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January 26, 2022

VIA HAND DELIVERY

David Rheame, Chair
City of Portsmouth Zoning Board of Adjustment
1 Junkins Avenue
Portsmouth, NH 03801

RE: Application for Variance
Owner/Applicant: One Market Square, LLC
Property: High Street and 1 Congress Street, Portsmouth, NH
Tax Map 117, Lot 15 and Tax Map 117, Lot 14
Zoning Districts: CD4 and CD5

Dear Mr. Rheame:

Enclosed please find the following materials in support of the above-named Applicant's request for Variance:

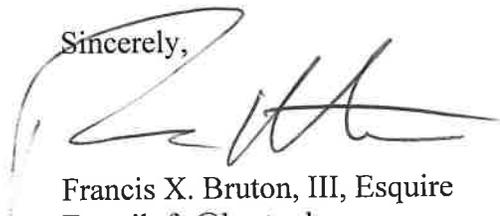
1. Authorization of the Property Owner/Applicant; and
2. Project Narrative with associated materials and Plans (11 copies).

Please note that the project being proposed by the Applicant has previously been submitted to the City under other Planning Department applications and, as such, the Applicant has not submitted a new application for the variances being requested herein, as these requests are associated with the proposed project.

In addition to the above, we understand, by submitting this application today, that this matter will be placed on the board's agenda for its meeting of February 15, 2022.

Should there be any questions regarding this application, please do not hesitate to contact us.

Sincerely,



Francis X. Bruton, III, Esquire
E-mail: fx@brutonlaw.com

FXB/mas
Enclosures

cc: One Market Square, LLC
Ambit Engineering, Inc.
ARCove, LLC

STATEMENT OF AUTHORIZATION

The undersigned, Mark McNabb, Manager of One Market Square, LLC, a New Hampshire limited liability company (the "Company"), owner of property located on High Street (Tax Map 117, Lot 15) and at 1 Congress Street (Tax Map 117, Lot 14) in Portsmouth, NH, does hereby authorize Francis X. Bruton, III, Esquire, or any other attorney with the law firm of Bruton & Berube, PLLC, to prepare, sign and file any and all applications and supporting materials with the City of Portsmouth land use boards and departments, including, but not limited to, the Zoning Board of Adjustment and/or Planning Board, and does further authorize Francis X. Bruton, III, and any other attorney associated with the firm of Bruton & Berube, PLLC, to represent the Company's interests before the said land use boards with regard to the proposed project by One Market Square, LLC on the property located at on High Street and at 1 Congress Street in Portsmouth, NH.

One Market Square, LLC

By:  _____
Mark McNabb, Manager

ONE MARKET SQUARE, LLC
APPLICATION FOR VARIANCES

I. INTRODUCTION

The property subject to this application is located at High Street in Portsmouth, New Hampshire and is depicted on the Portsmouth City Tax Maps as Map 117, Lot 15 (hereinafter “Lot 15”). Lot 15 is located in the CD4 District, and is also within the Historic District and Downtown Overlay Districts. Lot 15 is owned by the Applicant and contains an asphalt parking lot.

The Applicant is also the owner of the parcel located at 1 Congress Street, depicted on the Tax Maps as Map 117, Lot 14 (hereinafter “Lot 14”). Lot 14 is located in the CD5 District, and also within the Historic District and Downtown Overlay District. Lot 14 contains an existing building with unique historic features that are to be preserved by the Applicant.

The project will involve the merger of Lot 14 and Lot 15, the renovation of a portion of the existing historic structures located on Lot 14 and the new construction of an addition to the historic structures on Lot 14 and a new connected building in the parking lot of Lot 15. The renovations will involve updating the portions of the building to comply with Americans with Disabilities Act (hereinafter the “ADA”) and International Building Codes requiring two means of egress per floor. The renovated portion of the historic structures of Lot 14 will be comprised of approximately 3,820 sq. ft. of the existing footprint, while the new construction on the merged lot will be comprised of 8,720 sq. ft. of footprint upon Lot 14 and Lot 15. The proposed project is represented and depicted by the attached plans by ARCoVe, LLC (hereinafter “ARCoVe Plans”) and Ambit Engineering, Inc. (hereinafter “Ambit Plans”). The project will also provide for one level of subgrade parking. The entire project will be comprised of commercial uses. The new structure will abut Haven Court, also owned by the Applicant, which itself will be upgraded in order to benefit access for the general public and easement rights to an abutting property.

Pursuant to Map 10.5A21B (hereinafter the “Height Map”) within the Portsmouth Zoning Ordinance, Lot 15 is subject to a height restriction of 2-3 stories with a concurrent height limitation of 40’ (this designation represents a “green” designation on the Height Map). However, Lot 14 is subject to a height restriction of 2-3 (4th short) stories with a concurrent height limitation of 45’ (this designation represents an “orange” designation on the Height Map). As depicted on the Height Map the parcels directly adjacent to Lot 15, along High Street, are designated as “orange,” and thus subject to a height restriction of 2-3 (4th short) with a concurrent height limitation of 45’.

As set forth hereinabove, the Applicant proposes the construction of an addition to the retained portion of the existing historic structures on Lot 14 and a new connected building on Lot 15 in a manner that provides for a uniform height between the buildings in order to construct an elevator and stair towers required to meet Americans with Disabilities Act and International Building Code. As depicted on the ARCoVe Plans, the proposed structure would be permitted to have 104’ 2” of building length with a short 4th story, all located on Lot 14. That portion of the building length that is restricted to 3 stories, all located on Lot 15, is 68’ 7”. Thus, the Applicant requests a variance to the Height Map to provide that Lot 15 be considered “orange,” thus permitting the structure on Lot 15 to contain a “4th short” floor, with the concurrent height restriction of 45’.

Lot 15 previously contained a structure that had a 4th short story, with a height that was approximately the same as the existing historic buildings located on Lot 14. The structure was known as the Dolphin Hotel built in approximately 1895 (see photos of the hotel in the ARCoVe Plans). The Dolphin Hotel was destroyed by fire in 1969, resulting in the creation of the existing asphalt parking lot. The Applicant thus seeks to recreate a structure that is similar to the historic structure as to number of stories that had existed previously on the same sight for approximately 94 years.

Lot 15 itself is unique as it is located directly adjacent to a lot not subject to the zoning ordinance, containing the City parking garage. Additionally, the Lot is unique given its location down High Street, which generally serves more as a secondary entranceway to the City Garage than an actively used downtown main street. Furthermore, it is strange that Lot 15 is the only lot in that immediate area subject to CD4 District when all abutting properties are in the CD5 District.

II. REQUEST OF THE APPLICANT FOR VARIANCES

For the purposes set forth herein, the Applicant is requesting the following variance:

- 1. Relief from** Map 10.5A21B (the “Height Map”) within the Portsmouth Zoning Ordinance to permit a 3 story (4th short) building with a concurrent height restriction of 45’

Rationale for Request: This parcel is adjacent to Lot 14, which is to be merged with Lot 15. The Height Map permits structures on Lot 14 to be 3 stories (4th short) and concurrently 45’ in height. Essentially, the variance will permit an additional half story in the form of a 4th short story, as 3 stories are permitted already on Lot 15. The Applicant seeks the variance in order to create uniformity as to height with the proposed addition located on Lot 14, particularly in light of the proposed location of the structure adjacent to the City parking garage and to meet Americans With Disabilities access for an elevator and two new stair towers for a means of egress.

III. VARIANCE CRITERIA

New Hampshire RSA 674:33, I (a)(2) and Section 10.233 of the Portsmouth Zoning Ordinance set forth five criteria upon which variances may be granted. The application of these criteria to the Applicant's proposal is discussed hereafter.

A. Granting the variances will not be contrary to the public interest.

To be contrary to the public interest or injurious to public rights, the variances must unduly and in a marked degree conflict with the basic zoning objectives of the ordinance. See *Chester Rod & Gun Club*, 152 N.H. at 581. In making the determination, the Board should determine whether the variance would “alter the essential character of the locality or threaten public health, safety or welfare.”

Section 10.121 of the Portsmouth Zoning Ordinance states that, “[t]he purpose of this Ordinance is to promote the health, safety and general welfare of Portsmouth and its region in accordance with the City of Portsmouth Master Plan.

The request is essential for a short 4th story in order for the new constructions to be uniform as to stories and height to that on Lot 14, with is permitted to contain a short 4th story. Granting the variance would result in a building that is similar to the height of adjacent structures along Congress Street and High Street while remaining consistent with the massing of adjacent structures, as depicted on the ARCoVe Plans. In addition, in terms of a historical perspective, the proposed stories and height will be similar as to those of the historic Dolphin Hotel, a structure that existed on the sight for approximately 95 years. In light of the foregoing, it is respectfully submitted that the grant of the variance (a 4th short story) will not alter the essential character of the High Street and Congress Street. Given the above, there is no negative aspect of the request that could threaten public health, safety or welfare.

B. The spirit of the ordinance is observed.

When considering whether the granting of the variances will observe the spirit of the ordinance, the New Hampshire Supreme Court has indicated this review is substantially related, and similar to the review regarding public interest. See *Harborside Associates, L.P. v. Parade Resident Hotel, LLC*, 162 NH 508, 514 (2011). Thus, the Applicant submits that the rationale set forth above regarding “public interest” is equally applicable to the Board’s review as to whether the spirit of the ordinance is observed with the grant of the variance.

C. The granting of the requested relief will do substantial justice.

In *Malachy Glen Associates v. Town of Chester*, 155 N.H. 102, 109 (2002), the New Hampshire Supreme Court held that, “the only guiding rule [in determining whether the requirement for substantial justice is satisfied] is that any loss to the individual that is not outweighed by a gain to the general public is an injustice.” The Court also noted that it would look at whether a proposed development was consistent with the area's present use. In this instance, the grant of the variance would result in substantial justice as that would allow the proposed addition to be uniform in stories and height. Additionally, there is no negative aspect that the public will suffer. Thus, denial of the variances would result in a loss to the Applicant that is not outweighed by any gain to the general public. As such, granting of the requested relief would result in substantial justice.

D. Granting the variance will not result in the diminution on value of the surrounding properties.

It is respectfully submitted that all of the surrounding properties have a value associated with them which is premised upon the existence of the existing buildings and uses located upon the Applicant’s property. In this instance, it is believed, and therefore averred, that the aesthetic and historic additions and upgrades of the property and considering the existing uses of the property, will not result in a diminution of surrounding property values. Currently, on Lot 14, there are structures built, on a piece-by-piece basis, with an inconsistent design. The proposed structure will represent an upgraded and uniform design on Lots 14 and 15, which will require historic review by the Historic District Commission.

E. Literal enforcement of the provisions of the Ordinance would result in an unnecessary hardship.

An unnecessary hardship exists when, owing to special conditions of the property that distinguish it from other property, no fair and substantial relationship exists between the public purposes of the ordinance provisions and the specific application of those provisions to the property and the proposed use is a reasonable one. (Section 10.233.31 of Zoning Ordinance).

As set forth with the Introduction, Lot 15 is distinguished from other properties in the area as it is located directly adjacent to the City parking garage. Additionally, Lot 15 is unique given its location down High Street, which generally serves more as a secondary entranceway to the city garage than an actively used downtown main street. In addition, in terms of a historical perspective, the parcel was the site of the Dolphin Hotel, which contained a 4th short story, a structure that existed on the sight for approximately 95 years. The historical photos of the Dolphin Hotel appear to suggest that the hotel had a height that exceeds the request made herein.

The proposed structure will not pose a conflict with the public purpose of the ordinance as the additional structure will be consistent with the historical massing of a previous structure on the parcel and consistent with adjacent structures containing a short 4th story along High Street and Congress Street. In addition, the structure will present an updated and uniform design for this location, providing a sense of symmetry and congruent design of the integrated building from Congress Street and up to Haven Court to the general public. The designs reflect a massing that is consistent with the overall goals of the zoning ordinance in the specific area. The Applicant respectfully submits, for all of the reasons set forth herein, the denial of the requested variance would result in an unnecessary hardship to the Applicant.

For the specific reasons set forth above, the Applicant respectfully submits that the uses proposed are reasonable.

IV. CONCLUSION

For all of the reasons set forth above One Market Square, LLC respectfully requests that the relief requested herein be granted.

DRAWING INDEX

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- A0.2 EXISTING BUILDING PHOTOS
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- A1.0 SITE PLAN, EXISTING
- A1.1 SITE PLAN, PROPOSED
- A2.1 MASSING STREET SECTIONS
- A2.2 MASSING STREET SECTIONS

**1 MARKET SQUARE
Zoning Summary**

Zone	Renovations & Additions CD-5, DOD, HDC	Renovations & Additions CD-4, DOD, HDC
Height	2-3 stories with short 4th = 45' penthouses may exceed bldg height by 2'	2 stories with short 3rd = 35' may exceed bldg height by 2'
Roof appurtenance	may exceed bldg height by 10'	may exceed bldg height by 10'
Facade Types	shop front	shopfront
Building Types	commercial, live-work, mixed use, flex space & community.	commercial, live-work, mixed use, flex space & community.
Setbacks (ft) *	* 10.5A42.12 Yards may be increased above the max permitted for truncated corners or other subtractive massing techniques, alleys, vehicular accessways, increased sidewalk width or community spaces.	* 10.5A42.12 Yards may be increased above the max permitted for truncated corners or other subtractive massing techniques, alleys, vehicular accessways, increased sidewalk width or community spaces.
Front (principle) max	5	10
Front (secondary) max	5	15
Side	NR	NR
Rear, min	>of: 5' from rear line or 10' from cl alley	>of: 5' from rear line or 10' from cl alley
Front lotline buildout	80% min	50% min
Lot area (sf)	NR	NR
LOT area per dwelling	NR	NR
Coverage, maximum	95%	90%
Footprint, max*	10.5a43.40	20,000
*10.5A43.43 increase for indoor parking if >50% gr. floor parking & 30% lot is community space	50,000 ground (30,000 upper)	30,000 ground (20,000 upper)
ground floor area per use, max	15,000	15,000
Open space, minimum	5%	10%
permitted uses (cd4 & cd5)	commercial, live/work, mixed-use, flex space, community, office, retail, restaurant (<500occ)	multifamily, live/work, office, retail, restaurant (<500occ)
block length, max (ft)	225	200
façade modulation length, max (ft)	100	80
entrance spacing, max (ft)	50	50
floor height above sidewalk, max	36"	36"
ground floor height, min	12'	12'
second floor height, min	10'	10'
glazing, shopfront, min	70%	70%
glazing, other	20%-50%	20%-50%
roof types(pitch)	flat, gable (6:12-12:12), hip(>3:12), gambrel/mansard(6:12-30:12)	flat, gable (6:12-12:12), hip(>3:12), gambrel/mansard(6:12-30:12)
Parking, off-street; DOD	when >20 spaces, max spaces = 120% min required. 10.1112.60 mixed used - some shared spaces allowed.	when >20 spaces, max spaces = 120% min required. 10.1112.60 mixed used - some shared spaces allowed.
residential (dwellings <500sf)	UNIT<500SF=.5 space/unit; 500-750sf=1 space/unit; >750sf=1.3 space/unit. (+ 1 visitor space/5 units)	UNIT<500SF=.5 space/unit; 500-750sf=1 space/unit; >750sf=1.3 space/unit. (+ 1 visitor space/5 units)
professional office	NA in DOD	NA in DOD



ONE MARKET SQUARE RENOVATION & ADDITIONS

1 CONGRESS STREET
ONE MARKET SQUARE, LLC

HISTORIC DISTRICT COMMISSION
WORK SESSION 1

PROJECT NARRATIVE

REHABILITATION AND ADAPTIVE REUSE OF FOCAL EXISTING HISTORIC STRUCTURES ON LOT 15, WITH A NEW ADJACENT STRUCTURE ON LOT 14 (CURRENTLY A SURFACE PARKING LOT, AND PRIOR TO 1969 THE LOCATION OF A 3-1/2 STORY C. 1895 HOTEL).

