

May 10, 2019

City of Portsmouth  
1 Junkins Ave  
Portsmouth NH 03801

Subject: Building Permit 29982 Amendment Application

To Whom It May Concern:

I am submitting an application to amend building permit 29982, concerning remodeling work at 150 Brackett Road (lot 207-72).

The site plan that was submitted with the original building permit application contained errors. This was a result of a miscommunication between myself, my architect, and my engineer that I have worked with throughout this project. In summary, we submitted a site plan based on a previous revision of the architectural plans. This previous revision had the steps on the rear deck of the house at the northeast side and are called out as the incorrect square-footage footprint.

I sincerely apologize for this mistake. I was unaware of this discrepancy until we had scheduled the final inspection. It was unknown to me that this issue was brought up to my architect and builders nearly 10-months ago. Had I known about it then, I would have immediately worked to correct the miscommunication.

Throughout the project, we have been working with the most recent revision to the site plans, which have the deck stairs on the southern side of the deck. We made this change because the steps on the southern side of the deck presents a more favorable position as it is a less environmentally sensitive location. In this new location on the southern side of the deck, the stairs need to be larger to accommodate a landing (to allow for a 90-degree turn), and additional treads to account for the larger vertical distance to climb. As a result, the new steps would need to be 35 sq-ft total footprint. The approved stairs are called out as 6 sq-ft. This represents an increase in 29 square feet of footprint to approve.

I believe this proposed location is a more favorable location, from a wetlands preservation perspective, for the following reasons:

- The proposed stairs are further set back from the wetlands (40-ft from the wetlands versus the approved 30-ft)
- The proposed stairs will be over an area that has historically been maintained as grass/yard. The approved stairs would be in a natural, wooded environment
- Access to the proposed stairs would be directly from the yard/grass. The approved stairs would require people to walk through the natural, wooded environment.

In addition, I would like to make note of the improvements we have made to the site as a result of this project. When we purchased the house, prior to construction, there was a total of 823 sq-ft of impervious surface when accounting for the existing deck(s), and the asphalt-paved driveway. In the proposal we are making today, even accounting for the larger steps, we have reduced that impervious surface to 644 sq-ft, a net reduction of 22% of impervious deck/driveway surfaces when all is said and done.

I am asking for the approval of these steps in the proposed location as outlined in the informational packet that is enclosed with this letter.

Thank you,



Daniel Cook  
150 Brackett Rd  
Portsmouth NH 03801

# 150 Brackett Road

## Proposed Deck Stair Location Change

29,893	29,893
9.8%	9.2%

**Wetlands Line**

**Stair Location As approved by Conservation Comm. & Planning Board May 9, 2018 (6 sq-ft footprint)**

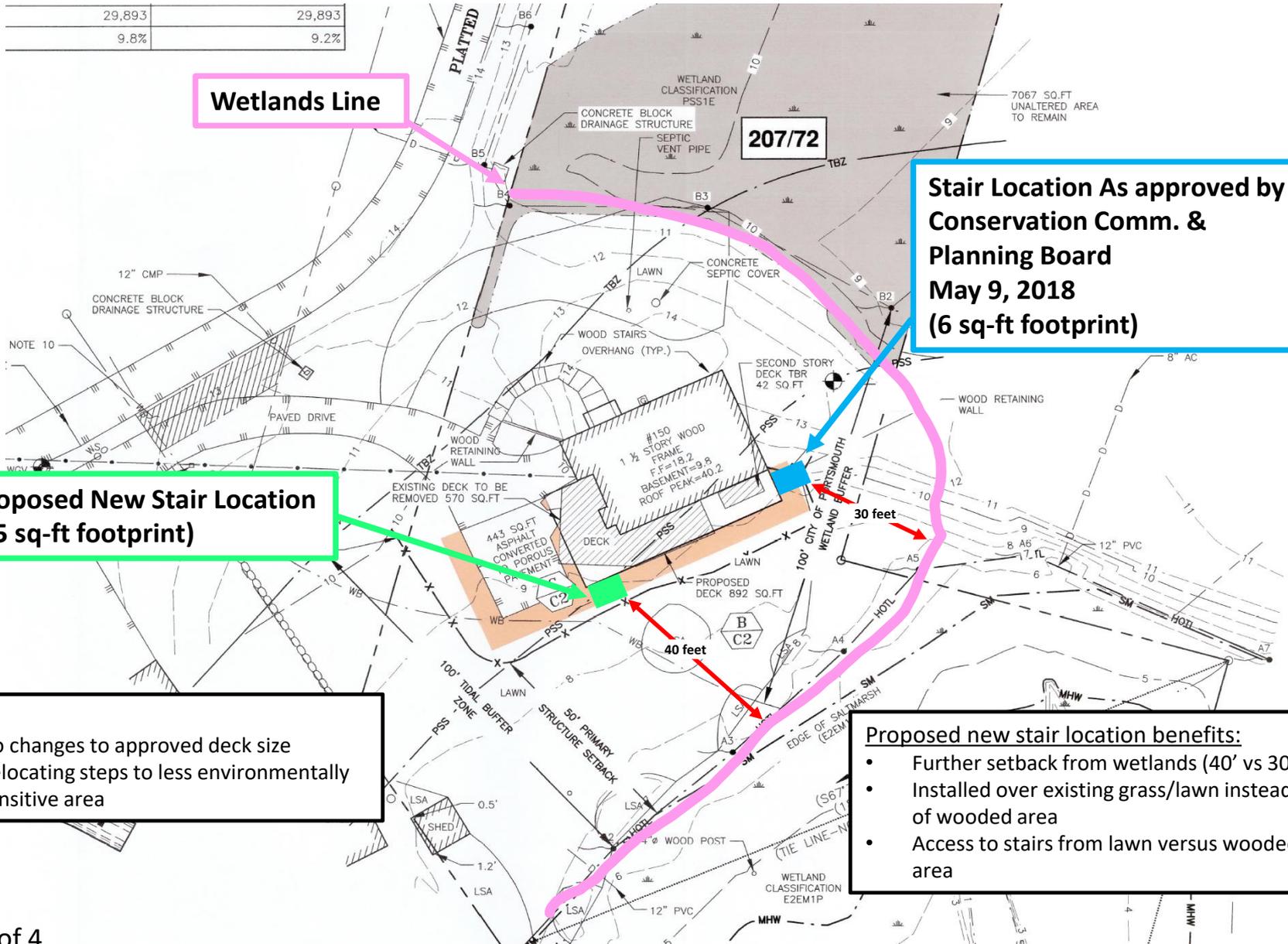
**Proposed New Stair Location (35 sq-ft footprint)**

