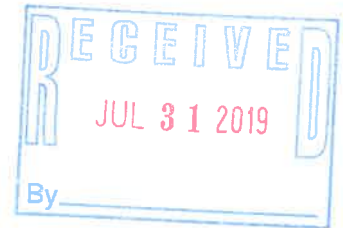


Date: 6/11/19

**Profile Homes NH  
953 Islington St, Unit 22C  
Portsmouth, NH 03801  
603-433-2464**



Portsmouth Planning Department

RE: 202 Court St Board of Adjustment Application

Dear members of the Zoning Board of Adjustment:

Attached is the application for Variance relative to the above-referenced property. We have submitted the online portion of the application and twelve (12) copies of the following materials have been hand delivered for your review:

- Request for Granting a Variance
- Conceptual Plans/ Architectural Documents
- Survey Plans by Ambit Engineering
- Photograph Exhibits

We are seeking zoning relief for the following variance's specific to the City of Portsmouth's ordinances:

- A) From section 10.515.14 to allow a 8'± setback where 10' is required for a mechanical system.
- B) From section 10.1113.20 to permit parking between a principal building and a street
- C) From section 10.5A41.10A, to allow for minimum lot area per dwelling unit of 1,400± s.f. where 3,000 s.f. is required.
- D) From Section 10.1114.32(a) to allow vehicles entering and leaving parking spaces to pass over another parking space or require the movement of another vehicle.

**Introduction:**

The property is located in the CD4-L1 zoning district within downtown. It is commonly known as the Wright Baker Auto Garage for the last 90 years, but for many others, the original Portsmouth Fire station prior to the current Portsmouth fire station built in 1920.

The proposed improvements to the site consist of converting the building from an existing auto mechanic garage with approved residential living above and into a 3 family condominium. Upon complete review of the plans in order to work within the restrictions of the variance relief, the previously stated relief is requested in order to promote the health, welfare and safety of the building from how it remains in its current state.

The building was purchased by the current ownership and management group with the intention of restoring the firehouse in such a way that would bring added life to the building in and that

acknowledges its original purpose for the city.

Many other landmarks in the city that have lost their historical value such as this are normally subject to teardown. In the current state of required structural disrepair, and although an argument could be made that this building would qualify for that and may also take advantage of more of the footprint of the building lot in order to expand the structure, it is not a distraction to the ownership team in order to attempt to create a building more subject to mixed use.

Due to the nature of the ordinances of the city, the ownership determined that the best use of this building would be to establish it solely as a residential structure.

We could avoid coming before this board if we maintained the use of this structure as a garage/commercial space with a sole residence on the 2<sup>nd</sup> story. This does not appear to be its best use as we see it as there is little to no need for homes that are above 4500sqft in the downtown district.

We feel that the improvement of the structure to custom residential units is in the best interest of the city, the history of the building and its ability to be able to be continuously maintained.

**Explanation of Requested Relief:**

Requirement #1 – The variance is not contrary to the public interest. Requirement #2 – The spirit of the ordinance is observed.

As has been determined by this board for many that have come before it in determining whether granting a variance would be contrary to the public interest and if it is consistent with the spirit and intent of the ordinance, the ZBA may consider these two criteria together. In the following Paragraphs I will outline the information to the board about why we feel as though the variance relief exception would be justified in this case.

Parking Relief: It is our feeling that since the variance relief requested will improve the parking from how the city saw its previous use to a more structured layout. Further, the building has enough garage parking in order to avoid the request entirely. However, since the intention of the building and its use will change, it should also take advantage of the opportunity to organize itself for off street parking. With regards to the rear unit, the city and the ownership have previously improved the garage as a parking space for and by notation on item 10 of the site plan corresponding to an agreement with the city for use of using this right of way between 202 Court St and the current fire station.

Building Improvements relief: It is our feeling that since the plan is to accommodate remodeling the structure within the complete footprint of the existing approved location instead of expanding the structure to house any utilities this is a preferred use

Regarding the allowable dwelling units per lot covered we feel as though the spirit of the ordinance is observed on multiple levels, including that this structure sits at the boundary of the district at which this use would be permitted as well as the ability for 3 units in this case to preserve this structure as a landmark for lifetimes to come will allow for the best use of the building, nor does this requested relief create a new standard for which the city would have to follow in future. The benefits of replacing the structure with one built to code protects the health, welfare and improvement far outweighs any concerns of public interest, as we see it. In addition our new design and use reduces traffic to this location if it were to remain a mixed use building and will intentionally improve the overall safety of an area known for foot traffic.



