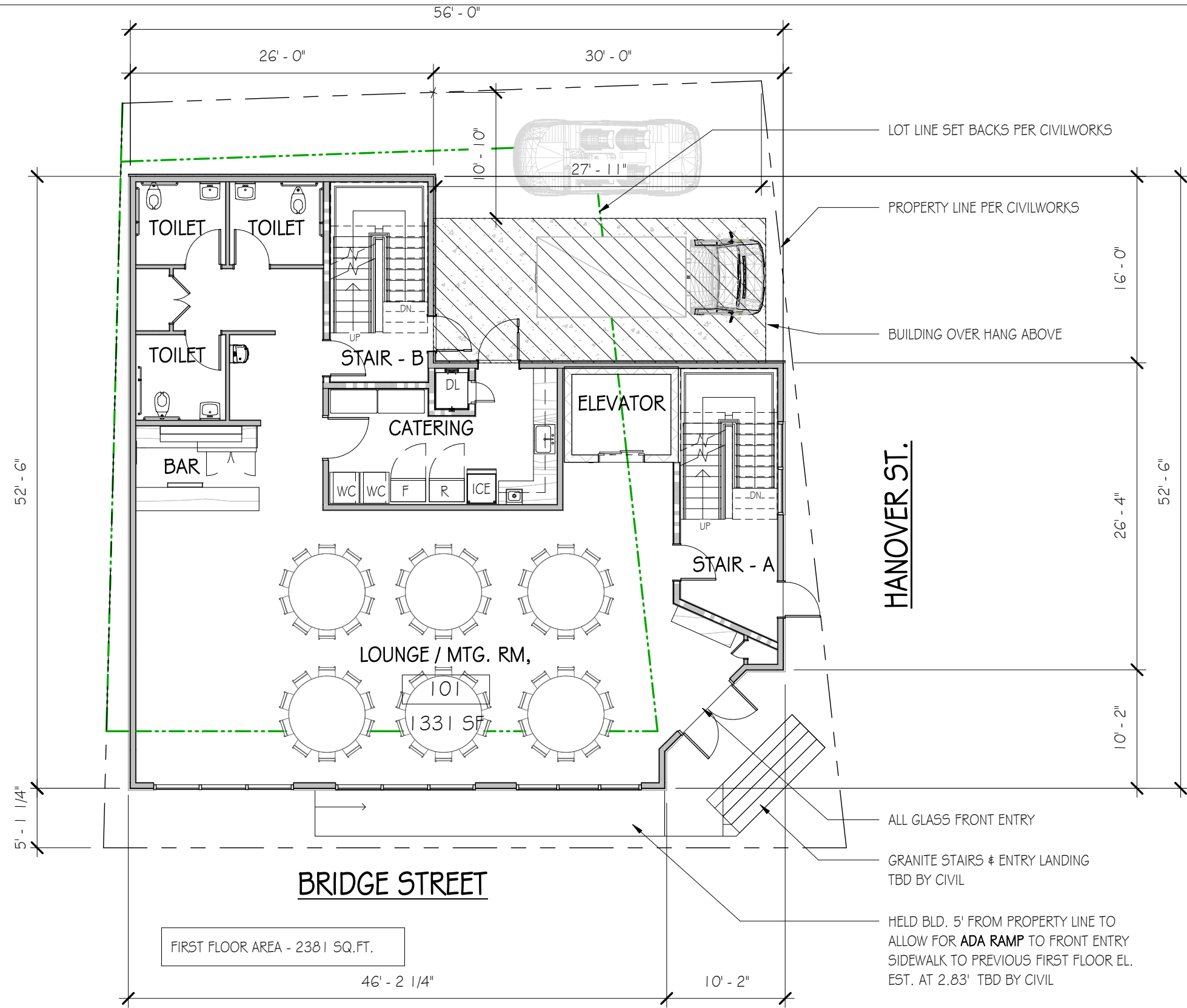




② INTERIOR BAR VIEW
1/4" = 1'-0"



① FIRST FLOOR PLAN
1" = 10'-0"