ONE LEVEL OF BELOW GRADE PARKING IS PROPOSED.

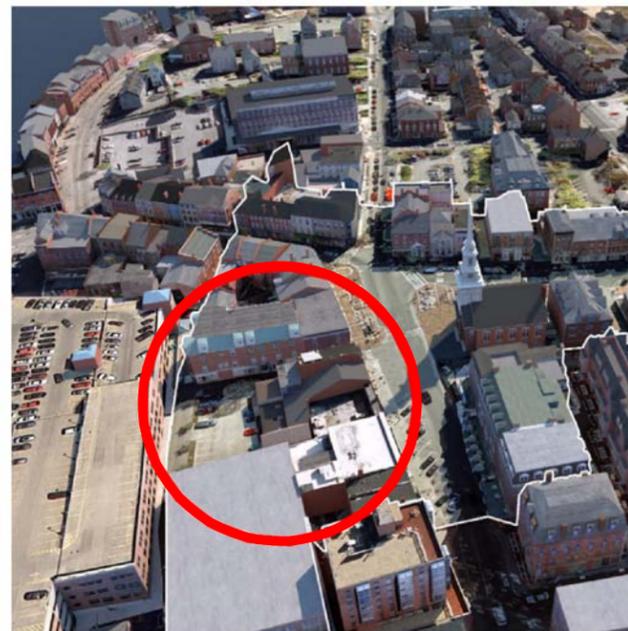
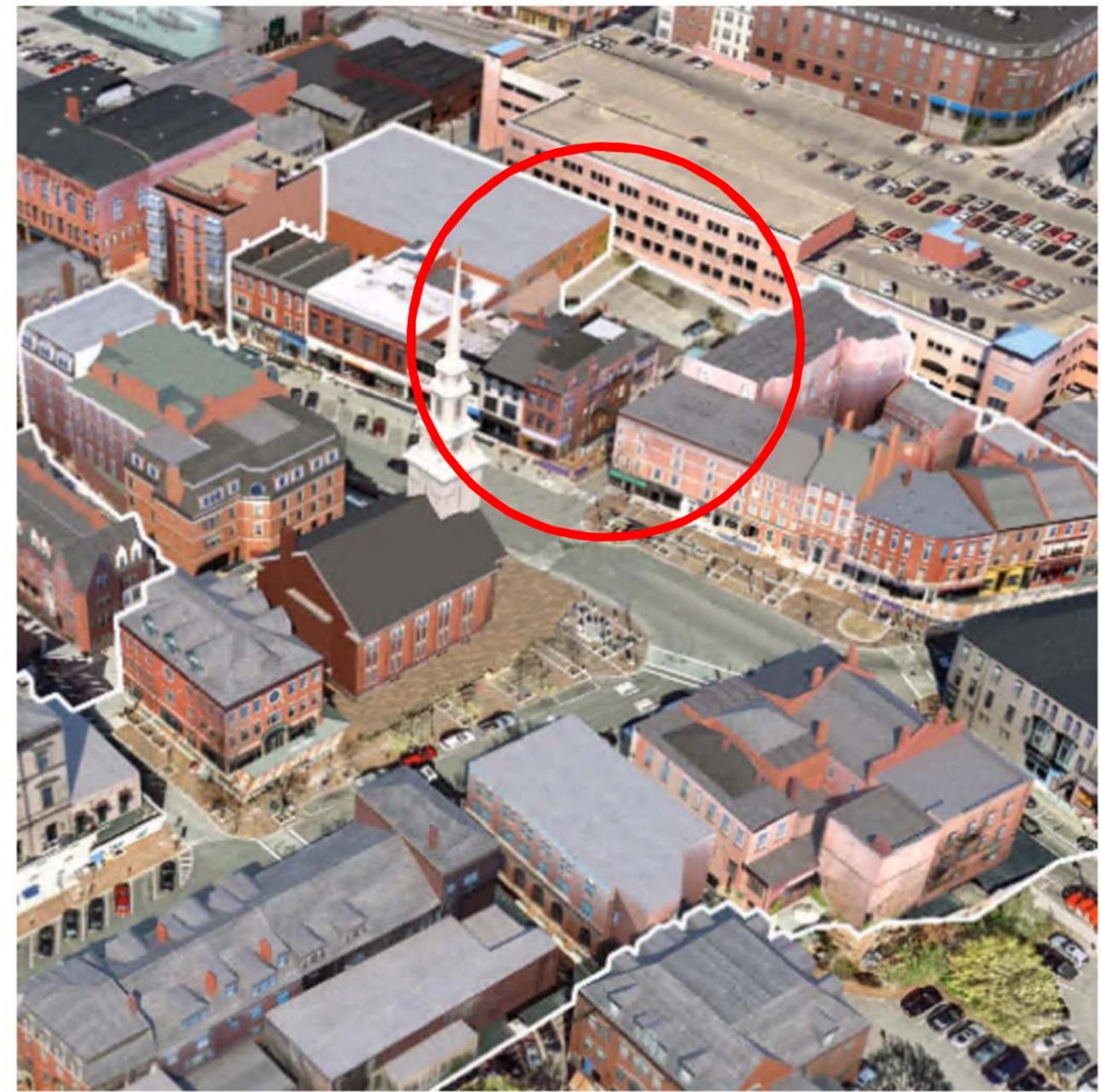
HAVEN COURT, A PRIVATE EASEMENT RIGHT OF WAY IS PROPOSED TO BE SIGNIFICANTLY IMPROVED AND REGRADED PROVIDING PUBLIC ACCESS CONNECTING MARKET STREET TO FLEET STREET. THIS WOULD BE AN INTEGRAL LINK BETWEEN THE MCINTYRE'S PUBLIC SPACES, THROUGH COMMERCIAL ALLEY, LADD STREET AND HAVEN COURT TO A SMALL COURTYARD ON FLEET STREET. LANDSCAPING, PAVERS, SITE AMENITIES AND OUTDOOR LIGHTING WOULD BE PROVIDED TO MAKE THIS SPACE A WELCOMING BENEFIT TO THE COMMUNITY.

A LOT MERGER WILL BE PURSUED TO COMBINE LOTS 14 & 15 INTO ONE SINGLE LOT, WITH A VARIANCE FOR UNIFORM APPLICATION OF LOT 14 HEIGHT AND STORIES FOR THE WHOLE MERGED LOT.

EXISTING FOCAL BUILDINGS ON CONGRESS AND HIGH STREETS WILL BE REPAIRED, RESTORED AND BROUGHT UP TO CURRENT BUILDING AND LIFE SAFETY CODES. THE SMALLER WOODEN SHED ADDITIONS TO THE REAR OF THESE BUILDINGS WILL BE REPLACED WITH NEW CONSTRUCTION.

A0.0 COVER
ONE MARKET SQUARE
SCALE:
01/13/2022





A0.1 CONTEXT MAP
ONE MARKET SQUARE

SCALE: 1" = 200'-0"
01/13/2022



A0.2 EXISTING BUILDING PHOTOS
ONE MARKET SQUARE
SCALE:
01/13/2022



HIGH STREET

LADD STREET



CONGRESS STREET NORTH



CONGRESS STREET SOUTH

PLEASANT STREET

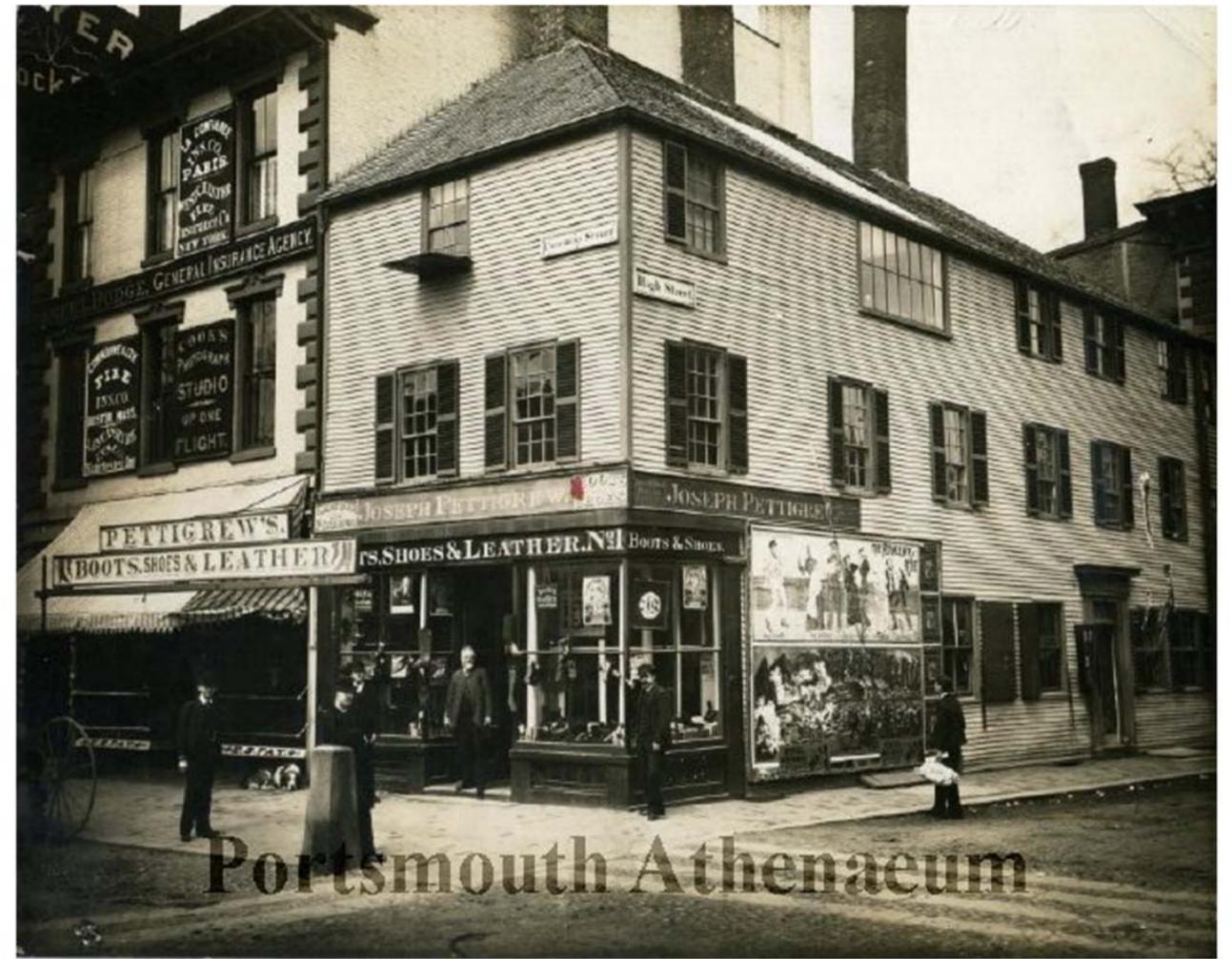
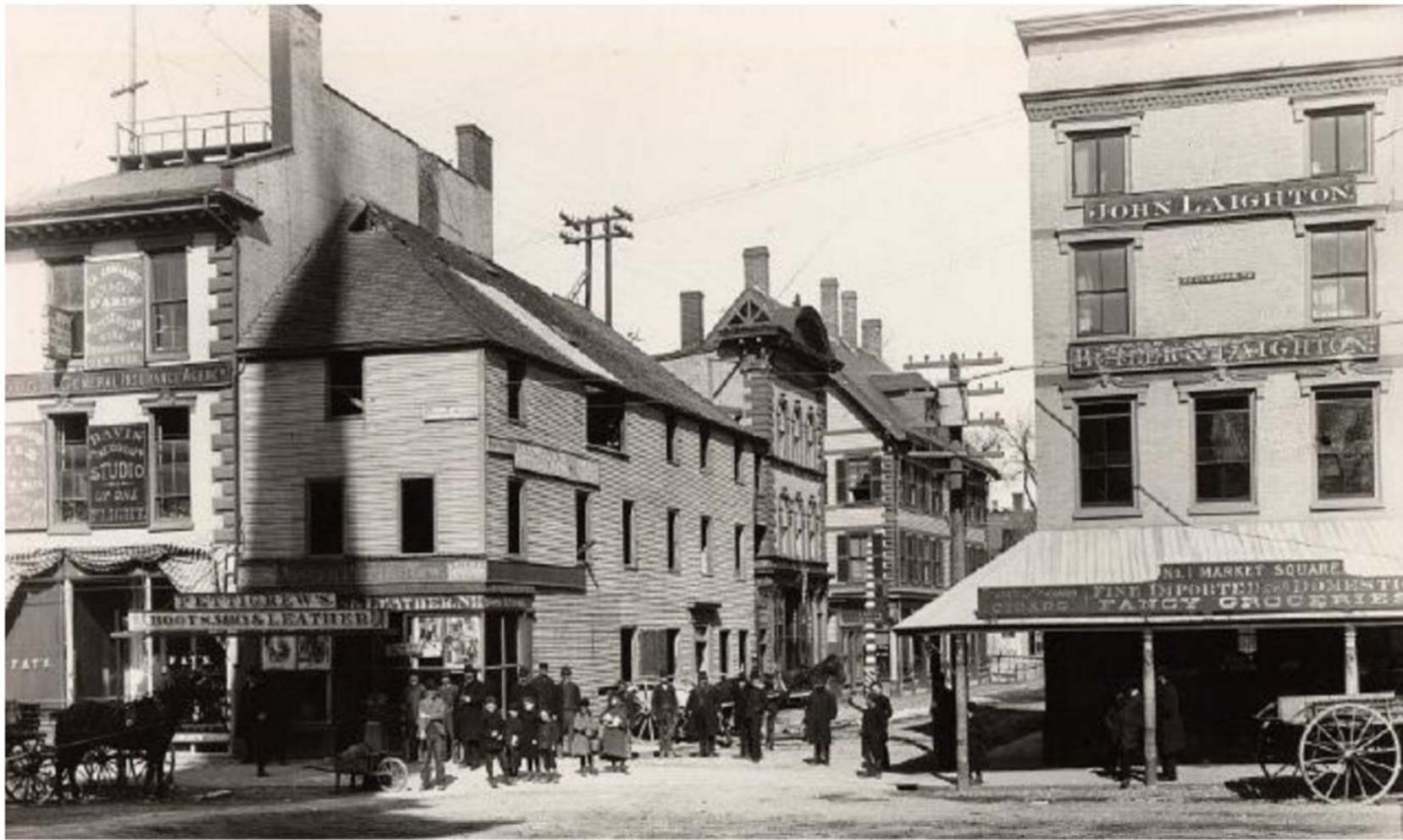


