

June 19, 2019

Charles Hoyt Designs  
893 Ocean Blvd.  
Rye, NH 03870  
603-812-8016

Dear Zoning Board of Appeals,

I, Charles Hoyt was hired by Kenneth Young of 346 Colonial Drive, Portsmouth, NH to design an accessory dwelling apartment in a neighborhood that welcomes such use. Mr, Young also hired me to represent him at all board meetings. This accessory dwelling if granted, will allow Kenneth's Father to live with and be cared for by Kenneth. I have taken great care in following the direction of the NH housing authority on this design.

I want to thank abutters and the board for your consideration in this project.

Sincerely,

*Charles Hoyt*  
Charles Hoyt

**ZONING BOARD APPLICATION SUPPLEMENT**  
**For consideration of the Portsmouth Board of Adjustment**

Re: Kenneth Young  
346 Colonial Drive  
Portsmouth, New Hampshire

June 19, 2019

**I. Items for submission**

1. Letter of introduction
2. Variance Application (electronically submitted)
3. Plan set by Charles Hoyt Designs: Sheets A1-A5 and S1
4. Photos of existing house and lot
5. Google Earth map provided by the Town of Portsmouth
6. Letters of approval from neighbors/supporting documents

**II. Relief Required:**

- A. Variance is requested from article(s) and section(s): See attached document. Permitted of an upward and side expansion of an existing structure by demolishing an existing garage and to create a new garage and second-floor habitable space. This upward expansion is necessary to allow the Applicant's Father to live with him

**III. Variance Requirements:**

1. **Variances will not be contrary to the public interest.**
  - a. Portsmouth zoning ordinances were enacted for the purpose of promoting health, safety and general welfare of the community. Great care was taken in making sure the upward expansion was as modest, safe and code compliant as possible.

There will be no more or undue overcrowding on the property.

**2. The spirit of the ordinance is observed**

- a. A modest yet spatially effective renovation with minimal horizontal expansion. This will allow Kenneth Young the ability to make an accessory dwelling unit so his elderly father may live with and be cared for by him.

**3. Substantial justice is done.**

- a. By choosing to renovate, Mr. Young will be able to utilize his home in a relatively modest way with little, but no detrimental impact on the neighborhood. It would be an injustice and a personal hardship if the board were to deny this particular variance.

**4. Granting the variance will not diminish surrounding property values**

- a. A tastefully designed 2nd-floor expansion with a modest roofline and exterior will be pleasing to the eye. A brand new up to code renovation will increase the value of the home, therefore, the values of the surrounding homes should not diminish.

**5a. Denial of the variance results in an unnecessary hardship  
Special conditions exist that distinguish the property/project from others in this area**

- a. A strict adherence to the town's ordinances would not allow Mr. Young to expand. He would not be able to care for his father, Weldon Young, on his own property. Given the unique property conditions and the close proximity to the rear yard, front and side yard setbacks, Mr. Young would not be able to expand.

**5b. No fair and substantial relationship exists between the general public purposes of the ordinance and its specific application in this instance.**

- a. Since all the prior hardships are met, we feel there is no Relationship between the general public purposes of the ordinance and Mr. Young's right as a homeowner to a modest, upward expansion.

**5c.     The proposed use is reasonable**

- a.   Mr. Young's upward expansion does not change the character of the neighborhood, nor does it infringe on the rights of others to enjoy their respective properties. The New Hampshire Housing Authority encourages and even gives detailed guidelines for creating accessory dwelling units in our communities. therefore, the use is reasonable.

**IV.     Conclusion**

To conclude, and for all the reasons stated herein, there is no benefit to the public from denying the variances. Mr. Young and his family will be harmed by the denial of his right to utilize the home as they reasonably see fit.

We therefore humbly ask that the Board grant the requested variances. We look forward to presenting our modest proposal to the Zoning Board/ Planning Boards in the near future.

Respectfully Submitted,

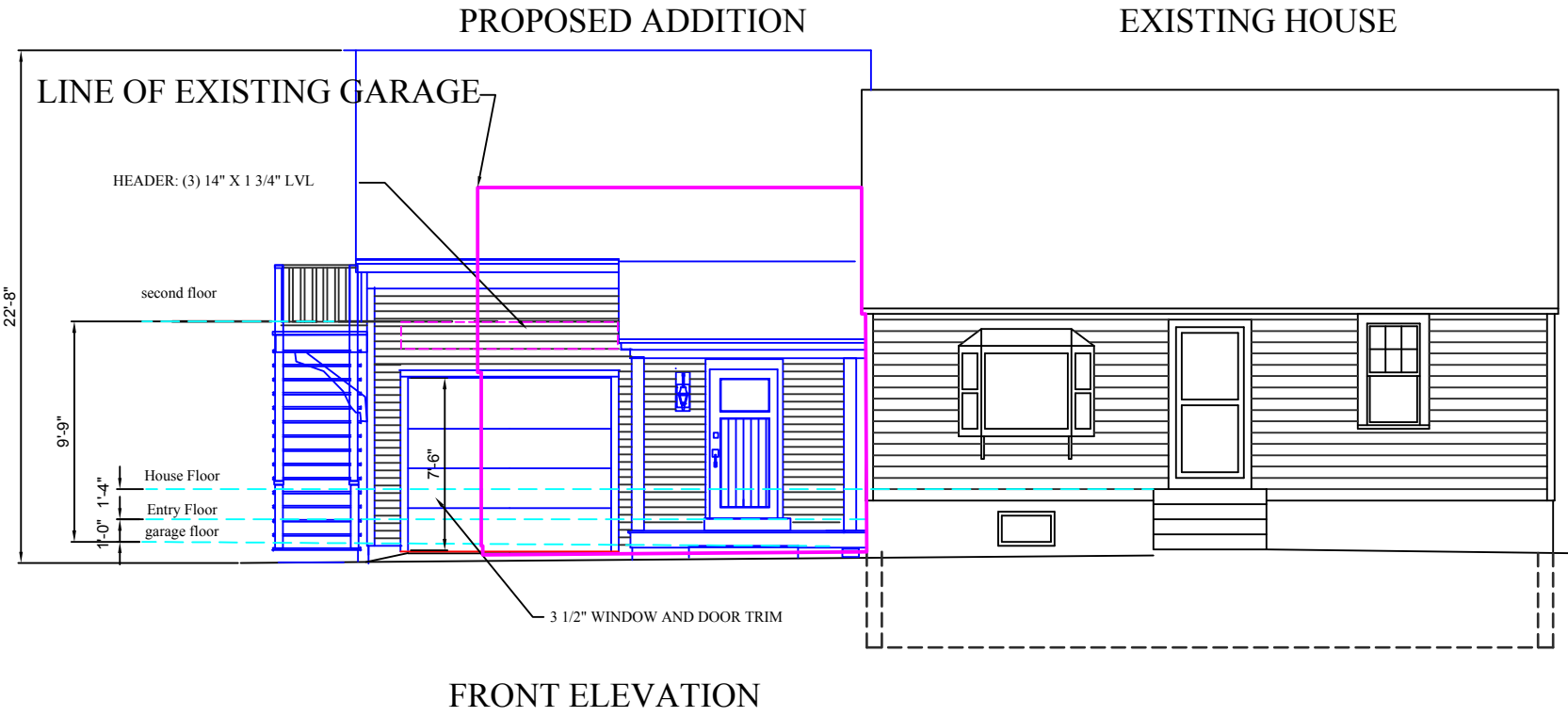
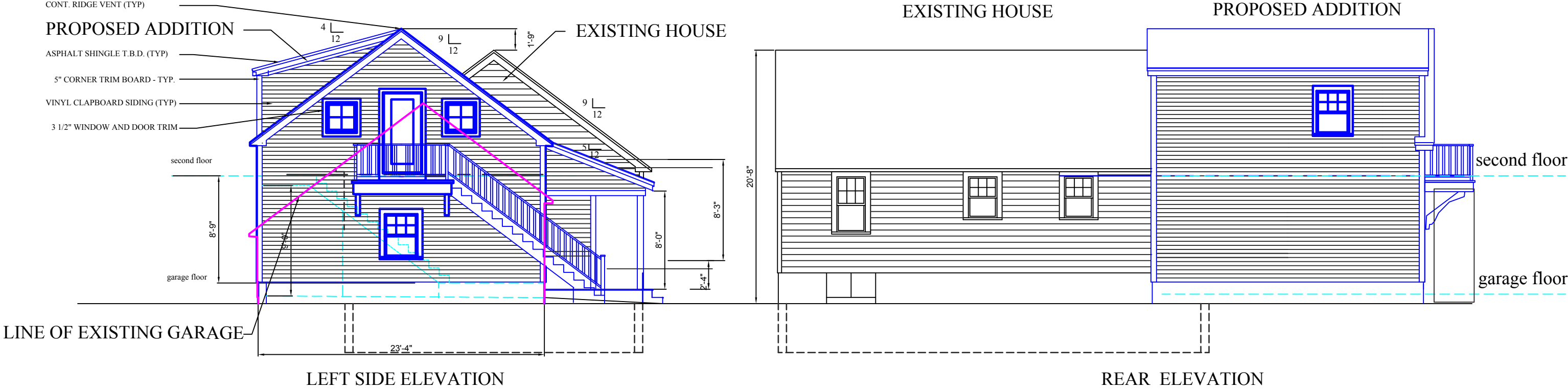
For Kenneth Young  
By Charles Hoyt




