

# Findings of Fact | Attached Accessory Dwelling Unit

## City of Portsmouth Planning Board

Date: May 15, 2025

Property Address: 253 Broad Street

Application #: LU-25-54

Decision: ☐ Approve ☐ Deny ☐ Approve with Conditions

### Findings of Fact:

Per RSA 676:3, I: The local land use board shall issue a final written decision which either approves or disapproves an application for a local permit and make a copy of the decision available to the applicant. **The decision shall include specific written findings of fact that support the decision. Failure of the board to make specific written findings of fact supporting a disapproval shall be grounds for automatic reversal and remand by the superior court upon appeal, in accordance with the time periods set forth in RSA 677:5 or RSA 677:15, unless the court determines that there are other factors warranting the disapproval.** If the application is not approved, the board shall provide the applicant with written reasons for the disapproval. If the application is approved with conditions, the board shall include in the written decision a detailed description of the all conditions necessary to obtain final approval.

Zoning Ordinance -10.814.60: Before granting a conditional use permit for an attached ADU, the Planning Board shall make the following findings:

	Section 10.814.62	Finding (Meets Requirement/ Criteria)	Supporting Information
1	10.814.621 The ADU complies with all applicable standards of this Section 10.814 or as may be modified by the conditional use permit.	Meets  Does Not Meet	The proposed AADU complies with all the standards in Section 10.814 with no modifications.
2	10.814.622 The exterior design of the ADU is architecturally consistent with or similar in appearance to the existing principal dwelling on a lot.	Meets  Does Not Meet	The proposed AADU will be located in the basement of the new dwelling and will present as a single-family dwelling.
3	10.814.623 The site plan provides adequate and appropriate open space and landscaping for both the ADU and the principal dwelling unit and complies with the off-street parking requirements of 10.814.26.	Meets  Does Not Meet	The AADU will have a separate driveway approved by the BOA and will provide 2 parking spaces.
4	10.814.624 The ADU will maintain a compatible relationship with the character of adjacent and neighborhood properties in terms of location, design, and off-street parking layout, and will not significantly reduce the privacy of adjacent properties.	Meets  Does Not Meet	The character of the neighborhood is a diverse and eclectic mix of mid-century modern, shingle-style, federal and modern homes. The design for the contemporary home is a mid-century modern design and is scaled appropriately and similarly to other houses of similar lot size. Privacy is maintained by using the existing side yard and including

	Section 10.814.62	Finding (Meets Requirement/ Criteria)	Supporting Information
			landscape and grading to maintain privacy.
5	<u>Other Board Findings:</u>		

DRAFT

# Josh Ydstie and Lawrence Brewer Residence

## 253 Broad Street, Portsmouth NH

### Proposed New Residence with Attached Dwelling Unit

#### Narrative for

<b>Date:</b>	March 31, 2025	<b>Location:</b>	253 Broad Street, Portsmouth, MA		
	Narrative for Land Use Application		LU -23 -148		N/A

#### Design to Meet Portsmouth Zoning Ordinance Section 10.814.14:

The proposed accessory dwelling unit meets the accessory dwelling unit requirements:

- The proposed ADU is attached to the proposed main residence (at lower level). The owners will be occupying **253 Broad Street** home as their principal place of residence.
- The ADU has one bedroom
- The ADU has a door separating the unit from main dwelling per 10.814.31
- The ADU nor the principal dwelling unit will be used for any business.
- One additional off-street parking space is provided for the resident of the ADU.
- The proposed ADU is 749 GLA sq. ft and has one interior door connecting the two units
- The front door to the ADU is located at the rear corner, lower level adjacent to the unit's private drive and walkway
- The ADU is less than 750 sq. ft.
- Zoning Board of adjustment granted a 7' allowable side yard setback and to grant a variance to allow a second driveway contingent that the applicant shall get an approved ADU within two years of October 2, 2023.

#### 10.814.62 Conditional permit for attached ADU:

10.814.621 The ADU complies with all applicable standards of this Section 10.814 or as may be modified by the conditional use permit. **Yes, the standards are addressed or will be addressed as part of any conditional use permit or order of conditions.**

10.814.622 The exterior design of the ADU is architecturally consistent with or similar in the appearance to the existing principal dwelling on the lot. **Yes, the attached dwelling unit, located at the lower level, has the same materials, overhang, window and door types as well as landscaping to the main residence.**

10.814.623 The site plan provides adequate and appropriate open space and landscaping for both the ADU and the principal dwelling unit and complies with the off street parking requirements in Section 10.814.26. **Yes, the ADU has a separate driveway that allows for (2) parking spaces (one is required).**

10.814.624 The ADU will maintain a compatible relationship with the character of the adjacent and neighborhood properties in terms of location, design, and off-street parking layout, and will not significantly reduce the privacy of adjacent properties. **The character of the neighborhood is a diverse and eclectic mix of mid-century modern, shingle-style, federal and modern homes. The design for the contemporary home is a mid-century modern design and is scaled appropriately and similarly to other houses of similar lot size. Privacy is maintained by using the existing sideyard and including landscape and grading to maintain privacy.**

# Owner Authorization

To: Portsmouth Design Review Phase Approval  
Date: 3-25-2025

Please consider this letter as an authorization to allow our designer to upload required material and answer questions regarding the proposed permitting and approval for the new house structure at 253 Broad Street on the online web portal for City of Portsmouth.

We can be reached at 605-380-0045 or emailed at [jolawcp@gmail.com](mailto:jolawcp@gmail.com).

Signed,



Lawrence Brewer and Josh Ydstie

Lawrence Brewer & Josh Ydstie  
Residence

Single Family with ADU  
New Construction

253 BROAD STREET  
PORTSMOUTH NH

PERMIT SET  
03/25/2025

DRAWING LIST:

ARCHITECTURAL	
L-1	SITE PLAN
A-4	PROPOSED FIRST FLOOR PLAN
A-5	PROPOSED LOWER LEVEL FLOOR PLAN
A-6	ELEVATIONS
A-7	ELEVATIONS
A-8	BUILDING SECTION
A-9	PROPOSED ROOF PLAN

ELECTRICAL	
E1.1	LOWER LEVEL ELECTRICAL PLANS
E1.2	FIRST FLOOR ELECTRICAL PLANS

GENERAL NOTES:

1. THE CONSTRUCTION SHALL STRICTLY CONFORM WITH ALL CODES HAVING JURISDICTION IN THE BUILDING OF THIS PROJECT, INCLUDING, BUT NOT LIMITED TO: FEDERAL, STATE, CITY, COUNTY, BUILDING, ZONING, ELECTRICAL, MECHANICAL, FIRE, LIFE SAFETY, AND HANDICAP CODES. UNLESS OTHERWISE NOTED WORK SHOULD BE PERFORMED BY LICENSED AND INSURED SUBCONTRACTORS. INSURANCE CERTIFICATES, IN WRITING, WILL BE PRESENTED TO THE DESIGNER PRIOR TO THE START OF CONSTRUCTION.