HAVEN COURT

FLEET STREET AT HAVEN COURT

A0.3 CONTEXT PHOTOS
ONE MARKET SQUARE
SCALE:
01/13/2022



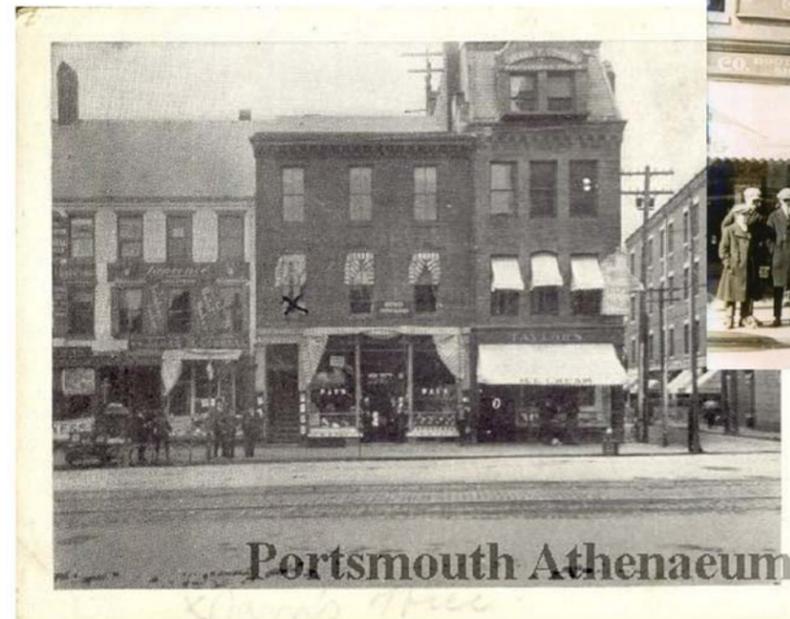


1890

1880



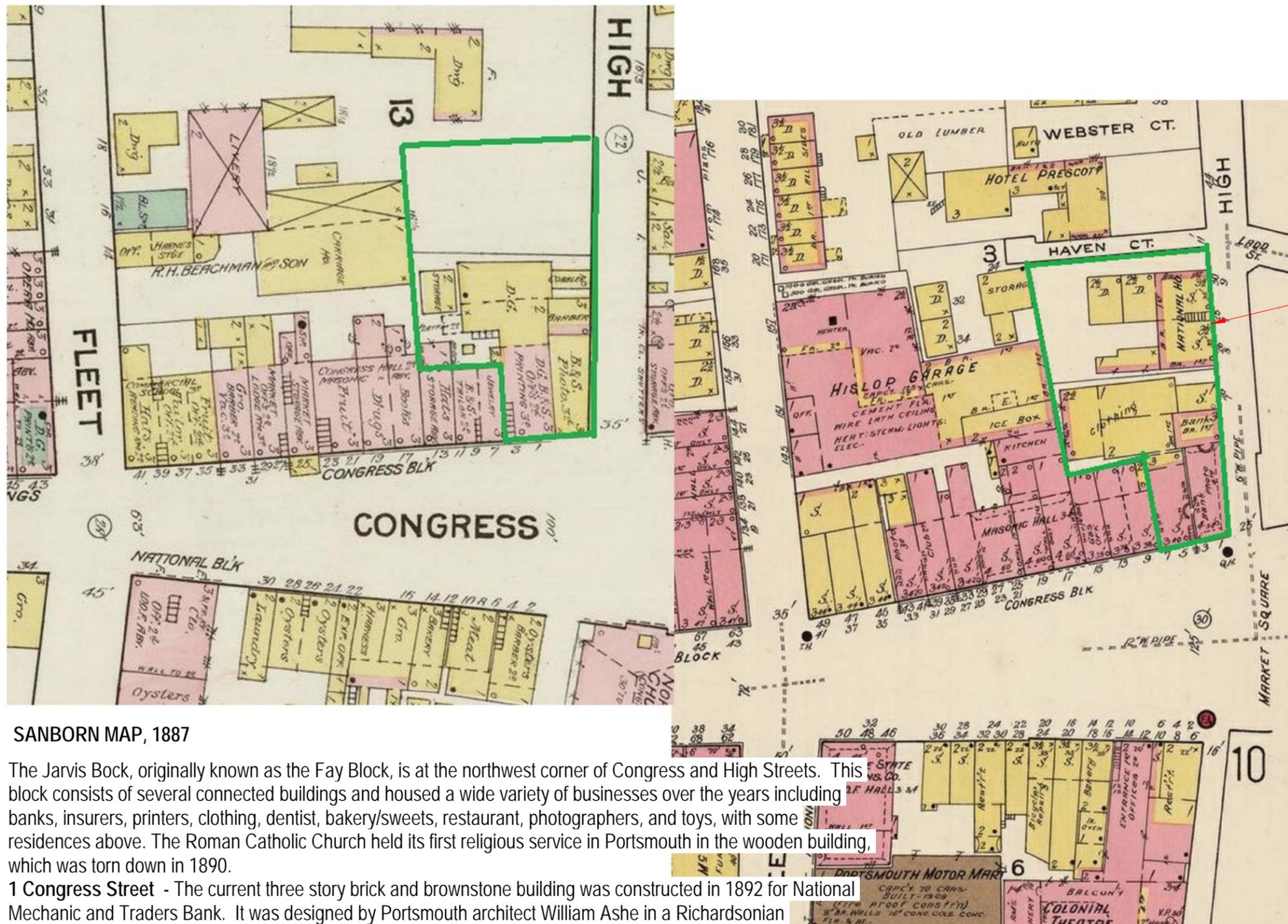
1920



1918

A0.4 HISTORIC CONTEXT
ONE MARKET SQUARE
 SCALE:
 01/13/2022





SANBORN MAP, 1887

The Jarvis Bock, originally known as the Fay Block, is at the northwest corner of Congress and High Streets. This block consists of several connected buildings and housed a wide variety of businesses over the years including banks, insurers, printers, clothing, dentist, bakery/sweets, restaurant, photographers, and toys, with some residences above. The Roman Catholic Church held its first religious service in Portsmouth in the wooden building, which was torn down in 1890.

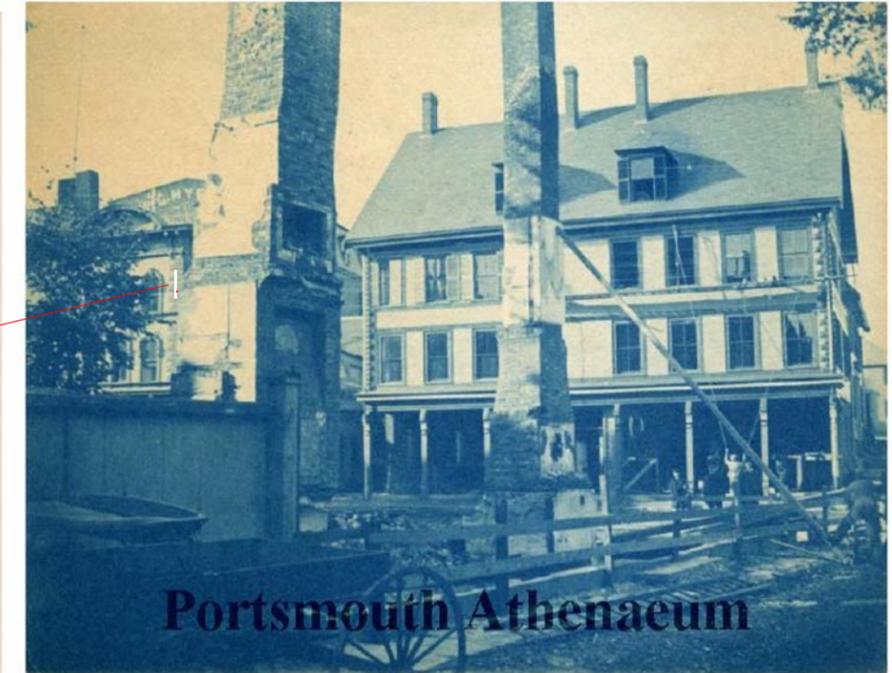
1 Congress Street - The current three story brick and brownstone building was constructed in 1892 for National Mechanic and Traders Bank. It was designed by Portsmouth architect William Ashe in a Richardsonian Romanesque style. Unique gabled dormers, and one of the earliest skylights in Portsmouth adorn the mansard roof. Brownstone lintels, cornice & frieze band, and terracotta rosettes, a pressed metal classical roof curb (partially covered with contemporary flashing). The storefront corner was significantly altered in the mid 20th century. The current building replaced a late 18th century three-story wood hip-roofed structure, along a much taller brick parti wall, suggesting a taller previous structure.

3-5 Congress Street - A stucco Italianate structure constructed in 1860, the first and second floor storefront and fenestration has been significantly altered. The upper floor lintels and pronounced bracketed cornice remain intact, with a shallow gable roof beyond. The modified second floor windows were stained glass at mid-20th century.

18 High Street - New-baroque 3 story wooden structure with unusually elaborate and ornate trim detailing. The façade is topped with a distinctive shallow arched pediment.

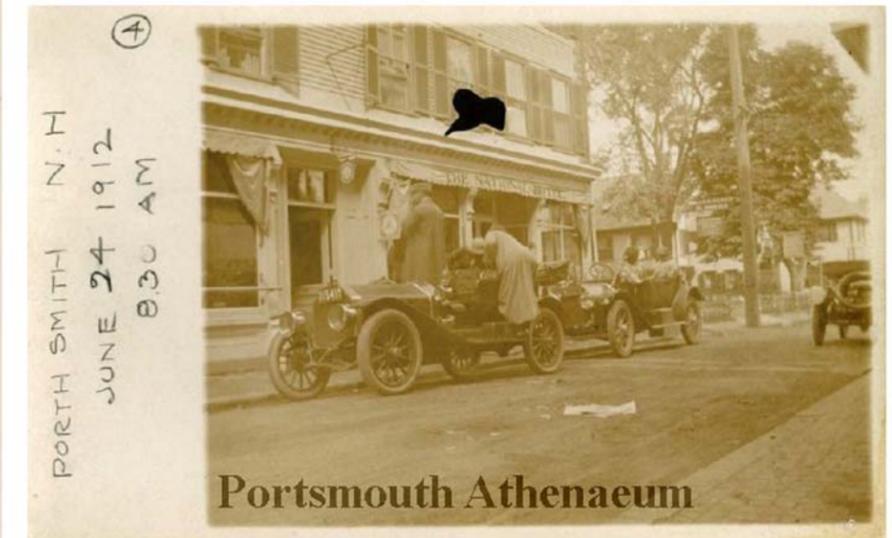
0 High Street (Lot 14 parking lot) – was previously the National Hotel, later known as the Dolphin Hotel, built in the mid 19th century. This 3 and a half story gable structure had a high level of wood detailing, trim, coining and brackets. It was destroyed by fire in 1969.

SANBORN MAP, 1920



Portsmouth Athenaeum

DOLPHIN HOTEL / NATIONAL HOTEL, C.1895



Portsmouth Athenaeum

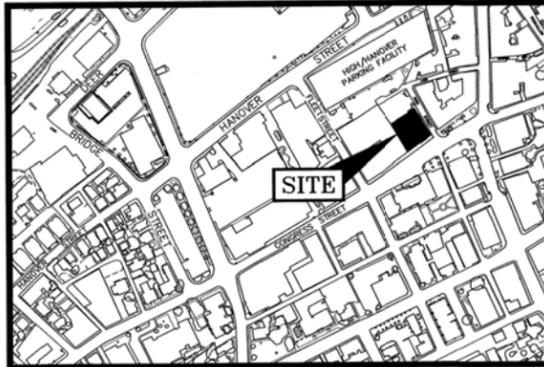
DOLPHIN HOTEL / NATIONAL HOTEL, C.1912

A0.5 HISTORIC CONTEXT
ONE MARKET SQUARE

SCALE:
01/13/2022



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LOCATION MAP SCALE: 1" = 300'

LEGEND:

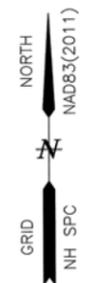
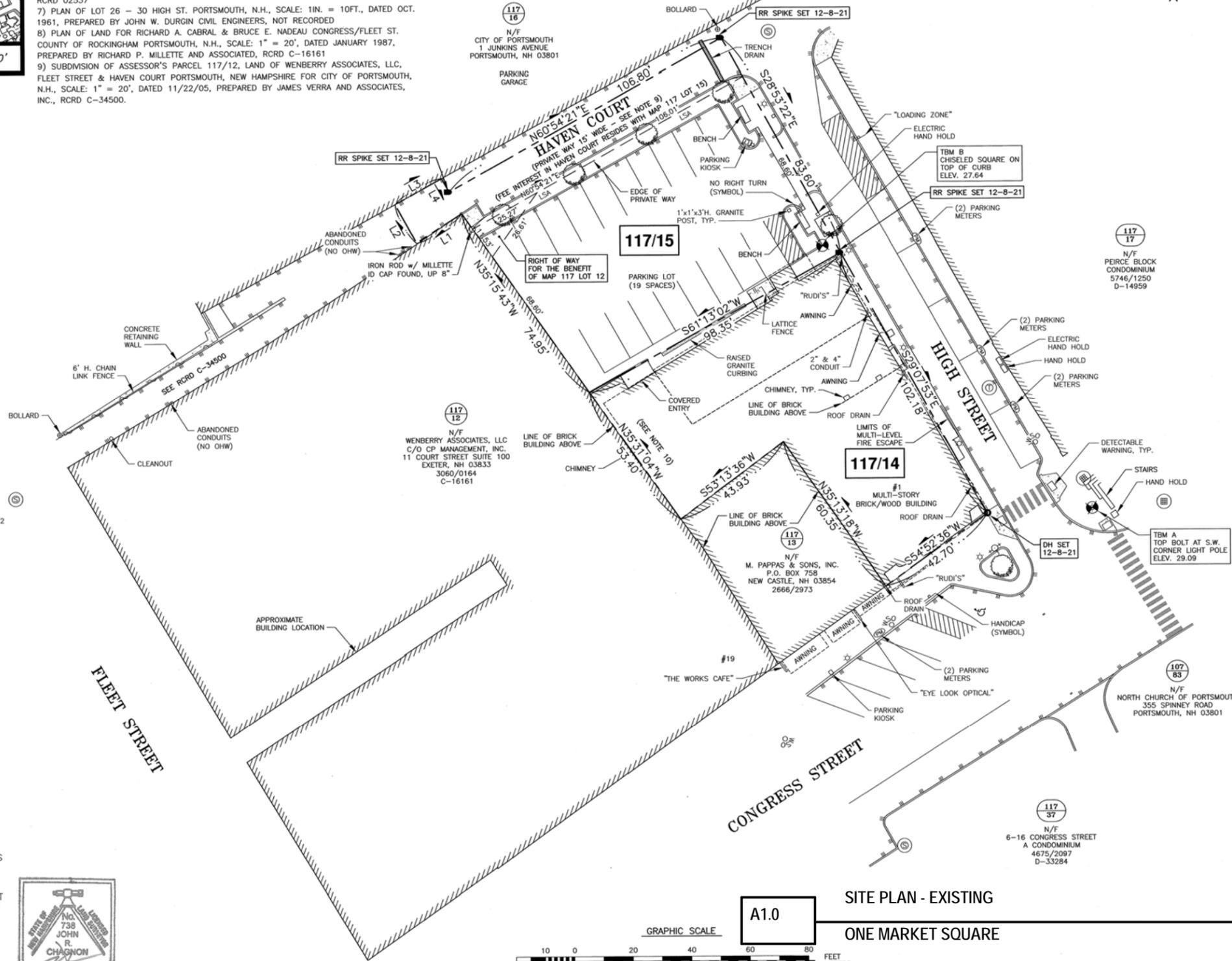
- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
- RR SPK RAILROAD SPIKE
- MAP 11/LOT 21
- IR FND IRON ROD FOUND
- IP FND IRON PIPE FOUND
- IR SET IRON ROD SET
- DH FND DRILL HOLE FOUND
- DH SET DRILL HOLE SET
- NHDB NHDOT BOUND FOUND
- TB TOWN BOUND
- BND w/DH BOUND WITH DRILL HOLE
- ST BND w/DH STONE BOUND WITH DRILL HOLE

LENGTH TABLE

LINE	BEARING	DISTANCE
L1	S57°27'42"W	18.36'
L2	N28°53'22"W	15.00'
L3	N61°07'46"E	18.19'
L4	S29°05'39"E	5.28'

PLAN REFERENCES:

- 1) PLAN OF A LOT OF LAND IN PORTSMOUTH, N.H. BELONGING TO THE ESTATE OF CHAS. H. MENDUM, SCALE: 1 IN = 20 FT, DATED JULY 1, 1908, PREPARED BY WM. A. GROVER CIVIL ENGINEER, RCRD 00469.
- 2) LAND ON HAVEN COURT PORTSMOUTH, N.H., F.W. HARTFORD TO HISLOP GARAGE CO., SCALE: 1IN. = 20FT., DATED FEB. 1926, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 00376.
- 3) LOT PLAN NOS. 7-13 CONGRESS ST. PORTSMOUTH, N.H., SCALE: 1/4 INCH = 1 FOOT, DATED MAR. 1937, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 4) PLAN OF LOT NOS. 173 - 181 FLEET ST. PORTSMOUTH, N.H., SCALE: 1IN. = 20FT., DATED NOV. 1945, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED
- 5) LAND IN PORTSMOUTH, N.H., RALPH T. WOOD & IRA A. NEWICK TO J.J. NEWBERRY CO., SCALE: 1IN. = 20FT., DATED MAY 1946, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 01243.
- 6) PLAN OF LOT PORTSMOUTH, N.H., NEWICK & WOOD INC. TO CITY OF PORTSMOUTH, SCALE 1IN. = 40FT., DATED MAR. 1956, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, RCRD 02537
- 7) PLAN OF LOT 26 - 30 HIGH ST. PORTSMOUTH, N.H., SCALE: 1IN. = 10FT., DATED OCT. 1961, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, NOT RECORDED
- 8) PLAN OF LAND FOR RICHARD A. CABRAL & BRUCE E. NADEAU CONGRESS/FLEET ST. COUNTY OF ROCKINGHAM PORTSMOUTH, N.H., SCALE: 1" = 20', DATED JANUARY 1987, PREPARED BY RICHARD P. MILLETTE AND ASSOCIATED, RCRD C-16161
- 9) SUBDIVISION OF ASSESSOR'S PARCEL 117/12, LAND OF WENBERRY ASSOCIATES, LLC, FLEET STREET & HAVEN COURT PORTSMOUTH, NEW HAMPSHIRE FOR CITY OF PORTSMOUTH, N.H., SCALE: 1" = 20', DATED 11/22/05, PREPARED BY JAMES VERRA AND ASSOCIATES, INC., RCRD C-34500.