Requesting ZBA Variances from the following articles and sections:

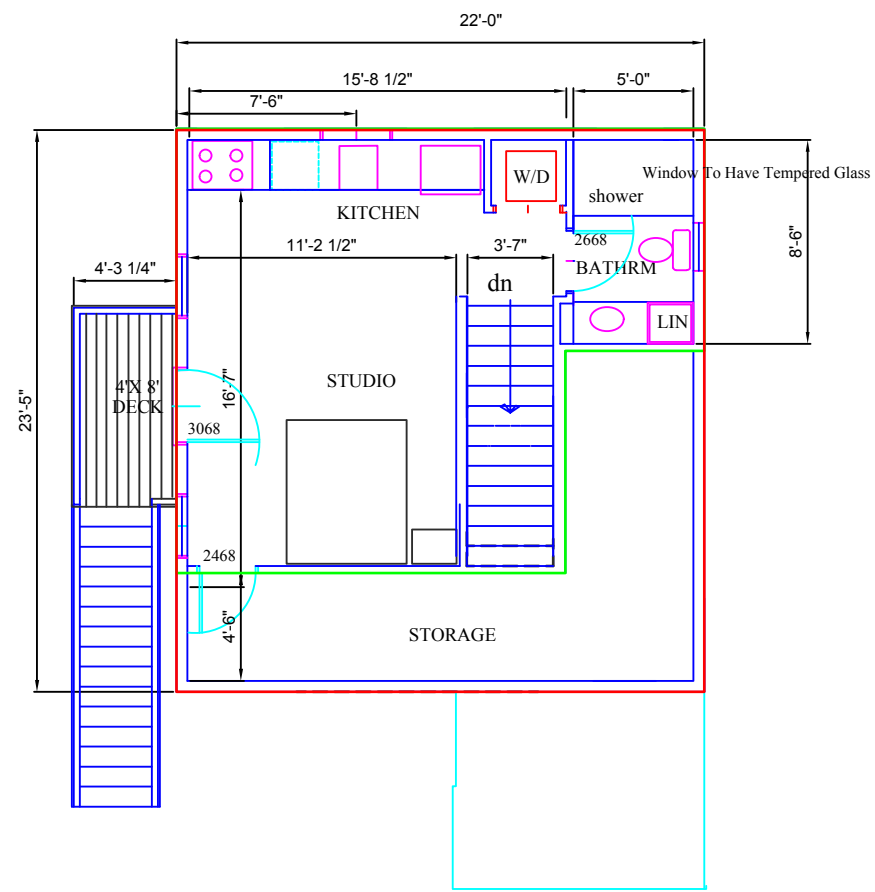
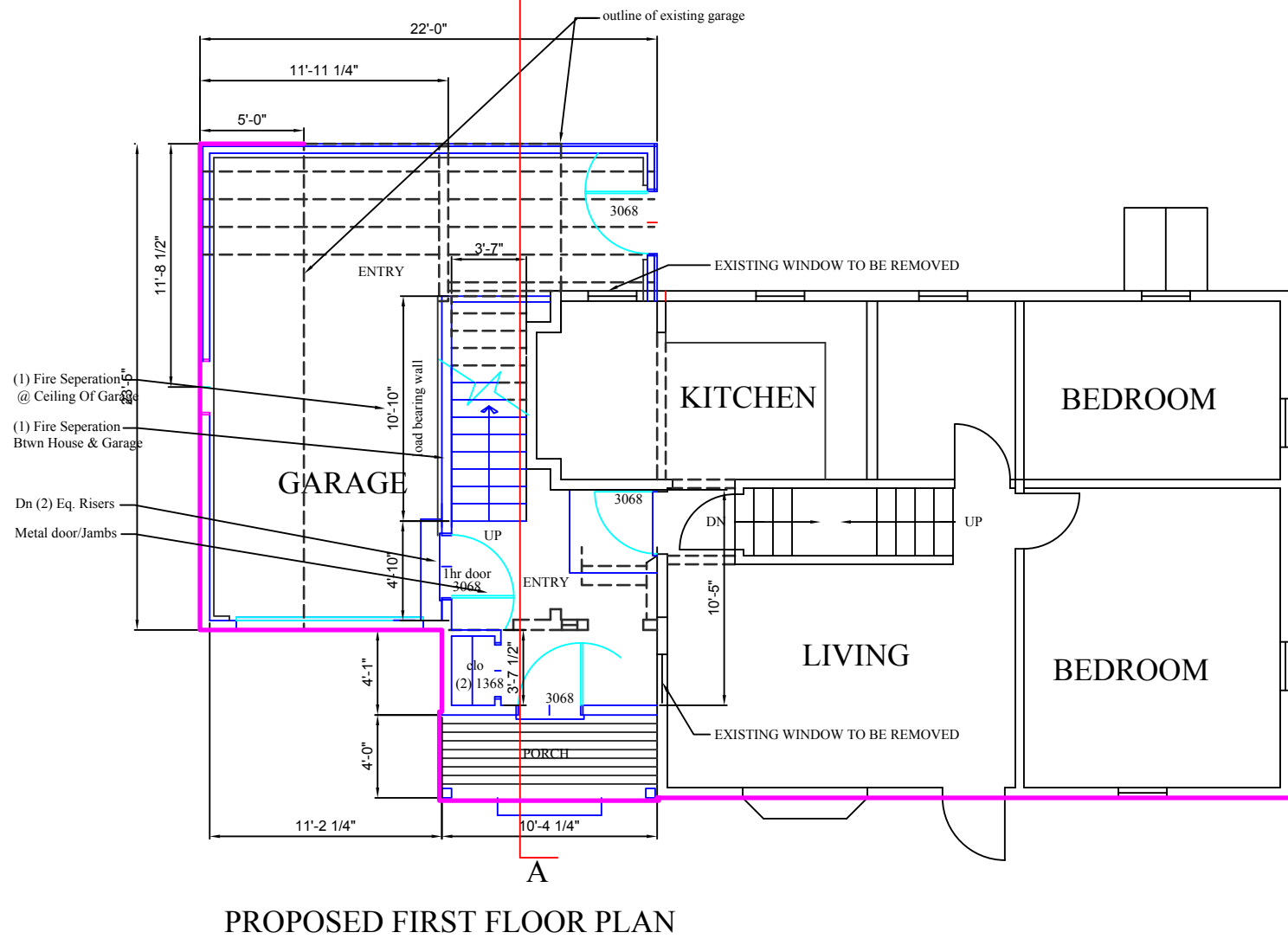
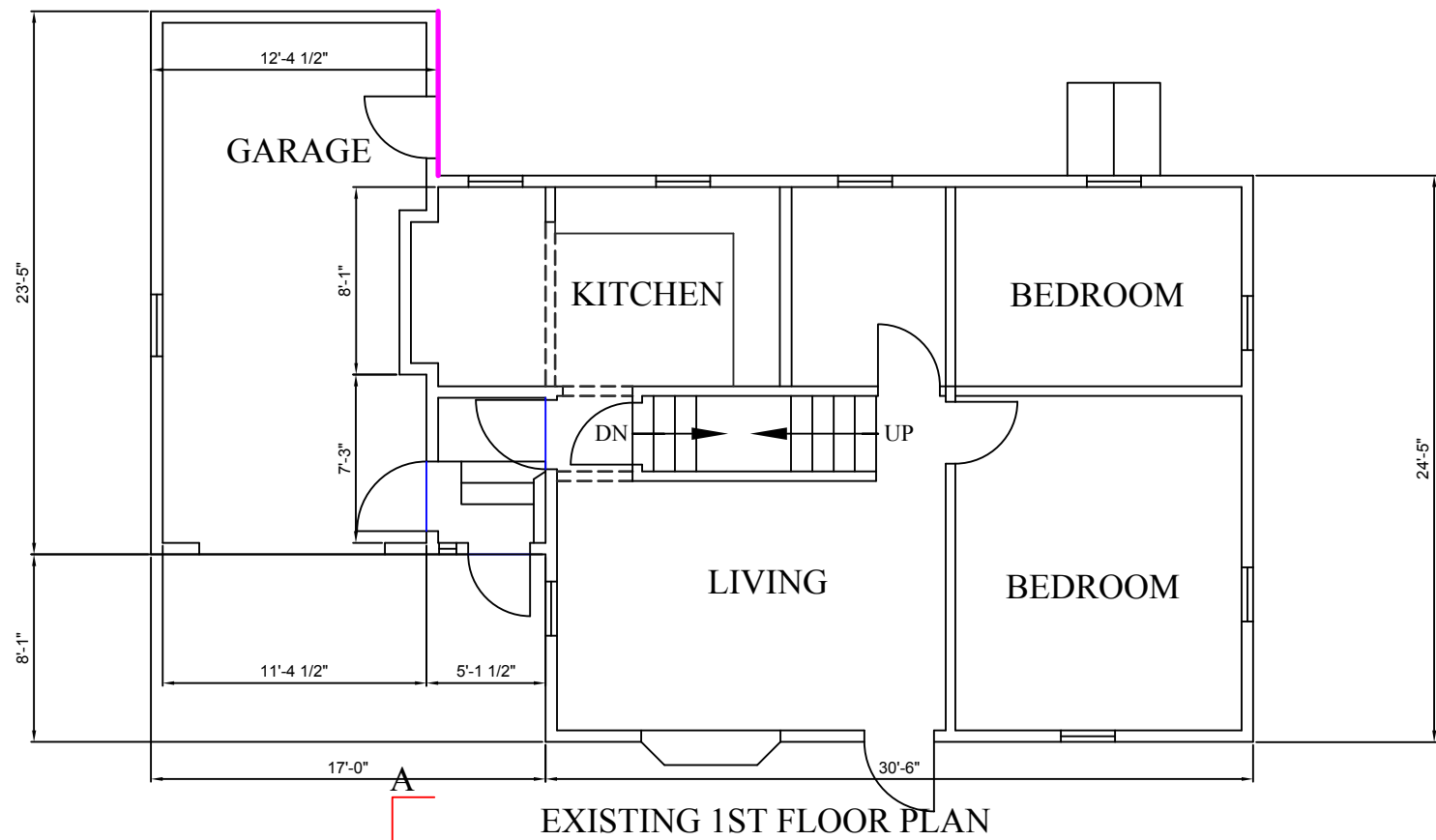
<b><u>ARTICLE</u></b>	<b><u>SECTION</u></b>	
3	10.310	A. <b><u>Expansion on a non conforming lot:</u></b> where 6099 exists and 15,000 is required
3	10.320 10.321  10.323	B. <b><u>Non conforming building expansion:</u></b> The maximum building overage of 20% is 1220 sq feet existing building overage is 1136 proposed building overage is 1427 sq feet Proposed new building with its' additions is 207 sq feet over approximately 3.4% over
5	10.521	C. <b><u>Building set-backs:</u></b> The proposed expansion does not meet the front, left side or rear yard building set back (see site plan sheet S1) <b>Front:</b> 30' setback is required where 29'-4" (+-) exists and 29'-4" is proposed. <b>Rear:</b> 30' setback is required where 4'-11" (+-) exists and 4'-11" is proposed. <b>Left:</b> 30' setback is required where 28'-9" exists and 19'-6" is proposed





