

**AMBIT ENGINEERING, INC.** CIVIL ENGINEERS AND LAND SURVEYORS

200 Griffin Road, Unit 3, Portsmouth, NH 03801  
Phone (603) 430-9282 Fax 436-2315

2 March 2022

Rick Chellman, Planning Board Chair  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, NH 03801

**RE: Request for Preliminary Conceptual Consultation and Design Review at 1 Congress Street,  
Office and Mixed Use Development**

Dear Mr. Chellman and Planning Board Members:

On behalf of Mark McNabb and One Market Square, LLC we are pleased to submit the attached plan set for **Preliminary Conceptual Consultation as well as Design Review** for the above-mentioned project and request that we be placed on the agenda for your **March 17, 20212** Planning Board Meeting. The project includes the re-use of the existing commercial buildings at 1 and 3 Congress Street, some existing building demolition, and proposed new construction of a 3 story with a short 4th building to the rear of the existing buildings with the associated and required site improvements. The area behind the existing building is currently a surface parking lot. The surface parking will be lowered to below street level and be included with the new construction.

The site redevelopment consists of maintaining some of the existing uses at 1 and 3 Congress Street (with the possible elimination of the residential units) and constructing an office building to the rear. The property was 2 contiguous lots; the lots have been merged to create a 16,106 square foot development parcel. The properties are in CD – 4, CD – 5, Downtown Overlay, and Historic Districts. The application conforms to the required Density and Development Standards with the possible exception to building height. There is a draft ZBA application in that regard; although that may not be required.

This applicant seeks Planning Board input as required under Section 2.4.2.1 of the Site Plan Regulations (Preliminary Conceptual Consultation) and would like to go to a Public Hearing to get additional public feedback under the Design Review process.

The following plans are included in our submission:

On Site Improvements

- Cover Sheet – This shows the Development Team, Legend, Site Location, and Site Zoning.

- Standard Boundary Survey Plan – These plans show the existing property boundaries. The survey was performed before the lot merger.
- Existing Conditions Plan C1 – This plan shows the existing site conditions in detail.
- Demolition Plan C2 – This plan shows portions of the existing buildings which will be removed.
- Overall Site Plan C3 – This plan shows the site development in detail with the associated Zoning Development Standards and Floor Area calculations.
- Utility Plan C4 – This plan shows proposed site utilities. The project will be coordinated with the Fleet Street improvements project.
- Grading Plan C5 – This plan shows proposed site grading. High Street is contemplated to be brought all to one surface level similar to Chestnut Street.

### Off Site Improvements

The Development Team would like some feedback from the Planning Board on this part of the plan package; with the realization it is early in the design process and this work is not tied to the proposed site development directly. The possibility of connecting the McIntyre Building to the Worth Parking Lot with a pedestrian network is possible. This is a part of the developer's vision for the project and will involve public / private cooperation and is presented with some ideas for improvements.

- Context Plan A0 – This plan shows the context of the site surroundings. In the upper left is a diagram showing connectivity of a potential pedestrian network connecting the McIntyre Building to the Worth Parking Lot. This exciting possibility is a part of the developer's vision for the project and will involve public / private cooperation.
- Floor Plans A1 – These are preliminary on site building layouts; the project is in design review at the HDC.
- Elevations A2 – These are preliminary building elevations; the project is in design review at the HDC.
- 3D Views - These are preliminary site renderings; the project is in design review at the HDC.
- Garage Plan P1 – This plan shows a possible walkway connector to the Portsmouth Parking Garage. These are preliminary plans; the project is in design review at the HDC.
- Landscape Ideas – This plan shows proposed landscape features for the public spaces for review and comment.

We look forward to the Planning Boards review of this submission and the Boards feedback on the proposed design.

Sincerely,

*John Chagnon*

John R. Chagnon, PE

CC: Mark McNabb, Tracy Kozak, Terrance Parker

# COMMERCIAL DEVELOPMENT

## 1 CONGRESS STREET PORTSMOUTH, NEW HAMPSHIRE SITE PERMIT PLANS

PERMIT LIST:  
NHDES SEWER DISCHARGE PERMIT: TO BE SUBMITTED  
PORTSMOUTH BOA: PENDING  
PORTSMOUTH HDC: TO BE SUBMITTED  
PORTSMOUTH SITE PLAN: TO BE SUBMITTED

**OWNER:**  
ONE MARKET SQUARE LLC  
3 PLEASANT STREET  
SUITE #400  
PORTSMOUTH, NH 03801  
TEL. (603) 427-0725

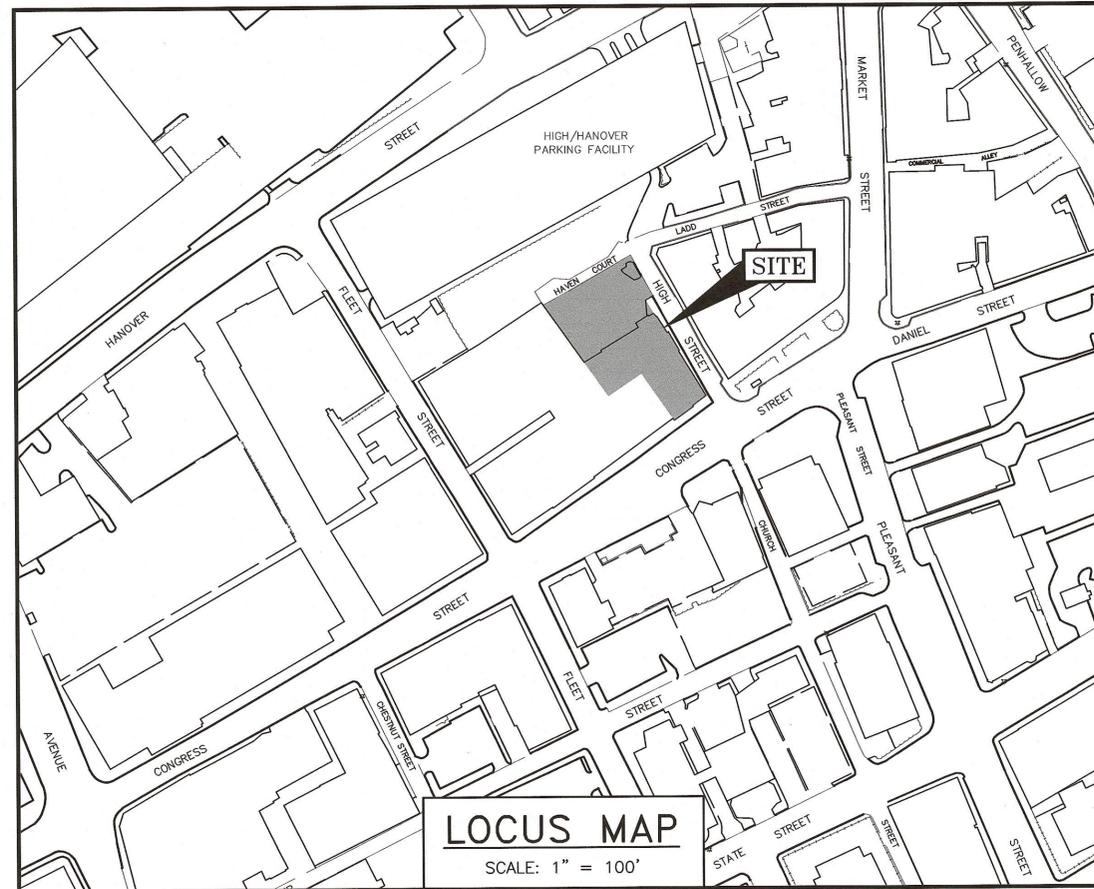
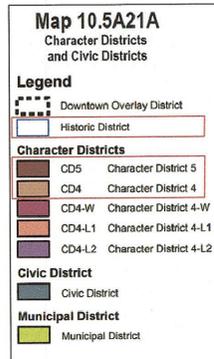
**LANDSCAPE ARCHITECT:**  
TERRA FIRMA LANDSCAPE  
ARCHITECTURE  
163A COURT STREET  
PORTSMOUTH, NH 03801  
TEL. (603) 430-8388

**LAND SURVEYOR & CIVIL  
ENGINEER:**  
AMBIT ENGINEERING, INC.  
200 GRIFFIN ROAD, UNIT 3  
PORTSMOUTH, N.H. 03801  
Tel. (603) 430-9282  
Fax (603) 436-2315

**GEOTECHNICAL:**  
GEOTECHNICAL SERVICES INC.  
18 COTE AVENUE, UNIT 11  
GOFFSTOWN, N.H. 03045  
Tel. (603) 624-2722

**ARCHITECT:**  
ARCOVE LLC  
3 CONGRESS STREET  
SUITE 1  
PORTSMOUTH, NH 03801  
TEL. (603) 731-5187

**LAND USE ATTORNEY:**  
BRUTON & BERUBE, PLLC  
601 CENTRAL AVENUE  
DOVER, N.H. 03820  
Tel. (603) 749-4529



**LEGEND:**

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	SETBACK
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	G	GAS LINE
D	D	STORM DRAIN
W	W	WATER LINE
WS	WS	WATER SERVICE
UGE	UGE	UNDERGROUND ELECTRIC
OHW	OHW	OVERHEAD ELECTRIC/WIRES
---	UD	FOUNDATION DRAIN
100	100	EDGE OF PAVEMENT (EP)
97x3	98x0	CONTOUR
○	●	SPOT ELEVATION
○	○	UTILITY POLE
☀	☀	WALL MOUNTED EXTERIOR LIGHTS
☀	☀	TRANSFORMER ON CONCRETE PAD
☀	☀	ELECTRIC HANDHOLD
☀	☀	SHUT OFFS (WATER/GAS)
☀	☀	GATE VALVE
☀	☀	HYDRANT
☀	☀	CATCH BASIN
☀	☀	SEWER MANHOLE
☀	☀	DRAIN MANHOLE
☀	☀	TELEPHONE MANHOLE
☀	☀	PARKING SPACE COUNT
☀	☀	PARKING METER
☀	☀	LANDSCAPED AREA
TBD	TBD	TO BE DETERMINED
CI	CI	CAST IRON PIPE
COP	COP	COPPER PIPE
DI	DI	DUCTILE IRON PIPE
PVC	PVC	POLYVINYL CHLORIDE PIPE
RCP	RCP	REINFORCED CONCRETE PIPE
AC	AC	ASBESTOS CEMENT PIPE
VC	VC	VITRIFIED CLAY PIPE
EP	EP	EDGE OF PAVEMENT
EL	EL	ELEVATION
FF	FF	FINISHED FLOOR
INV	INV	INVERT
S =	S =	SLOPE FT/FT
TBM	TBM	TEMPORARY BENCH MARK
TYP	TYP	TYPICAL



**PORTSMOUTH APPROVAL CONDITIONS NOTE:**  
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

**INDEX OF SHEETS**

ON SITE DEVELOPMENT	
-	BOUNDARY PLAN
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C2	DEMOLITION PLAN
C3	OVERALL SITE PLAN
C4	UTILITY PLAN
C5	GRADING PLAN
OFF SITE IMPROVEMENTS	
A0	CONTEXT
A1	FLOOR PLANS
A2	ELEVATIONS
A3	3D VIEWS
P1	GARAGE PLAN
-	LANDSCAPE IDEAS

### UTILITY CONTACTS

**ELECTRIC:**  
EVERSOURCE  
1700 LAFAYETTE ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 436-7708, Ext. 555.5678  
ATTN: MICHAEL BUSBY, P.E. (MANAGER)

**NATURAL GAS:**  
UNITIL  
325 WEST ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 294-5144  
ATTN: DAVE BEAULIEU

