



23 December 2022

Peter Stith, TAC Committee Chair
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

RE: Request for Site Plan Approval at 1 Congress Street, Proposed Site Development

Dear Mr. Stith and TAC Members:

On behalf of Mark McNabb and One Market Square, LLC we are pleased to submit the attached plan set for **Site Plan** review for the above-mentioned project and request that we be placed on the agenda for your **January 3, 2023**, TAC Meeting. The project includes the re-use of the existing commercial buildings at 1 and 3 Congress Street, some existing building demolition, and proposed new construction of a 3 Story Structure with Attic Hip Top Mansard Roof to the rear of the existing buildings with the associated and required site improvements. The area behind the existing building is currently a surface parking lot. The surface parking will be lowered to below street level and be included with the new construction.

This submission is intended to address comments from the TAC Meeting of November 1, 2022. The project had been submitted as a site plan application which included some developer proposed off-site improvements to adjacent city streets. During the TAC Meeting part of the discussion was a desire to bifurcate the application into two parts: the Site Plan Approval and the Off-Site Improvements. Since the Off-Site Improvements are proposed on public property (city streets) it was determined that permitting that part of the proposed development would be best accomplished as a separate process. This submission, therefore, will only address those comments from the TAC Committee that pertain to the Site Plan approval. The specific comments, with response in bold text, are repeated below:

1. Please identify all temporary licenses that will be needed for construction in the city ROW. **The License Plan identifies the required licenses for the project. The licensing will consist of licensing some of the building awnings. The awnings on Congress Street are pre-existing.**
2. Please be prepared to discuss construction details, maintenance plans, and any easements required for improvements proposed for adjacent city streets. **The proposed developer funded city street improvements will be addressed in a separate submission.**
3. Please provide an easement plan identifying and describing all proposed temporary and permanent easements. Please include all proposed temporary and proposed easements and licenses for the areas from Fleet Street to the end of Ladd Street, and from the municipal garage to the end of High Street. **There are no proposed easements associated with the onsite building development project.**
4. New designs will need to go back to HDC. **The submitted building has been approved.**

5. Please provide an updated average grade plane plan and an average building height plan with the supporting calculations. **See Sheet C7 and supporting calculations provided.**
6. Please consider relocating the 3 dumpsters off of Haven Court. **Those dumpsters are not the responsibility of 1 Congress Street, they are used by the J. J. Newberry's building.**
7. Applicant needs to coordinate with the city on proposed improvements to High Street, Ladd Street, and Hanover Street prior to TAC recommendation. **The proposed developer funded city street improvements will be addressed in a separate submission.**
8. Please provide an easement plan if 3 or more easements are proposed. **No easements are proposed.**
9. Show existing 6" CI water on Existing plan. **Sheet C1 Existing Conditions has been revised.**
10. Replace SMH 2323. **So noted on Sheet C4.**
11. Replace existing sewer with 8" PVC or 12" depending on projected flow, provide separate sheet for State approval with Profile. Proximity to water main will necessitate a waiver from DES. **See added Sheet P1.**
12. Proposed SMH 'A' should be placed just upstream of the first sewer service. **Revised – see Sheet C4.**
13. Applicant should consider running storm drainage on the other side of High Street due to existing utility conflicts, relocating the gas main to under the sidewalks is preferable to the disturbing the telephone lines. **Drainage revised to be an added feature to the existing street. Basins proposed to be added at the existing curb line on the south / west side. No gas relocation proposed. The brick sidewalk on that side of the street will be re-constructed.**
14. Water main to be replaced with 8" ductile iron from the 12" pipe in Congress Street to the 4" line in Ladd Street. Do not reuse valves, tap main in Congress directly with new 12 x 8 tapping saddle and valve and abandon 6" system at 12" main. Provide 8" valve at intersection of Ladd and High to test against and tie into 4" thereafter directly (no tapping saddle). Provide temporary water for adjacent buildings during main installation. **Revised – see location and notes on Sheet C4.**
15. Confirm there will be at least 5.5' of sidewalk behind all Portsmouth style lanterns or provide other street lighting. Need conduit plan for the area. **This plan reflects the placement of the proposed building on the lot with the appropriate utility tie ins; therefore, there are no proposed changes to the High Street layout. The existing sidewalk (which is being replaced) has an insufficient width to provide 5.5 feet of clear space to the curb. This plan reflects an alternative lighting design. We propose the Portsmouth style lanterns mounted on round poles as you enter High Street (2 locations). Thereafter the building will provide the lighting in a series of building mounted wall sconces. Cut sheets are provided in the supplemental material.**
16. Use NHDOT standard catch basin Type B detail with CB liner/ booted connections etc. **See Detail R on Sheet D4.**
17. CB hoods to be Eliminator, City Standard on all structures in ROW. **See Detail T on Sheet D4.**
18. Provide valve box sleeve and cover over all Hayes style curb boxes in ROW. Hayes boxes are no longer accepted as a finished surface in the road or sidewalks. **See Detail V on Sheet D4.**

19. Provide reconstruction cross section for High Street, paver type, setting bed type and thickness, underlying asphalt thicknesses, roadbed gravels, typical grades etc. **See Detail W on Sheet D7.**
20. Provide clear intended limits of work lines on plans for review. **See location and notes on Sheet C4.**
21. Use Portsmouth Standard water and sewer installation details. **See supplied Portsmouth standards sheet for sewer. Water details await confirmation of layout.**
22. Provide details for pavers in ROW Detail H/C3 may not be appropriate for all areas. **The change of not including off-site improvements as a part of this plan means that the only paver surface in the ROW is the Brick Sidewalk; standard Portsmouth Detail included in the plan set.**
23. Erosion control notes on plans are not suitable for urban environment, please edit accordingly. **Sheet D1 has been edited.**
24. Need stair profile and details for staircase off Fleet to show interactions between retaining wall and stairs and railings. **This improvement is no longer a part of this application.**
25. Installation of electrical and possible communication conduit/manholes/pull boxes will be required in Haven Court prior to placing new gas or surface treatments. **This is acceptable provided timing can be agreed to.**
26. Curb on High Street will likely need full replacement. **Understand.**
27. Provide watertight basement system. **This can be noted as a condition of approval.**
28. Provide cross sections of foundation system depths in proximity to High Street. **The detail is on Sheet PB A. 8 of the Architectural plans.**
29. All materials used in Reconstructing public areas will meet DES / DOT / City standards and will need to be reviewed and approved prior to use. **Those improvements are no longer a part of this application.**
30. Replacement of CB1 may be required due to different pipe configurations. **So noted on Sheet C4.**
31. Confirm High Street slopes will not exceed ADA required maximum cross slopes. **The current plan is to replace the existing sidewalk.**
32. Handrail on stairs in alley must be ADA compliant. **This improvement is no longer a part of this application.**
33. Keep existing sidewalk and parking conditions in the High at Congress intersection. Do not want to lose more parking. **The plans reflect no changes to the High Street layout.**

The following plans are included in our submission:

- Cover Sheet – This shows the Development Team, Legend, Site Location, and Site Zoning.
- Standard Boundary Survey Plan – This plan shows the existing property boundaries. The survey was performed before the lot merger; the lots have been officially merged. The site is still bifurcated by a Zoning District boundary line along the old property line.
- License Plan – This shows the location of proposed awnings which will require a license from the City Council.
- Existing Conditions Plan C1 – This plan shows the existing site conditions in detail.
- Demolition Plan C2 – This plan shows portions of the existing buildings and other site features which will be removed.
- Project Site Plan C3 – This plan shows the site development and proposed building placement.
- Architectural Plans – These are Floor Plans, Roof Plan, Building Elevations and Rendered Views of the proposed building.

- Landscape Plans – These plans show proposed landscape with plant list and some lighting details.
- Utility Plan C4 – This plan shows proposed site utilities.
- Grading Plan C5 – This plan shows proposed site grading.
- Parking Level Plan C6 – This plan shows the layout of the parking (basement) level with required parking calculations.
- Average Grade Plane C7 – This plan shows the average grade plane for the proposed building.
- High Street Profile P1 – This plan shows the profile of High Street. Some utilities added.
- Detail Sheets D1 – D7 – These plans show site details.

Also please find attached the following in support of the Application:

- Lighting Cut Sheets

We look forward to the review of this submission and Staff / City Department input on this project.

Sincerely,

John R. Chagnon

John R. Chagnon, PE

CC: Mark McNabb, Tracy Kozak, Terrance Parker, FX Bruton

Average Grade Work Sheet						
Project	One Congress Street				Calculated	
Address:	1 Congress Street, Portsmouth, NH				10/26/2022	
6' offset from Building; Prop Grades 10' OC						
SECTION	Elev	Elev	Elev	Elev	Total	
SOUTH	27.84	27.79	27.74	27.97	111.34	AVG PER SECTION
	28.02				28.02	
			#	5	139.36	27.87
WEST	35.00	34.83	34.61	34.44	138.88	AVG PER SECTION
	34.25	34.04	33.86	33.68	135.83	
	33.50	33.32	33.14	33.03	132.99	
	32.50				32.5	
			#	13	440.20	33.86
NORTH	31.79	31.10	30.41	29.72	123.02	AVG PER SECTION
	29.03	28.28	27.70	27.09	112.10	
	26.54				26.54	
			#	9	261.66	29.07
EAST	27.83	27.71	27.59	27.47	110.60	AVG PER SECTION
	27.62	27.56	27.43	27.26	109.87	
	27.39	27.64	27.44	27.24	109.71	
	27.04	26.84	26.64	26.44	106.96	
	26.24				26.24	
			#	17	463.38	27.26
Total	1,304.60	>	AVERAGE GRADE			
#	44		29.65			

962TC GLEN ELLYN SERIES

SPECIFICATIONS

GENERAL

The 962TC Glen Ellyn series is a tall, Colonial four-sided fixture. It features a decorative cast sloped, paneled roof, a cast cage with straight edging, cage support legs, acrylic lens and a lift hinge access door and/or hinged roof for relamping. The roof shall be appointed with a cupola and cast decorative pedestal ball finial.

POST FITTER

The fitter or base shall be heavy wall cast aluminum, 356 alloy for high tensile strength. It shall have an inside diameter opening to fit a 3" diameter pole or tenon. When ordered with a Sternberg aluminum pole, the fitter shall be set screwed to the pole top or tenon.

BALLAST

The 962TC shall have an integral ballast compartment. The ballast housing shall be heavy wall cast aluminum, 356 alloy for high tensile strength. The housing shall be mounted cast in one piece to the fitter to ensure a water-tight compartment. The ballast shall be attached to the ballast housing to ensure high capacity heat sinking of ballast temperatures, keeping the ballast cooler and ensuring long life. The ballast shall be mounted on a pull out door for easy ballast maintenance.

ELECTRICAL

Fixture shall be U.L. or E.T.L. listed in U.S. and Canada. H.I.D. ballasts shall be high power factor with lamp starting down to -30 degrees C. Medium base and mogul base porcelain sockets are 4KV rated. The ballast/socket assembly shall be pre-wired when ballast is located in the fixture. All compact fluorescent (PL) ballasts shall be instant start electronic with a starting temperature of down to 0 degrees F. They shall have a 4-pin socket to accept quad or triple tube lamps. Ballasts shall be DOE EISA compliant.

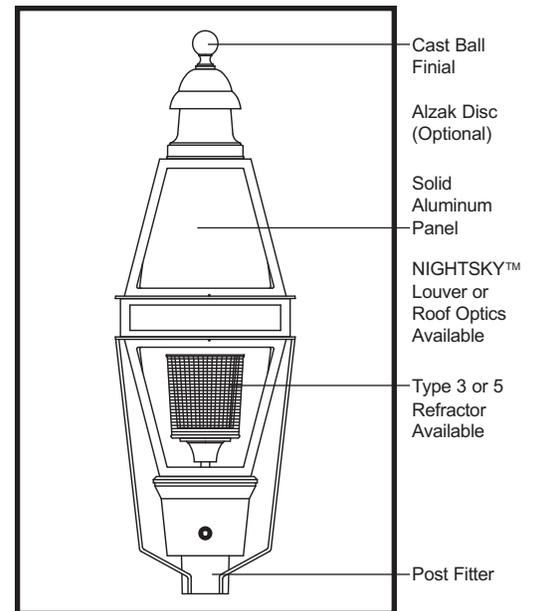
FIXTURE HOUSING

The 962TC fixture shall be 14" wide and the overall height shall have 42". It shall be made of heavy wall cast aluminum, 356 alloy and lenses shall be made of vandal resistant acrylic, available in clear (CA), clear seeded (CSA), clear textured (CTA), prismatic (PA) and white (WA) acrylic. The fixture cage shall be cast in one piece and shall have a lift hinged door. The four paneled roof shall be closed with solid aluminum panels. Model 962TCGT shall have an open roof that will be lensed.

OPTICAL OPTIONS

Refractors shall be 6" diameter borosilicate glass with an I.E.S. Type 3 (RE3) or Type 5 (RE5) distribution. It shall be secured to the socket stem with 3/8" plated steel threaded pipe nipple and rest on a cast aluminum holder with anti-shock gasket. The refractor will be secured to cast holder with a quarter-turn internal aluminum twist ring for ease of maintenance.

The NIGHTSKY® OPTI-SHIELD® Louver Optic System (LO) shall be a multi-tier reflector with 7" diameter rings to produce an I.E.S. cut-off Type 3 or 5 distribution. The Louver Optic System shall be made of highly specular anodized aluminum and shall come standard with medium base socket.



**EPA = 2.75 (ft²)
WEIGHT = 25 LBS**

962TC GLEN ELLYN

FIXTURES/ARMS PM-WB

FIXTURES / OPTICAL SYSTEMS

<p>14" W</p> <p>962TCGT Glow Top</p>	<p>14" W</p> <p>962TC</p>	<p>ROH Roof Optics 3 or 5</p> <p>FC Frosted Chimney</p>	<p>Alzak Disc</p> <p>RE3 RE5 Refractor</p>	<p>120°</p> <p>HSS House Side Shield</p>	<p>3L 3 Light</p>	<p>LO3 LO5 Louver Optics</p>
---	----------------------------------	---	---	---	------------------------------	--

LENSES

<p>CSA Clear Seeded Acrylic</p>	<p>CA Clear Acrylic</p>	<p>CTA Clear Textured Acrylic</p>	<p>PA Prismatic Acrylic</p>	<p>WA White Acrylic</p>
--	--	--	--	--

PIER MOUNTS (PB)

450PB

ARMS - POST MOUNT (PM) or WALL BRACKETS (WB) See Arms Section for more information

<p>480</p>	<p>478TS</p>	<p>TASC</p>	<p>579</p>
<p>6236</p>	<p>478</p>	<p>TA</p>	

BUILDING A PART NUMBER

POST & ARM FIXTURES

ARM MOUNTED FIXTURE	CENTER POST TOP FIXTURE (PT)	POST	POST CAP	LIGHT SOURCE BALLAST	OPTICS	OPTIONS	LENS	FINISH
NO. OF ARMS	FIXTURE / POSTARM	FIXTURE	(See Post Section)	WATTS / TYPE / VOLTS				
		962TC PT	2112FP5	100 HPS120	RE3	HPS100/MED	CSA	BK

WALL FIXTURES

FIXTURE / WALLBRACKET	LIGHT SOURCE BALLAST	OPTICS	LENS	OPTIONS	FINISH
962TC/480WB	100 HPS120	RE3	CA	HPS100/MED	BK

PIER FIXTURES
Uses same information boxes as wall fixture

962TC/450PB
FIXTURE / PIER BASE

PART NUMBER SELECTIONS

FIXTURES

- 962TC
- 962TCGT¹

OPTICS

- RE3G
- RE5G
- ALZAK
- HSS
- LO3
- LO5
- RO3^{5,6}
- RO5^{5,6}
- FHC³
- 3L

POST ARMS

- 478PM
- 478TSPM
- 480PM
- 6236PM
- 579PT
- TAPT
- TASCRIPT

PIER BASES

- PB44
- 450PB

WALL BRACKET ARMS

- 478WB
- 478TSWB
- 480WB
- 480DWB
- 6236WB
- 579WB
- TAWB
- TASCROWB

LENSES

- CSA
- CA
- CTA
- PA
- WA

BALLASTS^{4,7}

- 35HPS²
- 50HPS
- 70HPS
- 100HPS
- 150HPS
- 250HPS
- 50MHP
- 70MHP
- 100MHP
- 150MHP
- 200MHP⁸
- 250MHP⁸
- PLT26
- PLT32
- PLT42
- PLT57
- PLT70
- INCAND

LAMPS⁷

- HPS35/MED
- HPS50/MED
- HPS70/MED
- HPS100/MED
- HPS150/MED
- HPS250/MOG/ED18
- MHP50/MED
- MHP70/MED
- MHP100/MED
- MHP150/MED
- MHP200/MOG/ED28⁸
- MHP250/MOG/ED28⁸
- PLT26
- PLT32
- PLT42
- PLT57
- PLT70

STANDARD FINISHES*

- BKT Black Textured
- WHT White Textured
- PGT Park Green Textured
- ABZT Architectural Medium Bronze Textured
- DBT Dark Bronze Textured

*Smooth Finishes are available upon request

CUSTOM FINISHES

- OI Old Iron
- RT Rust
- WBR Weathered Brown
- CD Cedar
- WBK Weathered Black
- TT Two Tone

STERNBERG SELECT FINISHES

- VG Verde Green
- SI Swedish Iron
- OWGT Old World Gray Textured

OPTIONS

- PEC1 Photocell-Bimetal 120 Volt
- PEC2 Photocell-Bimetal 208-277 Volt
- PEC1-E Photocell-Electronic 120 Volt
- PEC2-E Photocell-Electronic 208-277 Volt
- FHS Single Fuse and Holder-120,277 Volt
- FHD Dual Fuse and Holder-208,240,480 Volt
- QR Quartz Re-Strike
- PF Pineapple Finial or Font (TA, TASCRT)
- BF Ball Finial or Font (TA, TASCRT)
- LAMPS Select from List

NOTES:

- RE3G, RE5G, FHC or 3L optic only.
- 35HPS is 120 volt only.
- Medium base socket only when used to house lamp.
- Medium base sockets standard with ballasts up to 150 watts HID. 4-pin for PL.
- Medium base lamp only, ED17. Consult factory for mogul base.
- Can support PLH or PLT up to 60 watts.
- Metal halide systems are pulse start.
- Consult factory for limitations.

962TC GLEN ELLYN SERIES**SPECIFICATIONS****LIST NO.
962TC
GLEN ELLYN
SERIES**

NIGHTSKY® STAR-SHIELD® Roof Optics distribution shall be delivered by multi-segmented roof mounted reflector systems which eliminate uplight and provide cut-off. The reflector cavity shall be made of specular anodized aluminum. Roof Optics Type 3 (RO3) or Type 5 (RO5) horizontal are available for medium base lamps.

Frosted Glass Hurricane Chimney (FHC) is an optic option which adds an authentic touch and can be used with Roof Optics.

House Side Shield (HSS) is an option which will block up to 120° of light in any one direction.

3-Light (3L) candelabra set is an option for incandescent application.

PHOTOCELLS

Photocells shall be either the thermo bi-metal button type or the electronic button type. On single post top fixtures the photocell shall be mounted in the fitter and pre-wired to ballast. On multiple head fixture assemblies photocells shall be mounted in the pole shaft on an access plate and are not pre-wired as ballast housing assemblies and fitters are packaged separately for ease of wiring to source. The thermo bi-metal photocell shall be designed to turn on at 1.0 footcandle and turn off at not more than 5 footcandles. The electronic button type photocell is instant on and a 5-10 second turn off and shall turn on at 1.5 footcandles with a turn-off at 2-3 footcandles. Photocells are either 120 volt or 208 thru 277 volt.

ARMS

All arms are made of cast aluminum and/or extruded aluminum. Arms with decorative filigree have meticulously detailed scroll work and gracefully curved brackets. All 962TC fixtures will have its fitter either welded to the arm or will be mechanically attached at the factory to ensure arms will be plumb, secure and level over the life of the installation. Each arm shall be bolted to a post mount adapter, which is welded to the pole to ensure proper alignment to the base. Twin TA, TASCAR and 579 arms will be attached to a decorative center hub which will slip-fit the center tenon of the pole (not shown). Arms are pre-wired for ease of installation.

FINISH

Prior to coating, each assembly shall be chemically cleaned and etched in a 5-stage washing system which includes alkaline cleaning, rinsing, phosphoric etching, reverse osmosis water rinsing, and non-chrome sealing to ensure corrosion resistance and excellent adhesion for the finish coating. The finish coating shall be electrostatically applied semi-gloss, super durable polyester powder baked at 400 degrees for a durable and superior, color retentive finish. Our optional antique Verde Green finish and Swedish Iron finish are hand brushed using a 3-step process. The total assembly shall be wrapped in shockproof wrapping or fully enclosed in corrugated cartons.

WARRANTY

Five-year limited warranty. See product and finish warranty guide for details.



480 ARMS & WALL BRACKETS

The 480 arm includes a diverse family of sizes and orientations that allow for many mounting configurations that meet almost any project design requirements. These heavy cast arms look robust and substantial while still showing well-proportioned dimensions, scale and classic detailing. Matching well with traditional luminaires these arms can be pole or wall mounted in single or multiple head configurations.



BUILD A PART NUMBER		
ORDERING EXAMPLE: 480-PM-BKT		
Arm	Mounting Style	Finish

Arms

• 480 • 480H • 480DH • 480LF • 480D
 D=Down Sweeping H=Hanging LF=Long Font

Mounting Styles

- **PM** Post Mount
- **WB** Wall Bracket
- **WBBB** Wall Bracket With Ballast Box

Finish (Click here to view paint finish sheet)

Standard Finishes¹

- **BKT** Black Textured
- **WHT** White Textured
- **PGT** Park Green Textured
- **ABZT** Architectural Medium Bronze Textured
- **DBT** Dark Bronze Textured

¹Smooth finishes are available upon request.

Custom Finishes²

- **CM** Custom Match
- **OI** Old Iron
- **RT** Rust
- **WBR** Weathered Brown
- **CD** Cedar

- **WBK** Weathered Black
- **TT** Two Tone

²Custom colors require upcharge.

Sternberg Select Finishes

- **VG** Verde Green
- **SI** Swedish Iron
- **OWGT** Old World Gray Textured

Arms

Cat. #	Detail	Dimension	Available Mounting Styles	Weight / EPA
480		17-3/4" L 15-1/4"H	PM WB WBBB	6.3 LBS 0.78 SQ FT
480H		17-3/4" L 18-3/8"H	PM WB WBBB	6.3 LBS 0.78 SQ FT
480DH		17-3/4" L 13-3/4"H	PM WB WBBB	6.3 LBS 0.78 SQ FT
480LF		17-3/4" L 15-1/4"H	PM WB WBBB	7.7 LBS 0.82 SQ FT
480D		17-3/4" W 18-3/4"H	PM WB WBBB	6.3 LBS 0.78 SQ FT

Mounting Style

Mounting Style	Detail	Back Plate/ Rough in Dimensions	Extension	Fit
PM		2-1/2" W 13-3/4"H	17-3/4"	3" - 6" Poles
WB*		4-3/4" W 15-1/4"H	17-3/4"	Flat Wall
WBBB*		6" W 16-5/8"H	22-3/4"	Flat Wall

*Click Mounting Style for installation instructions.



450 LEXINGTON SERIES

ARCHITECTURAL POLE

DIMENSIONS
10.5" Ø
3" TALL

5 YEAR WARRANTY

UL LISTED

ETL LISTED

CLICK FOR FAQ'S






JOB NAME _____

FIXTURE TYPE _____

MEMO _____

BUILD A PART NUMBER

ORDERING EXAMPLE: 450FP4-12-188-BCC-GFILPIUC-SH/BKT

Base Model	Shaft	Height	Wall Thickness	Post Center Cap	Option Burial	Option Photocell	Option Ground Fault Breaker	Option Flag Pole Holder	Option Banner Arms	Option Planter Arms	Option Sign Arms	Option Speaker Hub	Option Sign Bracket	Option Steel Wreath Hook	Finish

Model

• 450

Shaft

- T4: 4"-3" Tapered Smooth
- P4: 4" Straight Smooth
- FP4: 4" Straight Fluted

¹Not available in .250 wall.

Height

- 8'
- 10'
- 12'
- 14'

Wall Thickness

- .125: 1/8" Wall Thickness
- .188: 3/16" Wall Thickness
- .250: 1/4" Wall Thickness

Post Center Cap (if required)

(Click here to view post cap sheet)

- BCC
- FCC
- SCC
- TFCC
- SSCC
- RCC
- PCC

Options (Click here to view accessories sheet)

- DB4 Direct Burial mounting style pole, with 4' direct burial section (or advise other length)
- HXB Helix Base mounting style pole
- PCD Electronic Button Photocontrol, mounted on an access door (120v-277v)
- PCD4 Electronic Button Photocontrol, mounted on an access door (480v)
- GFI IUC 15 Amp duplex GFCI receptacles with a standard in-use cover
- GFI LPIUC 15 Amp duplex GFCI receptacles with a low-profile in-use cover
- DCO LPIUC Duplex receptacles with a low-profile in-use cover (NO GFICI PROTECTION)
- GFB Remote Ground Fault Breaker installed in pole base (for use with NON-GFCI receptacles)

- FH Cast Aluminum flag holder mount, for use with 1" diameter flag pole
- SBA Single Banner Arm, "PM" style mount
- DBA Double Banner Arms, "PM" style mount
- SBAR Single Banner Arm and Ring, for triangle banners, "PM" style mount
- HSBA Single Banner Arm, HUB mount style mount
- HDBA Double Banner Arms, HUB mount style mount
- BDBA6 Double Banner Arms, Break-Away style, to break with 60MPH wind gust
- BDBA9 Double Banner Arms, Break-Away style, to break with 90MPH wind gust
- C4SBA Single Banner Arm, Clamp-Style mount, for 4" diameter poles
- C4DBA Double Banner Arms at 180°, Clamp-Style mount, for 4" diameter poles
- DHPA Double Hooked Planter Arm
- SHPA Single Hooked Planter Arm
- DSPA Double Stepped Planter Arm
- SSPA Single Stepped Planter Arm
- PA478 Cast aluminum decorative planter arm
- SA78 Small cast aluminum decorative sign arm, with 24" long channel for blade sign by others
- SA478 Large cast aluminum decorative sign arm, with 24" long channel for blade sign by others
- SABA Banner arm style sign arm, with 24" long channel for blade sign by others
- SH Female threaded speaker hub, advise thread size
- SB Sign Bracket, vertically mounted on pole shaft
- WHK Steel wreath hook

Finish (Click here to view paint finish sheet)

Standard Finishes²

- BKT Black Textured
- WHT White Textured

- PGT Park Green Textured
- ABZT Architectural Medium Bronze Textured
- DBT Dark Bronze Textured

²Smooth finishes are available upon request.

Custom Finishes³

- CM Custom Match
- OI Old Iron
- RT Rust
- WBR Weathered Brown
- CD Cedar
- WBK Weathered Black
- TT Two Tone

³Custom colors require upcharge.

Sternberg Select Finishes

- VG Verde Green
- SI Swedish Iron
- OWGT Old World Gray Textured

Standard Urban Finishes (Click here to view paint finish sheet)

- UGMT Gun Metal Textured
- UGM Gun Metal Matte
- UBT Urban Bronze Textured
- UB Urban Bronze Matte
- USLT Urban Silver Textured
- USL Urban Silver Matte
- UWHT Urban White Textured
- UWH Urban White Matte

Specifications

Construction

The base shall be made of heavy wall, 356 alloy cast aluminum. It shall have a 3/4" thick floor cast as an integral part of the base. It shall have a cast anchor bolt cover designed with a curved relief. The shaft shall be double circumferentially welded internally and externally to the base for added strength.

450 LEXINGTON SERIES

ARCHITECTURAL POLE

Tenon

Standard tenon size to be 3" OD x 3" tall. Consult factory for additional sizes.

Shaft

The **straight smooth shaft** shall be made of ASTM 6063 extruded aluminum and tempered to a T6 condition

The **tapered smooth shaft** shall be made of ASTM 6063 extruded aluminum and tempered to a T6 condition

The **straight fluted shaft** shall be made of ASTM 6061 extruded aluminum and tempered to a T6 condition.

Installation

Four 1/2" diameter, hot-dipped galvanized "L" type anchor bolts shall be provided with the post for anchorage, they shall be mounted in a 8" bolt circle. Post will be provided with an access door which shall be secured with tamper proof stainless steel hardware, includes a

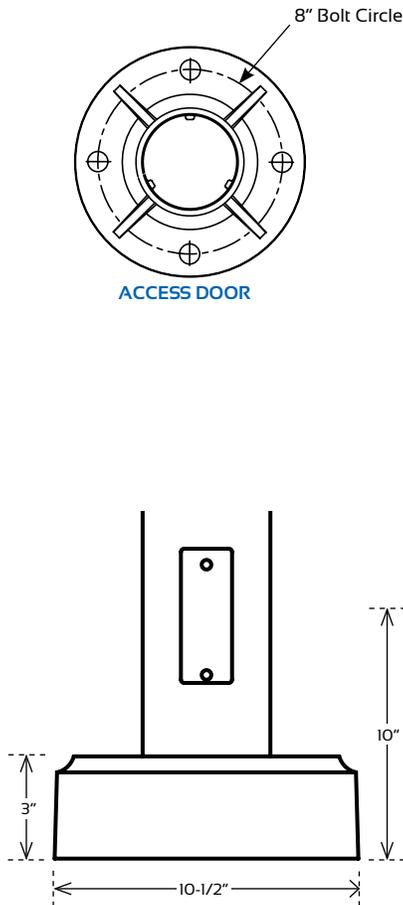
grounding stud behind the access door.