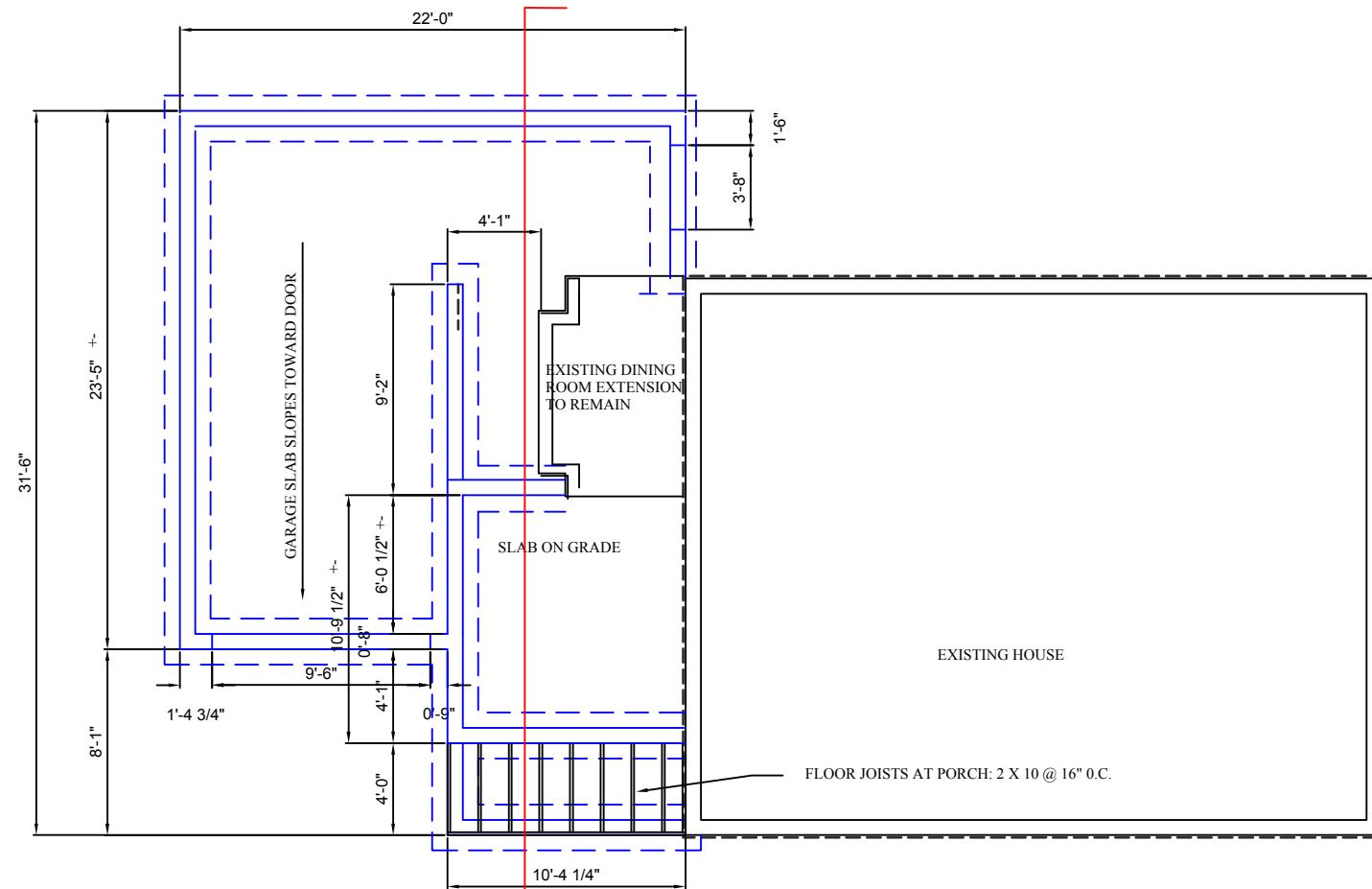
- GENERAL NOTES:**
- 1. All Constrution shall Meet Or Exceed The 2009 I.B.C.  
And Local Building Ordinance's Governing Accessory Dwelling Units
  - 2. As Per Town Ordinance's: All Accessory Dwelling Units  
Shall Not Exceed 750 Sq. Feet
  - TOTAL HEATED SQUARE FEET: 353  
TOTAL GROSS SQUARE FEET: 515
  - 3. Insulation at Roof, Walls, and Floor to meet code
  - 4. Contractor to verify structural conditions of existing house
  - 5. Provide a (1) hour seperation between apartment and existing house,  
and apartment and Garage.
  - 6. This single family residence is in the SRB zone.

YOUNG RESIDENCE 346 COLONIAL DRIVE PORTSMOUTH, NH.		ELEVATIONS SCALE: 1/8"=1'-0"	
 CHARLES HOYT DESIGNS <small>Shingle Style Architecture 893 Ocean Blvd. Portsmouth, NH 03870 (603) 431-5310 charleshoyt@bmail.com</small>	A1		6-19-19

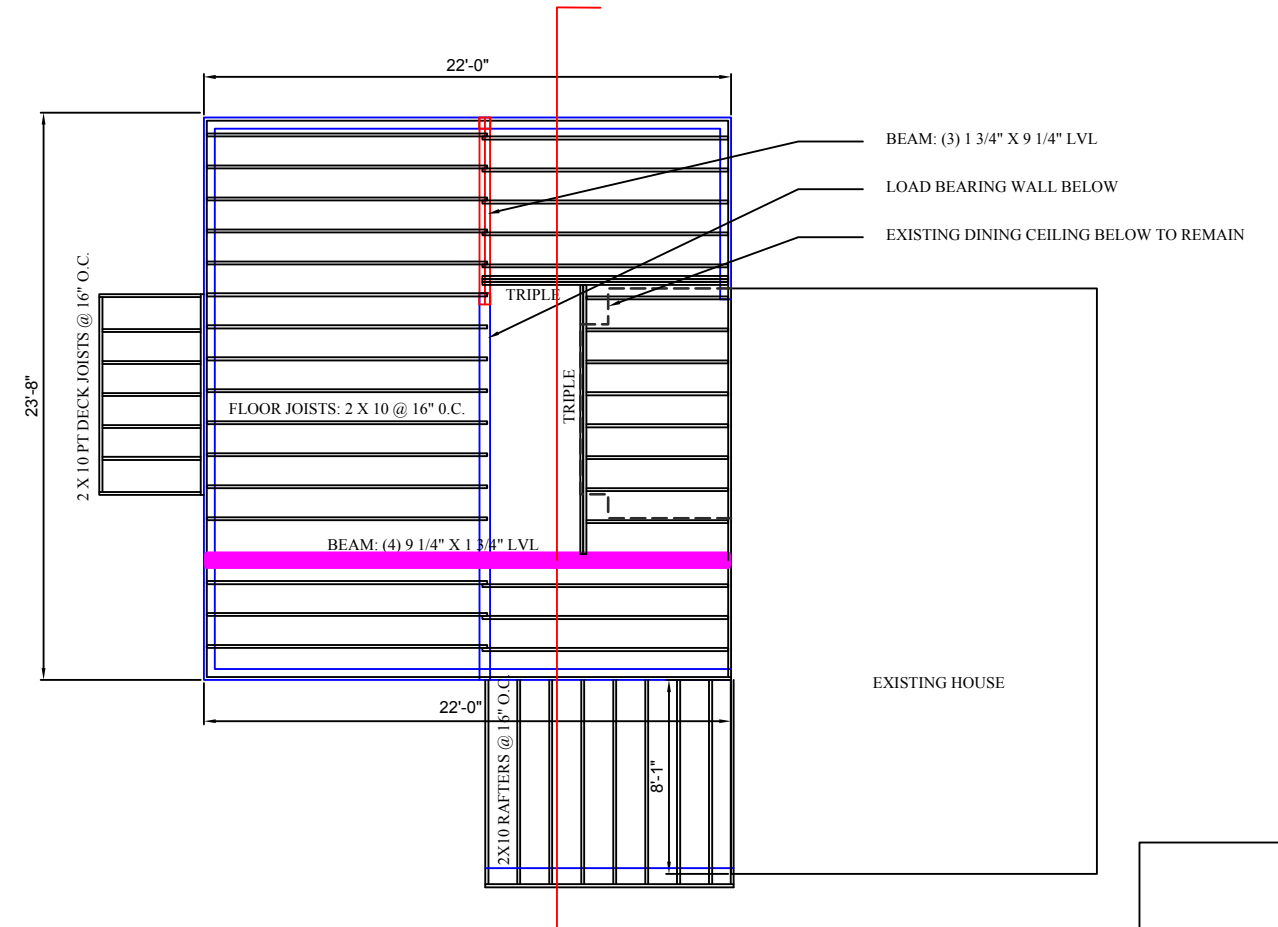


<p><b>YOUNG RESIDENCE</b>  <b>346 COLONIAL DRIVE</b>  <b>PORTSMOUTH, NH.</b></p>		<p><b>FLOOR PLANS</b>  <b>SCALE: 1/8"=1'-0"</b></p>	
<p><b>CHARLES HOYT DESIGNS</b>          Single Style Architecture          393 Ocean Blvd.          Rye, NH 03870          (603) 431-5310          charleshoytdesigns@hotmail.com</p>		<p><b>6-19-19</b></p>	<p><b>A2</b></p>