**CABLE:**  
COMCAST  
155 COMMERCE WAY  
PORTSMOUTH, N.H. 03801  
Tel. (603) 679-5695 (X1037)  
ATTN: MIKE COLLINS

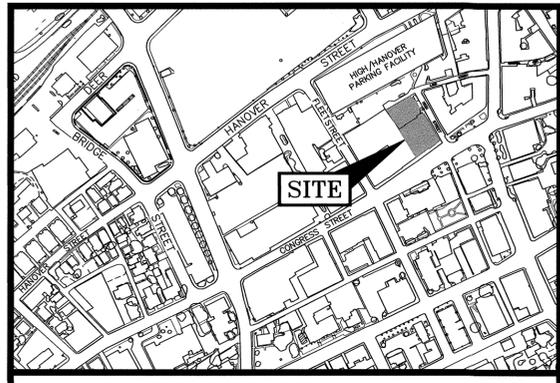
**SEWER & WATER:**  
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS  
680 PEVERLY HILL ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 427-1530  
ATTN: JIM TOW

**COMMUNICATIONS:**  
FAIRPOINT COMMUNICATIONS  
JOE CONSIDINE  
1575 GREENLAND ROAD  
GREENLAND, N.H. 03840  
Tel. (603) 427-5525

**SITE PERMIT PLANS  
COMMERCIAL DEVELOPMENT  
ONE MARKET SQUARE  
1 CONGRESS STREET  
PORTSMOUTH, N.H.**

**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

PLAN SET SUBMITTAL DATE: 2 MARCH 2022



LOCATION MAP SCALE: 1" = 300'

**LEGEND:**

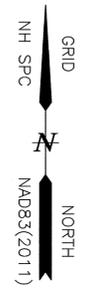
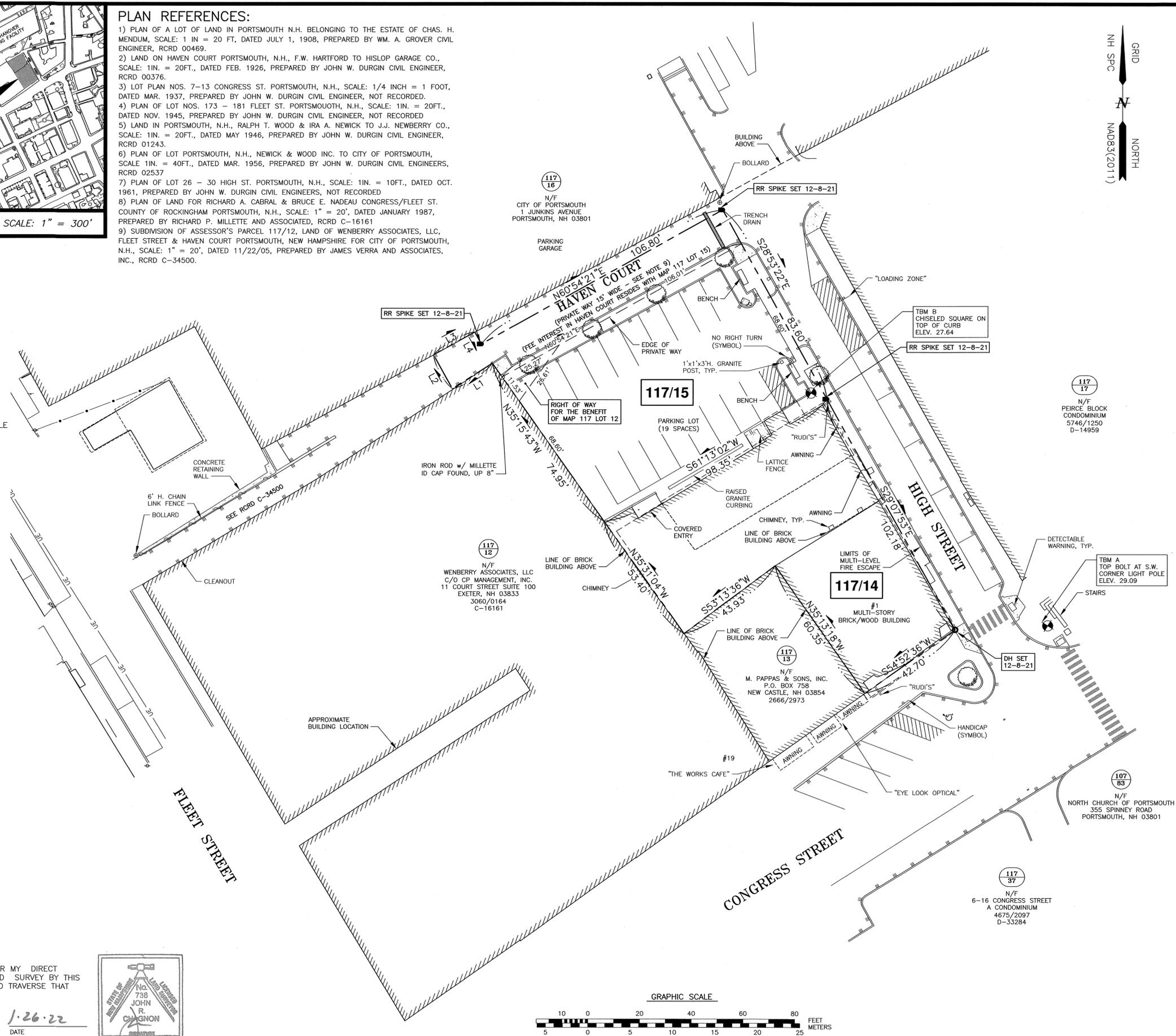
- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
- RR SPK RAILROAD SPIKE
- MAP 11/LOT 21
- IR FND IRON ROD FOUND
- IP FND IRON PIPE FOUND
- IR SET IRON ROD SET
- DH FND DRILL HOLE FOUND
- DH SET DRILL HOLE SET
- NHHB NHDOT BOUND FOUND
- TB TOWN BOUND
- BND w/DH BOUND WITH DRILL HOLE
- ST BND w/DH STONE BOUND WITH DRILL HOLE

**LENGTH TABLE**

LINE	BEARING	DISTANCE
L1	S57°27'42"W	18.36'
L2	N28°53'22"W	15.00'
L3	N61°07'46"E	18.19'
L4	S29°05'39"E	5.28'

**PLAN REFERENCES:**

- 1) PLAN OF A LOT OF LAND IN PORTSMOUTH N.H. BELONGING TO THE ESTATE OF CHAS. H. MENDUM, SCALE: 1 IN = 20 FT, DATED JULY 1, 1908, PREPARED BY WM. A. GROVER CIVIL ENGINEER, RCRD 00469.
- 2) LAND ON HAVEN COURT PORTSMOUTH, N.H., F.W. HARTFORD TO HISLOP GARAGE CO., SCALE: 1IN. = 20FT., DATED FEB. 1926, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 00376.
- 3) LOT PLAN NOS. 7-13 CONGRESS ST. PORTSMOUTH, N.H., SCALE: 1/4 INCH = 1 FOOT, DATED MAR. 1937, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 4) PLAN OF LOT NOS. 173 - 181 FLEET ST. PORTSMOUTH, N.H., SCALE: 1IN. = 20FT., DATED NOV. 1945, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED
- 5) LAND IN PORTSMOUTH, N.H., RALPH T. WOOD & IRA A. NEWICK TO J.J. NEWBERRY CO., SCALE: 1IN. = 20FT., DATED MAY 1946, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 01243.
- 6) PLAN OF LOT PORTSMOUTH, N.H., NEWICK & WOOD INC. TO CITY OF PORTSMOUTH, SCALE 1IN. = 40FT., DATED MAR. 1956, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, RCRD 02537
- 7) PLAN OF LOT 26 - 30 HIGH ST. PORTSMOUTH, N.H., SCALE: 1IN. = 10FT., DATED OCT. 1961, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, NOT RECORDED
- 8) PLAN OF LAND FOR RICHARD A. CABRAL & BRUCE E. NADEAU CONGRESS/FLEET ST. COUNTY OF ROCKINGHAM PORTSMOUTH, N.H., SCALE: 1" = 20', DATED JANUARY 1987, PREPARED BY RICHARD P. MILLETTE AND ASSOCIATED, RCRD C-16161
- 9) SUBDIVISION OF ASSESSOR'S PARCEL 117/12, LAND OF WENBERRY ASSOCIATES, LLC, FLEET STREET & HAVEN COURT PORTSMOUTH, NEW HAMPSHIRE FOR CITY OF PORTSMOUTH, N.H., SCALE: 1" = 20', DATED 11/22/05, PREPARED BY JAMES VERRA AND ASSOCIATES, INC., RCRD C-34500.

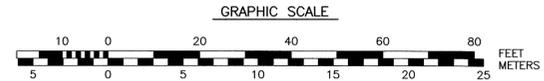
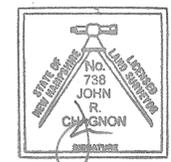


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 200 Griffin Road - Unit 3  
 Portsmouth, N.H. 03801-7114  
 Tel (603) 430-9282  
 Fax (603) 436-2318

- NOTES:**
- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 117 AS LOTS 14 AND 15.
  - 2) OWNER OF RECORD:  
 ONE MARKET SQUARE, LLC  
 3 PLEASANT STREET, SUITE 400  
 PORTSMOUTH, NH 03801  
 6363/31 PARCEL 1 & PARCEL 2
  - 3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4 AND CHARACTER DISTRICT 5.
  - 4) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
  - 5) LOT AREAS: MAP 117 LOT 14 7,266 S.F. 0.1668 ACRES  
 MAP 117 LOT 15 8,840 S.F. 0.2029 ACRES  
 COMBINED LOT AREA: 16,106 S.F. 0.3697 ACRES
  - 6) PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
  - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF A STANDARD BOUNDARY SURVEY ON TAX MAP 117, LOTS 14 AND 15 IN PORTSMOUTH, NH.
  - 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBS.
  - 9) HAVEN COURT IS A PRIVATE WAY 15 FEET WIDE. ALL RIGHTS, TITLE AND INTEREST UNTO SAID HAVEN COURT WERE CONVEYED WITH ASSESSOR'S MAP 117 LOT 15, AS DESCRIBED IN RCRD 983/179, SUBJECT TO RIGHTS OF OTHERS (OTHERS NOT DEFINED ON THIS SURVEY).

I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

*John R. Chagnon*  
 JOHN R. CHAGNON, LLS 738  
 DATE: 1.26.22



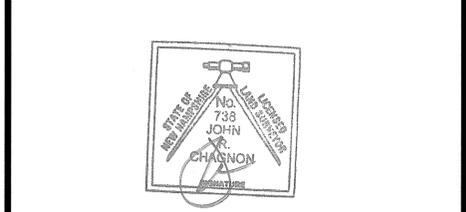
NO.	DESCRIPTION	DATE
1	NEW OWNER	1/26/22
0	ISSUED FOR RECORDING	12/8/21

**STANDARD BOUNDARY SURVEY**  
**TAX MAP 117**  
**LOTS 14 & 15**  
 OWNER OF RECORD:  
**ONE MARKET SQUARE, LLC**  
 PROPERTY LOCATED AT:  
 1 CONGRESS STREET & HIGH STREET  
 CITY OF PORTSMOUTH  
 COUNTY OF ROCKINGHAM  
 STATE OF NEW HAMPSHIRE

- NOTES:**
- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 117 AS LOTS 14 AND 15.
  - 2) OWNER OF RECORD:  
ONE MARKET SQUARE, LLC  
3 PLEASANT STREET, SUITE 400  
PORTSMOUTH, NH 03801  
6363/31 PARCEL 1 & PARCEL 2
  - 3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4 AND CHARACTER DISTRICT 5.
  - 4) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
  - 5) LOT AREAS: MAP 117 LOT 14      MAP 117 LOT 15  
7,266 S.F.                              8,840 S.F.  
0.1668 ACRES                          0.2029 ACRES  
  
COMBINED LOT AREA:  
16,106 S.F.  
0.3697 ACRES
  - 6) PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
  - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 117, LOTS 14 AND 15 IN PORTSMOUTH, NH.
  - 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBS.