Warranty

Five-year limited warranty. See product and finish warranty guide for details.

Finish

Refer to website for details.



TAPERED
SMOOTH
SHAFT



STRAIGHT
SMOOTH
SHAFT



STRAIGHT
FLUTED
SHAFT



SternbergLighting

ESTABLISHED 1923

800-621-3376
555 Lawrence Ave., Roselle, IL 60172
contactus@sternberglighting.com
www.sternberglighting.com

450 LEXINGTON SERIES

ARCHITECTURAL POLE

EPA Chart - AASHTO 2009

POLE HEIGHT	90 MPH	100 MPH	110 MPH	120 MPH	130 MPH	140 MPH	150 MPH
FP4 4" Smooth Fluted Pole - 0.125" Wall Thickness							
8	6.94	5.42	4.30	3.44	2.77	2.25	1.82
10	5.16	3.92	3.00	2.30	1.76	1.33	0.99
12	3.83	2.79	2.02	1.43	0.97	0.61	
14	2.79	1.89	1.22	0.71			
FP4 4" Smooth Fluted Pole - 0.188" Wall Thickness							
8	10.42	8.23	6.62	5.39	4.44	3.68	3.07
10	7.98	6.21	4.89	3.89	3.12	2.50	2.00
12	6.22	4.72	3.61	2.77	2.12	1.60	1.18
14	4.85	3.56	2.60	1.87	1.31	0.86	
16	3.74	2.60	1.76	1.12	0.62		
P4 4" Straight Smooth Shaft - 0.125" Wall Thickness							
8	7.03	5.56	4.54	3.77	3.18	2.71	2.33
10	5.27	4.09	3.31	2.73	2.28	1.93	1.64
12	3.97	3.00	2.40	1.95	1.60	1.34	1.12
14	2.95	2.14	1.67	1.32	1.06	0.86	0.70
16	2.11	1.42	1.06	0.80	0.60		
P4 4" Straight Smooth Shaft - 0.188" Wall Thickness							
8	10.50	8.37	6.86	5.72	4.84	4.14	3.58
10	8.10	6.38	5.20	4.32	3.63	3.09	2.66
12	6.36	4.93	3.99	3.29	2.75	2.32	1.98
14	5.01	3.81	3.05	2.48	2.05	1.71	1.44
16	3.93	2.89	2.27	1.82	1.47	1.21	1.00
P4 4" Straight Smooth Shaft - 0.25" Wall Thickness							
10	10.60	8.41	6.88	5.73	4.84	4.13	3.57
12	8.47	6.65	5.41	4.48	3.76	3.19	2.74
14	6.84	5.29	4.27	3.51	2.92	2.47	2.10
16	5.54	4.19	3.35	2.72	2.24	1.87	1.57
T4"-3" Smooth Tapered Shaft - 0.125" Wall Thickness							
8	3.89	2.99	2.32	1.91	1.59	1.34	1.14
10	2.77	2.04	1.49	1.20	0.97	0.80	0.66
12	1.92	1.31	0.85	0.64			
T4"-3" Smooth Tapered Shaft - 0.188" Wall Thickness							
8	5.95	4.66	3.70	3.06	2.57	2.19	1.88
10	4.44	3.39	2.61	2.14	1.77	1.49	1.26
12	3.34	2.45	1.79	1.44	1.17	0.96	0.79
14	2.46	1.70	1.13	0.87	0.67	0.52	
T4"-3" Smooth Tapered Shaft - 0.25" Wall Thickness							
10	5.93	4.60	3.61	2.97	2.49	2.10	1.80
12	4.59	3.47	2.63	2.14	1.77	1.47	1.24
14	3.55	2.58	1.85	1.48	1.19	0.97	0.79
16	2.70	1.84	1.21	0.92	0.70	0.54	

* Consult factory for other heights.

** All EPA values expressed in square feet.



SternbergLighting

ESTABLISHED 1923

800-621-3376
555 Lawrence Ave., Roselle, IL 60172
contactus@sternberglighting.com
www.sternberglighting.com

10/21 STERNBERG LIGHTING. ALL RIGHTS RESERVED. PRINTED IN THE USA.



962TC-XRLED GLEN ELLYN SERIES

LED

EPA
3.65 (ft²)
WEIGHT
36 LBS

5 YEAR
WARRANTY

LUMEN
RANGE
1,550 to
5,210

LIFE SPAN
L70
MINIMUM
50,000
HOURS

UL
LISTED

CLICK
FOR FAQ'S

JOB NAME _____

FIXTURE TYPE _____

MEMO _____

BUILD A PART NUMBER

ORDERING EXAMPLE: **2A-962TC-XRLED-12L45T5-MDL14-CA-HSS-FHD/478PM/2112FP5/SCC/BKT**

Mounting Config.	Fixture	LED	CCT	Type	Driver	Lens	Option House Side Shield	Option Fuse	Option Internal Lens	Arm See Arm Spec Sheets	Pole See Pole Spec Sheets	Finish

Mounting Configuration

(Click here to view mounting configuration sheet)

- IW • 2A • 3A90 • 1AM
- PT • 2A90 • 3APT • 2AM
- 1A • 2APT • 4A • 450PB
- 1APT • 3A • 4APT

W = Wall Mount PT = Post Top A = Arm Mount AM = Arm Mid-Mount PB = Pier Base

Fixture

- 962TC • 962TCGT (Glow Top)¹

¹ Add 10 watts.

LED

- XRLED-9L • XRLED-12L

CCT - Color Temperature (K)

- 45(00) • 35(00) • 27(00)

Type

- T2 • T3 • T4 • T5

Driver

- MDL07² (120v-277v, 700mA)
- MDL14 (120v-277v, 1400mA)
- MDH07² (347v-480v, 700mA)
- MDH14 (347v-480v, 1400mA)

² For use with 9L system only.

Lens (Click here to link to lens options)

- SV1 (Flat Soft Vue Light Diffuse Acrylic)
- SV2 (Flat Soft Vue Moderate Diffuse Acrylic)
- CA (Clear Acrylic)
- CTA (Clear Textured Acrylic)
- CSA (Clear Seeded Acrylic)
- PA (Pristmatic Acrylic)
- WA (White Acrylic)

Options (Click here to view accessories sheet)

- HSS House Side Shield
- FHD³ Dual Fuse & Holder
- SVID Soft Vue Light Diffuse, Internal Dome Lens
- SV2D Soft Vue Moderate Diffuse, Internal Dome Lens

³ Ships loose for installation in base.

Arm (Click here to link to arm specification page)

See Arms & Wall Brackets specification sheets.

- 478 • 480 • 6236 • 579 • TA • TASCR

Pole (Click here to link to pole specification page)

See Pole specification sheets.

Finish (Click here to view paint finish sheet)

Standard Finishes⁴

- BKT Black Textured
- WHT White Textured
- PGT Park Green Textured
- ABZT Architectural Medium Bronze Textured
- DBT Dark Bronze Textured

⁴ Smooth finishes are available upon request

Custom Finishes⁵

- CM Custom Match
- OI Old Iron
- RT Rust
- WBR Weathered Brown
- CD Cedar
- WBK Weathered Black
- TT Two Tone

⁵ Custom colors require upcharge.

Sternberg Select Finishes

- VG Verde Green
- SI Swedish Iron
- OWGT Old World Gray Textured

Specifications

Fixture

The 962TC fixture shall be 14" wide and the overall height shall have 42". It shall be made of heavy wall cast aluminum, 356 alloy and lenses shall be made of vandal resistant acrylic. The fixture cage shall be cast in one piece and shall have a lift hinged door. The four paneled roof shall be closed with solid aluminum panels. The Luminaire shall be UL approved in US and Canada.

Fitter

The fitter or base shall be heavy wall cast aluminum, 356 alloy for high tensile strength. It shall have an inside diameter opening to accept a 3" diameter pole or tenon. When ordered with a Sternberg aluminum pole, the fitter shall be set screwed to the pole top or tenon.

LEDs

The luminaire shall use high output, high brightness LED's. They shall be mounted in arrays, on printed circuit boards designed to maximize heat transfer to the heat sink surface. The arrays shall be downward facing to minimize up-light. The LED's and printed circuit boards shall be environmentally friendly and 100% recyclable, they shall also be protected from moisture and corrosion by a conformal coating of 1 to 3 mils. They shall not contain lead, mercury or any other hazardous substances and shall be RoHS compliant. The LED life rating data shall be determined in accordance with IESNA LM-80. The High Performance white LED's will have a life expectancy of approximately 50,000 hours with not less than 70% of original brightness (lumen maintenance), rated at 25°C. The High Brightness, High Output LED's shall be 4500K (3500K or 2700K option) color temperature with a typical of 70 CRI. Consult factory for custom color CCT. The luminaire shall have a minimum _____ (see table) delivered initial lumen rating when operated at steady state with an average ambient temperature of 25°C (77°F).

Optics

The luminaire shall be provided with individual, refractor type optics applied to each LED. The luminaire shall provide Type ____ (2, 3, 4 or 5) light distribution per the IESNA classifications. Testing shall be done in accordance with IESNA LM-79.

See next page

Electronic Drivers

The LED driver shall be U.L. Recognized. It shall be securely mounted inside the fixture, for optimized performance and longevity. It shall be supplied with a quick-disconnect electrical connector on the power supply, providing easy power connections and fixture installation. It shall have overload as well as short circuit protection, and have a DC voltage output, constant current design, 50/60HZ. It shall be supplied with line-ground, line-neutral and neutral-ground electrical surge protection in accordance with IEEE/ANSI C62.41.2 guidelines. It shall be dimmable using a 0-10v signal.

For sources over 50w: The driver shall have a minimum efficiency of 90%. The driver shall be rated at full load with THD<20% and a power factor of greater than 0.90. The driver shall contain over-heat protection.

For sources under 50w: The driver shall have a minimum efficiency of 88%.

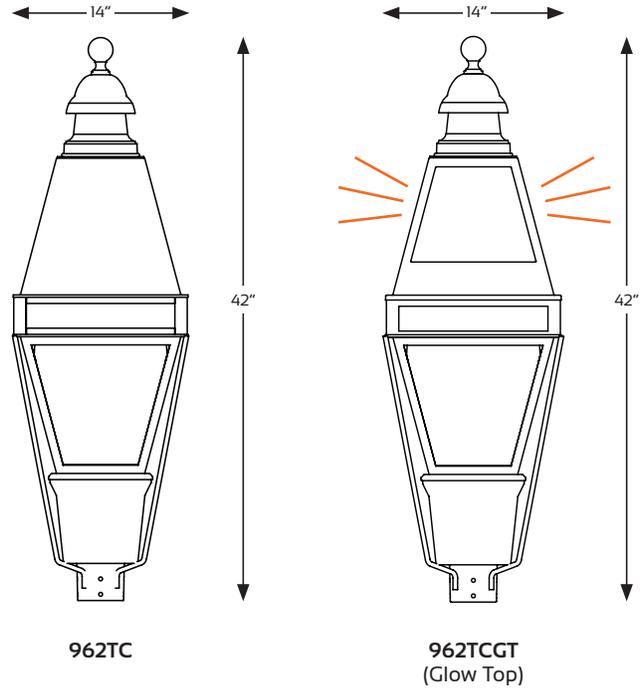
Warranty

Five-year warranty. See product and finish warranty guide for details.

Finish

Refer to website for details.

Fixtures



Performance (Based on CSA Lens)

LIGHT SOURCE	T2 DELIVERED LUMENS	EFFICACY (LPW)	T3 DELIVERED LUMENS	EFFICACY (LPW)	T4 DELIVERED LUMENS	EFFICACY (LPW)	T5 DELIVERED LUMENS	EFFICACY (LPW)	WATTAGE*
09L27T_-MDL07	1610	73.1	1600	72.6	1550	70.3	1670	75.9	22
09L35T_-MDL07	1895	86	1880	85.5	1820	82.8	1965	89.4	22
09L45T_-MDL07	2035	92.5	2025	92	1960	89	2115	96.1	22
09L27T_-MDL14	2860	59.6	2810	58.5	2745	57.1	2960	61.6	48
09L35T_-MDL14	3370	70.2	3310	68.9	3230	67.3	3485	72.6	48
09L45T_-MDL14	3625	75.5	3560	74.1	3470	72.3	3745	78	48
12L27T_-MDL14	4060	67.6	3960	66	3945	65.7	4120	68.6	60
12L35T_-MDL14	4780	79.6	4660	77.7	4640	77.4	4850	80.8	60
12L45T_-MDL14	5140	85.6	5010	83.5	4990	83.2	5210	86.9	60

*Glow top option adds 10 watts.

RAVEN™

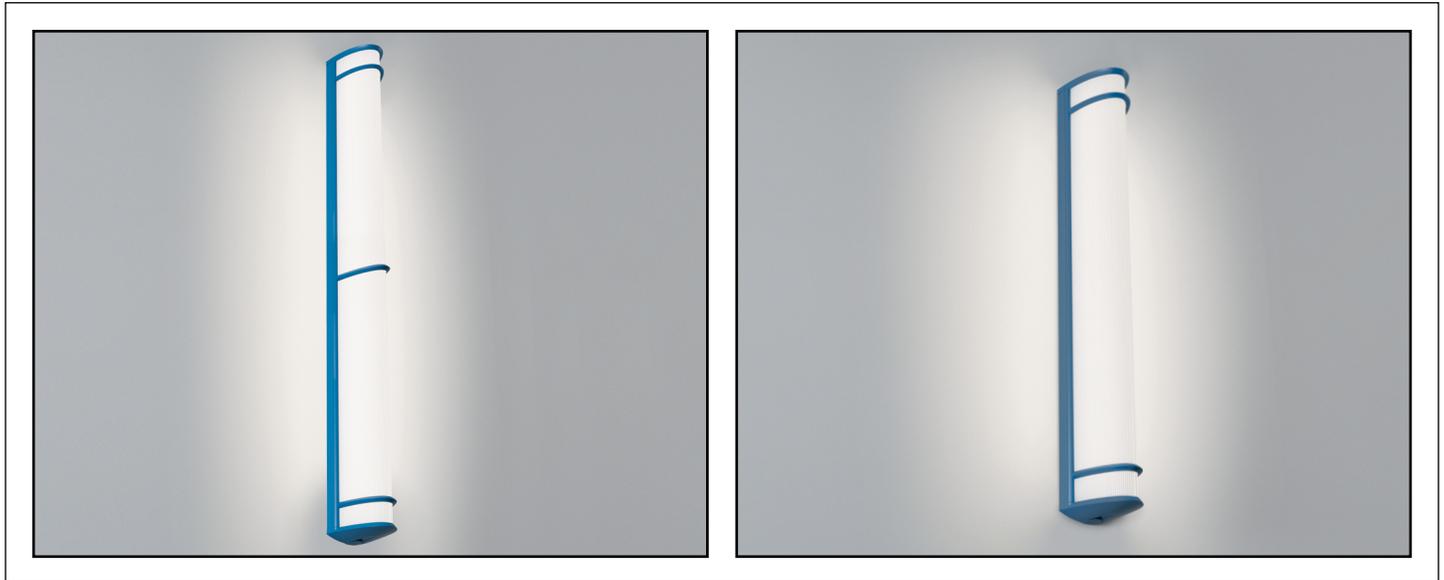
OW1340/OW1342/OW1344/OW1346/OW1348

Outdoor models with Accent Bars



VisaLighting.com/products/Raven

Type: _____ Project: _____ Location: _____



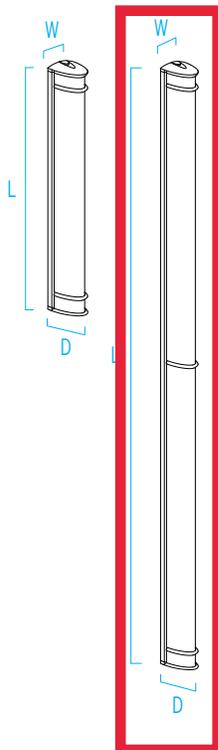
DIMENSIONS¹

L = Length D = Depth W = Width WT = Weight

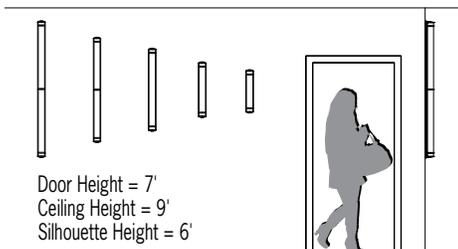
	OW1348	OW1340	OW1342	OW1344	OW1346
L	18-1/2" (470 mm)	24-3/4" (629 mm)	36-1/2" (927 mm)	48-3/8" (1229 mm)	60-1/8" (1527 mm)
D	4" (102 mm)				
W	3 -3/8" (86 mm)				

FEATURES

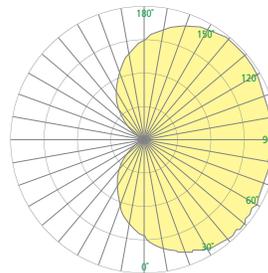
- Integral driver
- Vertical or horizontal mounting
- Mounts to 2 X 4 electrical junction box (by others) with provided hardware. Requires auxiliary mounting fasteners (provided). Orient junction box to match fixture's linear dimension (horizontal or vertical)
- Tamper resistant fasteners
- High impact extruded aluminum backplate/side rails, die-cast end caps and trim bars; gasketed and sealed construction
- Extruded clear prismatic performance lens and extruded white acrylic diffuser
- High impact extruded white acrylic, FI rated; UV stable; UL-94 HB Flame Class rated
- No VOC powder coat finish
- ETL listed for wet location mounting 4' above grade



RELATIVE SCALE DRAWING



PHOTOMETRICS



ADA



XPS



ETL Listed



5 Year Warranty

RAVEN (cont.)



OW1340/OW1342/OW1344/OW1346/OW1348

Outdoor models with Accent Bars

Fill in shaded boxes using information listed below

		- MVOLT			
MODEL¹ OW1348 OW1340 OW1342 OW1344 OW1346 See page 1	SOURCE² • L30K(H) • L30K(L) • L35K(H) • L35K(L) • L40K(H) • L40K(L)	VOLTAGE MVOLT	FINISH See last page for finish order codes	OPTION³ XPS	

SOURCE² (Select One)

Dimmable 0-10V to 1%, Minimum 80CRI, within 3-step MacAdam

Source	CCT	OW1348		OW1340		OW1342		OW1344		OW1346	
		Delivered Lumens	Power/Watts								
• L30K(H)	3000K	1100	10	1400	13	2800	26	3300	29	3900	35
• L30K(L)	3000K	750	7	800	7	1900	17	2200	19	2800	23
L35K(H)	3500K	1100	10	1400	13	2800	26	3300	29	3900	35
L35K(L)	3500K	750	7	800	7	1900	17	2200	19	2800	23
• L40K(H)	4000K	1100	10	1400	13	2900	26	3400	29	4100	35
• L40K(L)	4000K	750	7	800	7	2000	17	2300	19	2800	23

OPTION³

⚠ Option availability may be interdependent with Other Options

XPS	Express 10 day shipping. Items marked with a bullet (•) are not available with XPS
------------	--

VOLTAGE

MVOLT	120-277V, 50/60 Hz
--------------	--------------------

LUMEN MAINTENANCE RATING

L80 (reported)	>50,000hrs
----------------	------------

Tamper Resistant Fastener



RAVEN (cont.)

OW1340/OW1342/OW1344/OW1346/OW1348

Outdoor models with Accent Bars

RAVEN PRODUCT FAMILY

Accent Bars	Outdoor	<ul style="list-style-type: none"> • OW1348 • OW1340 • OW1342 • OW1344 • OW1346
	Indoor	<ul style="list-style-type: none"> • CV1818 • CV1800 • CV1802 • CV1804 • CV1806
No Accent Bars	Outdoor	<ul style="list-style-type: none"> • OW1350 • OW1352 • OW1354 • OW1356 • OW1358
	Indoor	<ul style="list-style-type: none"> • CV1820 • CV1822 • CV1824 • CV1826 • CV1828

SUGGESTED VARIATIONS

- 2700k–5000k color temperatures
- Increase fixture length up to 8' (indoor only)

See [Visalighting.com/products/Raven](https://visalighting.com/products/Raven) for more information

RAVEN (cont.)

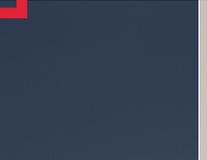
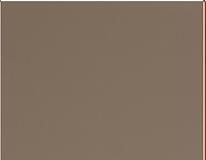
OW1340/OW1342/OW1344/OW1346/OW1348

Outdoor models with Accent Bars

FINISHES

Specify color code when ordering. For accurate color matching, individual paint and finish samples are [available upon request](#).
For more information about our finishes visit visalighting.com/finishes

Powder Coat Paint Finishes (Standard)

						
AGGY Agate Grey	ALGN Alpine Green	BJBG Baja Beige	BMAT Bronze Matt	BRNZ Bronze	BL Blade Silver	CVBL Cove Blue
						
DEOR Deoro Gold	GLWT Glacier White	GSIL Graphite Siver	HRGR Harbor Grey	JTBK Jet Black	OCBL Ocean Blue	SHGR Shoreline Grey
						
SBGN Sagebrush Green	SLGR Slate Grey	SSTP Sierra Taupe	TRCN Terracotta Canyon	TRWT Traffic White	VBLK Velvet Black	VNRD Vineyard Red

COMMERCIAL DEVELOPMENT

1 CONGRESS STREET PORTSMOUTH, NEW HAMPSHIRE SITE PERMIT PLANS

OWNER:

ONE MARKET SQUARE LLC
3 PLEASANT STREET
SUITE #400
PORTSMOUTH, NH 03801
TEL. (603) 427-0725

LANDSCAPE ARCHITECT:

TERRA FIRMA LANDSCAPE
ARCHITECTURE
163A COURT STREET
PORTSMOUTH, NH 03801
TEL. (603) 430-8388

**LAND SURVEYOR & CIVIL
ENGINEER:**

AMBIT ENGINEERING, INC.
200 GRIFFIN ROAD, UNIT 3
PORTSMOUTH, N.H. 03801
Tel. (603) 430-9282
Fax (603) 436-2315

GEOTECHNICAL:

GEOTECHNICAL SERVICES INC.
18 COTE AVENUE, UNIT 11
GOFFSTOWN, N.H. 03045
Tel. (603) 624-2722

ARCHITECT:

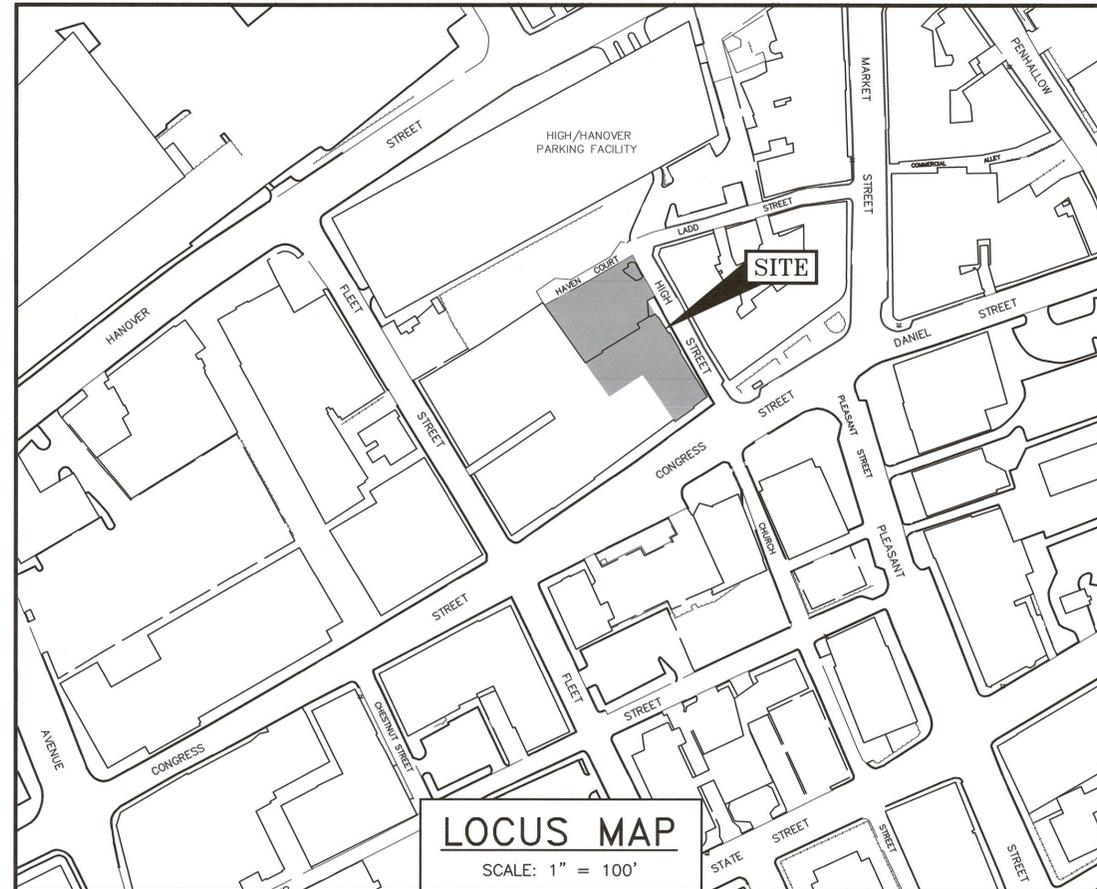
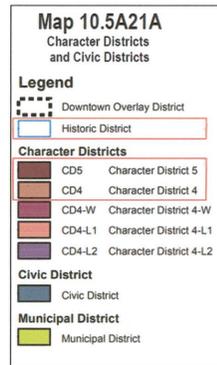
ARCOVE LLC
3 CONGRESS STREET
SUITE 1
PORTSMOUTH, NH 03801
TEL. (603) 731-5187

LAND USE ATTORNEY:

BRUTON & BERUBE, PLLC
601 CENTRAL AVENUE
DOVER, N.H. 03820
Tel. (603) 749-4529

PERMIT LIST:

NHDES SEWER DISCHARGE PERMIT: TO BE SUBMITTED
PORTSMOUTH HDC: PENDING
PORTSMOUTH SITE PLAN: PENDING



LOCUS MAP

SCALE: 1" = 100'

LEGEND:

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	SETBACK
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	G	GAS LINE
D	D	STORM DRAIN
W	W	WATER LINE
WS	WS	WATER SERVICE
UGE	UGE	UNDERGROUND ELECTRIC
OHW	OHW	OVERHEAD ELECTRIC/WIRES
---	---	FOUNDATION DRAIN
---	---	EDGE OF PAVEMENT (EP)
100	100	CONTOUR
97x3	98x0	SPOT ELEVATION
○	○	UTILITY POLE
☀	☀	WALL MOUNTED EXTERIOR LIGHTS
☀	☀	TRANSFORMER ON CONCRETE PAD
☀	☀	ELECTRIC HANDHOLD
☀	☀	SHUT OFFS (WATER/GAS)
☀	☀	GATE VALVE
☀	☀	HYDRANT
☀	☀	CATCH BASIN
☀	☀	SEWER MANHOLE
☀	☀	DRAIN MANHOLE
☀	☀	TELEPHONE MANHOLE
☀	☀	PARKING SPACE COUNT
☀	☀	PARKING METER
☀	☀	LANDSCAPED AREA
TBD	TBD	TO BE DETERMINED
CI	CI	CAST IRON PIPE
COP	COP	COPPER PIPE
DI	DI	DUCTILE IRON PIPE
PVC	PVC	POLYVINYL CHLORIDE PIPE
RCP	RCP	REINFORCED CONCRETE PIPE
AC	-	ASBESTOS CEMENT PIPE
VC	VC	VITRIFIED CLAY PIPE
EP	EP	EDGE OF PAVEMENT
EL	EL	ELEVATION
FF	FF	FINISHED FLOOR
INV	INV	INVERT
S =	S =	SLOPE FT/FT
TBM	TBM	TEMPORARY BENCH MARK
TYP	TYP	TYPICAL



PORTSMOUTH APPROVAL CONDITIONS NOTE:
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

INDEX OF SHEETS

- BOUNDARY PLAN
- LICENSE PLAN
- C1 EXISTING CONDITIONS PLAN
- C2 DEMOLITION PLAN
- C3 PROJECT SITE PLAN
- ARCHITECTURAL PLANS
- LANDSCAPE PLANS
- C4 UTILITY PLAN
- C5 GRADING PLAN
- C6 PARKING LEVEL PLAN
- C7 AVERAGE GRADE PLANE
- P1 HIGH STREET PROFILE
- D1-D7 DETAILS

UTILITY CONTACTS

ELECTRIC:
EVERSOURCE
1700 LAFAYETTE ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 436-7708, Ext. 555.5678
ATTN: MICHAEL BUSBY, P.E. (MANAGER)