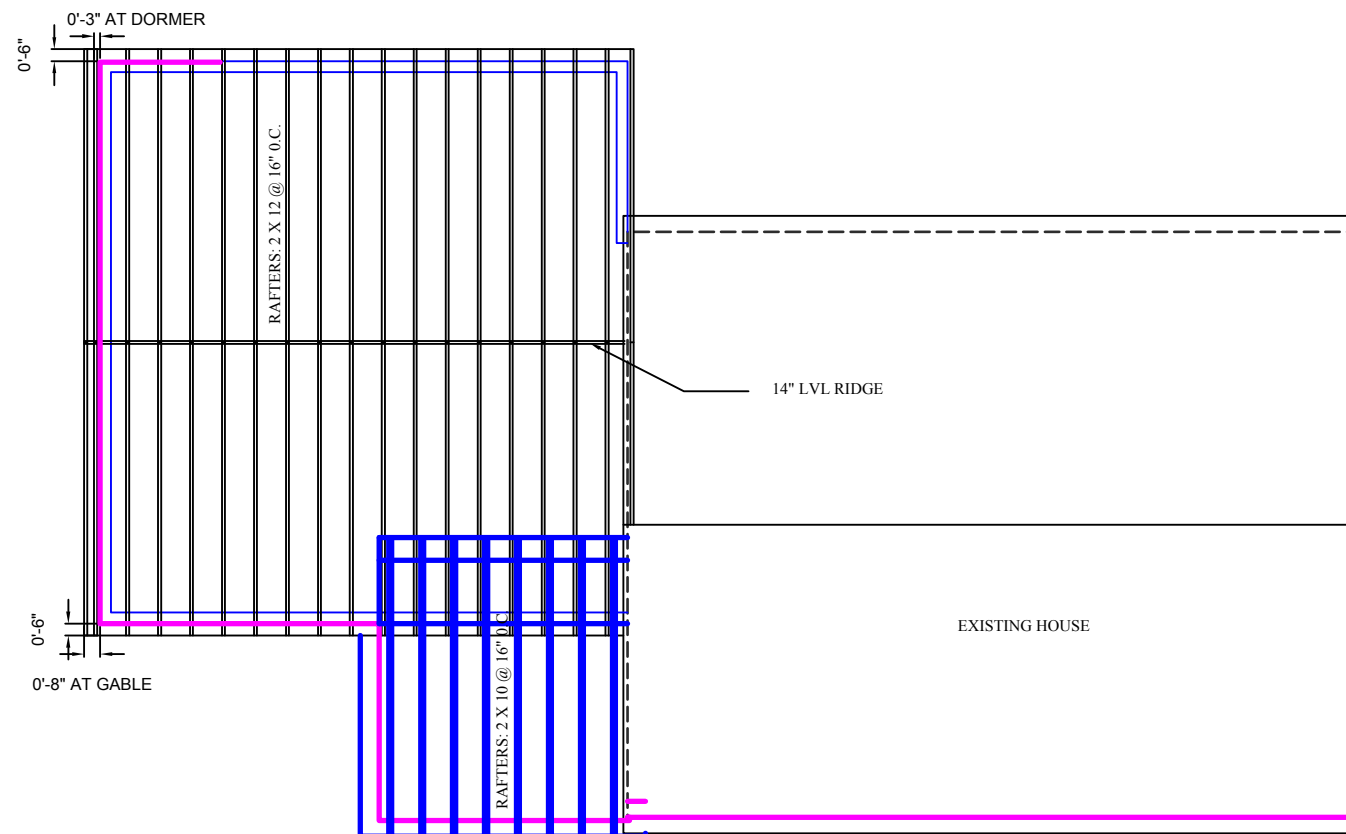
**BUILDING PERMIT SET**  
**ZONING/PLANNING SET**



FIRST FLOOR FRAMING / FOUNDATION PLAN



SECOND FLOOR FRAMING



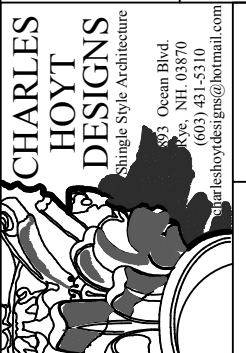
ROOF RAVING

## NOTES:

- Soil bearing capacity should be tested and rated for 3000 PSF
- Concrete mix shall be 3,500 in Garage.
- Footing should rest on undisturbed soils. If ledge is encountered footing should be pinned to rock w/ 12" long #5 rebar 6" into rock & 6" into footing @ 5' o.c.
- Footing: 24" wide x 10" thick reinforced w/ 3 rows of #4 rebar continuous, 3" up from bottom. Pin wall to footing w/ #4 vertical rebar @ 24" O.C. Up 24" Into Wall (Typ.)
- Foundation wall (FROST WALL): 8" thick. @ Garage 8" thick @ House. Reinf. w/ #4 Rebar (2) Rows 2" from Top, (2) rows @ Midspan & (2) Row @ Bottom. Run Horiz. Place Extra #4 Vertical Rebar Below Locations Where Post Sits on Foundation Wall.
- Garage; 4 Thick Slab Over 10Mil Stego Wrap O/ Compacted Crushed stone, If Clean Fill Used, Compaction to be @12" thick sections. Reinforced With Welded Wire Screening Cut An Expansion Joint Down The Middle In Both Directions
- Pin P.T. Plate to foundation wall w/ 1/2" diameter x 1'-0" anchor bolts 4'-0" O.C. (Typ.) There shall be a minimum of two bolts per sill plate section and not more than 12" from each end.

YOUNG RESIDENCE  
346 COLONIAL DRIVE  
PORTSMOUTH, NH.

FRAMING PLANS  
SCALE: 1/8"=1'-0"



A3

6-19-19

ZONING/PLANNING SET

4. Framing

- a. Material: SPF (Spruce-Pine-Fir) Fb 875 PSI FV 70 PSI

b. Grade: No. 2 or better

c. Sill Material: (2) 2x6 pt (pressure treated )

d. General Notes on Building Materials: ( Refer to the framing plans )

e. Provide solid blocking between joists below all post locations.

f. All wood framing shall be built plumb level square and true with adequate bracing and connection hardware to insure a rigid structure.
- g. All plywood will be laid with long dimensions perpendicular to supports, stagger all joints. Solid Blocking @ Wall along the perp. dimension to studs.

h. All exterior doors and window headers shall be 2 X 8,2 x 10 or LVL stock Refer to Sections for discription.
- i. Header @ Garage door is flush with floor structure. (see section)

j. Contractor to take precaution that all beam ends support trace down to solid bearing.

k. Apply construction adhesive between all joists and plywood floors.

l. Install additional joists at parallel interior walls for second floor.

m. All exterior wall construction shall be 2x6 @ 16" o.c.

n. Design assumption of first floor minimum of 40 PSF live & 10 PSF dead.

o. Design assumption of second floor minimum of 30 PSF live & 10 PSF dead.

p. Design assumption of roof minimum of 50 PSF live & 10 PSF dead.

q. Design assumption off all decks 60 PSF live & 10PSF dead.