2. VERIFICATION OF ALL DIMENSIONS, EXISTING CONDITIONS, AND CODE COMPLIANCE SHALL BE REQUIRED. SUB-CONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS. IF ANY DISCREPANCIES ARE FOUND IN THE DRAWINGS OR SPECIFICATIONS THE SUB-CONTRACTOR MUST CONTACT THE OWNER FOR VERIFICATION. OWNER SHALL BE NOTIFIED IN WRITING OF ANY NON-CONFORMANCES IN THESE PLANS OR SPECIFICATIONS. THE SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR BRINGING ANY ERRORS AND OMISSIONS TO THE ATTENTION OF THE OWNER IN WRITING AND SHALL AWAIT WRITTEN INSTRUCTIONS BEFORE PROCEEDING. THE SUB-CONTRACTORS WILL BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IF THEY FAIL TO NOTIFY THE OWNER PRIOR TO THE CONSTRUCTION AND OR FABRICATION OF WORK.

3. SCOPE: THE SUB-CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS AND LABOR TO COMPLETE THE WORK AS DESCRIBED ON THE DRAWINGS AND SPECIFICATIONS. SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL PERMITS, COMPLIANCE STATEMENTS, CERTIFICATE OF OCCUPANCY OR OTHER DOCUMENTATION REQUIRED.

4. WORK SHALL BE PERFORMED TO THE HIGHEST LEVEL OF STANDARDS OF EACH RESPECTIVE TRADE.

5. DEMOLISH AS REQUIRED AND REMOVE ALL DEBRIS FROM THE SITE. SUB-CONTRACTOR SHALL FIX AND OR REPLACE ALL ADJACENT MATERIALS INADVERTENTLY OR INCORRECTLY DISTURBED DURING THE COURSE OF CONSTRUCTION AT NO COST TO THE OWNER.

6. THE SUB-CONTRACTORS SHALL KEEP THE PREMISES CLEAN AND IN A WORKMANLIKE FASHION. THE PROJECT SHALL BE READY FOR OCCUPANCY UPON THE COMPLETION OF WORK IN A "TURN-KEY" CONDITION.

7. CONSTRUCTION SHALL BE BY DIMENSIONS DO NOT SCALE OFF OF THESE DRAWINGS.

8. SHOP DRAWINGS MAY BE REQUIRED BY THE DESIGNER/OWNER FOR ALL STRUCTURAL, MECHANICAL, ELECTRICAL, LIFE SAFETY SYSTEMS, AND SPECIALIZED CONSTRUCTION FROM THE CONTRACTOR AND/OR ALL SUBCONTRACTORS AT NO ADDITIONAL COST. SHOP DRAWINGS SHALL BE SUBMITTED TO THE OWNER FOR REVIEW AND CONFORMANCE AND THEIR INTEGRATION WITH EXISTING SYSTEMS AND CONDITIONS. WORK DONE TO LIFE SAFETY SYSTEMS MAY REQUIRE SEPARATE PERMITS. THESE SHALL BE INCLUDED IN THE BASE BID.

9. THE SUB-CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE STRUCTURAL INTEGRITY OF THE BUILDING AT ALL TIMES.

10. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY UPON THE DISCOVERY OF ANY ENVIRONMENTALLY HAZARDOUS MATERIALS AND OR CONDITIONS.

11. ALL DEMOLITION AND REMOVAL OF BUILDING COMPONENTS SHALL BE CARRIED OUT UNDER ACCORDANCE OF THE EPA'S RENOVATE RIGHT LAWS.

ABBREVIATIONS:

@	AT	ID	INSIDE DIAMETER
ALUM	ALUMINUM	INSUL	INSULATION
ARCH	ARCHITECT	LGS	LIGHT GAUGE STEEL
BM.	BEAM	LP	LOW POINT
BOTT.	BOTTOM	L's	ANGLES
C/C	CENTER TO CENTER	MAX.	MAXIMUM
CIP	CAST-IN-PLACE	MIN.	MINIMUM
CL	CENTER LINE	NOM	NOMINAL
CJ	CONTROL JOINT	OC	ON CENTER
CONC	CONCRETE	OH	OPPOSITE HAND
CONT	CONTINUOUS	PE	PROFESSIONAL ENGINEER
CMU	CONCRETE MASONRY UNITS	PLAM	PLASTIC LAMINATE
GF CMU	GROUND FACE CMU	PTCF	POLISHED TINTED CONC. FLOOR
SF CMU	SPLIT FACE CMU	>	PLATE
DIA	DIAMETER	P&S	POLE AND SHELF
DS	DOWNSPOUT	P\$F	POUNDS PER SQUARE FOOT
EA	EACH	PSI	POUNDS PER SQUARE INCH
EIFS	EXTERIOR INSUL & FINISH SYSTEM	PTD	PAINTED
EF	EACH FACE	PTCF	POLISHED, TINTED CONC. FL
EL	ELEVATION	QT	QUARRY TILE
EQ	EQUAL	SIM	SIMILAR
ETR	EXISTING TO REMAIN	SS	STAINLESS STEEL
EXP	EXPANSION	SQ.	SQUARE
FE	FIRE EXTINGUISHER	STD.	STANDARD
FFG	FINISHED FLOOR GRADE	STRUC.	STRUCTURAL
FIN.	FINISH(ED)	TIG	TEMPERED INSULATING GLASS
FD	FLOOR DRAIN	TJI	TRUSS JOIST I-JOIST
FF	FINISHED FLOOR	T.O.W.	TOP OF WALL
FL	FLOOR	T\$F	TONS PER SQUARE FOOT
FRP	FIBERGLASS REINF. PLASTIC	TYP.	TYPICAL
FRGWB	FIRE RESISTANT GWB	UNO	UNLESS NOTED OTHERWISE
GWB	GYP SUM WALLBOARD	VIF	VERIFY IN FIELD
HM	HOLLOW METAL FRAME	VERT	VERTICAL
HP	HIGH POINT	VB	VINYL BASE
HB	HOSE BIB	W/	WITH
HORIZ.	HORIZONTAL	WG	WIRE GLASS

SCOPE OF WORK:

THE SCOPE OF WORK FOR 253 BROAD STREET): SINGLE FAMILY WITH ADU, 1 + STORY WOOD FRAME BUILDING . STRUCTURAL FOUNDATION AT BASEMENT WILL BE POURED IN PLACE CONCRETE

LIFE SAFETY SYSTEMS

-A COMPLETE LIFE SAFETY SYSTEM IS TO BE SUPPLIED AND INSTALLED BY THE CONTRACTOR. THE SYSTEM SHALL BE APPROVED BY THE LOCAL FIRE DEPARTMENT AND BUILDING DEPARTMENT. PLANS WITHIN MAY NOT INDICATE ALL ELEMENTS REQUIRED BY THE LOCAL AHJ

ELECTRICAL SYSTEMS

-THE ELECTRICAL SYSTEM SHALL REMAIN AS EXISTING. ONE ELECTRICAL METER TO BE ABANDONED. PRIOR TO THE COMMENCEMENT OF WORK. THIS ELECTRICAL SYSTEM SHALL BE SUPPLEMENTED BY THE ELECTRICAL SUB-CONTRACTOR AS REQUIRED FOR ADDITIONAL LOADS. ELECTRICAL DRAWINGS PROVIDED FOR SCHEMATIC/PRICING PURPOSES ONLY. THE ELECTRICAL PANEL WILL BE A 200 AMP PANEL PER UNIT.