To not grant a variance relief in this case will result in exceeded cost to the client to rehab the building where is stands which is unsuitable for a standard single family size home.

The loss to the not being able to construct this as a 3 family residence on this property is not offset by any gain to the interest of the public.

Additionally, to maintain the character found in other residences in this part of the town we have worked extensively with the historic district, favorably, in order to accommodate the goals for its restoration. It is designed this way to remain tasteful to the surrounding properties and character of the neighborhood.

3- By granting the Variance, substantial Justice will be done:

Approval of this will not in fact create a standard which has not already been set in this area of the city, primarily in relation to improvements of the existing structures that surround it. Denial of this would in fact promote further traffic of maintaining the building as a mixed use structure.

4- The Granting of the Variance Relief will not result in diminution in value of the surrounding properties:

It is our sole intention to preserve and improve the structure as it stands on both the interior and exterior of the property for generations to come. The property rests in a prominent section of the city and as such should be improved in such a way that promotes its legacy.

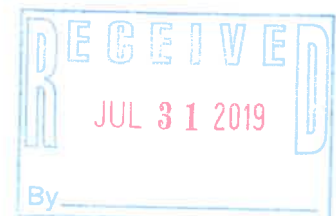
By organizing the parking and improving the structure by bringing the building up to all codes and already having removed all the hazardous materials from its previous use, this should be seen as an already improvement to the surrounding properties and the city as a whole.

The improvements made to the new plan in the footprint is attractive to help improve the resale value of the surrounding properties without effecting their suggested value by the town. It has been designed to be tasteful matching its historical value based on our feedback from the HDC.

Approval for this structure would not harm the value nor will it set a tone at which the city would be establishing or required to follow in future and falls within the spirit of the ordinance, in our opinion.

5- Literal Enforcement of the Provision(s) of the ordinance would result in unnecessary hardship:

A hardship of maintaining the existing structure as it stands presents hurdles if kept as a single family residence and a commercial space on the street level. In this case, the hardship is shared by the owner and the city in the fact that the maintenance, improvement for public safety and the potential traffic flow in and out of the building where a public safety building stands as its neighbor should be seen as a general and significant opportunity to the city.



# FIREHOUSE CONDOS

202 COURT ST., PORTSMOUTH, NEW HAMPSHIRE

## DRAWING INDEX

### ARCHITECTURAL:

- TITLE SHEET
- AB-1.0 EXISTING 1ST FLOOR PLAN
- AB-1.1 EXISTING 2ND FLOOR PLAN
- AB-2.0 EXISTING ELEVATIONS
- AB-2.1 EXISTING ELEVATIONS
- A-1.0 FIRST FLOOR PLAN
- A-1.1 SECOND FLOOR PLAN
- A-1.2 THIRD FLOOR PLAN
- A-2.0 ELEVATIONS
- A-2.1 ELEVATIONS

## ADDITION/ REMODEL



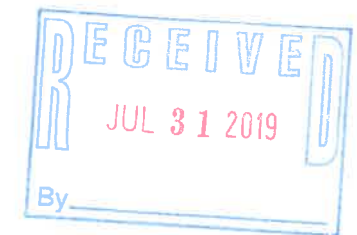
## CONSULTANTS

### ARCHITECTURAL DESIGNER:

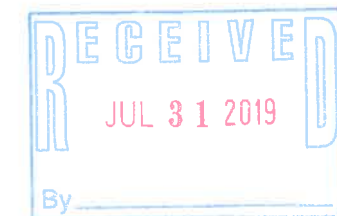
JEREMY SHEAFF  
PH: 603-793-8431

### STRUCTURAL ENGINEER:

ATTAR ENGINEERING  
LEW CHAMBERLAIN  
PH: 207-439-6023



NET-ZERO ENERGY BUILDING  
www.profilehomesnh.com  
Ph: 603-765-6648



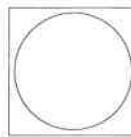
ISSUED FOR DESIGN#4  
MAY 30, 2019

**FIREHOUSE CONDOS**

ISSUED DATES & REVISIONS:  
 ISSUED FOR DESIGN #1  
 MARCH 13, 2019  
 ISSUED FOR DESIGN #2  
 APRIL 10, 2019  
 ISSUED FOR DESIGN #3  
 APRIL 25, 2019  
 ISSUED FOR DESIGN #4  
 MAY 30, 2019