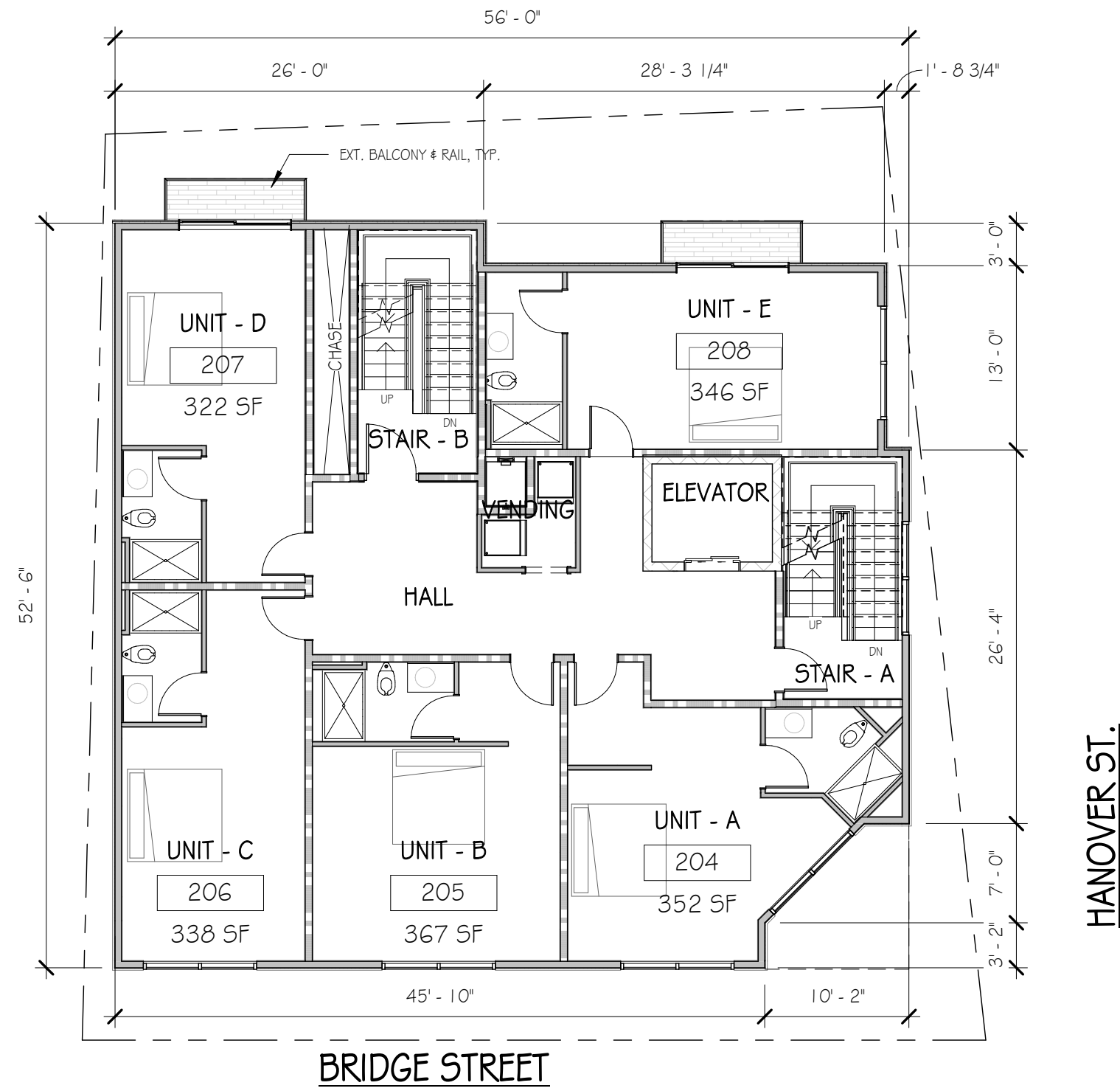
FIRST FLOOR PLAN

Bridge St. Inn

As indicated
NFC - 092925
SCHEMATIC DESIGN

A1.1





SECOND FLOOR AREA - 2748 SQ.FT.