MECHANICAL SYSTEMS

-THE EXISTING HEAT DELIVERY SYSTEM SHALL BE (3) MINI-SPLIT SYSTEMS, ONE (1) FOR EACH UNIT, SIZED ACCORDINGLY. COORDINATE LOCATION OF ALL EXISTING EQUIPMENT AND UTILITY FEEDS WITH OWNER.

PROJECT KEY  
SCALE: NOT TO SCALE

Water's Edge  
Design

137 WATER STREET  
NEWBURYPORT MA 01950  
(978)641-9560

Project Name  
Condominium Development

Description

Scale: AS NOTED

Date: 04/03/2018

Drawn by: AC

Checked by: RM

Revisions/Project Status

Issue Date & Issue Description

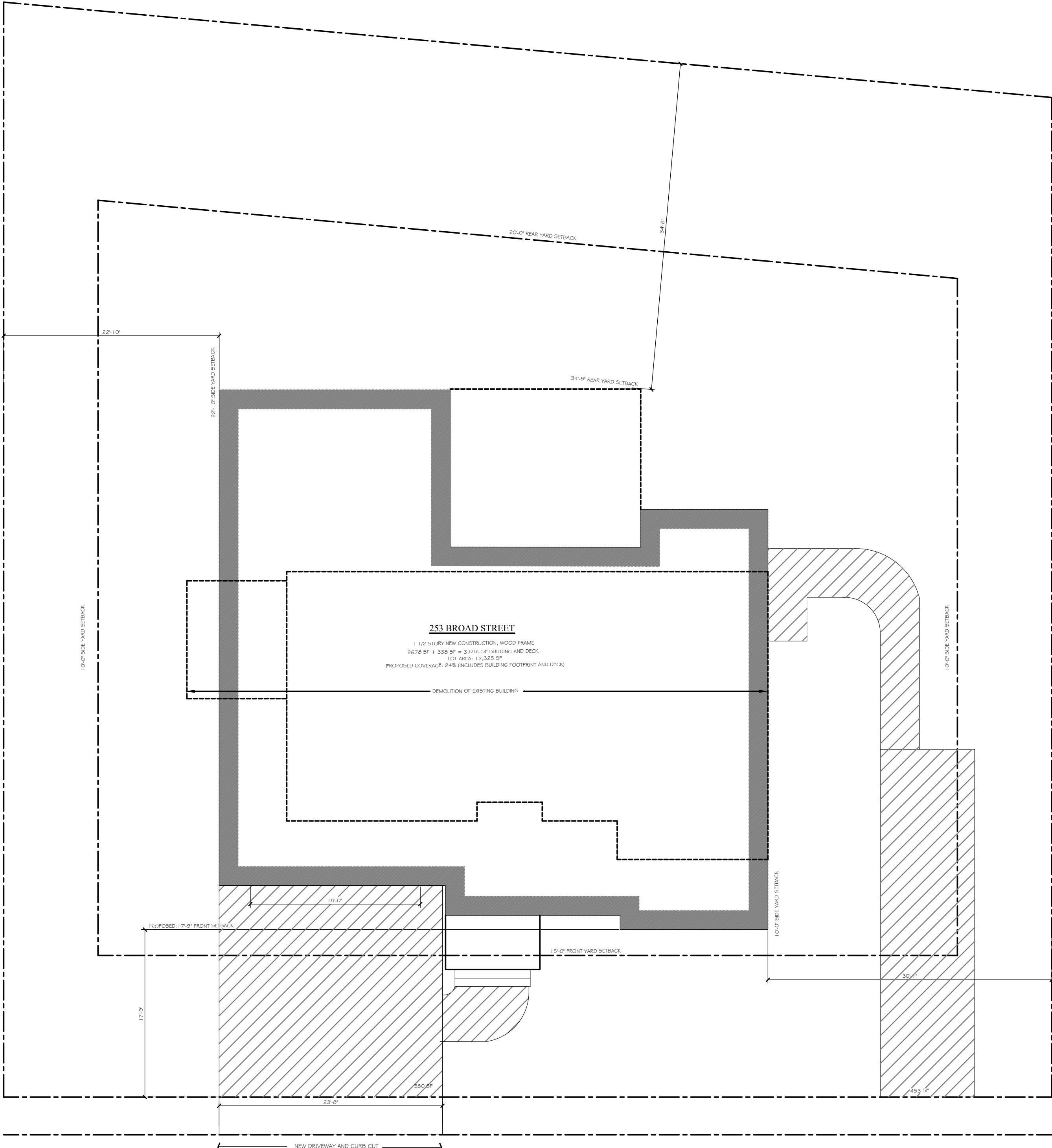
LAWRENCE BREWER / JOSH YDSTIE  
253 BROAD STREET  
PORTSMOUTH NH

COVER PAGE

A-0.1

253 BROAD STREET  
PORTSMOUTH NH

Section 10.520 RESIDENTIAL AND MIXED RESIDENTIAL DISTRICTS- GRA		
	PER ZONING	PROPOSED
MINIMUM LOT AREA DIMENSIONS		
- LOT AREA PER DWELLING	7,500 sf	12,242 sf
- CONT. STREET FRONTAGE	100'	111'-1"
- DEPTH	70'	116/105'-10"
MINIMUM YARD DIMENSIONS		
FRONT	15'-0"	17'-9"
SIDE	10'-0"	22'-10/24'-0"
REAR	20'-0"	37'-1"
MAXIMUM BUILDING COVERAGE	25%	24%
MAXIMUM BUILDING HEIGHT	35'-0"	24'-6" MEAN 31'-10" RIDG
IMPERVIOUS SURFACE COVERAGE	EXISTING	PROPOSED 50%



No.	Date	Description
1	3-25-2025	PERMIT

**Sheet Title:**

# SITE PLAN

**Sheet Number:**

L-1



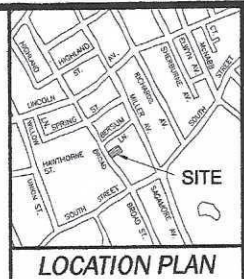


Section 10.520 RESIDENTIAL AND MIXED RESIDENTIAL DISTRICTS: GRA		
	PER ZONING	PROPOSED
MINIMUM LOT AREA DIMENSIONS		
- LOT AREA PER DWELLING	7,500 sf	12,242 sf
- CONT. STREET FRONTAGE	100'	111'-1"
- DEPTH	70'	116'/105'-10"
MINIMUM YARD DIMENSIONS		
FRONT	15'-0"	17'-9"
SIDE	10'-0"	22'-10"/24'-0"
REAR	20'-0"	37'-1"
MAXIMUM BUILDING COVERAGE	25%	24%
MAXIMUM BUILDING HEIGHT	35'-0"	24'-6" MEAN 31'-10" RIDGE
IMPERVIOUS SURFACE COVERAGE	EXISTING 52.5F	PROPOSED 5F 106.3F

Lawrence Brewer & Josh Ydstie  
Residence  
253 BROAD STREET  
PORTSMOUTH NH

SOLAWCP@GMAIL.COM

D-42988 09/12/2021 09:59:24 AM  
Register of Deeds, Rockingham County  
LOEP 25.00  
25.00