**GENERAL NOTES:**  
 General Contractor shall make all subcontractors and suppliers aware of the requirements of these notes.  
 All work shall be performed in compliance with all applicable Local, State and National Building, Life Safety and Electrical codes.  
 General Contractor shall be responsible for securing all permits as necessary for the completion of work shown throughout the Contract Documents.  
 General Contractor shall lay out in the field the entire work to verify dimensional relationship before commencing any part, and shall verify all existing conditions and conditions before proceeding.  
 Failure to verify dimensions and conditions before proceeding may obligate the General Contractor to the removal of completed work at General Contractor's cost. If a discrepancy which could have been discovered upon notification to the place.  
 General Contractor shall coordinate the dimensional requirements between the work of the various trades.  
 Any discrepancies found in the plans, dimensions, existing conditions or any apparent error in the identifying or specifying of a product, material or means of assembly is to be pointed out to Profile Homes immediately.  
 Drawings shall not be used for dimensions and/or plans. Profile Homes assumes no responsibility for use of incorrect plans.  
 Regardless of whether or not an item is shown or specified, General Contractor shall provide and item if it is necessary for the proper installation or function of an item shown or specified. Suppliers and Subcontractors shall inform the General Contractor of their requirements for the work of other trades which may not be indicated, prior to bidding.

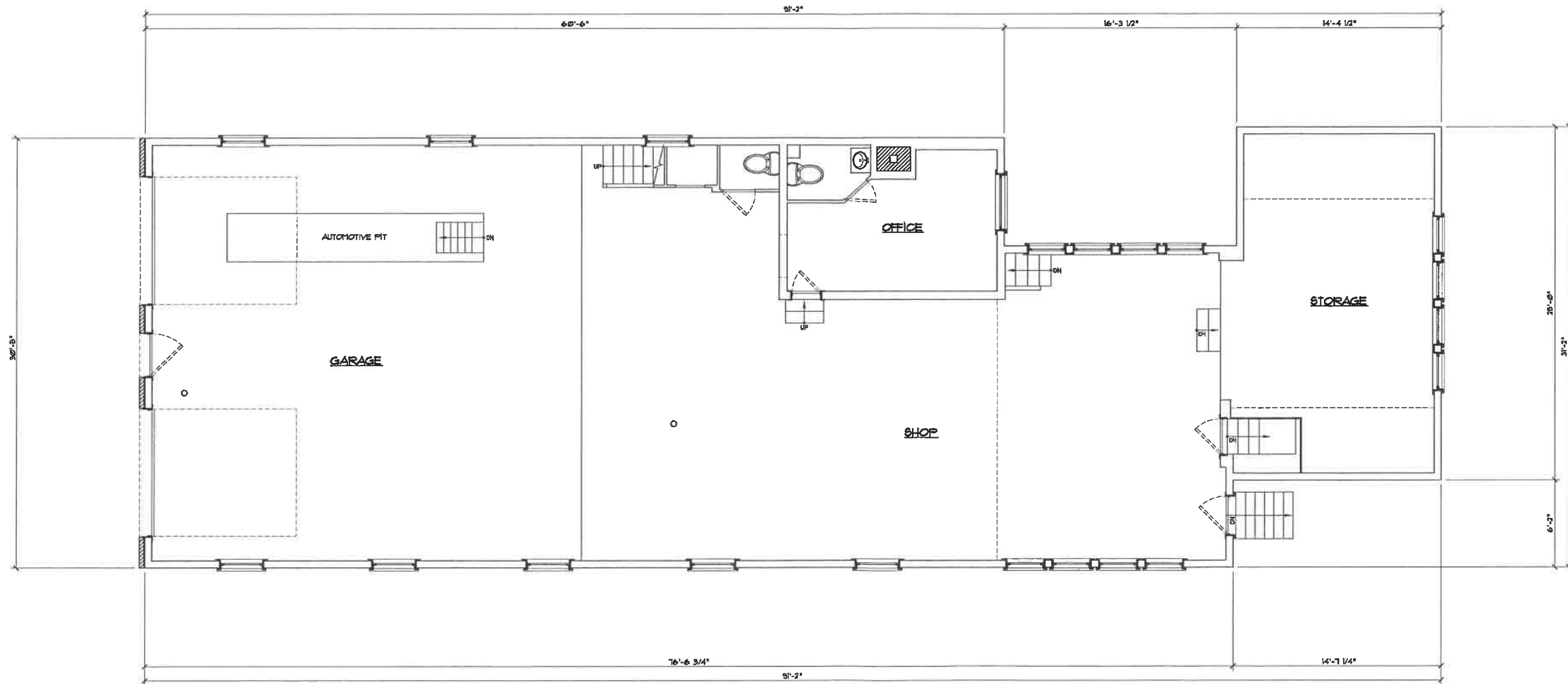
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REGISTRATION:  


