PVC	21.32
"H"	16" PVC	21.44
"I"	16" PVC	21.43
"J"	16" PVC	21.51
"K"	4" PVC	24.38
"L"	15" RCP	21.18
"M"	6" METAL OUTLET	28.89
"N"	1" METAL OUTLET	28.58
"O"	4" METAL OUTLET	28.38
"P"	6" CAST IRON(C)	28.92
"Q"	12" CAST IRON(C)	21.23
"R"	12" CAST IRON(C)	21.22
"S"	6" METAL OUTLET	28.80
"T"	15" RCP	22.15

LOCATION	DESCRIPTION	ELEVATION
"1"	CONCRETE	27.68
"2"	CONCRETE	27.66
"3"	CONCRETE	27.68
"4"	ALUM. THRESHOLD	27.70
"5"	CONCRETE	27.68
"6"	CONCRETE	27.70
"7"	ALUM. THRESHOLD	27.77
"8"	ALUM. THRESHOLD	27.74
"9"	ALUM. THRESHOLD	27.79
"10"	ALUM. THRESHOLD	27.74
"11"	CONCRETE	27.79
"12"	ALUM. THRESHOLD	27.78
"13"	CONCRETE	27.63
"14"	CONCRETE	27.62
"15"	ALUM. THRESHOLD	27.71
"16"	ALUM. THRESHOLD	27.69

- LEGEND:**
- IRON ROD (AS NOTED)
 - SURVEY NAIL (AS NOTED)
 - CHAIN LINK FENCE
 - UTILITY POLE
 - UTILITY POLE W/TRANSFORMER
 - GUY
 - LIGHT POLE
 - DIRECTED WALL LIGHT
 - OVERHEAD WIRES
 - OVERHEAD ELECTRIC
 - OVERHEAD COMMUNICATION WIRES
 - UNDERGROUND COMMUNICATIONS
 - UNDERGROUND ELECTRIC
 - ROCKINGHAM COUNTY REGISTRY OF DEEDS
 - TAX SHEET / LOT NO.
 - EOP: JOANNE BRAGG
 - LA: LANDSCAPED AREA
 - RWS: STONE RETAINING WALL
 - VGC: VERTICAL FACED GRANITE CURB
 - SGC: SLOPED FACED GRANITE CURB
 - PSNH: PUBLIC SERVICE CO. OF NH
 - HANDICAP SPACE
 - CATCH BASIN
 - DRAIN MANHOLE
 - SEWER MANHOLE
 - BOLLARD
 - SIGN
 - DOUBLE POST SIGN
 - ELECTRICAL CONDUIT
 - ELECTRICAL PANEL
 - ELECTRICAL BOX
 - ELECTRIC METER
 - GAS VALVE
 - WATER LINE
 - SEWER LINE
 - DRAIN LINE
 - GAS LINE
 - BRUSH LINE
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - TREE LINE
 - CONIFEROUS SHRUB
 - DECIDUOUS SHRUB
 - TREE STUMP
 - MONITORING WELL
 - WATER GATE VALVE
 - WATER SHUT OFF VALVE
 - WATER METER PIT
 - HYDRANT
 - FIRE CONNECTION
 - POST INDICATOR VALVE
 - RIP RAP
 - CEMENT CONCRETE PAD
 - BORING
 - CABLE TV VAULT
 - DOUBLE YELLOW LINE
 - STONE RETAINING WALL

240-01
LIBERTY MUTUAL INSURANCE
ATTN: JOANNE BRAGG
175 BERKLEY STREET
BOSTON, MA 02116
2057/357

NH STATE PLANE COORDINATE SYSTEM
NAD 1983



RIM AND INVERT DATA

CB DPW#5741 RIM = 26.58
WATER LEVEL=23.57
CB DPW#5740 RIM = 25.42
(1) INV (15"HDPE)=21.86
(2) INV (15"RCP)=INACCESS.
CB DPW#3189 RIM = 25.66
INACCESSIBLE(FILLED)
CONTECH DMH #4 RIM = 25.77
(1) Inv (15"HDPE)=INACCESS.
(2) Inv (15"HDPE)=INACCESS.
SMH "A" RIM = 26.03
(1) INV (8"PVC)=19.95
(2) INV (8"PVC)=19.33
SMH DPW#519 RIM = 26.35
(1) INV (8"PVC)=19.31
CL (18"ACP)=17.25
SMH DPW#5481 RIM = 27.27
(1) INV (8"PVC)=18.07
(2) INV (10"PVC)=17.64
(3) INV (10"PVC)=17.59
SMH DPW#5482 RIM = 27.65
(1) INV (8"PVC)=19.04
(2) INV (8"PVC)=23.50
(3) INV (8"PVC)=19.06
SMH DPW#5483 RIM = 27.50
(1) INV (8"PVC)=18.44
(2) INV (8"PVC)=18.44

DRAINAGE INVERT ELEVATION TABLE

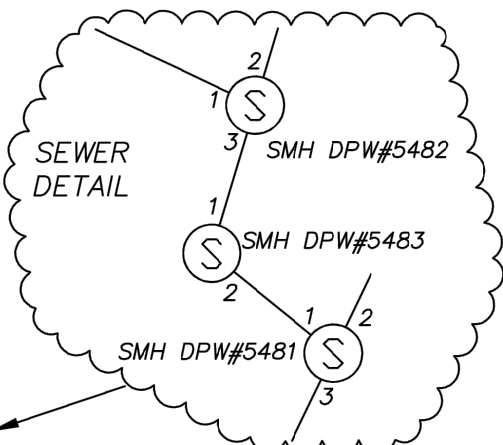
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"S"	6" METAL OUTLET	28.80
"T"	15" RCP	22.15

BUILDING FLOOR ELEVATION TABLE

LOCATION	DESCRIPTION	ELEVATION
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"2"	CONCRETE	27.66
"3"	CONCRETE	27.68
"4"	ALUM. THRESHOLD	27.70
"5"	CONCRETE	27.68
"6"	CONCRETE	27.70
"7"	ALUM. THRESHOLD	27.77
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"10"	ALUM. THRESHOLD	27.74
"11"	CONCRETE	27.79
"12"	ALUM. THRESHOLD	27.78
"13"	CONCRETE	27.63
"14"	CONCRETE	27.62
"15"	ALUM. THRESHOLD	27.71
"16"	ALUM. THRESHOLD	27.69

240-2-1
HCA HEALTH SERVICES
OF NEW HAMPSHIRE, INC

TBM "C"
CUT X ON
TOP FLANGE BOLT
ELEV=29.30



TBM "D"
LARGE SURVEY NAIL
SET IN UTILITY POLE
PSNH 37
1.0' ABOVE GRADE
ELEV=29.03

NOTES:

- OWNER OF RECORD.....HCA HEALTH SERVICES OF NH., D/B/A PRH 32902
C/O DUCHARME MCMILLEN & ASSOCIATES
ADDRESS.....PO BOX 80610, INDIANAPOLIS, IN 46280
DEED REFERENCE.....2784/1340
TAX SHEET / LOT.....240-02-01
PARCEL AREA.....846,664 S.F 19.44 ACRES
- ZONED:.....OFFICE/RESEARCH (OR) FRONT YARD SETBACK.....50'
MINIMUM LOT AREA...3 ACRES SIDE YARD SETBACK.....75'
FRONTAGE.....300' REAR YARD SETBACK.....50'
- THE RELATIVE ERROR OF CLOSURE WAS LESS THAN 1 FOOT IN 15,000 FEET.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
- HORIZONTAL DATUM: NAD 1983 ESTABLISHED BY SURVEY GRADE GPS OBSERVATION AND NGS "OPUS" SOLUTION. REFERENCE FRAME: NAD83 (2011)(EPOCH: 2010.0000), US SURVEY FOOT.
VERTICAL DATUM: NAVD 1988. PRIMARY BENCHMARK: CITY OF PORTSMOUTH "ALBA"
- ENGINEER OR CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE ESTABLISHMENT OF ANY GRADES OR ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOCIATES, INC.
- THE PARCEL SHOWN HEREON LIES WITHIN ZONE X (AREAS OUTSIDE THE 0.2% ANNUAL CHANGE FLOODPLAIN) AS IDENTIFIED ON FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE, MAP NUMBER 3301SC0260E, EFFECTIVE DATE MAY 17, 2005 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- LIMIT OF 300' EVERSOURCE ELECTRIC EASEMENT.
- BRICK GENERATOR ENCLOSURE. TOP OF CONCRETE ELEV.=27.20
- THE DELINEATION OF THE WETLANDS SHOWN HEREON WAS BY BRENDEN WALDEN NEW HAMPSHIRE CERTIFIED WETLAND SCIENTIST #297, GOVE ENVIRONMENTAL SERVICES, LLC., 8 CONTINENTAL DRIVE, UNIT H, EXETER, NH 03833.
- THE SUBSURFACE UTILITIES SHOWN HEREON WERE IDENTIFIED BY WADE HANSEN, GROUND PENETRATING RADAR SYSTEMS, INC., 5217 MONROE STREET, SUITE A, TOLEDO, OHIO 43623.
- AN EXISTING UNTIL GAS LINE SOUTHWESTERLY OF THE HOSPITAL IN THE VICINITY OF THE LIBERTY MUTUAL PARCEL & A 6" CLDI WATER LINE IN THE SAME AREA WERE NOT FIELD LOCATED BY GROUND PENETRATING RADAR SYSTEMS, INC.

REFERENCE PLANS:

- GAS LINE AS-BUILT EASEMENT AND CONSERVATION PLAN, PREPARED FOR HOSPITAL CORPROATION OF AMERICA, PORTSMOUTH, NH, DATED 10/31/85. RCRD PLAN #D-15830.
- SCHILLER S/S-OCEAN ROAD S/S, 115 KV TRANSMISSION LINE #U181, MILE 4, PLANR-6775-A, DATED 7/10/2009, BY NORTHEAST UTILITIES, NOT RECORDED.
- SUBDIVISION OF LAND, FRANETAL REALTY TRUST COMPANY, OPTIONED TO LIBERTY MUTUAL INSURANCE COMPANY, PORTSMOUTH, NEW HAMPSHIRE, REVISED TO 2/19/71 RCRD PLAN #2190.

PURSUANT TO RSA 676:18,III AND RSA 672:14

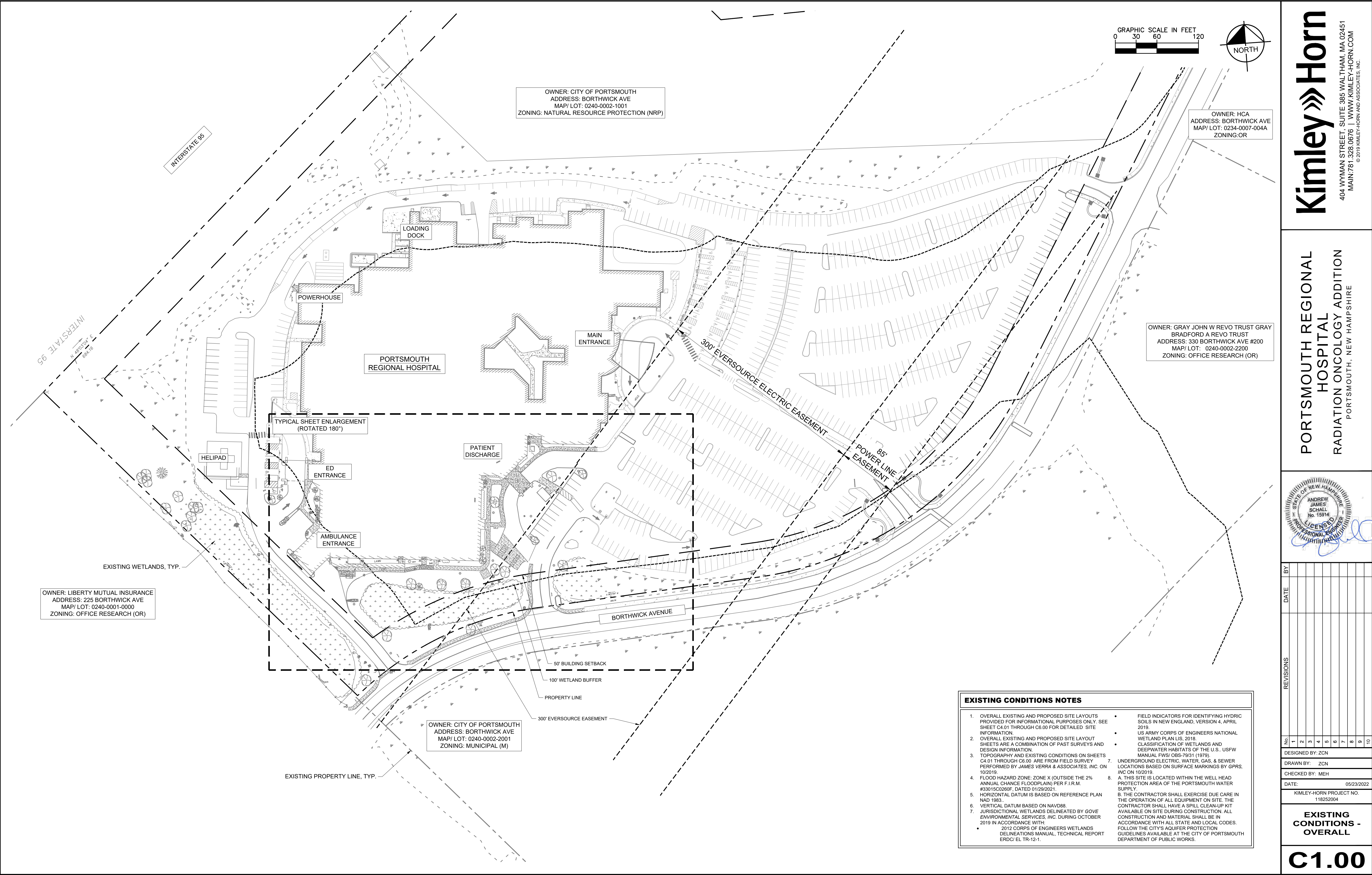
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

JAMES VERRA
JAMES VERRA

11-19-2019
DATE



0	11-08-2019	FOR REVIEW & COMMENT	JV
REV. NO.	DATE	DESCRIPTION	APPR'D
LIMITED EXISTING CONDITIONS PLAN 333 BORTHWICK AVENUE PORTSMOUTH, NEW HAMPSHIRE ASSESSOR'S PARCEL #240-002-001 for HCA HEALTH SERVICES OF NEW HAMPSHIRE			
JAMES VERRA and ASSOCIATES, INC.			DATE: 11-19-2019
101 SHATTUCK WAY SUITE 8 NEWINGTON, N.H., 03801-7876 603-436-3557			JOB NO: 23834
GTD PROJECT JV COPYRIGHT © 2019 by JAMES VERRA and ASSOCIATES, INC.			SCALE: 1" = 40'
GTD DRAIN BY			DWG NAME: 23834
			PLAN NO: 23834
			SHEET: 1 of 1



GRAPHIC SCALE IN FEET

03060120

NORTH

OWNER: HCA

ADDRESS: BORTHWICK AVE

MAP/ LOT: 0234-0007-004A

ZONING: OR

OWNER: GRAY JOHN W REVO TRUST GRAY
BRADFORD A REVO TRUST
ADDRESS: 330 BORTHWICK AVE #200
MAP/ LOT: 0240-0002-2200
ZONING: OFFICE RESEARCH (OR)

OWNER: LIBERTY MUTUAL INSURANCE
ADDRESS: 225 BORTHWICK AVE
MAP/ LOT: 0240-0001-0000
ZONING: OFFICE RESEARCH (OR)

OWNER: CITY OF PORTSMOUTH
ADDRESS: BORTHWICK AVE
MAP/ LOT: 0240-0002-1001
ZONING: NATURAL RESOURCE PROTECTION (NRP)

OWNER: CITY OF PORTSMOUTH
ADDRESS: BORTHWICK AVE
MAP/ LOT: 0240-0002-2001
ZONING: MUNICIPAL (M)

EXISTING CONDITIONS NOTES

1. OVERALL EXISTING AND PROPOSED SITE LAYOUTS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. SEE SHEET C4.01 THROUGH C8.00 FOR DETAILED SITE INFORMATION.

2. OVERALL EXISTING AND PROPOSED SITE LAYOUT SHEETS ARE A COMBINATION OF PAST SURVEYS AND DESIGN INFORMATION.

3. TOPOGRAPHY AND EXISTING CONDITIONS ON SHEETS C4.01 THROUGH C8.00 ARE FROM FIELD SURVEY PERFORMED BY JAMES VERRA & ASSOCIATES, INC. ON 10/20/19.

4. FLOOD HAZARD ZONE: ZONE X (OUTSIDE THE 2% ANNUAL CHANCE FLOODPLAIN) PER F.I.R.M. #33015C0260F, DATED 01/29/2021.

5. HORIZONTAL DATUM IS BASED ON REFERENCE PLAN NAD 1983.

6. VERTICAL DATUM BASED ON NAVD88.

7. JURISDICTIONAL WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. DURING OCTOBER 2019 IN ACCORDANCE WITH:

- 2012 CORPS OF ENGINEERS WETLANDS DELINEATIONS MANUAL, TECHNICAL REPORT ERDC/ EL TR-12-1.

8. UNDERGROUND ELECTRIC, WATER, GAS, & SEWER LOCATIONS BASED ON SURFACE MARKINGS BY GPRS, INC ON 10/20/19.

9. A. THIS SITE IS LOCATED WITHIN THE WELL HEAD PROTECTION AREA OF THE PORTSMOUTH WATER SUPPLY.
B. THE CONTRACTOR SHALL EXERCISE DUE CARE IN THE OPERATION OF ALL EQUIPMENT ON SITE. THE CONTRACTOR SHALL HAVE A SPILL CLEAN-UP KIT AVAILABLE ON SITE DURING CONSTRUCTION. ALL CONSTRUCTION AND MATERIAL SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES. FOLLOW THE CITY'S AQUIFER PROTECTION GUIDELINES AVAILABLE AT THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.

Kimley»Horn

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PORTSMOUTH REGIONAL
HOSPITAL

RADIATION ONCOLOGY ADDITION

PORTSMOUTH, NEW HAMPSHIRE

STATE OF NEW HAMPSHIRE

ANDREW JAMES SCHALL

No. 15914

LICENSED PROFESSIONAL ENGINEER

DESIGNED BY: ZCN

DRAWN BY: ZCN

CHECKED BY: MEH

DATE: 05/23/2022

KIMLEY-HORN PROJECT NO. 118252004

EXISTING CONDITIONS - OVERALL

C1.00

Drawing name: K:\NSH_LDEV\118252004 - portsmouth - cancer center - 2021\4-CADD\plansheets\C1.00 EXISTING CONDITIONS - OVERALL.dwg C1.00 EXISTING CONDITIONS - OVERALL May 24, 2022 12:00pm by: Zack Newman

DEMOLITION LEGEND

REMOVE CONCRETE/ ASPHALT

REMOVE CANOPY

REMOVE UNDERGROUND UTILITY / STORM

REMOVE CURB & GUTTER/ CURB

X

REMOVE/ RELOCATE SITE OBJECT (HYDRANT, POLE, TREE, ETC.)

LIMITS OF DISTURBANCE

SAWCUT LINE

EXISTING UTILITIES NOTE

CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.

CONTRACTOR NOTE

ALL EROSION CONTROL MEASURES SPECIFIED ON SHEET C3.00 SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF DEMOLITION WORK SHOWN ON THIS PLAN.

SEE DEMOLITION NOTES, SHEET C0.01.

GRAPHIC SCALE IN FEET

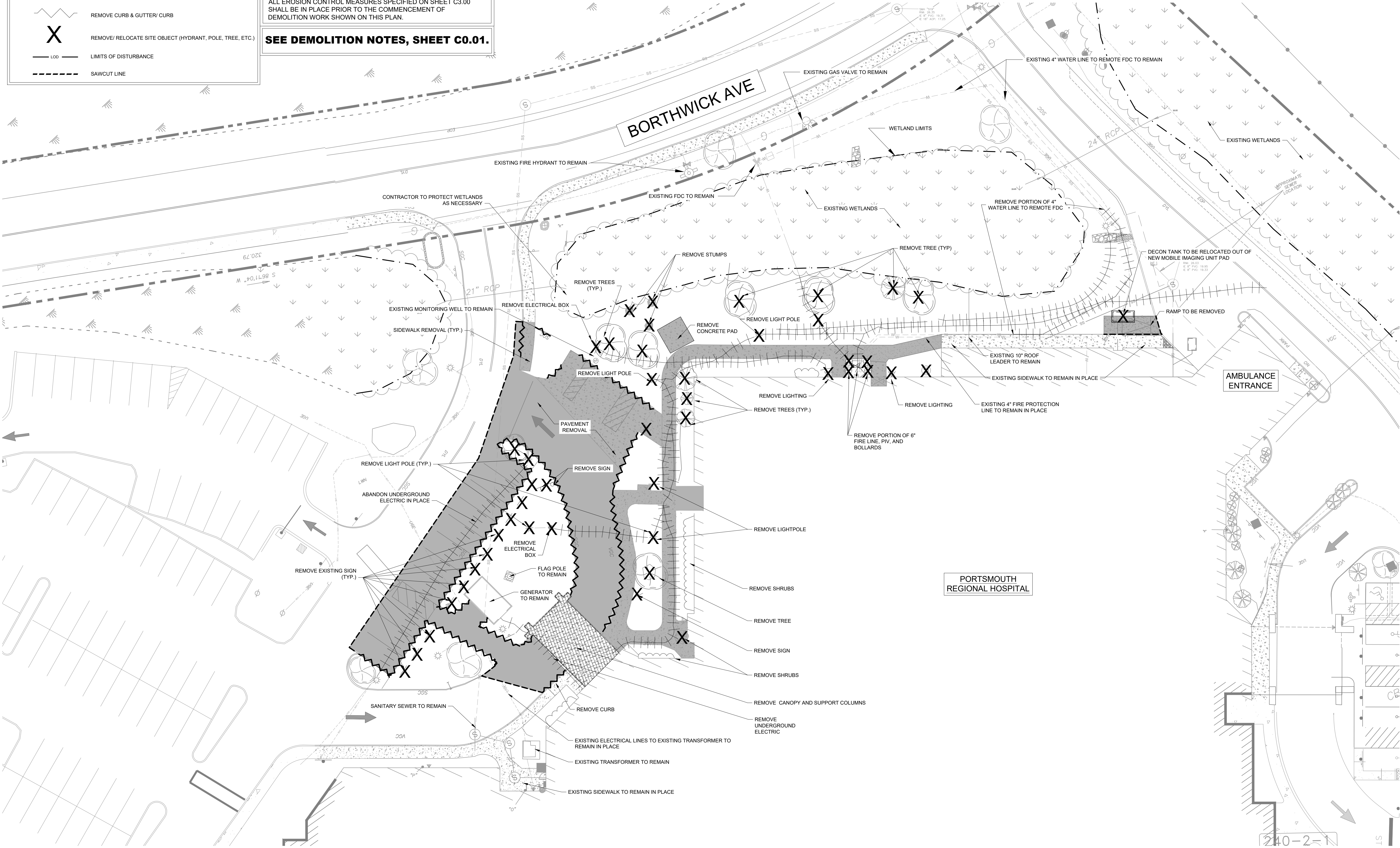
0

10

20

40

NORTH



Kimley»Horn

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PORTSMOUTH REGIONAL
HOSPITAL
RADIATION ONCOLOGY ADDITION
PORTSMOUTH, NEW HAMPSHIRE

STATE OF NEW HAMPSHIRE
ANDREW JAMES SCHALL
No. 15914
LICENSED PROFESSIONAL ENGINEER

2022

NO.	REVISIONS	DATE	BY
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

DESIGNED BY: ZCN
DRAWN BY: ZCN
CHECKED BY: MEH
DATE: 05/23/2022
KIMLEY-HORN PROJECT NO. 118252004

SITE DEMOLITION PLAN

C2.00

EROSION CONTROL NOTES

1. CONTRACTOR SHALL COORDINATE WITH CITY OF PORTSMOUTH GROWTH MANAGEMENT AND THE COUNTY'S ENVIRONMENTAL INSPECTOR.

2. ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES MAY BE REQUIRED, DURING ANY PHASE OF DEVELOPMENT, AT THE DISCRETION OF THE CITY OF PORTSMOUTH'S ENVIRONMENTAL INSPECTOR.

3. THE CONTRACTOR SHALL ENSURE THAT A FOREMAN OR SUPERVISOR WHO HAS BEEN CERTIFIED UNDER THE NEW HAMPSHIRE STORMWATER, EROSION AND SEDIMENTATION CONTROL INSPECTOR TRAINING PROGRAM IS AVAILABLE IN PERSON OR BY PHONE AT ALL TIMES DURING CONSTRUCTION ACTIVITIES. INSPECTOR TO BE DESIGNATED AND AVAILABLE AT THE PRE-CONSTRUCTION MEETING.

4. SILT FENCE SHOWN ON THESE PLANS SHALL BE INSTALLED GENERALLY IN THE LOCATIONS INDICATED. ADJUSTED FOR FIELD CONSTRAINTS. ALL PROPOSED SILT FENCE LOCATED WITHIN THE CRITICAL PROTECTION ZONE OF A TREE SHALL BE OF A NON-TRENCHED VARIETY, UNLESS ARBORICULTURAL MITIGATION STATES OTHERWISE.

5. CONTRACTOR SHALL INSPECT AND REPAIR ALL BMP's AT LEAST ONCE A WEEK, AND AFTER EVERY SIGNIFICANT RAIN EVENT (> 1/2" OF RAINFALL) A LOG OF SUCH INSPECTIONS SHALL BE MAINTAINED AT THE SITE.
6. ANY BMP IN NEED OF REPAIR OR REINSTALLATION SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS OF IDENTIFICATION OF THE NEED FOR SUCH CORRECTION.

7. ADDITIONAL BMP MEASURES MAY BE NECESSARY TO ENSURE THAT TURBID WATER IS NOT DISCHARGED FROM THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN, THE N.P.D.E.S. PERMIT AND THE CONDITIONS OF THE APPLICABLE ENVIRONMENTAL RESOURCE PERMIT.

9. ALL DISTURBED AREAS TO BE LEFT IDLE LONGER THAN 14 DAYS MUST BE STABILIZED WITH QUICK GROW GRASS SEED AND MULCH.

10. NO TRENCHING OR EXCAVATION SHALL BE ALLOWED WITHIN THE CPZ OF PROTECTED TREES, EXCEPT WHERE DEBITS HAVE BEEN NOTED ON THE TREE REMOVAL PLANS OR WHERE TREES ARE TO BE IMPACTED/MITIGATED PER THE TREE MITIGATION PLANS.