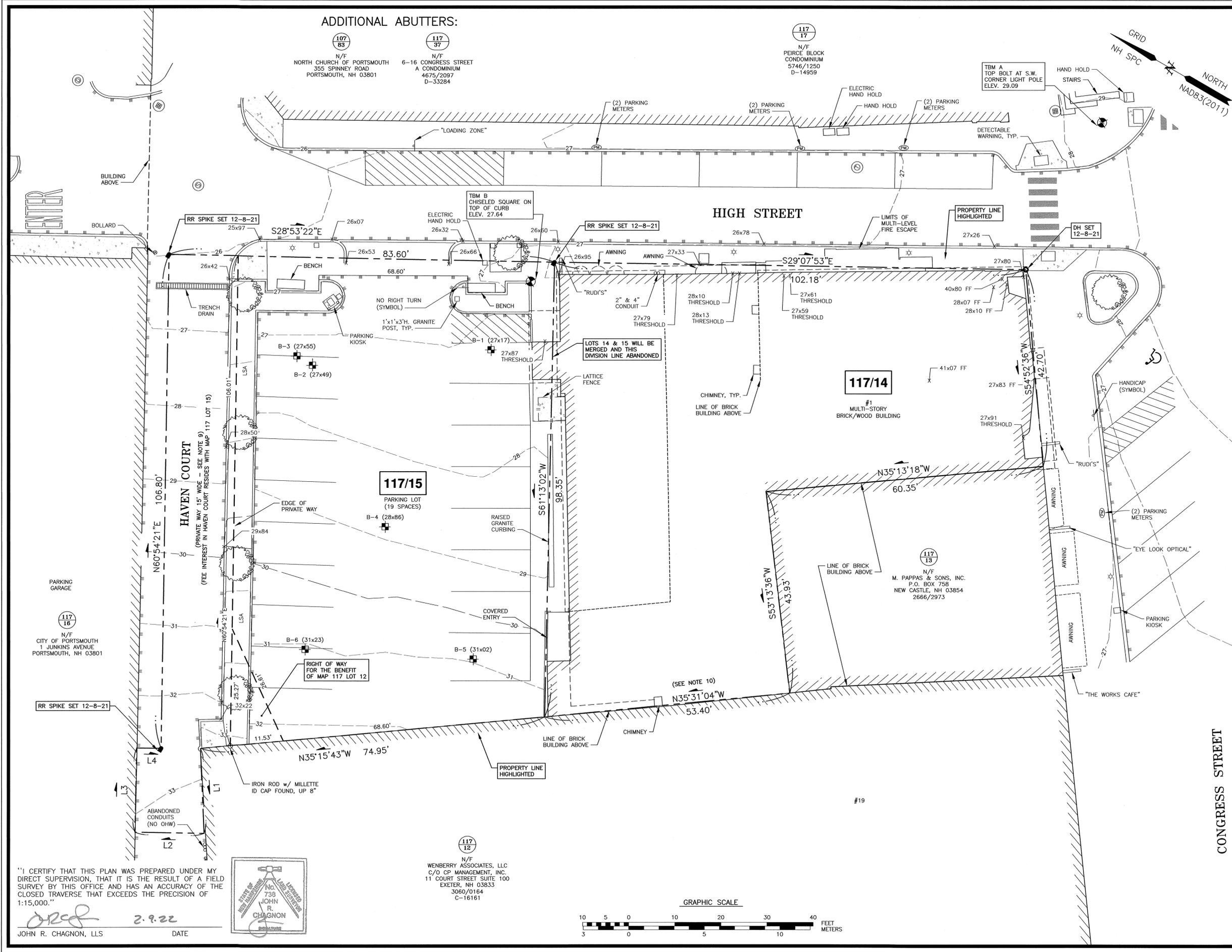
**COMMERCIAL DEVELOPMENT  
ONE MARKET SQUARE  
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
2	ADD TOPOGRAPHY	2/9/22
1	BORING LOCATIONS	2/7/22
0	PROPERTY LINES	1/26/22



SCALE 1" = 10'      NOVEMBER 2021

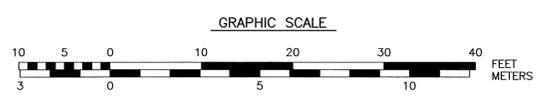
**EXISTING CONDITIONS PLAN**      **C1**



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

*John R. Chagnon*      2.9.22      DATE

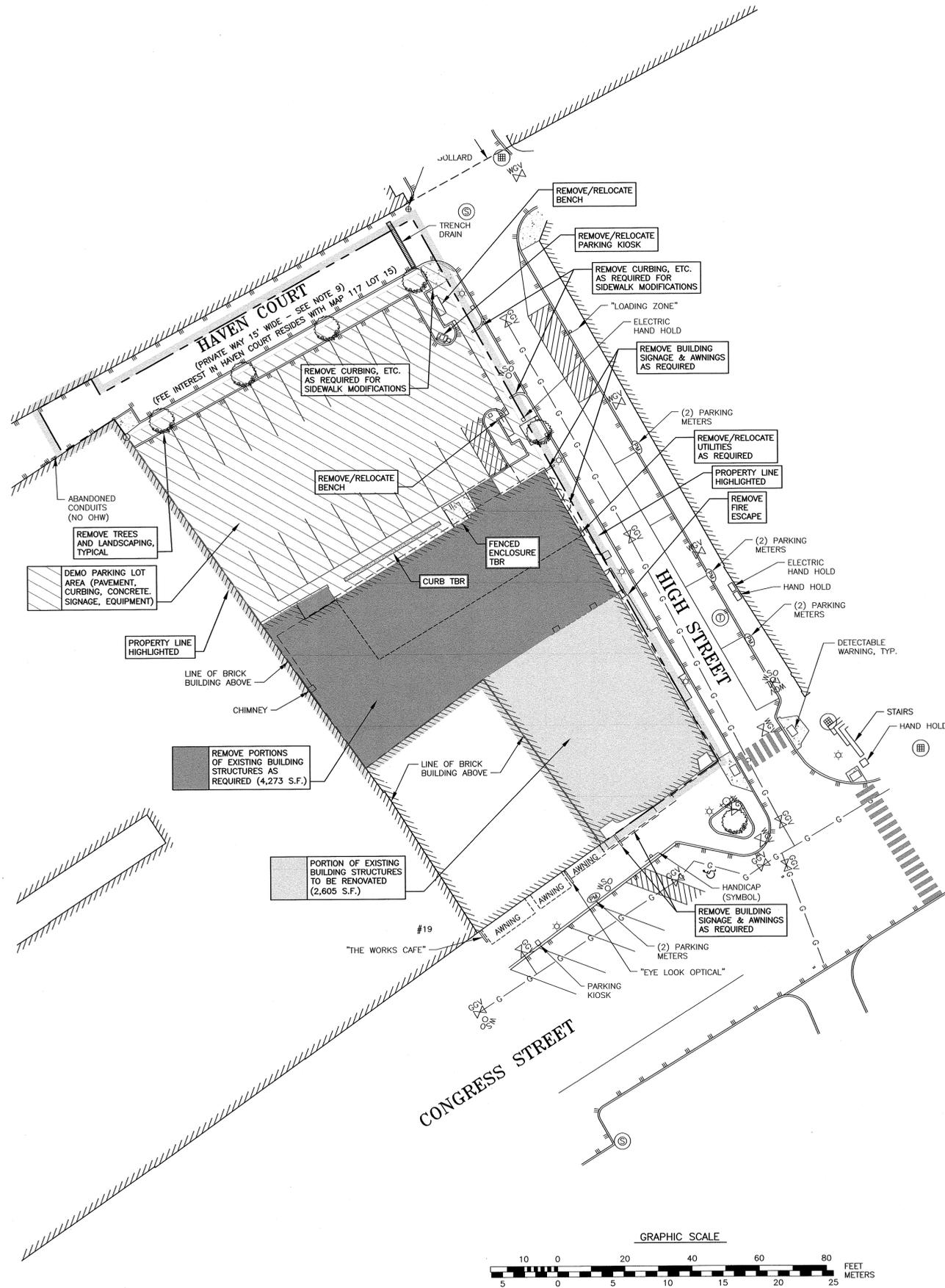
JOHN R. CHAGNON, LLS



CONGRESS STREET

**DEMOLITION NOTES**

- A) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.
- B) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- C) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- E) SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT TRENCH IN AREAS WHERE PAVEMENT IS TO BE REMOVED.
- F) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- G) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- H) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING DOMESTIC / IRRIGATION SERVICE WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER FOR PROPER CAPPING / RE-USE.
- I) ALL WORK WITHIN THE CITY OF PORTSMOUTH RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS (DPW).
- J) REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL SLUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- K) CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED, THE CONTRACTOR SHALL EMPLOY A NH LICENSED LAND SURVEYOR TO REPLACE THEM.
- L) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- M) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFELY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- N) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS



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 Civil Engineers & Land Surveyors  
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- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
  - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
  - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

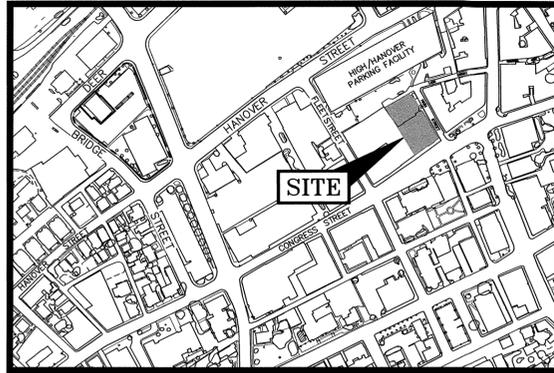
**COMMERCIAL DEVELOPMENT  
 ONE MARKET SQUARE  
 PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	1/26/22
REVISIONS		



SCALE 1" = 20' NOVEMBER 2021

**DEMOLITION PLAN** **C2**

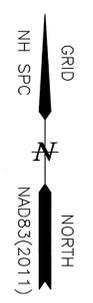


LOCATION MAP

SCALE: 1" = 300'

**PLAN REFERENCE:**

STANDARD BOUNDARY SURVEY, TAX MAP 117, LOTS 14 & 15, FOR PETER H. JARVIS & SONS, LLC. 1 CONGRESS STREET & HIGH STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED NOVEMBER 2021, ISSUED FOR RECORDING 12/8/21. R.C.R.D. PLAN D-43095.



**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

**NOTES:**

- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 117 AS LOTS 14 AND 15.
- 2) OWNER OF RECORD:  
ONE MARKET SQUARE, LLC  
3 PLEASANT STREET, SUITE 400  
PORTSMOUTH, NH 03801  
6363/31 PARCEL 1 & PARCEL 2
- 3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4 AND CHARACTER DISTRICT 5. SEE TABLES THIS SHEET.
- 4) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
- 5) LOT AREAS: MAP 117 LOT 14 7,266 S.F. 0.1668 ACRES  
MAP 117 LOT 15 8,840 S.F. 0.2029 ACRES  
COMBINED LOT AREA: 16,106 S.F. 0.3697 ACRES
- 6) PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED DEVELOPMENT ON TAX MAP 117, LOTS 14 AND 15 IN PORTSMOUTH, NH.
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBS.
- 9) HAVEN COURT IS A PRIVATE WAY 15 FEET WIDE. ALL RIGHTS, TITLE AND INTEREST UNTO SAID HAVEN COURT WERE CONVEYED WITH ASSESSOR'S MAP 117 LOT 15, AS DESCRIBED IN RCRD 983/179, SUBJECT TO RIGHTS OF OTHERS (OTHERS NOT DEFINED ON THIS PLAN).