**EXISTING FIRST FLOOR PLAN**

ISSUE DATE: 5/30/19  
 JOB NUMBER: N/A  
 DRAWN BY: Jeremy Shenff  
 CHECKED BY: Matt Silva  
 SCALE: As Noted

**AB-1.0**



**RECEIVED**  
 JUL 31 2019  
 By \_\_\_\_\_

**SQUARE FOOT NOTES:**  
 1. FIRST FLOOR = 2,563 SF  
 2. SECOND FLOOR = 2,083 SF  
 EXISTING TOTAL AREA = 4,646 SF

**FIREHOUSE CONDOS**

**ISSUED DATES & REVISIONS:**

- ISSUED FOR DESIGN #1  
MARCH 13, 2019
- ISSUED FOR DESIGN #2  
APRIL 10, 2019
- ISSUED FOR DESIGN #3  
APRIL 25, 2019
- ISSUED FOR DESIGN #4  
MAY 30, 2019

**GENERAL NOTES:**

General Contractor shall make all Subcontractors and suppliers aware of the requirements of these plans.

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General Contractor shall be responsible for securing all permits as necessary for the completion of work shown throughout the Contract Documents.

General Contractor shall lay out in the field the entire work to verify dimensional relationship before constructing any part and shall verify all existing conditions and locations before proceeding.

Failure to verify dimensions and conditions before proceeding may subject the General Contractor to the required removal or completed work at General Contractor's cost. If a discrepancy which would have been discovered upon notification to the plans.

General Contractor shall coordinate the dimensional requirements between the work of the various trades.

Any discrepancies found to the plans, dimensional, existing conditions or any apparent error in the checking or providing of a product, material or means of assembly is to be pointed out to Profile Homes immediately.

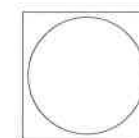
Travels shall not be needed for dimensions and/or plans. Profile Homes assumes no responsibility for type of instrument used.

Regardless of whether or not an item is shown or specified, General Contractor shall provide and item if it is necessary for the proper installation or function of an item shown or specified. Suppliers and Subcontractors shall inform the General Contractor of their requirements for the work of other trades, which may not be indicated, prior to bidding.