11. STREET SWEEPING WILL BE REQUIRED AS NECESSARY.


12. IMPROVEMENTS SHOWN FOR REFERENCE ONLY.


13. COORDINATE DISPOSAL OF EXCAVATED MATERIAL WITH OWNER.


14. ALL EROSION CONTROL MEASURES ARE TO BE MADE OF NATURAL MATERIALS.


EROSION CONTROL LEGEND


-  IP


 SF


 EE


 OP


 CW


 CE





 TP


 IP


 SF


 EE

 OP

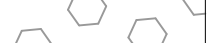

 CW

 CE

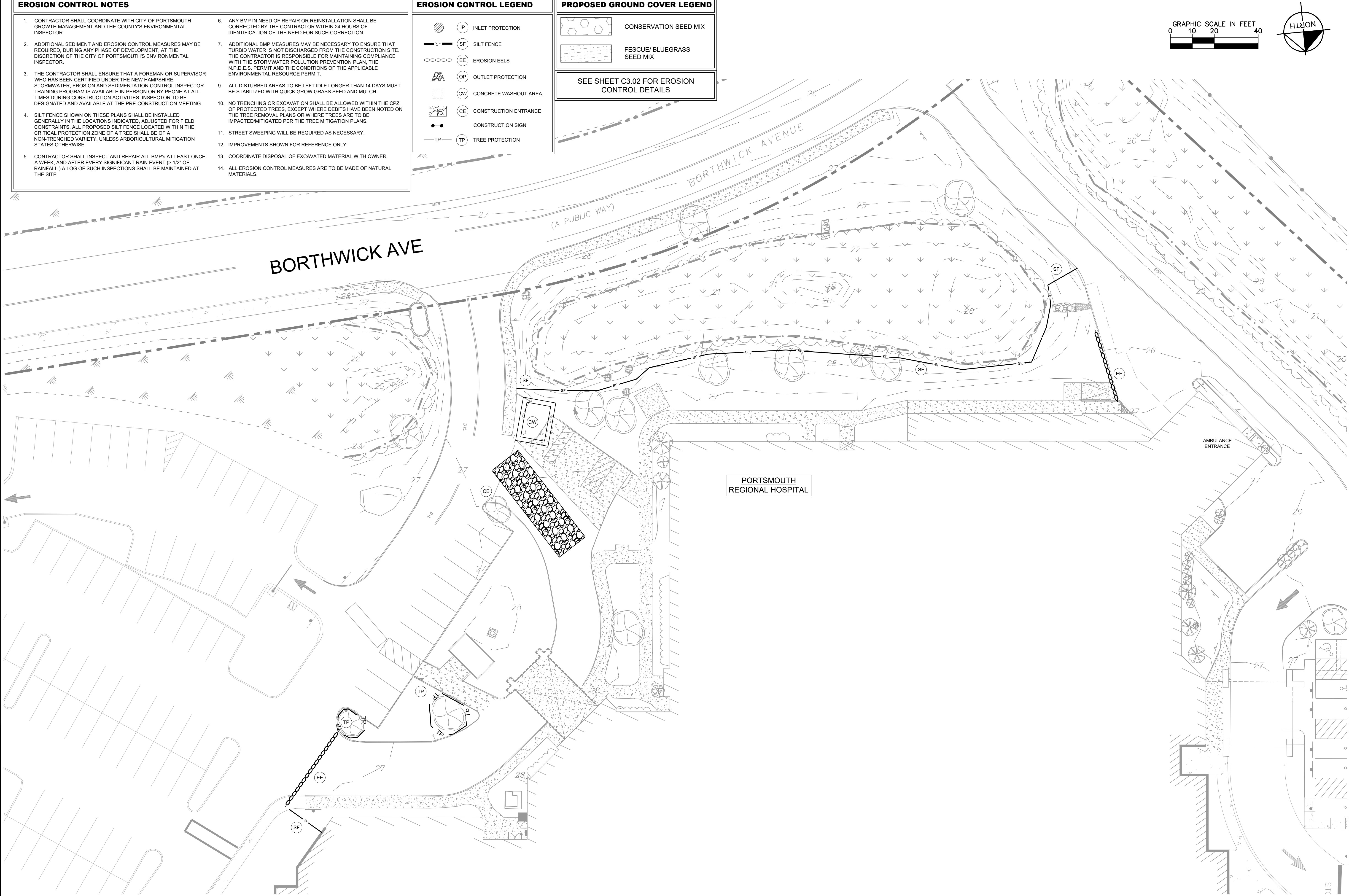


 TP

PROPOSED GROUND COVER LEGEND

-  CONSERVATION SEED MIX
-  FESCUE/ BLUEGRASS SEED MIX

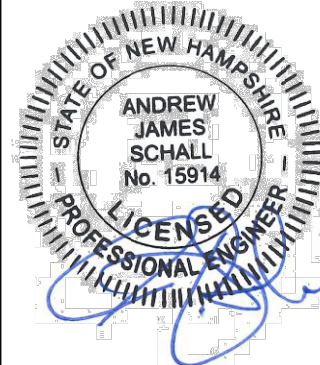
SEE SHEET C3.02 FOR EROSION CONTROL DETAILS



Kimley»Horn

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PORTSMOUTH REGIONAL
HOSPITAL
RADIATION ONCOLOGY ADDITION
PORTSMOUTH, NEW HAMPSHIRE



REVISIONS		DATE	BY
No.	1	2	3
DESIGNED BY: ZCN			
DRAWN BY: ZCN			
CHECKED BY: MEH			
DATE: 05/23/2022			
KIMLEY-HORN PROJECT NO. 118252004			
EROSION CONTROL PLAN - PHASE 1			
C3.00			

EROSION CONTROL NOTES

1. CONTRACTOR SHALL COORDINATE WITH CITY OF PORTSMOUTH GROWTH MANAGEMENT AND THE COUNTY'S ENVIRONMENTAL INSPECTOR.
2. ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES MAY BE REQUIRED, DURING ANY PHASE OF DEVELOPMENT, AT THE DISCRETION OF THE CITY OF PORTSMOUTH'S ENVIRONMENTAL INSPECTOR.
3. THE CONTRACTOR SHALL ENSURE THAT A FOREMAN OR SUPERVISOR WHO HAS BEEN CERTIFIED UNDER THE NEW HAMPSHIRE STORMWATER, EROSION AND SEDIMENTATION CONTROL INSPECTOR TRAINING PROGRAM IS AVAILABLE IN PERSON OR BY PHONE AT ALL TIMES DURING CONSTRUCTION ACTIVITIES. INSPECTOR TO BE DESIGNATED AND AVAILABLE AT THE PRE-CONSTRUCTION MEETING.
4. SILT FENCE SHOWN ON THESE PLANS SHALL BE INSTALLED GENERALLY IN THE LOCATIONS INDICATED. ADJUSTED FOR FIELD CONSTRAINTS. ALL PROPOSED SILT FENCE LOCATED WITHIN THE CRITICAL PROTECTION ZONE OF A TREE SHALL BE OF A NON-TRENCHED VARIETY, UNLESS ARBORICULTURAL MITIGATION STATES OTHERWISE.
5. CONTRACTOR SHALL INSPECT AND REPAIR ALL BMP's AT LEAST ONCE A WEEK, AND AFTER EVERY SIGNIFICANT RAIN EVENT (> 1/2" OF RAINFALL) A LOG OF SUCH INSPECTIONS SHALL BE MAINTAINED AT THE SITE.
6. ANY BMP IN NEED OF REPAIR OR REINSTALLATION SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS OF IDENTIFICATION OF THE NEED FOR SUCH CORRECTION.
7. ADDITIONAL BMP MEASURES MAY BE NECESSARY TO ENSURE THAT TURBID WATER IS NOT DISCHARGED FROM THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN, THE N.P.D.E.S. PERMIT AND THE CONDITIONS OF THE APPLICABLE ENVIRONMENTAL RESOURCE PERMIT.
9. ALL DISTURBED AREAS TO BE LEFT IDLE LONGER THAN 14 DAYS MUST BE STABILIZED WITH QUICK GROW GRASS SEED AND MULCH.
10. NO TRENCHING OR EXCAVATION SHALL BE ALLOWED WITHIN THE CPZ OF PROTECTED TREES, EXCEPT WHERE DEBITS HAVE BEEN NOTED ON THE TREE REMOVAL PLANS OR WHERE TREES ARE TO BE IMPACTED/MITIGATED PER THE TREE MITIGATION PLANS.
11. STREET SWEEPING WILL BE REQUIRED AS NECESSARY.
12. IMPROVEMENTS SHOWN FOR REFERENCE ONLY.
13. COORDINATE DISPOSAL OF EXCAVATED MATERIAL WITH OWNER.
14. ALL EROSION CONTROL MEASURES ARE TO BE MADE OF NATURAL MATERIALS.

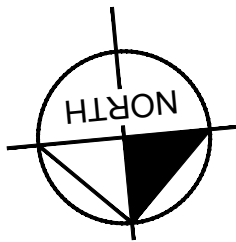
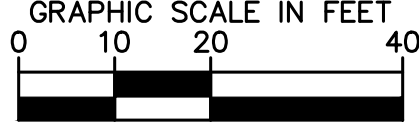
EROSION CONTROL LEGEND

- | | | |
|--|----|-----------------------|
| | IP | INLET PROTECTION |
| | SF | SILT FENCE |
| | EE | EROSION EELS |
| | OP | OUTLET PROTECTION |
| | CW | CONCRETE WASHOUT AREA |
| | CE | CONSTRUCTION ENTRANCE |
| | | CONSTRUCTION SIGN |
| | TP | TREE PROTECTION |

PROPOSED GROUND COVER LEGEND

- | | |
|--|----------------------------|
| | CONSERVATION SEED MIX |
| | FESCUE/ BLUEGRASS SEED MIX |

SEE SHEET C3.02 FOR EROSION CONTROL DETAILS



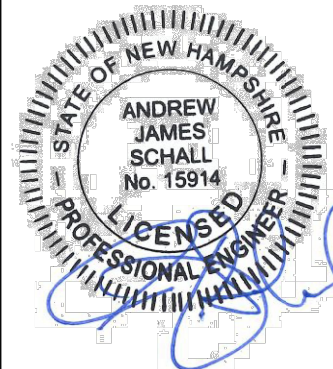
BORTHWICK AVE

PORTSMOUTH
REGIONAL HOSPITAL

MOBILE UNIT

AMBULANCE
ENTRANCE

PORTSMOUTH REGIONAL
HOSPITAL
RADIATION ONCOLOGY ADDITION
PORTSMOUTH, NEW HAMPSHIRE

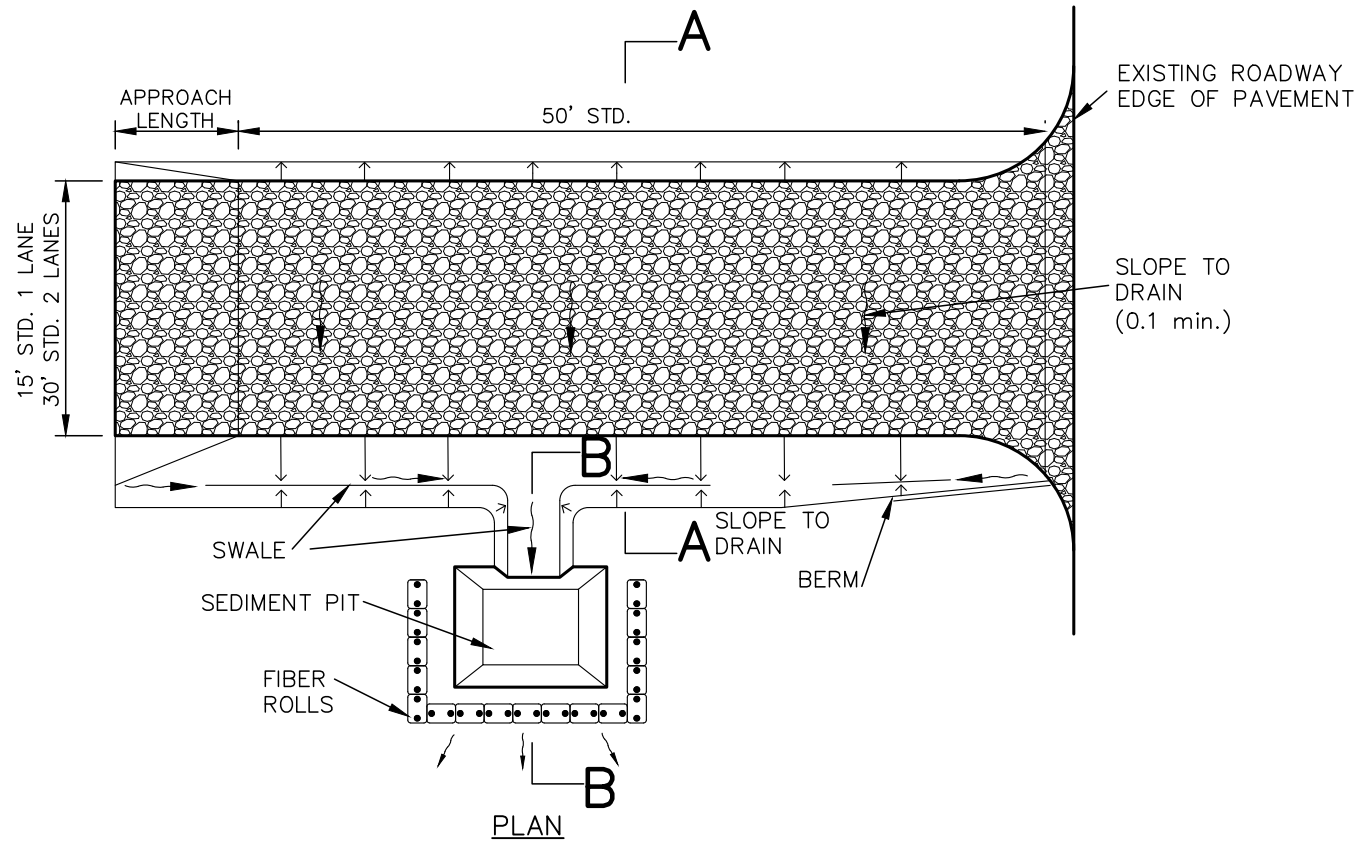
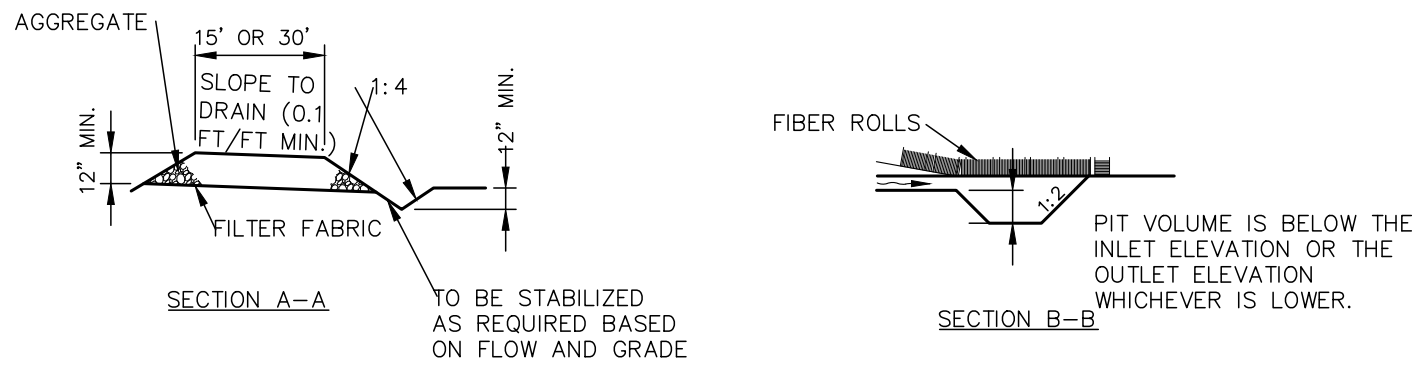


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KIMLEY-HORN PROJECT NO. 118252004

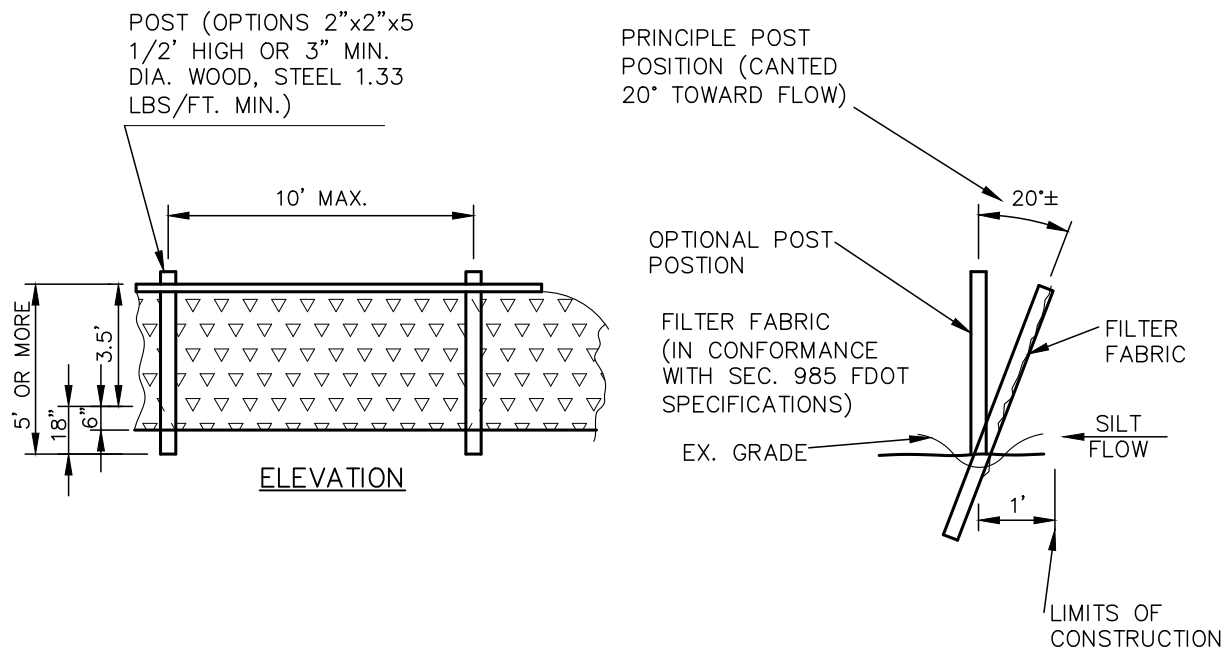
EROSION
CONTROL PLAN -
PHASE 2

C3.01

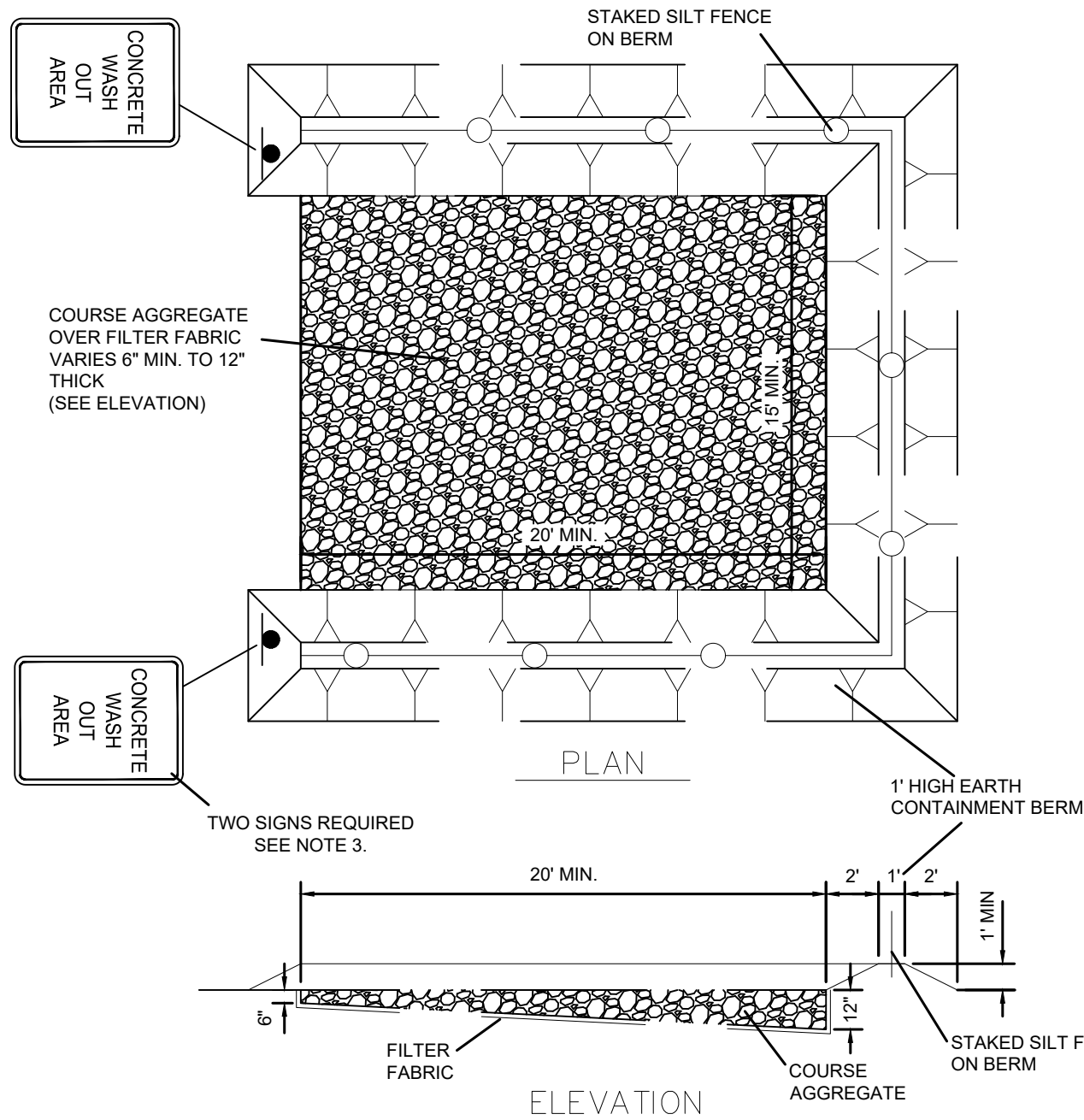


- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS- OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

CE CONSTRUCTION ENTRANCE (SOIL TRACKING PREVENTION)
NOT TO SCALE

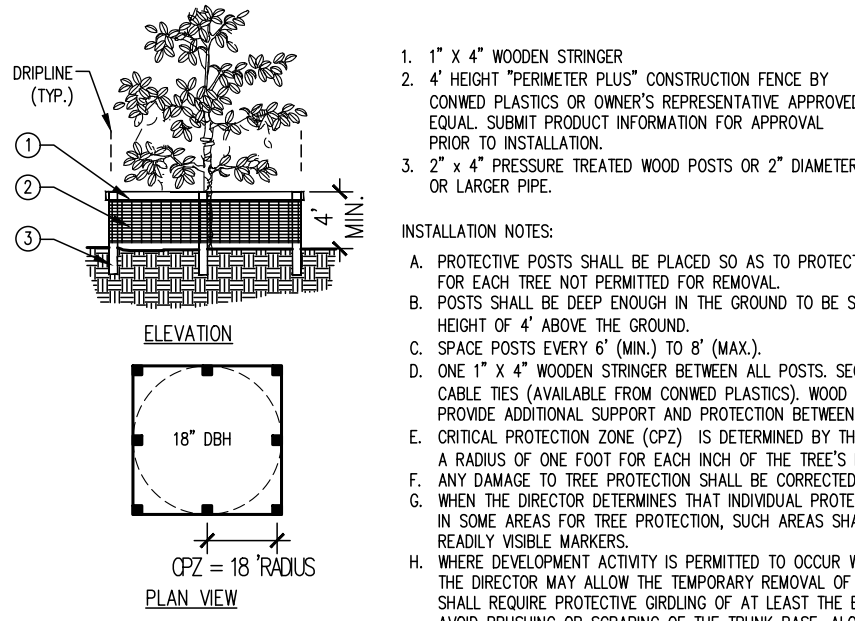


SF SILT FENCE (SEDIMENT BARRIER)
NOT TO SCALE



- NOTES:
1. ALL MATERIAL SHALL BE REMOVED FROM THE SITE AT THE END OF THE PROJECT.
 2. AGGREGATE SHALL BE REPLACED AS DIRECTED BY THE ENGINEER OF RECORD AND/OR THE CITY WHEN EXCESSIVE MATERIALS BUILDUP RENDERS THE WASH OUT AREA NO LONGER FUNCTIONAL.
 3. SIGNS SHALL BE 18" X 12" MIN. SIZE WITH 2" BLACK LETTERING ON A WHITE BACKGROUND AND MOUNTED A MINIMUM OF 7 FEET ABOVE GRADE FROM THE LOWEST EDGE OF THE SIGN FACE.

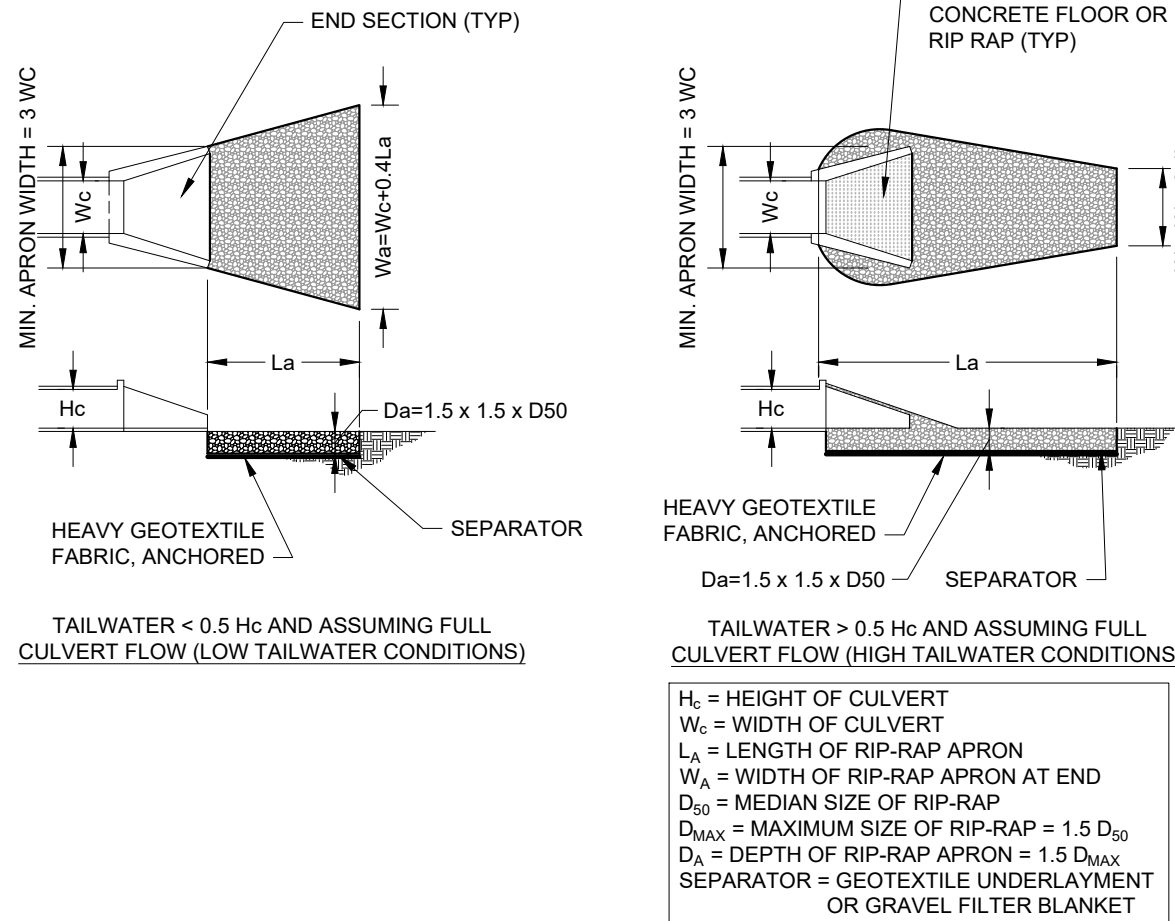
CW CONCRETE WASHOUT
NOT TO SCALE



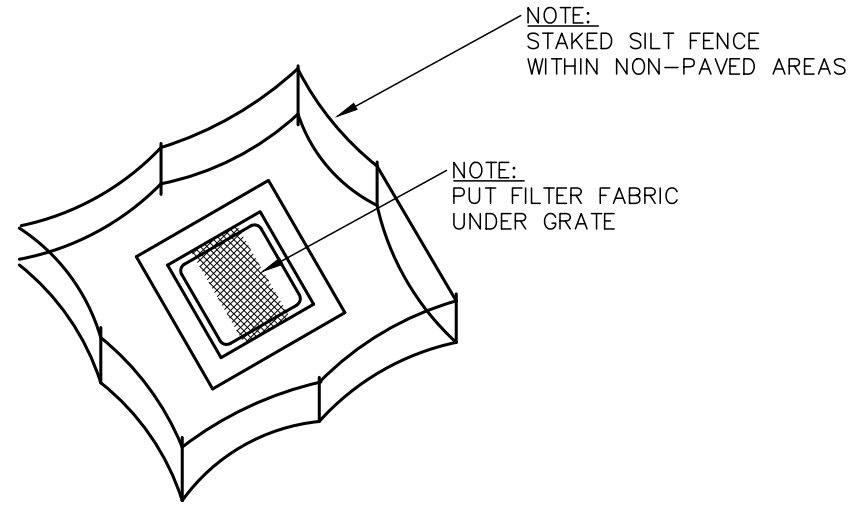
- INSTALLATION NOTES:
- A. PROTECTIVE POSTS SHALL BE PLACED SO AS TO PROTECT THE CRITICAL PROTECTION ZONE (CPZ) FOR EACH TREE NOT PERMITTED FOR REMOVAL.
 - B. POSTS SHALL BE DEEP ENOUGH IN THE GROUND TO BE STABLE AND TO EXTEND TO A MINIMUM HEIGHT OF 4' ABOVE THE GROUND.
 - C. SPACE POSTS EVERY 6' (MIN.) TO 8' (MAX.).
 - D. ONE 1" X 4" WOODEN STRINGER BETWEEN ALL POSTS. SECURE FENCING TO POST WITH NYLON CABLE TIES (AVAILABLE FROM CONED PLASTICS). WOOD STRIPS MAY BE ALSO BE USED TO PROVIDE ADDITIONAL SUPPORT AND PROTECTION BETWEEN TIES AND POSTS.
 - E. CRITICAL PROTECTION ZONE (CPZ) IS DETERMINED BY THE AREA WITHIN THE CIRCLE DESCRIBE BY A RADIUS OF ONE FOOT FOR EACH INCH OF THE TREE'S DIAMETER AT BREAST HEIGHT.
 - F. ANY DAMAGE TO TREE PROTECTION SHALL BE CORRECTED IMMEDIATELY. NO ADDITIONAL PAYMENT.
 - G. WHEN THE DIRECTOR DETERMINES THAT INDIVIDUAL PROTECTIVE TREE BARRIERS ARE NOT NEEDED IN SOME AREAS FOR TREE PROTECTION, SUCH AREAS SHALL BE STAKED AND FLAGGED WITH READILY VISIBLE MARKERS.
 - H. WHERE DEVELOPMENT ACTIVITY IS PERMITTED TO OCCUR WITHIN THE CPZ OF A PROTECTED TREE, THE DIRECTOR MAY ALLOW THE TEMPORARY REMOVAL OF THE TREE PROTECTION BARRIERS AND SHALL REQUIRE PROTECTIVE CORDING OF AT LEAST THE BOTTOM FOUR FEET OF THE TRUNK TO AVOID BRUISING OR SCRAPING OF THE TRUNK BASE, ALONG WITH FENCING OR OTHER APPROVED TECHNIQUES.

NOTE: IF WIRE TIES ARE USED, AVOID DIRECT CONTACT WITH FENCE. WIRE MAY DAMAGE FENCE OVER TIME.