4A. Floors: (Second floor framing)

- a. ( refer to framing plans) 2 x 10s @ 16" O.C.

b. Sub Floor: ¾" Advantec decking Glued and fastened w/ 8p ring shank nails @ 16" O.C. Staggered joints

c. Bridging: Solid bracing @ midspan. (where applicable)

d. Other: Main girder (See framing plans)

e. Structural posts: 5¼" PSL & 4" x 4" x ¾" steel Posts ( see framing plans)

- f. Opening at stair TRIPL. 2X10" OR (2) 10"LVL. (See framing plans)

g. Stud Size: 2x6 16" on center

4C Attic(collar Ties):

- a. 2 x 10s Spacing: 16" O.C.

4D Roof Structure:

- a. House ridge ; (1)-1 3/4" x14" LVL.

b. Rafter size: 2 x 12s & 2x10's 16" o.c

c. All beam to post connectors are to be bolted with Simpson steel angles.

d. Sheathing: 5/8" CDX plywood

e. Roofing: Material, Asphalt GAF To Match Existing House.

f. Manufacturer: To be determined. Model: TBD Color: TME Fastening: Galvanized nails

g. Grace Ice and Water: At all eaves and valleys up 24"

h. Valleys: Cut with ice and water .

i. Others:

j. Flashing Material: Heavy Gauge white galvanized drip edge.

k. Windows: By Lepage (see specs from window sales rep.)

l. Steps: N.A.

m. Drip Edge: white galvanized drip edge.

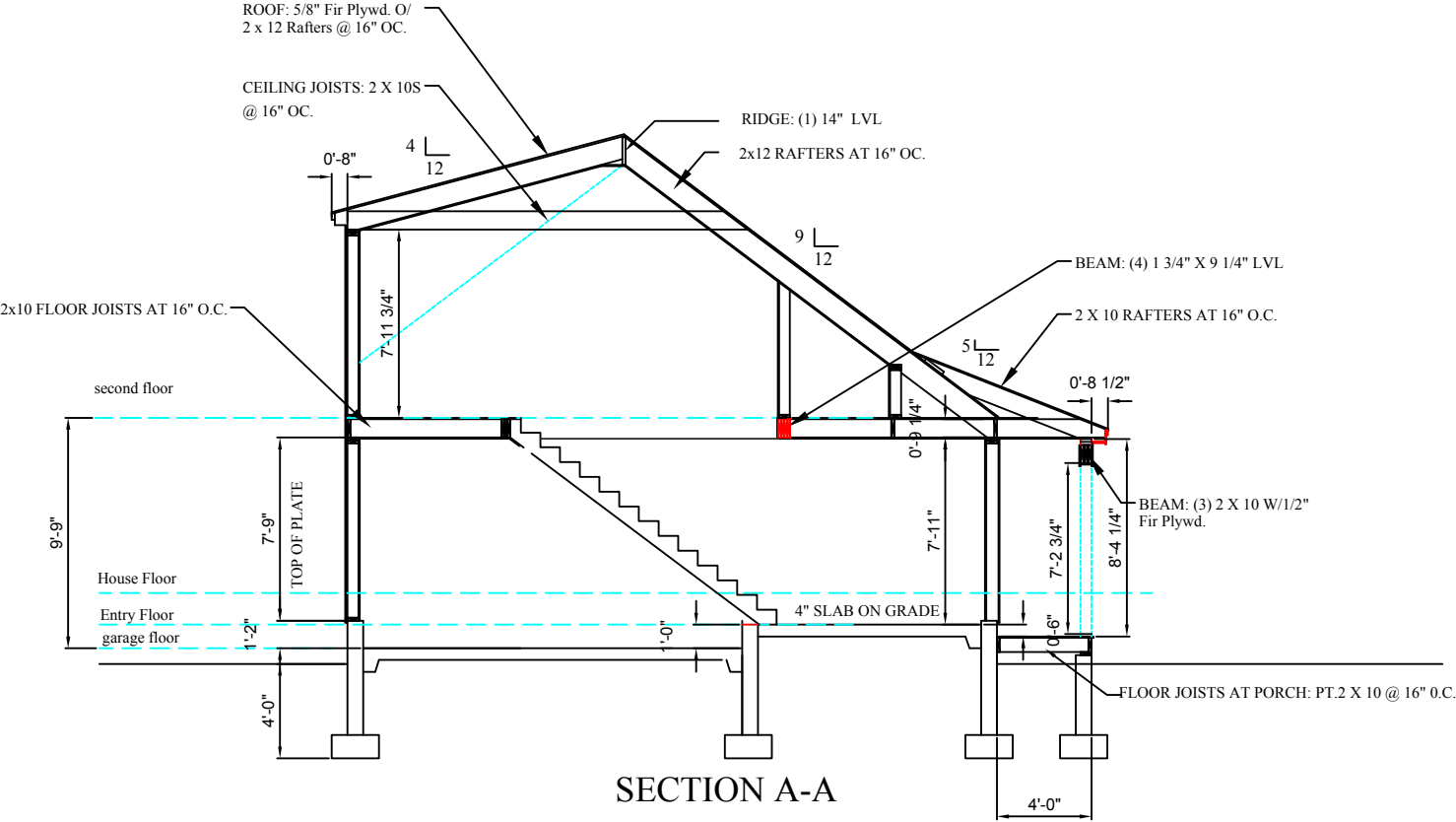
n. Ice Belt: Grace on all eaves and valley's

o. Framing Miscellaneous:

p. Nailing: All nailing to meet IBC requirements

q. Soffit Venting: (NA)

r. Other: All framing to be within ¼" tolerance per 4 feet of run for all horizontal and vertical members. Provide adequate blocking for cabinets and plumbing accessories.



YOUNG RESIDENCE  
346 COLONIAL DRIVE  
PORTSMOUTH, NH.

FRAMING PLANS  
SCALE: 1/8"=1'-0"