① SECOND FLOOR
1" = 10'-0"

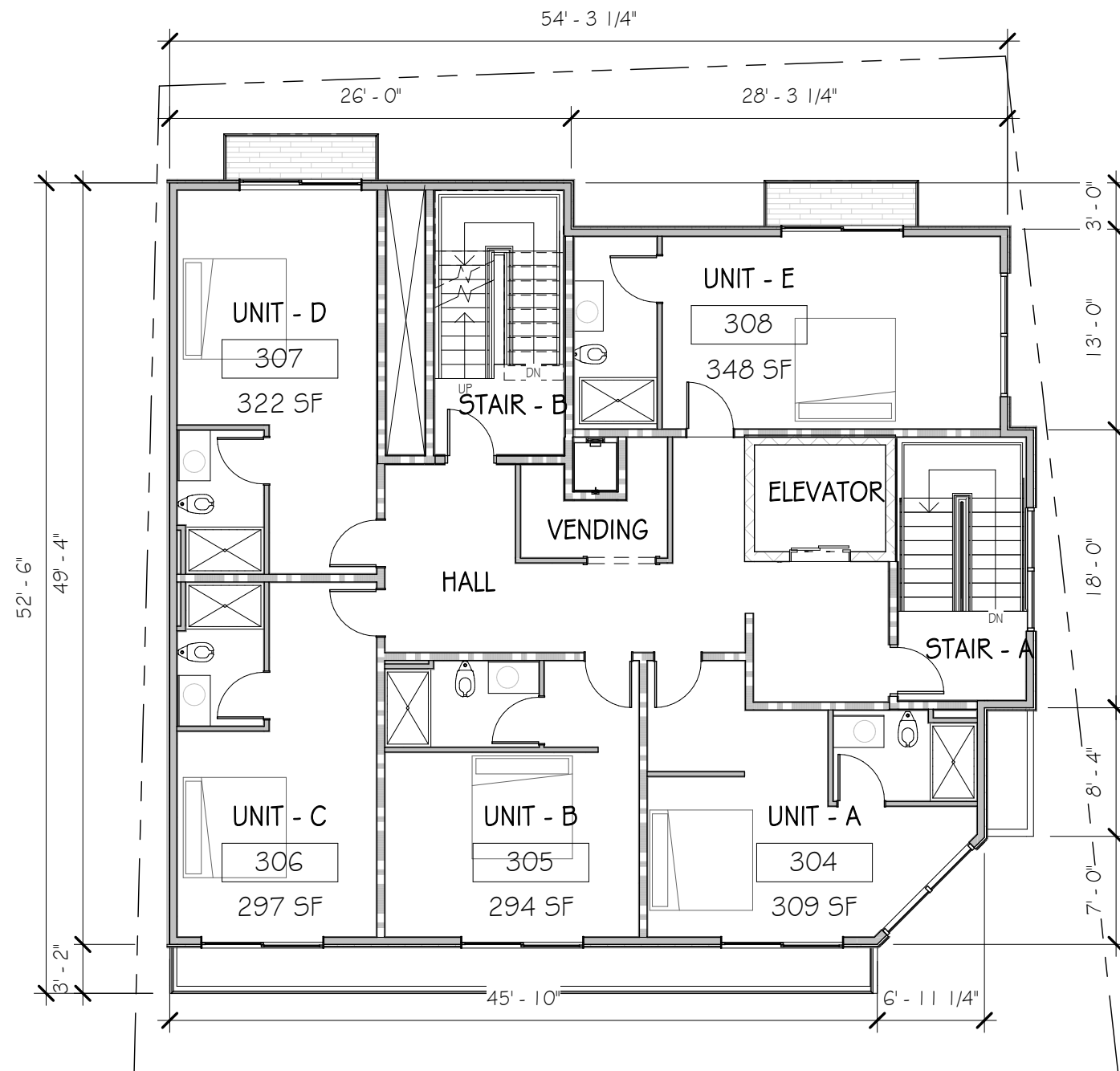
SECOND FLOOR PLAN

Bridge St. Inn

1" = 10'-0"
NFC - 092925
SCHEMATIC DESIGN

A1.2