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

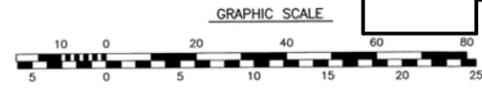
- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 117 AS LOTS 14 AND 15.
- 2) OWNER OF RECORD:
PETER H. JARVIS & SONS, LLC
P.O. BOX 27
NEW CASTLE, NH 03854
5840/0603
- 3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 5.
- 4) DIMENSIONAL REQUIREMENTS:
CHARACTER DISTRICT 5:
MIN. LOT AREA: NO REQUIREMENT
FRONTAGE: NO REQUIREMENT
SETBACKS:
FRONT (MAX.): 5 FEET (PRIMARY)
FRONT (MAX.): 5 FEET (SECONDARY)
SIDE: NO REQUIREMENT
REAR: GREATER OF 5 FEET FROM REAR LOT LINE OR 10 FEET FROM CENTER OF ALLEY
MAXIMUM STRUCTURE HEIGHT: SEE CITY PLAN
MAXIMUM STRUCTURE COVERAGE: 95%
MAXIMUM BUILDING FOOTPRINT: 20,000 S.F.
MINIMUM OPEN SPACE: 5%
MINIMUM FRONT LOT LINE BUILDOUT: 80%
- 5) LOT AREA: MAP 117 LOT 14 7,266 S.F. MAP 117 LOT 15 8,840 S.F.
0.1668 ACRES 0.2029 ACRES
- 6) PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF A STANDARD BOUNDARY SURVEY ON TAX MAP 117, LOTS 14 AND 15 IN PORTSMOUTH, NH.
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBS.
- 9) HAVEN COURT IS A PRIVATE WAY 15 FEET WIDE. ALL RIGHTS, TITLE AND INTEREST UNTO SAID HAVEN COURT WERE CONVEYED WITH ASSESSOR'S MAP 117 LOT 15, AS DESCRIBED IN RCRD 983/179, SUBJECT TO RIGHTS OF OTHERS (OTHERS NOT DEFINED ON THIS SURVEY).
- 10) BUILDING ON LOCUS PARCEL IS NOT ALONG PROPERTY LINE. AREA IS NOT ACCESSIBLE TO MEASURE.

I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

John R. Chagnon
JOHN R. CHAGNON, LLS 738

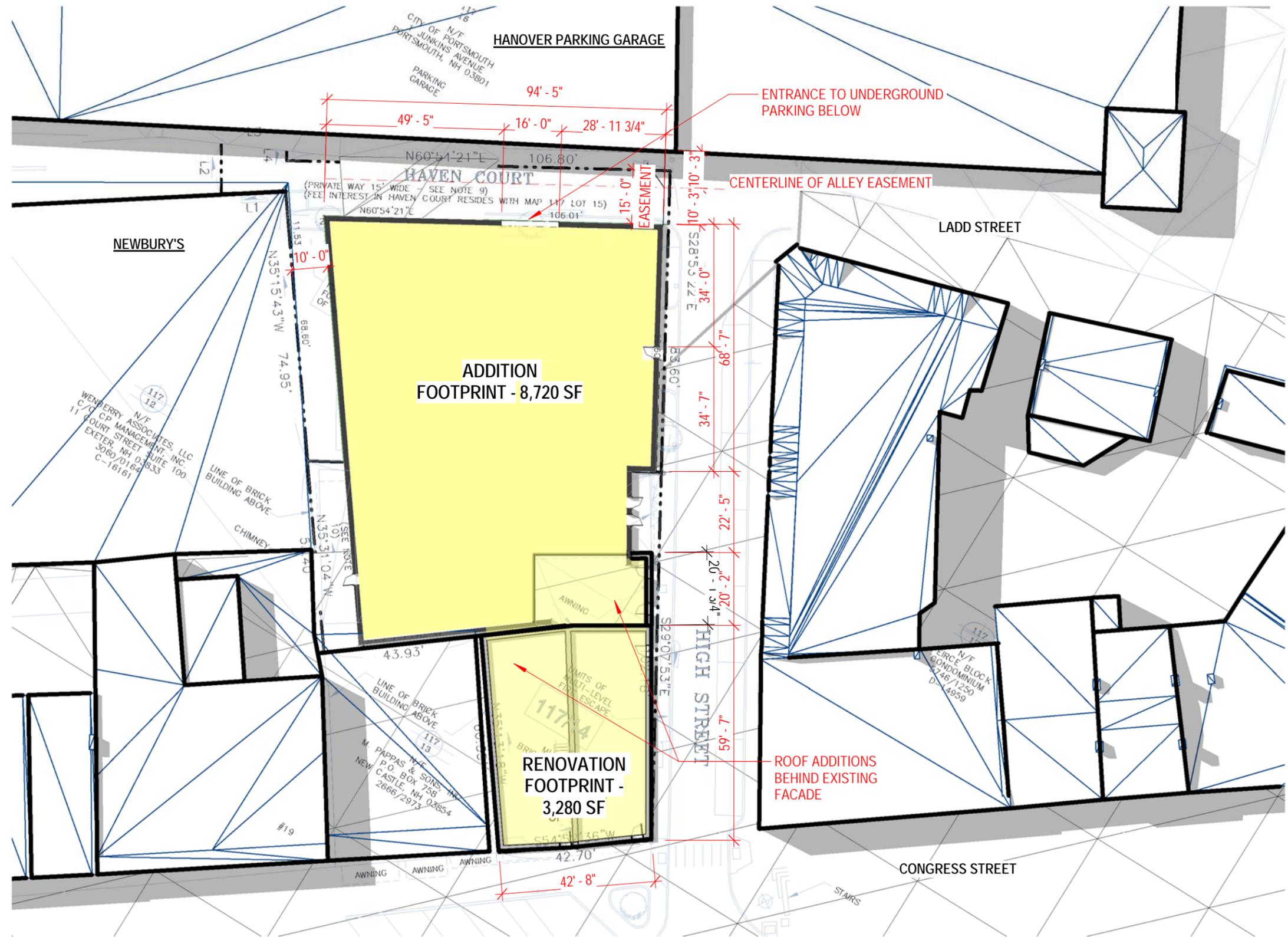
12.8.21
DATE



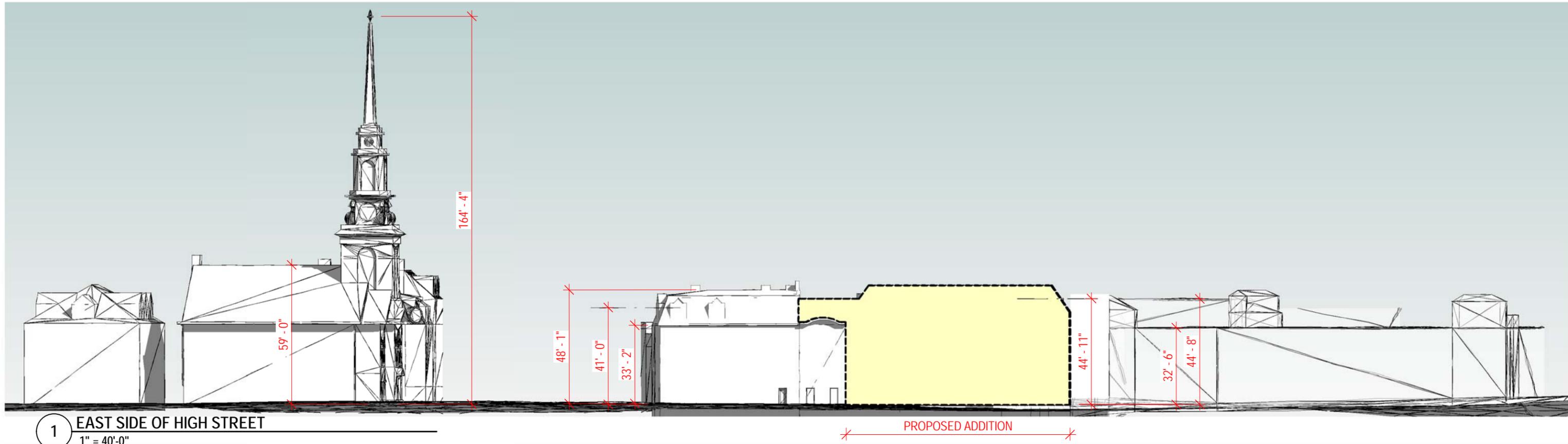
NO.	DESCRIPTION	DATE
0	ISSUED FOR RECORDING	12/8/21
REVISIONS		

STANDARD BOUNDARY SURVEY
TAX MAP 117
LOTS 14 & 15
OWNER OF RECORD:
PETER H. JARVIS & SONS, LLC
PROPERTY LOCATED AT:
1 CONGRESS STREET & CITY OF PORTSMOUTH COUNTY OF ROCKINGHAM STATE OF NEW HAMPSHIRE

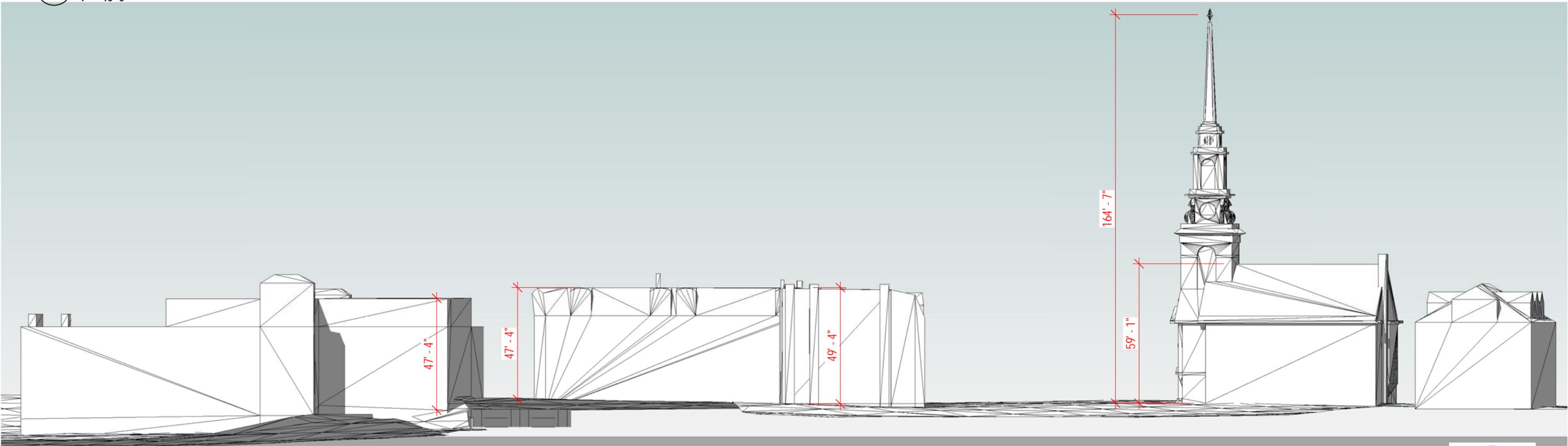




A1.1 SITE PLAN - PROPOSED
ONE MARKET SQUARE
 SCALE: 1" = 30'-0"
 01/13/2022



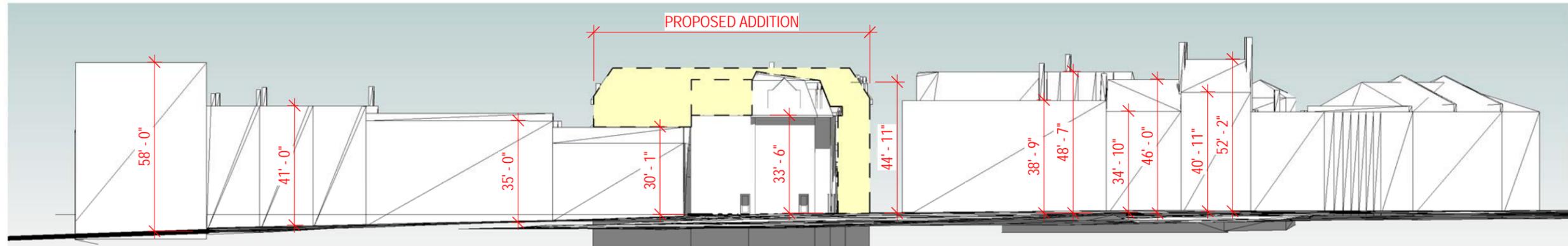
1 EAST SIDE OF HIGH STREET
1" = 40'-0"



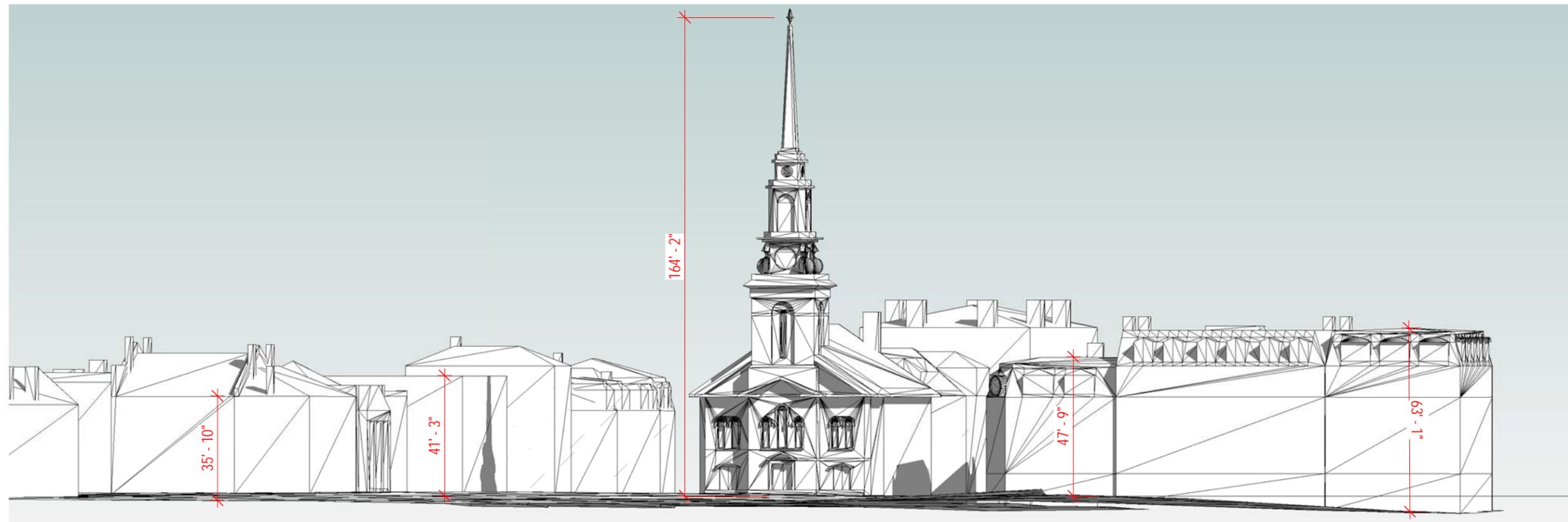
2 WEST SIDE OF HIGH STREET
1" = 40'-0"