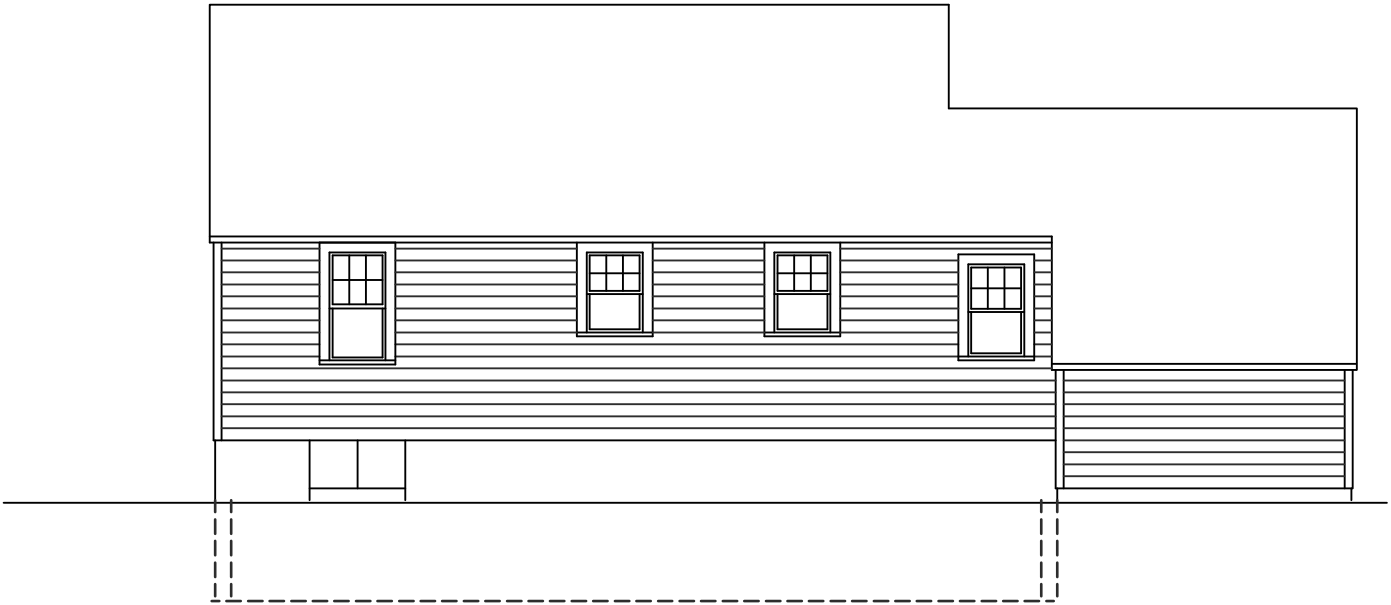
CHARLES  
HOYT  
DESIGNS

Shingle Style Architecture

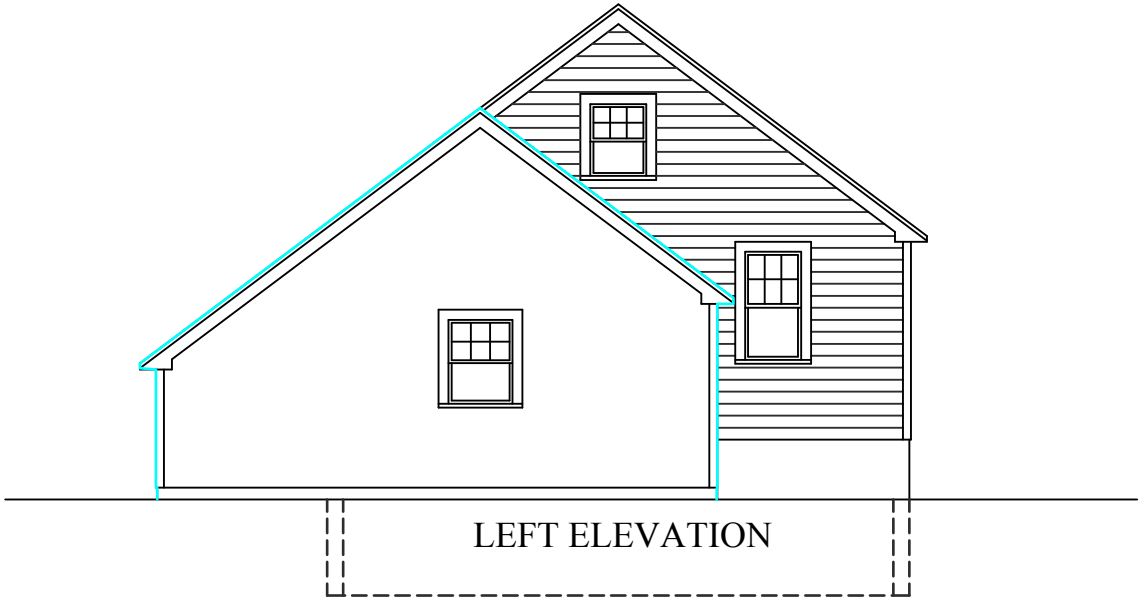
893 Ocean Blvd.  
Rye, NH 03870  
(603) 431-5310  
charleshoytdesigns@hotmail.com