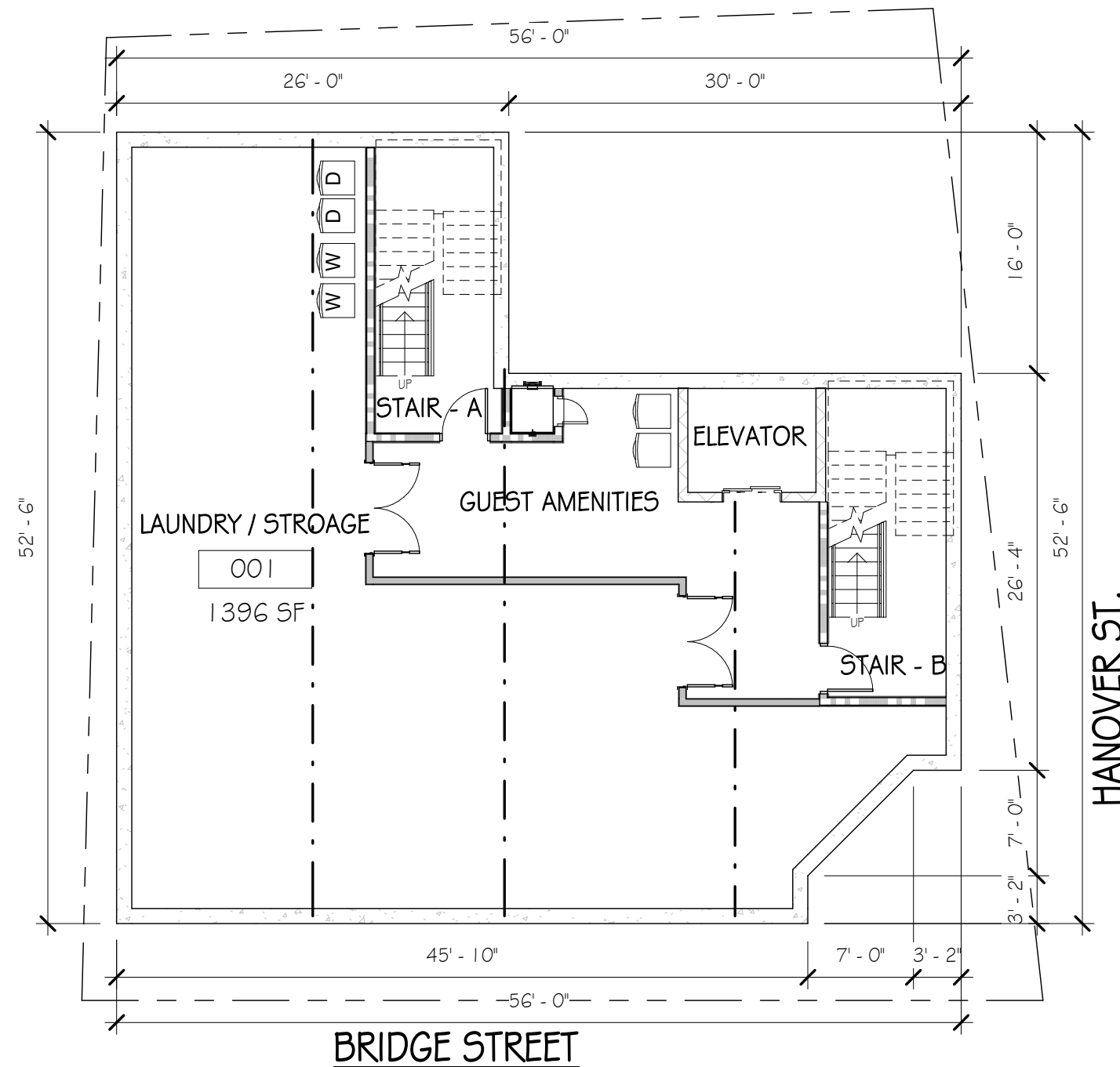
① THIRD FLOOR
1" = 10'-0"

THIRD FLOOR PLAN

Bridge St. Inn

1" = 10'-0"
NFC - 092925
SCHEMATIC DESIGN

A1.3



BASEMENT AREA - 2381 SQ.FT.