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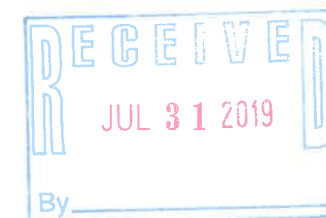
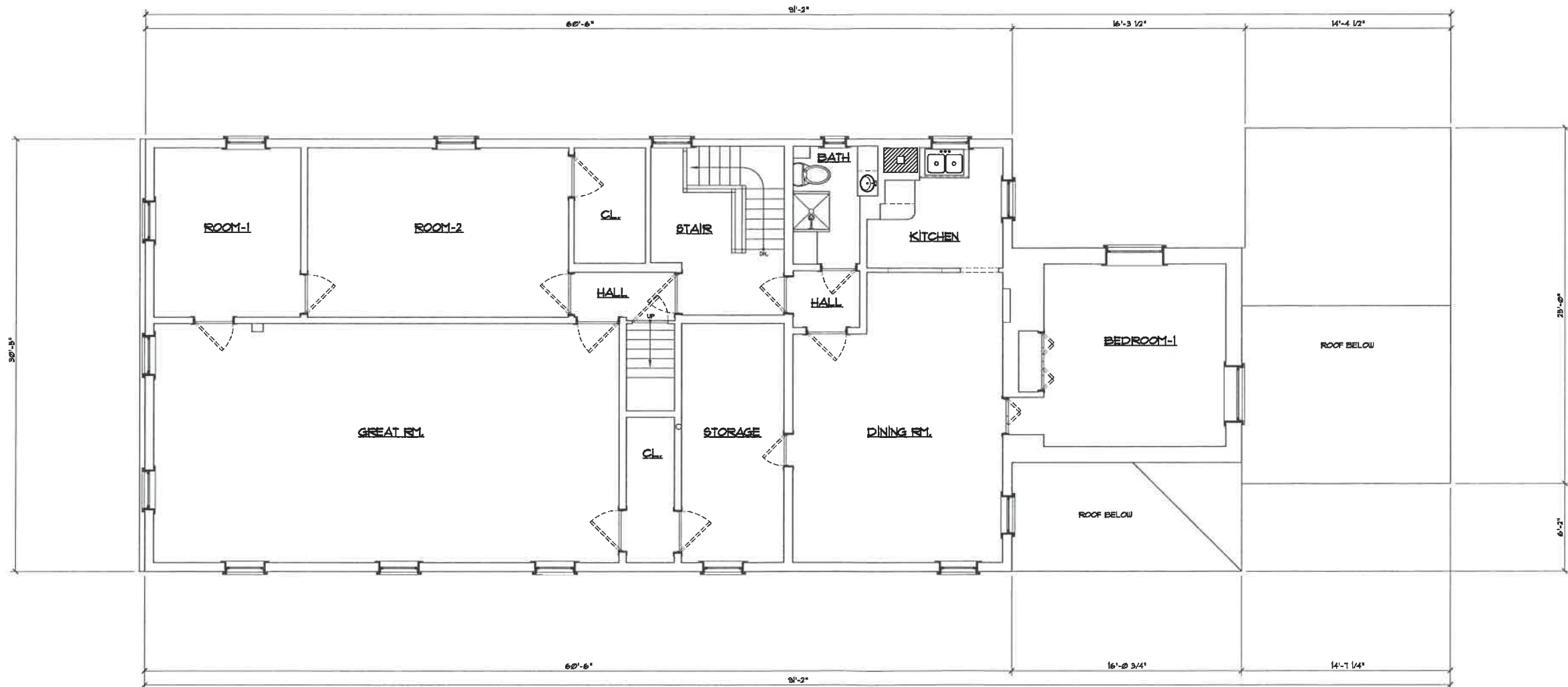
**REGISTRATION:**



**EXISTING SECOND FLOOR PLAN**

ISSUE DATE: 5/30/19  
JOB NUMBER: N/A  
DRAWN BY: Jeremy Sheaf  
CHECKED BY: Matt Silva  
SCALE: As Noted

**AB-1.1**





### FIREHOUSE CONDOS

#### ISSUED DATES & REVISIONS:

- ISSUED FOR DESIGN #1  
MARCH 13, 2019
- ISSUED FOR DESIGN #2  
APRIL 10, 2019
- ISSUED FOR DESIGN #3  
APRIL 25, 2019
- ISSUED FOR DESIGN #4  
MAY 30, 2019

#### GENERAL NOTES:

General Contractor shall make all subcontractors and suppliers aware of the requirements of these notes.

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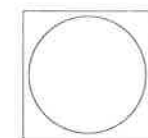
Drawings shall not be placed for dimensions and/or plans. Profile Homes assumes no responsibility for type of floor/roof joists.

Regardless of whether or not an item is shown or specified, General Contractor shall provide and item if it is necessary for the proper installation or function of an item shown or specified. Supplier and Subcontractors shall inform the General Contractor of their requirements for the work of other trades, which may not be indicated, prior to bidding.