A4

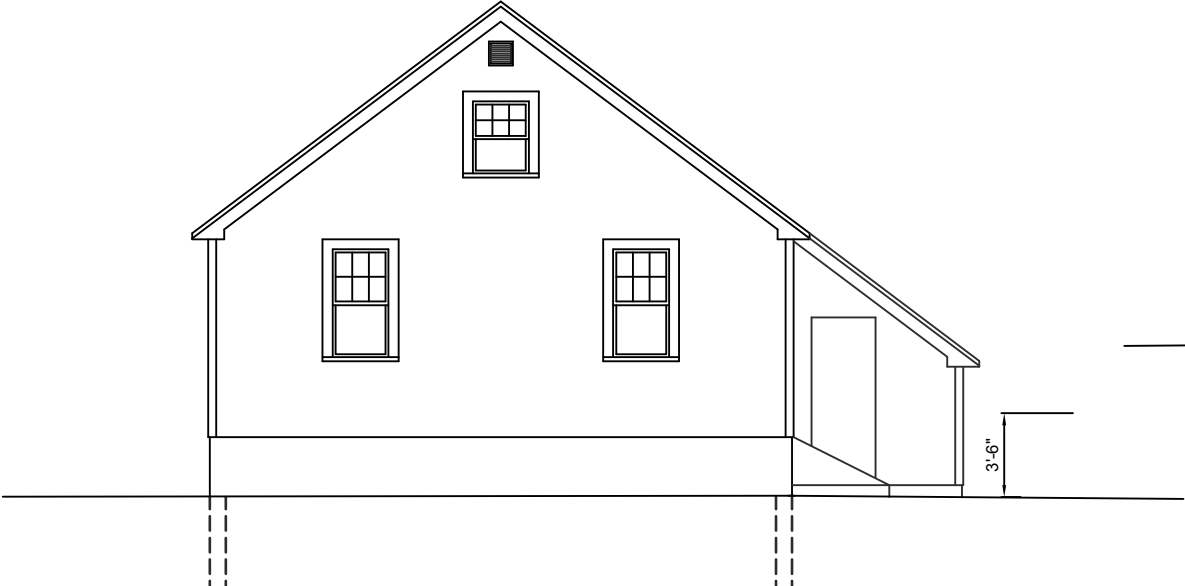
6-19-19



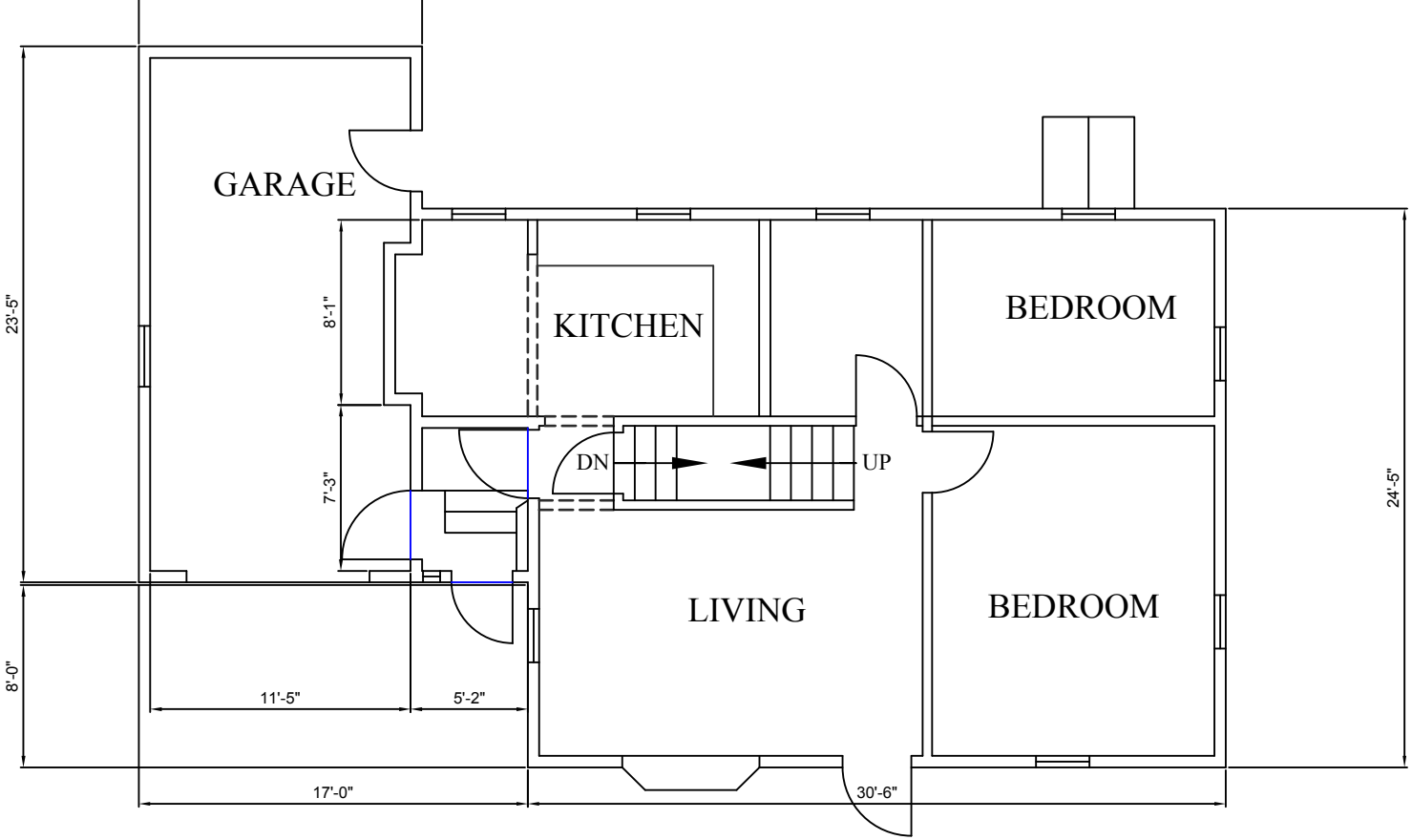
REAR ELEVATION



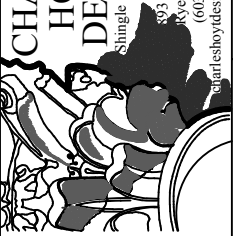
LEFT ELEVATION



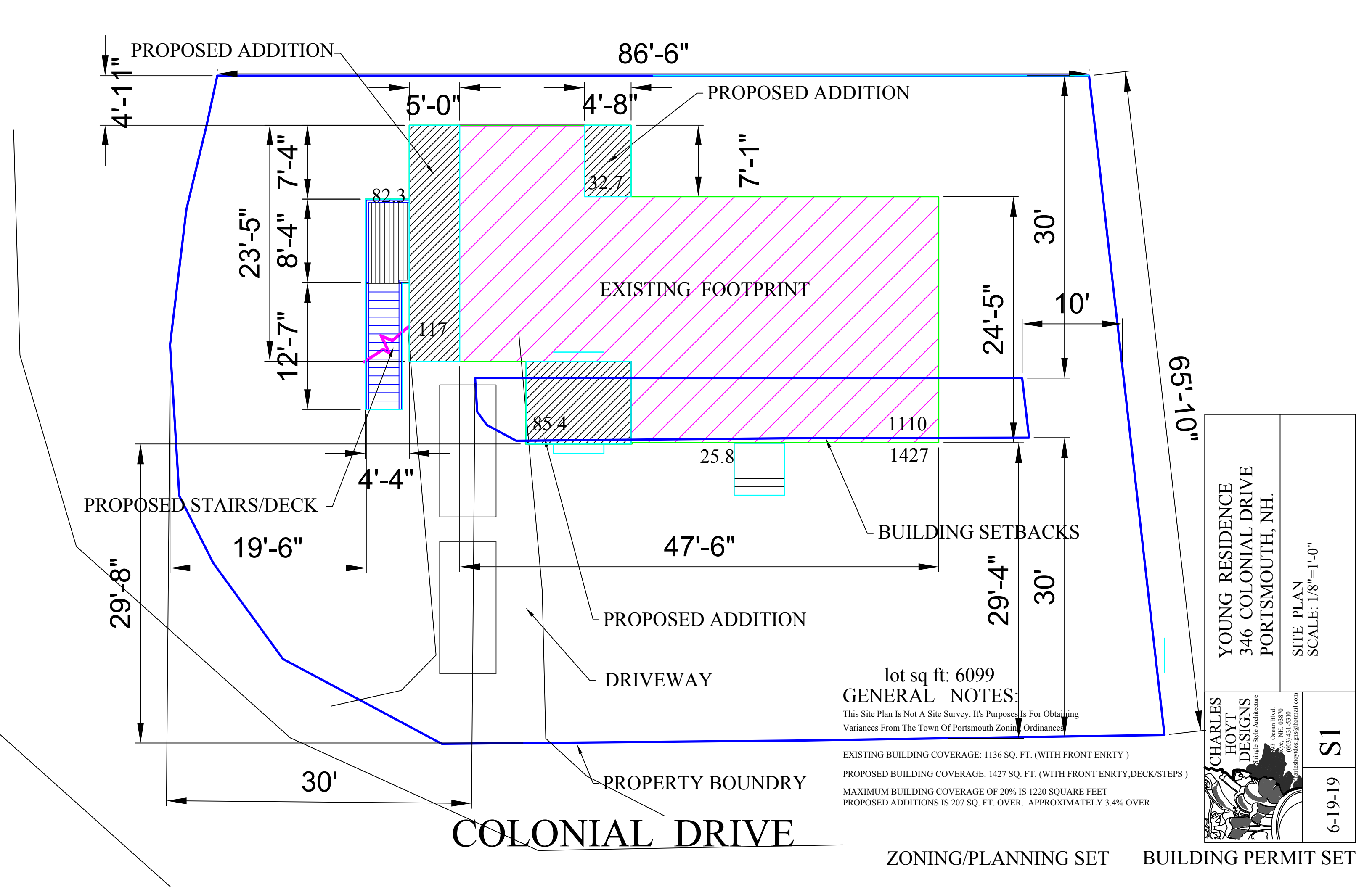
FRONT ELEVATION



FIRST FLOOR PLAN

YOUNG RESIDENCE 346 COLONIAL DRIVE PORTSMOUTH, NH.		EXISTING CONDITIONS SCALE: 1/8"=1'-0"	
 CHARLES HOYT DESIGNS <small>Shingle Style Architecture 893 Ocean Blvd. Rye, NH 03870 (603) 431-5310 charleshoymdesigns@hotmail.com</small>	A5		6-19-19


ZONING/PLANNING SET  
BUILDING PERMIT SET







ZONING/PLANNING SET

 <p>CHARLES HOYT DESIGNS <small>Eclectic Style Architecture</small></p> <p><small>100 Ocean Blvd. Portsmouth, NH 03870 (603) 431-5310 charleshoymdesign@hotmail.com</small></p>	<p>YOUNG RESIDENCE 346 COLONIAL DRIVE PORTSMOUTH, NH.</p> <p>PHOTOGRAPHS OF HOUSE AND LOT</p>
<p>6-19-19</p>	<p>P1</p>