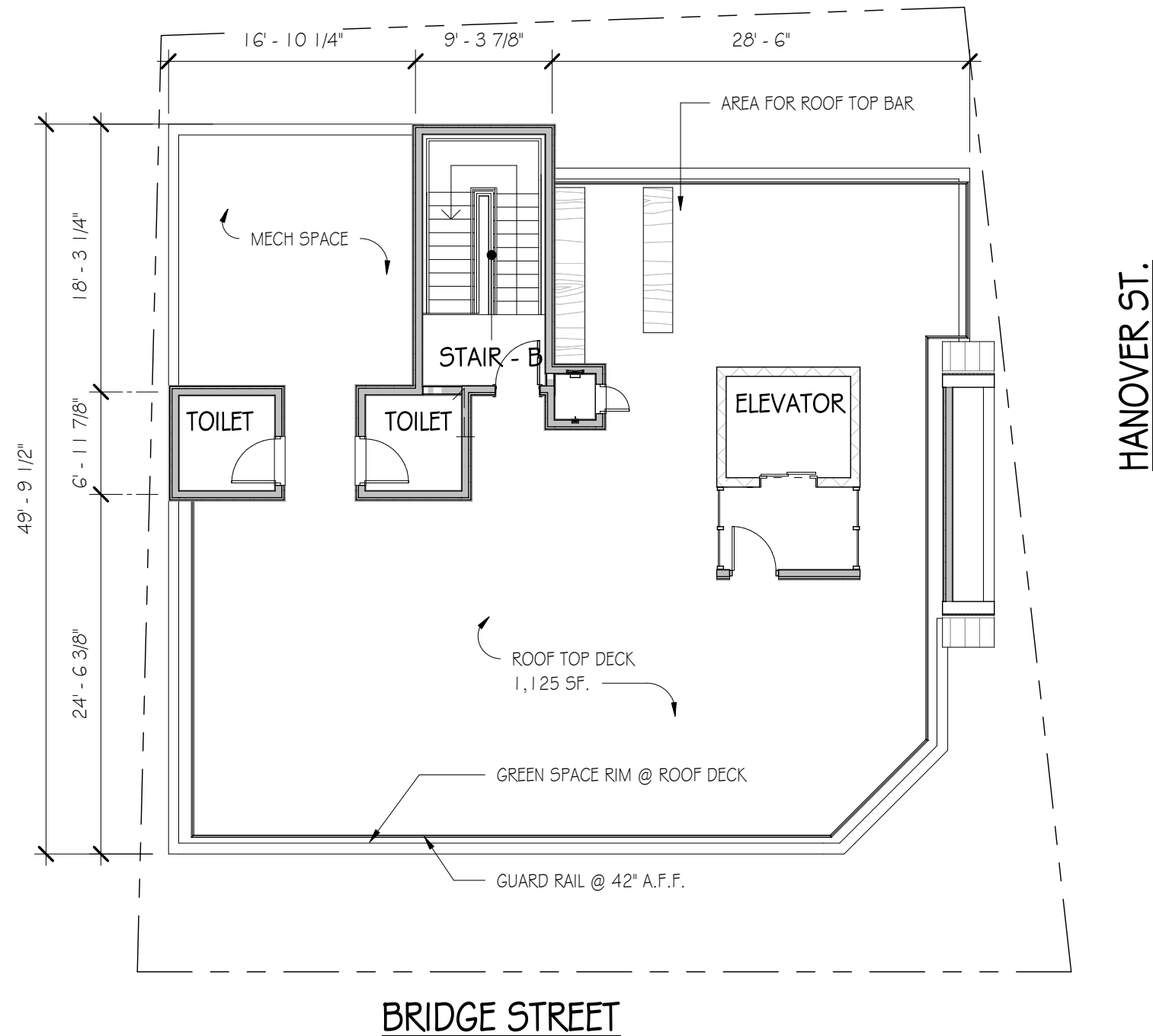
① BASEMENT LEVEL PLAN
1" = 10'-0"

BASEMENT PLAN

Bridge St. Inn

1" = 10'-0"
NFC - 092925
SCHEMATIC DESIGN

A1.4



ROOF DECK AREA - 1,645 SQ.FT.

① ROOF DECK
1" = 10'-0"