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#### REGISTRATION:



### EXISTING ELEVATIONS

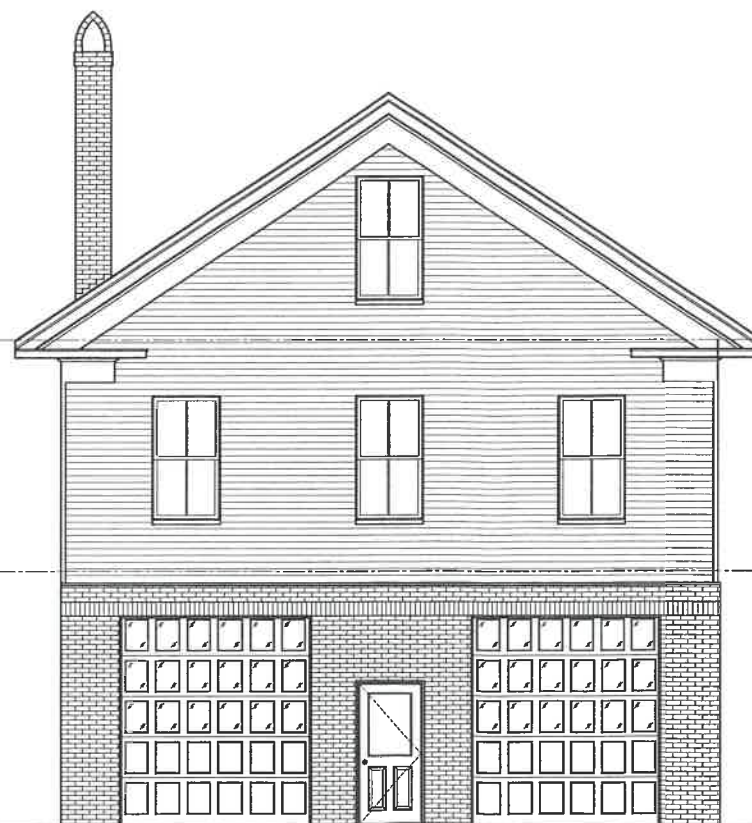
ISSUE DATE: 5/30/19  
 JOB NUMBER: N/A  
 DRAWN BY: Jeremy Sheaff  
 CHECKED BY: Matt Silva  
 SCALE: As Noted

## AB-2.0



② RIGHT ELEVATION

DRAWING SCALE: 1/4" = 1'-0"



① FRONT ELEVATION

DRAWING SCALE: 1/4" = 1'-0"



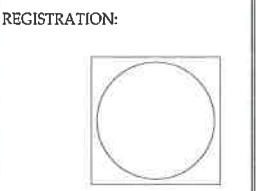


**FIREHOUSE CONDOS**

ISSUED DATES & REVISIONS:  
 ISSUED FOR DESIGN #1  
 MARCH 13, 2019  
 ISSUED FOR DESIGN #2  
 APRIL 10, 2019  
 ISSUED FOR DESIGN #3  
 APRIL 25, 2019  
 ISSUED FOR DESIGN #4  
 MAY 30, 2019

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**EXISTING ELEVATIONS**

ISSUE DATE: 5/30/19  
 JOB NUMBER: N/A  
 DRAWN BY: Jeremy Sheaff  
 CHECKED BY: Matt Silva  
 SCALE: As Noted

**AB-2.1**



② LEFT ELEVATION

DRAWING SCALE: 1/4" = 1'-0"



① REAR ELEVATION

DRAWING SCALE: 1/4" = 1'-0"





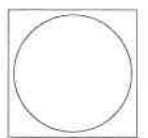
**FIREHOUSE CONDOS**

ISSUED DATES & REVISIONS:  
 ISSUED FOR DESIGN #1  
 MARCH 13, 2019  
 ISSUED FOR DESIGN #2  
 APRIL 10, 2019  
 ISSUED FOR DESIGN #3  
 APRIL 25, 2019  
 ISSUED FOR DESIGN #4  
 MAY 30, 2019