ZONING DEVELOPMENT STANDARD			
CD4 (CD-4, DOD, HDC); CHARACTER DISTRICT 4	REQUIRED	EXISTING	PROPOSED
Penthouses	may exceed bldg height by 2'	n/a	n/a
Roof appurtenance	may exceed bldg height by 10'	n/a	tbd, < 10'-0"
Facade Types	shopfront	n/a	yes
Building Types	commercial, live-work, mixed use, flex space & community.	n/a	commercial
Setbacks (ft) *			
Front (principle) max	10	n/a	0'-0"
Front (secondary) max	15	n/a	1'-6"
Side	NR	n/a	10'-0"
Rear, min	>of: 5' from rear line or 10' from d	n/a	10'-0"
Front lotline buildout	50% min	n/a	n/a
Lot area (sf)	NR	0	8,840
LOT area per dwelling	NR	0	n/a
Coverage, maximum	95%	0	67.39%
Footprint, max*	10,543.40	0	5,957
*10,543.43 increase for indoor parking if >50% gr. floor parking & 30% lot is community space	30,000 ground (20,000 upper)		0
Ground floor area per use, max	15,000		5,957
Open space, minimum	10%		32.61%
Permitted uses (cd4 & cd5)	multifamily, live/work, office, retail, restaurant (<500cc)	surface parking lot	commercial retail
Block length, max (ft)	200	n/a	169'-3"
Facade modulation length, max (ft)	80	n/a	67'-6"
Entrance spacing, max (ft)	50	n/a	41'-9"
Floor height above sidewalk, max	36"	n/a	26"
Ground floor height, min	12'	n/a	13'-0"
Second floor height, min	10'	n/a	11'-0"
Glazing, shopfront, min	70%	n/a	min 70%
Glazing, other	20%-50%	n/a	20%-50%
Roof types (pitch)	flat, gable (6:12-12:12), hip(>3:12), gambrel/mansard(6:12-30:12)	n/a	flat, mansard, hip

ZONING DEVELOPMENT STANDARD			
CD5 (CD-5, DOD, HDC); CHARACTER DISTRICT 5	REQUIRED	EXISTING	PROPOSED
Penthouses	may exceed bldg height by 2'	n/a	n/a
Roof appurtenance	may exceed bldg height by 10'	tbd, < 10'-0"	tbd, < 10'-0"
Facade Types	shop front	yes	yes
Building Types	commercial, live-work, mixed use, flex space & community.	commercial, mixed use	commercial
Setbacks (ft) *			
Front (principle) max	5	0'-0"	0'-0"
Front (secondary) max	5	0'-0"	1'-6"
Side	NR	0'-0"	0'-10"
Rear, min	>of: 5' from rear line or 10' from d	0'-3"	10'-0"
Front lotline buildout	80% min	100%	n/a
Lot area (sf)	NR	7,256	8,840
LOT area per dwelling	NR	n/a	n/a
Coverage, maximum	95%	87.63%	67.39%
Footprint, max*	10,543.40	6,367	5,957
*10,543.43 increase for indoor parking if >50% gr. floor parking & 30% lot is community space	50,000 ground (30,000 upper)	0	0
Ground floor area per use, max	15,000	6,367	5,957
Open space, minimum	5%	12.37%	32.61%
Permitted uses (cd4 & cd5)	commercial, live/work, mixed-use, flex space, community, office, retail, restaurant (<500cc)	commercial, mixed use, office, retail & restaurant	commercial retail
Block length, max (ft)	225	102.18	169'-3"
Facade modulation length, max (ft)	100	102.18	67'-6"
Entrance spacing, max (ft)	50	50'-6"	41'-9"
Floor height above sidewalk, max	36"	8"	26"
Ground floor height, min	12'	13'-0"	13'-0"
Second floor height, min	10'	11'-0"	11'-0"
Glazing, shopfront, min	70%		min 70%
Glazing, other	20%-50%		20%-50%
Roof types (pitch)	flat, gable (6:12-12:12), hip(>3:12), gambrel/mansard(6:12-30:12)	mansard and gable	flat, mansard, hip

**BUILDING DATA:**  
PROPOSED BUILDING:  
12,280 S.F. FOOTPRINT

**HEIGHT DATA:**

LOT	REQUIRED HEIGHT & STORIES	PROPOSED HEIGHT & STORIES
14	2-3 STORIES WITH SHORT 4TH=45'	44'-11" / 3 STORY WITH 4TH SHORT
15	2 STORIES WITH SHORT 3RD=35'	44'-11" / 3 STORY WITH 4TH SHORT

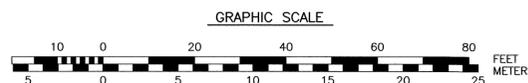
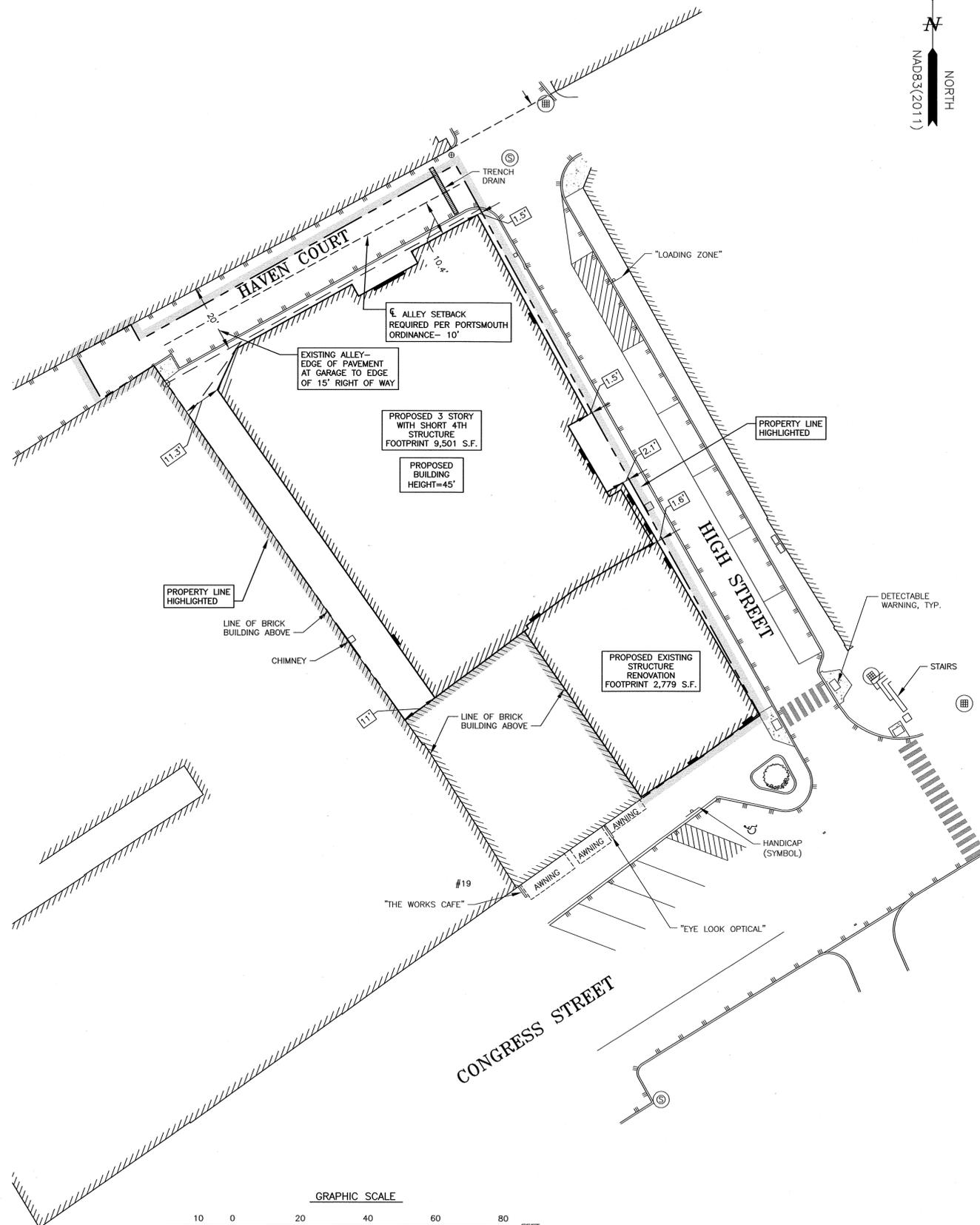
**PORTSMOUTH APPROVAL CONDITIONS NOTE:**  
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

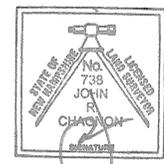
One Market Square  
Conceptual Area Summary  
1/25/2022

	total gsf	cd4 - lot 15	cd5 - lot 14
addition			
4th floor	6,697	4,924	1,773
3rd floor	9,609	5,957	3,652
2nd floor	9,608	5,957	3,651
1st floor (footprint)	9,608	5,957	3,651
basement	9,791	6,162	3,629
total new	45,313		
renovation			
4th floor	2,294	residential	
3rd floor	2,716	residential	
2nd floor	2,716	office	
1st floor	1,386	restaurant	
1st floor	1,330	retail	
basement	2,717	storage/mech	
total renovation	13,159		
<b>TOTAL FOOTPRINT</b>	<b>12,324</b>		
<b>TOTAL GSF</b>	<b>58,472</b>		