TP TREE PROTECTION
NOT TO SCALE

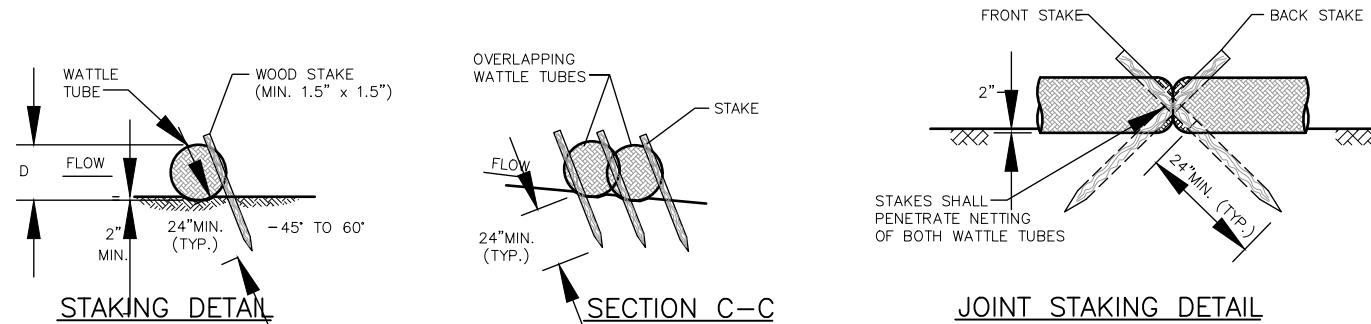
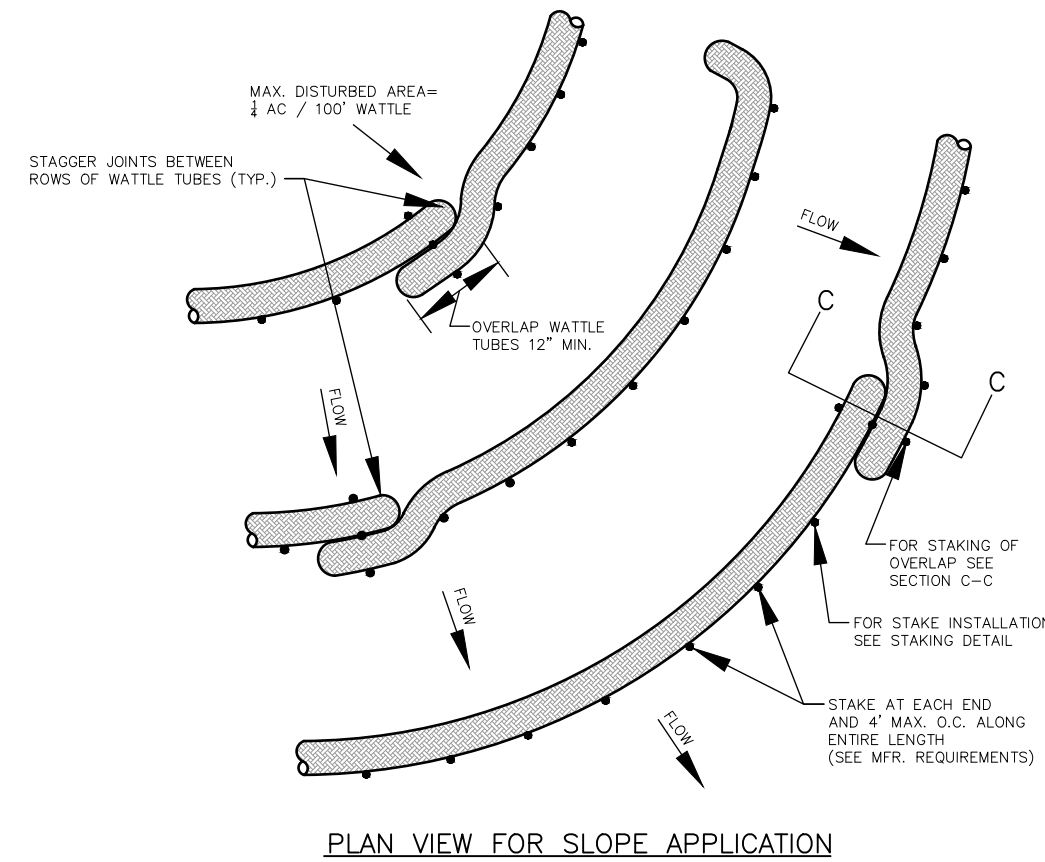


OP OUTLET PROTECTION
NOT TO SCALE

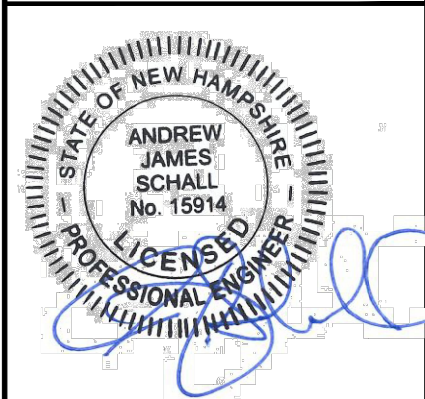
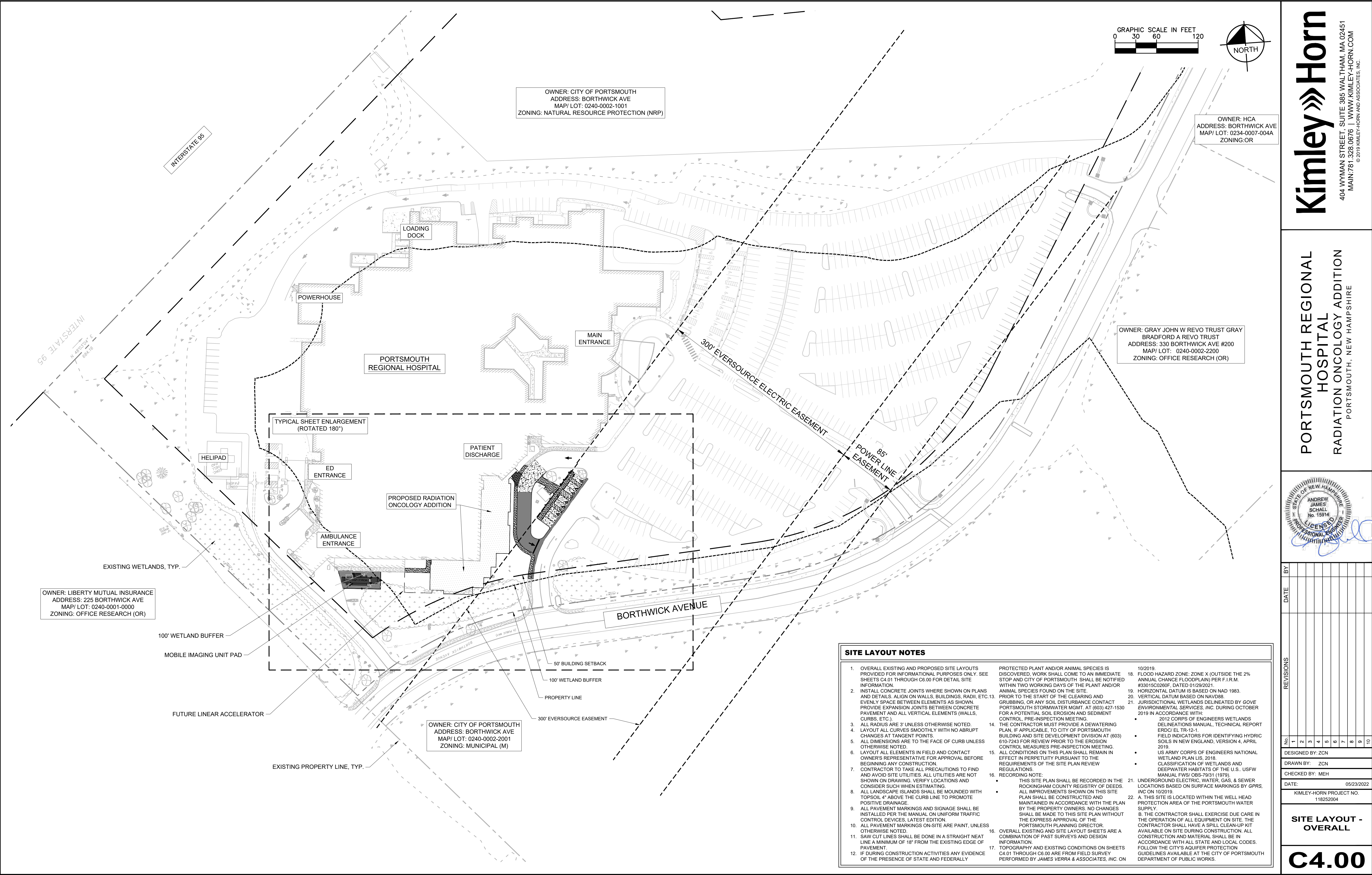


STAKED SILT BARRIER OR SILT FENCE PROTECTION AROUND DITCH BOTTOM INLETS

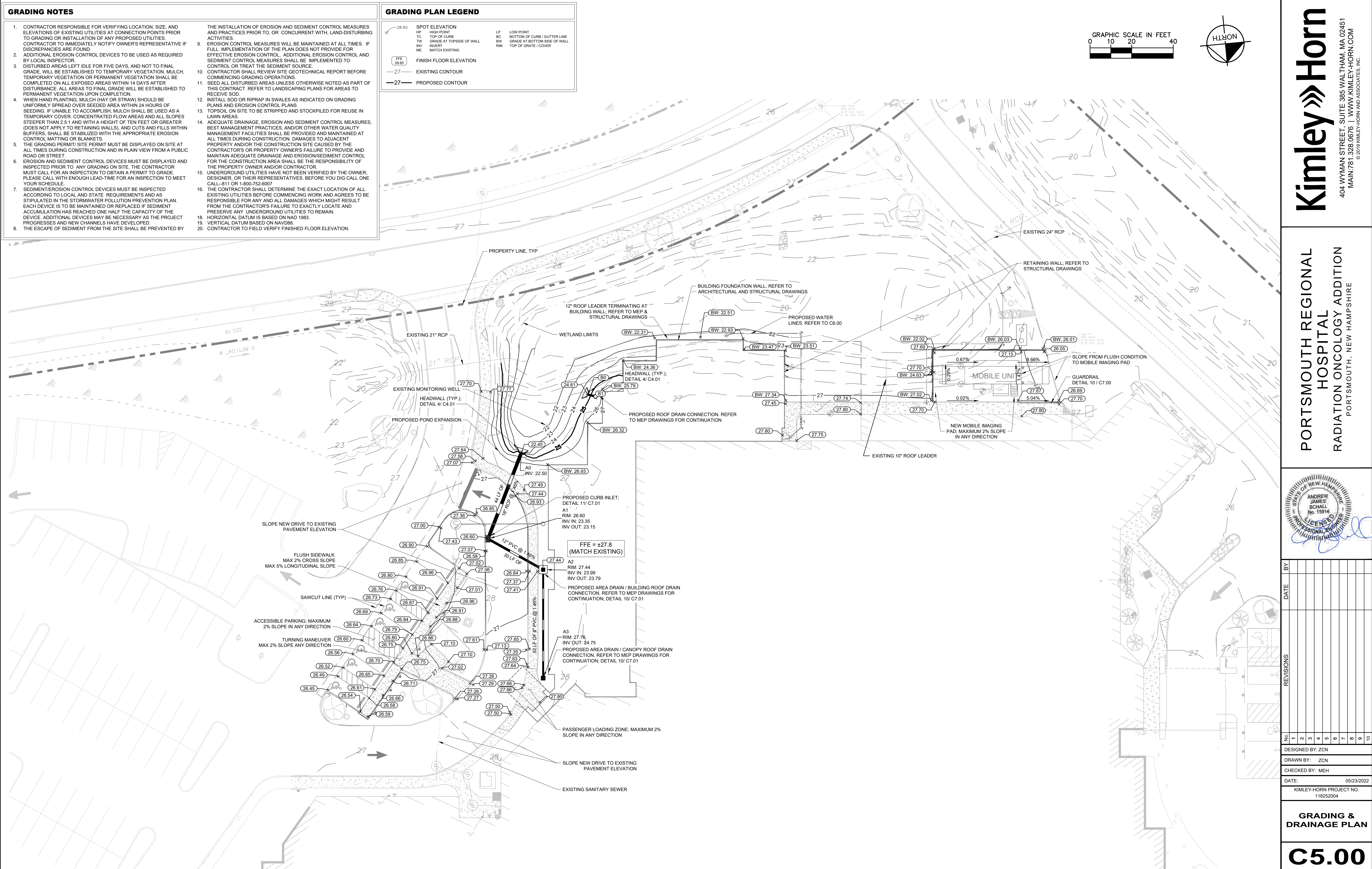
IP INLET PROTECTION
NOT TO SCALE



EE EROSION EELS
NOT TO SCALE



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DESIGNED BY: ZCN			
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CHECKED BY: MEH			
DATE: 05/23/2022			
KIMLEY-HORN PROJECT NO. 118252004			
SITE LAYOUT - OVERALL			
C4.00			



- GRADING NOTES**
1. CONTRACTOR RESPONSIBLE FOR VERIFYING LOCATION, SIZE, AND ELEVATIONS OF EXISTING UTILITIES AT CONNECTION POINTS PRIOR TO GRADING OR INSTALLATION OF ANY PROPOSED UTILITIES. CONTRACTOR TO IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
 2. ADDITIONAL EROSION CONTROL DEVICES TO BE USED AS REQUIRED BY LOCAL INSPECTOR.
 3. DISTURBED AREAS LEFT IDLE FOR FIVE DAYS, AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION. MULCH, TEMPORARY VEGETATION OR PERMANENT VEGETATION SHALL BE COMPLETED ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE. ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION UPON COMPLETION.
 4. WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING; IF UNABLE TO ACCOMPLISH, MULCH SHALL BE USED AS A TEMPORARY COVER. CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2:5:1 AND WITH A HEIGHT OF TEN FEET OR GREATER (DOES NOT APPLY TO RETAINING WALLS), AND CUTS AND FILLS WITHIN BUFFERS, SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKETS.
 5. THE GRADING PERMIT SITE PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.
 6. EROSION AND SEDIMENT CONTROL DEVICES MUST BE DISPLAYED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR MUST CALL FOR AN INSPECTION TO OBTAIN A PERMIT TO GRADE. PLEASE CALL WITH ENOUGH LEAD-TIME FOR AN INSPECTION TO MEET YOUR SCHEDULE.
 7. SEDIMENT/EROSION CONTROL DEVICES MUST BE INSPECTED ACCORDING TO LOCAL AND STATE REQUIREMENTS AND AS STIPULATED IN THE STORMWATER POLLUTION PREVENTION PLAN. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MAY BE NECESSARY AS THE PROJECT PROGRESSES AND NEW CHANNELS HAVE DEVELOPED.
 8. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY
 9. THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
 10. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 11. CONTRACTOR SHALL REVIEW SITE GEOTECHNICAL REPORT BEFORE COMMENCING GRADING OPERATIONS.
 12. SEED ALL DISTURBED AREAS UNLESS OTHERWISE NOTED AS PART OF THIS CONTRACT. REFER TO LANDSCAPING PLANS FOR AREAS TO RECEIVE SOD.
 13. INSTALL SOD OR RIPRAP IN SWALES AS INDICATED ON GRADING PLANS AND EROSION CONTROL PLANS.
 14. TOPSOIL ON SITE TO BE STRIPPED AND STOCKPILED FOR REUSE IN LAWN AREAS.
 15. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER WATER QUALITY MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
 16. UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, DESIGNER, OR THEIR REPRESENTATIVES. BEFORE YOU DIG CALL ONE CALL-811 OR 1-800-752-6007.
 17. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.
 18. HORIZONTAL DATUM IS BASED ON NAD 1983.
 19. VERTICAL DATUM BASED ON NAVD83.
 20. CONTRACTOR TO FIELD VERIFY FINISHED FLOOR ELEVATION.

GRADING PLAN LEGEND

28.60

HP

HIGH POINT

TC

TOP OF CURB

TW

GRADE AT TOPSIDE OF WALL

INV

INVERT

ME

MATCH EXISTING

FFE

28.60

FINISH FLOOR ELEVATION

27

EXISTING CONTOUR

27

PROPOSED CONTOUR

LP

LOW POINT

BC

BOTTOM OF CURB / GUTTER LINE

BW

GRADE AT BOTTOM SIDE OF WALL

RM

TOP OF GRATE / COVER

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PORTSMOUTH REGIONAL
HOSPITAL
RADIATION ONCOLOGY ADDITION
PORTSMOUTH, NEW HAMPSHIRE

STATE OF NEW HAMPSHIRE
ANDREW JAMES SCHALL
No. 15914
LICENSED PROFESSIONAL ENGINEER

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DRAWN BY: ZCN
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KIMLEY-HORN PROJECT NO. 118252004

GRADING &
DRAINAGE PLAN

C5.00

Drawing name: K:\NSH_LDEV\118252004 - portsmouth - cancer center - 2021\4-CADD\plansheets\C5.00 GRADING & DRAINAGE PLAN.dwg C5.00 GRADING & DRAINAGE PLAN May 23, 2022 1:45pm by: Zack Newman

87,/,7< 127(6

1. CONTRACTOR RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS COMPARED TO THOSE SHOWN ON PLAN PRIOR TO GRADING. NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.

2. ALL WATER AND SEWER MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH CITY OF PORTSMOUTH WATER/SEWER DEPARTMENT STANDARD SPECIFICATIONS.

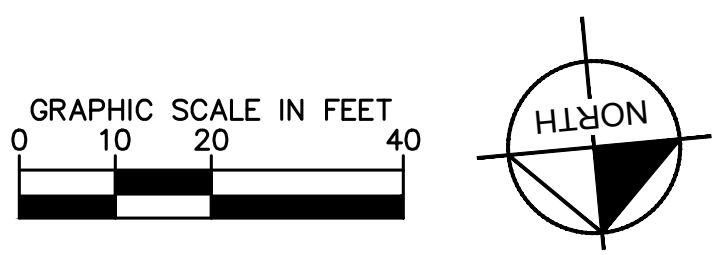
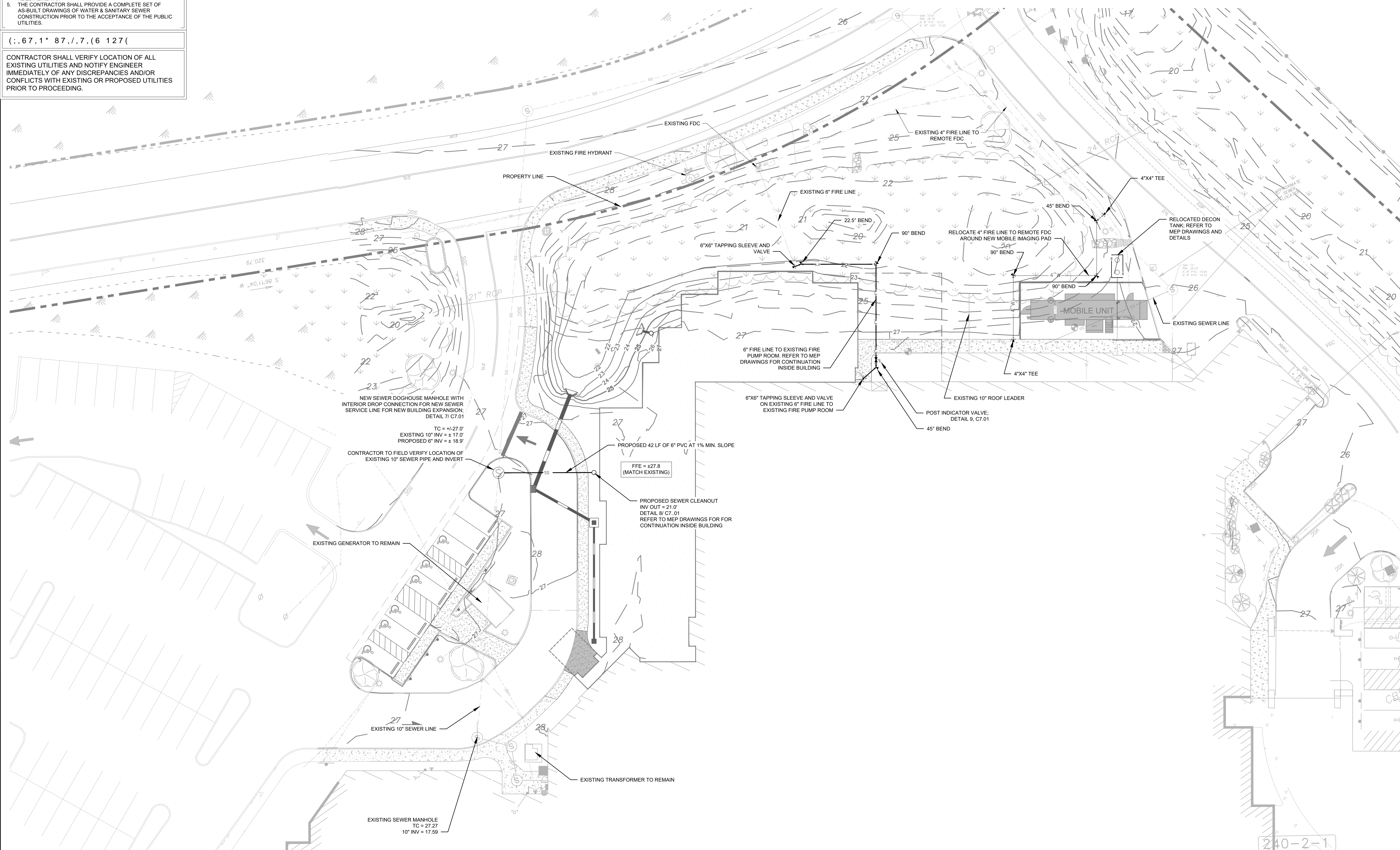
3. MAINTAIN MINIMUM 10 FEET HORIZONTAL SEPARATION BETWEEN WATER & SANITARY SEWER OR 18" VERTICAL SEPARATION AT CROSSING LOCATIONS.

4. REFER TO CITY OF PORTSMOUTH WATER/ SEWER DEPARTMENT STANDARD SPECIFICATIONS FOR PIPE BEDDING REQUIREMENTS.

5. THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS-BUILT DRAWINGS OF WATER & SANITARY SEWER CONSTRUCTION PRIOR TO THE ACCEPTANCE OF THE PUBLIC UTILITIES.

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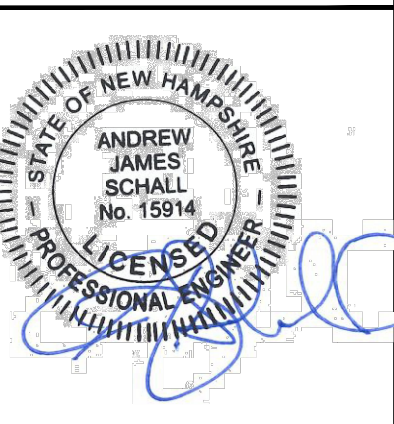
CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.



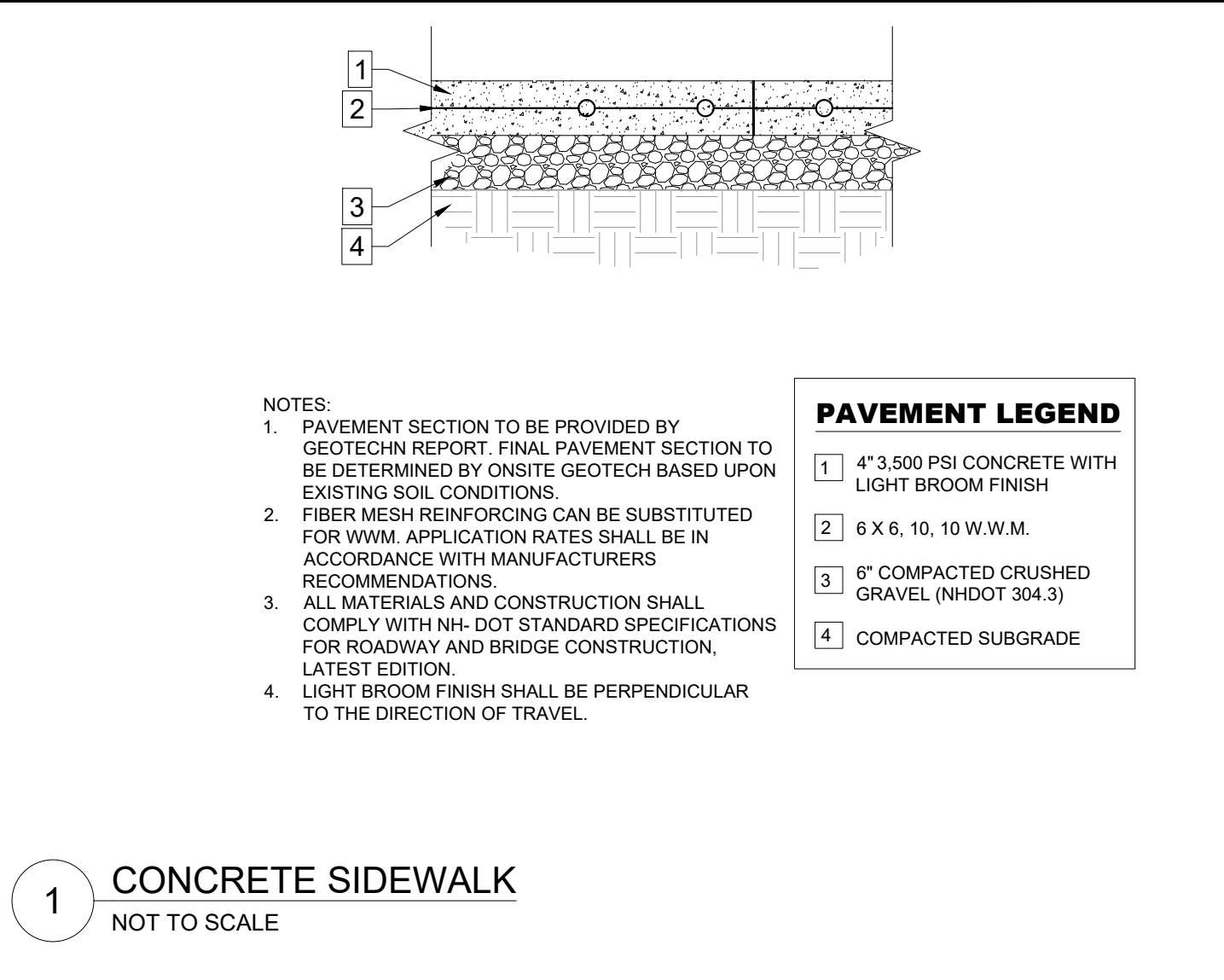
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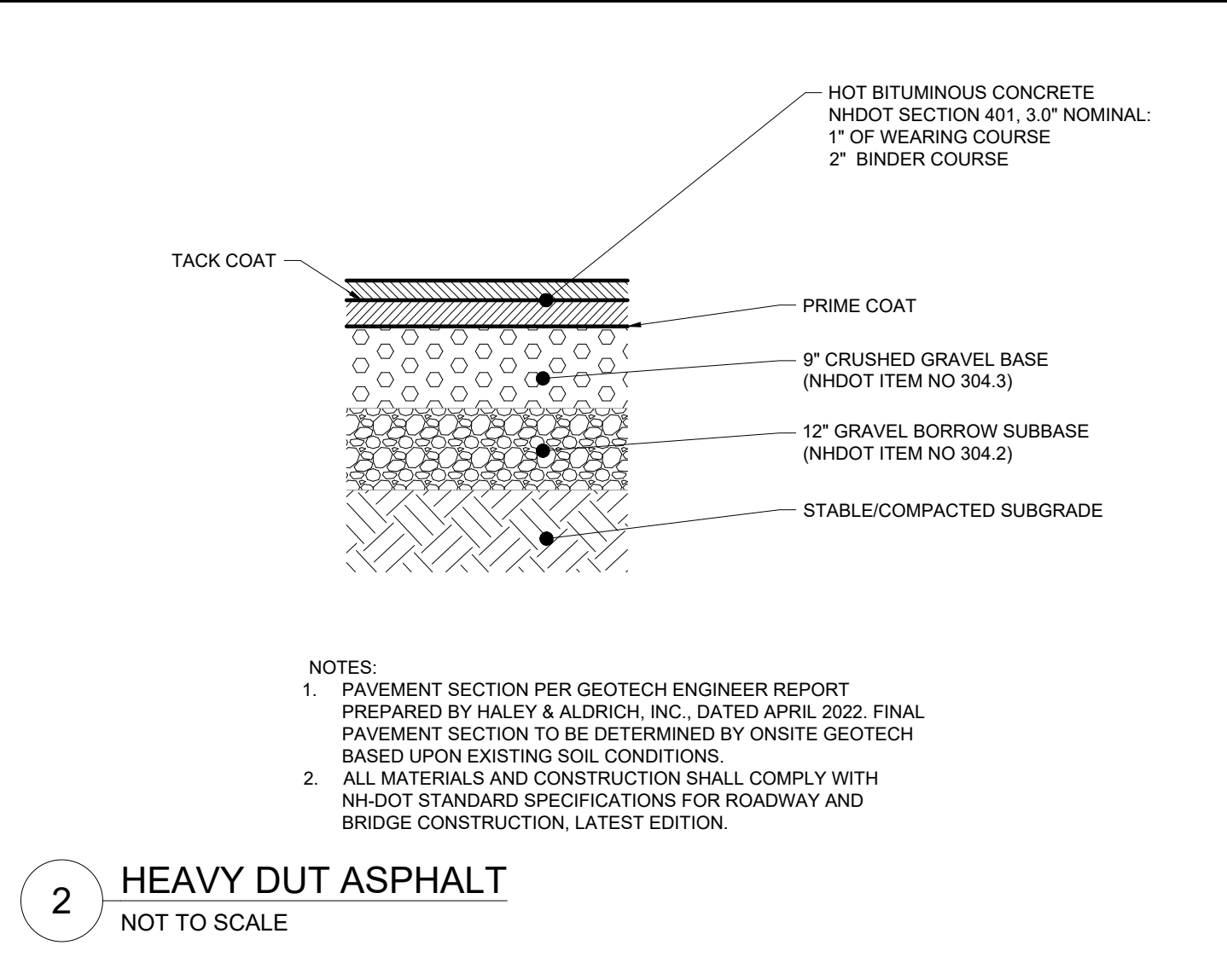
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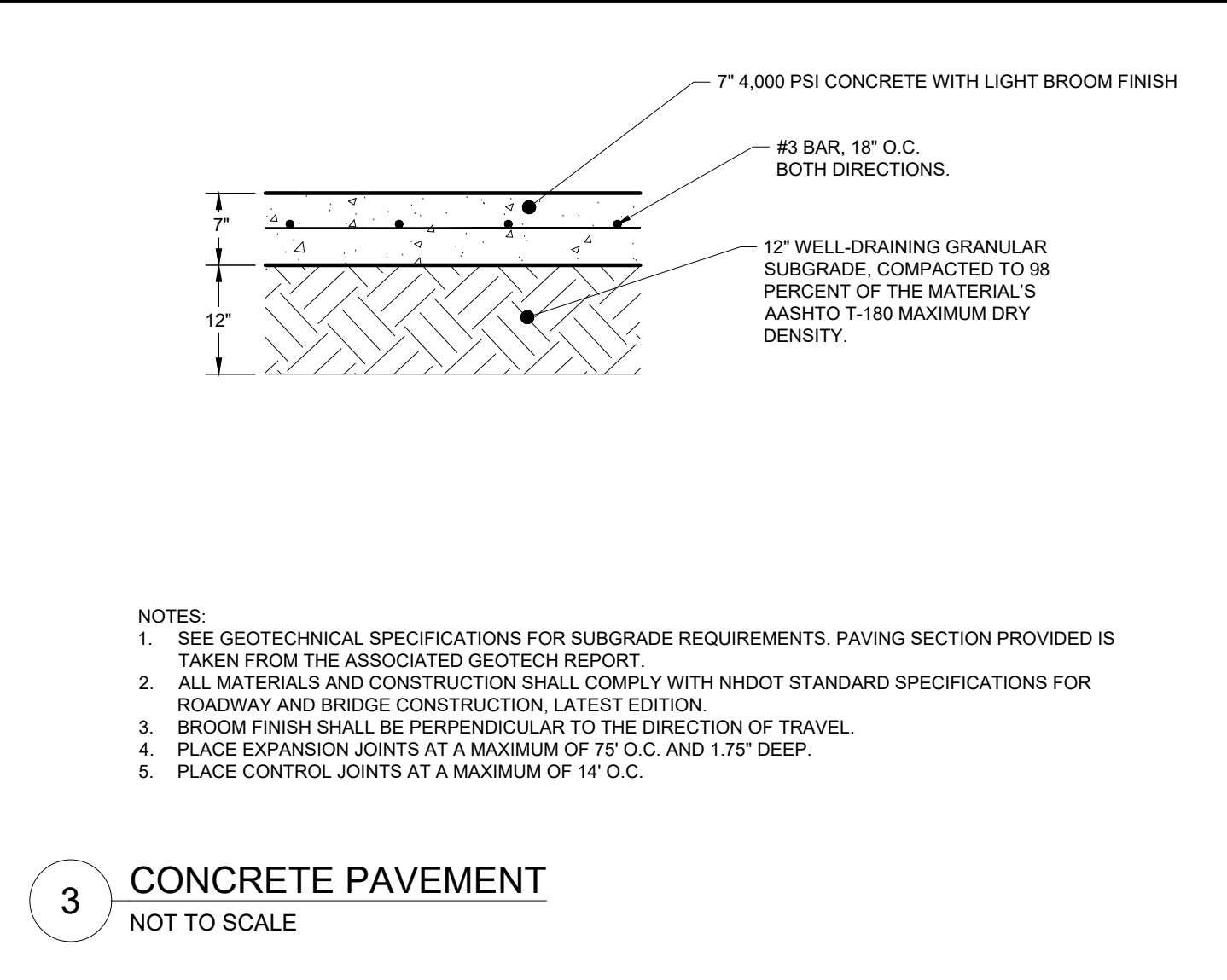
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SITE UTILITY PLAN			
C6.00			