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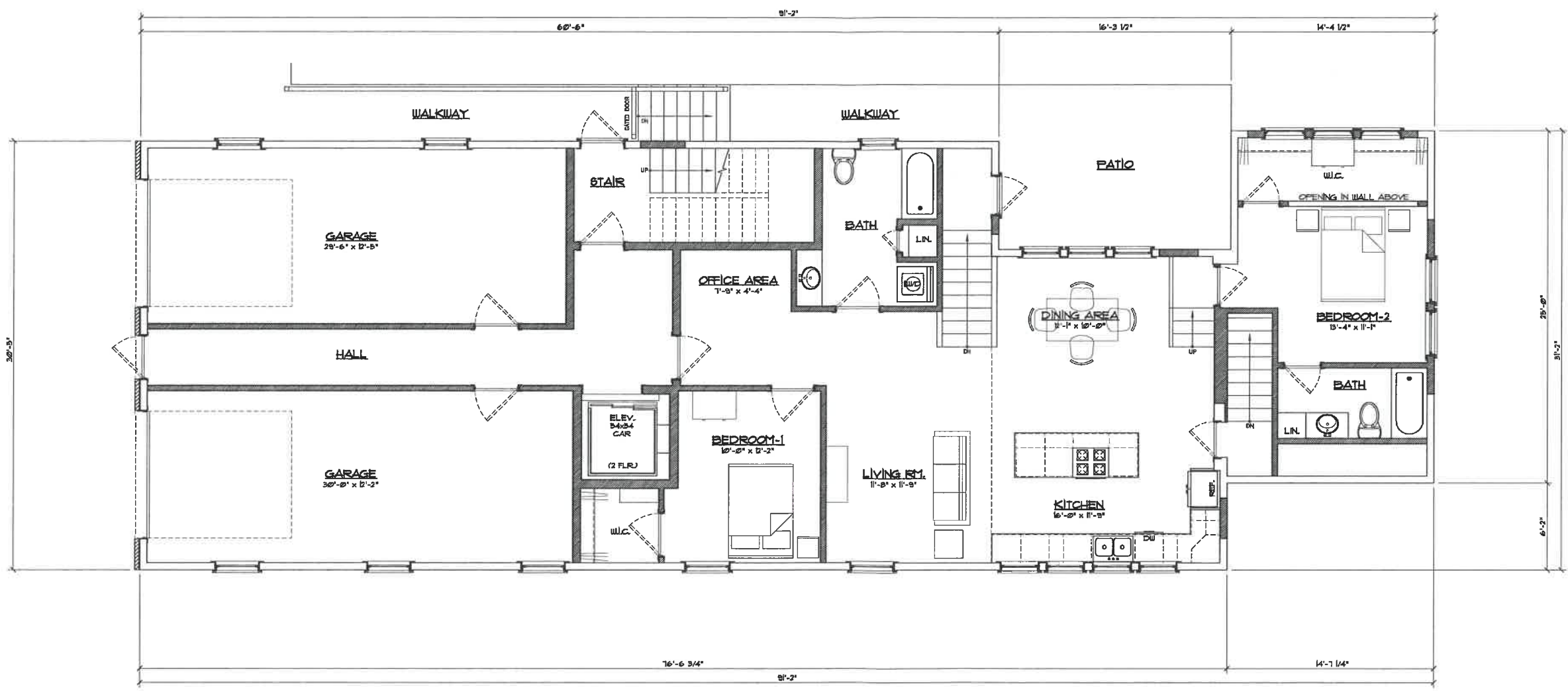
**REGISTRATION:**



**FIRST FLOOR PLAN**

ISSUE DATE: 5/30/19  
 JOB NUMBER: N/A  
 DRAWN BY: Jeremy Sheoff  
 CHECKED BY: Matt Silva  
 SCALE: As Noted

**A-1.0**



**NOTE:**  
 ———— EXISTING WALLS  
 ———— NEW WALLS TYP.  
 - - - - BEAMS ABOVE

**RECEIVED**  
 JUL 31 2019  
 By \_\_\_\_\_

**SQUARE FOOT NOTES:**

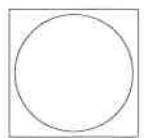
1. FIRST FLOOR	= 2563 SF
2. SECOND FLOOR	= 2083 SF
3. THIRD FLOOR	= 1654 SF
<b>TOTAL AREA</b>	<b>= 6306 SF</b>

**FIREHOUSE CONDOS**

ISSUED DATES & REVISIONS:  
 ISSUED FOR DESIGN #1  
 MARCH 13, 2019  
 ISSUED FOR DESIGN #2  
 APRIL 10, 2019  
 ISSUED FOR DESIGN #3  
 APRIL 25, 2019  
 ISSUED FOR DESIGN #4  
 MAY 30, 2019