NATURAL GAS:
UNITIL
325 WEST ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 294-5144
ATTN: DAVE BEAULIEU

CABLE:
COMCAST
155 COMMERCE WAY
PORTSMOUTH, N.H. 03801
Tel. (603) 679-5695 (X1037)
ATTN: MIKE COLLINS

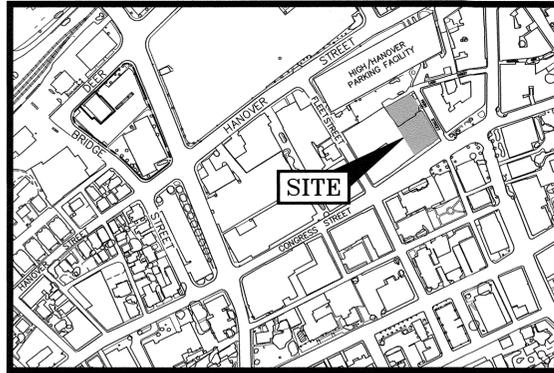
SEWER & WATER:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 427-1530
ATTN: JIM TOW

COMMUNICATIONS:
FAIRPOINT COMMUNICATIONS
JOE CONSIDINE
1575 GREENLAND ROAD
GREENLAND, N.H. 03840
Tel. (603) 427-5525

**SITE PERMIT PLANS
COMMERCIAL DEVELOPMENT
1 CONGRESS STREET
PORTSMOUTH, N.H.**

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

PLAN SET SUBMITTAL DATE: 20 DECEMBER 2022



LOCATION MAP

SCALE: 1" = 300'

LEGEND:

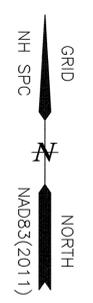
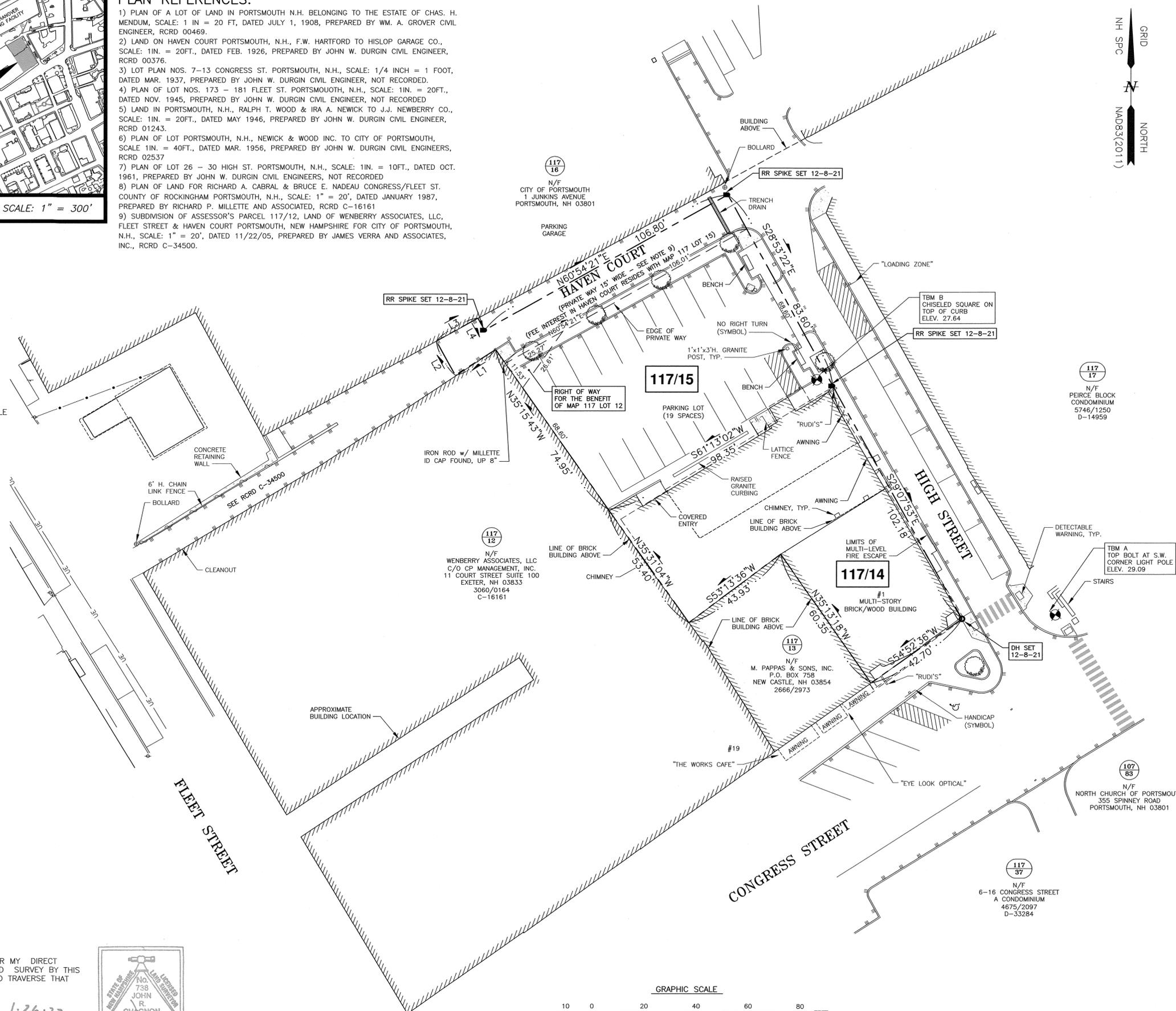
- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
- RR SPK RAILROAD SPIKE
- MAP 11/LOT 21
- IR FND IRON ROD FOUND
- IP FND IRON PIPE FOUND
- IR SET IRON ROD SET
- DH FND DRILL HOLE FOUND
- DH SET DRILL HOLE SET
- NHFB NHDOT BOUND FOUND
- TB TOWN BOUND
- BND w/DH BOUND WITH DRILL HOLE
- ST BND w/DH STONE BOUND WITH DRILL HOLE

LENGTH TABLE

LINE	BEARING	DISTANCE
L1	S57°27'42"W	18.36'
L2	N28°53'22"W	15.00'
L3	N61°07'46"E	18.19'
L4	S29°05'39"E	5.28'

PLAN REFERENCES:

- 1) PLAN OF A LOT OF LAND IN PORTSMOUTH N.H. BELONGING TO THE ESTATE OF CHAS. H. MENDUM, SCALE: 1 IN = 20 FT, DATED JULY 1, 1908, PREPARED BY WM. A. GROVER CIVIL ENGINEER, RCRD 00469.
- 2) LAND ON HAVEN COURT PORTSMOUTH, N.H., F.W. HARTFORD TO HISLOP GARAGE CO., SCALE: 1IN. = 20FT., DATED FEB. 1926, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 00376.
- 3) LOT PLAN NOS. 7-13 CONGRESS ST. PORTSMOUTH, N.H., SCALE: 1/4 INCH = 1 FOOT, DATED MAR. 1937, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 4) PLAN OF LOT NOS. 173 - 181 FLEET ST. PORTSMOUTH, N.H., SCALE: 1IN. = 20FT., DATED NOV. 1945, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 5) LAND IN PORTSMOUTH, N.H., RALPH T. WOOD & IRA A. NEWICK TO J.J. NEWBERRY CO., SCALE: 1IN. = 20FT., DATED MAY 1946, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 01243.
- 6) PLAN OF LOT PORTSMOUTH, N.H., NEWICK & WOOD INC. TO CITY OF PORTSMOUTH, SCALE 1IN. = 40FT., DATED MAR. 1956, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, RCRD 02537
- 7) PLAN OF LOT 26 - 30 HIGH ST. PORTSMOUTH, N.H., SCALE: 1IN. = 10FT., DATED OCT. 1961, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, NOT RECORDED.
- 8) PLAN OF LAND FOR RICHARD A. CABRAL & BRUCE E. NADEAU CONGRESS/FLEET ST. COUNTY OF ROCKINGHAM PORTSMOUTH, N.H., SCALE: 1" = 20', DATED JANUARY 1987, PREPARED BY RICHARD P. MILLETTE AND ASSOCIATED, RCRD C-16161
- 9) SUBDIVISION OF ASSESSOR'S PARCEL 117/12, LAND OF WENBERRY ASSOCIATES, LLC, FLEET STREET & HAVEN COURT PORTSMOUTH, NEW HAMPSHIRE FOR CITY OF PORTSMOUTH, N.H., SCALE: 1" = 20', DATED 11/22/05, PREPARED BY JAMES VERRA AND ASSOCIATES, INC., RCRD C-34500.

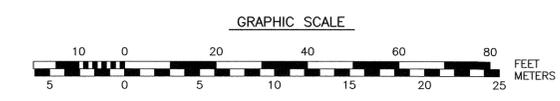


AMBIT ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 200 Griffin Road - Unit 3
 Portsmouth, N.H. 03801-7114
 Tel (603) 430-9282
 Fax (603) 436-2315

- NOTES:**
- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 117 AS LOTS 14 AND 15.
 - 2) OWNER OF RECORD:
 ONE MARKET SQUARE, LLC
 3 PLEASANT STREET, SUITE 400
 PORTSMOUTH, NH 03801
 6363/31 PARCEL 1 & PARCEL 2
 - 3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4 AND CHARACTER DISTRICT 5.
 - 4) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
 - 5) LOT AREAS: MAP 117 LOT 14 7,266 S.F. 0.1668 ACRES
 MAP 117 LOT 15 8,840 S.F. 0.2029 ACRES
 COMBINED LOT AREA: 16,106 S.F. 0.3697 ACRES
 - 6) PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF A STANDARD BOUNDARY SURVEY ON TAX MAP 117, LOTS 14 AND 15 IN PORTSMOUTH, NH.
 - 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBS.
 - 9) HAVEN COURT IS A PRIVATE WAY 15 FEET WIDE. ALL RIGHTS, TITLE AND INTEREST UNTO SAID HAVEN COURT WERE CONVEYED WITH ASSESSOR'S MAP 117 LOT 15, AS DESCRIBED IN RCRD 983/179, SUBJECT TO RIGHTS OF OTHERS (OTHERS NOT DEFINED ON THIS SURVEY).

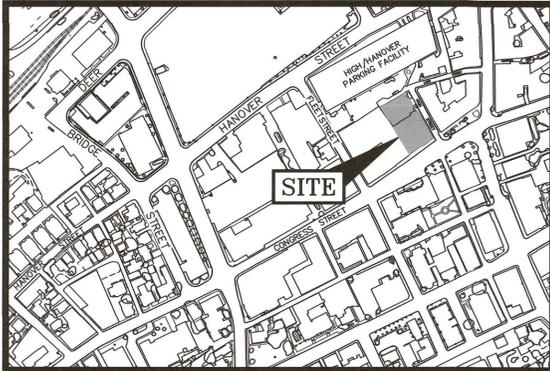
I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

[Signature]
 JOHN R. CHAGNON, LLS 738
 DATE 1-26-22



NO.	DESCRIPTION	DATE
1	NEW OWNER	1/26/22
0	ISSUED FOR RECORDING	12/8/21

STANDARD BOUNDARY SURVEY
TAX MAP 117
LOTS 14 & 15
 OWNER OF RECORD:
ONE MARKET SQUARE, LLC
 PROPERTY LOCATED AT:
 1 CONGRESS STREET & HIGH STREET
 CITY OF PORTSMOUTH
 COUNTY OF ROCKINGHAM
 STATE OF NEW HAMPSHIRE



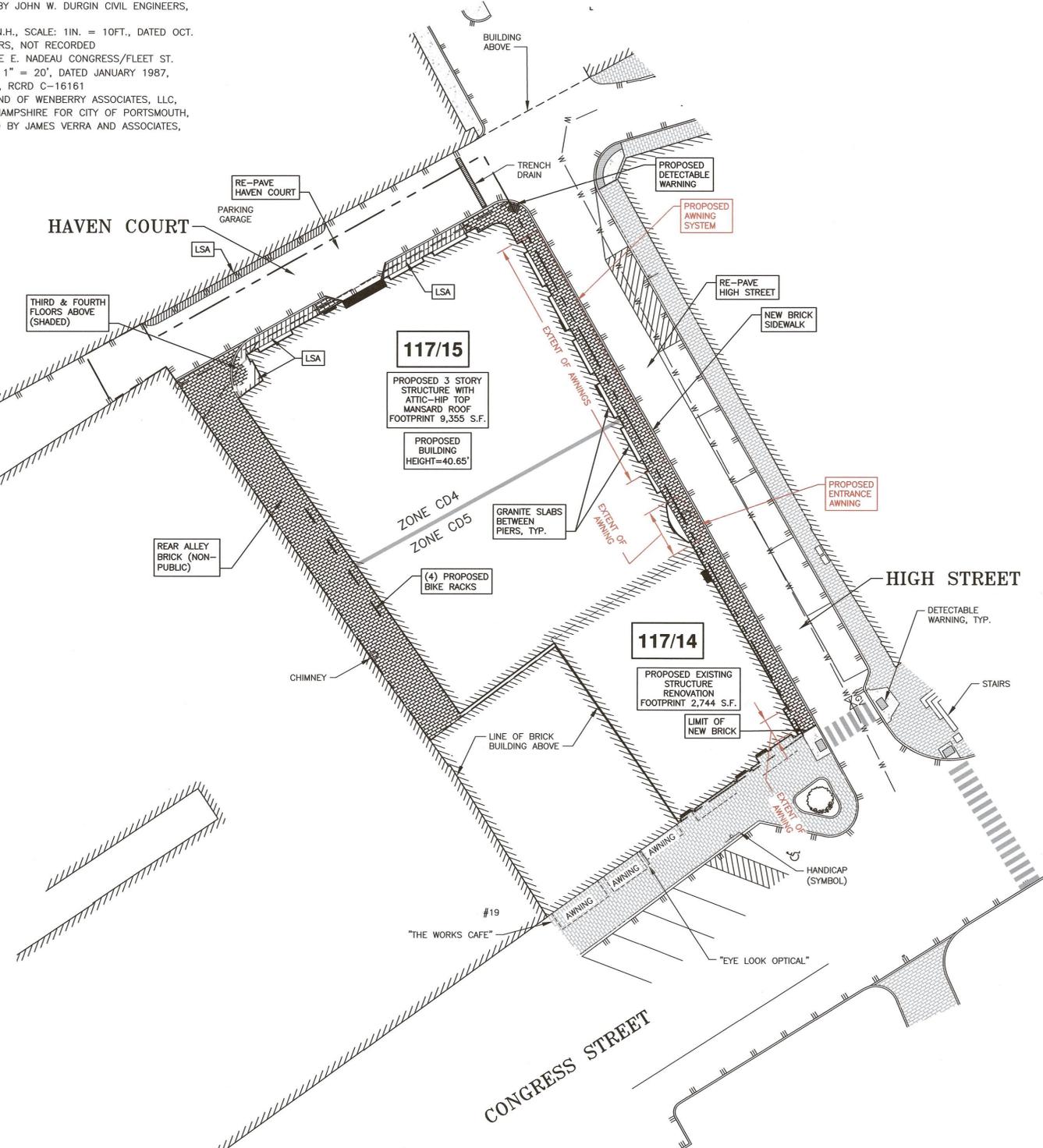
LOCATION MAP SCALE: 1" = 300'

LEGEND:

- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY
- REGISTRY OF DEEDS
- RR SPK RAILROAD SPIKE
- MAP 11/LOT 21
- IR FND IRON ROD FOUND
- IP FND IRON PIPE FOUND
- IR SET IRON ROD SET
- DH FND DRILL HOLE FOUND
- DH SET DRILL HOLE SET
- NHHB NHDOT BOUND FOUND
- TB TOWN BOUND
- BND w/DH BOUND WITH DRILL HOLE
- ST BND w/DH STONE BOUND WITH DRILL HOLE

PLAN REFERENCES:

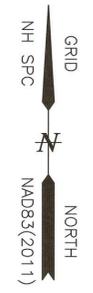
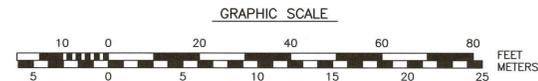
- 1) PLAN OF A LOT OF LAND IN PORTSMOUTH N.H. BELONGING TO THE ESTATE OF CHAS. H. MENDUM, SCALE: 1 IN = 20 FT, DATED JULY 1, 1908, PREPARED BY WM. A. GROVER CIVIL ENGINEER, RCRD 00469.
- 2) LAND ON HAVEN COURT PORTSMOUTH, N.H., F.W. HARTFORD TO HISLOP GARAGE CO., SCALE: 1IN. = 20FT., DATED FEB. 1926, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 00376.
- 3) LOT PLAN NOS. 7-13 CONGRESS ST. PORTSMOUTH, N.H., SCALE: 1/4 INCH = 1 FOOT, DATED MAR. 1937, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 4) PLAN OF LOT NOS. 173 - 181 FLEET ST. PORTSMOUTH, N.H., SCALE: 1IN. = 20FT., DATED NOV. 1945, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED
- 5) LAND IN PORTSMOUTH, N.H., RALPH T. WOOD & IRA A. NEWICK TO J.J. NEWBERRY CO., SCALE: 1IN. = 20FT., DATED MAY 1946, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 01243.
- 6) PLAN OF LOT PORTSMOUTH, N.H., NEWICK & WOOD INC. TO CITY OF PORTSMOUTH, SCALE 1IN. = 40FT., DATED MAR. 1956, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, RCRD 02537
- 7) PLAN OF LOT 26 - 30 HIGH ST. PORTSMOUTH, N.H., SCALE: 1IN. = 10FT., DATED OCT. 1961, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, NOT RECORDED
- 8) PLAN OF LAND FOR RICHARD A. CABRAL & BRUCE E. NADEAU CONGRESS/FLEET ST. COUNTY OF ROCKINGHAM PORTSMOUTH, N.H., SCALE: 1" = 20', DATED JANUARY 1987, PREPARED BY RICHARD P. MILLETTE AND ASSOCIATED, RCRD C-16161
- 9) SUBDIVISION OF ASSESSOR'S PARCEL 117/12, LAND OF WENBERRY ASSOCIATES, LLC, FLEET STREET & HAVEN COURT PORTSMOUTH, NEW HAMPSHIRE FOR CITY OF PORTSMOUTH, N.H., SCALE: 1" = 20', DATED 11/22/05, PREPARED BY JAMES VERRA AND ASSOCIATES, INC., RCRD C-34500.



I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

JOHN R. CHAGNON, LLS 738

12.20.22
DATE



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

- NOTES:
- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 117 AS LOTS 14 AND 15.
 - 2) OWNER OF RECORD:
ONE MARKET SQUARE, LLC
3 PLEASANT STREET, SUITE 400
PORTSMOUTH, NH 03801
6363/31 PARCEL 1 & PARCEL 2
 - 3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4 AND CHARACTER DISTRICT 5.
 - 4) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
 - 5) LOT AREAS: MAP 117 LOT 14 7,266 S.F. 0.1668 ACRES
MAP 117 LOT 15 8,840 S.F. 0.2029 ACRES
COMBINED LOT AREA: 16,106 S.F. 0.3697 ACRES
 - 6) PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED LICENSE AREAS ON HIGH STREET AND HAVEN COURT.

NO.	DESCRIPTION	DATE
1	ON SITE ONLY	12/20/22
0	ISSUED FOR COMMENT	11/29/22

LICENSE PLAN
ONE MARKET SQUARE, LLC
AND CITY OF PORTSMOUTH
HIGH STREET & HAVEN COURT
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE



AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 117 AS LOTS 14 AND 15.
- 2) OWNER OF RECORD:
ONE MARKET SQUARE, LLC
3 PLEASANT STREET, SUITE 400
PORTSMOUTH, NH 03801
6363/31 PARCEL 1 & PARCEL 2
- 3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4 AND CHARACTER DISTRICT 5.
- 4) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
- 5) LOT AREAS: MAP 117 LOT 14 MAP 117 LOT 15
7,266 S.F. 8,840 S.F.
0.1668 ACRES 0.2029 ACRES

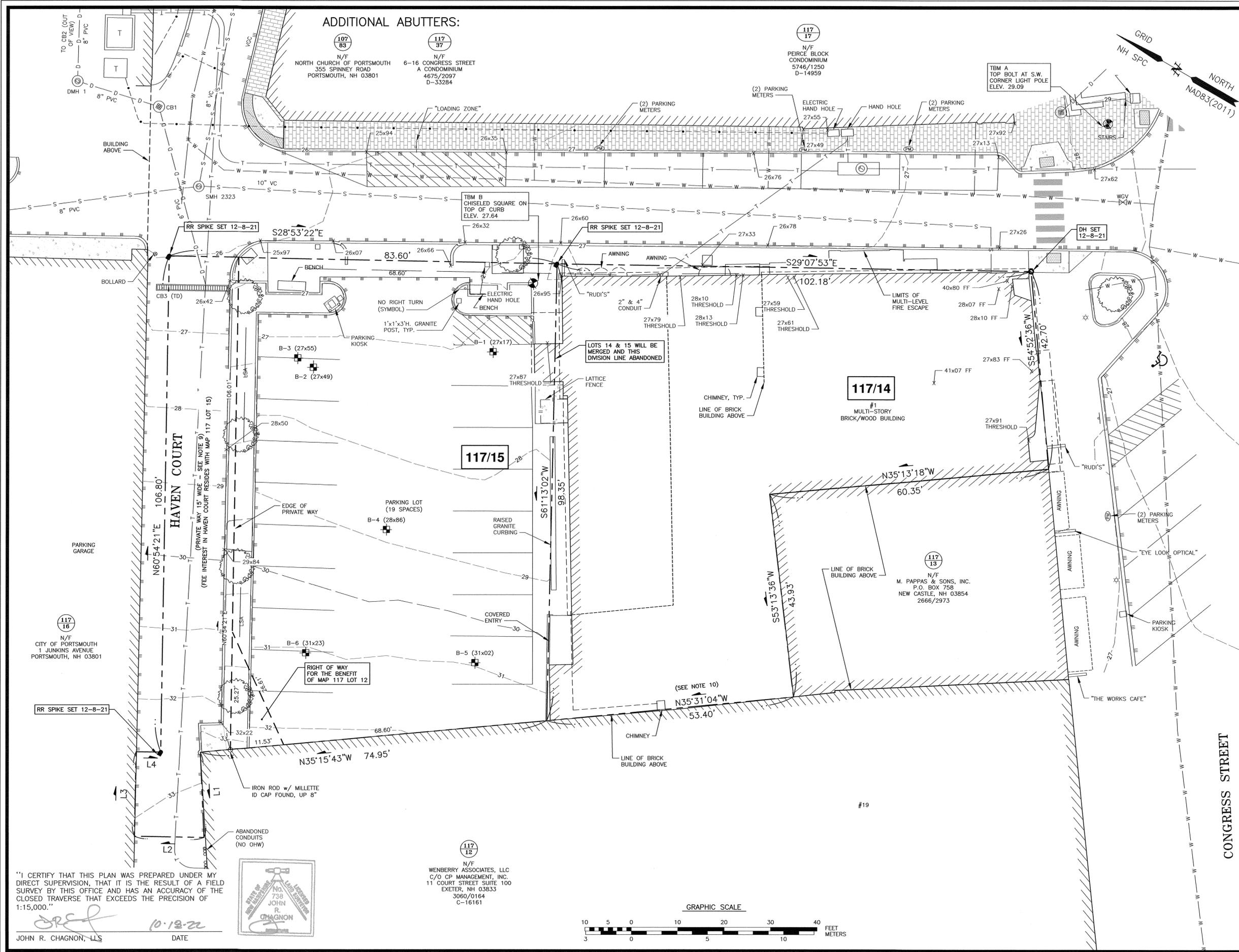
COMBINED LOT AREA:
16,106 S.F.
0.3697 ACRES
- 6) PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 117, LOTS 14 AND 15 IN PORTSMOUTH, NH.
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBS.

**COMMERCIAL DEVELOPMENT
ONE CONGRESS STREET
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
3	ADD TELCOMM LOCATIONS	10/18/22
2	ADD TOPOGRAPHY	2/9/22
1	BORING LOCATIONS	2/7/22
0	PROPERTY LINES	1/26/22

SCALE 1" = 10' NOVEMBER 2021

EXISTING CONDITIONS PLAN **C1**

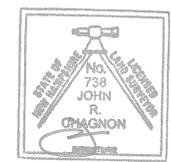


ADDITIONAL ABUTTERS:

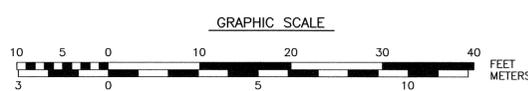
- 107 83 N/F NORTH CHURCH OF PORTSMOUTH 355 SPINNEY ROAD PORTSMOUTH, NH 03801
- 117 37 N/F 6-16 CONGRESS STREET A CONDOMINIUM 4675/2097 D-33284
- 117 17 N/F PEIRCE BLOCK CONDOMINIUM 5746/1250 D-14959

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

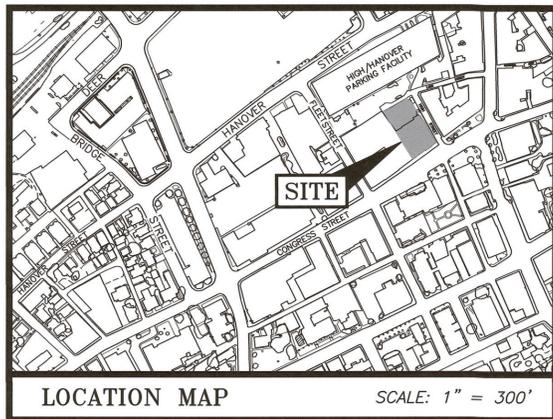
JOHN R. CHAGNON, LLS DATE 10.12.22



117 12 N/F WENBERRY ASSOCIATES, LLC C/O CP MANAGEMENT, INC. 11 COURT STREET SUITE 100 EXETER, NH 03833 3060/0164 C-16161



J:\0853\N 3400\3400\3406\2021 Survey and Site Plan\Plans & Specs\Site\3406 Site 2022.dwg, 12/22/2022 3:41:15 PM, Canon TX-3000 Drafting.pc3



Schematic Area Summary
10/18/2022

	gsf	use	use
new construction	total new	existing	proposed
4th floor	7,812	n/a	residential
3rd floor	9,355	n/a	residential
2nd floor	9,355	n/a	office
1st floor (footprint)	9,355	n/a	retail/restaurant
basement	9,581	n/a	parking & support
total new	45,458		

	existing	proposed
4th floor - 18.3 Congress St	2,422	residential
3rd floor - 18.3 Congress St	2,725	residential
2nd floor - 18.3 Congress St	2,725	office
1st floor - 18.3 Congress St (footprint)	2,725	office & retail
basement - 18.3 Congress	2,725	storage/mech
total renovation	13,322	

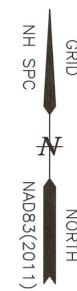
TOTAL FOOTPRINT new + reno	12,080
TOTAL BUILDING new + reno	58,780
roof decks	889

PLAN REFERENCE:

STANDARD BOUNDARY SURVEY, TAX MAP 117, LOTS 14 & 15, FOR PETER H. JARVIS & SONS, LLC. 1 CONGRESS STREET & HIGH STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED NOVEMBER 2021. ISSUED FOR RECORDING 12/8/21. R.C.R.D. PLAN D-43095.

BUILDING DATA:

PROPOSED BUILDING:
12,099 S.F. FOOTPRINT



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 117 AS LOTS 14 AND 15.
- 2) OWNER OF RECORD:
ONE MARKET SQUARE, LLC
3 PLEASANT STREET, SUITE 400
PORTSMOUTH, NH 03801
6363/31 PARCEL 1 & PARCEL 2
- 3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4 AND CHARACTER DISTRICT 5. SEE TABLES THIS SHEET.
- 4) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
- 5) LOT AREAS: **MAP 117 LOT 14** 7,266 S.F. 0.1668 ACRES
MAP 117 LOT 15 8,840 S.F. 0.2029 ACRES
COMBINED LOT AREA: 16,106 S.F. 0.3697 ACRES
- 6) PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED DEVELOPMENT ON TAX MAP 117, LOTS 14 AND 15 IN PORTSMOUTH, NH.
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBS.
- 9) HAVEN COURT IS A PRIVATE WAY 15 FEET WIDE. ALL RIGHTS, TITLE AND INTEREST UNTO SAID HAVEN COURT WERE CONVEYED WITH ASSESSOR'S MAP 117 LOT 15, AS DESCRIBED IN RCRD 983/179, SUBJECT TO RIGHTS OF OTHERS (OTHERS NOT DEFINED ON THIS PLAN).
- 10) PROPOSED USE: RETAIL, OFFICE, RESIDENTIAL.
FIRST FLOOR: RETAIL
2ND FLOOR: OFFICE
3RD FLOOR & UP: 18 RESIDENTIAL UNITS.