**COMMERCIAL DEVELOPMENT  
ONE MARKET SQUARE  
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	1/26/22
REVISIONS		



SCALE 1" = 20' NOVEMBER 2021

OVERALL SITE PLAN

C3

**UTILITY NOTES:**

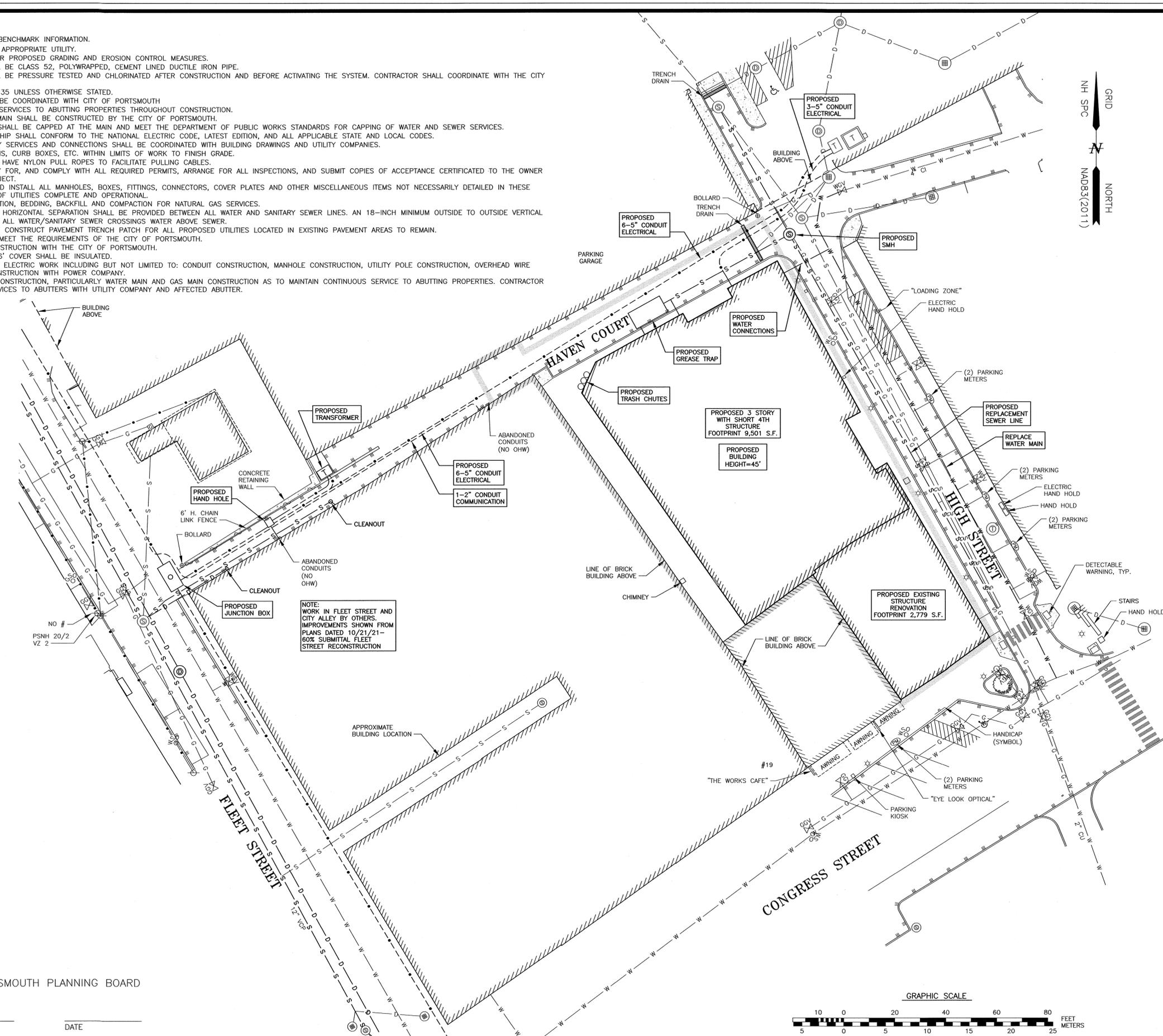
- 1) SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- 2) COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.
- 3) SEE GRADING AND DRAINAGE PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
- 4) ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, POLYWRAPPED, CEMENT LINED DUCTILE IRON PIPE.
- 5) ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION AND BEFORE ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTSMOUTH.
- 6) ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- 7) ALL WORK WITHIN CITY R.O.W. SHALL BE COORDINATED WITH CITY OF PORTSMOUTH.
- 8) CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJUTING PROPERTIES THROUGHOUT CONSTRUCTION.
- 9) ANY CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED BY THE CITY OF PORTSMOUTH.
- 10) EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- 11) ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- 12) THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH BUILDING DRAWINGS AND UTILITY COMPANIES.
- 13) ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- 14) ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- 15) THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATED TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT.
- 16) THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED IN THESE DRAWING TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- 17) CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- 18) A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS WATER ABOVE SEWER.
- 19) SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- 20) GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
- 21) COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- 22) ALL SEWER PIPES WITH LESS THAN 6' COVER SHALL BE INSULATED.
- 23) CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- 24) CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ADJUTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ADJUTING PROPERTIES WITH UTILITY COMPANY AND AFFECTED ADJUTING.



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 Portsmouth, N.H. 03801-7114  
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 Fax (603) 436-2315

**NOTES:**

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) INSTALL CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED CATCH BASINS UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.
- 5) ALL WATER MAIN AND SANITARY SEWER WORK SHALL MEET THE STANDARDS OF THE NEW HAMPSHIRE STATE PLUMBING CODE AND CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.
- 6) UTILITY AS-BUILTS SHALL BE SUBMITTED TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS UPON COMPLETION OF THE PROJECT.
- 7) EVERSOURCE WORK ORDER #7706719
- 8) PROPOSED SEWER FLOW (NEW CONSTRUCTION):  
 35,522 S.F. OFFICE SPACE  
 35,522 X (2.5 GPD/100 S.F.) = 888 GALLONS PER DAY.



NOTE:  
 WORK IN FLEET STREET AND  
 CITY ALLEY BY OTHERS.  
 IMPROVEMENTS SHOWN FROM  
 PLANS DATED 10/21/21-  
 60% SUBMITTAL FLEET  
 STREET RECONSTRUCTION

**COMMERCIAL  
 DEVELOPMENT  
 ONE CONGRESS STREET  
 PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	3/2/22
REVISIONS		



SCALE 1" = 20' NOVEMBER 2021

UTILITY PLAN **C4**

APPROVED BY THE PORTSMOUTH PLANNING BOARD

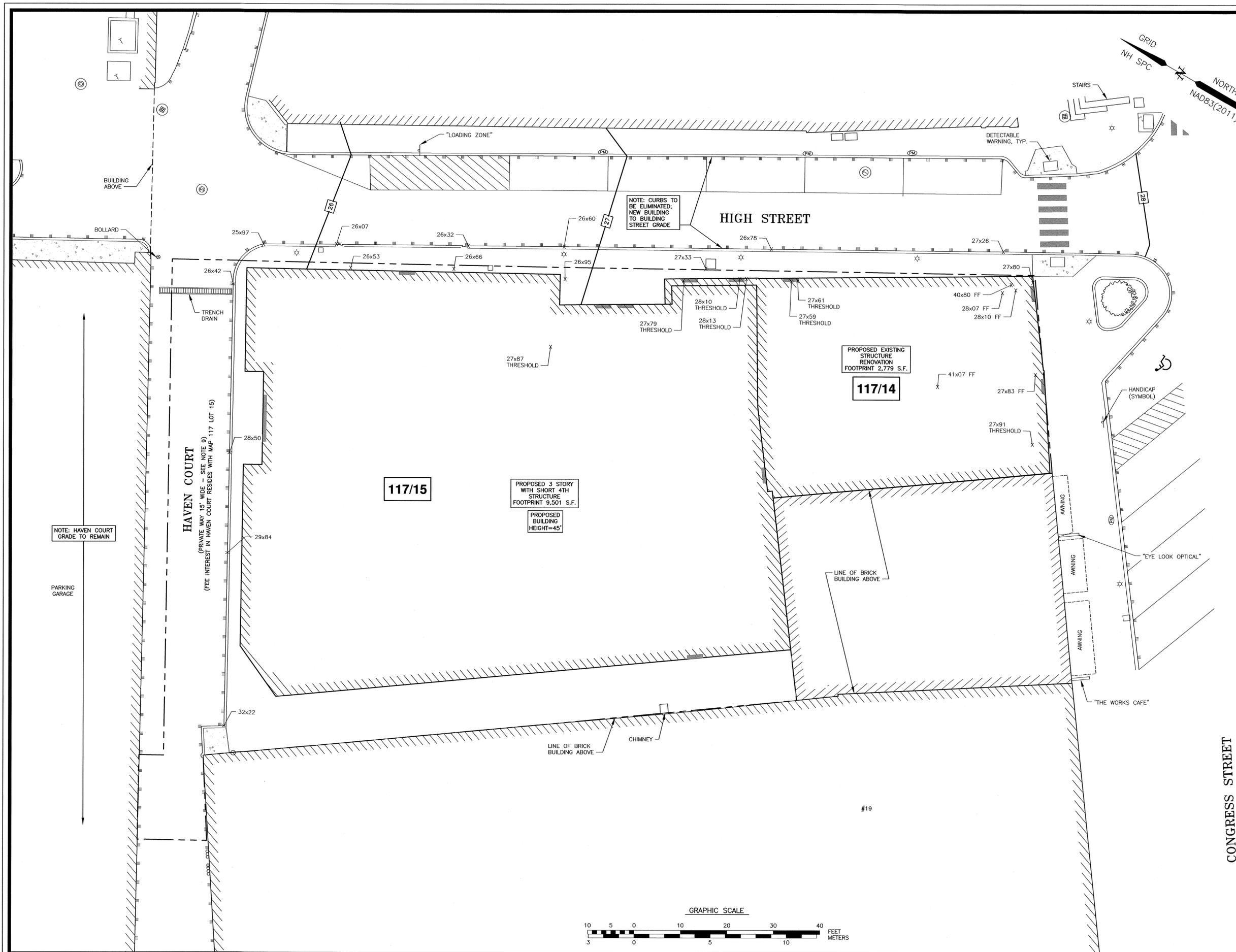
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_



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 Portsmouth, N.H. 03801-7114  
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**NOTES:**

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).



**COMMERCIAL DEVELOPMENT  
 ONE CONGRESS STREET  
 PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	3/2/22
REVISIONS		



SCALE 1" = 10' NOVEMBER 2021

**GRADING PLAN** **C5**



COMMERCIAL ALLEY



LADD STREET



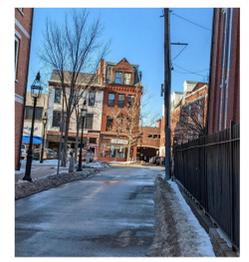
HAVEN COURT (LOOKING EAST)



1 CONGRESS STREET  
 PEDESTRIAN CONNECTIONS  
 SCALE: 1"=100'



LADD STREET AT HIGH STREET



CHURCH STREET TOWARDS HIGH STREET



H2.07 HISTORIC  
 1 CONGRESS STREET  
 SCALE: 1/8"=100'



HAVEN COURT AT FLEET STREET



HAVEN COURT (LOOKING WEST)

PEDESTRIAN CONNECTIONS

CONTEXT MAP

1 CONGRESS STREET

H2.02

SCALE: 1/8"=100'



1



2



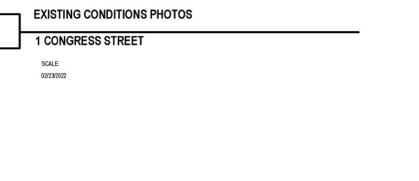
3



4



5



6

EXISTING CONDITIONS PHOTOS

1 CONGRESS STREET

H2.04

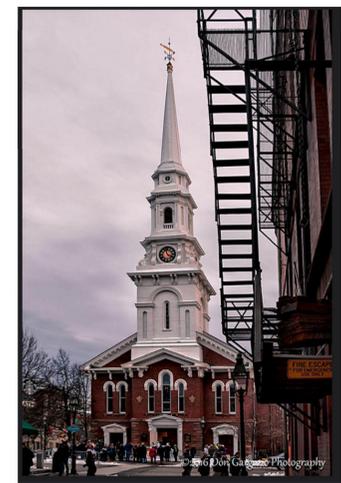
SCALE: 1/8"=100'



HIGH STREET



LADD STREET



HIGH STREET

WAYFINDING

1 CONGRESS STREET

H2.03

SCALE: 1/8"=100'