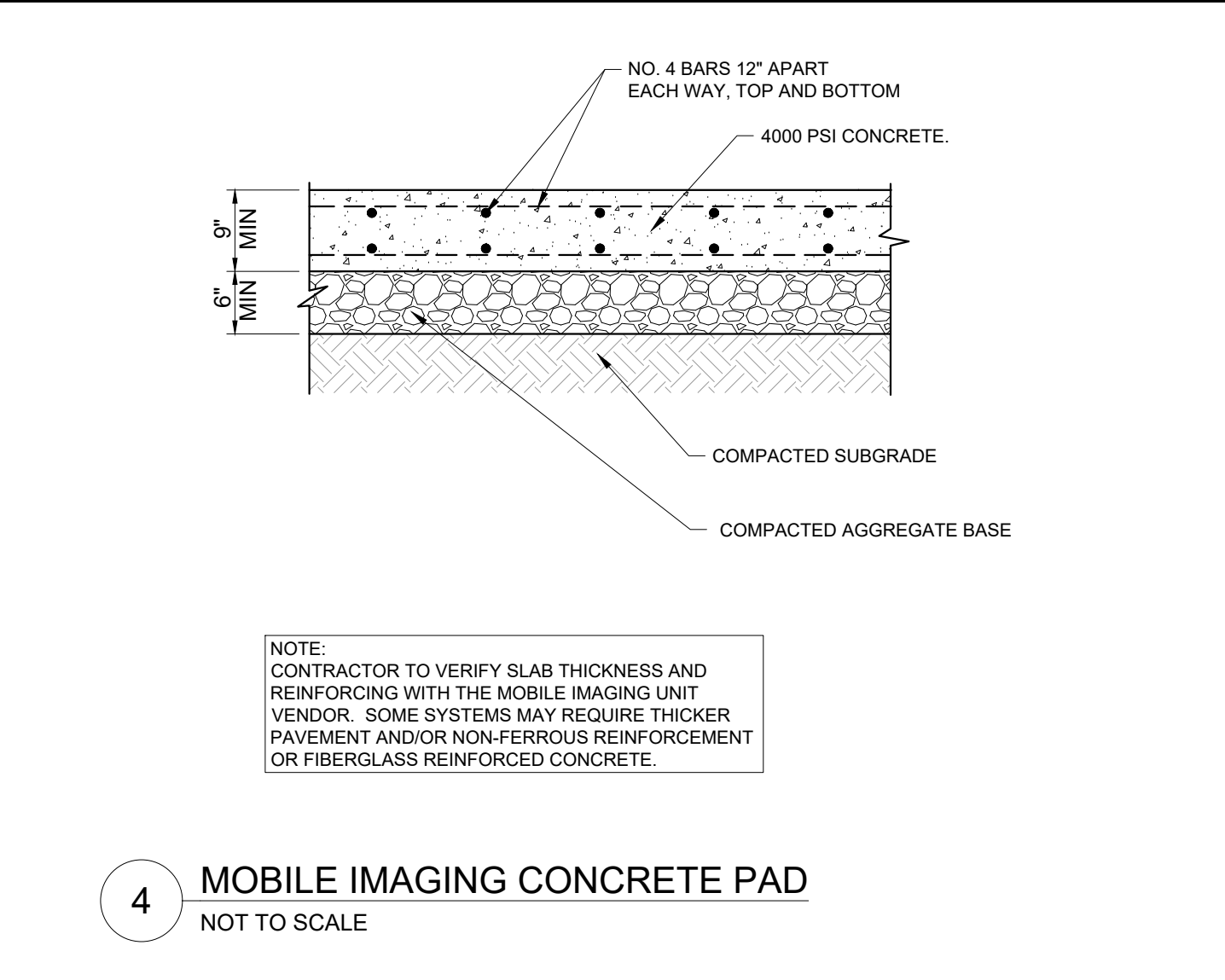
1 CONCRETE SIDEWALK
NOT TO SCALE



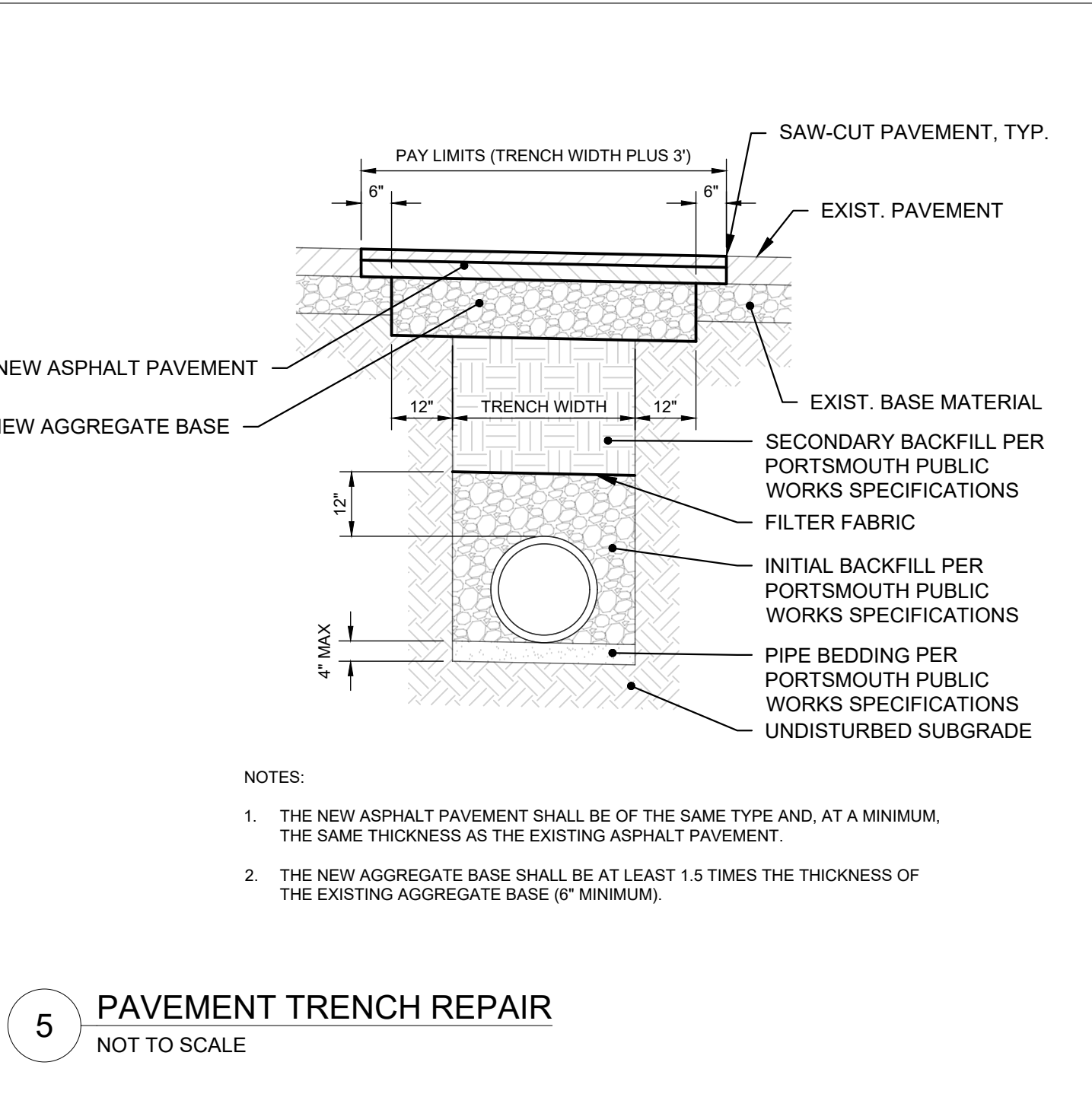
2 HEAVY DUT ASPHALT
NOT TO SCALE



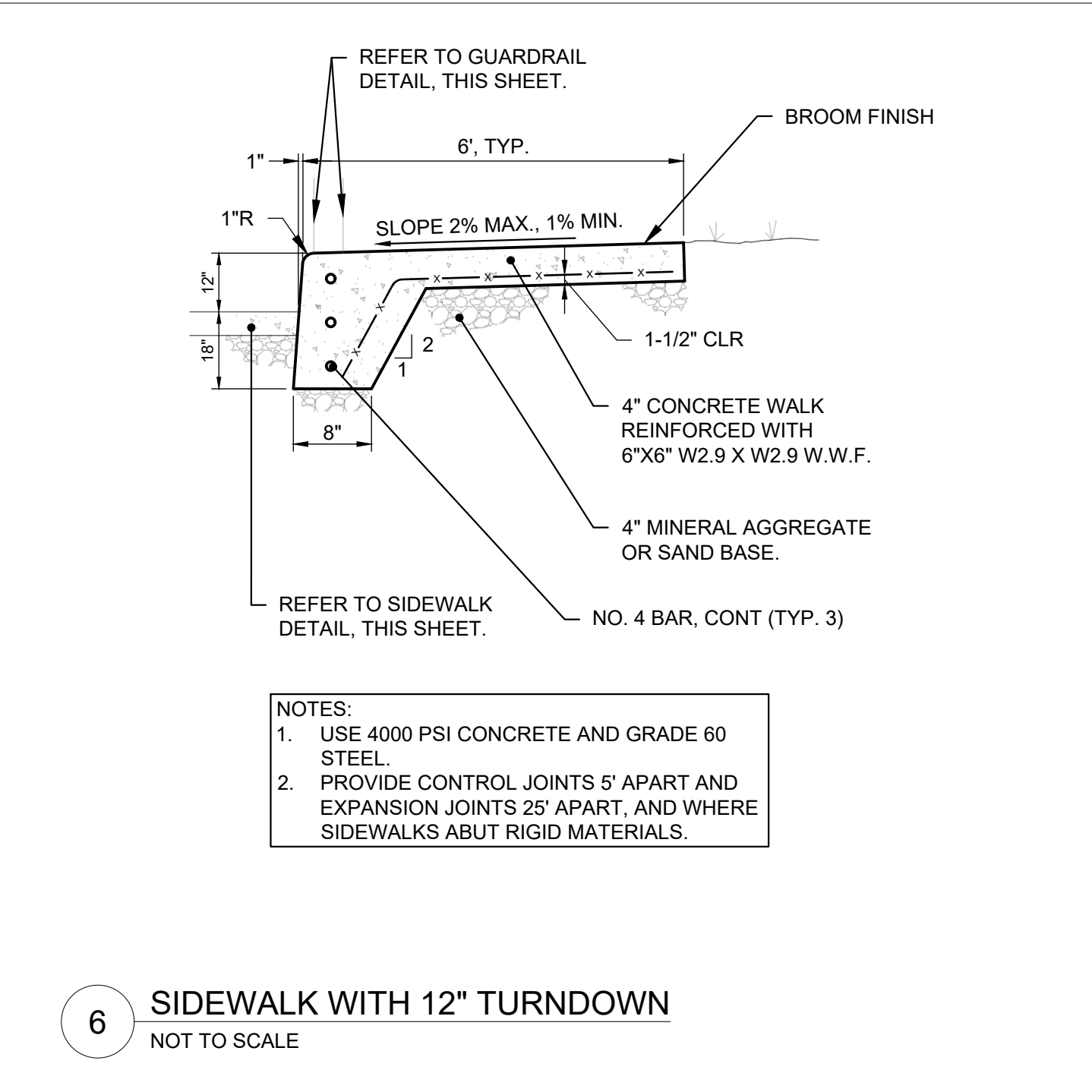
3 CONCRETE PAVEMENT
NOT TO SCALE



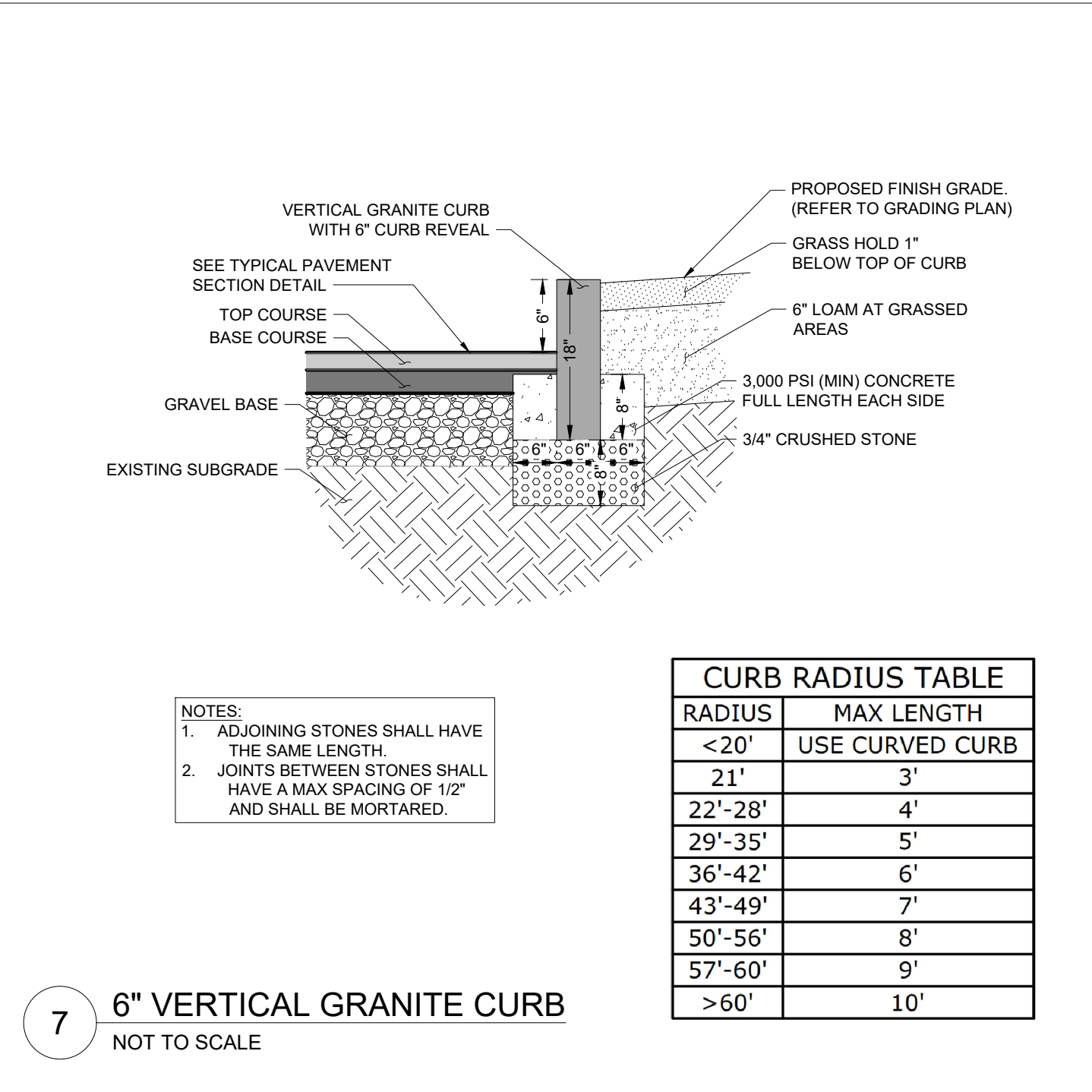
4 MOBILE IMAGING CONCRETE PAD
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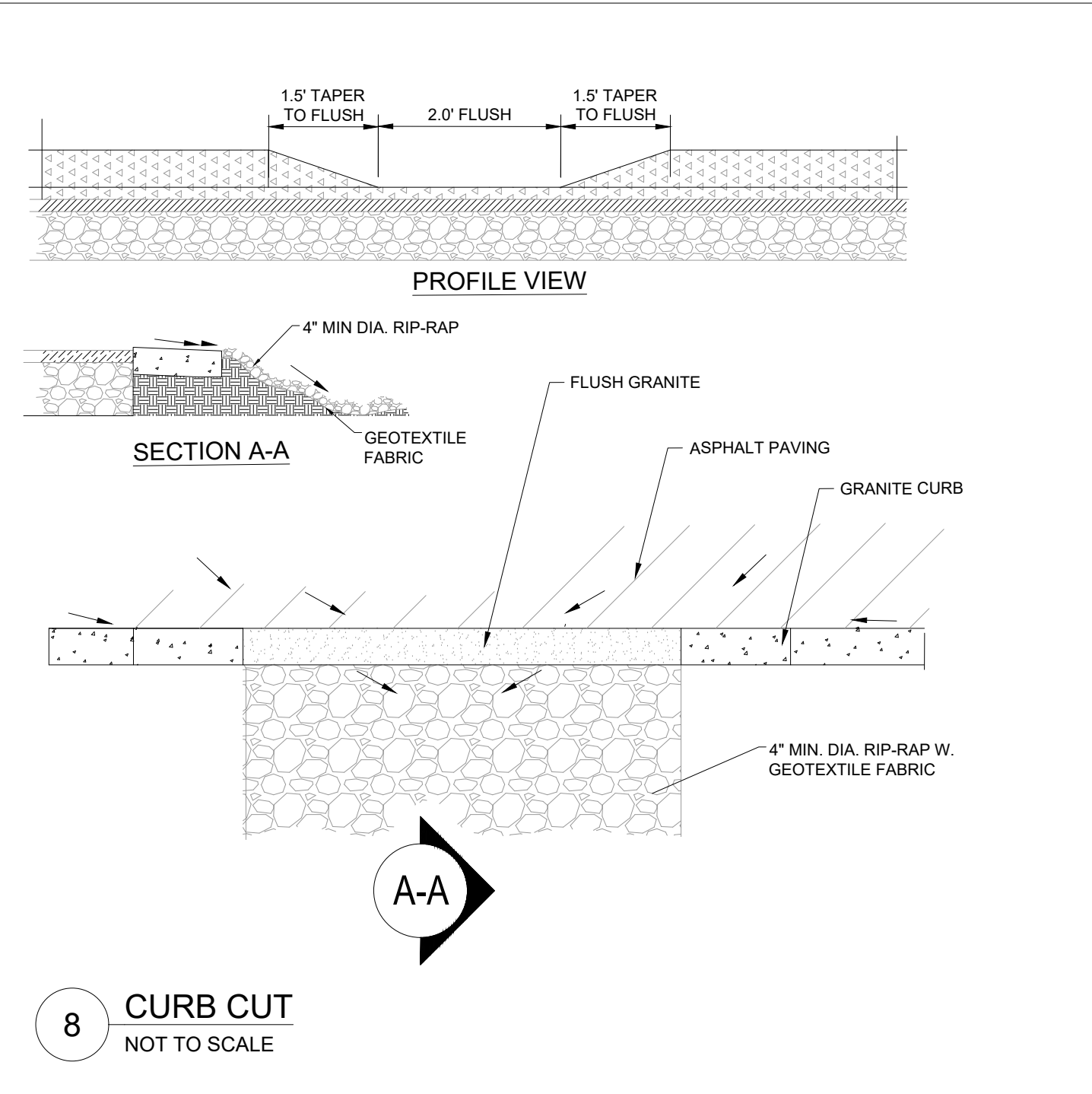
5 PAVEMENT TRENCH REPAIR
NOT TO SCALE



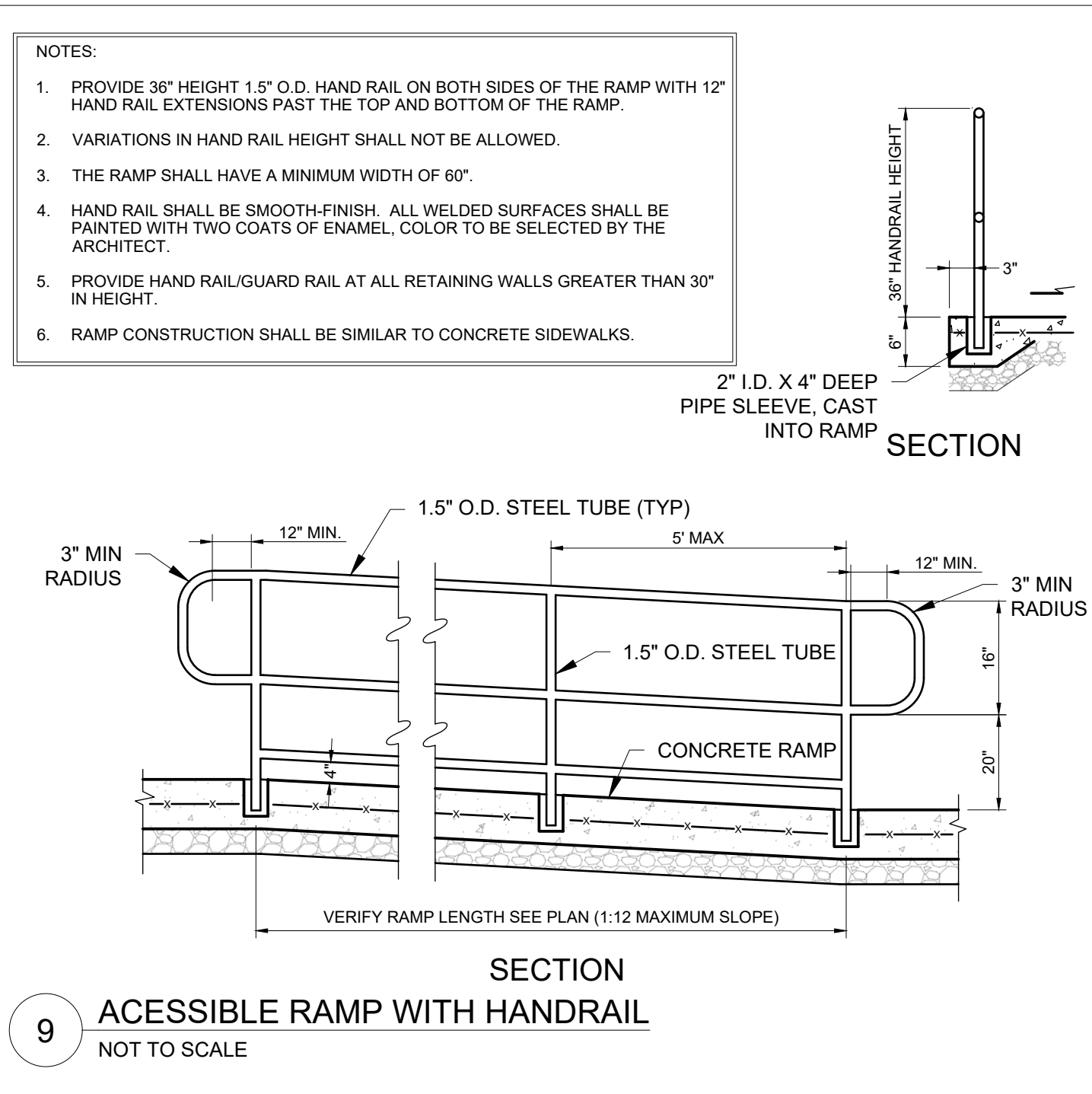
6 SIDEWALK WITH 12" TURNDOWN
NOT TO SCALE



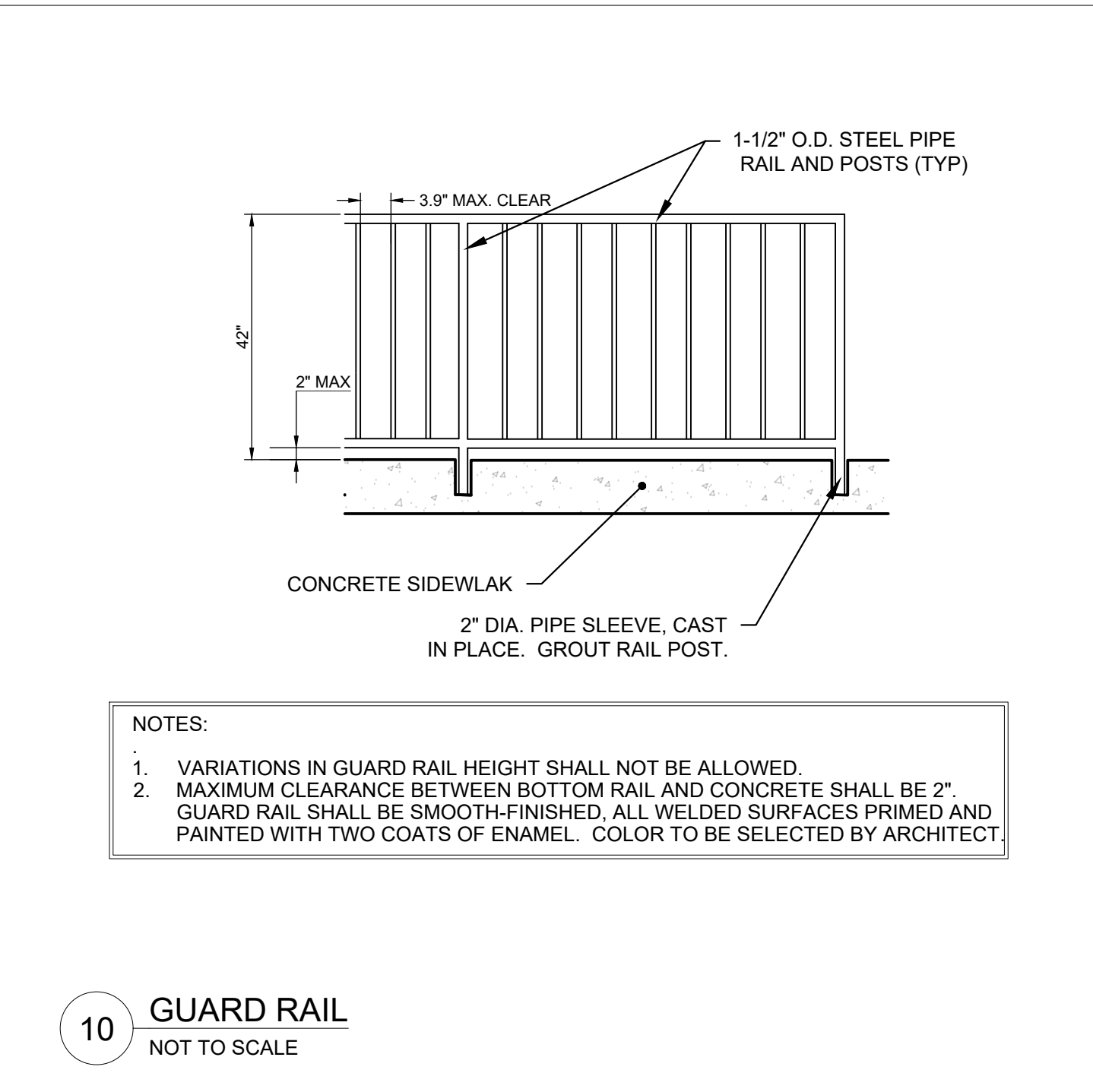
7 6" VERTICAL GRANITE CURB
NOT TO SCALE



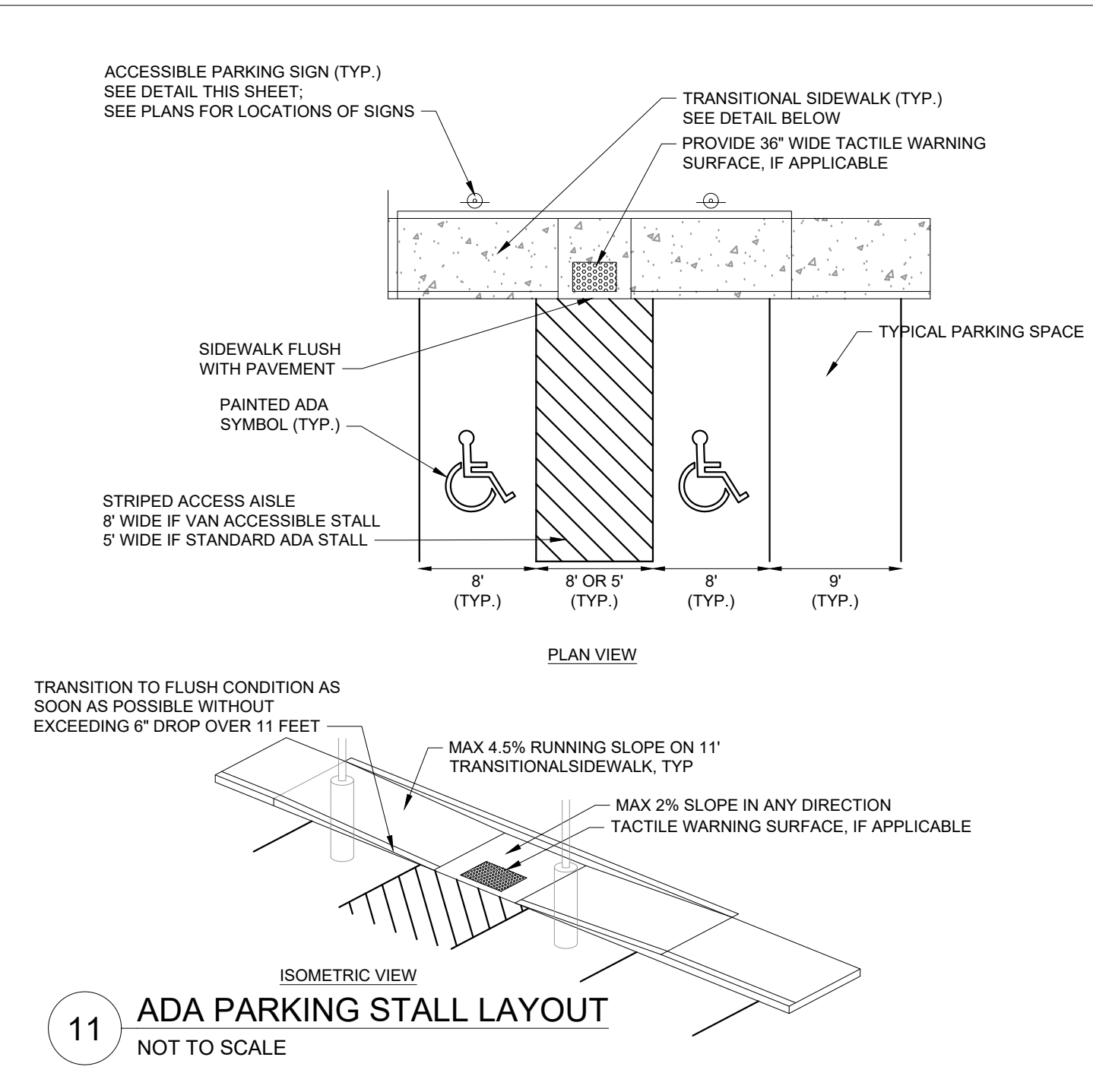
8 CURB CUT
NOT TO SCALE



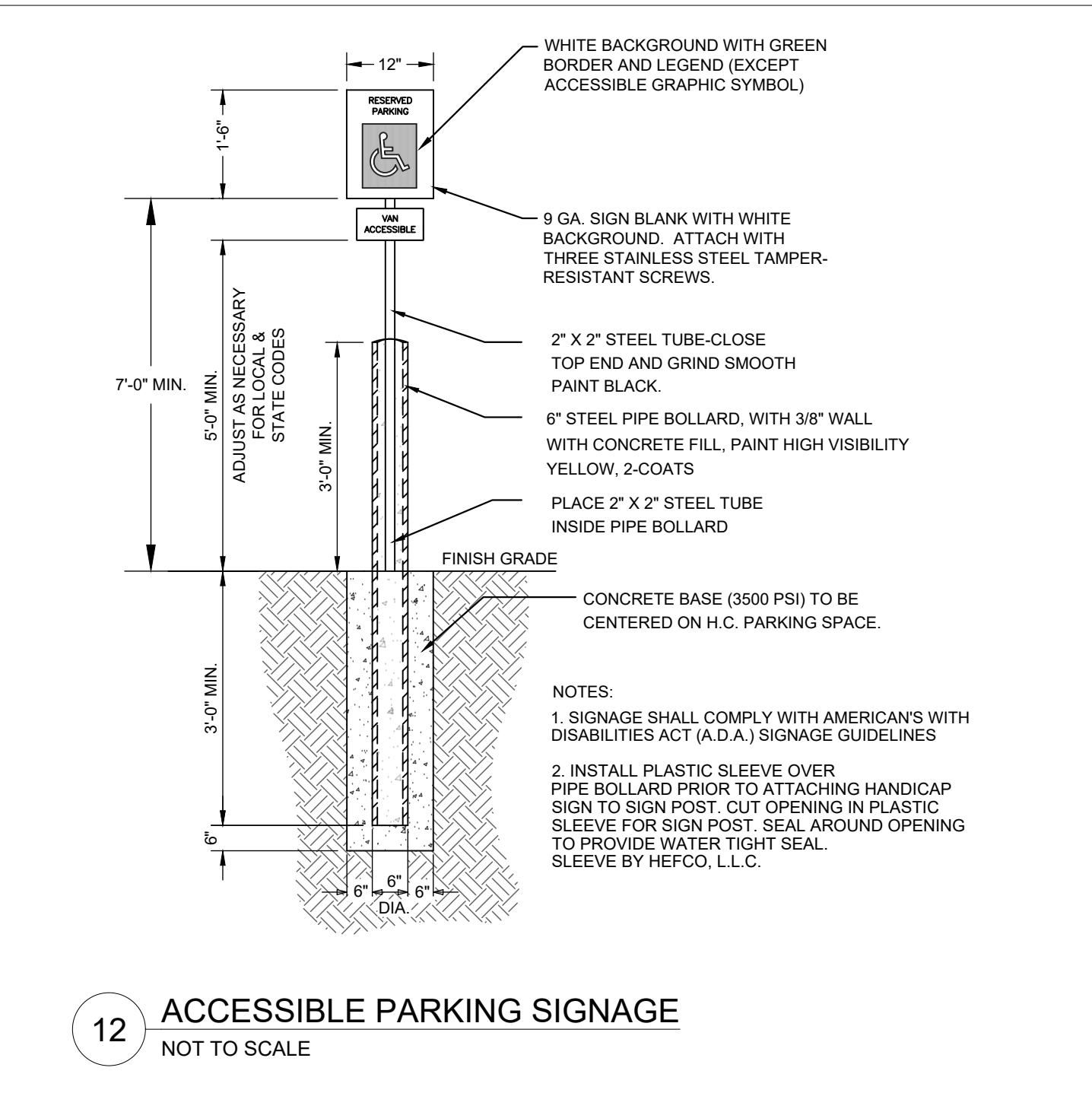
9 ACESSIBLE RAMP WITH HANDRAIL
NOT TO SCALE