- NOTES:**
1. THE PARCEL IS LOCATED IN THE GENERAL RESIDENCE (GR) ZONE.
  2. THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 131 AS LOT 16.
  3. THE PARCEL IS LOCATED IN FLOOD ZONE 2 AS SHOWN ON FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 259 OF 581, VERSION 2.3.2.1, MAP NUMBER 2010000000. MAP REVISED JANUARY 26, 2021.
  4. ZONING REQUIREMENTS:  
MINIMUM LOT DIMENSIONS:  
LOT AREA 7,500 S.F.  
LOT AREA PER DWELLING UNIT 7,500 S.F.  
CONTINUOUS STREET FRONTAGE 100'  
DEPTH 100'  
MINIMUM YARD DIMENSIONS:  
FRONT 10'  
SIDE 12'  
REAR 20'  
MINIMUM STRUCTURE DIMENSIONS:  
STRUCTURE HEIGHT 35'  
ROOF APPEARANCE HEIGHT 35'  
BUILDING COVERAGE 25%  
MINIMUM OPEN SPACE 30%
  5. OWNER OF RECORD:  
MAP 131 LOT 16  
KATHLEEN MAHER  
253 MILLER AVENUE  
PORTSMOUTH, NH 03801  
RSD BK-42320 PG-#0011
  6. PARCEL AREA:  
MAP 131 LOT 16  
12,242 S.F.  
(0.2810 ACRES)
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE BOUNDARY LINES AND CURRENT SITE CONDITIONS OF MAP 131 LOT 16.
- FIELD SURVEY COMPLETED BY TCE IN DECEMBER 2020 USING A TOPCON DS103 AND A TOPCON TC-5000 DATA COLLECTOR.
- HORIZONTAL DATUM IS NAD83 (2011) PER RIK GPS OBSERVATIONS.
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTER OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD REVEAL.
- A PORTION OF THE SUBJECT PROPERTY MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR SEWER AND RIGHTS OF WAY. SEE RSD BK-42041 PG-#65.

- PLAN REFERENCES:**
1. "SITE PLAN THE CONDOMINIUMS AT LINCOLN HILL MAJOR MILLER AVE. PORTSMOUTH NH. COUNTY OF ROCKINGHAM" BY ROBERT P. MUELLER & ASSOCIATES, DATED 6/13/81. RSD PLAN #0-10633.
  2. "PROPERTY SURVEY PORTSMOUTH, N.H. FOR SOLJAHN & ESTHER YOFFE" BY AMBIAL CHASE COMPANY, INC., DATE 10-3-83. RSD PLAN #0-12014.
  3. "SITE PLAN BROADVIEW CONDOMINIUMS PORTSMOUTH, N.H." BY AMBIAL CHASE COMPANY, INC., DATED 7/18/84. RSD PLAN #0-10647.
  4. "LOT LINE RELOCATION & LOT LINE RATIFICATION PLAN FOR WILLIAM H. BROOKS, JR., RUTH A. FERNALD & SOUTH COAST CONDOMINIUM ASSOCIATION SOUTH STREET & BROAD STREET COUNTY OF ROCKINGHAM PORTSMOUTH, N.H." BY AMBIT SURVEY, DATED AUGUST 10, 1989. RSD PLAN #0-10952.
  5. "BOUNDARY SURVEY FOR BETH GRIFFIN MAP 131, LOT 15 PORTSMOUTH, NH" BY ALEX ROSS CIVIL ENGINEER & SURVEYOR, WITH REVISION 3 DATED MAY 23, 2004. RSD PLAN #0-30966.
  6. "LOT LINE ADJUSTMENT FOR BETH GRIFFIN" TAYLOR MAP 131, LOT 15 PORTSMOUTH, NH" BY ALEX ROSS CIVIL ENGINEER & SURVEYOR, WITH REVISION 1 DATED 7/26/06. RSD PLAN #0-32857.
  7. "THE CONDOMINIUMS AT LINCOLN HILL MAJOR SITE PLAN 333 & 254 MILLER AVENUE FOR WILLIAM J. HOLLAND & LEAH A. O'NEIL, KENNETH & BEVERLY BELLEVUE & KAREN M. DISCOLLI TAX MAP 131, LOT 26 PORTSMOUTH, NH" BY ROSS ENGINEERING, WITH REVISION 2 DATED 3/28/2016. RSD PLAN #0-10723.

**TAX MAP 131 LOT 16**  
**STANDARD BOUNDARY SURVEY**  
**KATHLEEN MAHER**  
**253 BROAD STREET**  
**PORTSMOUTH, NEW HAMPSHIRE**  
**COUNTY OF ROCKINGHAM**  
**OWNED BY**  
**KATHLEEN MAHER**

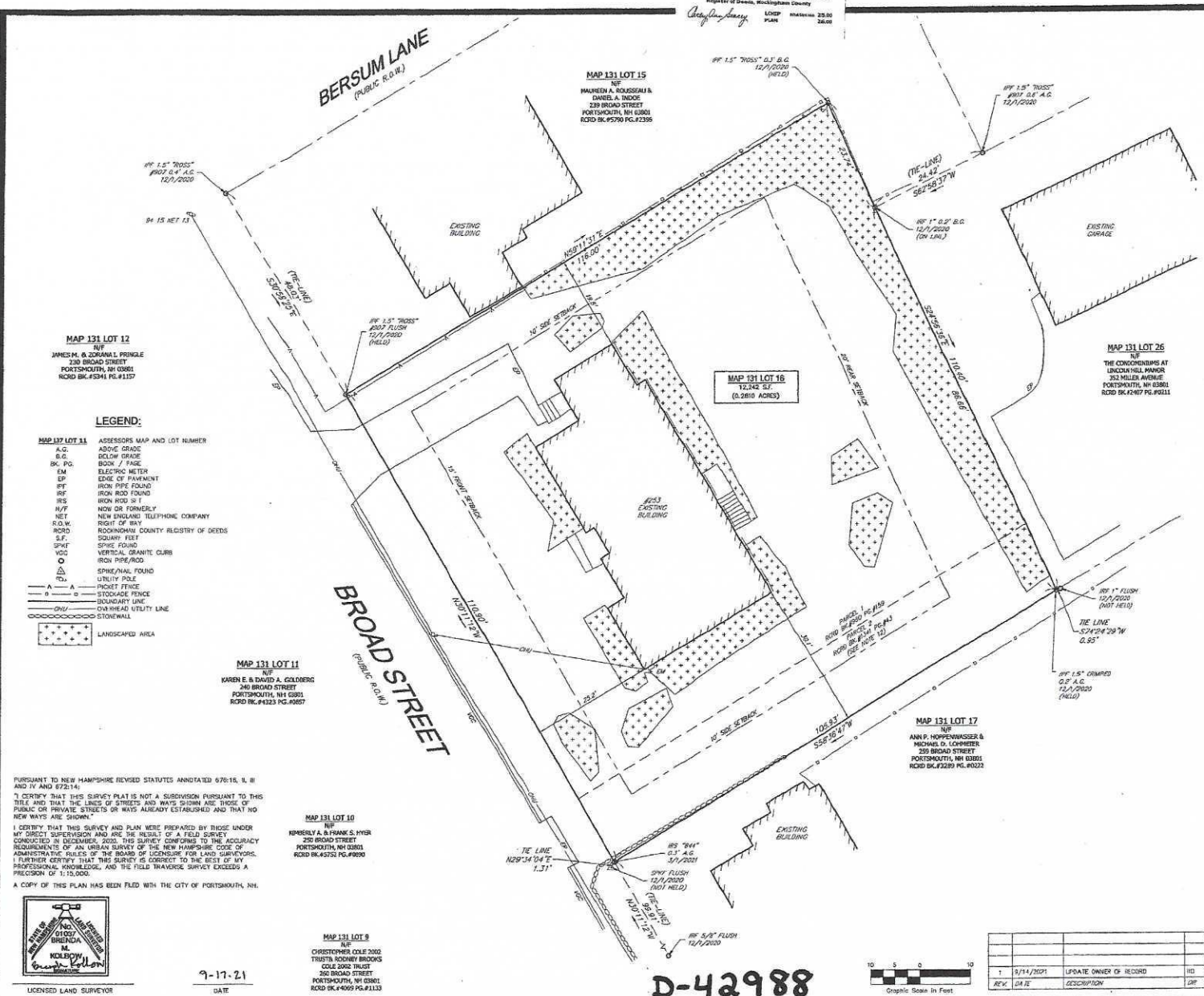
SCALE: 1" = 10' (22:34)  
1" = 20' (11:17)