ROOF DECK

Bridge St. Inn

1" = 10'-0"
NFC - 092925
SCHEMATIC DESIGN

A1.5

ROOF DECK & RAILING

ROUGHLY 39'-0" BUILDING HGT.
FROM SIDEWALK GRADE.
CIVILWORKS NEEDS TO CONFIRM

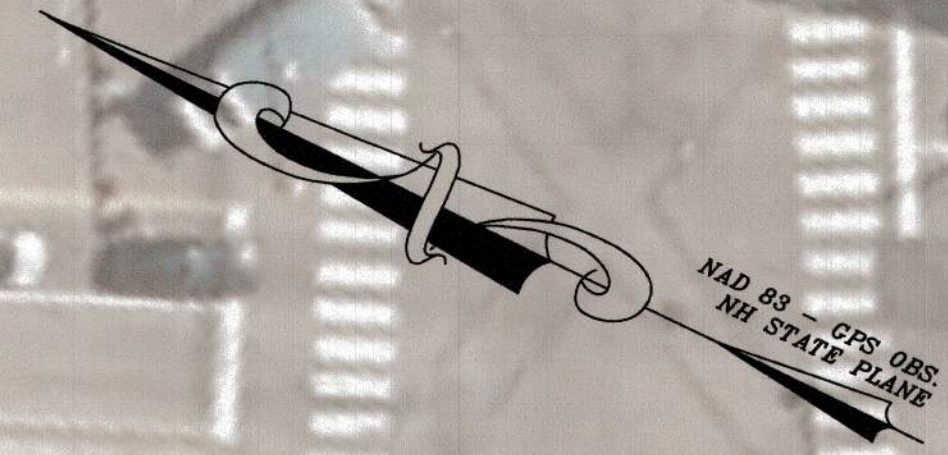
3RD FL. @ 10'-4" F/F
ALLOWS FOR 9' CLG @ 2ND FL.

2ND FL @ 12'-4" F/F
ALLOWS FOR 11' CLG. @ 1ST FL.