1 CONGRESS STREET

1 CONGRESS STREET & HIGH STREET  
 PORTSMOUTH, NH 03801

ONE MARKET SQUARE  
 LLC, OWNER

Scale:  
 Date: 03/02/2022  
 Project Number: 1002

REVISIONS		
NO.	DESCRIPTION	DATE

CONCEPT DESIGN

CONTEXT

1 CONGRESS STREET

1 CONGRESS STREET & HIGH STREET  
 PORTSMOUTH, NH 03801

ONE MARKET SQUARE  
 LLC, OWNER

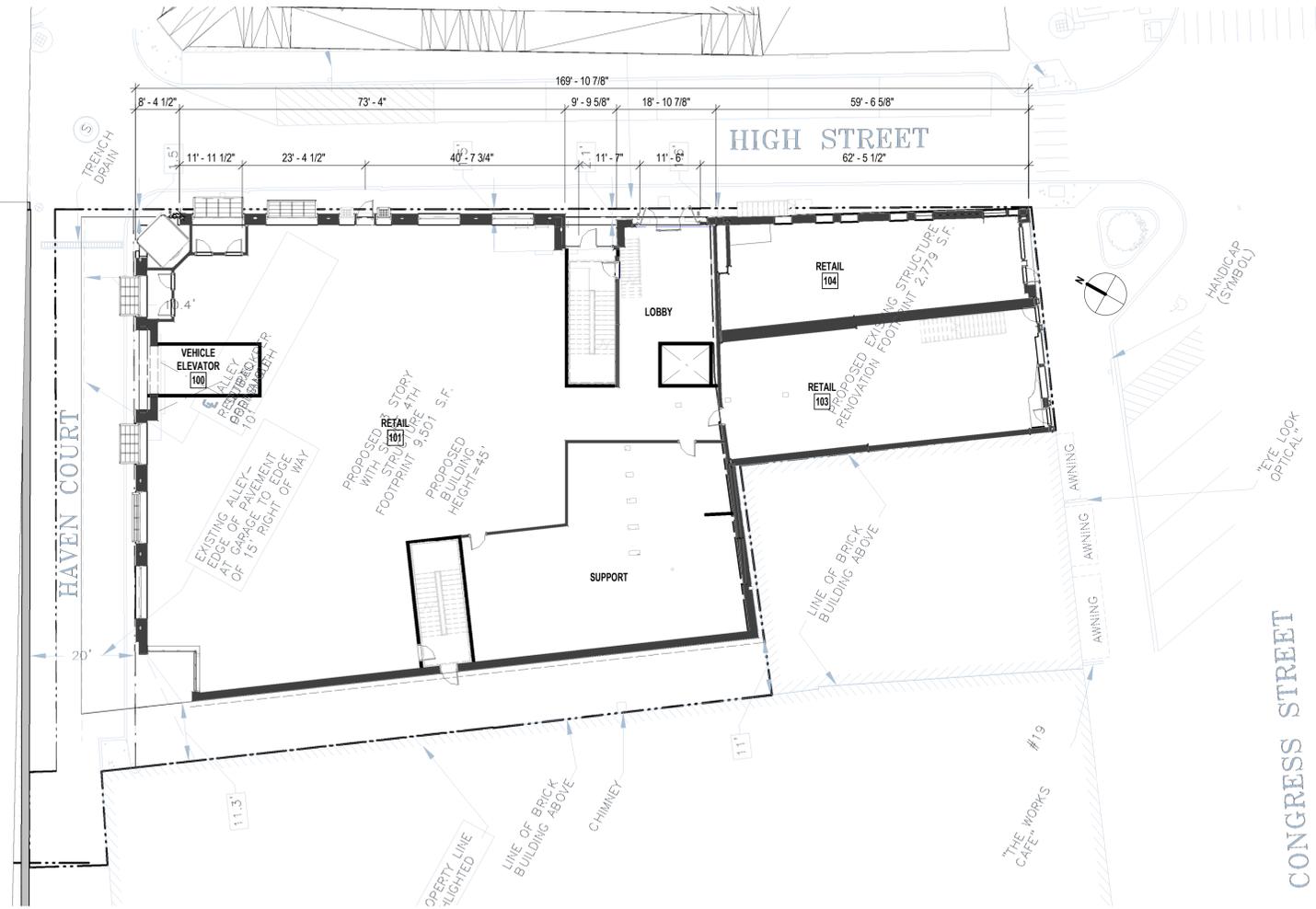
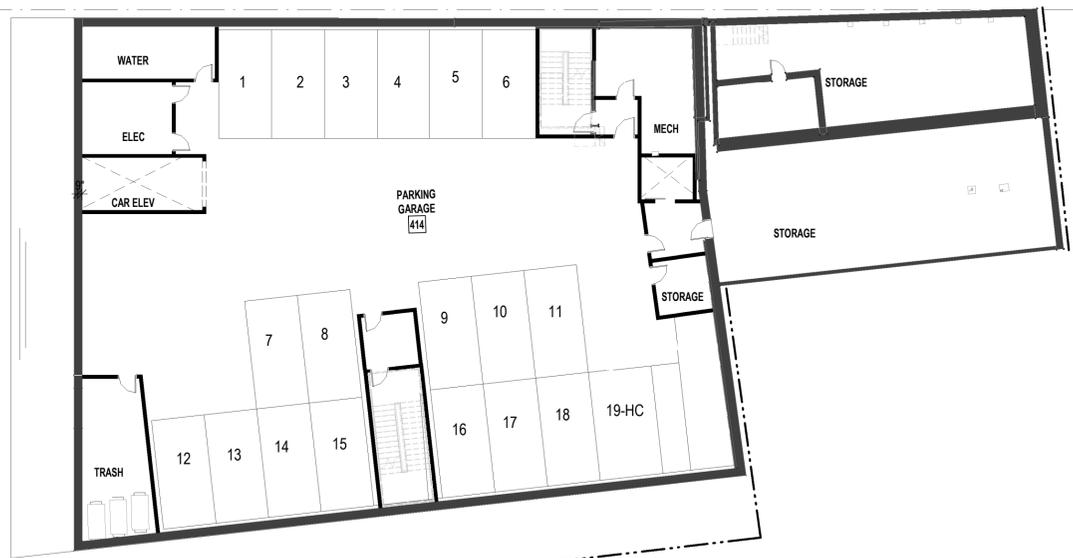
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 Date: 03/02/2022  
 Project Number: 1002