A2.1 MASSING STREET SECTIONS
ONE MARKET SQUARE

SCALE: 1" = 40'-0"
01/13/2022



1 CONGRESS STREET - NORTH SIDE
1" = 40'-0"



2 Elevation 2 - c HDC
1" = 40'-0"

A2.2 MASSING STREET SECTIONS
ONE MARKET SQUARE

SCALE: 1" = 40'-0"
01/13/2022



COPYRIGHT © 2022

COMMERCIAL DEVELOPMENT

ONE MARKET SQUARE

1 CONGRESS STREET

PORTSMOUTH, NEW HAMPSHIRE

SITE PERMIT PLANS

OWNER:
ONE MARKET SQUARE LLC
3 PLEASANT STREET
SUITE #400
PORTSMOUTH, NH 03801
TEL. (603) 427-0725

LANDSCAPE ARCHITECT:
TERRA FIRMA LANDSCAPE
ARCHITECTURE
163A COURT STREET
PORTSMOUTH, NH 03801
TEL. (603) 430-8388

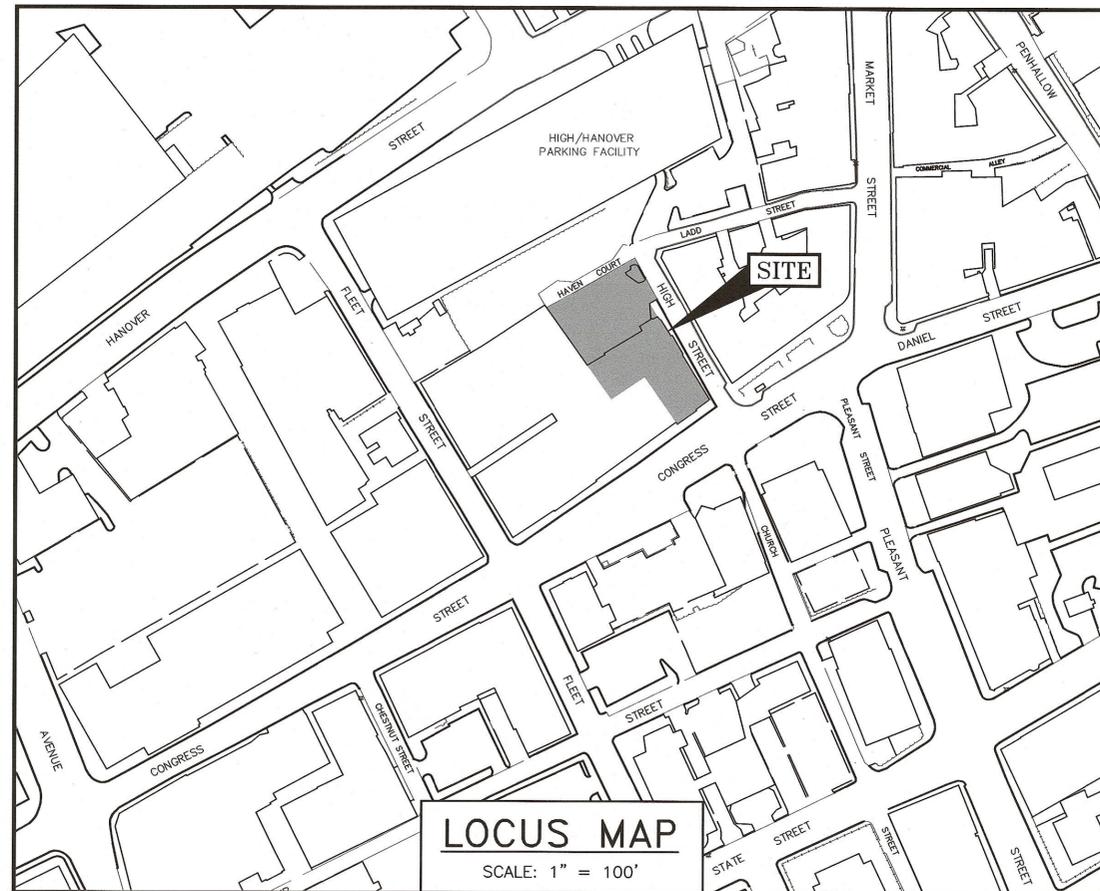
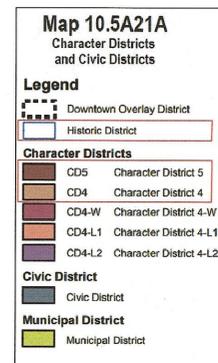
LAND SURVEYOR & CIVIL ENGINEER:
AMBIT ENGINEERING, INC.
200 GRIFFIN ROAD, UNIT 3
PORTSMOUTH, N.H. 03801
Tel. (603) 430-9282
Fax (603) 436-2315

GEOTECHNICAL:
GEOTECHNICAL SERVICES INC.
18 COTE AVENUE, UNIT 11
GOFFSTOWN, N.H. 03045
Tel. (603) 624-2722

ARCHITECT:
ARCOVE LLC
3 CONGRESS STREET
SUITE 1
PORTSMOUTH, NH 03801
TEL. (603) 731-5187

LAND USE ATTORNEY:
BRUTON & BERUBE, PLLC
601 CENTRAL AVENUE
DOVER, N.H. 03820
Tel. (603) 749-4529

PERMIT LIST:
NHDES SEWER DISCHARGE PERMIT: TO BE SUBMITTED
PORTSMOUTH BOA: PENDING
PORTSMOUTH HDC: TO BE SUBMITTED
PORTSMOUTH SITE PLAN: TO BE SUBMITTED



LEGEND:

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	SETBACK
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	G	GAS LINE
D	D	STORM DRAIN
W	W	WATER LINE
WS	WS	WATER SERVICE
UGE	UGE	UNDERGROUND ELECTRIC
OHW	OHW	OVERHEAD ELECTRIC/WIRES
---	---	FOUNDATION DRAIN
---	---	EDGE OF PAVEMENT (EP)
100	100	CONTOUR
97x3	98x0	SPOT ELEVATION
○	○	UTILITY POLE
☀	☀	WALL MOUNTED EXTERIOR LIGHTS
☀	☀	TRANSFORMER ON CONCRETE PAD
☀	☀	ELECTRIC HANDHOLD
☀	☀	SHUT OFFS (WATER/GAS)
☀	☀	GATE VALVE
☀	☀	HYDRANT
☀	☀	CATCH BASIN
☀	☀	SEWER MANHOLE
☀	☀	DRAIN MANHOLE
☀	☀	TELEPHONE MANHOLE
☀	☀	PARKING SPACE COUNT
☀	☀	PARKING METER
☀	☀	LANDSCAPED AREA
TBD	TBD	TO BE DETERMINED
CI	CI	CAST IRON PIPE
COP	COP	COPPER PIPE
DI	DI	DUCTILE IRON PIPE
PVC	PVC	POLYVINYL CHLORIDE PIPE
RCP	RCP	REINFORCED CONCRETE PIPE
AC	AC	ASBESTOS CEMENT PIPE
VC	VC	VITRIFIED CLAY PIPE
EP	EP	EDGE OF PAVEMENT
EL	EL	ELEVATION
FF	FF	FINISHED FLOOR
INV	INV	INVERT
S =	S =	SLOPE FT/FT
TBM	TBM	TEMPORARY BENCH MARK
TYP	TYP	TYPICAL



INDEX OF SHEETS

DWG No.	Description
-	BOUNDARY PLAN
C1	EXISTING CONDITIONS PLAN
C2	DEMOLITION PLAN
C3	OVERALL SITE PLAN

UTILITY CONTACTS

ELECTRIC:
EVERSOURCE
1700 LAFAYETTE ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 436-7708, Ext. 555.5678
ATTN: MICHAEL BUSBY, P.E. (MANAGER)

NATURAL GAS:
UNITIL
325 WEST ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 294-5144
ATTN: DAVE BEAULIEU

CABLE:
COMCAST
155 COMMERCE WAY
PORTSMOUTH, N.H. 03801
Tel. (603) 679-5695 (X1037)
ATTN: MIKE COLLINS

SEWER & WATER:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 427-1530
ATTN: JIM TOW

COMMUNICATIONS:
FAIRPOINT COMMUNICATIONS
JOE CONSIDINE
1575 GREENLAND ROAD
GREENLAND, N.H. 03840
Tel. (603) 427-5525

PORTSMOUTH APPROVAL CONDITIONS NOTE:
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

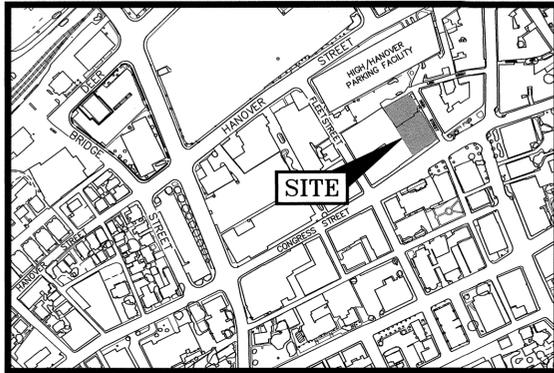
APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

SITE PERMIT PLANS
COMMERCIAL DEVELOPMENT
ONE MARKET SQUARE
1 CONGRESS STREET
PORTSMOUTH, N.H.

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel. (603) 430-9282
Fax (603) 436-2315

PLAN SET SUBMITTAL DATE: 26 JANUARY 2022



LOCATION MAP SCALE: 1" = 300'

LEGEND:

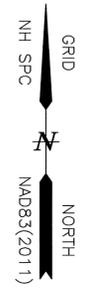
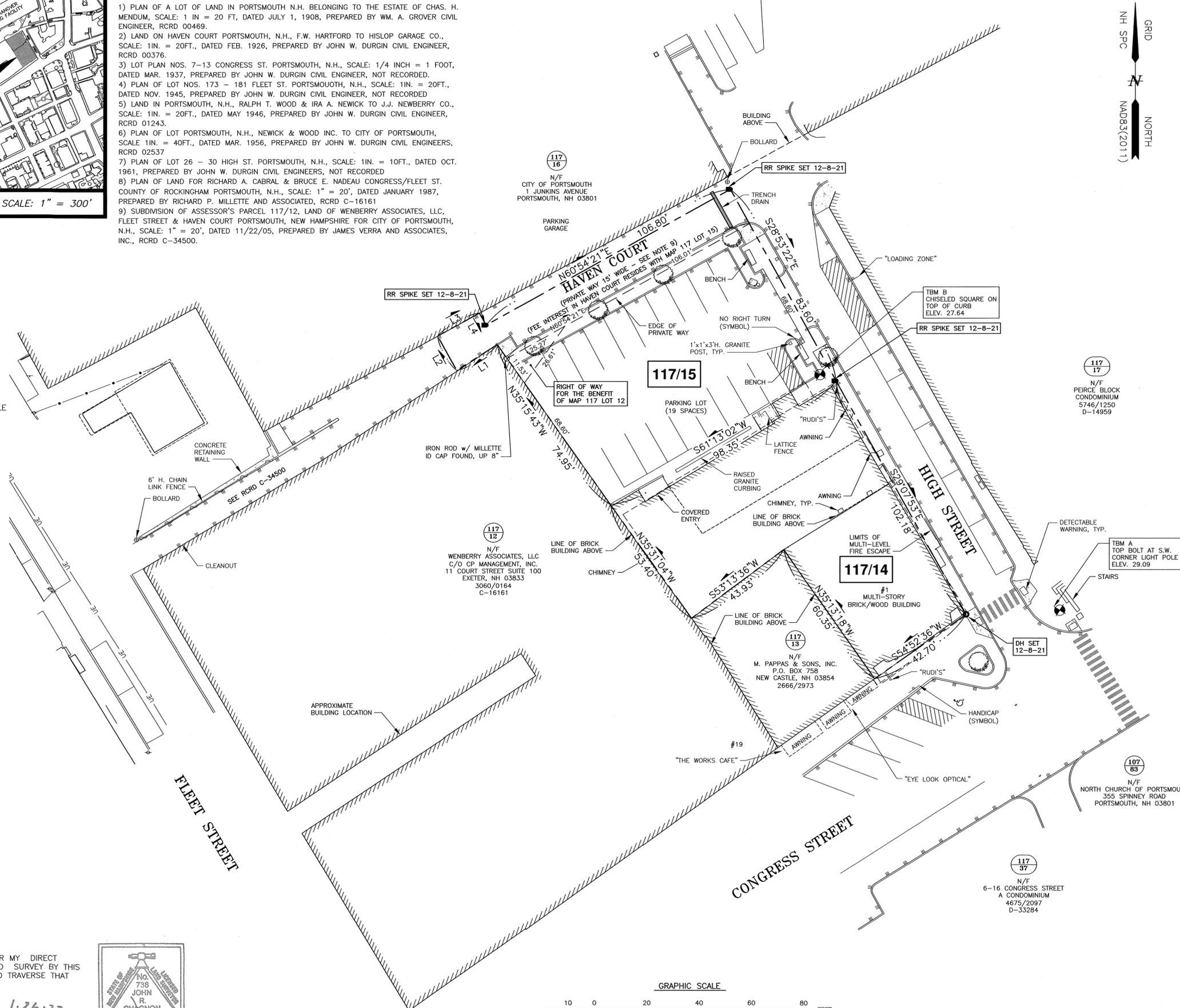
- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY
- RR SPK RAILROAD SPIKE
- MAP 11/LOT 21
- IR FND IRON ROD FOUND
- IP FND IRON PIPE FOUND
- IR SET IRON ROD SET
- DH FND DRILL HOLE FOUND
- DH SET DRILL HOLE SET
- NHHB NHDOT BOUND FOUND
- TB TOWN BOUND
- BND w/DH BOUND WITH DRILL HOLE
- ST BND w/DH STONE BOUND WITH DRILL HOLE

LENGTH TABLE

LINE	BEARING	DISTANCE
L1	S57°27'42"W	18.36'
L2	N28°53'22"W	15.00'
L3	N61°07'46"E	18.19'
L4	S29°05'39"E	5.28'

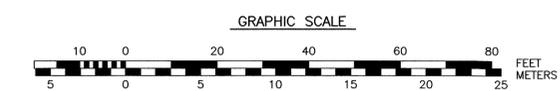
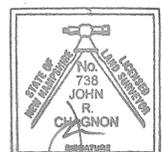
PLAN REFERENCES:

- 1) PLAN OF A LOT OF LAND IN PORTSMOUTH N.H. BELONGING TO THE ESTATE OF CHAS. H. MENDUM, SCALE: 1 IN = 20 FT, DATED JULY 1, 1908, PREPARED BY WM. A. GROVER CIVIL ENGINEER, RCRD 00469.
- 2) LAND ON HAVEN COURT PORTSMOUTH, N.H., F.W. HARTFORD TO HISLOP GARAGE CO., SCALE: 1IN. = 20FT., DATED FEB. 1926, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 00376.
- 3) LOT PLAN NOS. 7-13 CONGRESS ST. PORTSMOUTH, N.H., SCALE: 1/4 INCH = 1 FOOT, DATED MAR. 1937, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 4) PLAN OF LOT NOS. 173 - 181 FLEET ST. PORTSMOUTH, N.H., SCALE: 1IN. = 20FT., DATED NOV. 1945, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 5) LAND IN PORTSMOUTH, N.H., RALPH T. WOOD & IRA A. NEWICK TO J.J. NEWBERRY CO., SCALE: 1IN. = 20FT., DATED MAY 1946, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 01243.
- 6) PLAN OF LOT PORTSMOUTH, N.H., NEWICK & WOOD INC. TO CITY OF PORTSMOUTH, SCALE 1IN. = 40FT., DATED MAR. 1956, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, RCRD 02537
- 7) PLAN OF LOT 26 - 30 HIGH ST. PORTSMOUTH, N.H., SCALE: 1IN. = 10FT., DATED OCT. 1961, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, NOT RECORDED
- 8) PLAN OF LAND FOR RICHARD A. CABRAL & BRUCE E. NADEAU CONGRESS/FLEET ST. COUNTY OF ROCKINGHAM PORTSMOUTH, N.H., SCALE: 1" = 20', DATED JANUARY 1987, PREPARED BY RICHARD P. MILLETTE AND ASSOCIATED, RCRD C-16161
- 9) SUBDIVISION OF ASSESSOR'S PARCEL 117/12, LAND OF WENBERRY ASSOCIATES, LLC, FLEET STREET & HAVEN COURT PORTSMOUTH, NEW HAMPSHIRE FOR CITY OF PORTSMOUTH, N.H., SCALE: 1" = 20', DATED 11/22/05, PREPARED BY JAMES VERRA AND ASSOCIATES, INC., RCRD C-34500.