**Notes:**

- No changes to approved deck size
- Relocating steps to less environmentally sensitive area

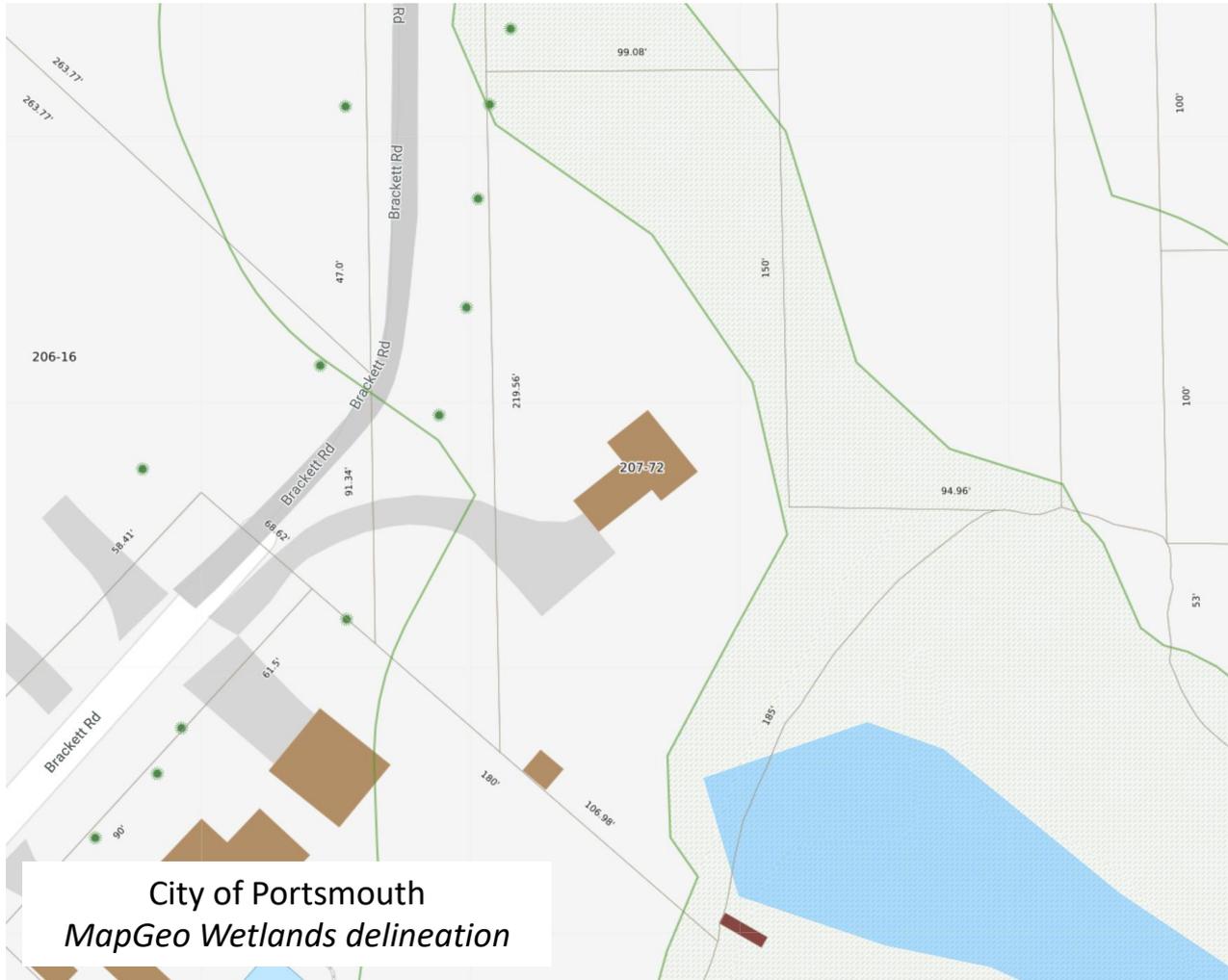
**Proposed new stair location benefits:**