REVISIONS		
NO.	DESCRIPTION	DATE

CONCEPT DESIGN

FLOOR PLANS

A1



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1 CONGRESS STREET

1 CONGRESS STREET & HIGH STREET  
 PORTSMOUTH, NH 03801

ONE MARKET SQUARE  
 LLC, OWNER

Scale: 3/32" = 1'-0"  
 Date: 03/02/2022  
 Project Number: 1002

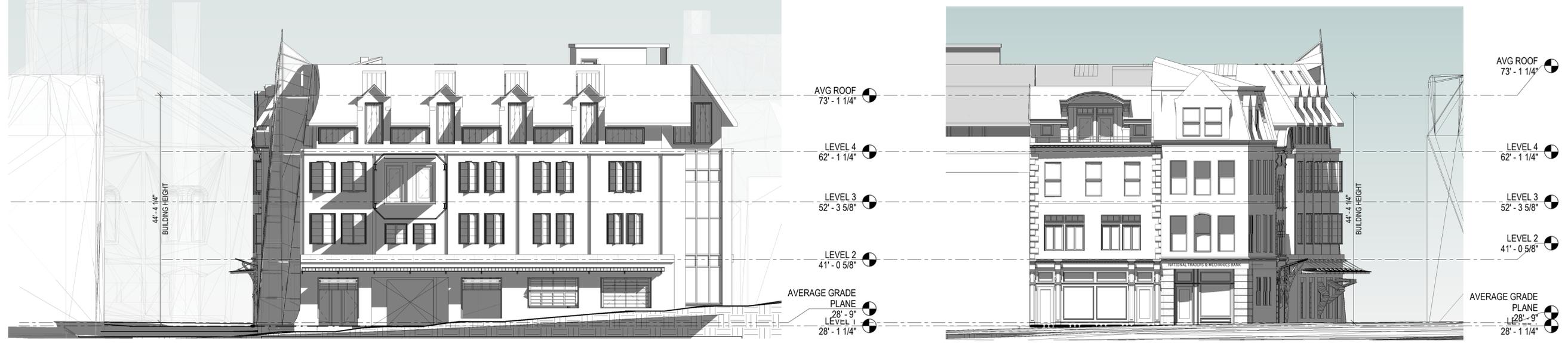
REVISIONS		
NO.	DESCRIPTION	DATE

CONCEPT DESIGN

ELEVATIONS



1 PROPOSED ELEVATION - NE - HIGH STREET  
 3/32" = 1'-0"



5 PROPOSED ELEVATION - NW HAVEN COURT  
 3/32" = 1'-0"

2 PROPOSED ELEVATION - CONGRESS STREET  
 3/32" = 1'-0"

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**1 CONGRESS STREET**

1 CONGRESS STREET & HIGH STREET  
 PORTSMOUTH, NH 03801

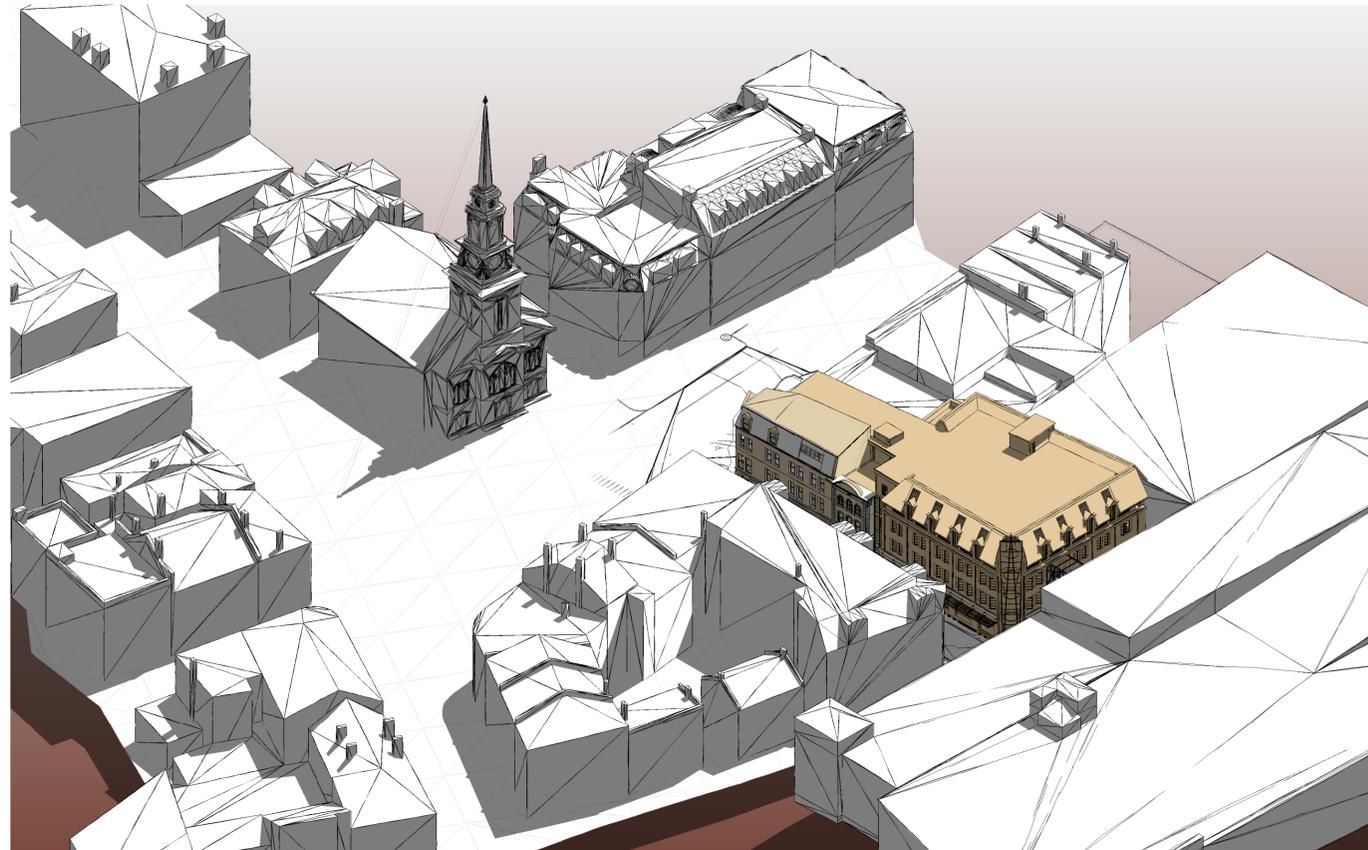
**ONE MARKET SQUARE  
 LLC, OWNER**

Scale:  
 Date: 03/02/2022  
 Project Number: 1002

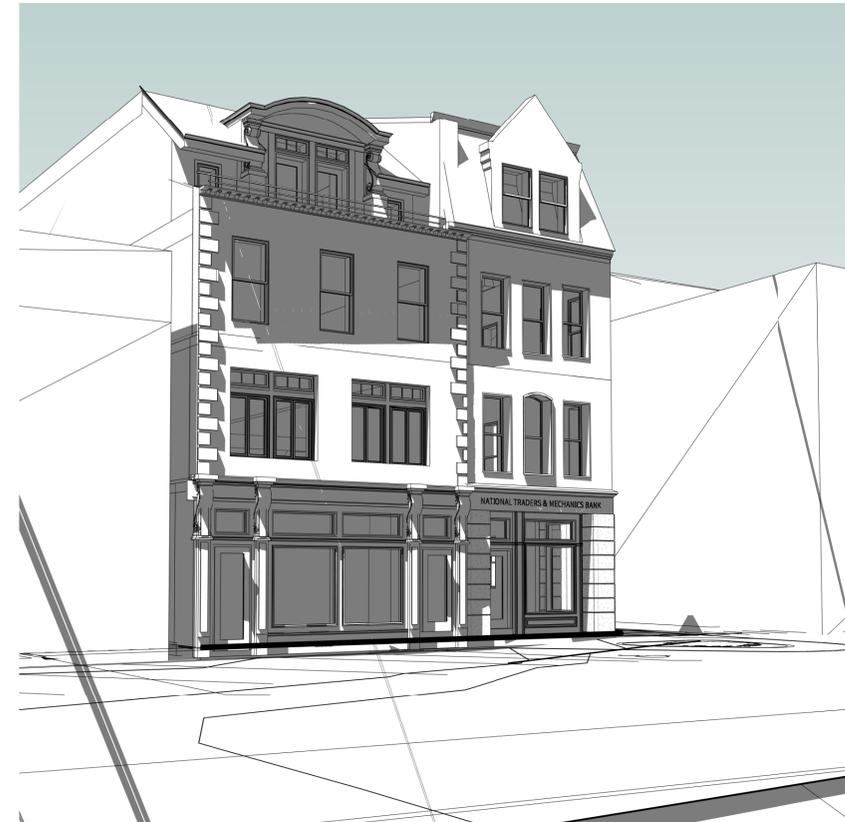
REVISIONS		
NO.	DESCRIPTION	DATE

**CONCEPT DESIGN**

**3D VIEWS**



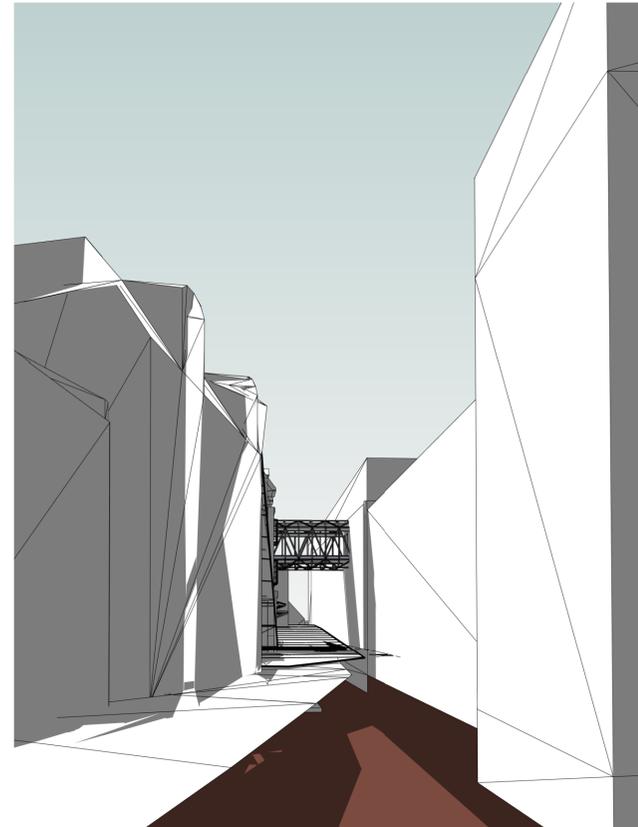
1 AXONOMETRIC FROM NE



6 VIEW FROM CONGRESS STREET



2 HIGH STREET FROM LADD STREET



5 FROM MARKET STREET AT LADD STREET

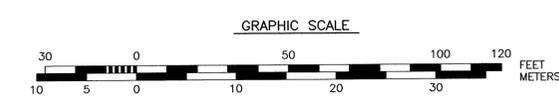
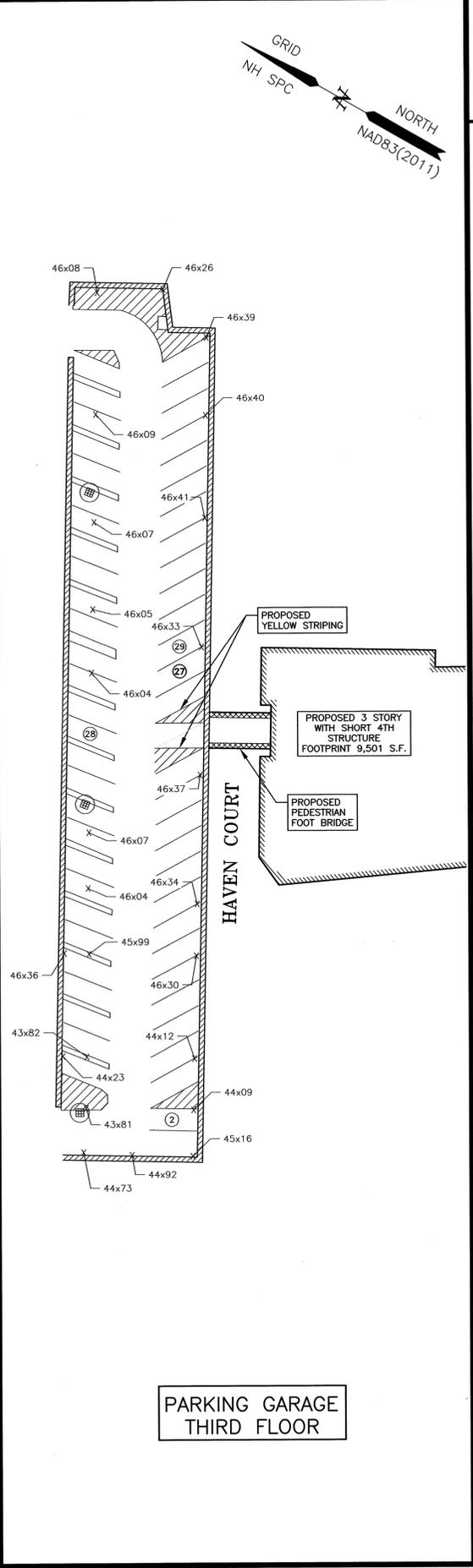
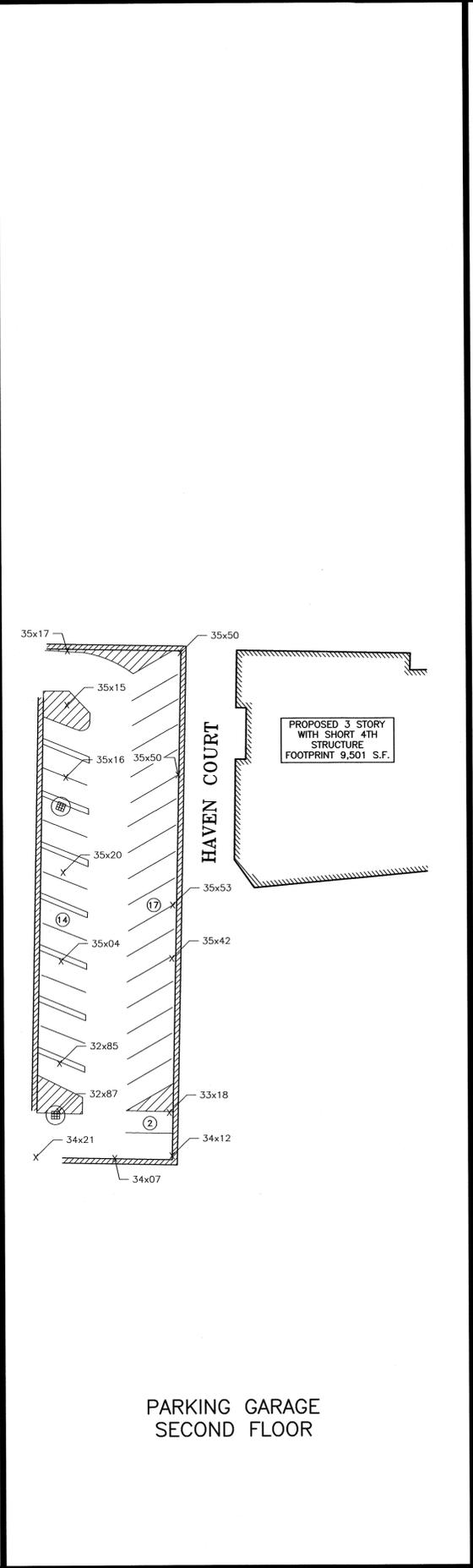
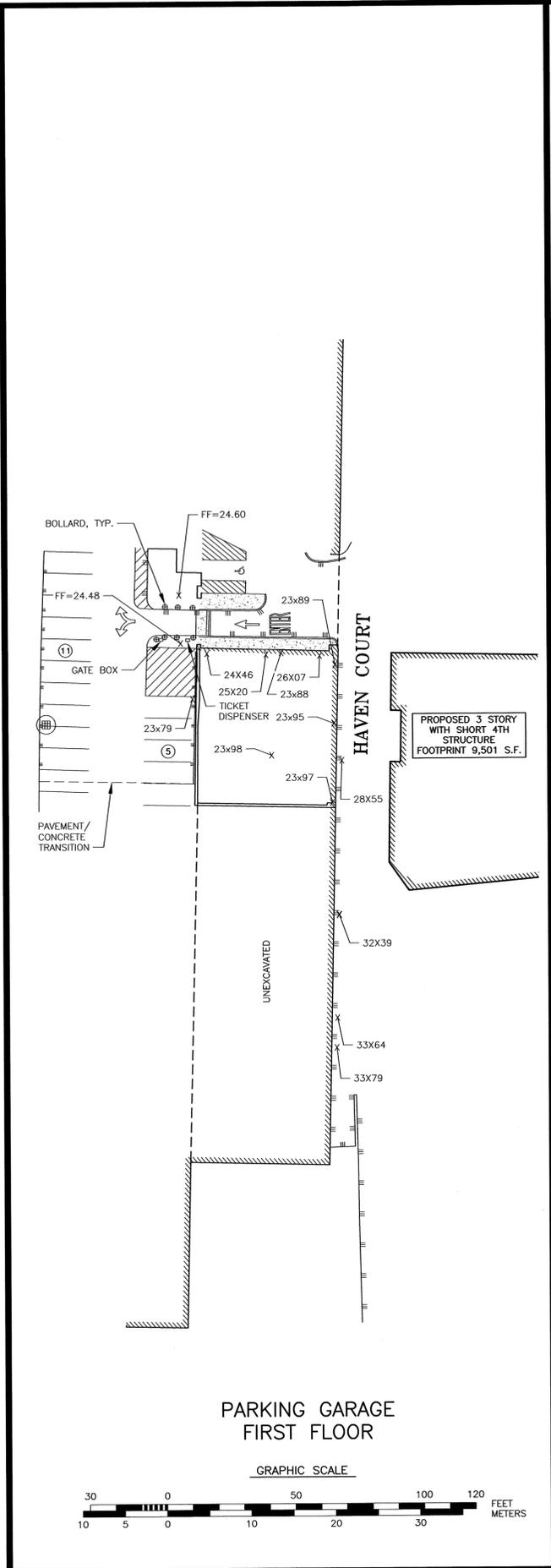
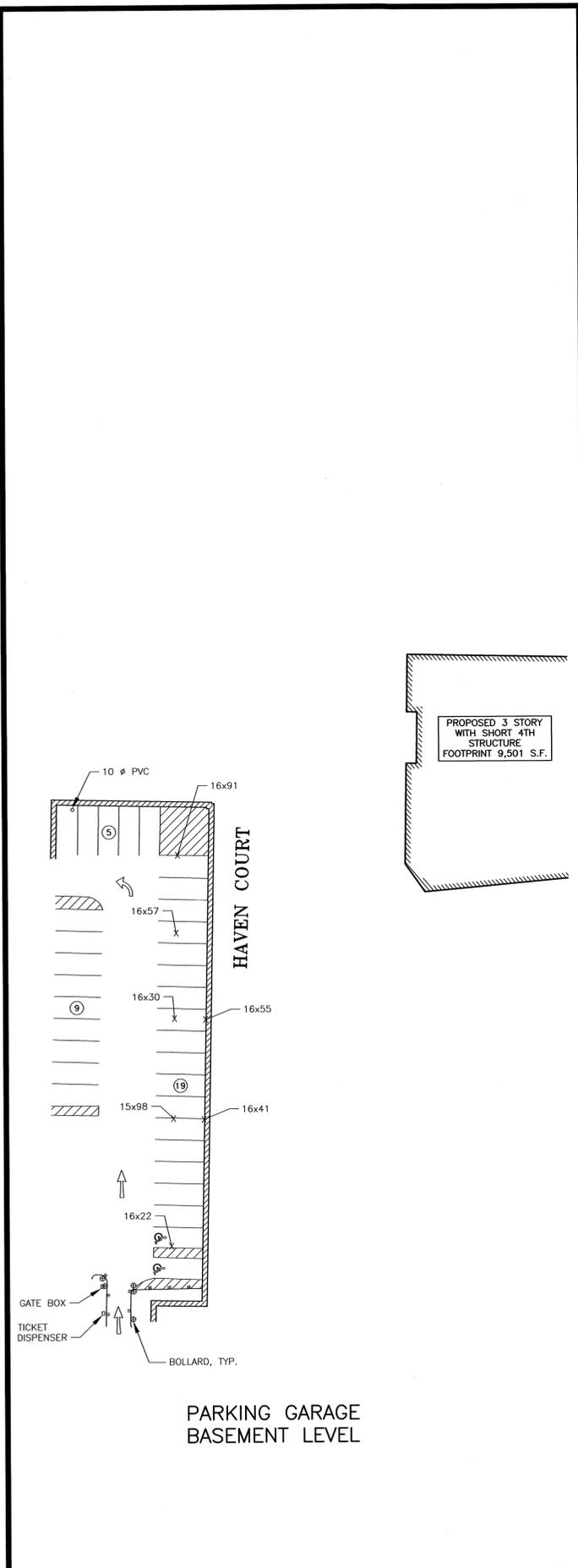
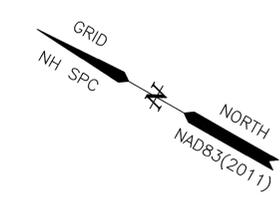