ZONING DEVELOPMENT STANDARD

CD4 (CD-4, DOD, HCC) CHARACTER DISTRICT 4

	EXISTING	PROPOSED
Height	n/a	42' - 7 3/4"
Protrusions	n/a	n/a
Roof appearance	n/a	7' - 5 3/4"
Facade types	n/a	n/a
Building Types	commercial, low-work, mixed use, flex space & community	mixed use (retail, office, apartments)
Setbacks (ft) *		
Front (principal) max	10	0' - 0"
Front (secondary) max	15	0' - 0"
Side	n/a	n/a
Rear, min	-off 5' from rear line or 10' from alley	11' - 0"
Front lotline buildout	50% min	100.00%
Lot area (sq ft)	n/a	5,880
LOT area per dwelling	n/a	n/a
Coverage, maximum	90%	65.6%
Footprint, max*	10,543.40	15,000
*10,543.43 increase for indoor parking @ 50% for floor parking & 30% lot is community space	30,000 ground (30,000 upper)	0
Ground floor area per use, max	15,000	5,686
Open space, minimum	10%	34.4%
Permitted uses (SAB & CDF)	multifamily, low-work, office, retail, restaurant (<500cc)	surface parking lot commercial retail
Block length, max (ft)	200	180' - 0 3/4"
Facade modulation length, max (ft)	n/a	77' - 3 7/8"
Entrance spacing, max (ft)	50	30' - 10 3/8"
Floor height above sidewalk, max	n/a	16'
Ground floor height, min	12'	13' 5 5/8"
Second floor height, min	n/a	11' - 0"
Glazing, shopfront, min	n/a	20%
Glazing, other	n/a	25%
Roof type(s)	flat, gable (6:12-12:12), hip (3:12), gambrel/mansard (6:12-30:12)	hipped mansard
Parking, off-street, DOD*	19	12
UNITS-500SF=1.5 space/unit, 500-750sf=1 space/unit, >750sf=1.3 space/unit. (1=1 holder space/2 units)	n/a	10
Residential (dwellings)	n/a	n/a
Professional office	n/a	n/a

* use CD-5 zoning chart for remainder of parking spaces

ZONING DEVELOPMENT STANDARD

CD5 (CD-5, DOD, HCC) CHARACTER DISTRICT 5

	EXISTING	PROPOSED
Height	21 ft stories with floor 4th - 10'	42' - 7 3/4"
Protrusions	n/a	n/a
Roof appearance	n/a	7' - 5 3/4"
Facade types	n/a	n/a
Building Types	commercial, low-work, mixed use, flex space & community	mixed use (retail, office, apartments)
Setbacks (ft) *		
Front (principal) max	5	0' - 0"
Front (secondary) max	5	0' - 0"
Side	n/a	n/a
Rear, min	-off 5' from rear line or 10' from alley	0' - 0"
Front lotline buildout	50% min	100%
Lot area (sq ft)	140	2,260
LOT area per dwelling	n/a	n/a
Coverage, maximum	90%	83.3%
Footprint, max*	10,543.40	3,798
*10,543.43 increase for indoor parking @ 50% for floor parking & 30% lot is community space	50,000 ground (50,000 upper)	0
Ground floor area per use, max	15,000	3,798
Open space, minimum	10%	30.3%
Permitted uses (SAB & CDF)	commercial, low-work, mixed use, flex space, community, office, retail, restaurant (<500cc)	COMMERCIAL (retail, restaurant, hotel/lobby)
Block length, max (ft)	225	180' - 0 3/4"
Facade modulation length, max (ft)	150	60' - 5 1/2"
Entrance spacing, max (ft)	50	40' - 7 1/4"
Floor height above sidewalk, max	36'	4'
Ground floor height, min	12'	13' 5 5/8"
Second floor height, min	10'	11' - 0"
Glazing, shopfront, min	n/a	20%
Glazing, other	n/a	25%
Roof type(s)	flat, gable (6:12-12:12), hip (3:12), gambrel/mansard (6:12-30:12)	hipped mansard and gable
Parking, off-street, DOD*	0	11
UNITS-500SF=1.5 space/unit, 500-750sf=1 space/unit, >750sf=1.3 space/unit. (1=1 holder space/2 units)	n/a	8
Residential (dwellings)	n/a	n/a
Professional office	n/a	n/a

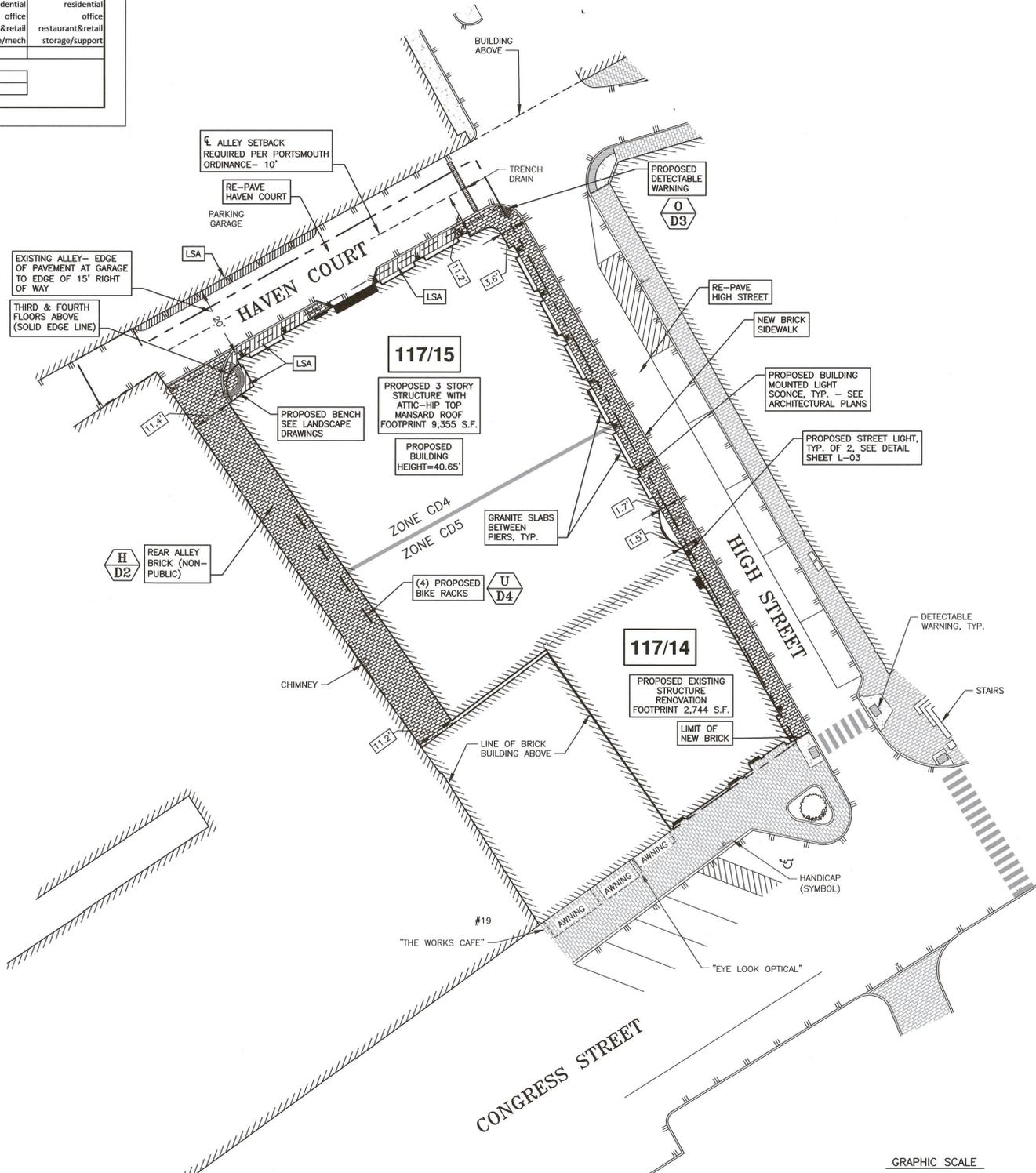
* use CD-4 zoning chart for remainder of parking spaces

THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.

ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____



COMMERCIAL DEVELOPMENT
ONE CONGRESS STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
2	STREET/SIDEWALK	12/20/22
1	BUILDING FOOTPRINT	10/18/22
0	ISSUED FOR COMMENT	9/6/22

REVISIONS

SCALE 1" = 20' SEPTEMBER 2022

PROJECT SITE PLAN **C3**



3 Congress St, Ste 1
 PORTSMOUTH, NH 03801
 T 603.731.5187
 arcove.com

Ambit Engineering Inc
 Civil Engineering
 200 Griffin Rd Unit 3
 Portsmouth NH 03801
 (603) 430-9282
 ambitengineering.com

Terra Firma Landscape
 Landscape Architecture
 163a Court St
 Portsmouth NH 03801
 (603) 531-9109
 terrafirmalandarch.com

1 CONGRESS STREET

PORTSMOUTH, NH

ONE MARKET SQUARE
 LLC



Scale: 1/8" = 1'-0"
 Date: 12/22/2022
 Project Number: 1002

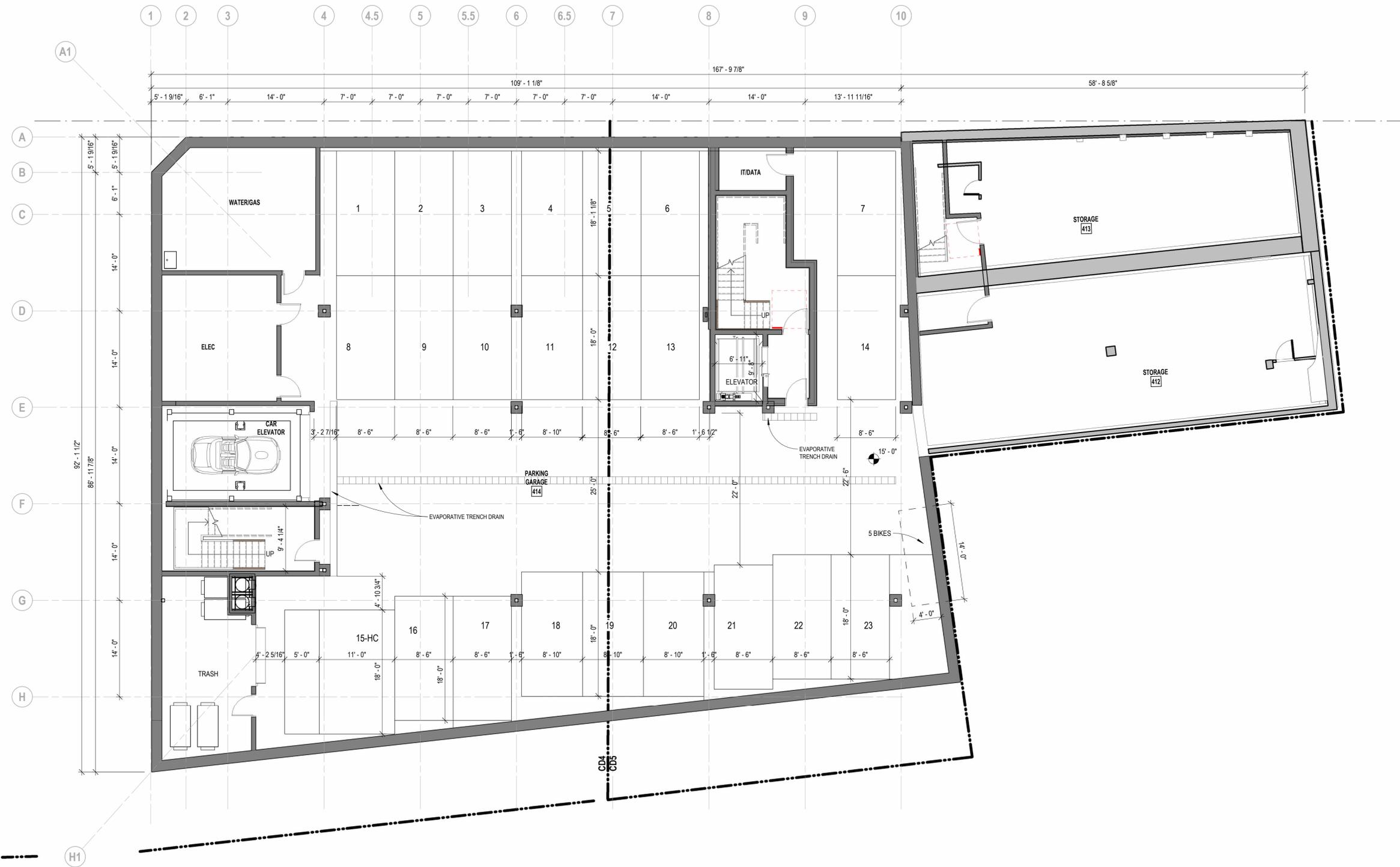
REVISIONS

NO.	DESCRIPTION	DATE

SITE PLAN REVIEW

BASEMENT
 FLOOR PLAN

PB.A0



12/22/2022 12:10:59 PM\\Users\Tracy.Kozak\Documents\levit LOCAL FILES\IMS central 2022-09-22_Tracy.kozak.rvt



3 Congress St, Ste 1
 PORTSMOUTH, NH 03801
 T 603.731.5187
 arcove.com

Ambit Engineering Inc
 Civil Engineering
 200 Griffin Rd Unit 3
 Portsmouth NH 03801
 (603) 430-9282
 ambitengineering.com

Terra Firma Landscape
 Landscape Architecture
 163a Court St
 Portsmouth NH 03801
 (603) 531-9109
 terrafirmalandarch.com

1 CONGRESS STREET

PORTSMOUTH, NH

ONE MARKET SQUARE
 LLC



Scale: 1/8" = 1'-0"
 Date: 12/22/2022
 Project Number: 1002

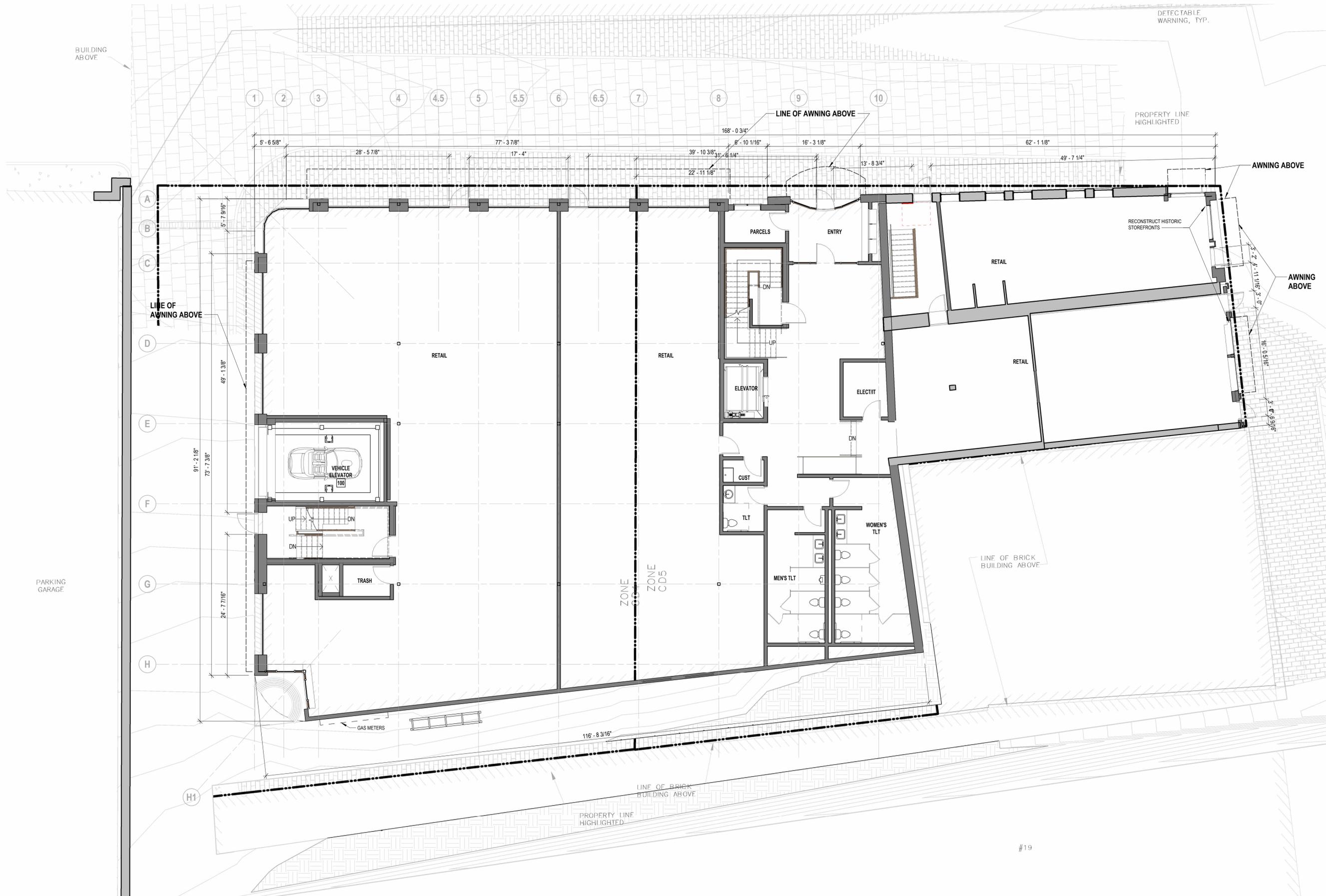
REVISIONS		
NO.	DESCRIPTION	DATE

SITE PLAN REVIEW

FIRST FLOOR
 PLAN

PB.A1

COPYRIGHT © 2022



12/22/2022 12:10:49 PM\\Users\Tracy.Kozak\Documents\revit\LOCAL FILES\IMS central 2022-09-22_Tracy.kozak.rvt



3 Congress St, Ste 1
 PORTSMOUTH, NH 03801
 T 603.731.5187
 arcove.com

Ambit Engineering Inc
 Civil Engineering
 200 Griffin Rd Unit 3
 Portsmouth NH 03801
 (603) 430-9282
 ambitengineering.com

Terra Firma Landscape
 Landscape Architecture
 163a Court St
 Portsmouth NH 03801
 (603) 531-9109
 terrafirmalandarch.com

1 CONGRESS STREET

PORTSMOUTH, NH

ONE MARKET SQUARE
 LLC



Scale: 1/8" = 1'-0"
 Date: 12/22/2022
 Project Number: 1002

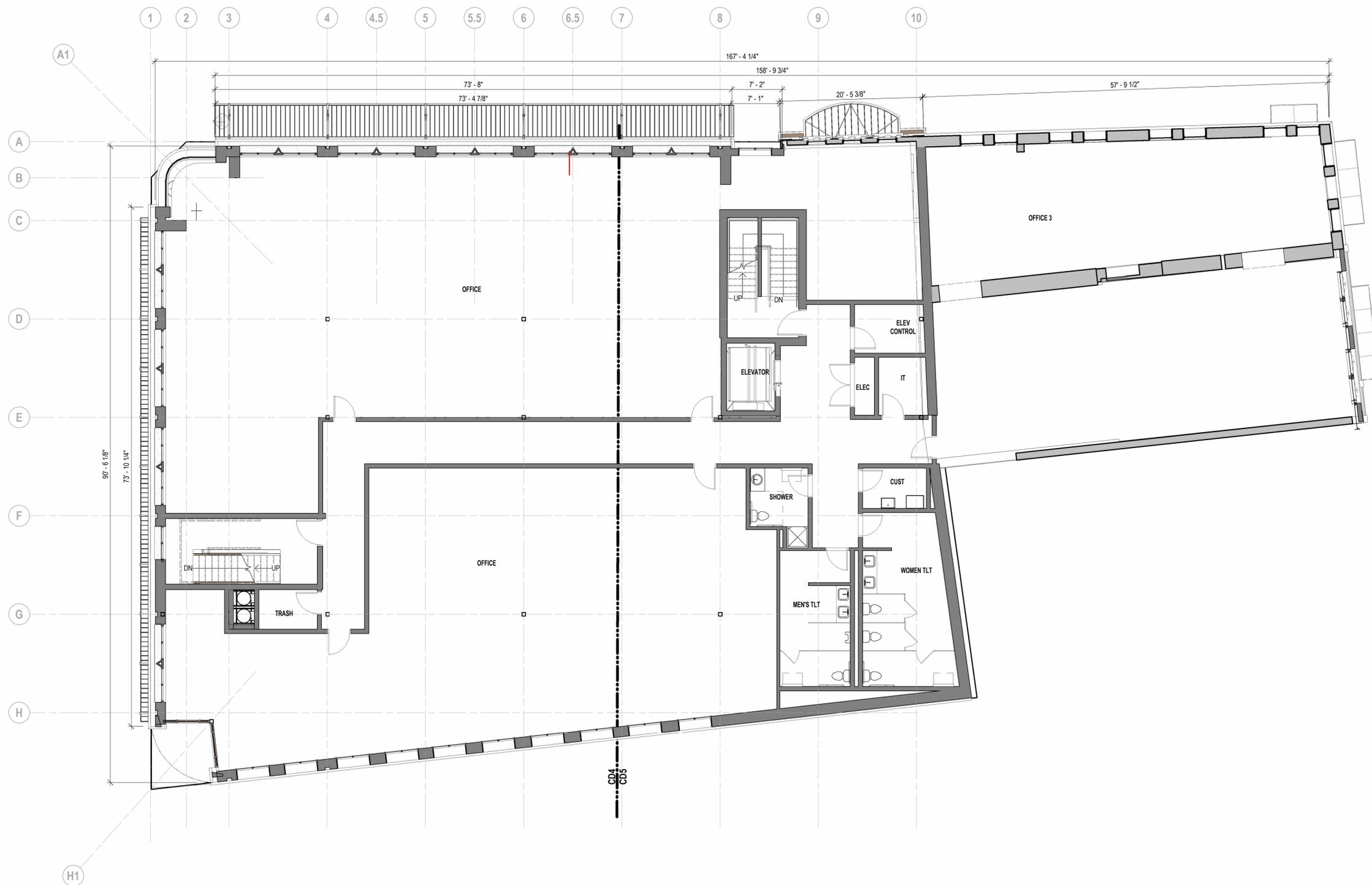
REVISIONS		
NO.	DESCRIPTION	DATE

SITE PLAN REVIEW

SECOND FLOOR
 PLAN

PB.A2

COPYRIGHT © 2022



12/22/2022 12:10:39 PM\\Users\Tracy.Kozak\Documents\levit LOCAL FILES\IMS central 2022-09-22_Tracy.kozak.rvt



3 Congress St, Ste 1
 PORTSMOUTH, NH 03801
 T 603.731.5187
 arcove.com

Ambit Engineering Inc
 Civil Engineering
 200 Griffin Rd Unit 3
 Portsmouth NH 03801
 (603) 430-9282
 ambitengineering.com

Terra Firma Landscape
 Landscape Architecture
 163a Court St
 Portsmouth NH 03801
 (603) 531-9109
 terrafirmalandarch.com

1 CONGRESS STREET

PORTSMOUTH, NH

ONE MARKET SQUARE
 LLC



Scale: 1/8" = 1'-0"
 Date: 12/22/2022
 Project Number: 1002

REVISIONS		
NO.	DESCRIPTION	DATE

SITE PLAN REVIEW

THIRD FLOOR
 PLAN

PB.A3

COPYRIGHT © 2022



12/22/2022 12:10:25 PM Users\Tracy.Kozak\Documents\levit.LOCAL FILES\IMS central 2022-09-22_Tracy.kozak.rvt



3 Congress St, Ste 1
 PORTSMOUTH, NH 03801
 T 603.731.5187
 arcove.com

Ambit Engineering Inc
 Civil Engineering
 200 Griffin Rd Unit 3
 Portsmouth NH 03801
 (603) 430-9282
 ambitengineering.com

Terra Firma Landscape
 Landscape Architecture
 163a Court St
 Portsmouth NH 03801
 (603) 531-9109
 terrafirmalandarch.com

1 CONGRESS STREET

PORTSMOUTH, NH

ONE MARKET SQUARE
 LLC



Scale: 1/8" = 1'-0"
 Date: 12/22/2022
 Project Number: 1002

REVISIONS		
NO.	DESCRIPTION	DATE

SITE PLAN REVIEW

FOURTH FLOOR
 PLAN

PB.A4

COPYRIGHT © 2022



12/22/2022 12:10:14 PM\\Users\Tracy.Kozak\Documents\levit.LOCAL FILES\1MS central 2022-09-22_Tracy.kozak.rvt



3 Congress St, Ste 1
 PORTSMOUTH, NH 03801
 T 603.731.5187
 arcove.com

Ambit Engineering Inc
 Civil Engineering
 200 Griffin Rd Unit 3
 Portsmouth NH 03801
 (603) 430-9282
 ambitengineering.com

Terra Firma Landscape
 Landscape Architecture
 163a Court St
 Portsmouth NH 03801
 (603) 531-9109
 terrafirmalandarch.com

1 CONGRESS STREET

PORTSMOUTH, NH

ONE MARKET SQUARE
 LLC



Scale: 1/8" = 1'-0"
 Date: 12/22/2022
 Project Number: 1002

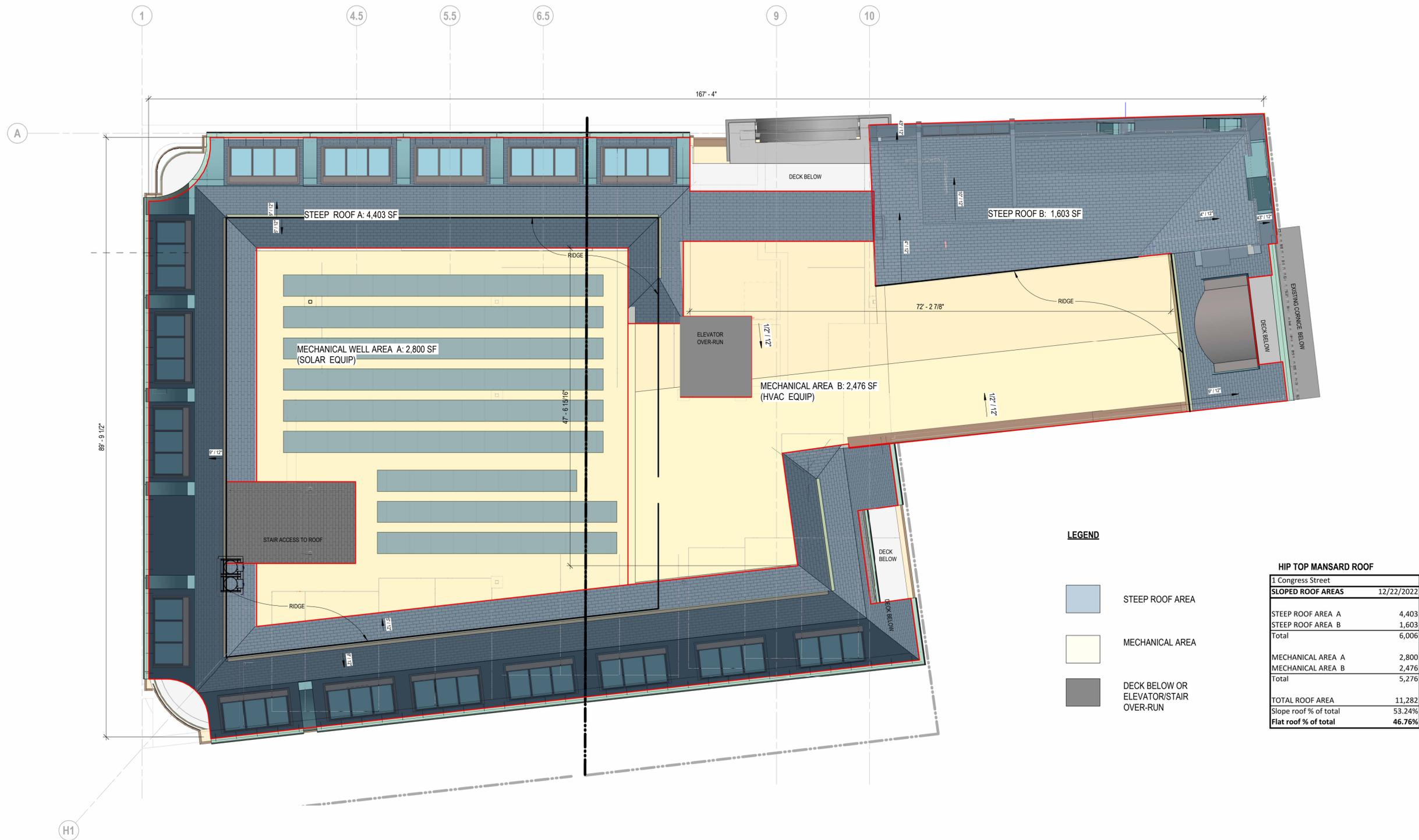
REVISIONS		
NO.	DESCRIPTION	DATE

SITE PLAN REVIEW

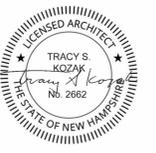
ROOF PLAN

PB.A5

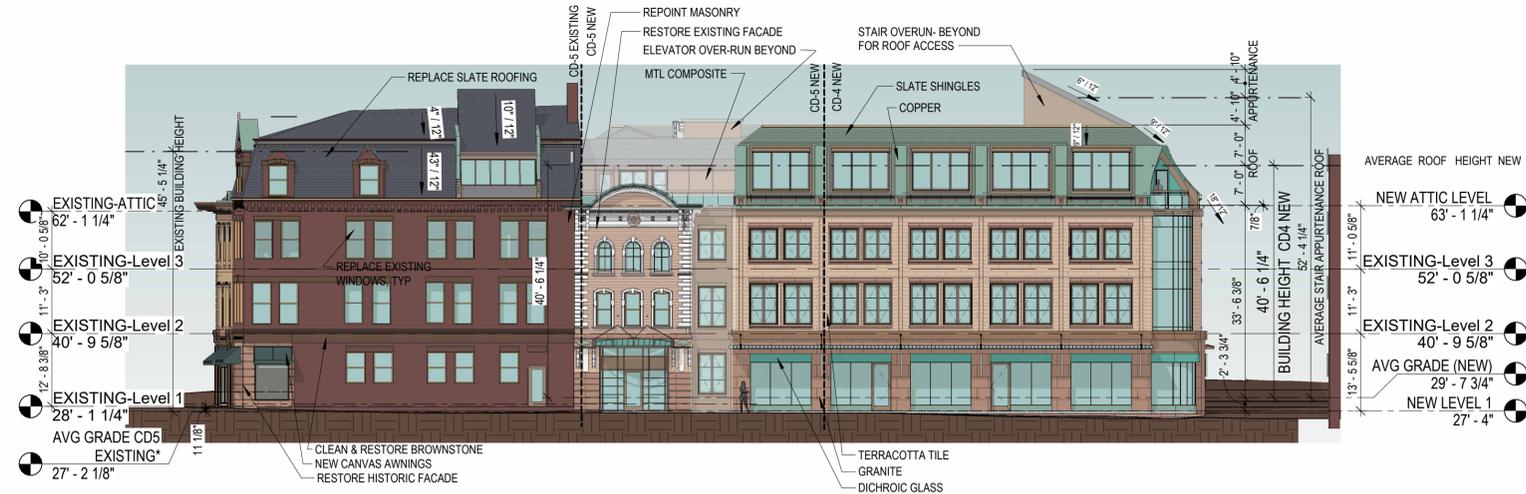
COPYRIGHT © 2022



12/22/2022 12:34:18 PM Users\Tracy.Kozak\Documents\levit.LOCAL FILES\1MS central 2022-09-22_Tracy.kozak.rvt