MARCH 12, 2021

Seacoast Division  
**TFM**  
Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Soil Scientists

170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
www.tfm-nh.com

47417-00  
1 3/14/2021 UPDATE OWNER OF RECORD 100 00K  
REV DATE DESCRIPTION DPT CH



PURSUANT TO NEW HAMPSHIRE REVISED STATUTES ANNOTATED 676:16, 6, 8, 9 AND 10 AND 672:14:

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN DECEMBER, 2020. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN ORDINARY SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSES FOR LAND SURVEYORS. I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND THE FIELD TRAVERSE SURVEY COVERED A PRECISION OF 1:10,000.

A COPY OF THIS PLAN HAS BEEN FILED WITH THE CITY OF PORTSMOUTH, NH.



9-17-21  
DATE

**MAP 131 LOT 9**  
CHRISTOPHER COLE 2002  
TRUSTY ROBERT BROOKS  
COLE 2002 TRUST  
250 BROAD STREET  
PORTSMOUTH, NH 03801  
RSD BK-42059 PG-#1133

**MAP 131 LOT 10**  
KATHLEEN MAHER  
253 BROAD STREET  
PORTSMOUTH, NH 03801  
RSD BK-42320 PG-#0011

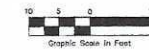
**MAP 131 LOT 11**  
KAREN E. & DAVID A. COLOMBOS  
240 BROAD STREET  
PORTSMOUTH, NH 03801  
RSD BK-#0223 PG-#0057

**MAP 131 LOT 15**  
MALDEN A. ROUSSINI &  
DANIEL A. TROOS  
239 BROAD STREET  
PORTSMOUTH, NH 03801  
RSD BK-#5270 PG-#2395

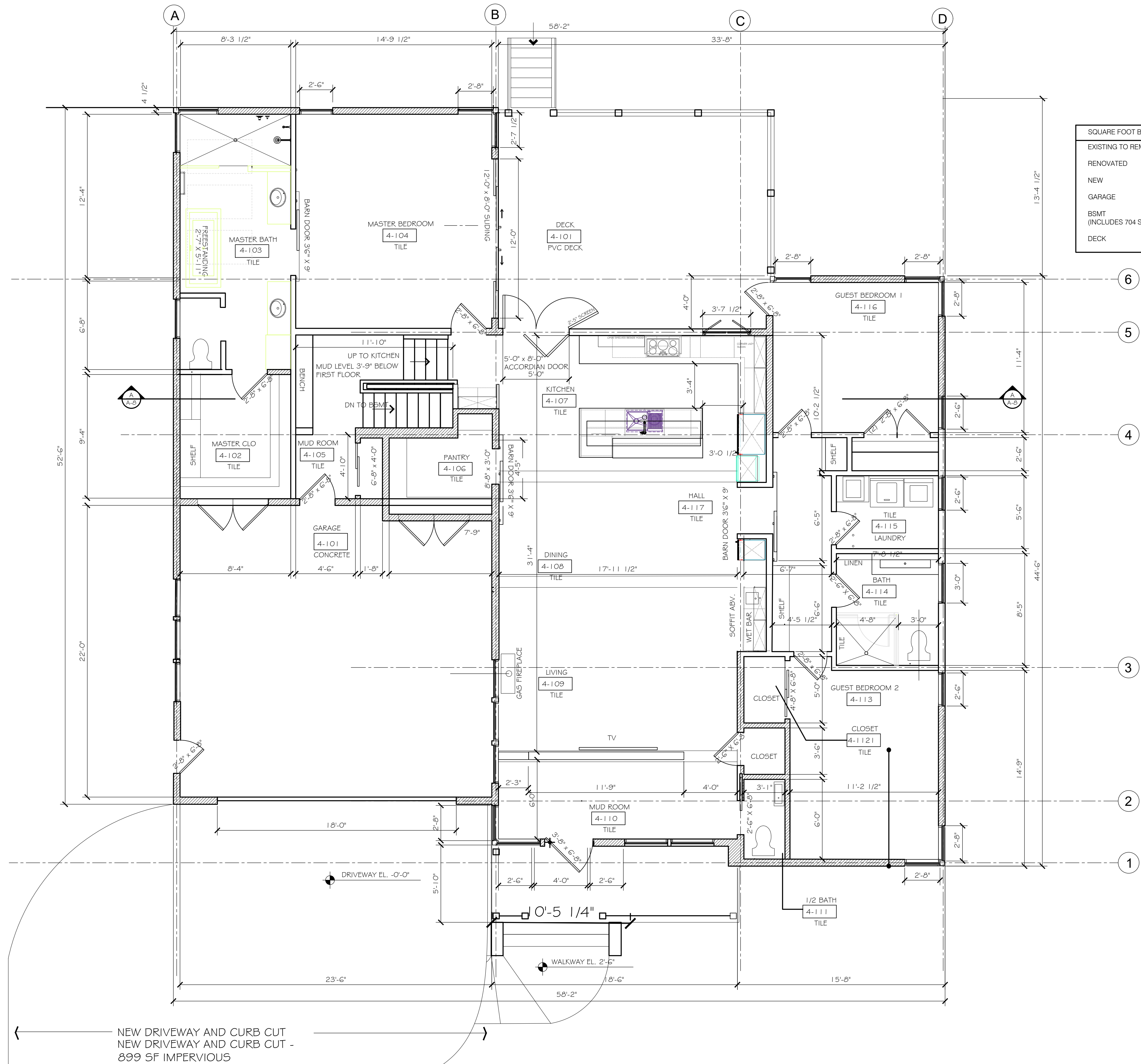
**MAP 131 LOT 16**  
12,242 S.F.  
(0.2810 ACRES)

**MAP 131 LOT 17**  
ANN F. HOPPENWASSER &  
MICHAEL D. LOWMEYER  
259 BROAD STREET  
PORTSMOUTH, NH 03801  
RSD BK-#3289 PG-#0022

D-42988







SQUARE FOOT BREAKOUT	
EXISTING TO REMAIN	---
RENOVATED	---
NEW	2134 SF
GARAGE	541 SF
BSMT (INCLUDES 704 SF APARTMENT)	1250 SF
DECK	332 SF