I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

[Signature]
 JOHN R. CHAGNON, LLS 738
 DATE 1-26-22



AMBIT ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 200 Griffin Road - Unit 3
 Portsmouth, N.H. 03801-7114
 Tel (603) 430-9282
 Fax (603) 436-2315

- NOTES:**
- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 117 AS LOTS 14 AND 15.
 - 2) OWNER OF RECORD:
 ONE MARKET SQUARE, LLC
 3 PLEASANT STREET, SUITE 400
 PORTSMOUTH, NH 03801
 6363/31 PARCEL 1 & PARCEL 2
 - 3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4 AND CHARACTER DISTRICT 5.
 - 4) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
 - 5) LOT AREAS: MAP 117 LOT 14 7,266 S.F. 0.1668 ACRES
 MAP 117 LOT 15 8,840 S.F. 0.2029 ACRES
 COMBINED LOT AREA: 16,106 S.F. 0.3697 ACRES
 - 6) PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF A STANDARD BOUNDARY SURVEY ON TAX MAP 117, LOTS 14 AND 15 IN PORTSMOUTH, NH.
 - 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBS.
 - 9) HAVEN COURT IS A PRIVATE WAY 15 FEET WIDE. ALL RIGHTS, TITLE AND INTEREST UNTO SAID HAVEN COURT WERE CONVEYED WITH ASSESSOR'S MAP 117 LOT 15, AS DESCRIBED IN RCRD 983/179, SUBJECT TO RIGHTS OF OTHERS (OTHERS NOT DEFINED ON THIS SURVEY).

NO.	DESCRIPTION	DATE
1	NEW OWNER	1/26/22
0	ISSUED FOR RECORDING	12/8/21

STANDARD BOUNDARY SURVEY
TAX MAP 117
LOTS 14 & 15
 OWNER OF RECORD:
ONE MARKET SQUARE, LLC
 PROPERTY LOCATED AT:
1 CONGRESS STREET & HIGH STREET
 CITY OF PORTSMOUTH
 COUNTY OF ROCKINGHAM
 STATE OF NEW HAMPSHIRE



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2318

NOTES:

- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 117 AS LOTS 14 AND 15.
- 2) OWNER OF RECORD:
ONE MARKET SQUARE, LLC
3 PLEASANT STREET, SUITE 400
PORTSMOUTH, NH 03801
6363/31 PARCEL 1 & PARCEL 2
- 3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4 AND CHARACTER DISTRICT 5.
- 4) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
- 5) LOT AREAS: MAP 117 LOT 14 MAP 117 LOT 15
7,266 S.F. 8,840 S.F.
0.1668 ACRES 0.2029 ACRES

COMBINED LOT AREA:
16,106 S.F.
0.3697 ACRES
- 6) PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 117, LOTS 14 AND 15 IN PORTSMOUTH, NH.
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBS.

**COMMERCIAL DEVELOPMENT
ONE MARKET SQUARE
PORTSMOUTH, N.H.**

NO.	PROPERTY LINES	1/26/22
REVISIONS		
NO.	DESCRIPTION	DATE

SCALE 1" = 10' NOVEMBER 2021

EXISTING CONDITIONS PLAN **C1**

ADDITIONAL ABUTTERS:

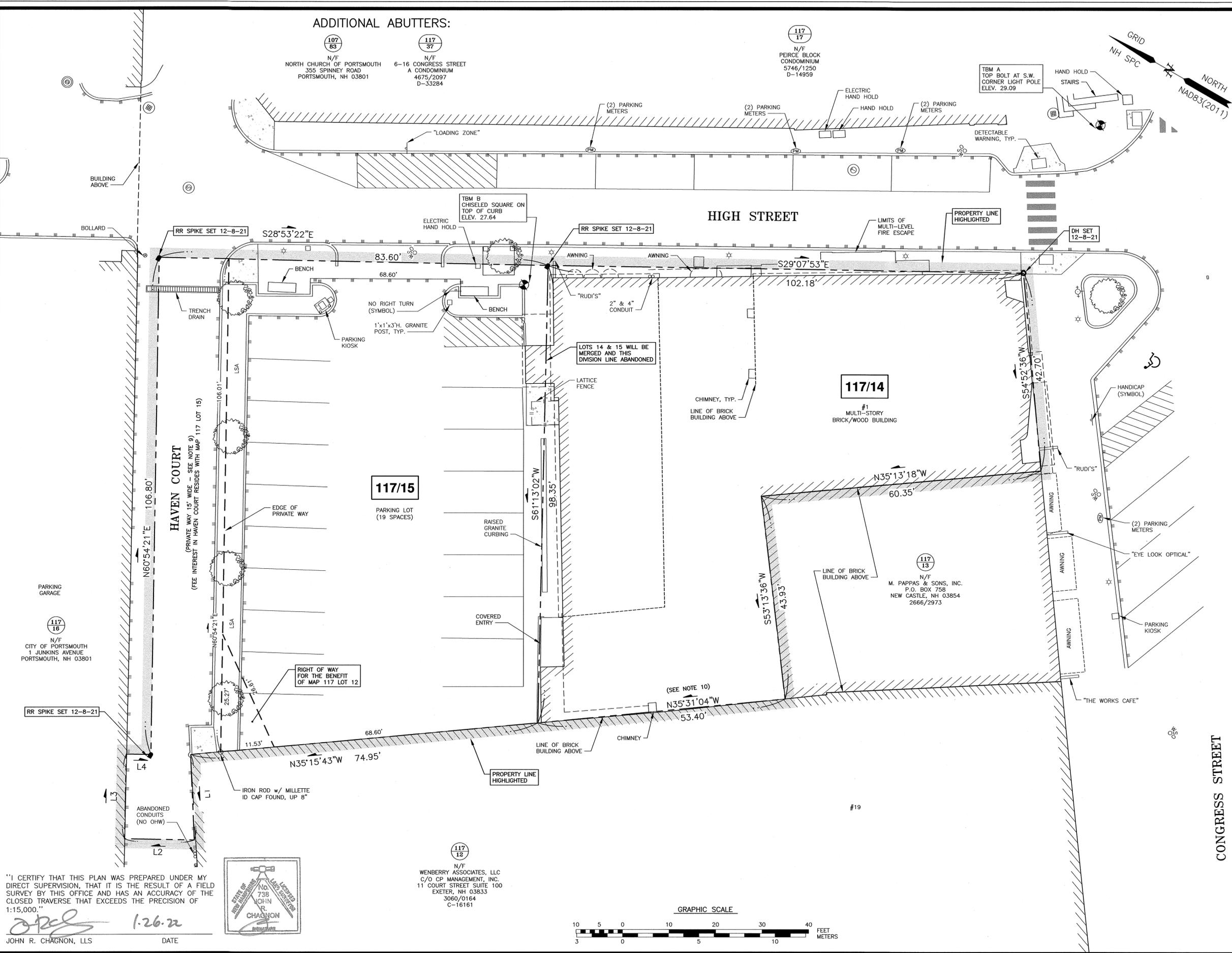
107/83
N/F
NORTH CHURCH OF PORTSMOUTH
355 SPINNEY ROAD
PORTSMOUTH, NH 03801

117/37
N/F
6-16 CONGRESS STREET
A CONDOMINIUM
4675/2097
D-33284

117/17
N/F
PEIRCE BLOCK CONDOMINIUM
5746/1250
D-14959

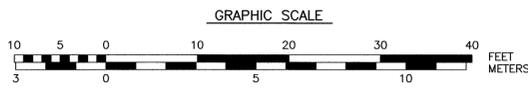
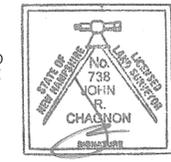
117/18
N/F
M. PAPPAS & SONS, INC.
P.O. BOX 758
NEW CASTLE, NH 03854
2666/2973

117/12
N/F
WENBERRY ASSOCIATES, LLC
C/O CP MANAGEMENT, INC.
11 COURT STREET SUITE 100
EXETER, NH 03833
3060/0164
C-16161



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

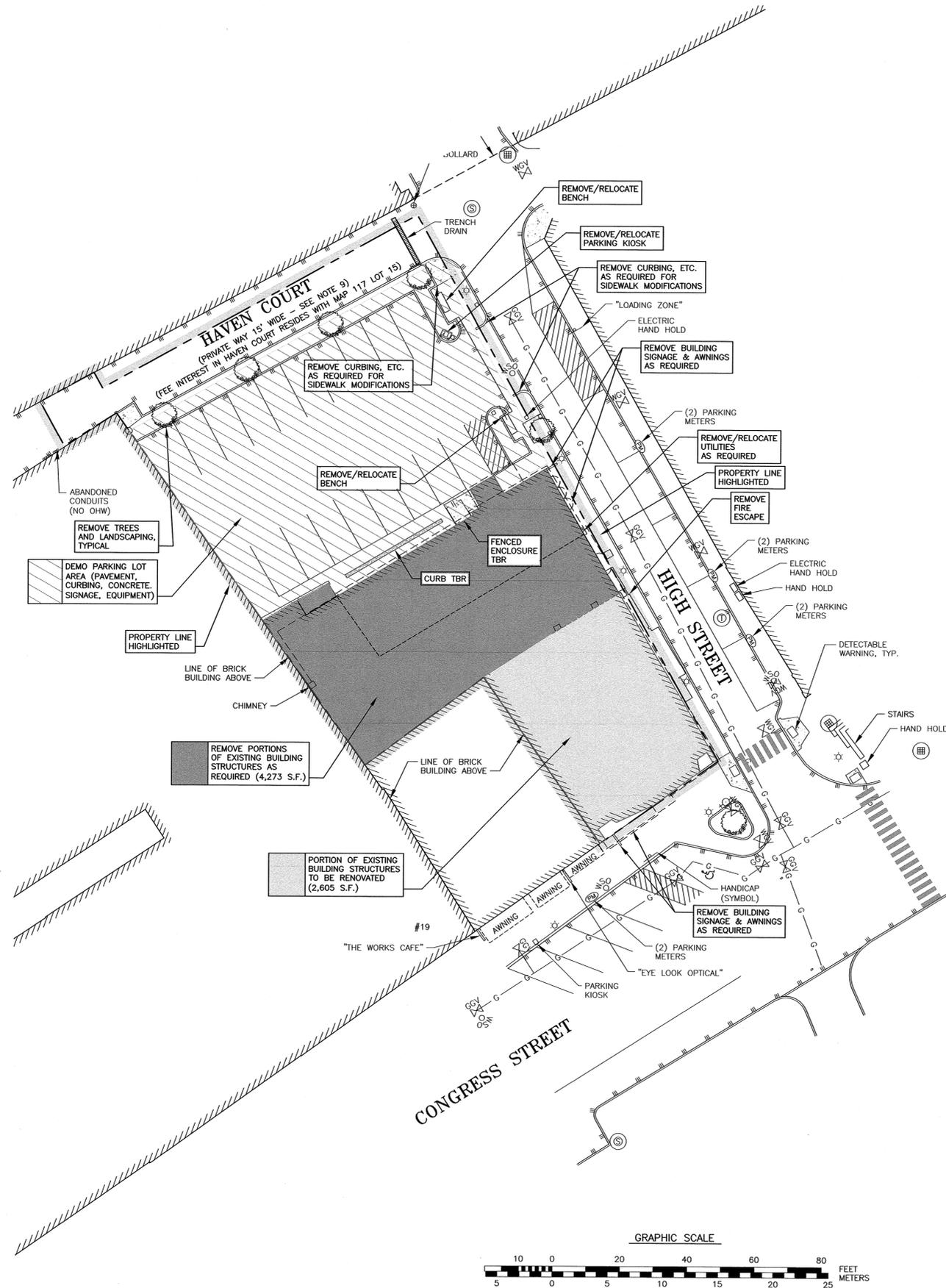
John R. Chagnon 1.26.22
JOHN R. CHAGNON, LLS DATE



J:\2025\117\117-14-15\117-14-15.dwg Survey 1/26/22 11:52:28 AM User: JRC Plot: 117-14-15.dwg

DEMOLITION NOTES

- A) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.
- B) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- C) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- E) SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT TRENCH IN AREAS WHERE PAVEMENT IS TO BE REMOVED.
- F) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- G) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- H) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING DOMESTIC / IRRIGATION SERVICE WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER FOR PROPER CAPPING / RE-USE.
- I) ALL WORK WITHIN THE CITY OF PORTSMOUTH RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS (DPW).
- J) REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL SLUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- K) CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED, THE CONTRACTOR SHALL EMPLOY A NH LICENSED LAND SURVEYOR TO REPLACE THEM.
- L) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- M) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFELY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- N) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS.



AMBIT ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 200 Griffin Road - Unit 3
 Portsmouth, N.H. 03801-7114
 Tel (603) 430-9202
 Fax (603) 436-2315

NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

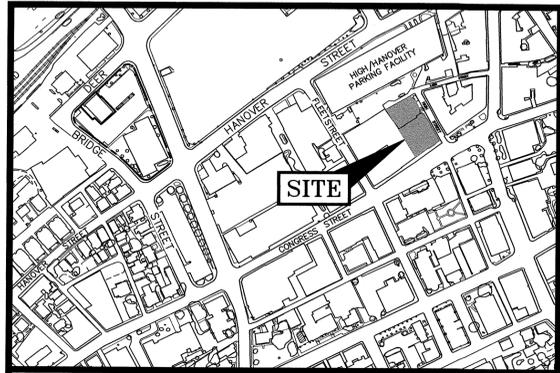
**COMMERCIAL DEVELOPMENT
 ONE MARKET SQUARE
 PORTSMOUTH, N.H.**

0	ISSUED FOR COMMENT	1/26/22
NO.	DESCRIPTION	DATE

REVISIONS

SCALE 1" = 20' NOVEMBER 2021

DEMOLITION PLAN **C2**



PLAN REFERENCE:
 STANDARD BOUNDARY SURVEY, TAX MAP 117, LOTS 14 & 15,
 FOR PETER H. JARVIS & SONS, LLC. 1 CONGRESS STREET &
 HIGH STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM,
 STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING,
 INC. DATED NOVEMBER 2021. ISSUED FOR RECORDING 12/8/21.
 R.C.R.D. PLAN D-43095.