4 HAVEN COURT FROM LADD STREET



3 HIGH STREET FROM STARBUCKS

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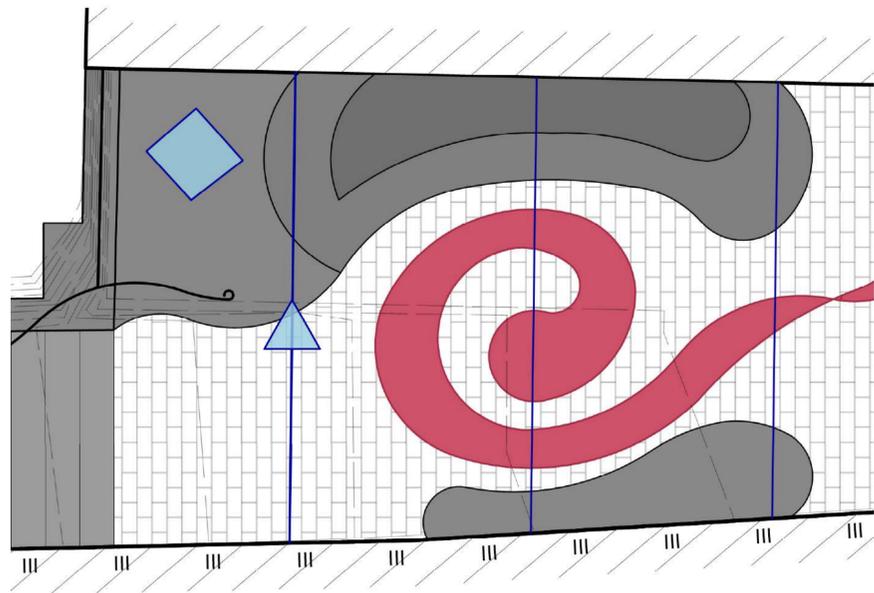
**COMMERCIAL DEVELOPMENT  
 ONE CONGRESS STREET  
 PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
1	ISSUED FOR PB REVIEW	3/2/22
0	ISSUED FOR COMMENT	2/7/22

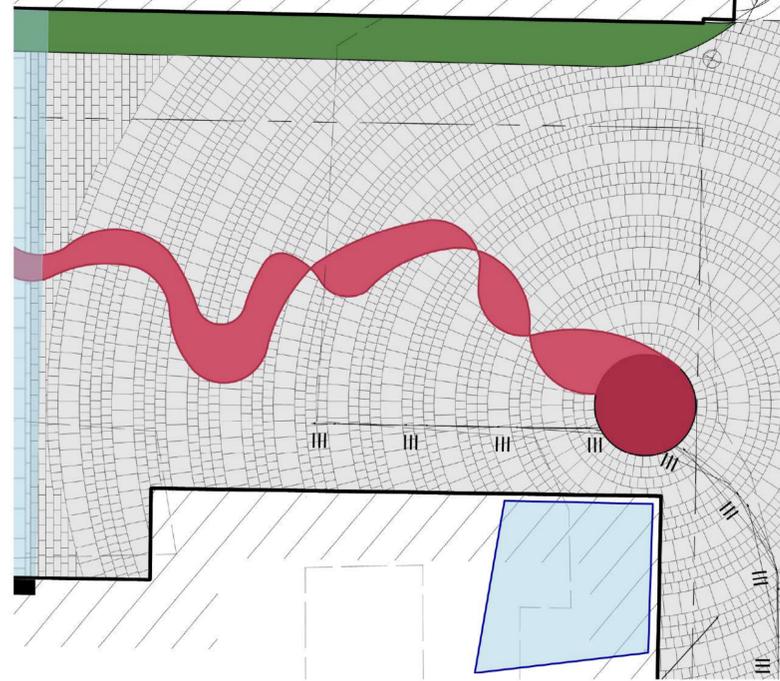


SCALE 1" = 30' NOVEMBER 2021

**GARAGE PLAN** **P1**



AMPHITHEATER DETAIL WITH SERPENTINE END



SERPENTINE BEGINNING DETAIL



CATENARY LIGHTING



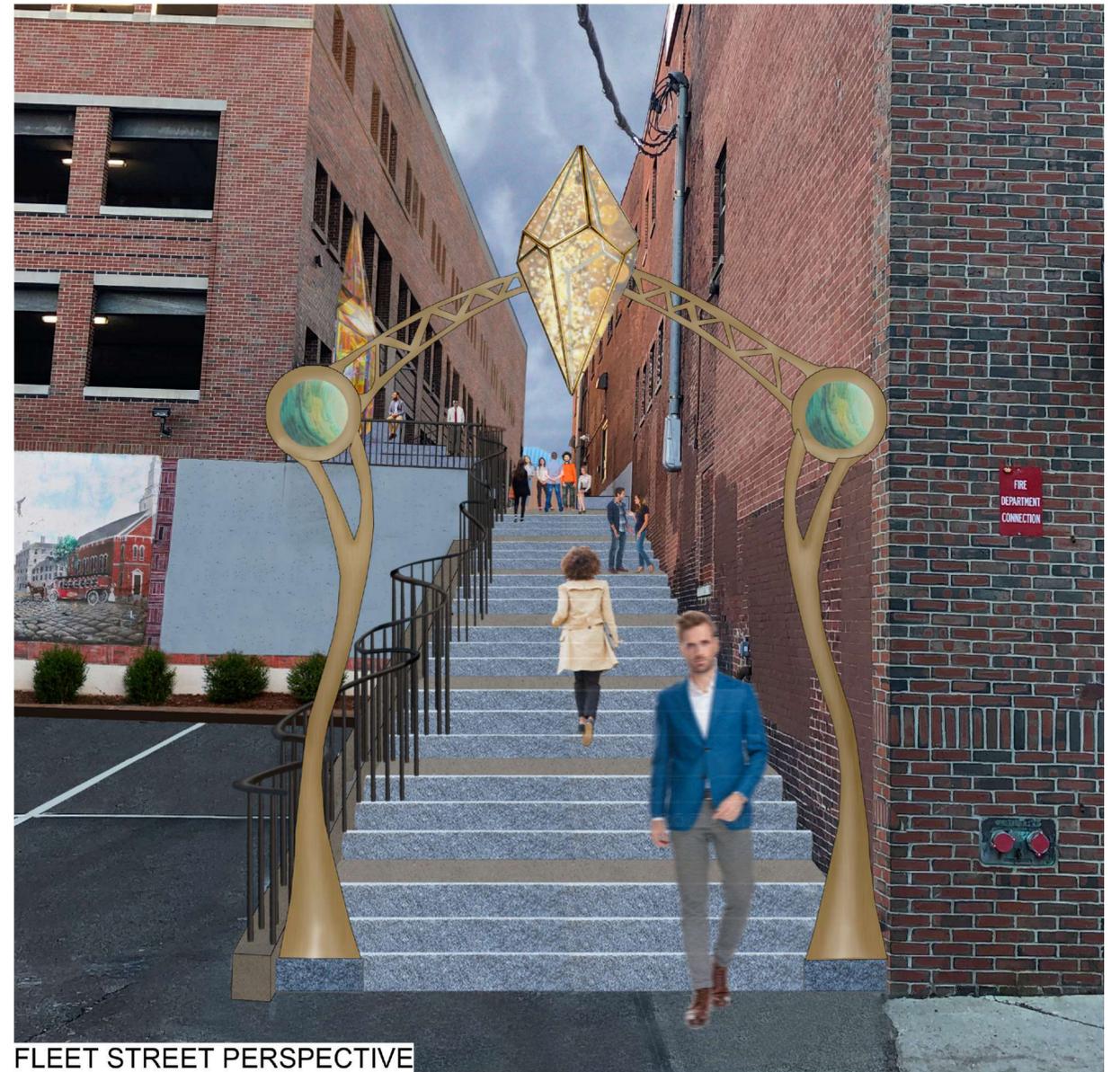
STONE SEATING



STONE SEATING



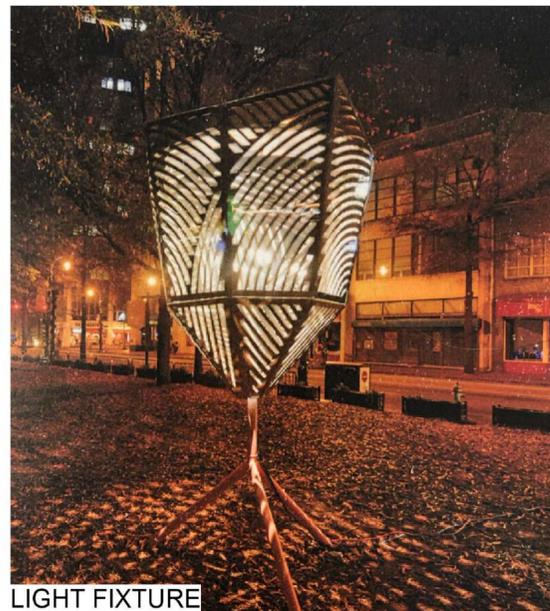
LABYRINTH INSPIRES + INFORMS THE SERPENTINE PAVING



FLEET STREET PERSPECTIVE



PRISM TOWER



LIGHT FIXTURE

LANDSCAPE IDEAS  
1 CONGRESS STREET



*terra firma*  
landscape architecture

167 a court street - portsmouth, nh 03801  
office 603.430.8388 | terrence@terrafirmalandarch.com