10 GUARD RAIL
NOT TO SCALE



11 ADA PARKING STALL LAYOUT
NOT TO SCALE



12 ACCESSIBLE PARKING SIGNAGE
NOT TO SCALE

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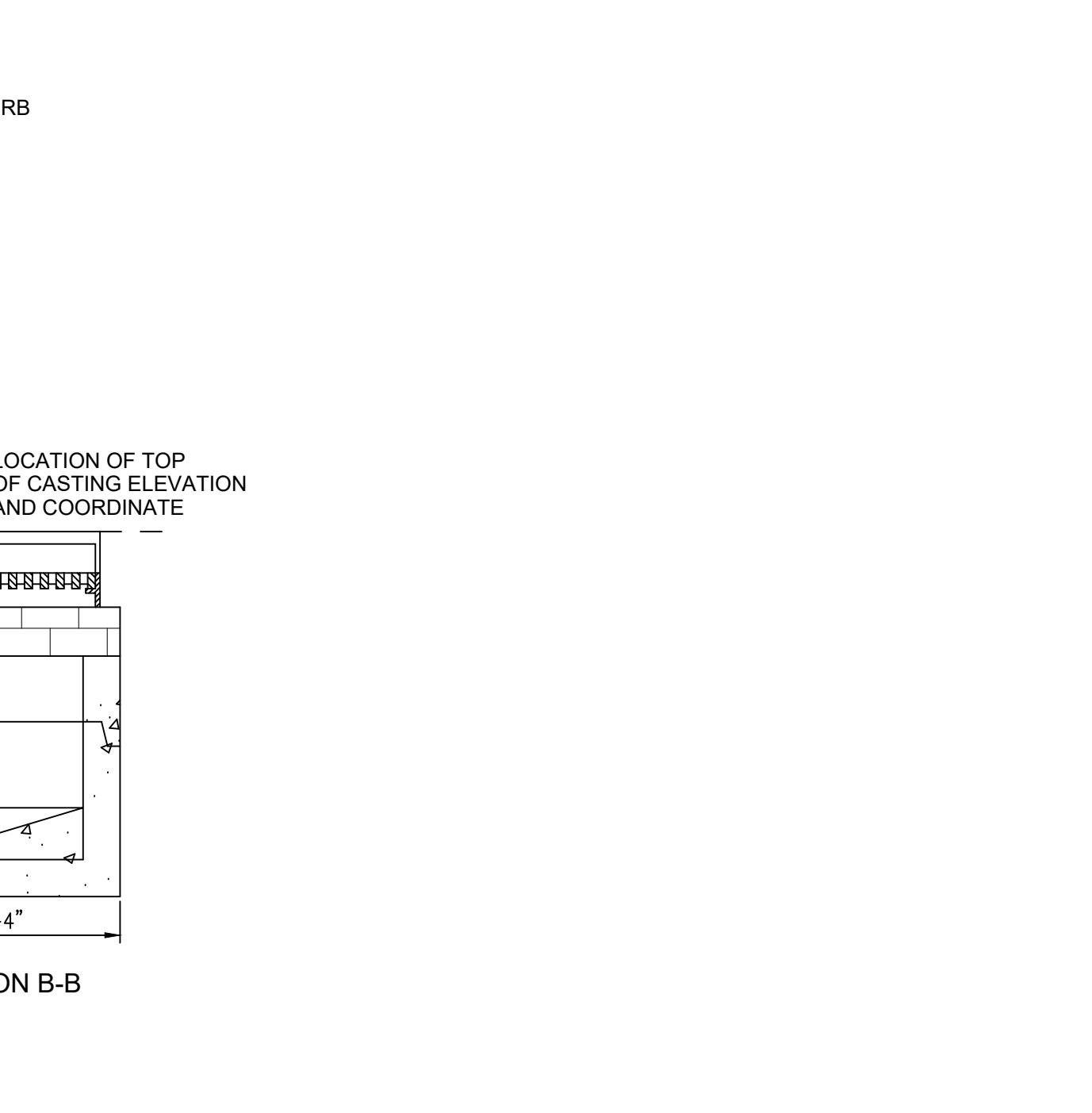
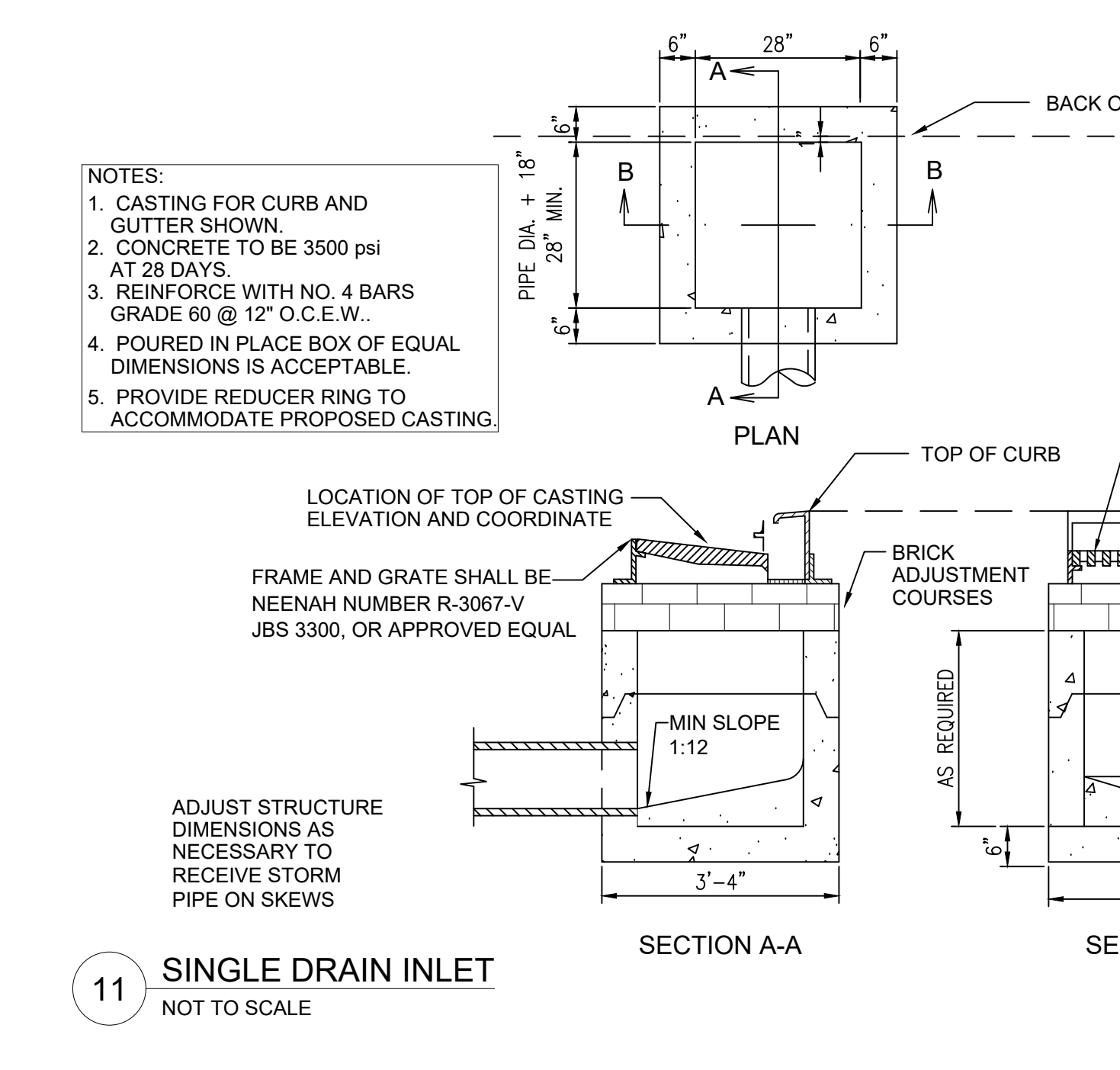
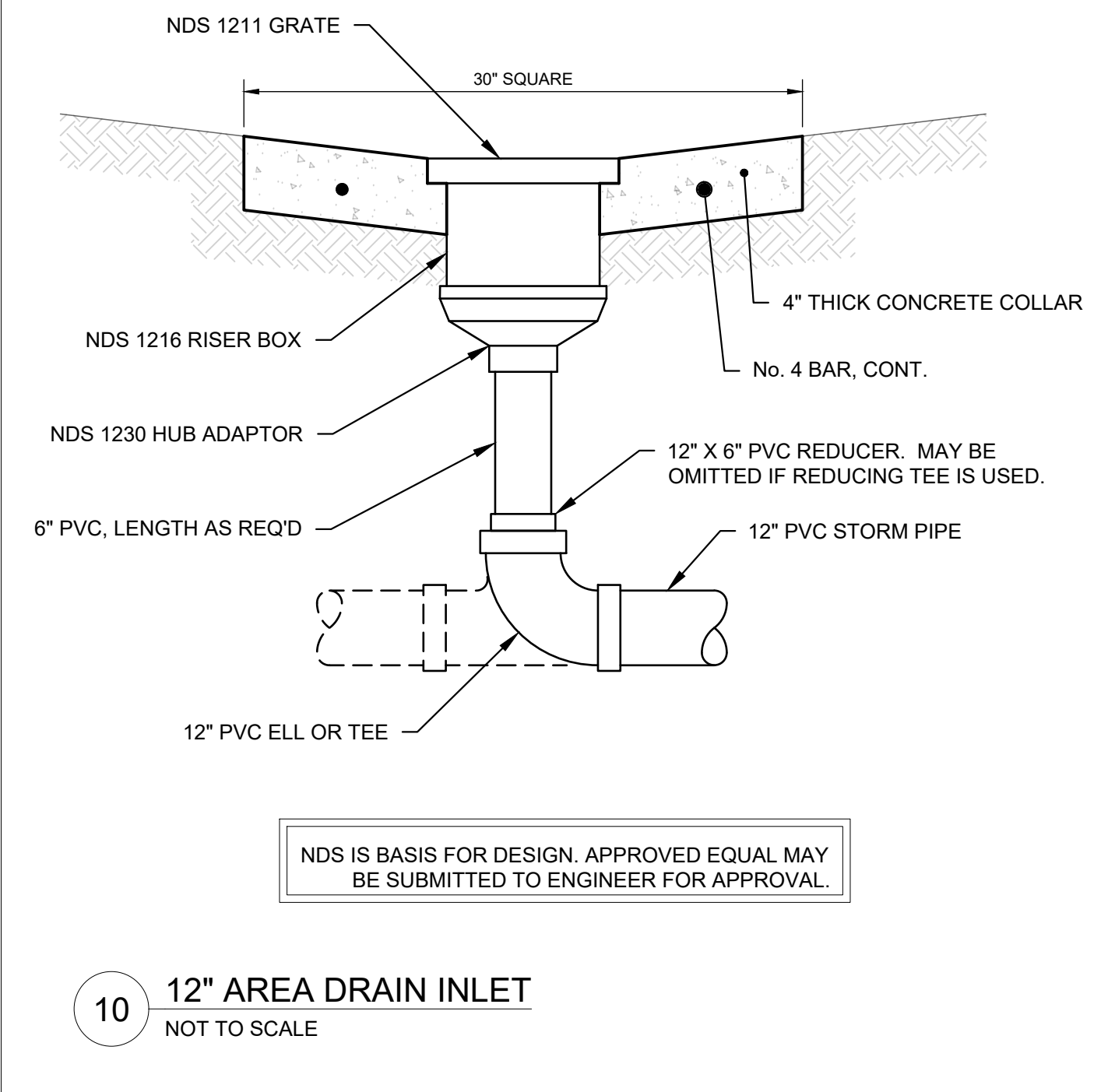
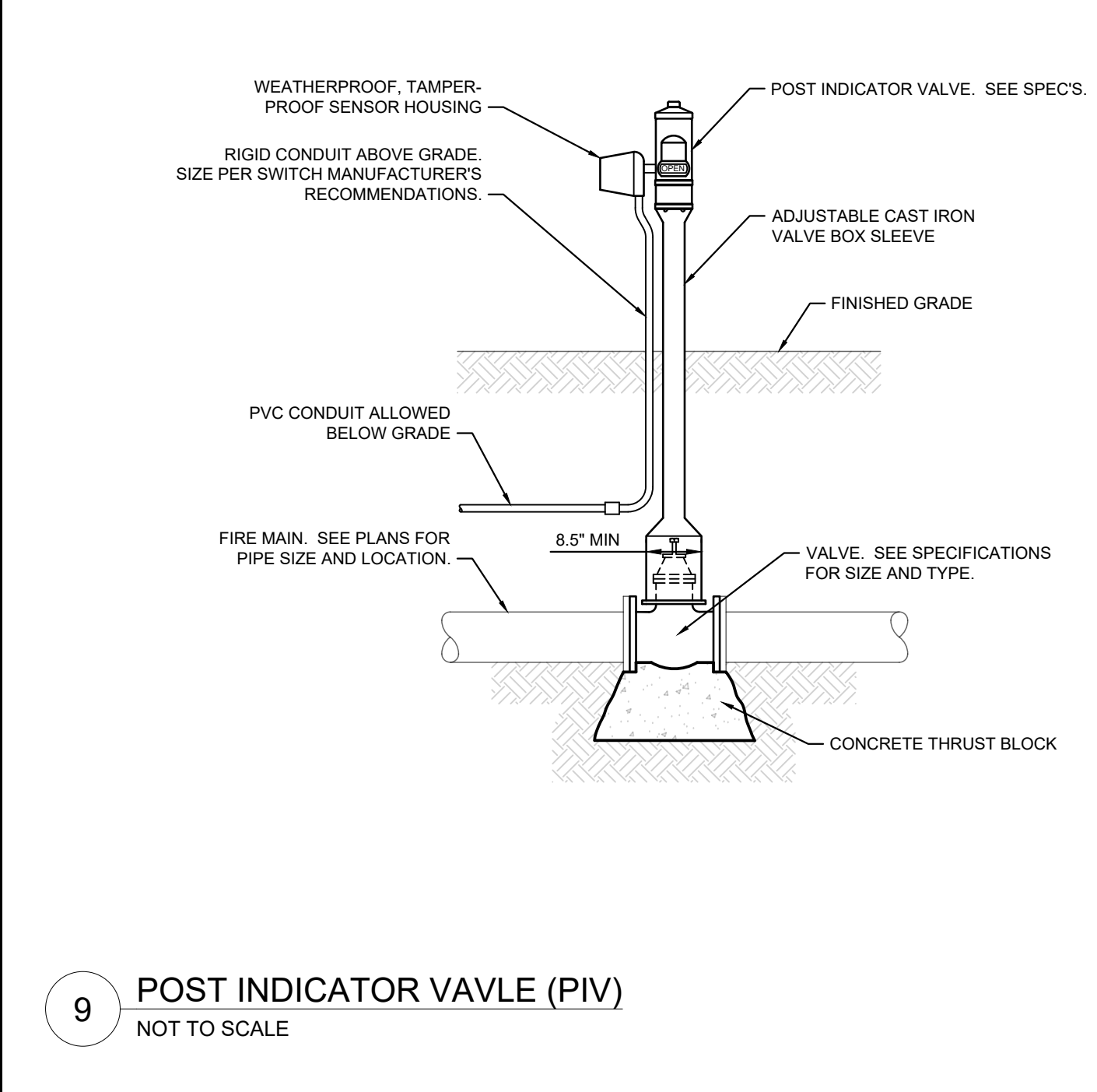
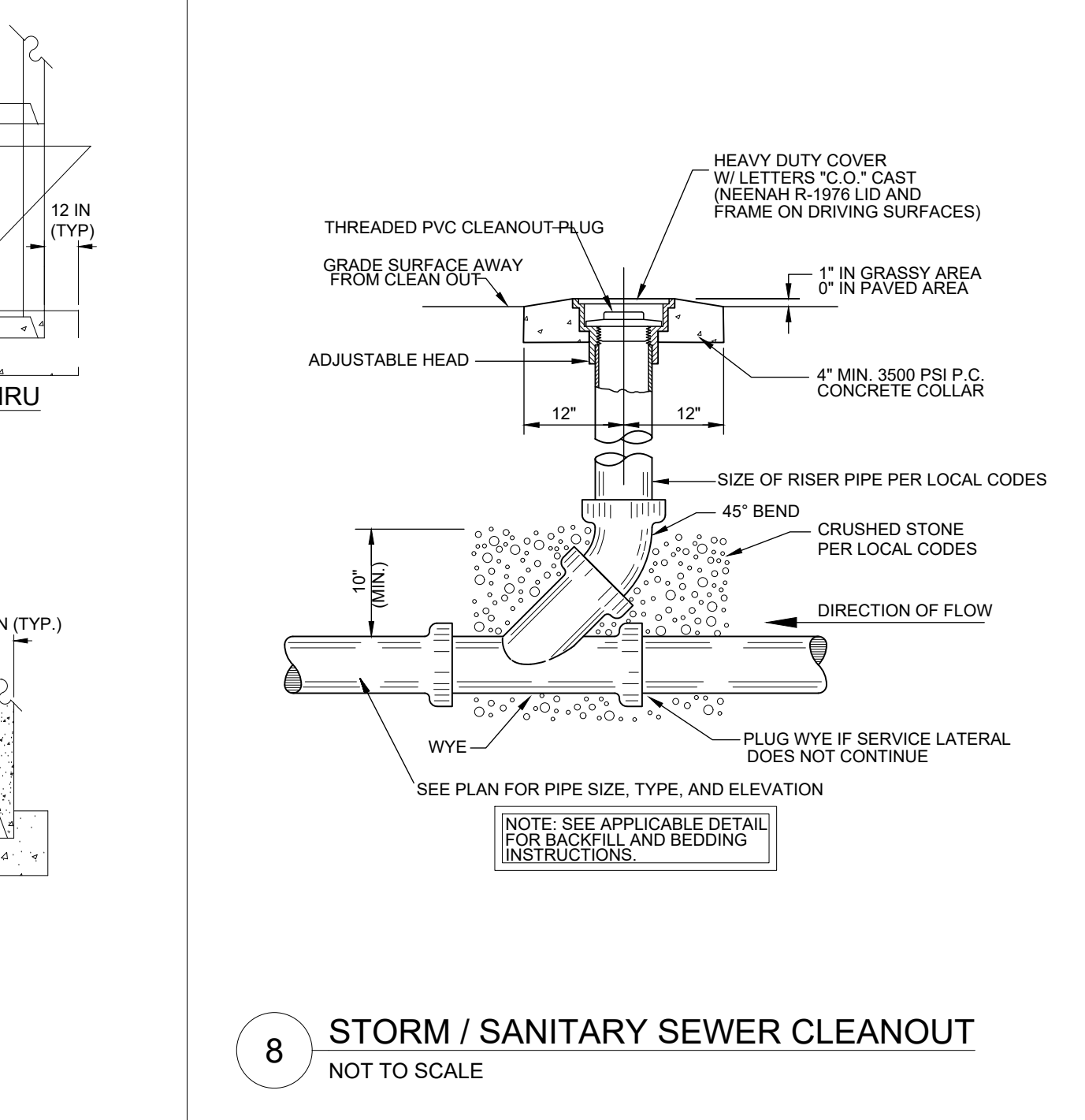
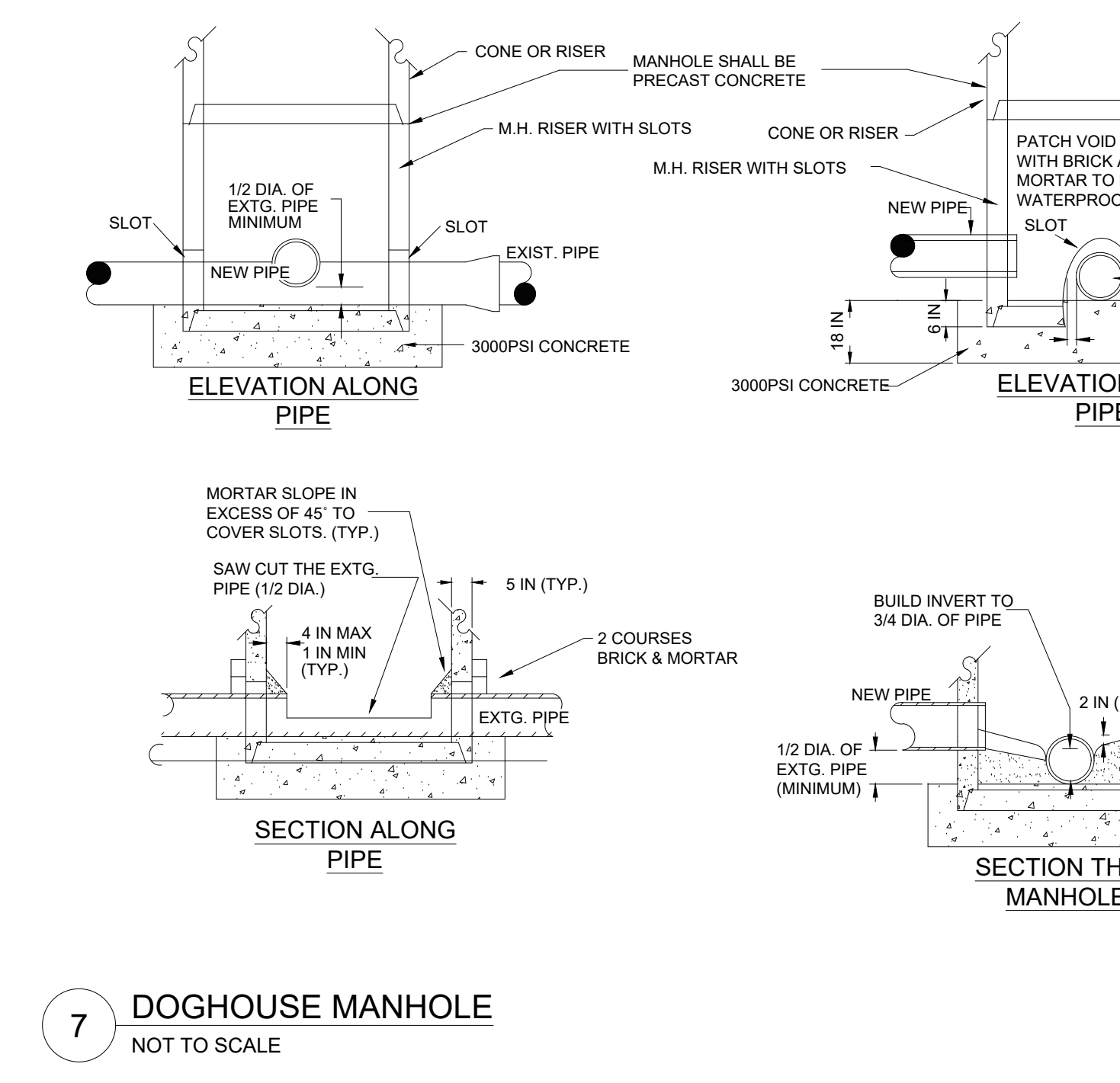
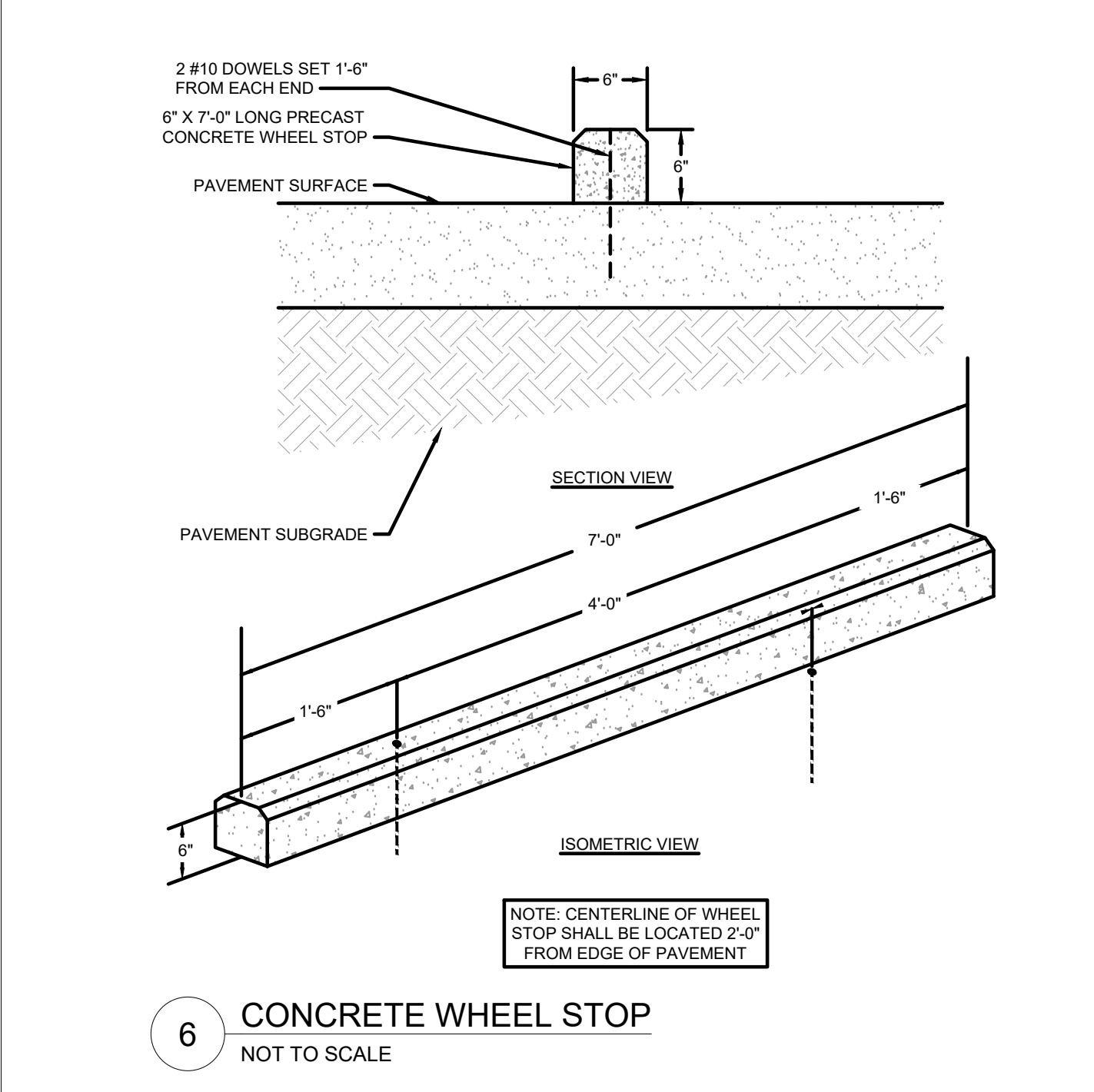
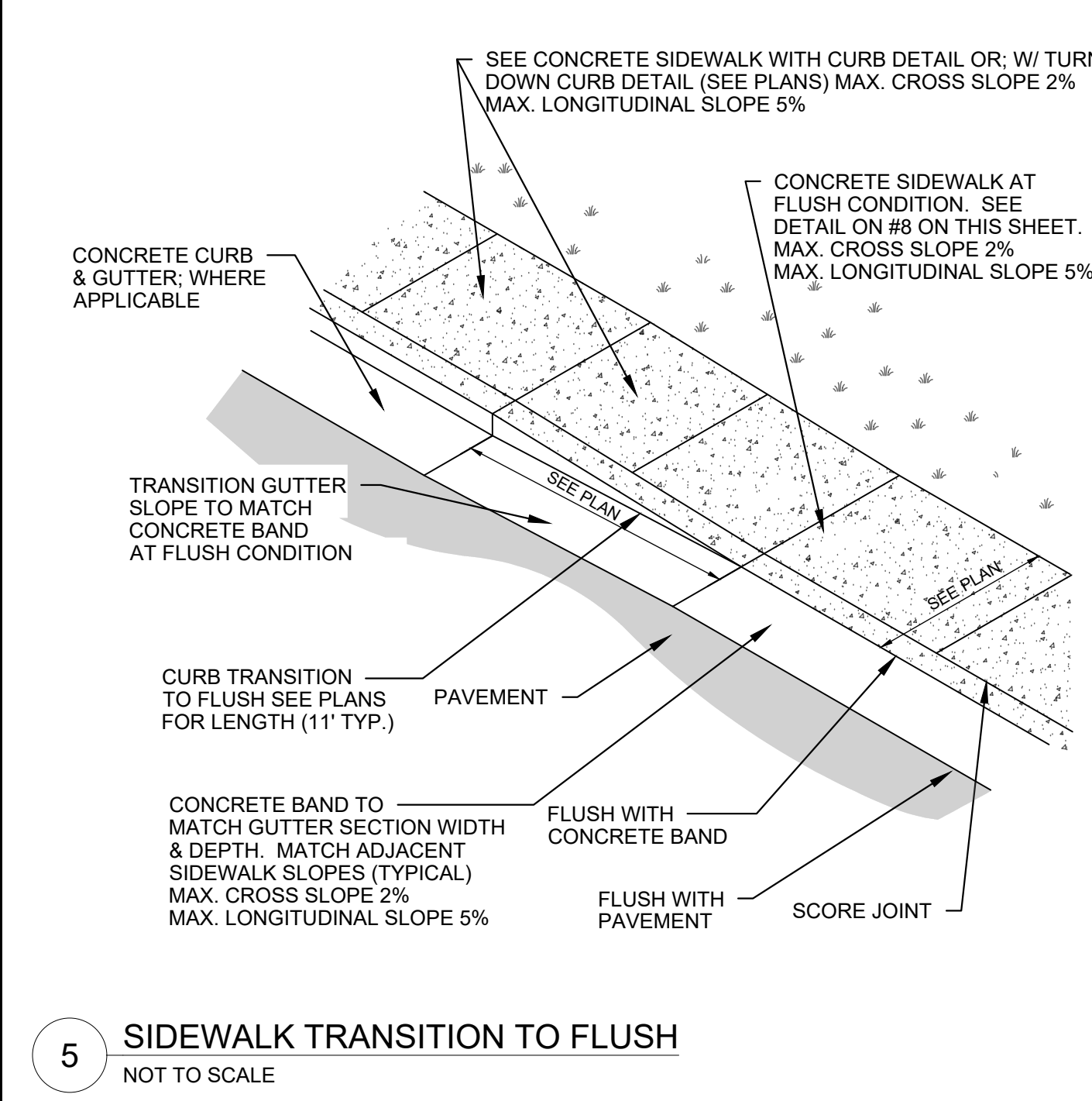
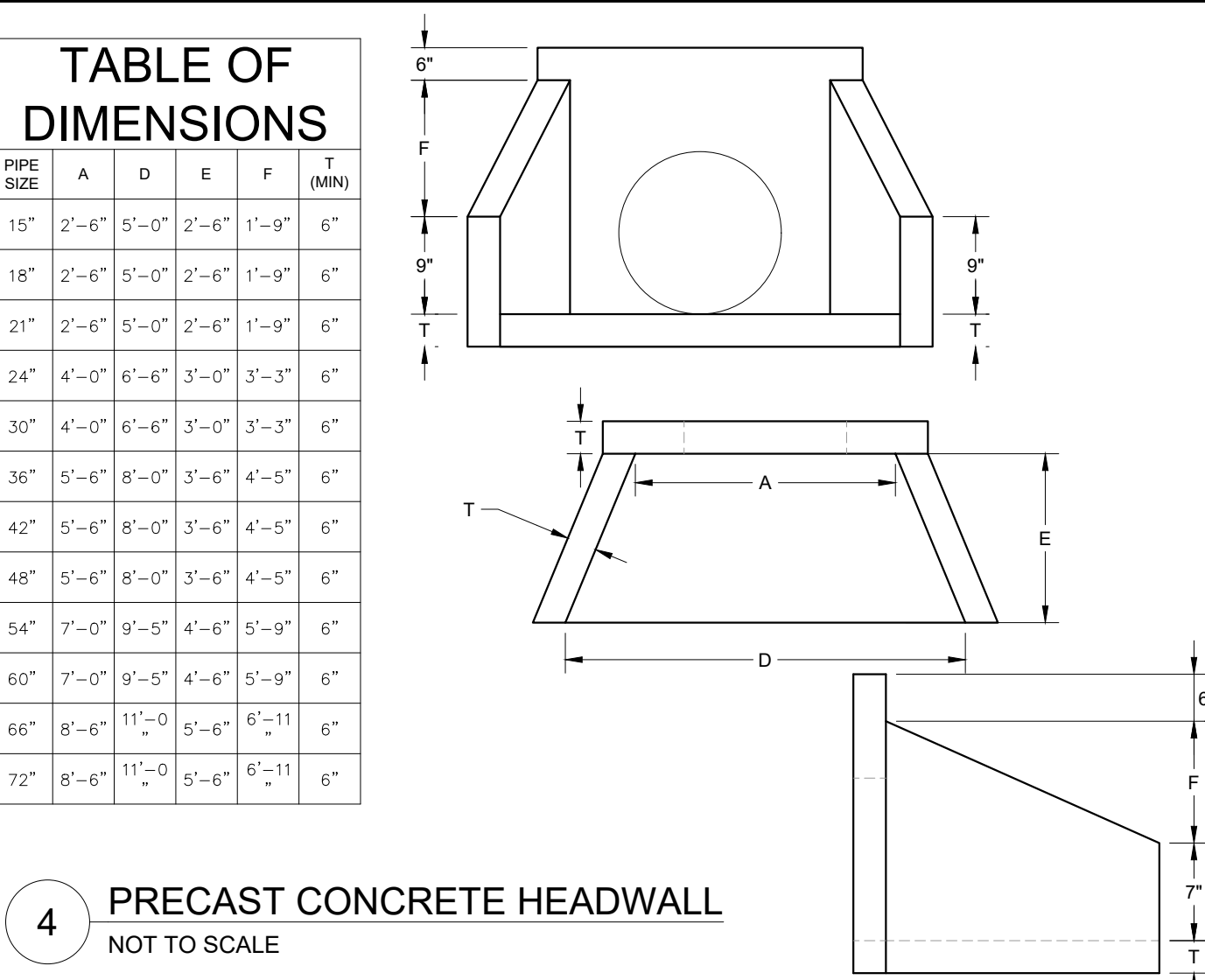
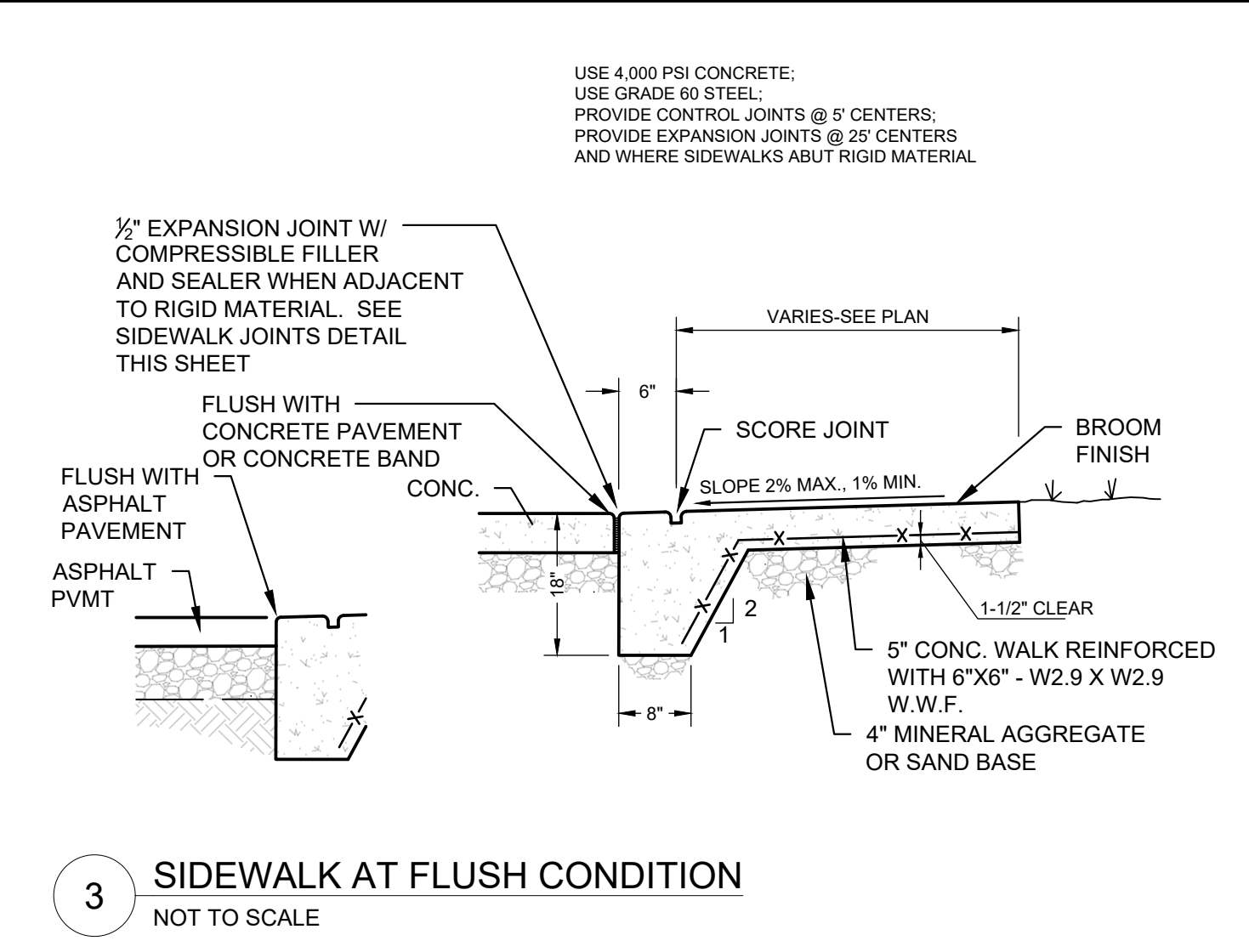
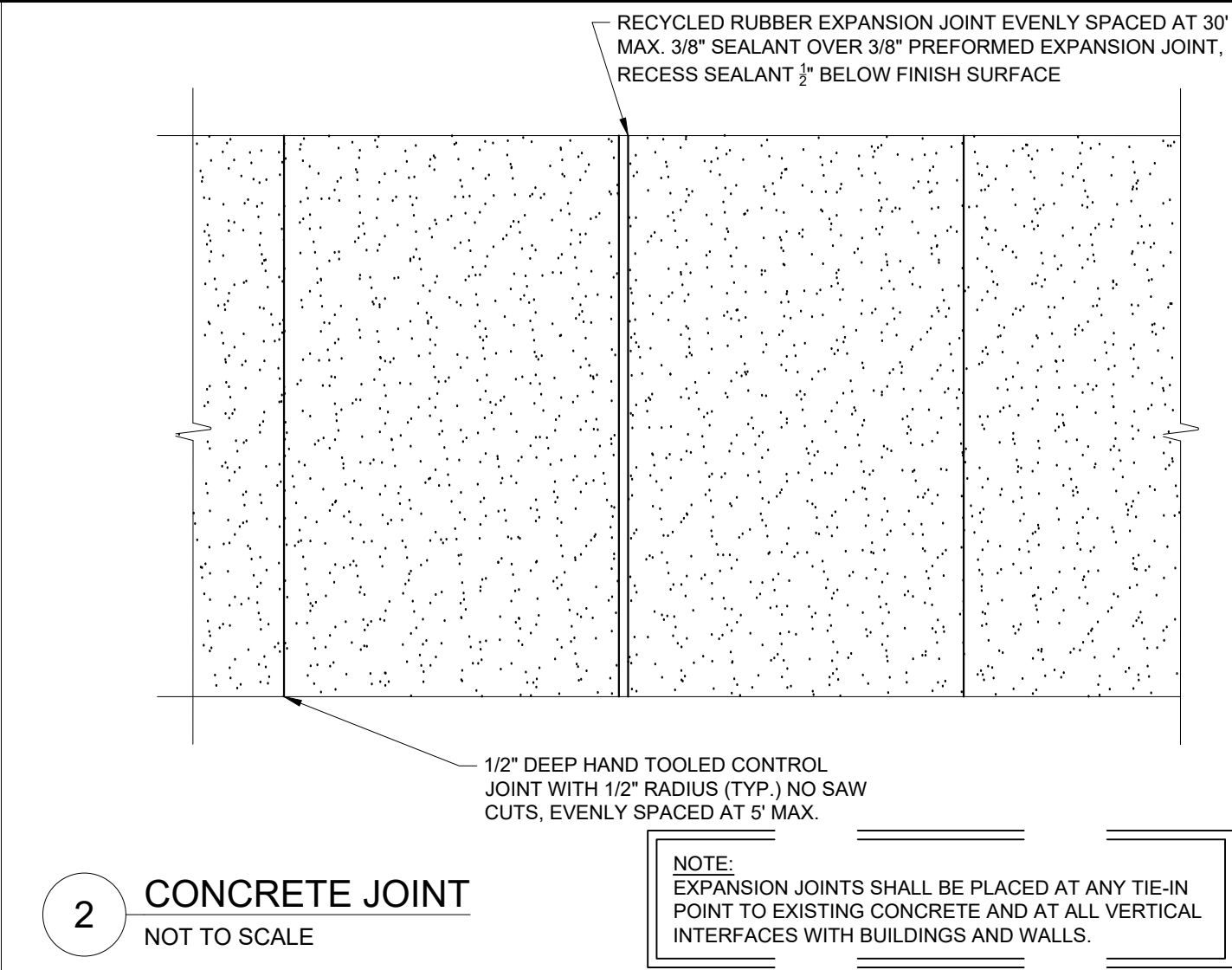
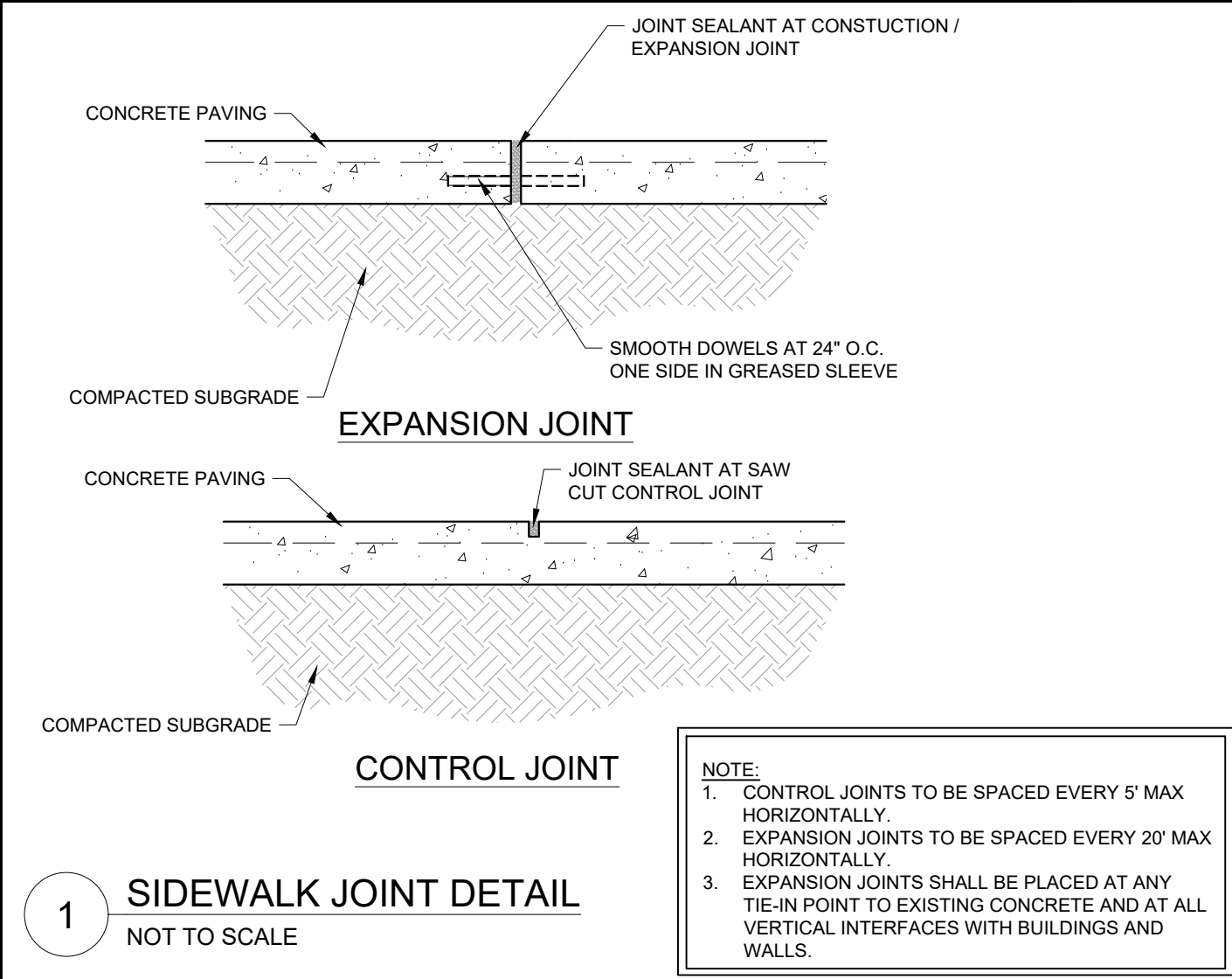
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PORTSMOUTH, NEW HAMPSHIRE