Lawrence Brewer & Josh Ydstie  
Residence  
253 BROAD STREET  
PORTSMOUTH NH

Water's Edge  
Design  
18 BOVEE WAY  
EPPING, NH 03042  
(978)641-9560

Date	Description
3-25-2025	PERMIT

Sheet Title:

PROPOSED FIRST  
FLOOR PLAN

Sheet Number:

A-4

FINISHES

- DECK:-  
-DECK TO BE PRE-FINISHED ENGINEERED AZEK DECKING, COLOR: TBD
- TILE FLOORING:  
-ALL FLOORS TO BE TILE TO BE 24" X 36" PORCELAIN TILE. ALLOW \$20/SF FOR MATERIAL COST.  
- LVT FLOOR IN BASEMENT

- MILLWORK:-  
-ALL INTERIOR CABINET TO BE WOOD FLAT PANEL STYLE BY: TBD. BASE AND UPPER CABINET, DOUBLE AND SINGLE BATHROOM VANITY  
-HARDWARE TBD  
-SEMI-CUSTOM BUILT-IN CLOSET FOR LAUNDRY, MUD ROOM, MASTER CLOSET, FRONT ENTRY  
WOOD SHAKER STYLE DOORS, PAINTED INTERIOR: PAINTED BIRCH PLYWOOD WITH BLUM HARDWARE FOR PULL-OUT SHELF, FLY-AWAY DOORS, DRAWER GLIDES AND TV-MOUNT
- COUNTER:-  
-ALL COUNTERTOPS TO BE MEDIUM GRADE QUARTZ, FINAL SELECTION BY INTERIOR DESIGNER

REMARKS

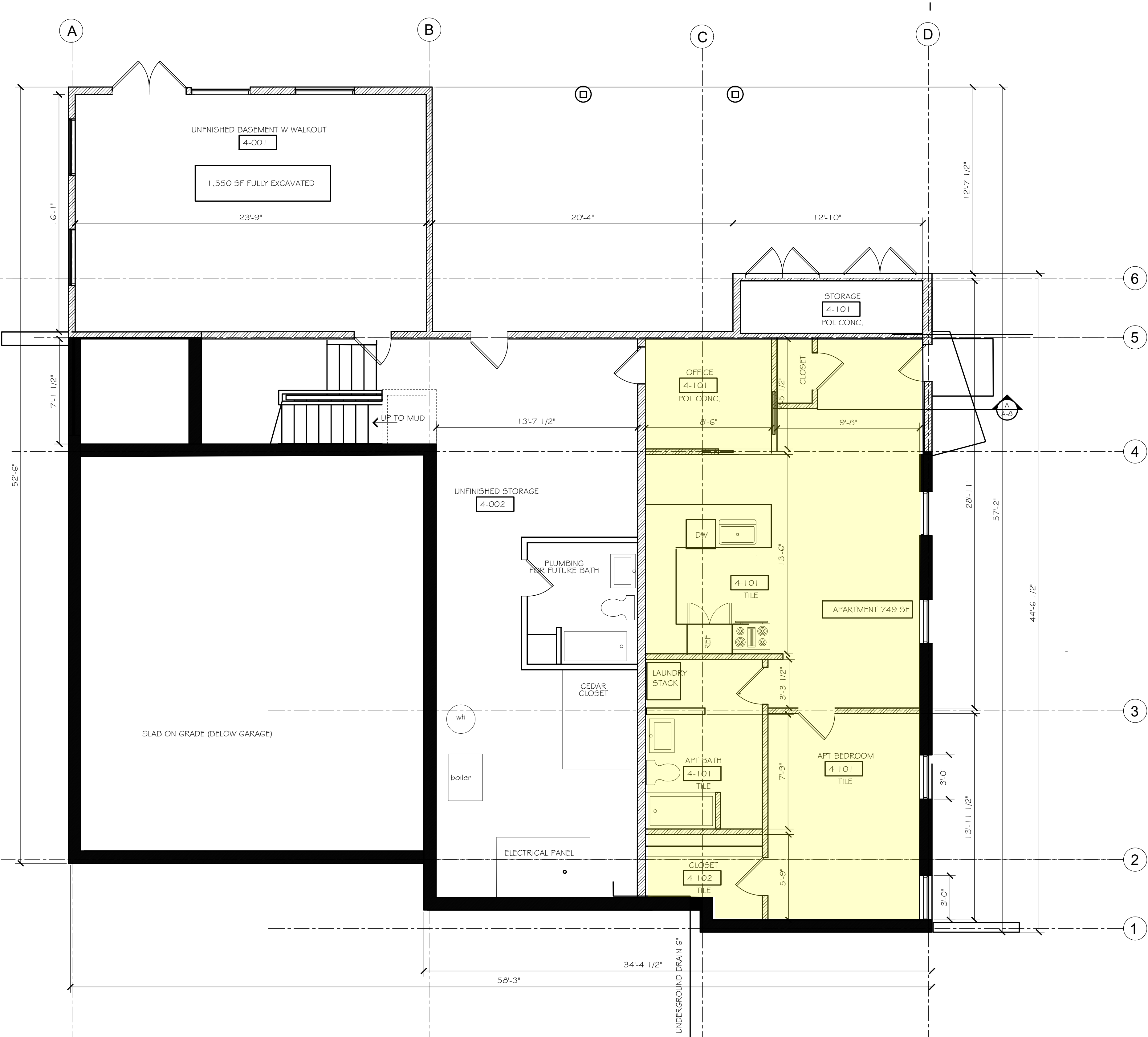
- 1 PROVIDE DUROCK TILE BACKER BOARD @ ALL TILE INSTALLATIONS
- 2 STONE OR CERAMIC TILE CEILING IN BATHROOM SHOWER STALL
- 3 PROVIDE SHELF & POLE IN CLOSETS UNO
- 4 SEE FINISH NOTES FOR MORE INFO REGARDING WALL AND PAINT FINISHES AND REFER TO SCHEDULE

GENERAL NOTES:

- A ALL NEW GWB APPLICATIONS ARE TO RECEIVE 1/2" BLUEBOARD WITH SMOOTH SKIM COAT PLASTER FINISH. USE MOISTURE RESISTANT BOARD AT BATHROOM/WET LOCATIONS

EXTERIOR SPECIFICATIONS

- SIDING & TRIM:-  
-PREFINISHED COMPOSITE CLAPBOARD, 8" EXPOSURE BY HARDIE BOARD, ARTISAN SQUARE CHANNEL SIDING,  
-PVC TRIM IN ARCTIC WHITE BY HARDIE OR SIMILAR  
-TRIM TO INCLUDE BUT NOT LIMITED TO:  
1 X 12 CORNER BOARDS, CONTINUOUS, 1 X 4 CASING, FLAT PANEL SOFFIT AND PORCH CEILING
- EXTERIOR DOORS:-  
-NEW EXTERIOR TRIM DETAILS ARE TO BE 1 X 4 FLAT CASING TYP.  
-ALL NEW EXTERIOR DOORS TO BE FULL GLASS PANEL HINGED PATIO DOOR.  
-FRONT DOOR TO BE WOOD DOOR STYLE WITH SIDELIGHTS. SIZES AS GIVEN ON THE FLOOR PLAN
- ROOF  
ARCHITECTURAL GRADE #30 YEAR WARRANTY SHINGLE.  
PRICE ALTERNATE FOR STANDING SEAM METAL ROOF, COLOR: TBD
- WINDOWS & DOORS  
- EXTERIOR DOORS WITH MARVIN  
FULL-LITE PATIO DOORS  
- WINDOWS - MARVIN DOUBLE CASEMENT AND AWNING WINDOWS WITH CLAD EXTERIOR
- HVAC:  
NEW HEATING UNITS TO CONSIST OF MINI-SPLIT SYSTEM. PROVIDE ADD ALTERNATE FOR DUCTED AC HEAT PUMP
- BASEMENT HVAC: MINI-SPLIT SYSTEM AT ADU
- SOLAR:  
- PROVIDE SOLAR AT ROOF, PROVIDE INFRASTRUCTURE
- RADIANT FLOORS  
- PROVIDE RADIANT FLOOR UNDER ALL TILE FLOOR, SEPARATE ZONES FOR GUEST WING, MASTER, LIVING/DINING/KITCHEN
- TREXdecking  
security system  
radiant floor -PEX  
24X 36 tile  
warm board - radiant floor  
engineered wood flooring floating floor or glue down