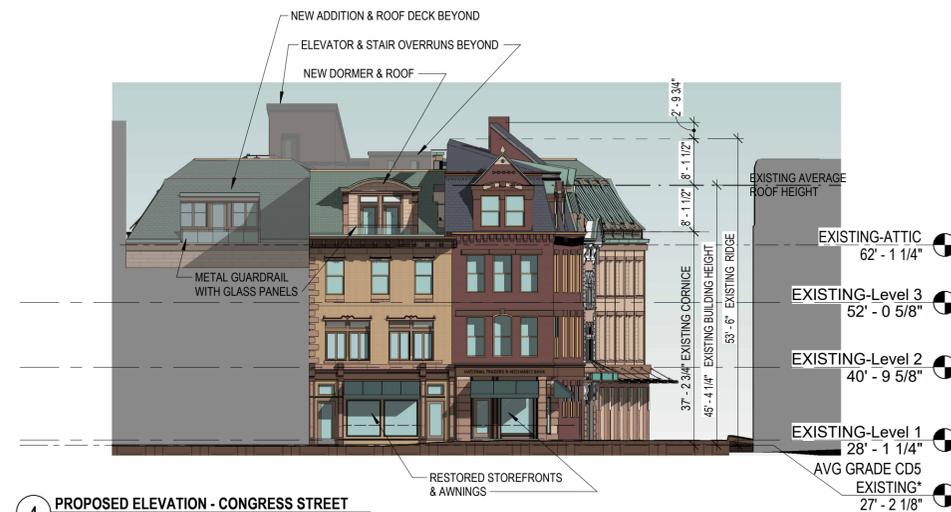
REVISIONS		
NO.	DESCRIPTION	DATE



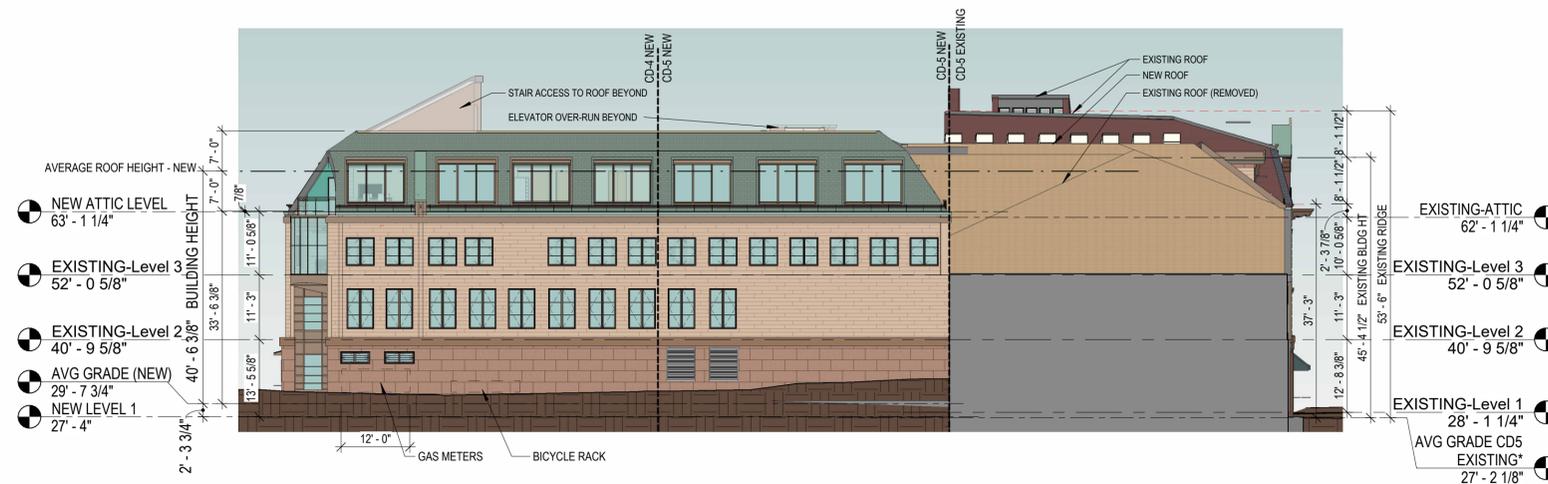
1 PROPOSED ELEVATION - NE - HIGH STREET
 1/16" = 1'-0"



2 PROPOSED ELEVATION - NW HAVEN COURT
 1/16" = 1'-0"



4 PROPOSED ELEVATION - CONGRESS STREET
 1/16" = 1'-0"



3 SW ELEVATION - REAR ALLEY PB2
 1/16" = 1'-0"



3 Congress St, Ste 1
 PORTSMOUTH, NH 03801
 T 603.731.5187
 arcove.com

Ambit Engineering Inc
 Civil Engineering
 200 Griffin Rd Unit 3
 Portsmouth NH 03801
 (603) 430-9282
 ambitengineering.com

Terra Firma Landscape
 Landscape Architecture
 163a Court St
 Portsmouth NH 03801
 (603) 531-9109
 terrafirmalandarch.com

1 CONGRESS STREET

PORTSMOUTH, NH

ONE MARKET SQUARE
 LLC



Scale: 1/4" = 1'-0"
 Date: 12/22/2022
 Project Number: 1002

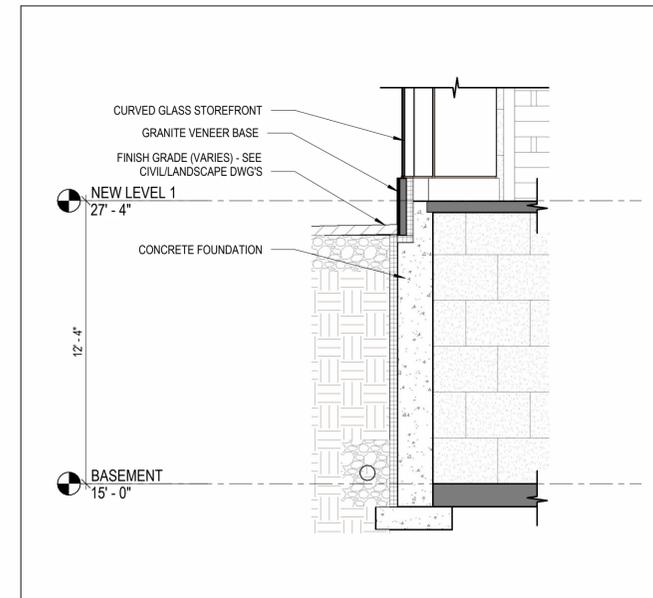
REVISIONS		
NO.	DESCRIPTION	DATE

SITE PLAN REVIEW

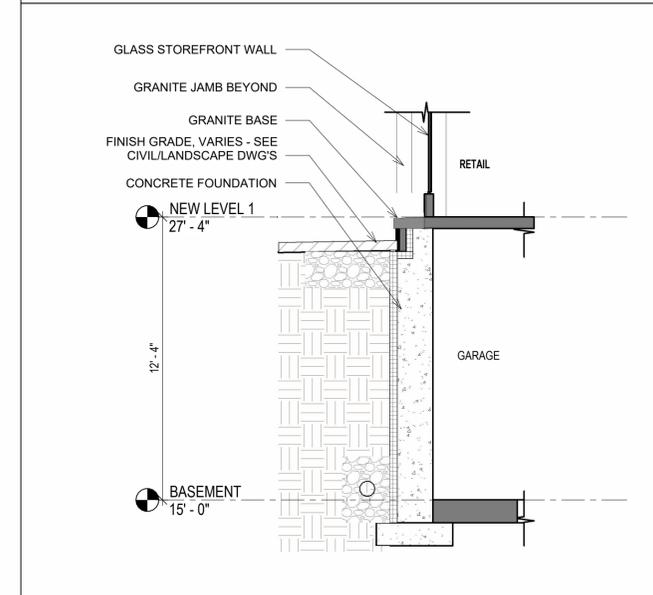
WALL SECTIONS

PB.A8

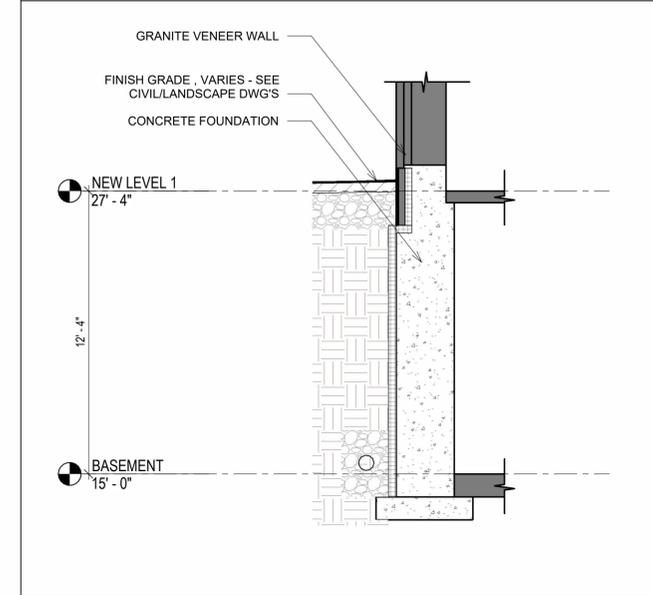
COPYRIGHT © 2022



3 CORNER-HAVEN-HIGH
 1/4" = 1'-0"



2 HIGH STREET
 1/4" = 1'-0"



1 HAVEN-COURT ST
 1/4" = 1'-0"

12/22/2022 12:37:23 PM \\Users\Tracy_Kozak\Documents\levit_LOCAL_FILES\1MS central 2022-09-22_Tracy_kozak.rvt



VIEW FROM MARKET SQUARE



VIEW FROM HIGH STREET AT LADD STREET



VIEW FROM LADD STREET



VIEW FROM HAVEN COURT AT NEWBERRY'S



3 Congress St, Ste 1
 PORTSMOUTH, NH 03801
 T 603.731.5187
 arcove.com

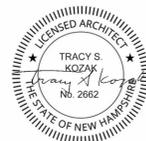
Ambit Engineering Inc
 Civil Engineering
 200 Griffin Rd Unit 3
 Portsmouth NH 03801
 (603) 430-9282
 ambitengineering.com

Terra Firma Landscape
 Landscape Architecture
 163a Court St
 Portsmouth NH 03801
 (603) 531-9109
 terrafirmalandarch.com

1 CONGRESS STREET

PORTSMOUTH, NH

ONE MARKET SQUARE
 LLC



Scale:
 Date: 12/22/2022
 Project Number: 1002

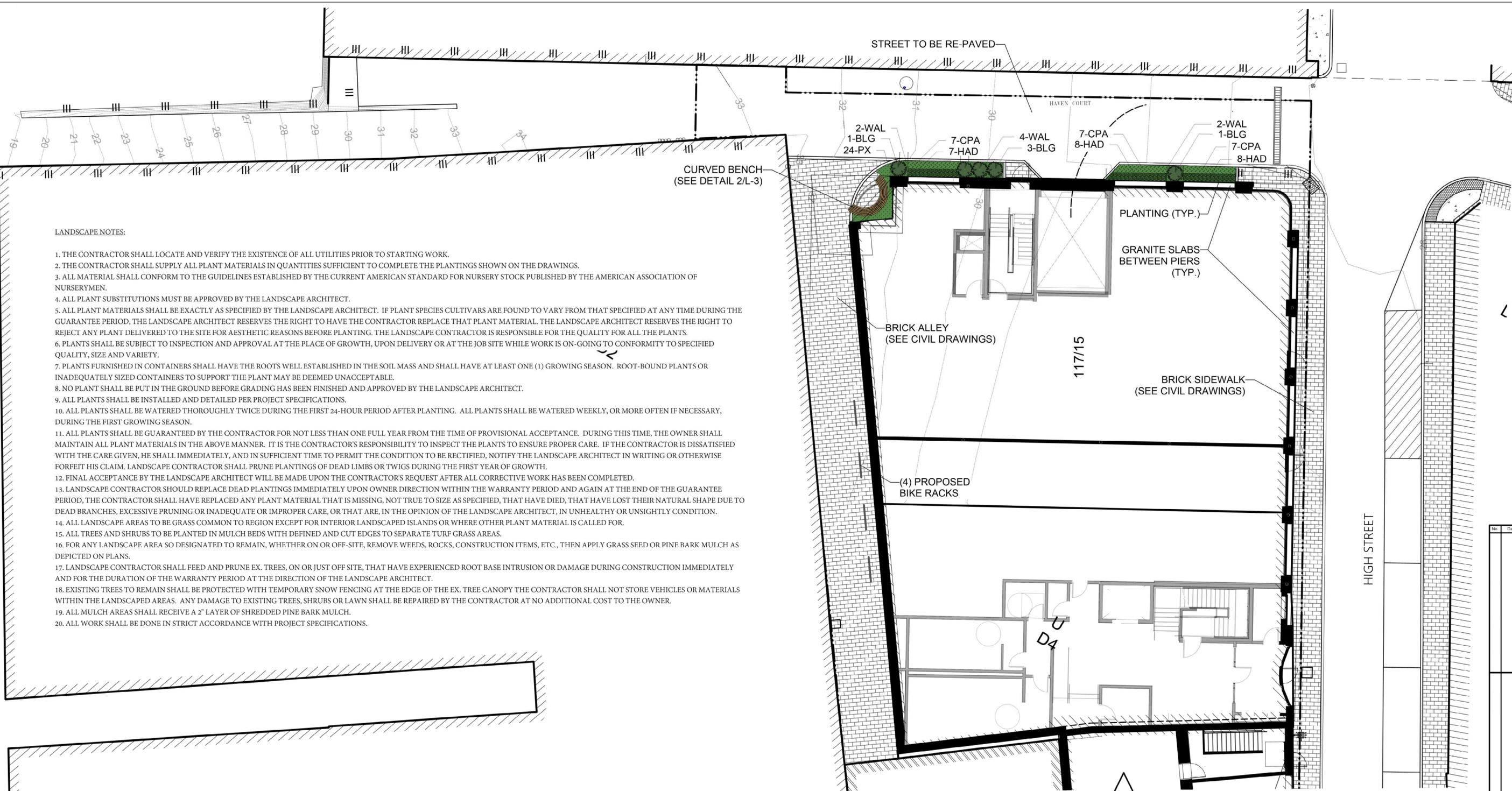
REVISIONS		
NO.	DESCRIPTION	DATE

SITE PLAN REVIEW

3D VIEWS

PB.A7

COPYRIGHT © 2022

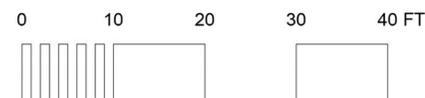


LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
3. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. ALL PLANT SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
5. ALL PLANT MATERIALS SHALL BE EXACTLY AS SPECIFIED BY THE LANDSCAPE ARCHITECT. IF PLANT SPECIES CULTIVARS ARE FOUND TO VARY FROM THAT SPECIFIED AT ANY TIME DURING THE GUARANTEE PERIOD, THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO HAVE THE CONTRACTOR REPLACE THAT PLANT MATERIAL. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT DELIVERED TO THE SITE FOR AESTHETIC REASONS BEFORE PLANTING. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE QUALITY FOR ALL THE PLANTS.
6. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ON-GOING TO CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
7. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
8. NO PLANT SHALL BE PUT IN THE GROUND BEFORE GRADING HAS BEEN FINISHED AND APPROVED BY THE LANDSCAPE ARCHITECT.
9. ALL PLANTS SHALL BE INSTALLED AND DETAILED PER PROJECT SPECIFICATIONS.
10. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
11. ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR NOT LESS THAN ONE FULL YEAR FROM THE TIME OF PROVISIONAL ACCEPTANCE. DURING THIS TIME, THE OWNER SHALL MAINTAIN ALL PLANT MATERIALS IN THE ABOVE MANNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE PLANTS TO ENSURE PROPER CARE. IF THE CONTRACTOR IS DISSATISFIED WITH THE CARE GIVEN, HE SHALL IMMEDIATELY, AND IN SUFFICIENT TIME TO PERMIT THE CONDITION TO BE RECTIFIED, NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OR OTHERWISE FORFEIT HIS CLAIM. LANDSCAPE CONTRACTOR SHALL PRUNE PLANTINGS OF DEAD LIMBS OR TWIGS DURING THE FIRST YEAR OF GROWTH.
12. FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT WILL BE MADE UPON THE CONTRACTOR'S REQUEST AFTER ALL CORRECTIVE WORK HAS BEEN COMPLETED.
13. LANDSCAPE CONTRACTOR SHOULD REPLACE DEAD PLANTINGS IMMEDIATELY UPON OWNER DIRECTION WITHIN THE WARRANTY PERIOD AND AGAIN AT THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL HAVE REPLACED ANY PLANT MATERIAL THAT IS MISSING, NOT TRUE TO SIZE AS SPECIFIED, THAT HAVE DIED, THAT HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESSIVE PRUNING OR INADEQUATE OR IMPROPER CARE, OR THAT ARE, IN THE OPINION OF THE LANDSCAPE ARCHITECT, IN UNHEALTHY OR UNSIGHTLY CONDITION.
14. ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION EXCEPT FOR INTERIOR LANDSCAPED ISLANDS OR WHERE OTHER PLANT MATERIAL IS CALLED FOR.
15. ALL TREES AND SHRUBS TO BE PLANTED IN MULCH BEDS WITH DEFINED AND CUT EDGES TO SEPARATE TURF GRASS AREAS.
16. FOR ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE, REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC., THEN APPLY GRASS SEED OR PINE BARK MULCH AS DEPICTED ON PLANS.
17. LANDSCAPE CONTRACTOR SHALL FEED AND PRUNE EX. TREES, ON OR JUST OFF SITE, THAT HAVE EXPERIENCED ROOT BASE INTRUSION OR DAMAGE DURING CONSTRUCTION IMMEDIATELY AND FOR THE DURATION OF THE WARRANTY PERIOD AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
18. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY SNOW FENCING AT THE EDGE OF THE EX. TREE CANOPY THE CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS WITHIN THE LANDSCAPED AREAS. ANY DAMAGE TO EXISTING TREES, SHRUBS OR LAWN SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
19. ALL MULCH AREAS SHALL RECEIVE A 2" LAYER OF SHREDDED PINE BARK MULCH.
20. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.

Plant List

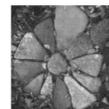
ID	Qty	Botanical Name	Common Name	Scheduled Size
BLG	5	Buxus m. 'Little Gem'	Little Gem Boxwood	3 Gal.
CPA	21	Carex appalachia	Appalachian Sedge	2 QT
HAD	23	Heuchera americana 'Dale'	Dale's Strain Coral Bells	2 QT
PX	24	Polystichum acrostichoides	Christmas Fern	2 QT
WAL	8	Waldsteinia ternata	Siberian Barren Strawberry	2 QT



PLEASE NOTE: THIS SHEET IS SCALED FOR 22 BY 34 PAPER, DO NOT REDUCE OR ENLARGE.

terra firma
landscape architecture

163 a court street - portsmouth, nh 03801
office: 603.430.8388 | terrence@terrafirmalandscape.com



No.	Date	By	Revision Notes

No.	Date	Issue Notes

terra firma landscape architecture
163 a Court Street
Portsmouth, NH 03801

ONE CONGRESS STREET

LANDSCAPE PLAN - CONCEPT

Project Manager: ONE CONGRESS STREET
Scale: 1:120

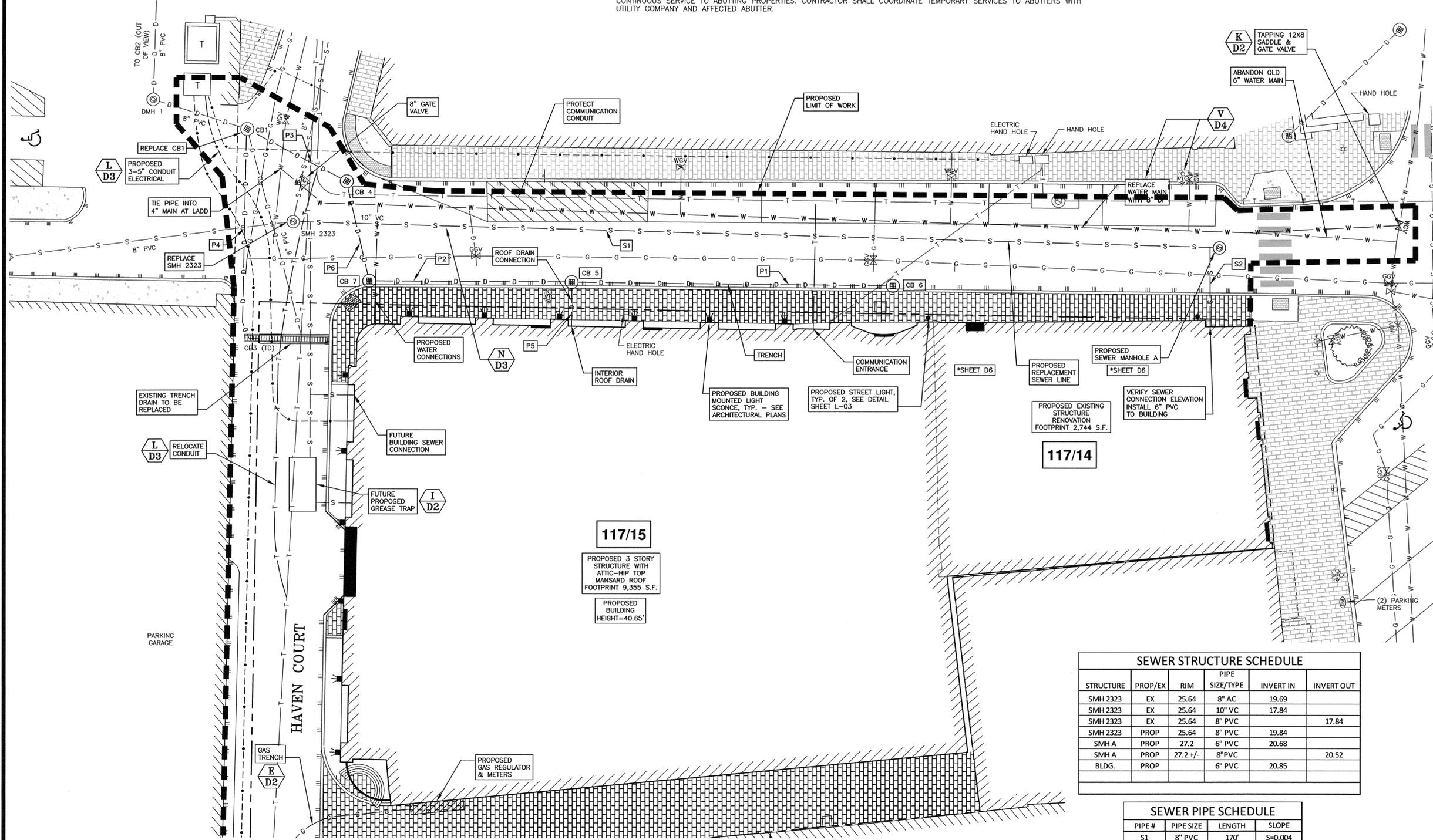
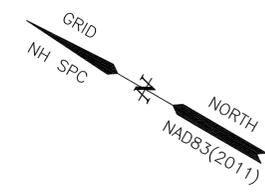
Date: 12/21/2022
Sheet: L-01 of 12

UTILITY NOTES:

- 1) SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- 2) COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.
- 3) SEE GRADING AND DRAINAGE PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
- 4) ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, POLYWRAPPED, CEMENT LINED DUCTILE IRON PIPE.
- 5) ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION AND BEFORE ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTSMOUTH.
- 6) ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- 7) ALL WORK WITHIN CITY R.O.W. SHALL BE COORDINATED WITH CITY OF PORTSMOUTH.
- 8) CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
- 9) ANY CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED BY THE CITY OF PORTSMOUTH.
- 10) EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- 11) ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- 12) THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH BUILDING DRAWINGS AND UTILITY COMPANIES.
- 13) ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- 14) ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.

UTILITY NOTES CONTINUED:

- 15) THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATED TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT.
- 16) THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED IN THESE DRAWING TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- 17) CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- 18) A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS WATER ABOVE SEWER.
- 19) SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- 20) GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
- 21) COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- 22) ALL SEWER PIPES WITH LESS THAN 6' COVER SHALL BE INSULATED.
- 23) CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- 24) CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ABUTTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH UTILITY COMPANY AND AFFECTED ABUTTER.



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-8202
Fax (603) 430-2315

NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) PROVIDE TEMPORARY WATER SERVICES TO ALL IMPACTED PROPERTIES DURING NEW WATER MAIN INSTALLATION.
- 5) PROPOSED SEWER FLOW:
1ST FLOOR: 9,355 SF RETAIL/RESTAURANT:
460-3,000 GPD
2ND FLOOR: OFFICE: 470 GPD
REMAINDER: 18 RESIDENTIAL UNITS:
3,000 GPD
TOTAL PROPOSED FLOW: 3,930-6,470 GPD

**COMMERCIAL DEVELOPMENT
ONE CONGRESS STREET
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
3	RE-DESIGN	12/20/22
2	PROPOSED ELECTRICAL & COMMS	10/27/22
1	BUILDING FOOTPRINT	10/18/22
0	ISSUED FOR COMMENT	9/6/22

REVISIONS

SCALE 1" = 10' SEPTEMBER 2022

UTILITY PLAN **C4**

STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INVERT IN	INVERT OUT
SMH 2323	EX	25.64	8" AC	19.69	
SMH 2323	EX	25.64	10" VC	17.84	
SMH 2323	EX	25.64	8" PVC		17.84
SMH 2323	PROP	25.64	8" PVC	19.84	
SMH A	PROP	27.2	6" PVC	20.68	
SMH A	PROP	27.2 +/-	8" PVC		20.52
BLDG.	PROP		6" PVC	20.85	

PIPE#	PIPE SIZE	LENGTH	SLOPE
S1	8" PVC	170'	S=0.004
S2	6" PVC	15'	S=0.01

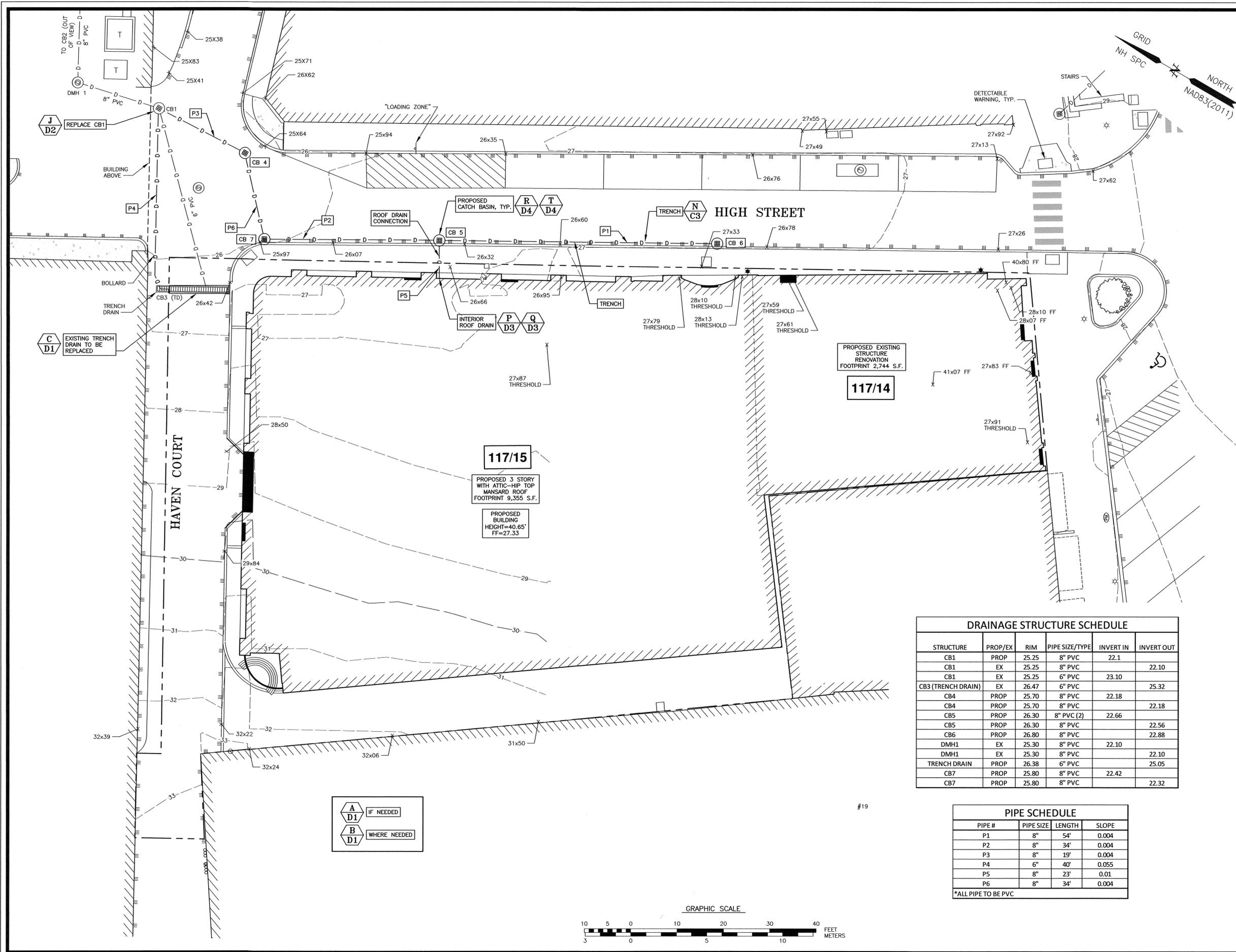


AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-8282
Fax (603) 436-2315

NOTES:

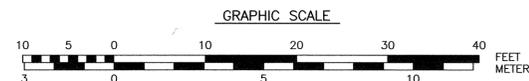
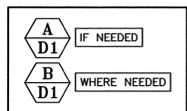
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).