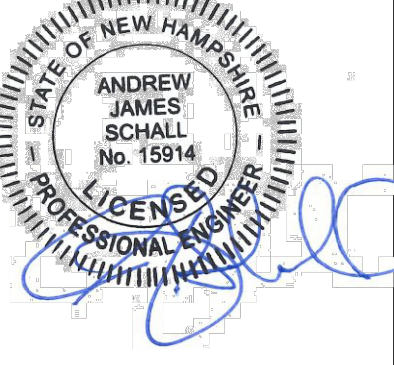
STATE OF NEW HAMPSHIRE
ANDREW JAMES SCHALL
No. 15914
LICENSED PROFESSIONAL ENGINEER

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DATE: 05/23/2022			
KIMLEY-HORN PROJECT NO. 118252004			
SITE DETAILS			
C7.00			








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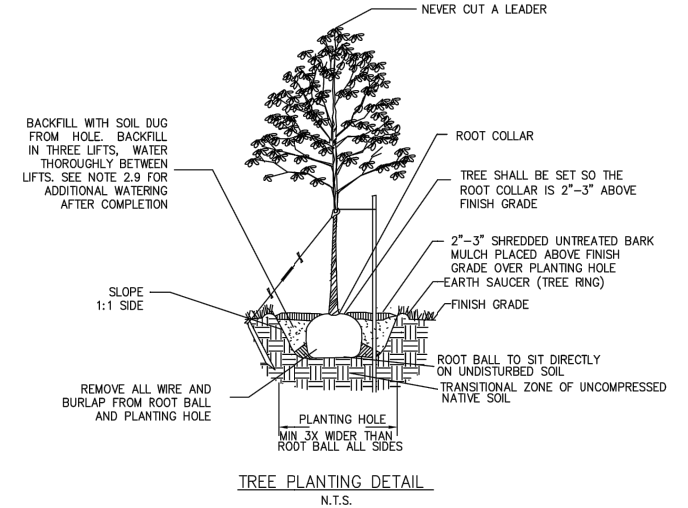
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PORTSMOUTH, NEW HAMPSHIRE



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PLANT_SCHEDULE

CANOPY TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	CALIPER	HEIGHT
	AF	6	CORYLUS AMERICANA / AUTUMN BLAZE MAPLE	B&B	3" MIN.	14'-16' HT.
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	HEIGHT
	AM	11	ARONIA MELANOCARPA / BLACK CHOKEBERRY	5 GAL	9-FT O.C.	3-FT MIN.
	PV	50	PANICUM VIRGATUM / SWITCHGRASS	1 GAL	2-FT O.C.	18" MIN.
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME			
	SOD	4,030 SF	SOD			
	VARIES	7,600 SF	CONSERVATION SEED MIX / NEW ENGLAND WETMIX (WETLAND SEED MIX)			



NEVER CUT A LEADER

BACKFILL WITH SOIL DUG FROM HOLE. BRUSH UP IN THREE LIFTS. WATER HORIZONTALLY AFTER EACH LIFT. SEE NOTE 2.5 FOR ADDITIONAL WATERING AFTER COMPLETION

SLOPE 1:1 SIDE

REMOVE ALL WIRE AND BURLAP FROM ROOT BALL AND PLANTING HOLE

PLANTING HOLE WITH WIRE TIE ROOT BALL ALL SIDES

TREE PLANTING DETAIL N.T.S.

ROOT COLLAR

TREE SHALL BE SET SO THE ROOT COLLAR IS 2"-3" ABOVE FINISH GRADE

2"-3" SHREDED UNTREATED BARK MULCH PLACED AROUND FINISH GRADE OVER PLANTING HOLE

ROOT BALL TO SET DIRECTLY ON UNDISTURBED SOIL

MAINTAIN 12" DEEP ZONE OF UNCOMPRESSED NATIVE SOIL

STANDARD DETAIL OF TREE PLANTING

DEPARTMENT OF PUBLIC WORKS CITY OF PORTSMOUTH, NH

DATE: 05/23/2022

BY: ZCN

PART 1 - GENERAL

1.1 THE BASIS OF THE CITY OF PORTSMOUTH TREE PLANTING REQUIREMENTS IS THE ANSI A500 PART 6 STANDARD PRACTICES FOR PLANTING AND TRANSPLANTING. ALSO ADD PART 6 LAYS OUT TERMS AND BASIC STANDARDS AS SET FORTH BY INDUSTRY BUT IT IS NOT THE TOP AND BOTTOM OF PORTSMOUTH, THE FOLLOWING ARE THE CITY OF PORTSMOUTH, NH TREE PLANTING REQUIREMENTS THAT ARE IN ADDITION TO OR THAT GO BEYOND THE ANSI A500 PART 6.

PART 2 - EXECUTION

2.1 ALL PLANTING HOLES SHALL BE DUG BY HAND - NO MACHINES. THE ONLY EXCEPTIONS ARE NEW CONSTRUCTION WHERE NEW PLANTING PITS, PLANTING BEDS WITH GRATE CURBS, AND PLANTING SITES WITH SLAM CELLS ARE BEING CREATED. IF A MACHINE IS USED TO DIG IN ANY OF THESE SITUATIONS AND PLANTING PITS MUST BE RAISED THE MATERIAL IN THE BOTTOM OF THE PLANTING HOLE MUST BE BRIDGED WITH MACHINE TO PREVENT SAVING OF THE ROOT BALL.

2.2 ALL WIRE AND BURLAP SHALL BE REMOVED FROM THE ROOT BALL AND PLANTING HOLE.

2.3 THE ROOT BALL OF THE TREE SHALL BE WORKED SO THAT THE ROOT COLLAR OF THE TREE IS VISIBLE AND NO GROUNDING ROOTS ARE PRESENT.

2.4 THE ROOT COLLAR OF THE TREE SHALL BE 2"-3" ABOVE GRADE OF PLANTING HOLE FOR FINISHING DEPTH.

2.5 ALL PLANTINGS SHALL BE BACKFILLED WITH SOIL FROM THE SITE AND NOTHING NO MORE THAN 50% WITH ORGANIC COMPOST. THE ONLY EXCEPTIONS ARE NEW CONSTRUCTION, WHERE ENGINEERED SOILS BEING USED IN CONJUNCTION WITH SLAM CELLS AND WHERE NEW PLANTING BEDS ARE BEING CREATED.

2.6 ALL PLANTINGS SHALL BE BACKFILLED IN THREE LIFTS AND ALL LIFTS SHOULD BE WATERED. THE PLANTING HOLE SHALL BE SET AND FREE OF ANY

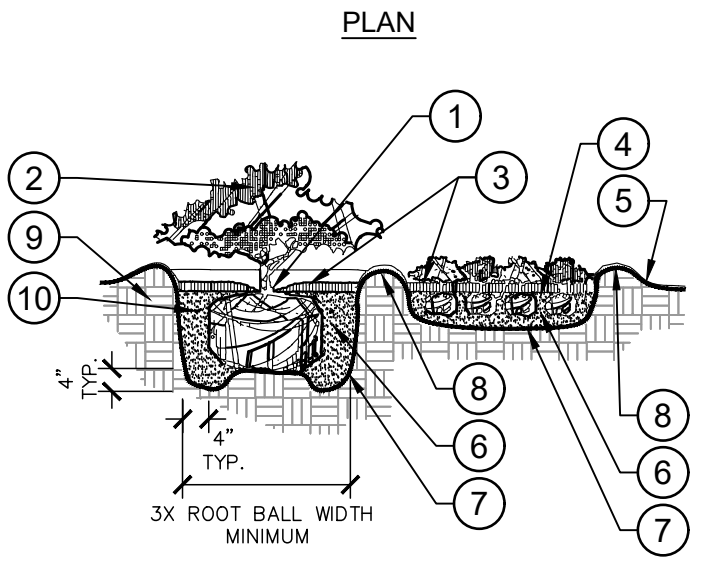
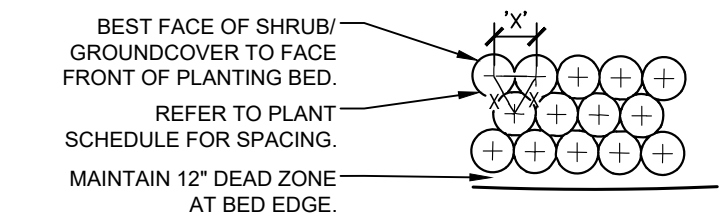
2.7 AN EARTH BERM SHALL BE PLACED AROUND THE PERIMETER OF THE PLANTING HOLE EXCEPT WHERE CURBED PLANTING BEDS OR PITS ARE BEING USED.

2.8 2"-3" OF MULCH SHALL BE PLACED OVER THE PLANTING AREA.

2.9 AT THE TIME OF PLANTING IS COMPLETE THE PLANTING SHALL RECEIVE ADDITIONAL WATER TO ENSURE COMPLETE HYDRATION OF THE ROOTS.

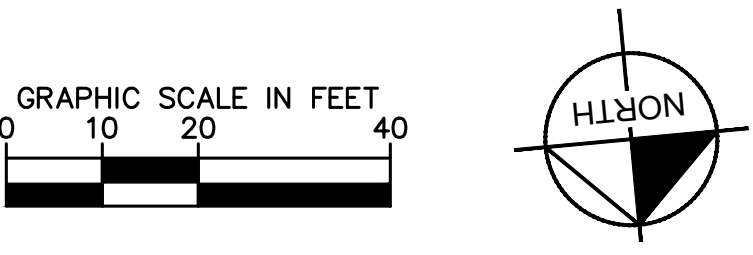
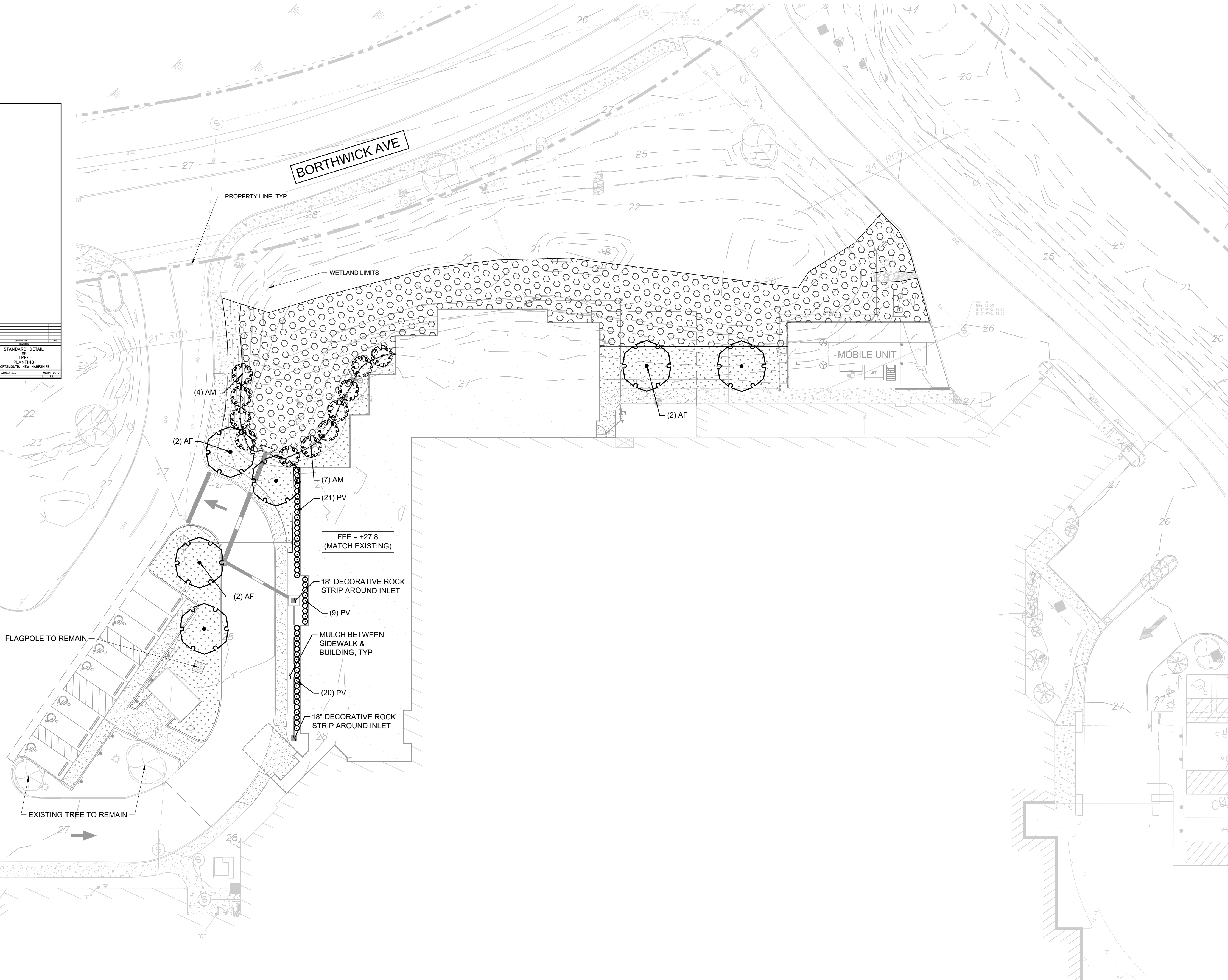
2.10 STAKES AND GUYS SHALL BE USED WHERE APPROPRIATE AND/OR NECESSARY. GUYS MATERIAL SHALL BE NON-DAMAGING TO THE TREE.