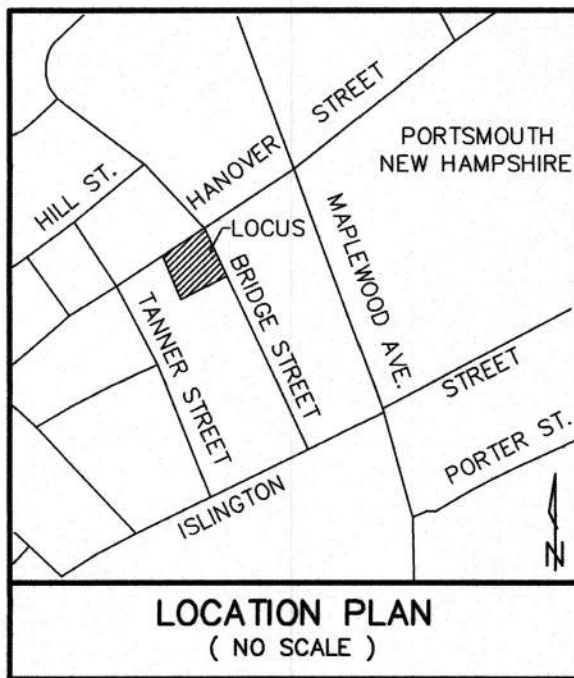
STREET VIEW - MASSING

Bridge St. Inn



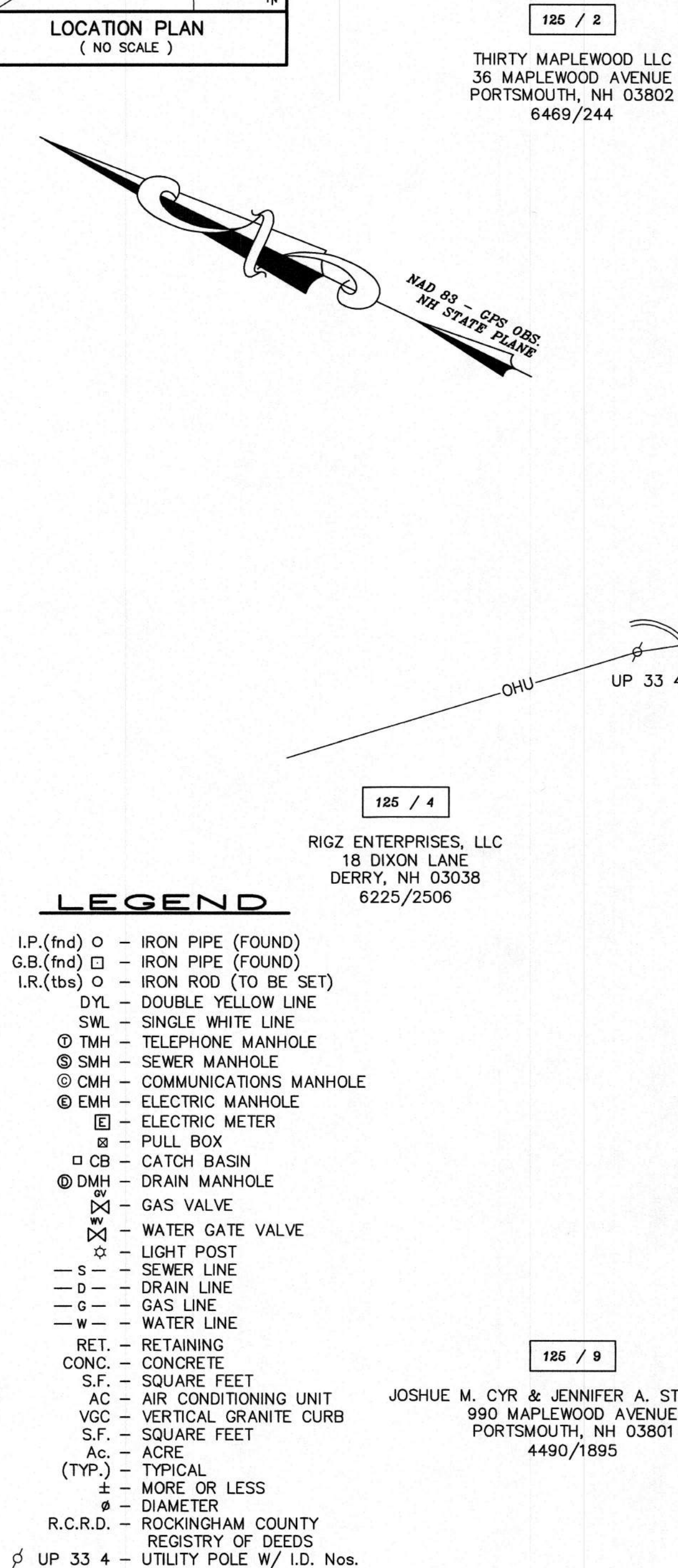
25066 - RAFFERTY
64 BRIDGE STREET, PORTSMOUTH, NH
1"=20' - 8/2/25
FB 25-06, PG 10-15
P: \25066\S\Dwg\25066.dwg
P: \25066\Survey\FB\OFFICE\25066.crd
NAD'83 - NAVD'88

8/4/2025 16:21:47 File: P:\25066 - 64 Bridge Street Portsmouth, NH - Scott Rafferty\Survey\Drawings\25066.dwg Layout: MS-A2024 - ONE-22024



REFERENCE PLANS:

- 1.) RECORDED S.C.R.D. PLAN



LEGEND

- I.P.(fnd) ○ - IRON PIPE (FOUND)
G.B.(fnd) □ - IRON PIPE (FOUND)
I.R.(tbs) ○ - IRON ROD (TO BE SET)
DYL - DOUBLE YELLOW LINE
SWL - SINGLE WHITE LINE
TMH - TELEPHONE MANHOLE
SMH - SEWER MANHOLE
CMH - COMMUNICATIONS MANHOLE
EMH - ELECTRIC MANHOLE
E - ELECTRIC METER
PB - PULL BOX
CB - CATCH BASIN
DMH - DRAIN MANHOLE
G - GAS VALVE
W - WATER GATE VALVE
LP - LIGHT POST
S - SEWER LINE
D - DRAIN LINE
G - GAS LINE
W - WATER LINE
RET. - RETAINING
CONC. - CONCRETE
S.F. - SQUARE FEET
AC - AIR CONDITIONING UNIT
VGC - VERTICAL GRANITE CURB
S.F. - SQUARE FEET
AC - ACRE
(TYP.) - TYPICAL
+ - MORE OR LESS
Ø - DIAMETER
R.C.R.D. - ROCKINGHAM COUNTY
REGISTRY OF DEEDS
UP 33 4 - UTILITY POLE W/ I.D. Nos.