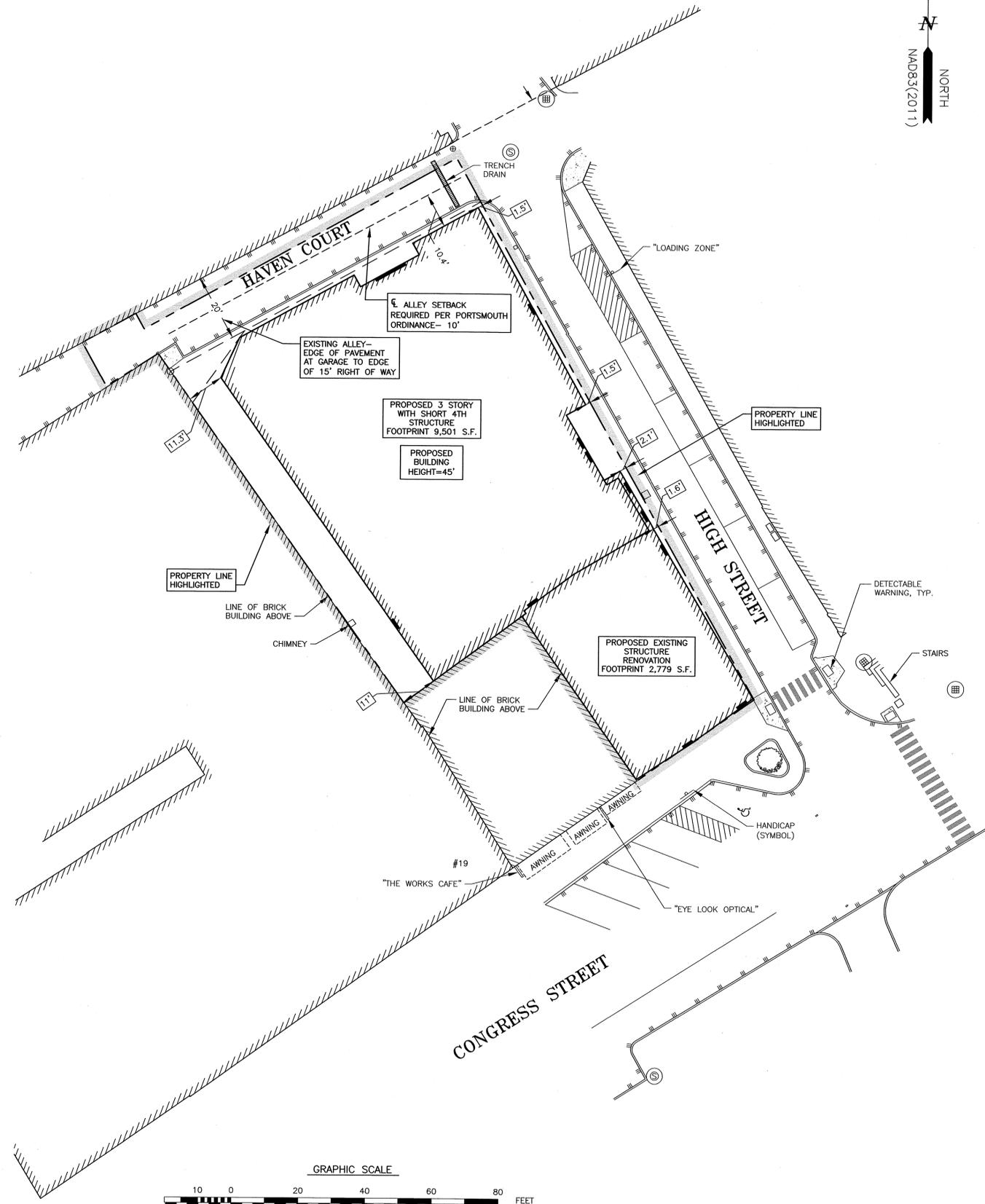
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AMBIT ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 200 Griffin Road - Unit 3
 Portsmouth, N.H. 03801-7114
 Tel (603) 430-9282
 Fax (603) 436-2315

- NOTES:**
- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 117 AS LOTS 14 AND 15.
 - 2) OWNER OF RECORD:
 ONE MARKET SQUARE, LLC
 3 PLEASANT STREET, SUITE 400
 PORTSMOUTH, NH 03801
 6363/31 PARCEL 1 & PARCEL 2
 - 3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4 AND CHARACTER DISTRICT 5. SEE TABLES THIS SHEET.
 - 4) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
 - 5) LOT AREAS: MAP 117 LOT 14 MAP 117 LOT 15
 7,266 S.F. 8,840 S.F.
 0.1668 ACRES 0.2029 ACRES
 COMBINED LOT AREA:
 16,106 S.F.
 0.3697 ACRES
 - 6) PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED DEVELOPMENT ON TAX MAP 117, LOTS 14 AND 15 IN PORTSMOUTH, NH.
 - 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBS.
 - 9) HAVEN COURT IS A PRIVATE WAY 15 FEET WIDE. ALL RIGHTS, TITLE AND INTEREST UNTO SAID HAVEN COURT WERE CONVEYED WITH ASSESSOR'S MAP 117 LOT 15, AS DESCRIBED IN RCRD 983/179, SUBJECT TO RIGHTS OF OTHERS (OTHERS NOT DEFINED ON THIS PLAN).

ZONING DEVELOPMENT STANDARD			
CD4 (CD-4, DOD, HDC): CHARACTER DISTRICT 4			
	REQUIRED	EXISTING	PROPOSED
Penthouses	may exceed bldg height by 2'	n/a	n/a
Roof appurtenance	may exceed bldg height by 10'	n/a	tbd, < 10'-0"
Facade Types	shopfront	n/a	yes
Building Types	commercial, live-work, mixed use, flex space & community.	n/a	commercial
Setbacks (ft) *			
Front (principle) max	10	n/a	0'-0"
Front (secondary) max	15	n/a	1'-6"
Side	NR	n/a	10'-0"
Rear, min	>of: 5' from rear line or 10' from d	n/a	10'-0"
Front lotline buildout	50% min	n/a	n/a
Lot area (sf)	NR	8,840	8,840
LOT area per dwelling	NR	0	n/a
Coverage, maximum	90%	0	67.39%
Footprint, max*	10,543.40	0	5,957
*10,543.43 increase for indoor parking if >50% gr. floor parking & 30% lot is community space	30,000 ground (20,000 upper)		0
Ground floor area per use, max	15,000		5,957
Open space, minimum	10%		32.61%
Permitted uses (cd4 & cd5)	multifamily, live/work, office, retail, restaurant (<500cc)	surface parking lot	commercial retail
Block length, max (ft)	200	n/a	169'-3"
Facade modulation length, max (ft)	80	n/a	67'-6"
Entrance spacing, max (ft)	50	n/a	41'-9"
Floor height above sidewalk, max	36"	n/a	26"
Ground floor height, min	12'	n/a	13'-0"
Second floor height, min	10'	n/a	11'-0"
Glazing, shopfront, min	70%	n/a	min 70%
Glazing, other	20%-50%	n/a	20%-50%
Roof types (pitch)	flat, gable (6:12-12:12), hip (3:12), gambrel/mansard (6:12-30:12)	n/a	flat, mansard, hip

ZONING DEVELOPMENT STANDARD			
CD5 (CD-5, DOD, HDC): CHARACTER DISTRICT 5			
	REQUIRED	EXISTING	PROPOSED
Penthouses	may exceed bldg height by 2'	n/a	n/a
Roof appurtenance	may exceed bldg height by 10'	tbd, < 10'-0"	tbd, < 10'-0"
Facade Types	shop front	yes	yes
Building Types	commercial, live-work, mixed use, flex space & community.	commercial, mixed use	commercial
Setbacks (ft) *			
Front (principle) max	5	0'-0"	0'-0"
Front (secondary) max	5	0'-0"	1'-6"
Side	NR	0'-0"	0'-10"
Rear, min	>of: 5' from rear line or 10' from d	n/a	10'-0"
Front lotline buildout	80% min	100%	n/a
Lot area (sf)	NR	7,266	8,840
LOT area per dwelling	NR	n/a	n/a
Coverage, maximum	95%	87.63%	67.39%
Footprint, max*	10,543.40	6,367	5,957
*10,543.43 increase for indoor parking if >50% gr. floor parking & 30% lot is community space	50,000 ground (30,000 upper)		0
Ground floor area per use, max	15,000	6,367	5,957
Open space, minimum	5%	12.37%	32.61%
Permitted uses (cd4 & cd5)	commercial, live/work, mixed-use, flex space, community, office, retail, restaurant (<500cc)	commercial, mixed use, office, retail & restaurant	commercial retail
Block length, max (ft)	225	102.18	169'-3"
Facade modulation length, max (ft)	100	102.18	67'-6"
Entrance spacing, max (ft)	50	50'-6"	41'-9"
Floor height above sidewalk, max	36"	8"	26"
Ground floor height, min	12'	13'-0"	13'-0"
Second floor height, min	10'	11'-0"	11'-0"
Glazing, shopfront, min	70%		min 70%
Glazing, other	20%-50%		20%-50%
Roof types (pitch)	flat, gable (6:12-12:12), hip (3:12), gambrel/mansard (6:12-30:12)	mansard and gable	flat, mansard, hip



BUILDING DATA:
 PROPOSED BUILDING:
 12,280 S.F. FOOTPRINT

HEIGHT DATA:

LOT	REQUIRED HEIGHT & STORIES	PROPOSED HEIGHT & STORIES
14	2-3 STORIES WITH SHORT 4TH=45'	44'-11"/ 3 STORY WITH 4TH SHORT
15	2 STORIES WITH SHORT 3RD=35'	44'-11"/ 3 STORY WITH 4TH SHORT

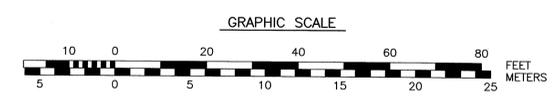
One Market Square
Conceptual Area Summary
 1/25/2022

	total gsf	cd4 - lot 15	cd5 - lot 14
4th floor	6,697	4,924	1,773
3rd floor	9,609	5,957	3,652
2nd floor	9,608	5,957	3,651
1st floor (footprint)	9,608	5,957	3,651
basement	9,791	6,162	3,629
total new	45,313		
renovation			
4th floor	2,294	residential	
3rd floor	2,716	residential	
2nd floor	2,716	office	
1st floor	1,386	restaurant	
1st floor	1,330	retail	
basement	2,717	storage/mech	
total renovation	13,159		
TOTAL FOOTPRINT	12,324		
TOTAL GSF	58,472		

PORTSMOUTH APPROVAL CONDITIONS NOTE:
 ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

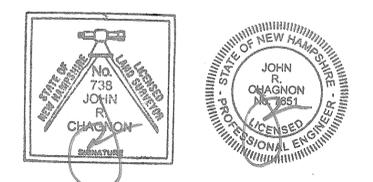
APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____



COMMERCIAL DEVELOPMENT
ONE MARKET SQUARE
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	1/26/22
REVISIONS		



SCALE 1" = 20' NOVEMBER 2021

OVERALL SITE PLAN **C3**



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ONE MARKET SQUARE

1 CONGRESS STREET & HIGH STREET
 PORTSMOUTH, NH 03801

**ONE MARKET SQUARE
 LLC, OWNER**

**Map U117
 Lot 14 and Lot 15**

Note: Locations of
 parking spaces, stair
 towers and elevator
 are approximate and
 subject to change.

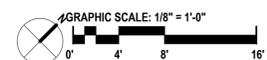
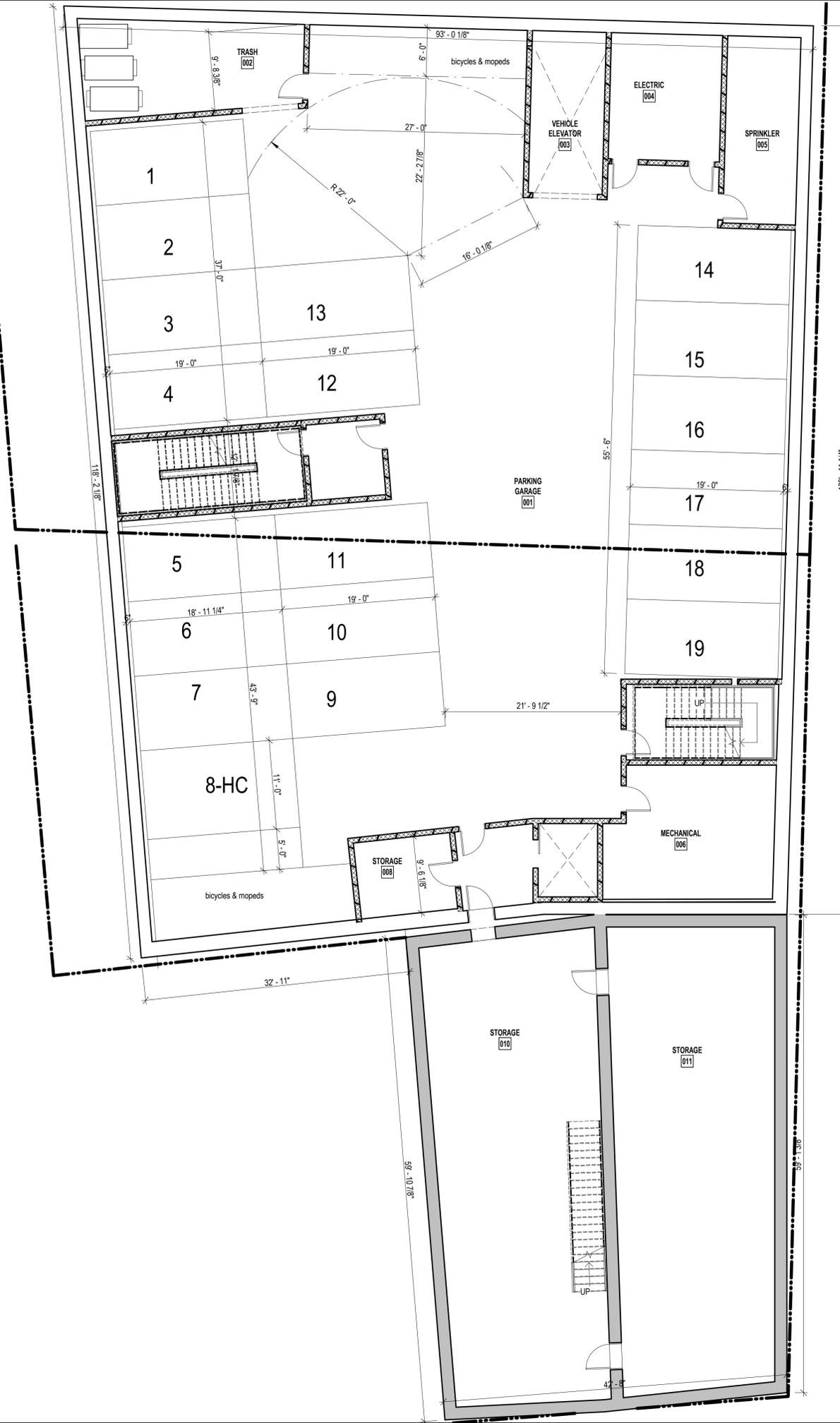
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**BOARD OF
 ADJUSTMENT
 BASEMENT
 FLOOR PLAN**

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**ONE MARKET SQUARE
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**Map U117
 Lot 14 and Lot 15**