2.11 ALL PLANTING STOCK SHALL BE SPECIFIC QUALITY FREE OF DEFECTS AND DISEASE OR INJURY. THE CITY OF PORTSMOUTH, NH RESERVES THE RIGHT TO REFUSE/REQUEST ANY PLANT MATERIAL OR PLANTING ACTION THAT FAILS TO MEET THE STANDARDS SET FORTH IN THE ANSI A500 PART 6 STANDARD PRACTICES FOR PLANTING AND TRANSPLANTATION AND/OR THE CITY OF PORTSMOUTH, NH PLANTING REQUIREMENTS.



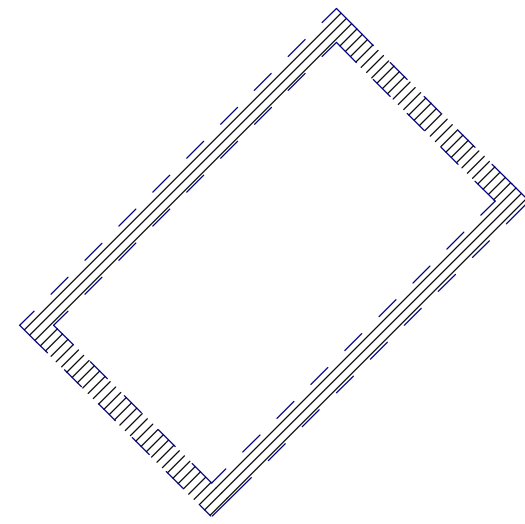
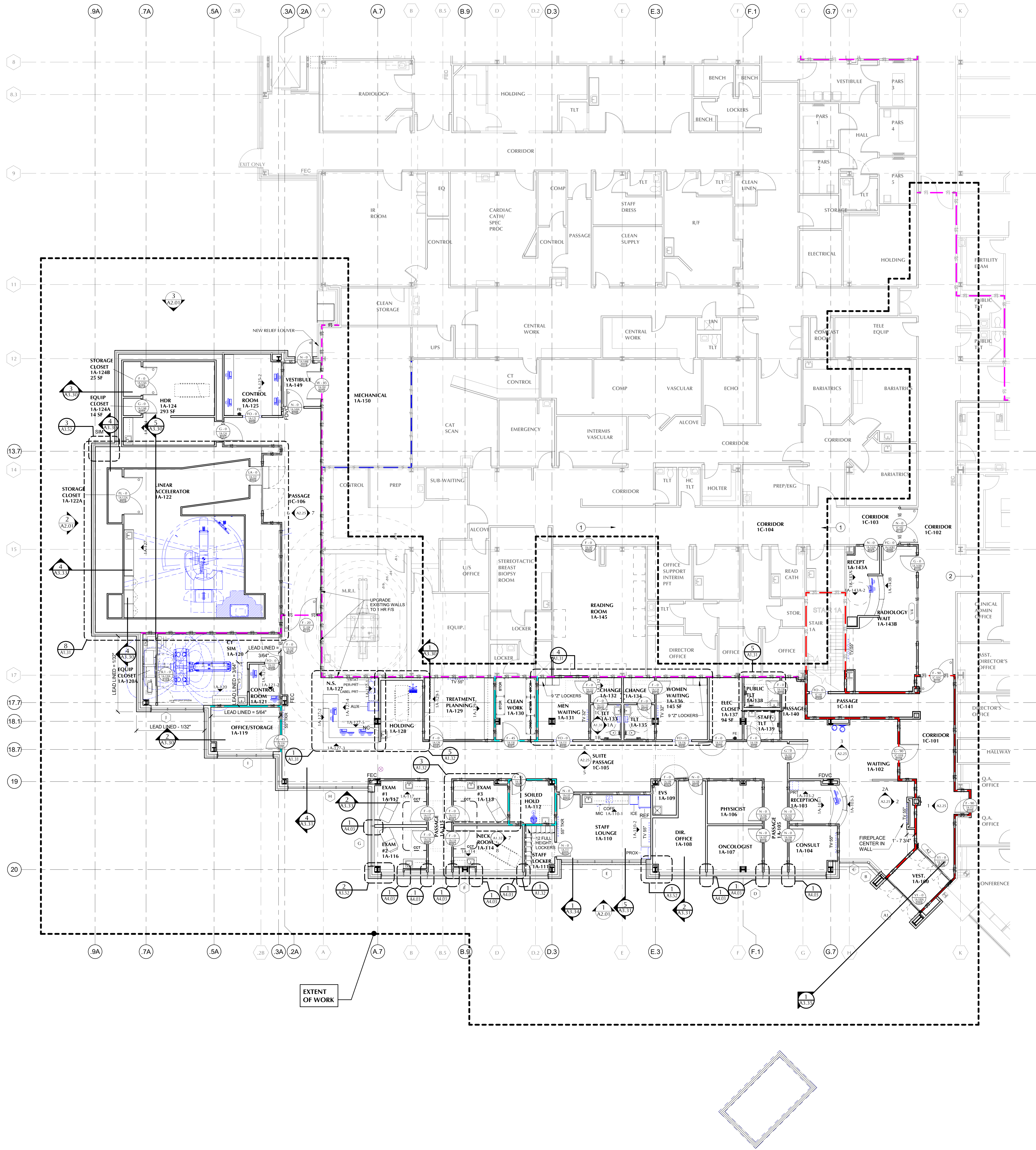
- NOTES:
- A. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
- B. WHEN SHRUBS ARE PRUNED IN MASSES, PRUNE ALL SHRUBS TO ACHIEVE UNIFORM MASS / HEIGHT.
- C. ALL SHRUBS AND GROUNDCOVERS SHALL BE PLUMB VERTICALLY, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.

1 SHRUB/GROUNDCOVER PLANTING
SECTION / PLAN
NTS



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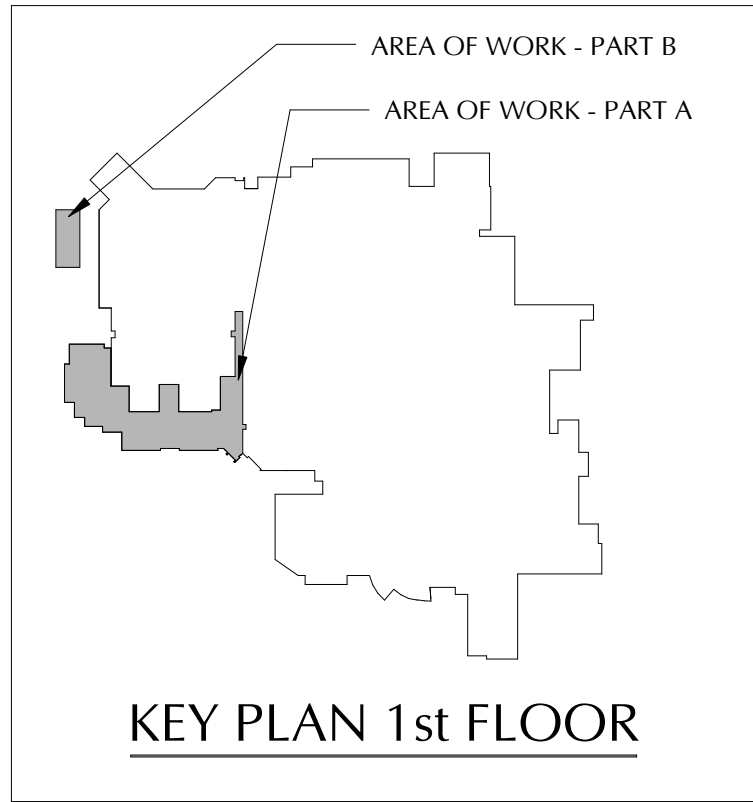


NOTED 1ST FLOOR PLAN PART A

- KEYNOTES:**
1. REMOVE AND SALVAGE ACT AND/OR SUSPENSION GRID TO SUPPORT MEP SCOPE OF WORK SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION
 2. REMOVE AND SALVAGE ACOUSTICAL CEILING TILE AND/OR SUSPENSION GRID FOR APPROXIMATELY 80-FEET TO SUPPORT ELECTRICAL SCOPE OF WORK. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

- GENERAL FLOOR PLAN NOTES**
1. REFER TO A0.01 FOR ADDITIONAL GENERAL NOTES.
 2. SEE SHEET A4.01 FOR PARTITION TYPES AND DETAILS.
 3. MECHANICAL AND/OR ELECTRICAL PORTIONS OF THE WORK MAY REQUIRE WORK ON THE FLOOR BELOW OR IN SPACES ADJACENT TO THE WORK. THE SCOPE OF PROJECT INCLUDES WORK NECESSARY TO ACCESS THESE AREAS AND TO REPAIR OR REPLACE ANY FINISHES, FLOORS, WALLS, CEILINGS OR OTHER ITEMS DAMAGED OBTAINING SUCH ACCESS.
 4. WHEN PENETRATING FLOOR SLAB OR REMOVING MECHANICAL, PLUMBING, ELECTRICAL, AND LOW VOLTAGE FROM FLOOR, SEAL PENETRATION WITH A TESTED FIRE PROTECTION ASSEMBLY WITH A RATING EQUAL TO THE SURROUNDING CONSTRUCTION.
 5. REFER TO SOUND TRANSMISSION PLANS FOR SOUND BATT LOCATIONS AND REQUIRED STC RATINGS REQUIRED.
 6. REFER TO FINISH AND FURNITURE PLANS FOR TACK BOARD/MARKER BOARD/CLOCK LOCATIONS. PROVIDE NECESSARY BLOCKING FOR THESE ITEMS, WHICH SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR, & FOR ITEMS PROVIDED BY OTHERS.
 7. SEE FINISH PLANS FOR CORNER GUARD, HANDRAIL AND DOOR GUARD LOCATIONS.
 8. PROVIDE FIRE RETARDANT WOOD BLOCKING AS REQUIRED BY PROJECT CONDITIONS.
 9. O.F.E. - OWNER FURNISHED EQUIPMENT - INSTALLED BY THE CONTRACTOR, VENDOR OR OWNER. REFER TO THE O.F.E. BROCHURE TO DETERMINE THE PARTY RESPONSIBLE FOR INSTALLATION. OWNER TO PURCHASE AND DELIVER ALL NEW EQUIPMENT TO THE SITE. CONTRACTOR SHALL COORDINATE DELIVERY SCHEDULE WITH OWNER. CONTRACTOR SHALL PROVIDE MECHANICAL, PLUMBING AND ELECTRICAL CONNECTIONS REQUIRED FOR ALL EQUIPMENT IN THE O.F.E. BROCHURE.
 10. SEE SPECIFICATIONS FOR SPECIFIC LEVEL OF FINISH AND PREPARATION REQUIREMENTS FOR EACH SURFACE.
 11. THE OWNER SHALL FURNISH AND THE CONTRACTOR SHALL COORDINATE AND PROPERLY INSTALL THE FOLLOWING:
 - A. AT EACH SINK/LAVATORY LOCATION, ONE SOAP DISPENSER UNLESS NOTED OTHERWISE. VERIFY LOCATIONS WITH OWNER'S REPRESENTATIVE.
 - B. AT EACH PATIENT CARE, UTILITY AND WORK AREA ONE SHARPS DISPOSAL UNIT, GLOVES DISPENSER AND HAND GEL DISPENSER, AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
 12. WALL MOUNTED SINKS AND LAVATORIES SHALL BE MOUNTED SO THAT THE CENTERLINE OF THE SINK IS 1'-7" MIN. TO FACE OF ADJACENT FIXED EQUIPMENT, SIDE WALL, CASEWORK, ETC.
 13. CLINICAL SINKS SHALL BE MOUNTED SO THAT THE CENTERLINE OF THE SINK IS 1'-6" MIN. TO THE FACE OF THE ADJACENT FIXED EQUIPMENT, SIDE WALL, CASEWORK, ETC.

PARTITION LEGEND			- SEE SHEET A4.01
HIGHEST PRIORITY	1	TWO HOUR RATED FIRE & SMOKE BARRIER - SHAFTWALL	2S 2S 2S
	2	TWO HOUR RATED FIRE & SMOKE BARRIER	2FS 2FS 2FS
	3	TWO HOUR RATED FIRE BARRIER	2F 2F 2F
	4	ONE HOUR RATED FIRE & SMOKE BARRIER - SHAFTWALL	1S 1S 1S
	5	ONE HOUR RATED FIRE & SMOKE BARRIER	1FS 1FS 1FS
	6	ONE HOUR RATED FIRE BARRIER	1F 1F 1F
	7	ONE HOUR RATED FIRE BARRIER - (INCIDENTAL USE/HAZARDOUS AREA)	1HR 1HR 1HR
	8	SMOKE PARTITION	NS NS NS
LOWEST PRIORITY	9	PARTITION TO CEILING - STUDS TO DECK, STOP GYPSUM BOARD 4" ABOVE CEILING.	



HCA DESIGN MANAGER:
MICHAEL MALKIN
PH: 615-344-6598
HCA CONSTRUCTION MANAGER
RYAN MAGUIRE
PH: 615-344-2487

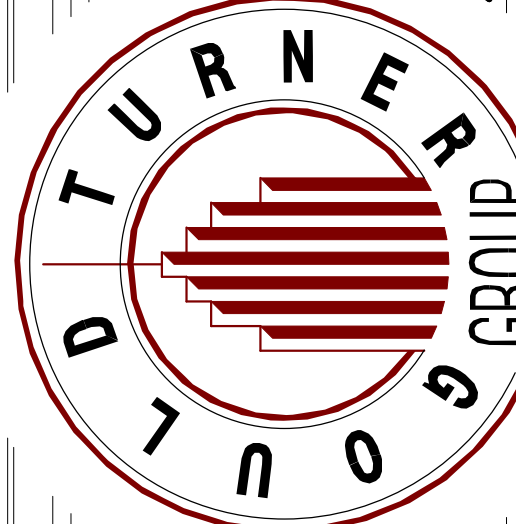
M.P.E. & T. CONSULTANT
L.C. THOMASSON ASSOCIATES, INC.
2950 KRAFT DRIVE,
NASHVILLE, TN 37204
MANAGER: ZACK MCCOY

STRUCTURAL CONSULTANT
STANLEY D. LINDSEY & ASSOC., LTD.
750 OLD HICKORY BLVD., BLDG. 1, STE. 175
BRENTWOOD, TN 37027
MANAGER: TARIK HENNER

CIVIL CONSULTANT
KIMLEY-HORN & ASSOCIATES, INC.
10 LEA AVE, SUITE 400
NASHVILLE, TN 37210
MANAGER: CHRIS JONES

VENDOR INFORMATION
QUINTANA MATEO - Storage
Quintana Mateo, Inc. 800-888-8888
ALEXCON - Door Hardware
www.alexcon.com 800-888-8888
BROAD - FIVE A CUTS
www.broad.com 800-888-8888
HILLMAN - Name Call
www.hillman.com 800-888-8888
OVERSEAS DATA - Security Camera
www.overseasdata.com 800-888-8888
VIMCO - Linear Actuators & HERS
www.vimco.com 800-888-8888
CE FRACTION - CT Scan
www.cefraction.com 800-888-8888

PORTSMOUTH REGIONAL HOSPITAL
RADIATION ONCOLOGY ADDITION
333 Borthwick Ave, PORTSMOUTH, NH 03801



GOULD TURNER GROUP, P.C.
ARCHITECTURE
615 3RD AVENUE SOUTH, SUITE 700
NASHVILLE, TENNESSEE 37210
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CONSTRUCTION DOCUMENTS - PRICING SET

REVISIONS:

DATE:
04/25/2022



GOVE ENVIRONMENTAL SERVICES, INC.

October 15, 2019

Portsmouth Regional Hospital

Subject: Wetland Delineation Report
Portsmouth Regional Hospital
333 Borthwick Ave, Portsmouth, NH

Dear Chris Akers,

Per your request, this letter is to verify that Gove Environmental Services, Inc., performed a site inspection to identify wetlands at Portsmouth Regional Hospital, 333 Borthwick Ave, Portsmouth, NH. Wetlands were evaluated utilizing the following standards:

1. *US Army Corps of Engineers Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region*, Technical Report ERDC/EL TR-12-1 (January 2012).
2. *Field Indicators for Identifying Hydric Soils in New England – Version 4, April 2019*. New England Hydric Soils Technical Committee.
3. *US Army Corps of Engineers National Wetland Plant List*, 2018.
4. *Classification of Wetlands and Deepwater Habitats of the United States*. USFW Manual FWS/OBS-79/31 (1979).

Brenden Walden performed the site inspection on 9/17/19. During the site inspection, two areas of wetland were identified on the Site. The wetland areas were demarcated with a series of pink "Wetland Delineation" flagging consecutively labeled:

1 Start – 15 Stop & A1-A22

The attached sketch plan depicts the general location of the flag series, which were used to identify the resource areas in the field. A general description of the wetlands is also provided

The wetland demarcated by the **1 Start – 15 Stop** series of flags, delineated a drainage area dominated by emergent vegetation, hydric soils on the wetland border consisted of NE-S1 & HTM-S hydric soil classifications, soil saturation and water staining were also observed. Bordering upland area consisted developed area and impervious surface.

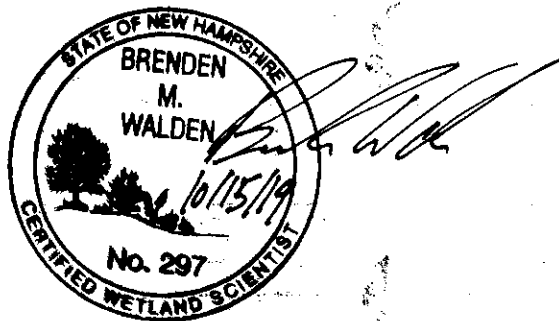
The wetland demarcated by the **A1-A22** series of flags, delineated the wetland boundary for a detention basin vegetated with emergent vegetation. The wetland boundary consisted of NE-S with areas of HTM-S. Bordering upland areas consist of maintained lawn areas and impervious surface from surrounding development.

This concludes the wetland delineation report. If I can be of further assistance, please feel free to contact me at (603) 778-0644.

Sincerely,

Brenden Walden
Business Manager & Wetland Scientist
Gove Environmental Services, Inc.

Enc. Wetland Delineation Sketch



8 Continental Dr Unit H, Exeter, NH 03833-7507

Ph (603) 778 0644 / Fax (603) 778 0654

www.gesinc.biz

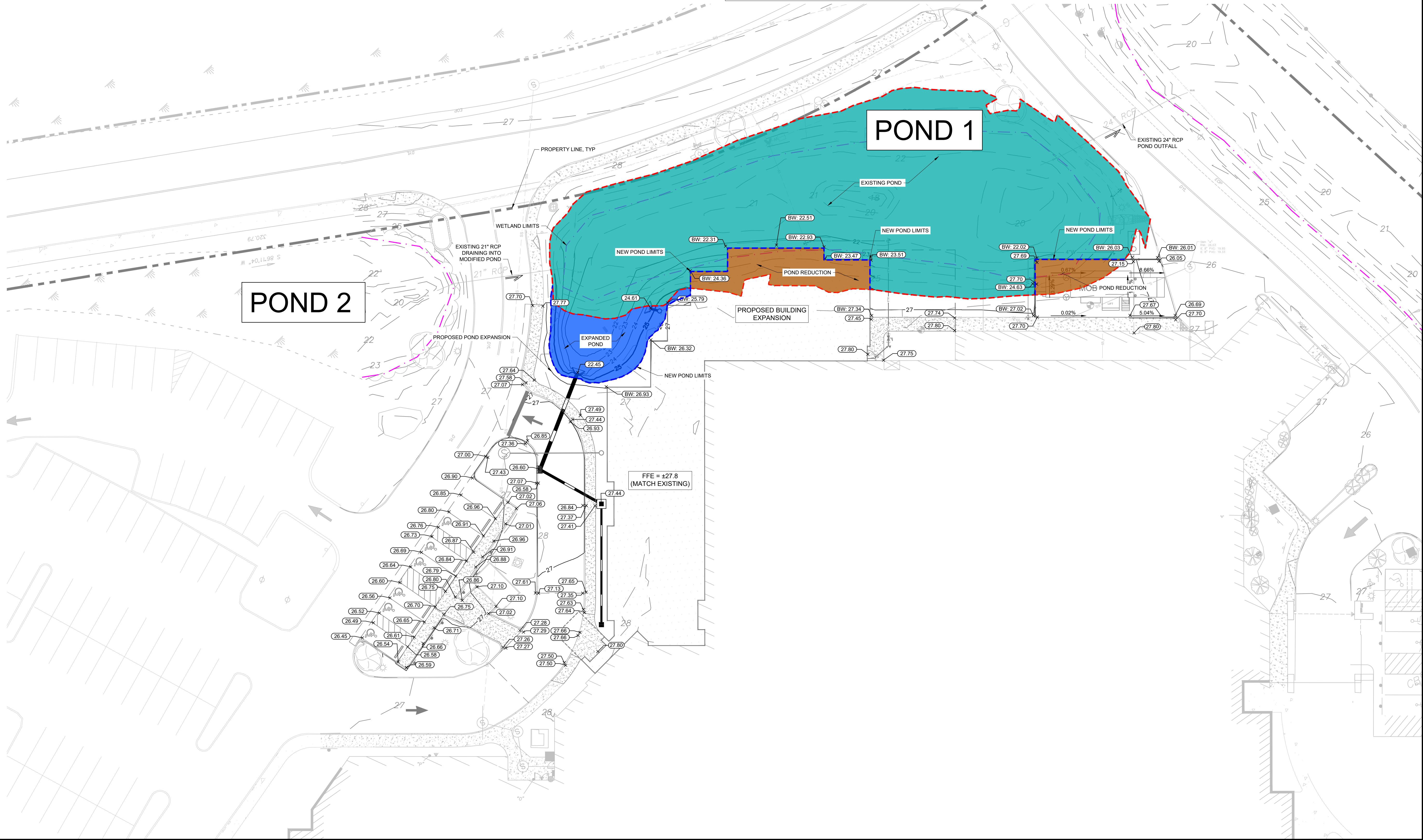
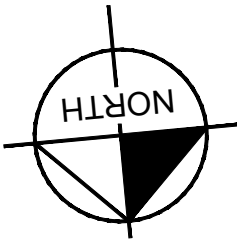
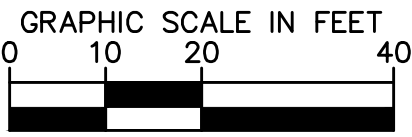
info@gesinc.biz



GRADING PLAN LEGEND			
28.60	SPOT ELEVATION	LP	LOW POINT
HP	HIGH POINT	BC	BOTTOM OF CURB / GUTTER LINE
TC	TOP OF CURB	BW	GRADE AT BOTTOM SIDE OF WALL
TW	GRADE AT TOPSIDE OF WALL	RM	TOP OF GRATE / COVER
INV	INVERT		
ME	MATCH EXISTING		
FFE 26.60	FINISH FLOOR ELEVATION		
27	EXISTING CONTOUR		
27	PROPOSED CONTOUR		

POND IMPACT LEGEND			
	DESCRIPTION	AREA	VOLUME
	PRE-DEVELOPMENT POND	± 17,325 SF	± 54,190 CF
	POND REDUCTION	± 1,475 SF	± 2,451 CF
	PROPOSED POND ADDITION	± 1,250 SF	± 4,526 CF
	PROPOSED POND	± 17,100 SF	± 56,265 CF

POND SUMMARY	
EXISTING POND VOLUME:	± 54,190 CF
NET POND GAIN:	± 2,075 CF
NEW POND VOLUME:	± 56,265 CF



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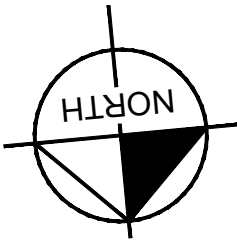
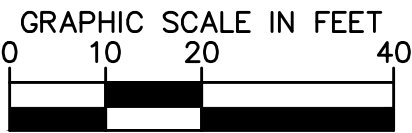
POND
MODIFICATION
EX. B



GRADING PLAN LEGEND			
	28.60	SPOT ELEVATION	
HP		HIGH POINT	
TC		TOP OF CURB	
TW		GRADE AT TOPSIDE OF WALL	
INV		INVERT	
ME		MATCH EXISTING	
	FFE 28.60	FINISH FLOOR ELEVATION	
—27—		EXISTING CONTOUR	
—27—		PROPOSED CONTOUR	
LP		LOW POINT	
BC		BOTTOM OF CURB / GUTTER LINE	
BW		GRADE AT BOTTOM SIDE OF WALL	
RM		TOP OF GRATE / COVER	

WETLAND IMPACT LEGEND		
	DESCRIPTION	AREA
	TEMPORARY WETLAND DISTURBANCE	± 4,400 SF
	PERMANENT WETLAND DISTURBANCE	± 200 SF
	PROPOSED WETLANDS	± 1,150 SF

WETLAND SUMMARY	
EXISTING WETLAND AREA:	± 10,300 SF
PERMANENT WETLAND DISTURBANCE:	± 200 SF
PROPOSED WETLAND ADDED:	± 1,150 SF
NEW WETLAND AREA:	± 11,250 SF



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KIMLEY-HORN PROJECT NO.	118252004

WETLAND
DISTURBANCE
EX. A

Stormwater Management Long-Term Maintenance & Operation Plan

Portsmouth Regional Medical Center South Stormwater Wetland Pond

333 Borthwick Avenue
Portsmouth, NH

May 23, 2022

Prepared by:
Kimley-Horn and Associates, Inc.
404 Wyman St, Ste 385
Waltham, MA 02451

Kimley»Horn

Summary

This document describes the stormwater system components of the development and outlines the inspection and maintenance required to ensure the efficacy of the on-site stormwater system.

Description of Stormwater System Components

There is an existing stormwater wetland pond along the south side of the existing hospital facility that detains stormwater runoff from pavement areas and building roof that is captured in a system of pipes and routed to the stormwater wetland pond. The existing stormwater wetland pond is denoted in Exhibit A.

Maintenance Inspections of Stormwater Sensitive Areas

The owner is responsible for the maintenance of the property and adhering to the maintenance guidelines of this agreement as noted below. A major storm event is defined as any storm event which causes local flooding or where there are fallen trees or large tree limbs, debris, or road obstructions as a result of the event.

Maintenance Operations for Stormwater Wetland Pond

- Spot Reseeding. Inspectors should look for bare or eroding areas in the contributing drainage area or around the wetland stormwater pond and make sure they are immediately stabilized with conservation seed mix.
- Remove and replace dead plants. Since up to 10% of the plant stock may die off in the first year, construction contracts should include a care and replacement warranty to ensure that vegetation is properly established and survives during the first growing season following construction. The typical thresholds below which replacement is required are 85% survival of plant material and 100% survival of trees.
- Check for sediment buildup at curb cuts, gravel diaphragms or pavement edges that prevents flow from getting into the bed, and check for other signs of bypassing.
- Check for any winter- or salt-killed vegetation, and replace it with hardier native wetland species.
- Note presence of accumulated sand, sediment and/ or trash and remove it.
- Inspect stormwater wetland pond side slopes for evidence of any rill or gully erosion, and repair it.
- Check the stormwater wetland pond for evidence of excessive ponding, dead plants or concentrated flows, and take appropriate remedial action.
- Check inflow points for clogging, and remove any sediment.
- Look for any bare soil or sediment sources in the contributing drainage area, and stabilize them immediately.
- Check for clogged or slow-draining soil, a crust formed on the top layer, or other causes of insufficient filtering time, and restore proper filtration characteristics

Checklists, which further indicate what should be evaluated during inspections, are included with this document.

Routine and Non-Routine Maintenance Tasks

Maintenance of the stormwater wetland pond should be integrated into routine landscape maintenance tasks. If landscaping contractors will be expected to perform maintenance, their contracts should contain specifics on unique stormwater wetland pond landscaping needs, such as maintaining elevation differences needed for ponding, sediment and trash removal, and no use of fertilizers and pesticides.

Pollutant Disposal

All trash and pollutants should be removed from the site and deposited in a permitted landfill. Deposited sediment can be used in gardens or landscaped areas but should be applied in thin layers and not stock piled in a location where it could erode any further. Leaves and other organic materials can be deposited or composted.

Responsible Party

The responsible party for the inspection and maintenance of the stormwater wetland pond:

Portsmouth Regional Hospital
333 Borthwick Avenue
Portsmouth, New Hampshire 03801

South Stormwater Wetland Pond Area					
Maintenance Item	Condition				Comment
	Good	Marginal	Poor	N/A*	
General Inspection					
Access to the site is adequately maintained for inspection and maintenance.					
Area is clean (trash, debris, grass clippings, etc. removed).					
Inlet/ Outlet Structures					
Drainage ways (overland flow or pipes) to the practice are free of trash, debris, large branches, etc.					
Area around the inlet structure is maintained and trimmings are removed.					
No evidence of gullies, rills, or excessive erosion around the inlet structure.					
Main Treatment					
Wetland area is free of trash, debris, and sediment.					
Vegetation within and around practice is maintained per landscaping plan. Any trimmings are removed.					
Plants seem to be healthy and in good condition. Comment on condition of plants.					
Results					
Overall condition of Wetland Area					
Additional Comments					
Notes: *If a specific maintenance item was not checked, please check N/A and explain why in the appropriate comment box.					



CITY OF PORTSMOUTH

Planning Department
1 Junkins Avenue
Portsmouth, New
Hampshire 03801
(603) 610-7216

ZONING BOARD OF ADJUSTMENT

April 28, 2022

HCA Health Services of NH, Inc. dba Portsmouth Regional Hospital
PO BOX 80610
Indianapolis, IN 46280

RE: Board of Adjustment Request for Property Located at 333 Borthwick Avenue (LU-22-35)

Dear Owner:

The Zoning Board of Adjustment, at its regularly scheduled meeting of **Tuesday, April 26, 2022**, considered your application for building an addition on the existing hospital which requires the following: 1) A Variance from Section 10.531 to allow a 40' front yard where 50' is required. Said property is shown on Assessor Map 240, Lot 2-1 and lies within the Office Research District. As a result of said consideration, the Board voted to **grant** the request as presented and advertised.

The Board's decision may be appealed up to thirty (30) days after the vote. Any action taken by the applicant pursuant to the Board's decision during this appeal period shall be at the applicant's risk. Please contact the Planning Department for more details about the appeals process.