NO.	DATE	DESCRIPTION	BY	CHK
REVISIONS				
24-	SUBDIVISION	25-06	10-13	
PROJECT NO	TYPE	FIELDBOOK & PAGES		

126 / 59
CITY OF PORTSMOUTH
P.O. BOX 628
PORTSMOUTH, NH 03802
2166/388

NOTES:

- 1.) OWNER OF RECORD:
STEPHEN MAYEUX & CHRISTINE MAYEUX
64 BRIDGE STREET
PORTSMOUTH, NEW HAMPSHIRE
R.C.R.D. VOLUME 2869, PAGE 647
- 2.) 126 / 65 - DENOTES TAX MAP AND PARCEL NUMBER.
- 3.) PARCEL AREA = S.F. / Ac.
- 4.) THE INTENT OF THIS PLAN IS TO DEPICT THE PARCEL BOUNDARY AND EXISTING SITE CONDITIONS AS OF JUNE 12, 2025. THIS PLAN SHALL BE RECORDED IN THE ROCKINGHAM REGISTRY OF DEEDS.
- 5.) ZONING DISTRICT: CHARACTER DISTRICT 4, DOWNTOWN OVERLAY
- DISTRICT (CD4)
DEVELOPMENT STANDARDS:
- BUILDING PLACEMENT - PRINCIPAL BUILDING
MAXIMUM PRINCIPAL FRONT YARD = 10 FEET
MAXIMUM SECONDARY FRONT YARD = 15 FEET
SIDE YARD = NR
MINIMUM REAR YARD = GREATER OF 5 FT. FROM REAR LOT LINE OR 10 FT. FROM CENTERLINE OF ALLEY = 50 PERCENT MINIMUM
- FRONT LOT LINE BUILDOUT
MAXIMUM BUILDING HEIGHT = 200 FEET
BUILDING AND LOT OCCUPATION
MAXIMUM FACADE MODULATION LENGTH = 80 FEET (SEE SECTION 10.5A43.20)
MAXIMUM ENTRANCE SPACING = 50 FEET
MAXIMUM BUILDING COVERAGE = 90 PERCENT
MAXIMUM BUILDING FOOTPRINT = 15,000 S.F. (OR AS ALLOWED BY SECTION 10.5A43.40)
MINIMUM LOT AREA = NR
MINIMUM LOT AREA PER DWELLING UNIT = NR
MINIMUM OPENSOURCE = 10 PERCENT
MAXIMUM GROUND FLOOR GFA PER USE = 15,000 S.F.
- BUILDING FORM - PRINCIPAL BUILDING
BUILDING HEIGHT = 2-3 STORIES, 3 STORIES & 40' FEET MAXIMUM
MAXIMUM FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE = 36 INCHES
MINIMUM GROUND STORY HEIGHT = 12 FEET
MINIMUM SECOND STORY HEIGHT = 10 FEET
- 6.) THE SUBJECT PARCEL IS OUTSIDE OF THE 0.2 PERCENT ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 33015C0259F; EFFECTIVE DATE JANUARY 29, 2021.
- 7.) BASIS OF BEARING IS NH STATE PLANE (NAD83) BASED ON GPS OBSERVATION DATED JUNE 12, 2025. VERTICAL DATUM IS NAVD88 BASED ON GPS OBSERVATION DATED JUNE 12, 2025.
- 8.) ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATIONS WITH THE RESPECTIVE UTILITY OWNERS PRIOR TO ANY WORK BEING PERFORMED. CALL DIGSAFE AT 1-888-344-7233.
- 9.) THIS PLAN SHOWS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON THE DATE OF THE SURVEY. THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. FROM THIS PLAN, BUT IN EXISTENCE, IS NOT INTENDED OR IMPLIED.

DRAFT

EXISTING CONDITIONS PLAN
PREPARED FOR
SCOTT RAFFERTY
TAX MAP 126, LOT No.55
64 BRIDGE STREET
CITY of PORTSMOUTH
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

DRAWN BY: JJJH
SCALE: 1" = 10'
FILE: P:\25066\DWG\25066
DATE: AUGUST 4, 2025

10 5 0 5 10 20 30 40

McEneaney Survey Associates
of NEW ENGLAND
P.O. Box 1166 - 181 WATSON ROAD
DOVER, NH 03820 (603) 742-0911

SURVEYING - PLANNING - CONSULTING

"I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL GROUND SURVEY PERFORMED WITH A TOTAL STATION, BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, SAID SURVEY MEETS OR EXCEEDS THE MINIMUM PRECISION REQUIREMENTS FOR SURVEY CLASSIFICATION "U" AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS."

"I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN." (RSA 676:18)

DATE: / KEVIN M. McEANEY LLS # 61