DRAINAGE STRUCTURE SCHEDULE					
STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INVERT IN	INVERT OUT
CB1	PROP	25.25	8" PVC	22.1	
CB1	EX	25.25	8" PVC		22.10
CB1	EX	25.25	6" PVC	23.10	
CB3 (TRENCH DRAIN)	EX	26.47	6" PVC		25.32
CB4	PROP	25.70	8" PVC	22.18	
CB4	PROP	25.70	8" PVC		22.18
CB5	PROP	26.30	8" PVC (2)	22.66	
CB5	PROP	26.30	8" PVC		22.56
CB6	PROP	26.80	8" PVC		22.88
DMH1	EX	25.30	8" PVC	22.10	
DMH1	EX	25.30	8" PVC		22.10
TRENCH DRAIN	PROP	26.38	6" PVC		25.05
CB7	PROP	25.80	8" PVC	22.42	
CB7	PROP	25.80	8" PVC		22.32

PIPE SCHEDULE			
PIPE #	PIPE SIZE	LENGTH	SLOPE
P1	8"	54'	0.004
P2	8"	34'	0.004
P3	8"	19'	0.004
P4	6"	40'	0.055
P5	8"	23'	0.01
P6	8"	34'	0.004

*ALL PIPE TO BE PVC



COMMERCIAL DEVELOPMENT
ONE CONGRESS STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
2	REVISED	12/20/22
1	BUILDING FOOTPRINT, GRADING	10/18/22
0	ISSUED FOR COMMENT	9/6/22



SCALE 1" = 10' SEPTEMBER 2022

GRADING PLAN **C5**



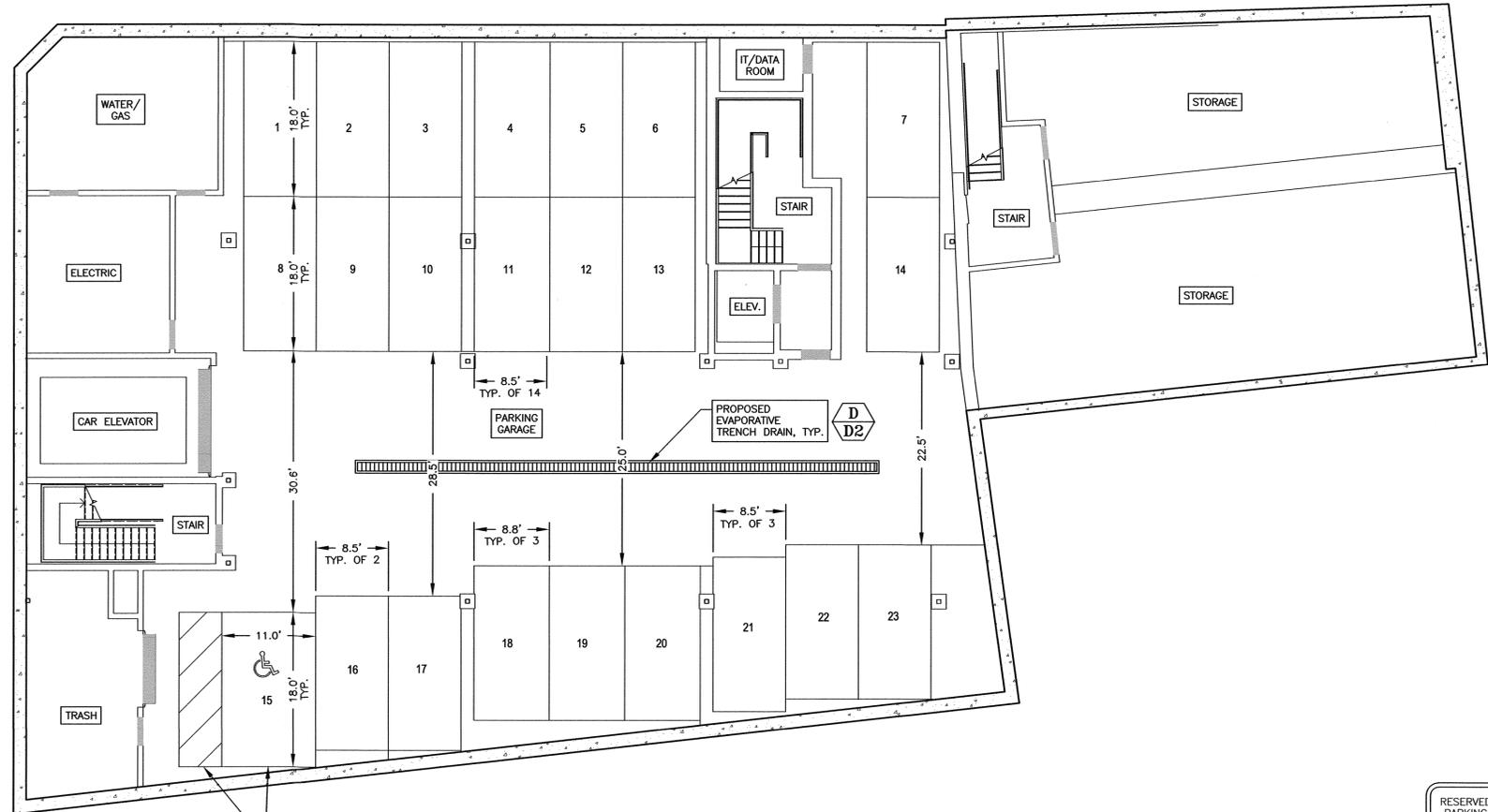
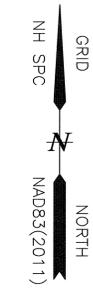
AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 117 AS LOTS 14 AND 15.
- 2) OWNER OF RECORD:
ONE MARKET SQUARE, LLC
3 PLEASANT STREET, SUITE 400
PORTSMOUTH, NH 03801
6363/31 PARCEL 1 & PARCEL 2
- 3) THE PURPOSE OF THIS PLAN IS TO SHOW THE PARKING FOR THE PROPOSED SITE DEVELOPMENT ON ASSESSORS MAP 117 AS LOTS 14 AND 15. IN THE CITY OF PORTSMOUTH.
- 4) REQUIRED PARKING:
PROPOSED USE: RETAIL, OFFICE, RESIDENTIAL.

FIRST FLOOR: EXEMPT FROM REQUIREMENT.
2ND FLOOR: OFFICE- NOT REQUIRED.
UPPER FLOORS: 18 RESIDENTIAL UNITS

REQUIRED PARKING: 27 (SEE TABLE).
DOD CREDIT: <4>
TOTAL REQUIRED: 23
PROVIDED: 23



ADA SIGNAGE AND STRIPING **1**
C6

Residential Vehicular Parking	Qty	parking per unit	parking required	parking available
units > 750 sf	16	1.30	20.80	
units 500-750 sf	1	1.00	1.00	
Units <500 sf	1	0.50	0.50	
resident units total	18		22.30	
DOD deduct			-4.00	
1 visitor space for every 5 units			3.6	
TOTAL			21.90	23.00

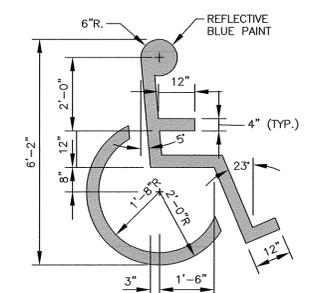
Unit NO.	BR's	SF	parking/unit	parking available
301	2	1,067	1.3	
302	1	885	1.3	
303	1	925	1.3	
304	1	574	1.0	
305	1	1,014	1.3	
306	1	986	1.3	
307	1	982	1.3	
308	1	913	1.3	
309	2	1,324	1.3	
401	2	946	1.3	
402	1	851	1.3	
403	1	894	1.3	
404	st	343	0.5	
405	1	1,023	1.3	
406	1	838	1.3	
407	1	894	1.3	
408	1	906	1.3	
409	2	1,200	1.3	
resident units total		16,565	22.3	
DOD deduct			-4.0	
1 visitor space for every 5 units			3.6	
TOTAL parking			21.90	23

Bicycle Parking	
One space for every 5 units	3.6
TOTAL required, rounded up	4



R7-8a
12" x 18"
SIGN ON POST
EACH SPACE SHALL HAVE THIS SIGN DISPLAYED PER ADA CODE

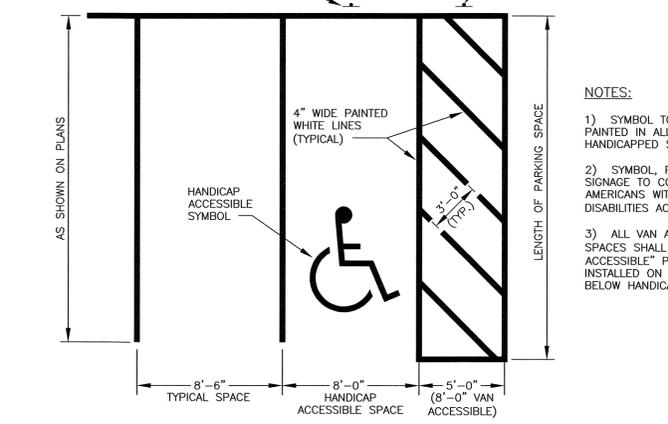
SIGNAGE
LEGEND SYMBOL



K-4438
12" x 18"
SIGN ON POST

SIGNAGE

PROVIDE SIGN (PER ADA CODE) AT EACH HANDICAP ACCESSIBLE SPACE
HANDICAP ACCESS AISLE NO PARKING SIGN

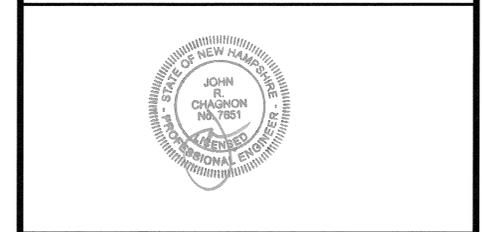


NOTES:

- 1) SYMBOL TO BE PAINTED IN ALL HANDICAPPED SPACES.
- 2) SYMBOL, PAINT AND SIGNAGE TO CONFORM TO AMERICANS WITH DISABILITIES ACT (ADA).
- 3) ALL VAN ACCESSIBLE SPACES SHALL HAVE "VAN ACCESSIBLE" PLATE INSTALLED ON SIGN POST BELOW HANDICAP SIGN.

COMMERCIAL DEVELOPMENT
ONE CONGRESS STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	BUILDING FOOTPRINT	10/18/22
0	ISSUED FOR COMMENT	9/6/22

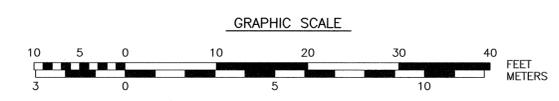


SCALE 1" = 10' SEPTEMBER 2022

PARKING LEVEL PLAN **C6**

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____



1
C6 HANDICAP PARKING DETAIL
NTS

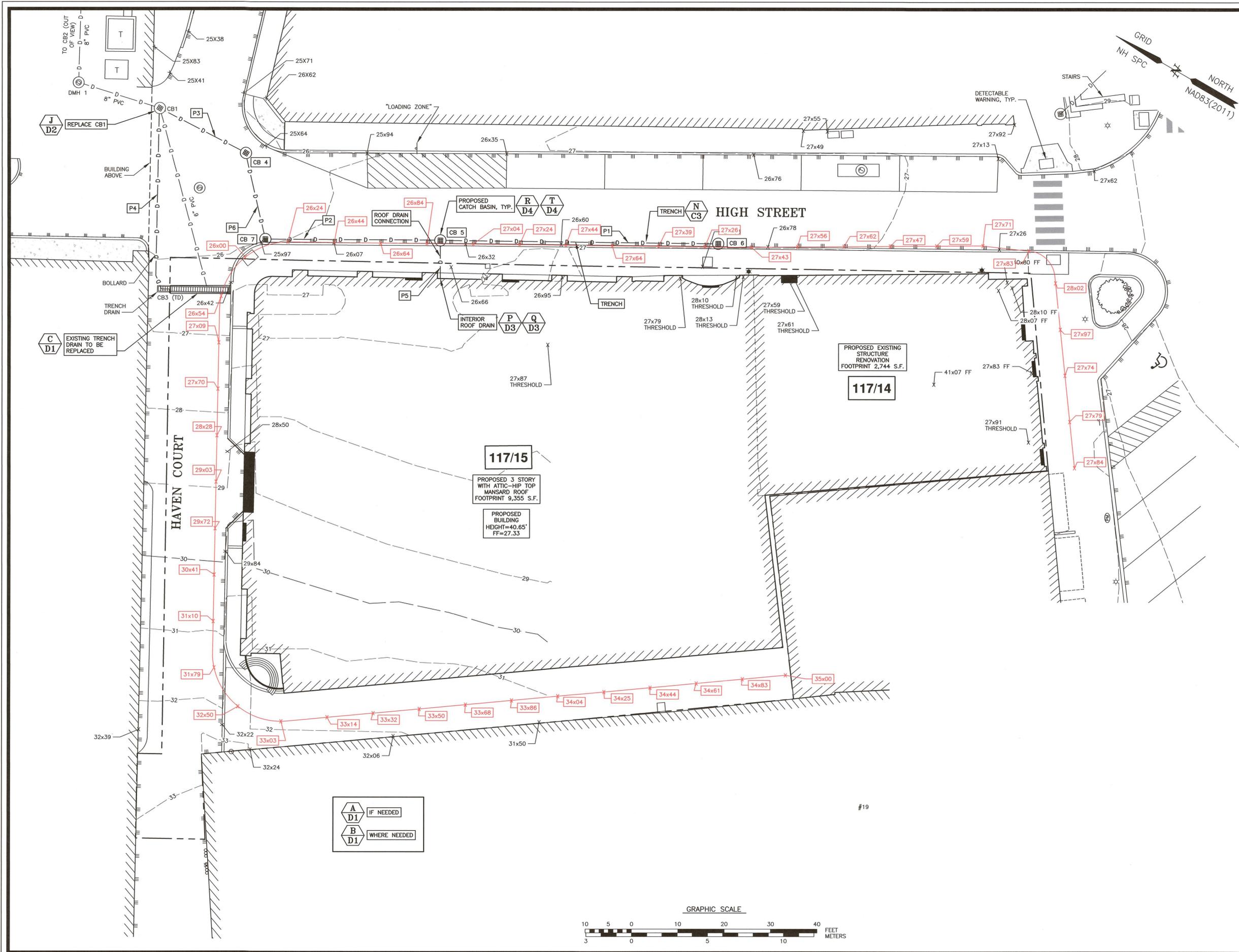


AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2316

NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).



COMMERCIAL DEVELOPMENT
ONE CONGRESS STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
2	REVISED	12/20/22
1	BUILDING FOOTPRINT, GRADING	10/18/22
0	ISSUED FOR COMMENT	9/6/22



SCALE 1" = 10' SEPTEMBER 2022

AVERAGE GRADE PLANE

C7

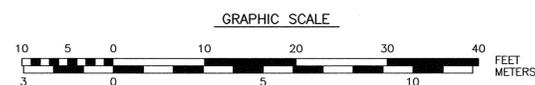
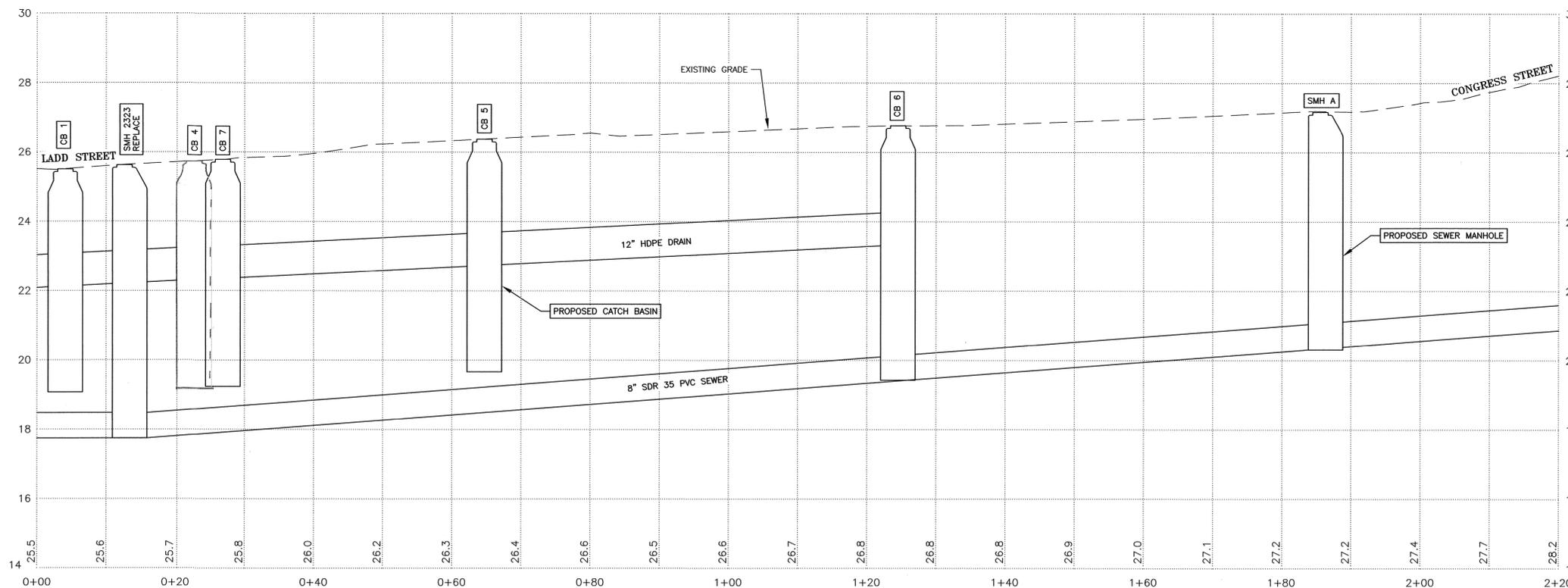
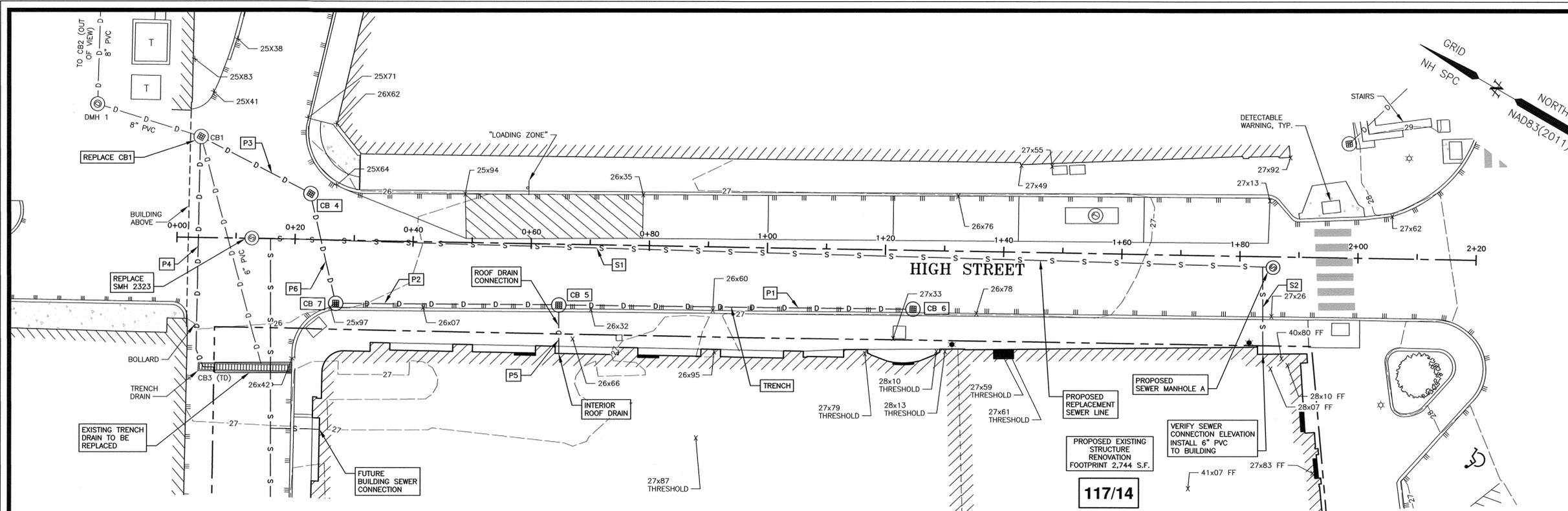


AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-8282
Fax (603) 436-2315

NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).



SCALE: 1" = 10' (HOR.)
1" = 2' (VERT.)

**COMMERCIAL
DEVELOPMENT
ONE CONGRESS STREET
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
1	REVISED	12/20/22
0	ISSUED FOR COMMENT	12/14/22

REVISIONS



SCALE H:1"=10' V:1"=2' NOVEMBER 2021

PLAN & PROFILE

P1

EROSION CONTROL NOTES

CONSTRUCTION SEQUENCE

DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

IF REQUIRED THE CONTRACTOR SHALL OBTAIN AN NPDES PHASE II STORMWATER PERMIT AND SUBMIT A NOTICE OF INTENT (N.O.I.) BEFORE BEGINNING CONSTRUCTION AND SHALL HAVE ON SITE A STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) AVAILABLE FOR INSPECTION BY THE PERMITTING AUTHORITY DURING THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARRYING OUT THE S.W.P.P.P. AND INSPECTING AND MAINTAINING ALL BMP'S CALLED FOR BY THE PLAN. THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION (N.O.T.) FORM TO THE REGIONAL EPA OFFICE WITHIN 30 DAYS OF FINAL STABILIZATION OF THE ENTIRE SITE OR TURNING OVER CONTROL OF THE SITE TO ANOTHER OPERATOR.

THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT SHALL BE FOLLOWED AS PART OF THIS PROJECT:

- OBSERVATIONS OF THE PROJECT FOR COMPLIANCE WITH THE SWPPP SHALL BE MADE BY THE CONTRACTOR AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25 INCHES OR GREATER;
- AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED TO THE ENGINEER, THE OWNER, AND THE CONTRACTOR;
- A REPRESENTATIVE OF THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES;
- IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.

INSTALL PERIMETER CONTROLS, I.E., SILT/SOXX AND CATCH BASIN PROTECTION AROUND THE LIMITS OF DISTURBANCE BEFORE ANY EARTH MOVING OPERATIONS. THE USE OF HAYBALES IS NOT ALLOWED.

THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE(S) PRIOR TO ANY EXCAVATION ACTIVITIES. PLACE FODS AS NEEDED.

CUT AND GRUB ALL TREES, SHRUBS, SAPLINGS, BRUSH, VINES AND REMOVE OTHER DEBRIS AND RUBBISH AS REQUIRED. DEMOLISH BUILDINGS AND FENCES AS NEEDED. REMOVE WALL AND STORE.

ROUGH GRADE SITE.

LAYOUT AND INSTALL ALL BURIED UTILITIES AND SERVICES UP TO 10' OF THE PROPOSED BUILDING FOUNDATIONS. CAP AND MARK TERMINATIONS OR LOG SWING TIES.

CONSTRUCT BUILDING.

CONNECT UTILITIES.

PLACE BINDER LAYER OF PAVEMENT FOR SIDEWALKS.

PLANT LANDSCAPING IN AREAS OUT OF WAY OF BUILDING CONSTRUCTION. PREPARE AND STABILIZE FINAL SITE GRADING BY ADDING TOPSOIL, SEED, MULCH AND FERTILIZER.

AFTER BUILDINGS ARE COMPLETED, FINISH ALL REMAINING LANDSCAPED WORK.

CONSTRUCT SIDEWALKS.

REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF A BUILDING REDEVELOPMENT WITH ASSOCIATED UTILITIES AND PARKING.

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 0.370 ACRES.

BASED ON THE USCS WEB SOIL SURVEY THE SOILS ON SITE CONSIST OF URBAN LAND WHICH HAS AN UNSPECIFIED HYDROLOGIC SOIL GROUP RATING, ASSUMED D.

THE STORMWATER RUNOFF FROM THE SITE WILL BE DISCHARGED VIA A CLOSED DRAINAGE SYSTEM TO THE CITY OF PORTSMOUTH CLOSED DRAINAGE SYSTEM WHICH ULTIMATELY FLOWS TO THE PISCATAQUA RIVER.

GENERAL CONSTRUCTION NOTES

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" OF THE NHDOT, AND "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE". THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR MORE THAN 45 DAYS.

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

DUST CONTROL: DUST CONTROL MEASURES SHALL INCLUDE BUT ARE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING.

DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ADJACENT AREAS.
IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING, DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

SILT/SOXX SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILT/SOXX SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.

ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.

ALL NON-STRUCTURAL, SITE-FILL SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED.

FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL, TRASH, WOODY DEBRIS, LEAVES, BRUSH OR ANY DELETERIOUS MATTER SHALL NOT BE INCORPORATED INTO FILLS.

FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.

DURING CONSTRUCTION AND UNTIL ALL DEVELOPED AREAS ARE FULLY STABILIZED, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH ONE HALF INCH OF RAINFALL.

THE CONTRACTOR SHALL MODIFY OR ADD EROSION CONTROL MEASURES AS NECESSARY TO ACCOMMODATE PROJECT CONSTRUCTION.

ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL CUT AND FILL SLOPES SHALL BE SEEDDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
- BASE COURSE GRAVELS HAVE BEEN INSTALLED ON AREAS TO BE PAVED
- A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
- A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED
- EROSION CONTROL BLANKETS HAVE BEEN INSTALLED.
- IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2 HAVE BEEN INSTALLED.

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA.

STABILIZATION MEASURES TO BE USED INCLUDE:
- TEMPORARY SEEDING;
- MULCHING.

- ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN THESE AREAS, SILT/SOXX, MULCH BERMS, HAY BALE BARRIERS AND ANY EARTH/DIKES SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.
- DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT/SOXX, MULCH BERMS, HAY BALE BARRIERS, OR SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY OCTOBER 15.

MAINTENANCE AND PROTECTION

THE SILT/SOXX BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

SILT/SOXX SHALL BE REMOVED ONCE SITE IS STABILIZED, AND DISTURBED AREAS RESULTING FROM SILT/SOXX REMOVAL SHALL BE PERMANENTLY SEEDDED.

THE CATCH BASIN INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

WINTER NOTES

ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS;

AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT;

STOCKPILES

- LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND CULVERTS.
- ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.
- PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.
- PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.

CONCRETE WASHOUT AREA

THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE:

- THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY;
- IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER;
- CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAST 150 FEET AWAY FROM STORM DRAINS, SWALES AND SURFACE WATERS OR DELINEATED WETLANDS;
- INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.

ALLOWABLE NON-STORMWATER DISCHARGES

- FIRE-FIGHTING ACTIVITIES;
- FIRE HYDRANT FLUSHING;
- WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED;
- WATER USED TO CONTROL DUST;
- POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHING;
- ROUTINE EXTERNAL BUILDING WASH DOWN WHERE DETERGENTS ARE NOT USED;
- PAVEMENT WASH WATERS WHERE DETERGENTS ARE NOT USED;
- UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATION;
- UNCONTAMINATED GROUND WATER OR SPRING WATER;
- FOUNDATION OR FOOTING DRAINS WHICH ARE UNCONTAMINATED;
- UNCONTAMINATED EXCAVATION DEWATERING;
- LANDSCAPE IRRIGATION.