Approvals may also be required from other City Commissions or Boards. Once all required approvals have been received, applicant is responsible for applying for and securing a building permit from the Inspection Department prior to starting any project work.

This approval shall expire unless a building permit is issued within a period of two (2) years from the date granted unless an extension is granted in accordance with Section 10.236 of the Zoning Ordinance.

The minutes and audio recording of this meeting are available by contacting the Planning Department.

Very truly yours,

Arthur Parrott, Chairman of the Zoning Board of Adjustment

cc: Shanti Wolph, Chief Building Inspector

Rosann Maurice-Lentz, City Assessor

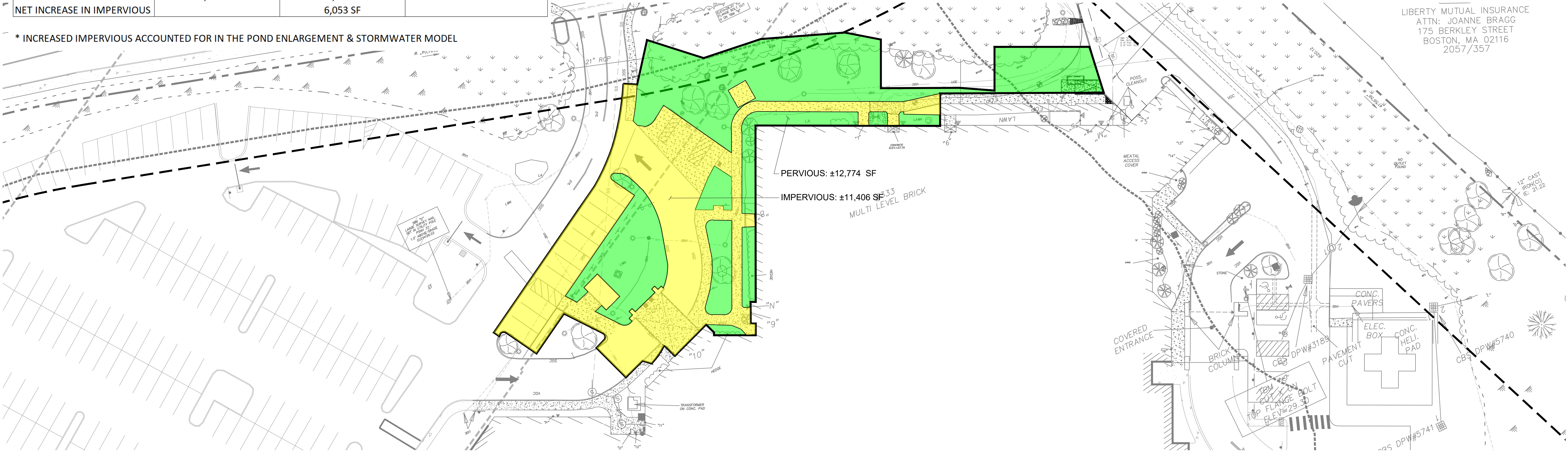
Chris Akers, Project Manager, Kimley-Horn

LAND COVER DATA TABLE			
	PERVIOUS AREA	IMPERVIOUS AREA	OVERALL CAMPUS OPENSOURCE
PRE-DEVELOPMENT	12,774 SF	11,406 SF	39.0%
POST-DEVELOPMENT	6,720 SF	17,459 SF	38.3%
NET INCREASE IN IMPERVIOUS		6,053 SF	

* INCREASED IMPERVIOUS ACCOUNTED FOR IN THE POND ENLARGEMENT & STORMWATER MODEL

GRAPHIC SCALE IN FEET
0 15 30 60

LIBERTY MUTUAL INSURANCE
ATTN: JOANNE BRAGG
175 BERKLEY STREET
BOSTON, MA 02116
2057/357



PRE-DEVELOPMENT LAND COVERAGE
1" = 30'



POST-DEVELOPMENT LAND COVERAGE
1" = 30'

Kimley»Horn

404 WYMAN STREET, SUITE 385 WALTHAM, MA 02451
MAIN 781.328.0676 | WWW.KIMLEY-HORN.COM
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PORTSMOUTH REGIONAL
HOSPITAL
RADIATION ONCOLOGY ADDITION
PORTSMOUTH, NEW HAMPSHIRE

NO.	BY	DATE	REVISIONS
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

DESIGNED BY: CRA
DRAWN BY: MEH
CHECKED BY: BB
DATE: 04/25/2022
KIMLEY-HORN PROJECT NO. 118252004

PRE & POST
DEVELOPMENT LAND
COVERAGE

D1.00

[illegible]

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	SCS Runoff	16.61	2	716	35,198	-----	-----	-----	PRE-DEVELOPMENT RUNOFF
2	SCS Runoff	16.61	2	716	35,198	-----	-----	-----	POST-DEVELOPMENT RUNOFF
3	Reservoir	9.051	2	722	33,767	1	22.45	9,429	PRE-DEVELOPMENT
4	Reservoir	8.827	2	722	33,767	2	22.41	9,733	POST-DEVELOPMENT
POND EXISTING.gpw					Return Period: 2 Year			Thursday, 05 / 5 / 2022	

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Thursday, 05 / 5 / 2022

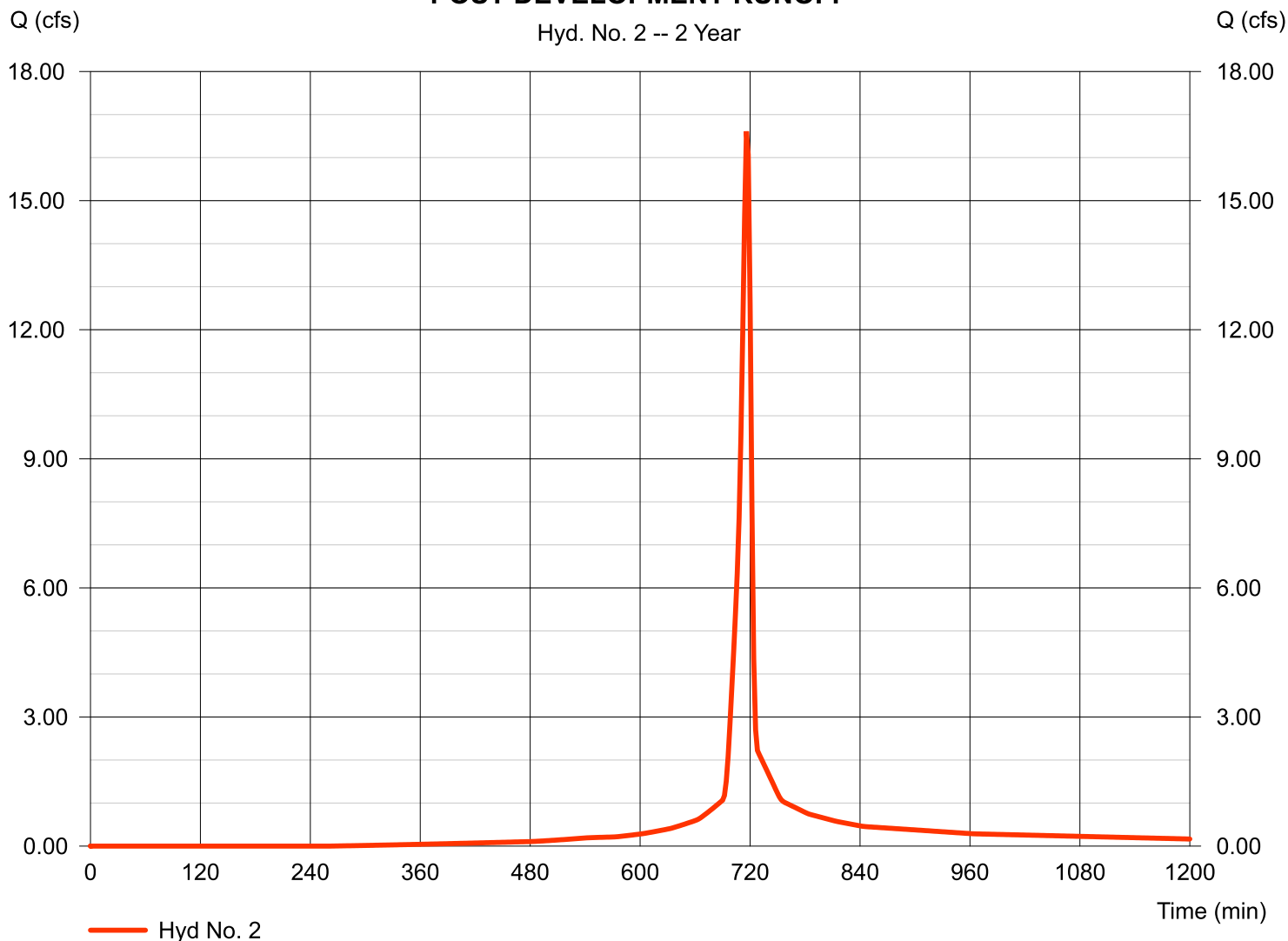
Hyd. No. 2

POST-DEVELOPMENT RUNOFF

Hydrograph type	=	SCS Runoff	Peak discharge	=	16.61 cfs
Storm frequency	=	2 yrs	Time to peak	=	716 min
Time interval	=	2 min	Hyd. volume	=	35,198 cuft
Drainage area	=	4.180 ac	Curve number	=	92*
Basin Slope	=	0.0 %	Hydraulic length	=	0 ft
Tc method	=	TR55	Time of conc. (Tc)	=	5.00 min
Total precip.	=	3.33 in	Distribution	=	Type II
Storm duration	=	24 hrs	Shape factor	=	484

* Composite (Area/CN) = $[(0.910 \times 98) + (1.320 \times 79) + (1.950 \times 98)] / 4.180$

POST-DEVELOPMENT RUNOFF



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	SCS Runoff	23.20	2	716	50,272	-----	-----	-----	PRE-DEVELOPMENT RUNOFF
2	SCS Runoff	23.20	2	716	50,272	-----	-----	-----	POST-DEVELOPMENT RUNOFF
3	Reservoir	10.72	2	722	48,841	1	22.91	13,320	PRE-DEVELOPMENT
4	Reservoir	10.59	2	724	48,841	2	22.80	13,648	POST-DEVELOPMENT
POND EXISTING.gpw					Return Period: 5 Year			Thursday, 05 / 5 / 2022	

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Thursday, 05 / 5 / 2022

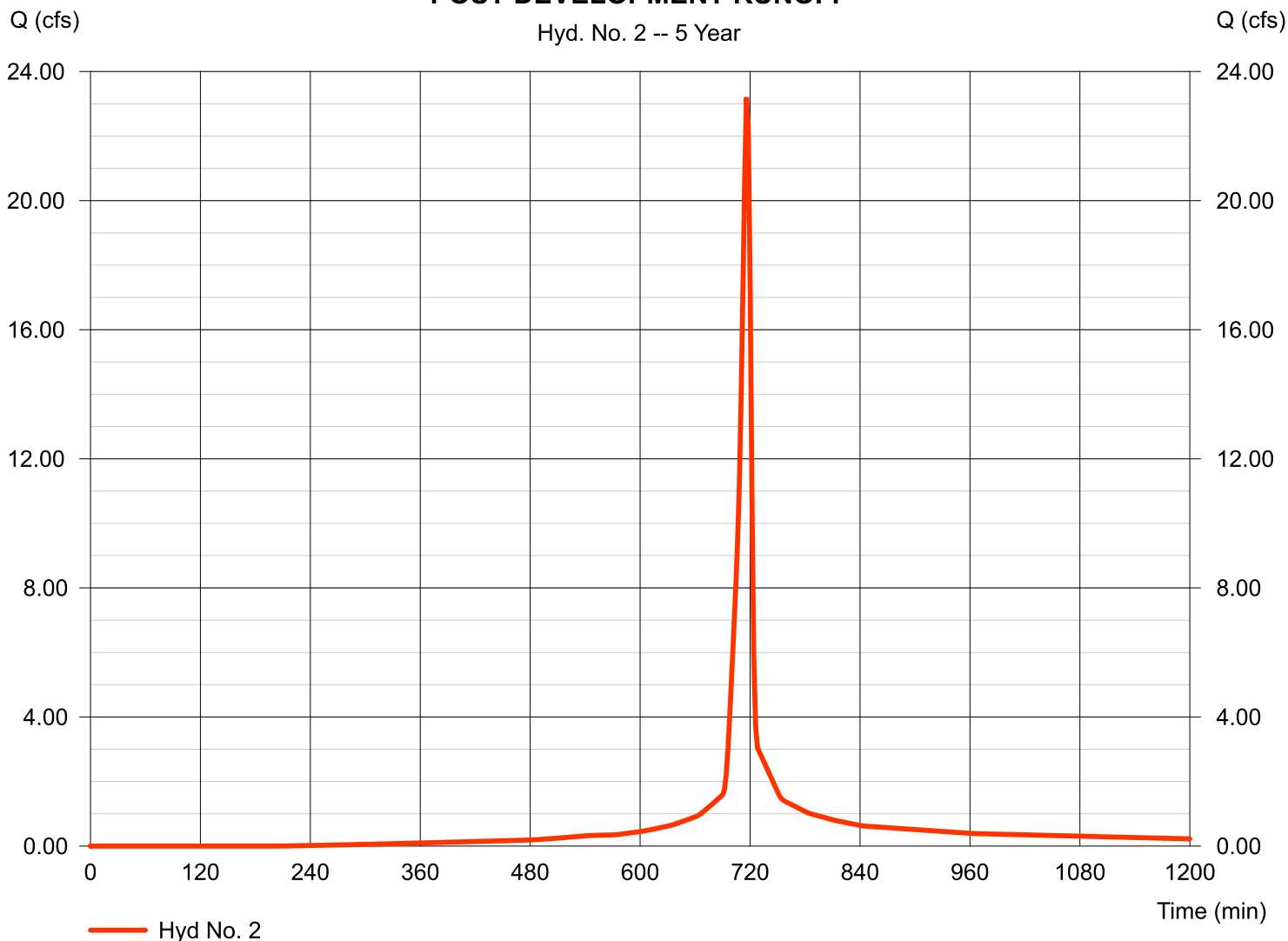
Hyd. No. 2

POST-DEVELOPMENT RUNOFF

Hydrograph type	= SCS Runoff	Peak discharge	= 23.20 cfs
Storm frequency	= 5 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 50,272 cuft
Drainage area	= 4.180 ac	Curve number	= 92*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 5.00 min
Total precip.	= 4.43 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = $[(0.910 \times 98) + (1.320 \times 79) + (1.950 \times 98)] / 4.180$

POST-DEVELOPMENT RUNOFF



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	SCS Runoff	28.61	2	716	62,900	-----	-----	-----	PRE-DEVELOPMENT RUNOFF
2	SCS Runoff	28.61	2	716	62,900	-----	-----	-----	POST-DEVELOPMENT RUNOFF
3	Reservoir	14.18	2	722	61,470	1	23.21	16,336	PRE-DEVELOPMENT
4	Reservoir	13.57	2	722	61,469	2	23.15	16,866	POST-DEVELOPMENT
POND EXISTING.gpw					Return Period: 10 Year			Thursday, 05 / 5 / 2022	

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Thursday, 05 / 5 / 2022

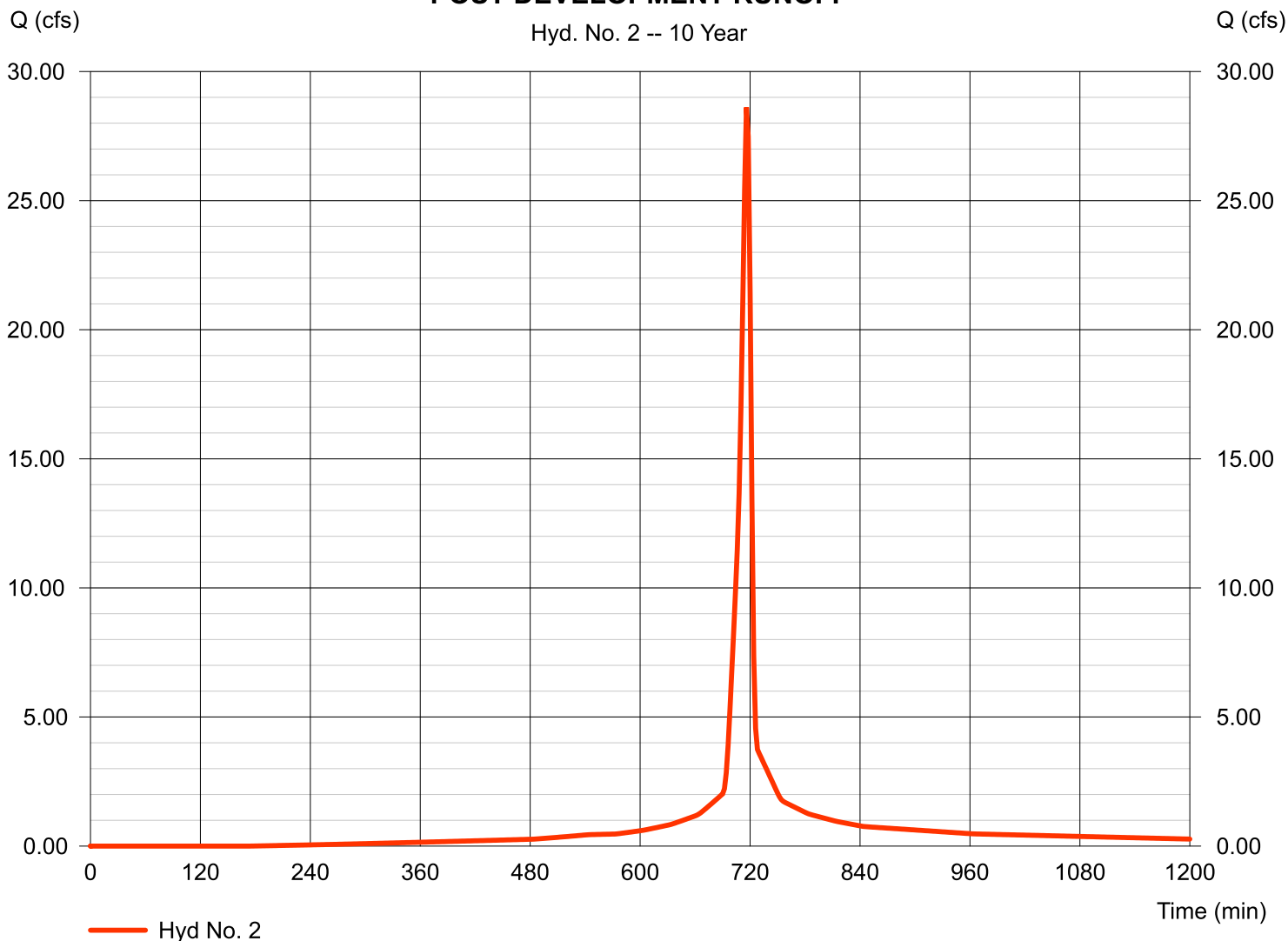
Hyd. No. 2

POST-DEVELOPMENT RUNOFF

Hydrograph type	=	SCS Runoff	Peak discharge	=	28.61 cfs
Storm frequency	=	10 yrs	Time to peak	=	716 min
Time interval	=	2 min	Hyd. volume	=	62,900 cuft
Drainage area	=	4.180 ac	Curve number	=	92*
Basin Slope	=	0.0 %	Hydraulic length	=	0 ft
Tc method	=	TR55	Time of conc. (Tc)	=	5.00 min
Total precip.	=	5.34 in	Distribution	=	Type II
Storm duration	=	24 hrs	Shape factor	=	484

* Composite (Area/CN) = $[(0.910 \times 98) + (1.320 \times 79) + (1.950 \times 98)] / 4.180$

POST-DEVELOPMENT RUNOFF



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	SCS Runoff	36.05	2	716	80,516	-----	-----	-----	PRE-DEVELOPMENT RUNOFF
2	SCS Runoff	36.05	2	716	80,516	-----	-----	-----	POST-DEVELOPMENT RUNOFF
3	Reservoir	17.71	2	722	79,085	1	23.60	20,589	PRE-DEVELOPMENT
4	Reservoir	17.12	2	722	79,085	2	23.53	21,204	POST-DEVELOPMENT
POND EXISTING.gpw					Return Period: 25 Year			Thursday, 05 / 5 / 2022	

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Thursday, 05 / 5 / 2022

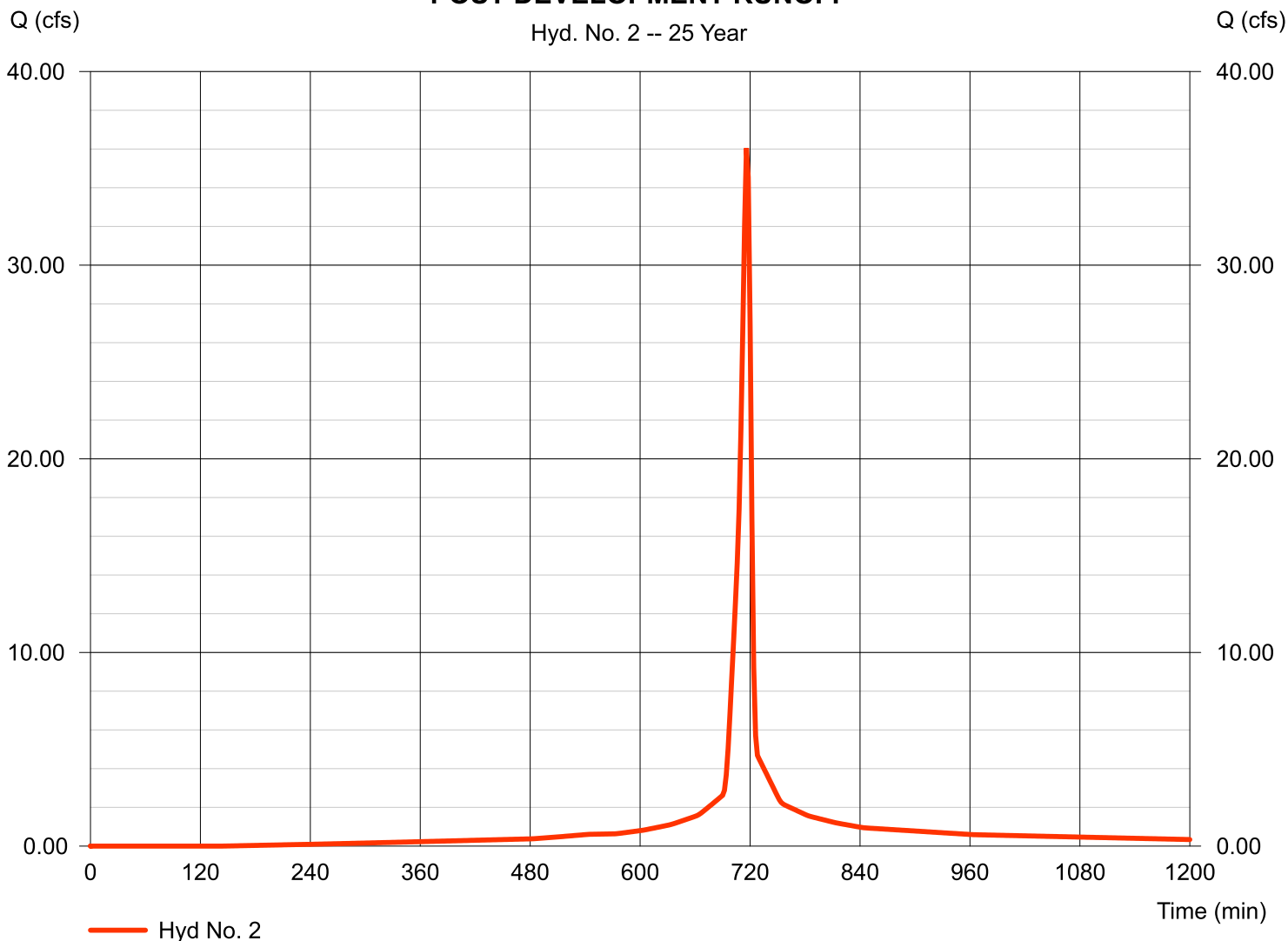
Hyd. No. 2

POST-DEVELOPMENT RUNOFF

Hydrograph type	= SCS Runoff	Peak discharge	= 36.05 cfs
Storm frequency	= 25 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 80,516 cuft
Drainage area	= 4.180 ac	Curve number	= 92*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 5.00 min
Total precip.	= 6.60 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = $[(0.910 \times 98) + (1.320 \times 79) + (1.950 \times 98)] / 4.180$

POST-DEVELOPMENT RUNOFF



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	SCS Runoff	41.44	2	716	93,438	-----	-----	-----	PRE-DEVELOPMENT RUNOFF
2	SCS Runoff	41.44	2	716	93,438	-----	-----	-----	POST-DEVELOPMENT RUNOFF
3	Reservoir	19.92	2	722	92,008	1	23.88	23,729	PRE-DEVELOPMENT
4	Reservoir	19.33	2	722	92,007	2	23.80	24,417	POST-DEVELOPMENT
POND EXISTING.gpw					Return Period: 50 Year			Thursday, 05 / 5 / 2022	

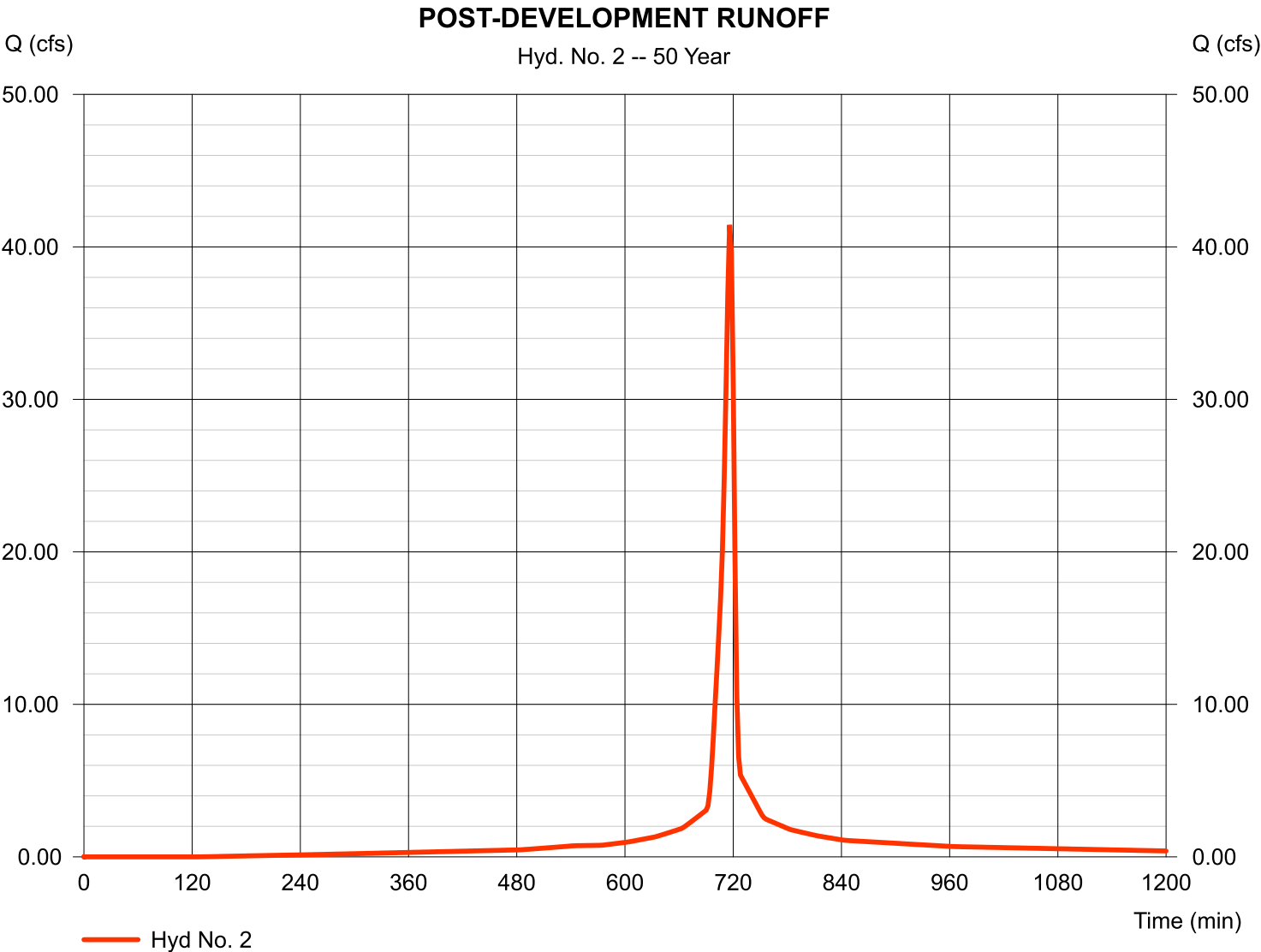
Hydrograph Report

Hyd. No. 2

POST-DEVELOPMENT RUNOFF

Hydrograph type	=	SCS Runoff	Peak discharge	=	41.44 cfs
Storm frequency	=	50 yrs	Time to peak	=	716 min
Time interval	=	2 min	Hyd. volume	=	93,438 cuft
Drainage area	=	4.180 ac	Curve number	=	92*
Basin Slope	=	0.0 %	Hydraulic length	=	0 ft
Tc method	=	TR55	Time of conc. (Tc)	=	5.00 min
Total precip.	=	7.52 in	Distribution	=	Type II
Storm duration	=	24 hrs	Shape factor	=	484

* Composite (Area/CN) = [(0.910 x 98) + (1.320 x 79) + (1.950 x 98)] / 4.180



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	SCS Runoff	47.34	2	716	107,662	-----	-----	-----	PRE-DEVELOPMENT RUNOFF
2	SCS Runoff	47.34	2	716	107,662	-----	-----	-----	POST-DEVELOPMENT RUNOFF
3	Reservoir	21.93	2	722	106,232	1	24.17	27,298	PRE-DEVELOPMENT
4	Reservoir	21.45	2	722	106,231	2	24.10	28,058	POST-DEVELOPMENT
POND EXISTING.gpw					Return Period: 100 Year			Thursday, 05 / 5 / 2022	

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Thursday, 05 / 5 / 2022

Hyd. No. 2

POST-DEVELOPMENT RUNOFF

Hydrograph type = SCS Runoff
 Storm frequency = 100 yrs
 Time interval = 2 min
 Drainage area = 4.180 ac
 Basin Slope = 0.0 %
 Tc method = TR55
 Total precip. = 8.53 in
 Storm duration = 24 hrs

Peak discharge = 47.34 cfs
 Time to peak = 716 min
 Hyd. volume = 107,662 cuft
 Curve number = 92*
 Hydraulic length = 0 ft
 Time of conc. (Tc) = 5.00 min
 Distribution = Type II
 Shape factor = 484

* Composite (Area/CN) = $[(0.910 \times 98) + (1.320 \times 79) + (1.950 \times 98)] / 4.180$

POST-DEVELOPMENT RUNOFF