JOSH / LAWRENCE  
Lawrence Brewer & Josh Ydstie  
Residence  
253 BROAD STREET  
PORTSMOUTH NH

Water's Edge  
Design  
1B BOVEE WAY  
EPPING, NH 03042  
(978)641-9560

No.	Date	Description
1	x.x.xxxx	PERMIT

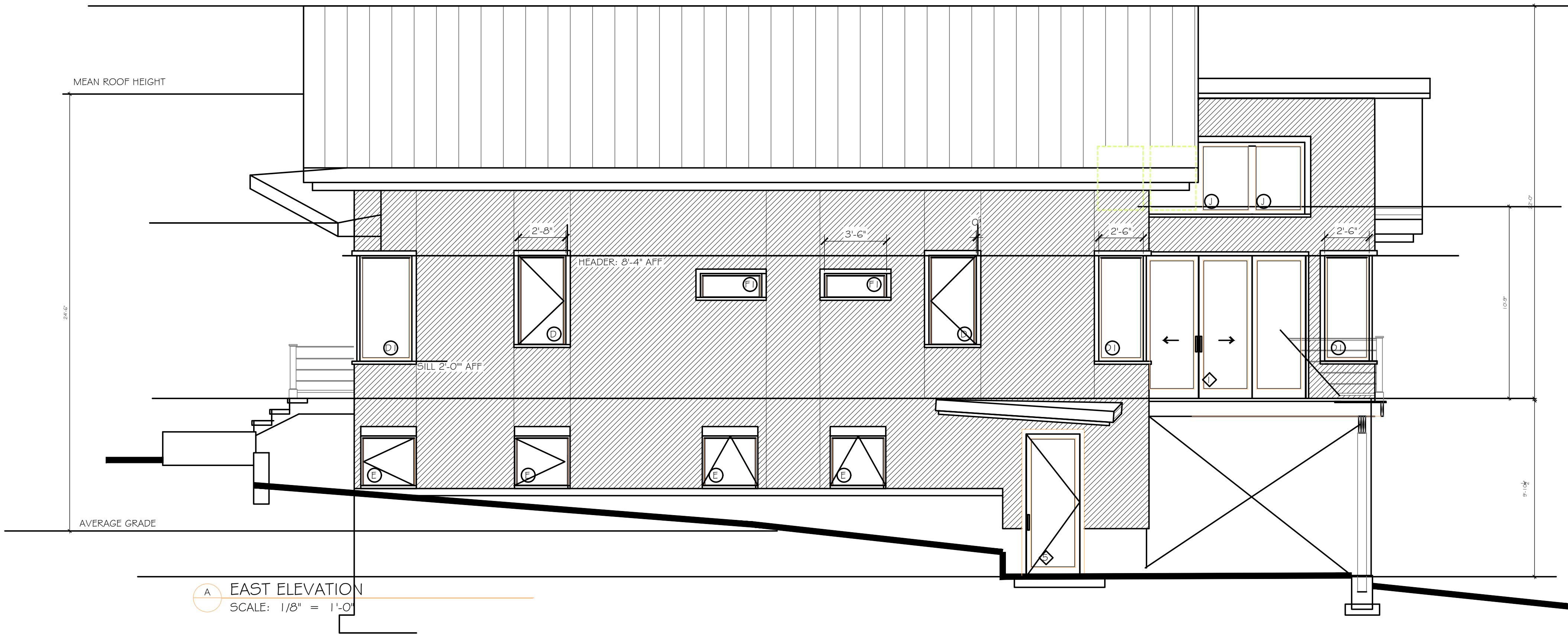
Sheet Title:

PROPOSED BASEMENT  
FLOOR PLAN

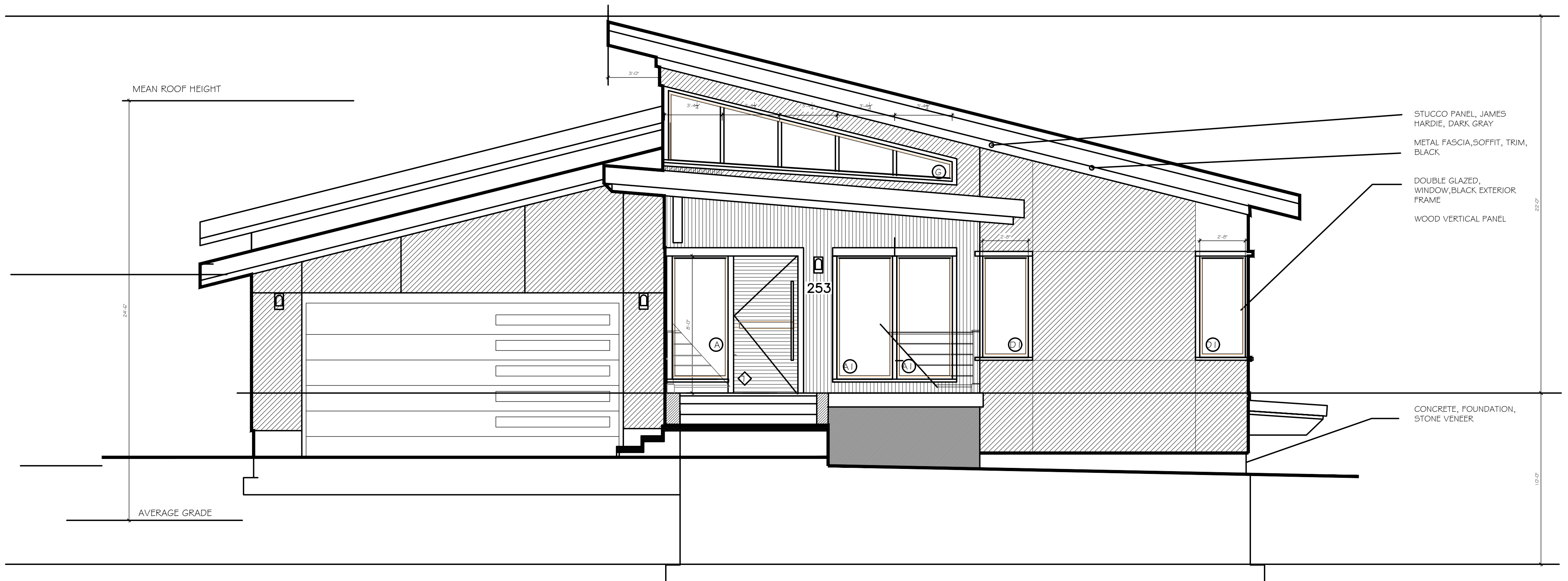
Sheet Number:

A-5





A EAST ELEVATION  
SCALE: 1/8" = 1'-0"



A SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

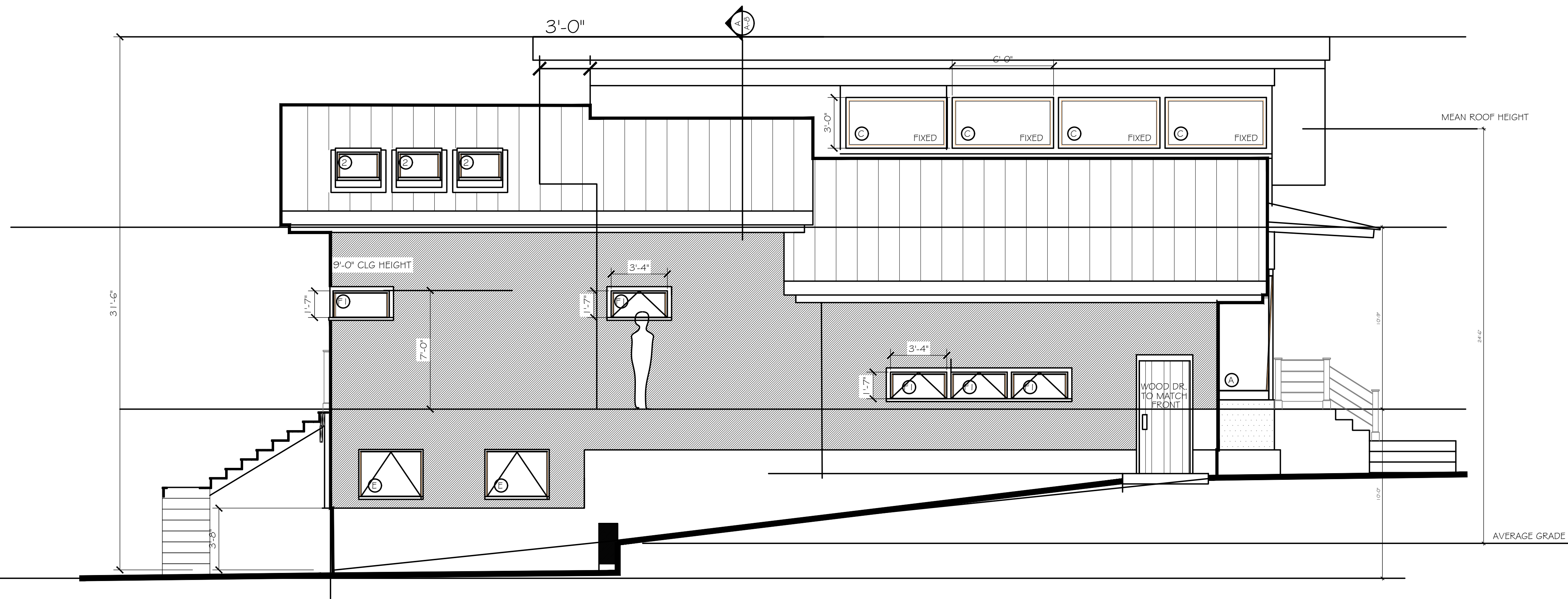
Lawrence Brewer & Josh Ydstie  
Residence  
253 BROAD STREET  
PORTSMOUTH NH

Water's Edge  
Design  
18 BOVEE WAY  
EPPING, NH 03042  
(978)641-8660

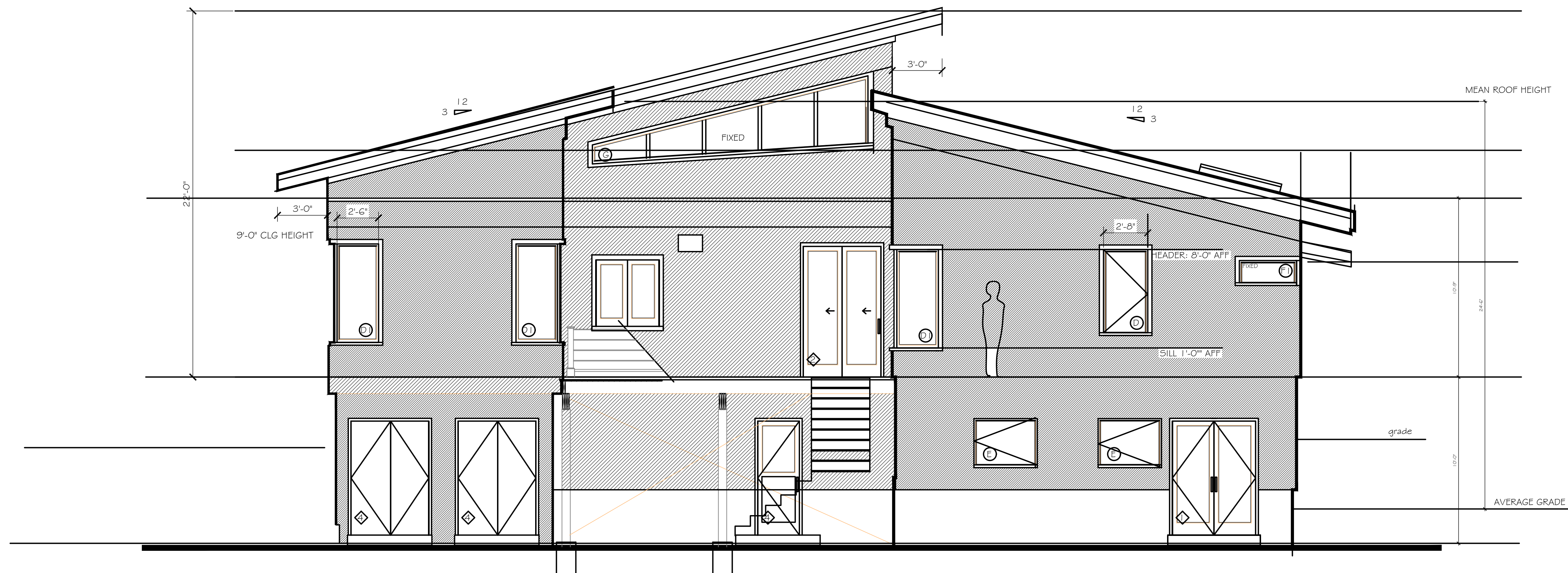
No.	Date	Description
1	3-25-2025	PERMIT

Sheet Title:  
PROPOSED ELEVATION

Sheet Number:  
A-6



A WEST ELEVATION  
A-1 SCALE: 1/8" = 1'-0"



A NORTH ELEVATION  
A-1 SCALE: 1/8" = 1'-0"

Lawrence Brewer & Josh Ydstie  
Residence  
253 BROAD STREET  
PORTSMOUTH NH

Water's Edge  
Design  
18 BOVEE WAY  
EPPING, NH 03042  
(978)641-9560

No.	Date	Description
1	x.x.xxxx	PERMIT

Sheet Title:  
PROPOSED ELEVATION

Sheet Number:  
A-7