- Further setback from wetlands (40' vs 30')
- Installed over existing grass/lawn instead of wooded area
- Access to stairs from lawn versus wooded area



# 150 Brackett Road

## Proposed Deck Stair Location Change



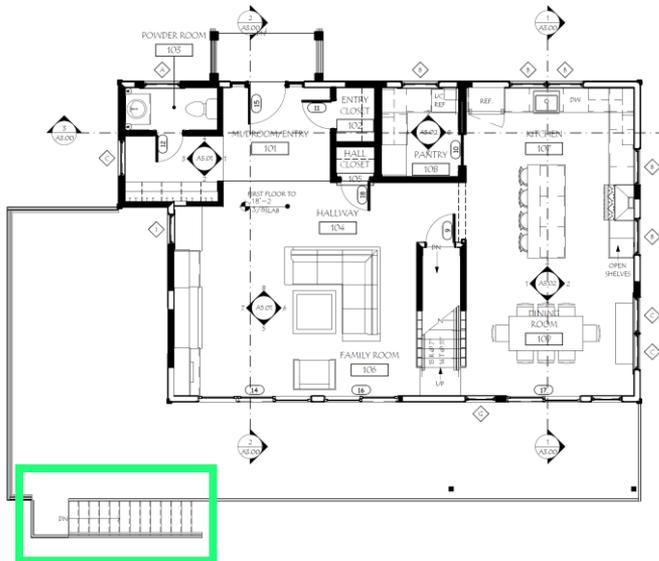
# 150 Brackett Road

## Proposed Deck Stair Location Change

### Proposed Location



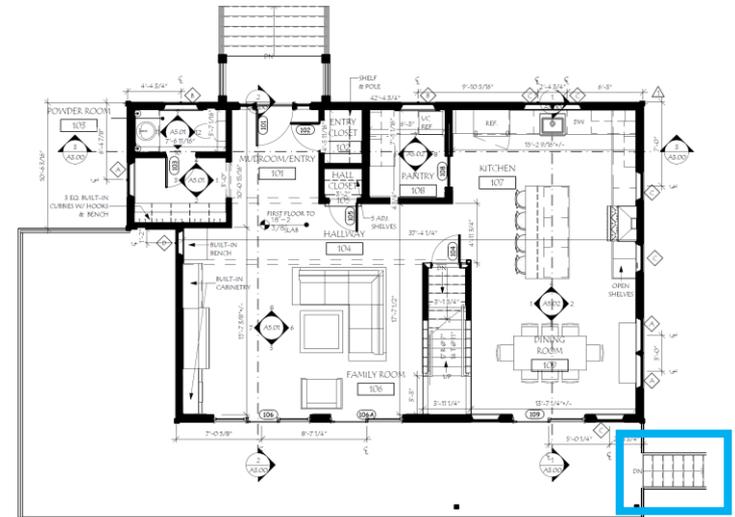
Stairs approximately where blue chairs are shown



### Approved Location



Stairs approximately where wood retaining wall is shown



# Site Conditions

<b>Original</b> <i>(prior to construction)</i>	<b>As Approved</b> <i>(May 9, 2018)</i>	<b>Proposed Plan</b>
823 sq-ft total impervious surface <i>(deck, driveway)</i>	615 sq-ft total impervious surface <i>(25% reduction from original)</i>	644 sq-ft total impervious surface <i>(22% reduction from original)</i>
Structure within 40-ft of wetlands	Stairs set back 30-ft from wetlands, structure within 35-ft	Stairs set back 40-ft from wetlands, structure within 35-ft
	Stairs 6 sq-ft total footprint	Stairs 35 sq-ft total footprint (larger vertical distance)
	Stairs over wooded/natural area	Stairs over existing lawn/grass area