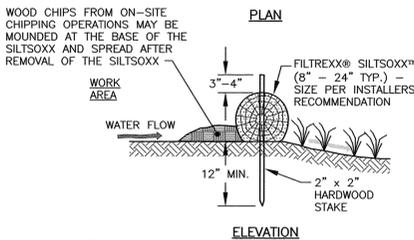
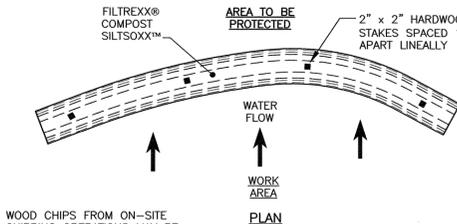
WASTE DISPOSAL

- WASTE MATERIALS
- ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN A DUMPSTER;
- NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE;
- ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
- HAZARDOUS WASTE
- ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER;
- SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
- SANITARY WASTE
- ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

BLASTING NOTES

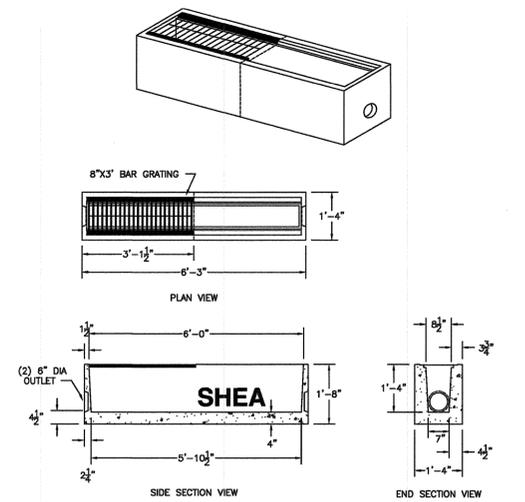
- CONTRACTOR SHALL CONTACT THE NHDES AND/OR LOCAL JURISDICTION PRIOR TO COMMENCING ANY BLASTING ACTIVITIES.
- FOR ANY PROJECT FOR WHICH BLASTING OF BEDROCK IS ANTICIPATED, THE APPLICANT SHALL SUBMIT A BLASTING PLAN THAT IDENTIFIES:
- WHERE THE BLASTING ACTIVITIES ARE ANTICIPATED TO OCCUR;
- THE ESTIMATED QUANTITY OF BLAST ROCK IN CUBIC YARDS; AND
- SITE-SPECIFIC BLASTING BEST MANAGEMENT PRACTICES.

NOTE: THAT HIGH STREET SHALL BE SWEEPED DAILY DURING THE EXCAVATION PHASE OF THE BUILDING CONSTRUCTION.



NOTES:

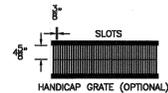
- ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
- FILTREXX SYSTEM SHALL BE INSTALLED BY A CERTIFIED FILTREXX INSTALLER.
- THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTRATION SYSTEM IN A FUNCTIONAL CONDITION AT ALL TIMES. IT WILL BE ROUTINELY INSPECTED AND REPAIRED WHEN REQUIRED.
- SILT/SOXX DEPICTED IS FOR MINIMUM SLOPES, GREATER SLOPES MAY REQUIRE ADDITIONAL PLACEMENTS.
- THE COMPOST FILTER MATERIAL WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER.



ITEM NO.	TD6 6' SECTION	TD3 3' SECTION	WEIGHT
	1,315#	711#	

NOTES:

- CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
- AVAILABLE IN 3' AND 6' SECTIONS.
- AVAILABLE IN END, MIDDLE, OR CLOSED SECTIONS.
- DESIGNED FOR ASHTO HS-20 LOADING.



SHEA PRODUCT ID: TD3/TD6
TRENCH DRAIN 8"x16"
WEIGHT (LBS): 711#/1,315#



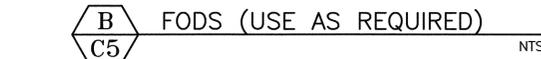
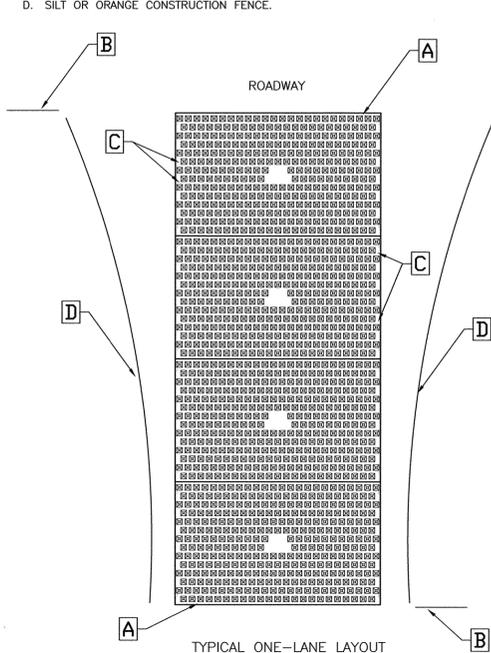
FODS TRACKOUT CONTROL SYSTEM

INSTALLATION:

THE PURPOSE AND DESIGN OF THE FODS TRACKOUT CONTROL SYSTEM IS TO EFFECTIVELY REMOVE MOST SEDIMENT FROM VEHICLE TIRES AS THEY EXIT A DISTURBED LAND AREA ONTO A PAVED STREET. THIS MANUAL IS A PLATFORM FROM WHICH TO INSTALL A FODS TRACKOUT CONTROL SYSTEM. (NOTE: THIS IS NOT A ONE SIZE FITS ALL GUIDE.) THE INSTALLATION MAY NEED TO BE MODIFIED TO MEET THE EXISTING CONDITIONS, EXPECTATIONS, OR DEMANDS OF A PARTICULAR SITE. THIS IS A GUIDELINE. ULTIMATELY THE FODS TRACKOUT CONTROL SYSTEM SHOULD BE INSTALLED SAFELY WITH PROPER ANCHORING AND SIGNS PLACED AT THE ENTRANCE AND EXIT TO CAUTION USERS AND OTHERS.

KEY NOTES:

- FODS TRACKOUT CONTROL SYSTEM MAT.
- FODS SAFETY SIGN.
- ANCHOR POINT.
- SILT OR ORANGE CONSTRUCTION FENCE.



AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.

2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

4) HIGH AND LADD STREETS SHALL BE SWEEPED DAILY DURING EXCAVATION PHASE OF THE BUILDING CONSTRUCTION.

COMMERCIAL DEVELOPMENT ONE CONGRESS STREET PORTSMOUTH, N.H.

2	UPDATED FOR URBAN AREAS	12/19/22
1	DETAIL C	10/18/22
0	ISSUED FOR COMMENT	9/6/22
NO.	DESCRIPTION	DATE
REVISIONS		



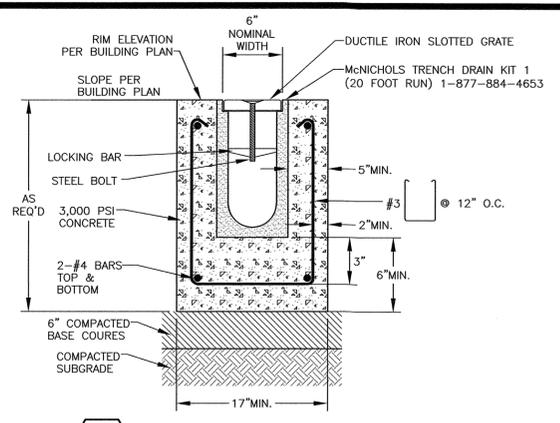
SCALE: AS SHOWN SEPTEMBER 2022

EROSION PROTECTION NOTES AND DETAILS

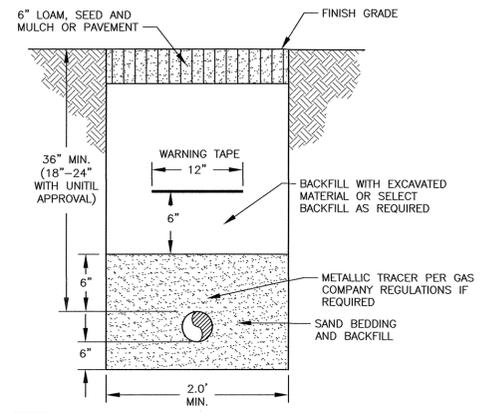
D1

NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

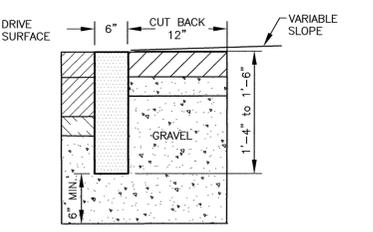


D TRENCH DRAIN DETAIL
C6 EVAPORATIVE NTS

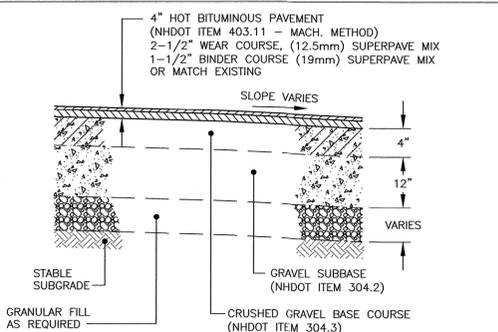


E GAS SERVICE TRENCH
C4 NTS

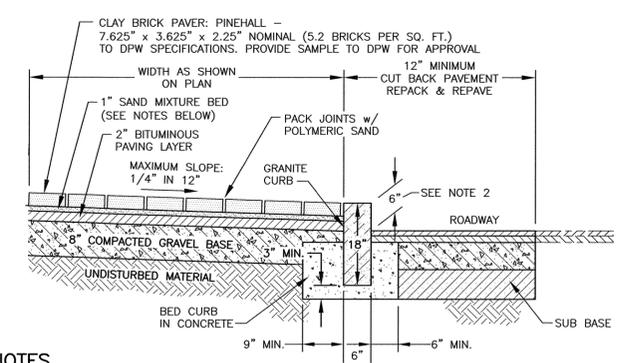
MIN. LENGTH OF CURB STONES 3FT.
 MAX. LENGTH OF CURB STONES 10FT.
 MAX. LENGTH OF STRAIGHT CURB STONES LAID ON CURVES SEE CHART
 NOTE: ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATE LENGTH.



F FLUSHED GRANITE CURB
C3 NTS



G TYPICAL PAVEMENT CROSS-SECTION
 AS NEEDED NTS



CONSTRUCTION NOTE:
 EXISTING GRANITE CURB DISTURBED BY CONSTRUCTION SHALL BE REUSED AND ANY MISSING CURB SHALL BE REPLACED WITH NEW CURB MATCHING EXISTING CURB SIZE. NO CURB LESS THAN 3' IN LENGTH WILL BE ALLOWED.

BRICK PAVEMENT NOTES

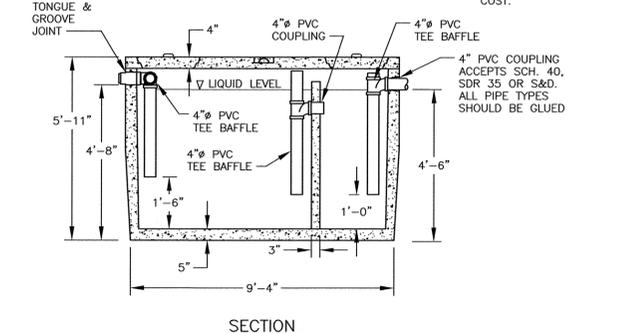
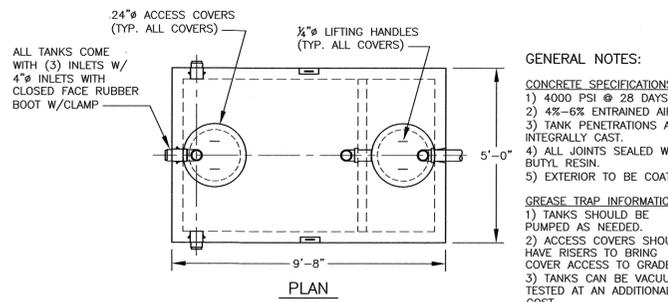
SCOPE OF WORK:

- 1) THE WORK SHALL CONSIST OF CONSTRUCTING/RECONSTRUCTING THE SUB-BASE AND CONSTRUCTING A NEW BRICK SIDEWALK AS DIRECTED IN THE FIELD BY THE ENGINEER.
- 2) REVEAL SHALL BE AS SHOWN ON PROPOSED GRADING PLAN. (COORDINATE WITH PORTSMOUTH DPW).

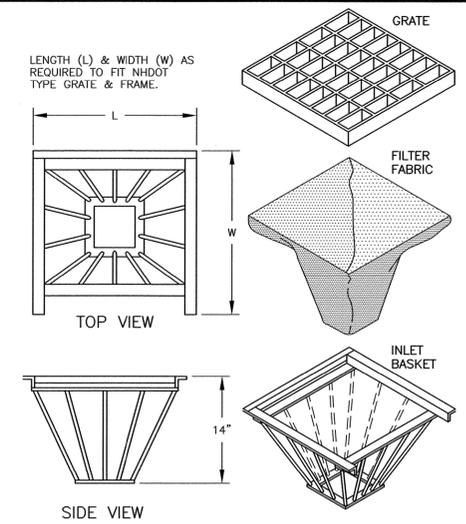
METHODS OF CONSTRUCTION:

- A) ALL LABOR AND MATERIALS SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 608, AND CITY OF PORTSMOUTH SPECIFICATIONS FOR NEW BRICK SIDEWALK, SECTION 6.
- B) ALL BRICKS SHALL CONFORM TO THE REQUIREMENTS OF ASTM STANDARD SPECIFICATIONS FOR BUILDING BRICKS: CLASS SX, TYPE 1, APPLICATION PX. THE BRICKS SHALL BE NO. 1, WIRE CUT TYPE FOR PAVING, WITH A COMPRESSIVE STRENGTH OF NOT LESS THAN 6,000 POUNDS PER SQUARE INCH. THE BRICKS SHALL NOT BE CORED OR HAVE FROGS AND SHALL BE OF A STANDARD SIZE (2.25" x 3.625" x 7.625").
- C) EXCAVATION FOR SIDEWALKS SHALL BE AT A DEPTH OF 10 INCHES BELOW FINISH GRADE. IN AREAS NOT BUTTING CURBING OR BUILDINGS, THE EXCAVATION SHALL BE 6 INCHES WIDER THAN THE FINISHED SIDEWALK WIDTH. AT ALL DRIVE CROSSINGS, THE DEPTH OF EXCAVATION SHALL BE INCREASED ACCORDINGLY. THE CONTRACTOR SHALL PROVIDE NEAT AND SQUARE CUTTING OF EXISTING ASPHALT ROAD SURFACE AS NEEDED. ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT THE CONTRACTOR'S OWN EXPENSE.
- D) THE BASE MATERIAL SHALL CONSIST OF A MIXTURE OF STONES OR ROCK FRAGMENTS AND PARTICLES WITH 100% PASSING THE 3 INCH SIEVE, 95% TO 100% PASSING THE 2 INCH SIEVE, 55% TO 85% PASSING THE 1 INCH SIEVE, AND 27% TO 52% PASSING THE NO. 4 SIEVE. AT LEAST 50% OF THE MATERIALS RETAINED ON THE 1 INCH SIEVE SHALL HAVE A FRACTURED FACE. THE BASE MATERIAL SHALL BE THOROUGHLY COMPACTED TO THE DEPTH SPECIFIED OR DIRECTED. IN THE WAY OF ALL DRIVE CROSSINGS THE BASE WILL BE INCREASED TO A COMPACTED DEPTH OF 12 INCHES. GRAVEL REQUIREMENTS FOR RECONSTRUCTION WILL BE AS DIRECTED, BASED ON SITE CONDITIONS. THE WORK INCLUDES BACKING UP ANY AND ALL CURB BEING INSTALLED BY OTHERS ON BOTH SIDES.
- E) THE CLAY BRICK PAVERS SHALL BE LAID IN A 1 INCH BED OF A SAND MIXTURE COMPRISED OF: 3 PARTS SAND MIXED WITH 1 PART PORTLAND CEMENT.
- F) THE CONTRACTOR SHALL LAY THE BRICKS SO THAT APPROXIMATELY 5.2 BRICKS SHALL COVER ONE SQUARE FOOT.
- G) THE SIDEWALK SHALL PITCH TOWARDS THE STREET AS SHOWN ON THE GRADING PLAN.
- H) IN AREAS WHERE THE FRONT OF THE BRICK SIDEWALK IS NOT ADJACENT TO GRANITE CURBING, THE CONTRACTOR SHALL INSTALL EDGING TO HOLD THE BRICKS IN PLACE. SUCH EDGING SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- I) THE CONTRACTOR SHALL SUBMIT A SAMPLE OF THE BRICKS FOR APPROVAL BY THE CITY BEFORE BRICKS ARE INSTALLED.

H BRICK SIDEWALK w/ VERTICAL GRANITE CURB
 (STONE DUST BEDDING OVER BITUMINOUS PAVING) NTS

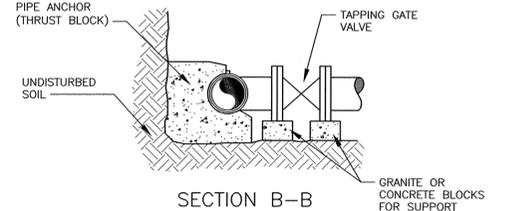
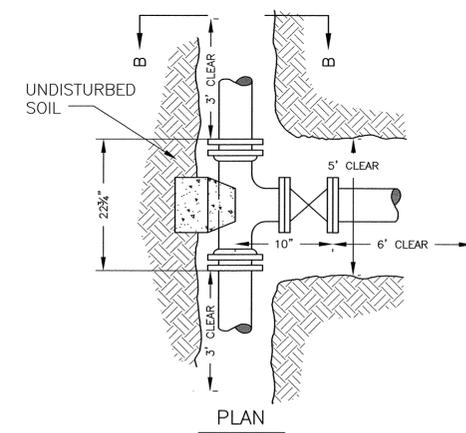


I SHEA CONCRETE
C4 1000 GALLON 2 COMP. GREASE TRAP NTS
 14,825 Lbs
 ITEM # M1000H
 H2O LOAD RATED



- 1) INLET BASKETS SHALL BE INSTALLED IMMEDIATELY AFTER CATCH BASIN CONSTRUCTION IS COMPLETE AND SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL PAVEMENT BINDER COURSE IS COMPLETE.
- 2) FILTER FABRIC SHALL BE PUSHED DOWN AND FORMED TO THE SHAPE OF THE BASKET. THE SHEET OF FABRIC SHALL BE LARGE ENOUGH TO BE SUPPORTED BY THE BASKET FRAME WHEN HOLDING SEDIMENT AND, SHALL EXTEND AT LEAST 6" PAST THE FRAME. THE INLET GRATE SHALL BE PLACED OVER THE BASKET/FRAME AND WILL SERVE AS THE FABRIC ANCHOR.
- 3) THE FILTER FABRIC SHALL BE A GEOTEXTILE FABRIC, POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE, OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:
 -RAB STRENGTH: 45 LB. MIN. IN ANY PRINCIPAL DIRECTION (ASTM D1682)
 -MULLEN BURST STRENGTH: MIN. 60 psi (ASTM D774)
- 4) THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVE AND A MINIMUM PERMEABILITY OF 120 gpm/s.f. (MULTIPLY THE PERMITIVITY IN SEC.-1 FROM ASTM 54491-85 CONSTANT HEAD TEST USING THE CONVERSION FACTOR OF 74.)
- 5) THE INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING.
- 6) SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

J CATCH BASIN INLET BASKET
C5 NTS



- NOTES:**
- 1) ALL MATERIALS SHALL BE APPROVED BY THE PORTSMOUTH WATER DEPARTMENT PRIOR TO INSTALLATION AND USE.
 - 2) ALL JOINTS SHALL BE MECHANICAL.
 - 3) "CLEAR" DIMENSIONS SHOWN ARE REQUIRED FOR WORKSPACE.
 - 4) NO JOINTS ON PIPE BEING TAPPED WITHIN "CLEAR" AREA.
 - 5) FORD TYPE STAINLESS STEEL TAPPING SADDLES OR APPROVED EQUAL ARE ALSO ACCEPTABLE.

K TAPPING SLEEVE AND GATE
C4 INSTALL PER PORTSMOUTH REQUIREMENTS NTS

COMMERCIAL DEVELOPMENT
ONE CONGRESS STREET
PORTSMOUTH, N.H.

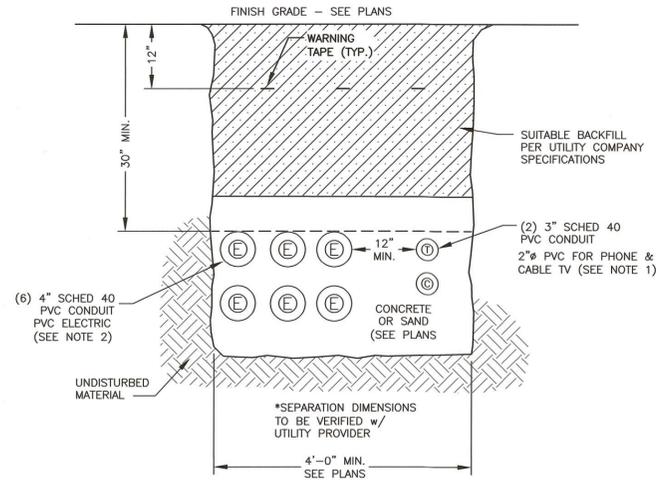
NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	9/6/22
REVISIONS		



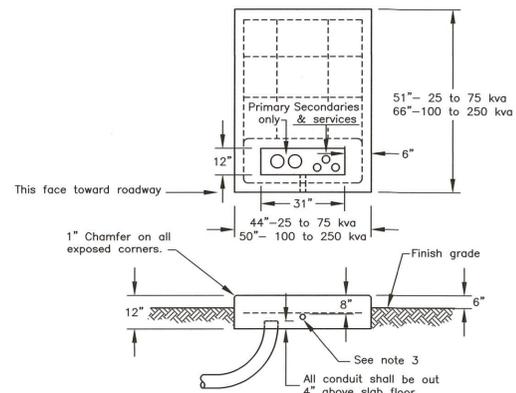
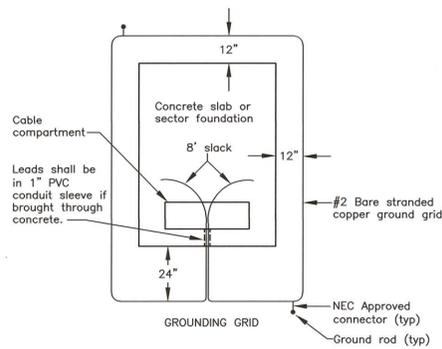
SCALE: AS SHOWN SEPTEMBER 2022

DETAILS **D2**

- NOTES:
- 1) ALL CONDUIT TO BE U.L. LISTED, SCH. 80 UNDER ALL TRAVEL WAYS, & SCHED. 40 FOR THE REMAINDER.
 - 2) NORMAL CONDUIT SIZES FOR PSNH ARE 3 INCH FOR SINGLE PHASE PRIMARY AND SECONDARY VOLTAGE CABLES, 4 INCH FOR THREE PHASE SECONDARY, AND 5 INCH FOR THREE PHASE PRIMARY.
 - 3) ALL WORK TO CONFORM TO THE NATIONAL ELECTRICAL CODE (LATEST REVISION)
 - 4) INSTALL A 200# PULL ROPE FOR EACH CONDUIT
 - 5) VERIFY ALL CONDUIT SPECIFICATIONS WITH UTILITY COMPANY'S PRIOR TO ANY CONSTRUCTION.

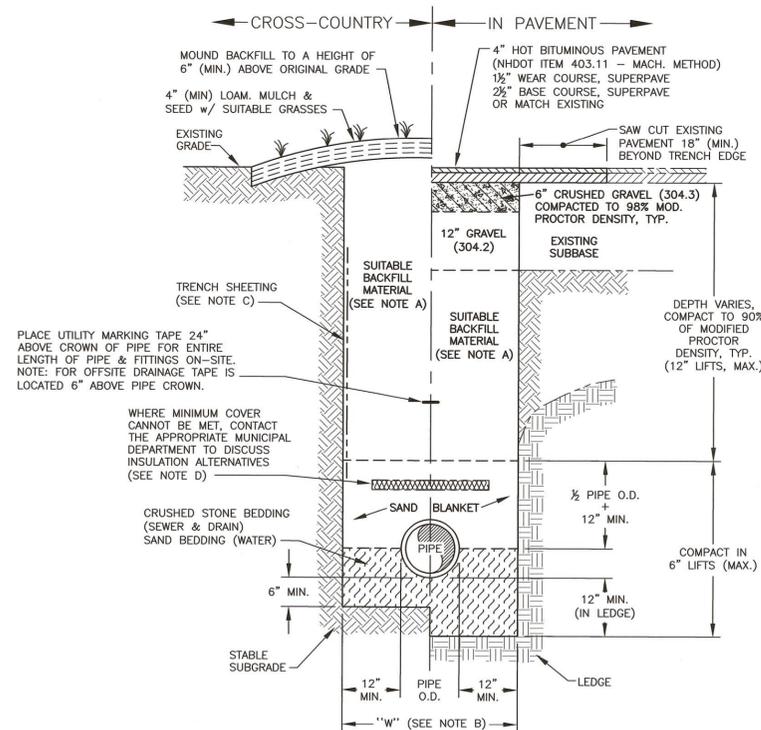


L BURIED ELEC/COMM CABLE
C4 NTS



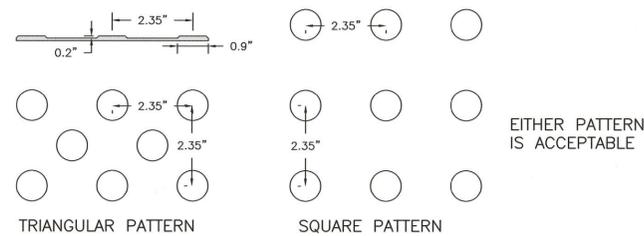
- NOTES:
1. See sheet "Requirements for Padmounted Transformer Slab Details".
 2. All reinforcing to be #6 bars.
 3. 1" PVC conduit sleeve for ground grid leads.
 4. The ground grid shall be supplied and installed by the customer and is to be buried at least 12" below grade. Eight feet of extra wire for each ground grid leg shall be left exposed in the cable compartment to allow for the connection to the transformer; the two 8' ground rods may be either galvanized steel or copperweld and they shall be connected to the grid with NEC approved connectors.

M TRANSFORMER PAD
IF NEEDED NTS



- TRENCH NOTES:
- A) TRENCH BACKFILL:
 - IN PAVED AREAS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIALS DEEMED TO BE UNACCEPTABLE BY THE ENGINEER.
 - IN CROSS-COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE.
 - B) "W" = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D..
 - C) TRENCH SHEETING: THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFE EXCAVATION PRACTICES.
 - D) MINIMUM PIPE COVER FOR UTILITY MAINS (UNLESS GOVERNED BY OTHER CODES):
 - 5' MINIMUM FOR SEWER (IN PAVEMENT)
 - 4' MINIMUM FOR SEWER (CROSS COUNTRY)
 - 3' MINIMUM FOR STORMWATER DRAINS
 - 5' MINIMUM FOR WATER MAINS
 - E) ALL PAVEMENT CUTS SHALL BE REPAIRED BY THE INFRARED HEAT METHOD.

N TYPICAL PIPE TRENCH
C4 C5 NTS



- NOTES:
1. CURB RAMPS MUST HAVE A DETECTABLE WARNING FEATURE EXTENDING THE FULL WIDTH OF THE RAMP, A HEIGHT OF NOMINAL 0.2", THE DETECTABLE SURFACE MUST CONSIST OF RAISED TRUNCATED SPACING OF NOMINAL 2.35". THE TEXTURE OF THE DETECTABLE WARNING FEATURE MUST CONTRAST VISUALLY WITH THE SURROUNDING SURFACES (LIGHT-ON-DARK OR DARK-ON-LIGHT).
 2. DETECTABLE WARNING SURFACE SHALL BE IRON PANEL TO FILL THE SPACE SHOWN ON THE SITE PLAN.

O DETECTABLE WARNING SURFACE
C3 NTS

OVERVIEW

The Bio Clean Downspout Filter is the industry's leading solution for treatment of roof runoff. This technology is used to treat commercial and industrial rooftops along with highrise buildings, parking structures, and residential buildings.

Available in 3 sizes, this filter can easily adapt to downspouts 2" to 12" in diameter. The filter comes standard with rubber boots that allow for easy installation to the downspout.

Proven since 2003, the Downspout Filter has been used on hundreds of installations throughout the United States. All internal components are constructed of stainless steel.

The sleek in-line design allows the filter to be used in tight spaces. Approved by the IAPMO, this filter can meet all your needs.