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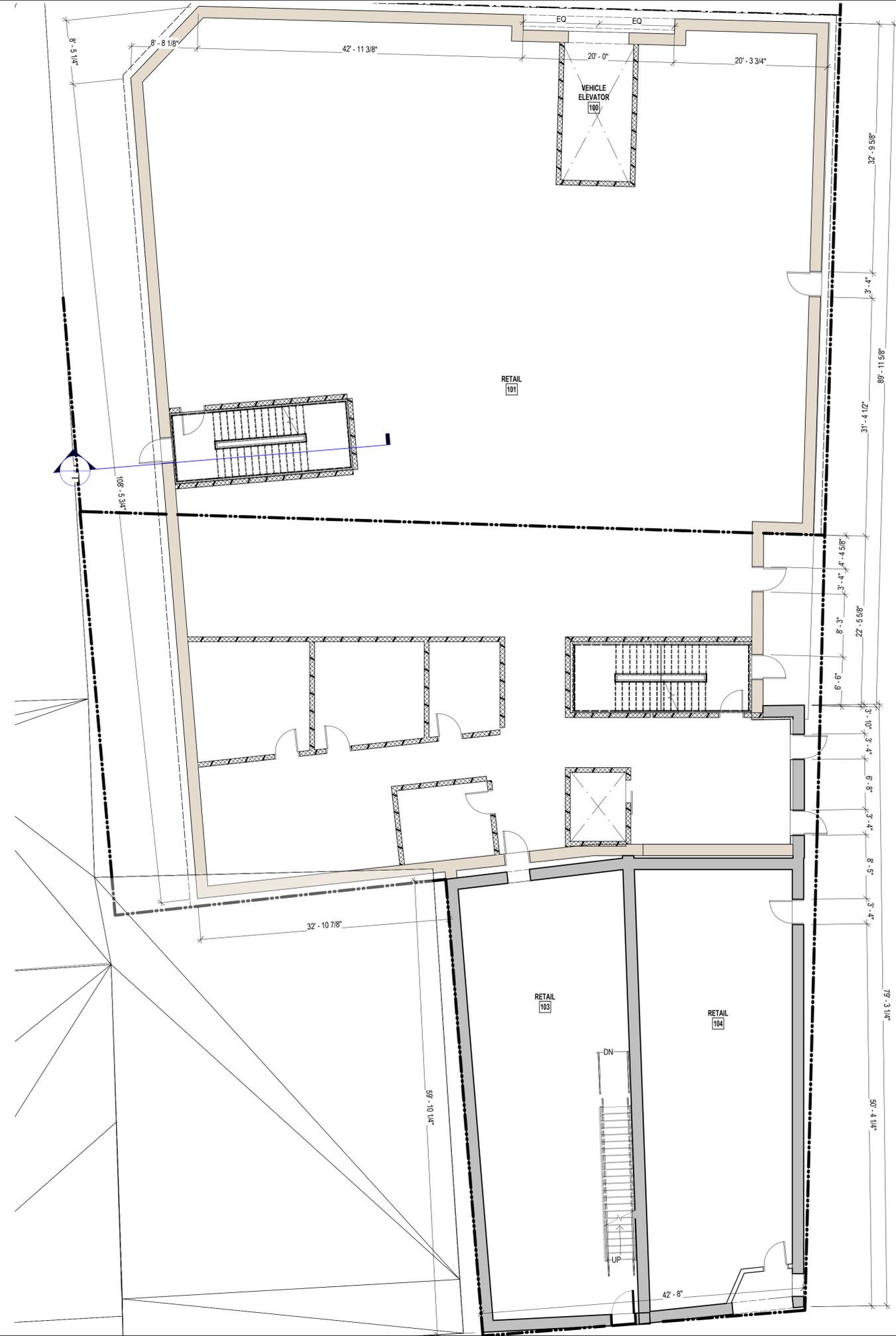
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NO.	DESCRIPTION	DATE

**BOARD OF
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**FIRST FLOOR
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**Map U117
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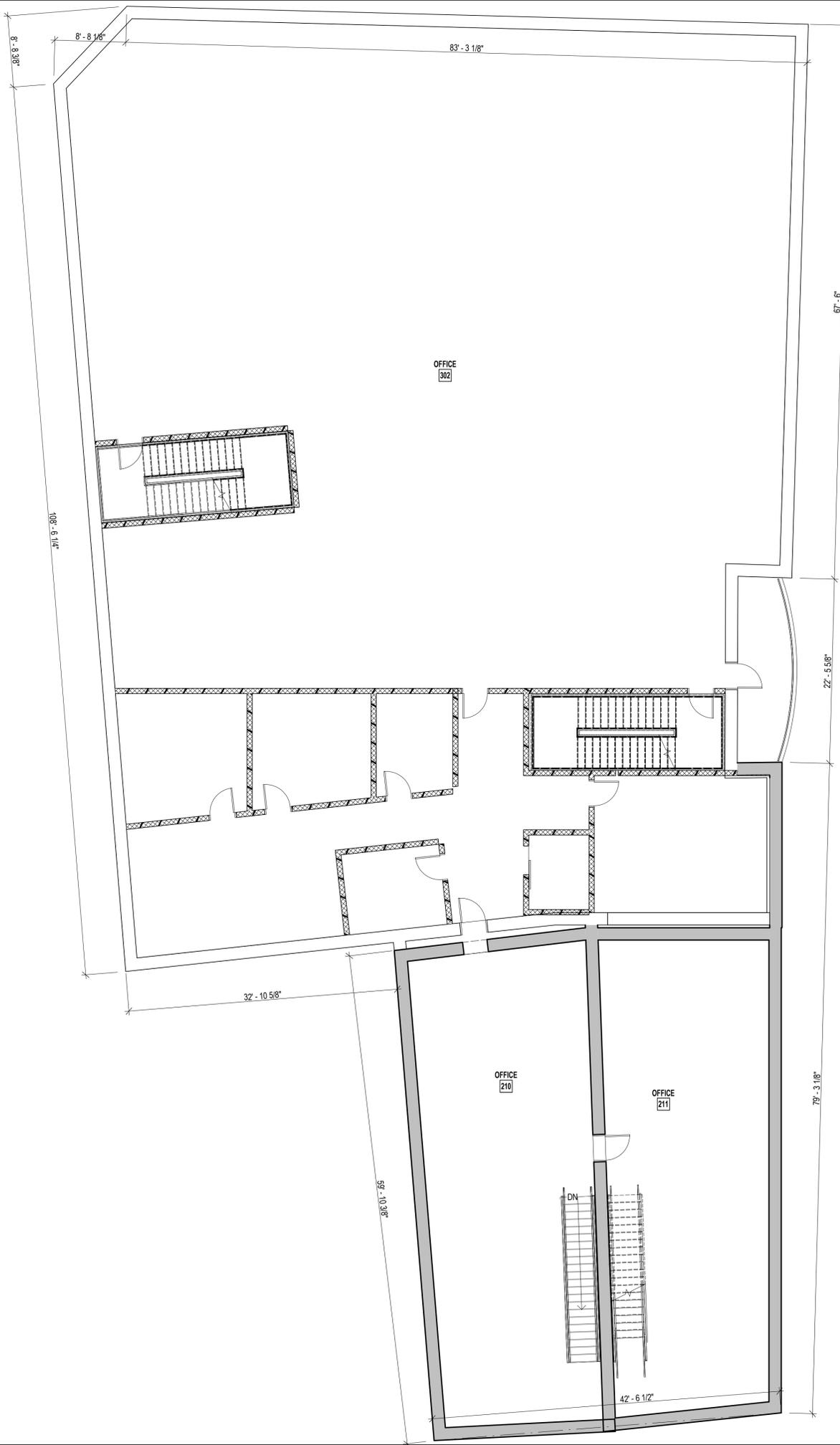
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**BOARD OF
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 SECOND FLOOR
 PLAN**

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**ONE MARKET SQUARE
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**Map U117
 Lot 14 and Lot 15**

Note: Locations of parking spaces, stair towers and elevator are approximate and subject to change.

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 Project Number: 1002

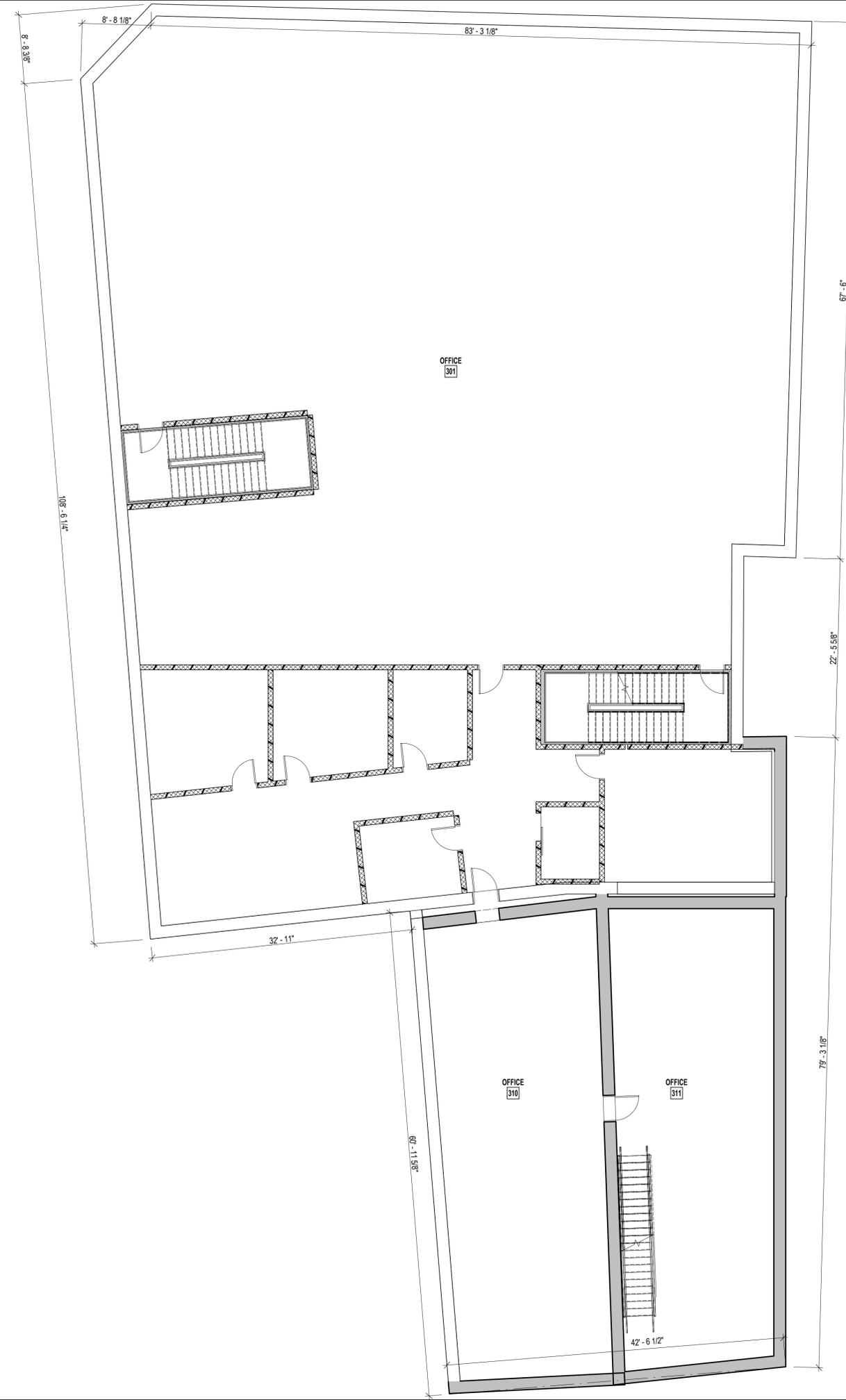
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**THIRD FLOOR
 PLAN**

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**ONE MARKET SQUARE
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**Map U117
 Lot 14 and Lot 15**

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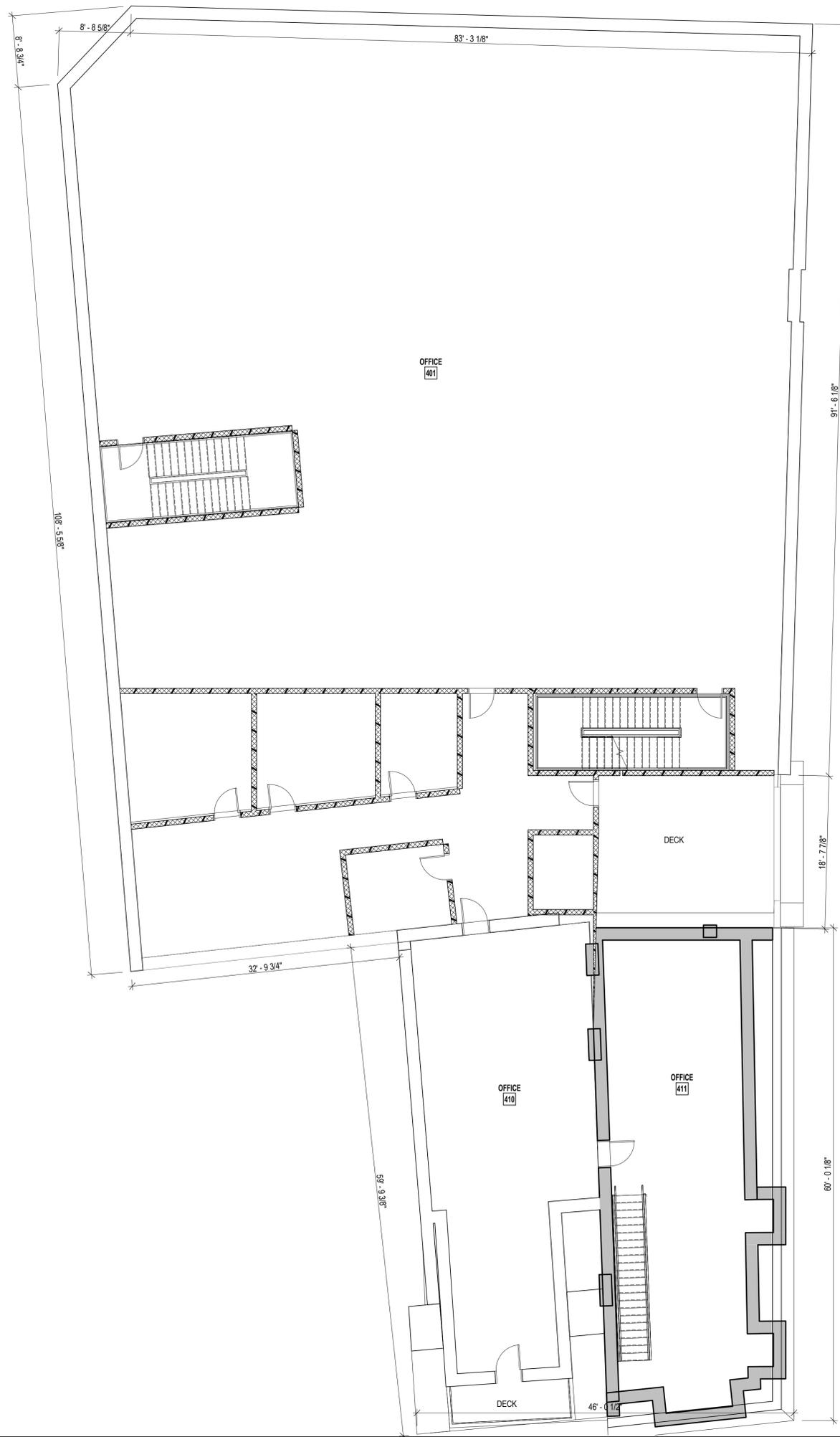
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**BOARD OF
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 FOURTH FLOOR
 PLAN**

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**Map U117
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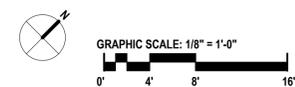
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 ROOF PLAN**

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