PERFORMANCE

93% REMOVAL OF TSS
87% REMOVAL OF HYDROCARBONS

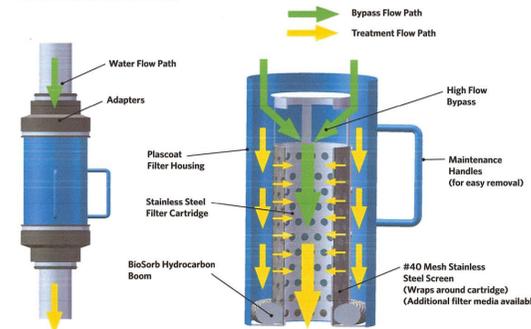
EFFECTIVE AT REMOVING METALS, NUTRIENTS, AND BACTERIA (MEDIA TYPE)

ADVANTAGES

- 1-YEAR WARRANTY
- HIGH TREATMENT FLOW RATE
- NO NETS OR GEOFABRICS
- HIGH BYPASS FLOW RATE
- SLEEK IN-LINE DESIGN
- LOW COST

P ROOF DRAIN FILTER OVERVIEW
C5 NTS

OPERATION



APPROVALS

IAPMO Testing & Approval Listing



SPECIFICATIONS

MODEL #	INLET ID (dia., in.)	FILTER OD (dia., in.)	STORAGE CAP. (cu. ft.)	FILTERED FLOW (gpm)	BYPASS FLOW (gpm)
BC-DF4	4	6.625	0.09	249	566
BC-DF6	6	8.625	0.21	509	1006
BC-DF8	8	8.625	0.21	509	1006
BC-DF10	10	12.75	0.77	1145	2264
BC-DF12	12	12.75	0.77	1145	2264

Q ROOF DRAIN FILTER OPERATION
C5 NTS



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

COMMERCIAL DEVELOPMENT
ONE CONGRESS STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	DETAIL M	10/18/22
0	ISSUED FOR COMMENT	9/6/22
REVISIONS		



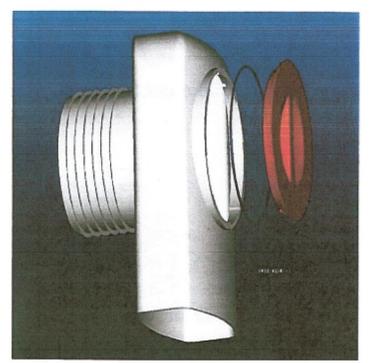
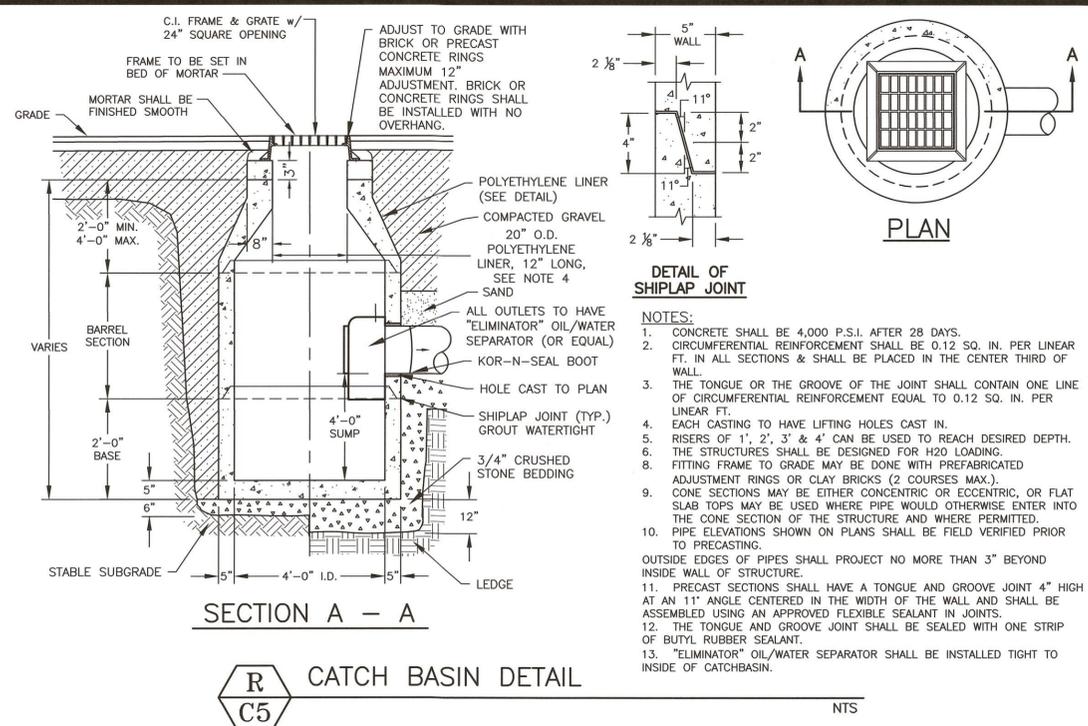
SCALE: AS SHOWN AUGUST 2022

DETAILS

D3

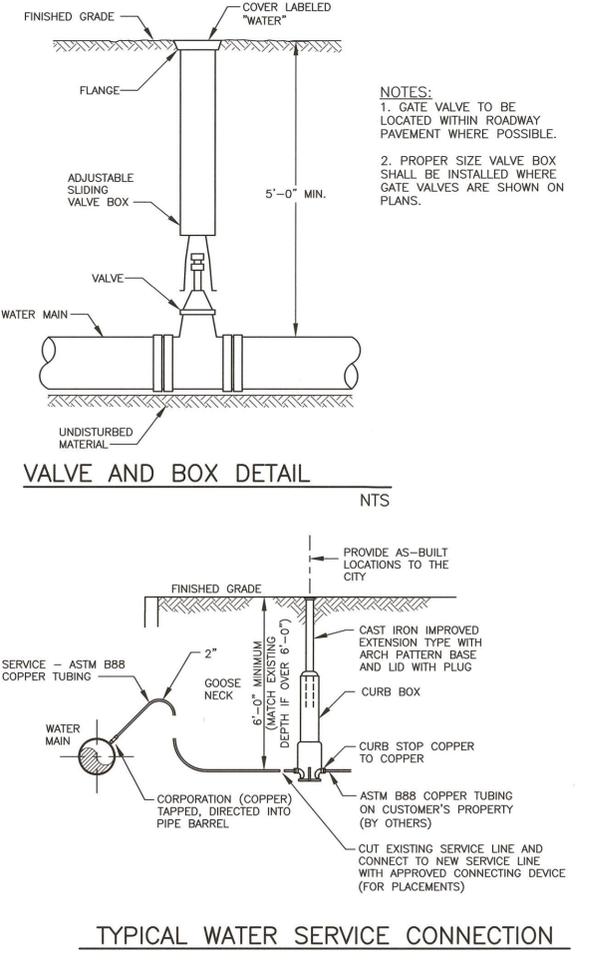
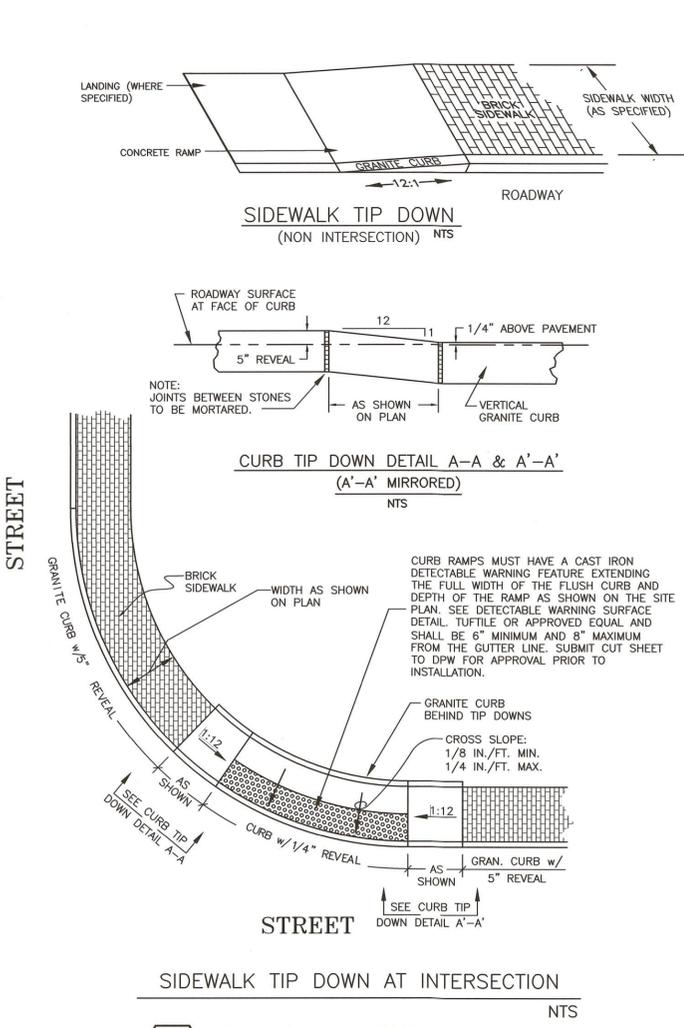
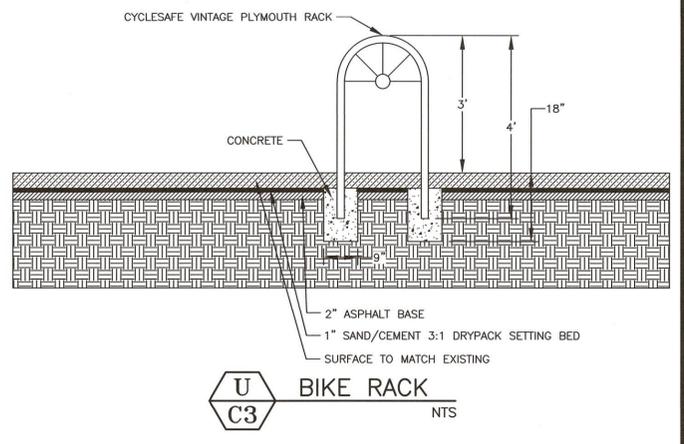
NOTES:

- THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION." (NHDES DECEMBER 2008).
- CATCH BASIN POLYETHYLENE LINER NOTES:
 POLYETHYLENE LINER (ITEM 604.0007) SHALL BE FABRICATED AT THE SHOP. DOWNSPOUT SHALL BE EXTRUSION FILLET WELDED TO THE POLYETHYLENE SHEET.
 PLACE A CONTINUOUS BEAD OF AN APPROVED SILICONE SEALANT (SUBSIDIARY TO ITEM 604.0007) BETWEEN FRAME AND POLYETHYLENE SHEET.
 PLACE CLASS AA CONCRETE TO 2" BELOW THE TOP OF THE GRATE ELEVATION (SUBSIDIARY TO DRAINAGE STRUCTURE).
 USE ON DRAINAGE STRUCTURES 4" MIN. DIAMETER ONLY.
 TRIM POLYETHYLENE SHEET A MAXIMUM OF 4" OUTSIDE THE FLANGE ON THE FRAME FOR THE CATCH BASIN BEFORE PLACING CONCRETE (EXCEPT AS SHOWN WHEN USED WITH 3-FLANGE FRAME AND CURB).
 THE CENTER OF THE GRATE & FRAME MAY BE SHIFTED A MAXIMUM OF 6" FROM THE CENTER OF THE DOWNSPOUT IN ANY DIRECTION.
 PLACED ONLY IN DRAINAGE STRUCTURES IN PAVEMENT.
 SEE NHDOT DR-04, "DI-DB, UNDERDRAIN FLUSHING BASIN AND POLYETHYLENE LINER DETAILS," FOR ADDITIONAL INFORMATION.
 CATCHBASINS WITHIN CITY RIGHT OF WAY SHALL HAVE A POLYETHYLENE LINER.
- ALL WATER MAIN & CONNECTIONS SHALL BE INSTALLED PER CITY OF PORTSMOUTH CONSTRUCTION STANDARDS.



NOTES:

- ALL CATCH BASIN OUTLETS TO HAVE "ELIMINATOR" OIL AND FLOATING DEBRIS TRAP MANUFACTURED BY KLEANSTREAM (NO EQUAL)
- INSTALL DEBRIS TRAP TIGHT TO INSIDE OF STRUCTURE.
- 1/4" HOLE SHALL BE DRILLED IN TOP OF DEBRIS TRAP.



HORIZONTAL ANCHOR DIMENSIONS FOR PIPE INSTALLATION IN ROCK
 UP TO 150 P.S.I. WORKING PRESSURE

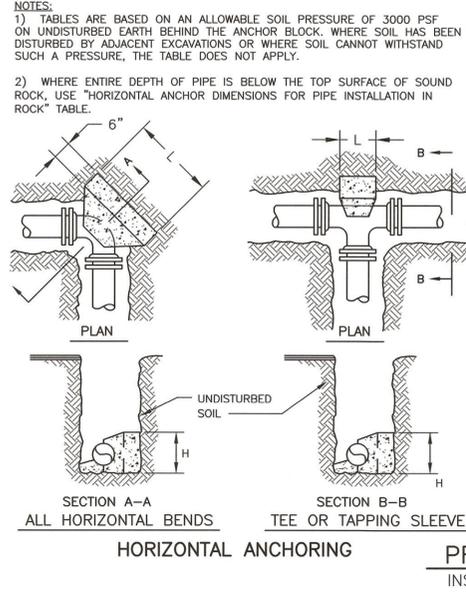
PIPE SIZE	TEE OR TAP SLEEVE		90° BEND		45° BEND		22 1/2° BEND		11 1/4° BEND	
	H	L	H	L	H	L	H	L	H	L
4"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"
6"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"
8"	1'-2"	1'-2"	1'-2"	1'-2"	1'-0"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"
10"	1'-4"	1'-4"	1'-4"	1'-4"	1'-0"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"
12"	1'-8"	1'-8"	1'-8"	1'-8"	1'-3"	1'-3"	1'-0"	1'-0"	0'-9"	1'-0"

* - FOR 3" AND SMALLER PIPES

HORIZONTAL ANCHOR DIMENSIONS FOR AVERAGE SOIL CONDITIONS
 UP TO 150 P.S.I. WORKING PRESSURE

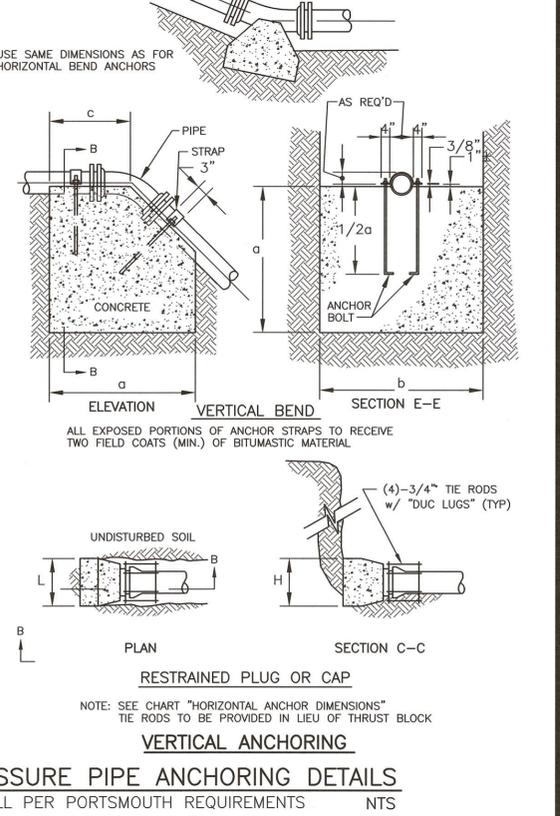
PIPE SIZE	TEE OR TAP SLEEVE		90° BEND		45° BEND		22 1/2° BEND		11 1/4° BEND	
	H	L	H	L	H	L	H	L	H	L
4"	1'-0"	2'-0"	1'-0"	2'-0"	1'-0"	1'-4"	0'-9"	1'-0"	0'-6"	1'-0"
6"	1'-0"	2'-0"	1'-0"	2'-0"	1'-0"	1'-4"	0'-9"	1'-0"	0'-6"	1'-0"
8"	1'-4"	2'-8"	1'-4"	2'-8"	1'-4"	1'-6"	1'-0"	1'-0"	0'-9"	1'-0"
10"	1'-8"	3'-4"	1'-8"	3'-4"	1'-8"	2'-0"	1'-3"	1'-3"	1'-0"	1'-0"
12"	2'-0"	4'-0"	2'-0"	4'-0"	2'-0"	2'-2"	1'-6"	1'-6"	1'-3"	1'-3"

* - FOR 3" AND SMALLER PIPES



VERTICAL ANCHOR DIMENSIONS
 UP TO 150 P.S.I. WORKING PRESSURE

PIPE SIZE	45° BEND			22 1/2° BEND			11 1/4° BEND			ROD DIA.		
	a	b	c	a	b	c	a	b	c			
4"	3'-0"	3'-0"	2'-0"	3/4"	2'-6"	2'-3"	1'-6"	3/4"	2'-0"	2'-0"	1'-6"	3/4"
6"	3'-0"	3'-0"	2'-0"	3/4"	2'-6"	2'-3"	1'-6"	3/4"	2'-0"	2'-0"	1'-6"	3/4"
8"	3'-6"	3'-6"	2'-6"	3/4"	3'-0"	3'-0"	1'-9"	3/4"	2'-6"	2'-6"	1'-3"	3/4"
10"	4'-3"	4'-0"	3'-0"	3/4"	3'-6"	3'-3"	2'-0"	3/4"	2'-9"	2'-9"	1'-6"	3/4"
12"	4'-9"	4'-6"	3'-3"	3/4"	4'-0"	3'-9"	2'-6"	3/4"	3'-3"	3'-3"	1'-9"	3/4"



COMMERCIAL DEVELOPMENT
ONE CONGRESS STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
2	DETAIL V	12/20/22
1	DETAIL S	10/18/22
0	ISSUED FOR COMMENT	9/6/22

REVISIONS

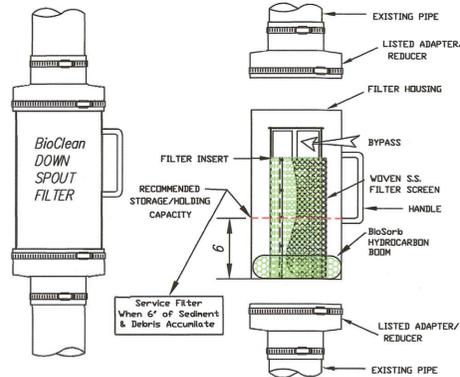
SCALE: AS SHOWN
 SEPTEMBER 2022

DETAILS

D4

SERVICE MANUAL (Cleaning Procedures)

Bio Clean DOWNSPOUT FILTER Screen Type With Hydrocarbon Boom



TOOLS AND EQUIPMENT NEEDED:

1. Medium size flat sored driver
2. BioSorb hydrocarbon boom. 25-1/2" X 2" dia. (Call Bio Clean to order)
3. Trash container or bag
4. Wooden dowel approx. 3' x 1/2" dia.

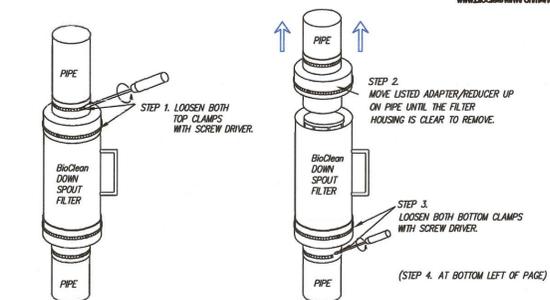
DETAIL OF PARTS



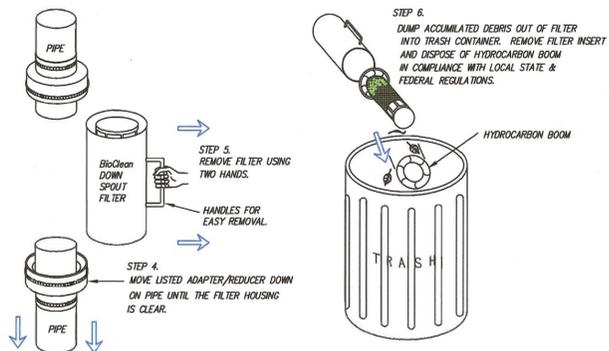
P.O. BOX 869, Oceanside, Ca. 92049
(760) 433-7640 Fax (760) 433-3176
www.biocleanenvironmental.net

PAGE 1 OF 5

REMOVING FILTER

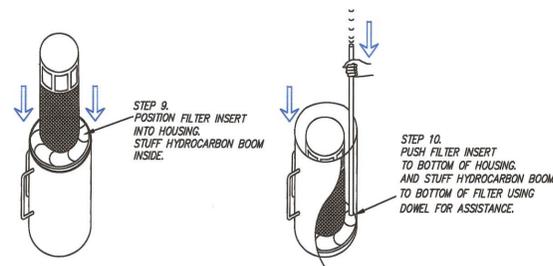


CLEANING FILTER



PAGE 2 OF 5

REPLACING FILTER INSERT



PAGE 3 OF 5

DOWNSPOUT FILTER

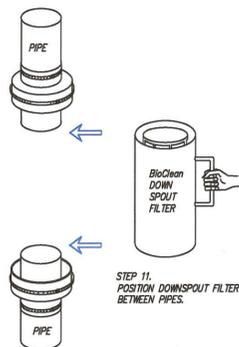
MAINTENANCE:

THE FILTER IS DESIGNED TO ALLOW FOR THE USE OF MANUAL OR VACUUM REMOVAL OF CAPTURED MATERIALS IN THE FILTER STRUCTURE. FILTERS CAN BE CLEANED EASILY BY SIMPLY LOOSENING THE METAL CLAMPS AND REMOVING THE FILTER. THE HYDROCARBON ADSORBENT MEDIA THEN IS REMOVED AND THE TRASH AND DEBRIS CAN BE REMOVED FROM THE STRUCTURE. AT EACH CLEANING, NEW HYDROCARBON ADSORBENT MEDIA SHOULD BE REINSTALLED.

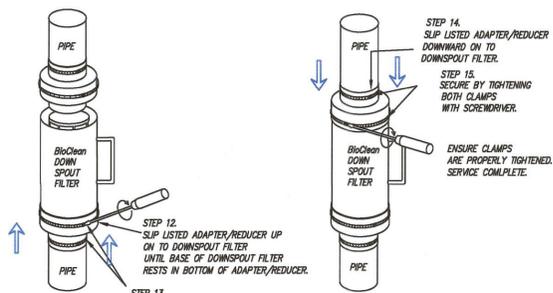
MAINTENANCE NOTES:

1. BIO CLEAN ENVIRONMENTAL SERVICES, INC. RECOMMENDS CLEANING AND DEBRIS REMOVAL MAINTENANCE A MINIMUM OF TWO TO FOUR TIMES PER YEAR, AND REPLACEMENT OF MEDIA BOOMS A MINIMUM OF TWICE A YEAR.
2. THE DOWNSPOUT FILTER CAN BE CLEANED BY LOOSING THE METAL CLAMPS AT BOTTOM AND TOP OF RUBBER BOOTS. REMOVE THE FILTER BY GRASPING THE HANDLES, SLIDE DOWN THE BOTTOM BOOT OVER THE OUTFLOW PIPE AND SLIDE UP THE TOP BOOT OVER INFLOW PIPE. PLACE THE FILTER ON THE GROUND. DISPOSE OF ANY TRASH AND SEDIMENTS COLLECTED IN FILTER.
3. ONCE THE FILTER IS FREE, REMOVE THE INTERIOR INSERT. REMOVE THE HYDROCARBON ADSORBENT MEDIA BY UNWRAPPING IT FROM THE INTERIOR INSERT AND REPLACING WITH A NEW MEDIA, WRAPPING IT THE SAME WAY.
4. PLACE THE INTERIOR INSERT BACK INTO THE FILTER.
5. PLACE THE FILTER BACK IN LINE WITH THE PIPE AND SLIDE BACK THE TOP AND BOTTOM BOOTS IN PLACE AND TIGHTEN THE METAL CLAMPS SECURELY.
6. EVALUATION OF THE HYDROCARBON MEDIA SHALL BE PERFORMED AT EACH CLEANING. IF THE MEDIA IS FILLED WITH HYDROCARBONS AND OILS IT SHOULD BE REPLACED.
7. TRANSPORT ALL DEBRIS, TRASH, ORGANICS AND SEDIMENTS TO APPROVED FACILITY FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS.
8. THE HYDROCARBON MEDIA WITH ABSORBED HYDROCARBONS IS CONSIDERED HAZARDOUS WASTE AND NEEDS TO BE HANDLED AND DISPOSED OF AS HAZARDOUS MATERIAL. PLEASE REFER TO STATE AND LOCAL REGULATIONS FOR THE PROPER DISPOSAL OF USED MOTOR OIL/FILTERS.
9. FOLLOWING MAINTENANCE AND/OR INSPECTION, THE MAINTENANCE OPERATOR SHALL PREPARE A MAINTENANCE/INSPECTION RECORD. THE RECORD SHALL INCLUDE ANY MAINTENANCE ACTIVITIES PERFORMED, AMOUNT AND DESCRIPTION OF DEBRIS COLLECTED, AND CONDITION OF FILTER.
10. THE OWNER SHALL RETAIN THE MAINTENANCE/INSPECTION RECORD FOR A MINIMUM OF FIVE YEARS FROM THE DATE OF MAINTENANCE. THESE RECORDS SHALL BE MADE AVAILABLE TO THE GOVERNING MUNICIPALITY FOR INSPECTION UPON REQUEST AT ANY TIME.
11. ANY TOXIC SUBSTANCE OR ITEM FOUND IN THE FILTER IS CONSIDERED AS HAZARDOUS MATERIAL AND CAN ONLY BE HANDLED BY A CERTIFIED HAZARDOUS WASTE TRAINED PERSON (MINIMUM 24-HOUR HAZWOPER).

REPLACING FILTER



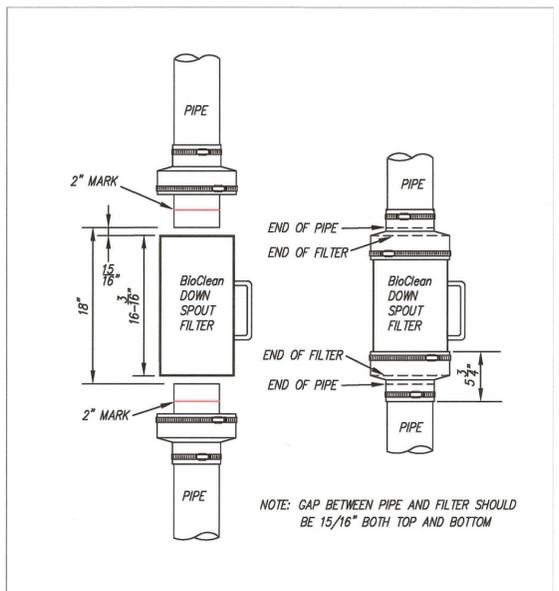
STEP 11. POSITION DOWNSPOUT FILTER BETWEEN PIPES.



PAGE 4 OF 5

APPROPRIATE INSTALLATION

FILTER CENTERED BETWEEN PIPES WITH EVEN GAPS ON TOP AND BOTTOM



NOTE: GAP BETWEEN PIPE AND FILTER SHOULD BE 15/16" BOTH TOP AND BOTTOM



P.O. BOX 869, Oceanside, Ca. 92049
(760) 433-7640 Fax (760) 433-3176
www.biocleanenvironmental.net

PAGE 5 OF 5



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 430-2315

NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

COMMERCIAL
DEVELOPMENT
ONE CONGRESS STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
2	ADDED MAINTENANCE	12/20/22
1	ISSUED FOR APPROVAL	10/18/22
0	ISSUED FOR COMMENT	9/6/22

REVISIONS



SCALE: AS SHOWN

AUGUST 2022

DETAILS

D5

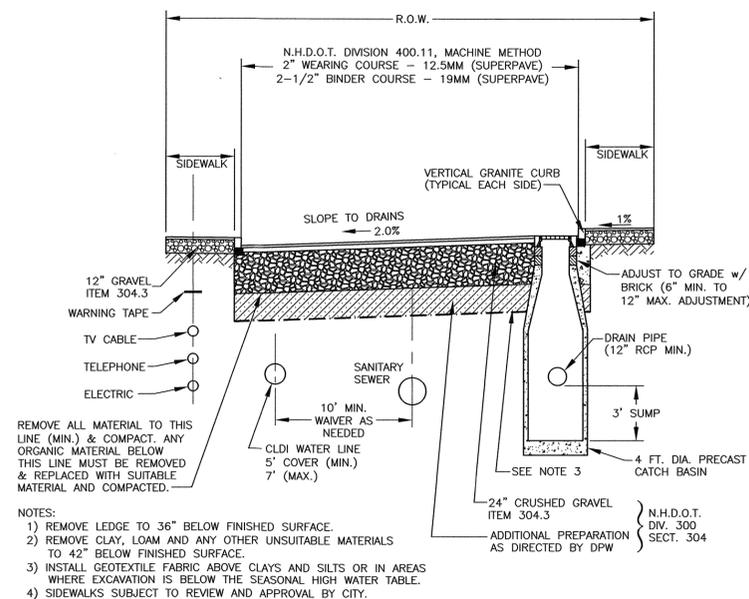


AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).



W C4 W P1 HIGH STREET ROADWAY CROSS SECTION NTS

COMMERCIAL DEVELOPMENT
ONE CONGRESS STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	12/20/22
REVISIONS		



SCALE: AS SHOWN AUGUST 2022

DETAILS

D7