**GENERAL NOTES:**  
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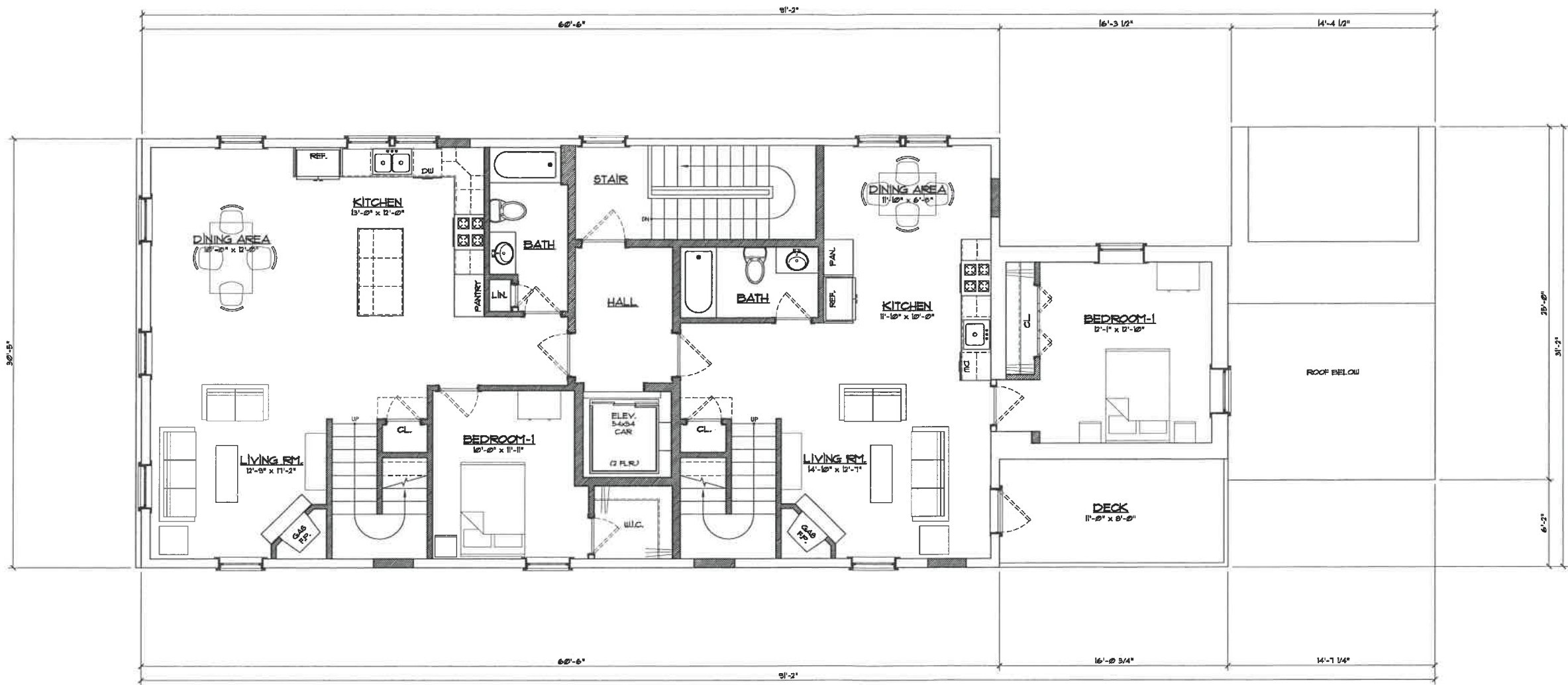
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**REGISTRATION:**  


**SECOND FLOOR PLAN**

ISSUE DATE: 5/30/19  
 JOB NUMBER: N/A  
 DRAWN BY: Jeremy Sheaff  
 CHECKED BY: Matt Silva  
 SCALE: As Noted

**A-1.1**



**NOTE:**  
 [Solid Line] EXISTING WALLS  
 [Dashed Line] NEW WALLS TYP.  
 [Dotted Line] BEAMS ABOVE



**FIREHOUSE CONDOS**

ISSUED DATES & REVISIONS:  
ISSUED FOR DESIGN #1  
MARCH 13, 2019  
ISSUED FOR DESIGN #2  
APRIL 10, 2019  
ISSUED FOR DESIGN #3  
APRIL 25, 2019  
ISSUED FOR DESIGN #4  
MAY 30, 2019

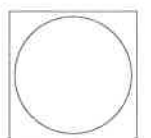
**GENERAL NOTES:**

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Follow to verify dimensions and conditions before proceeding any finish. The General Contractor is the required person of completed work at General Contractor's risk. If a discrepancy which should have been discovered, cause modification to the plans.  
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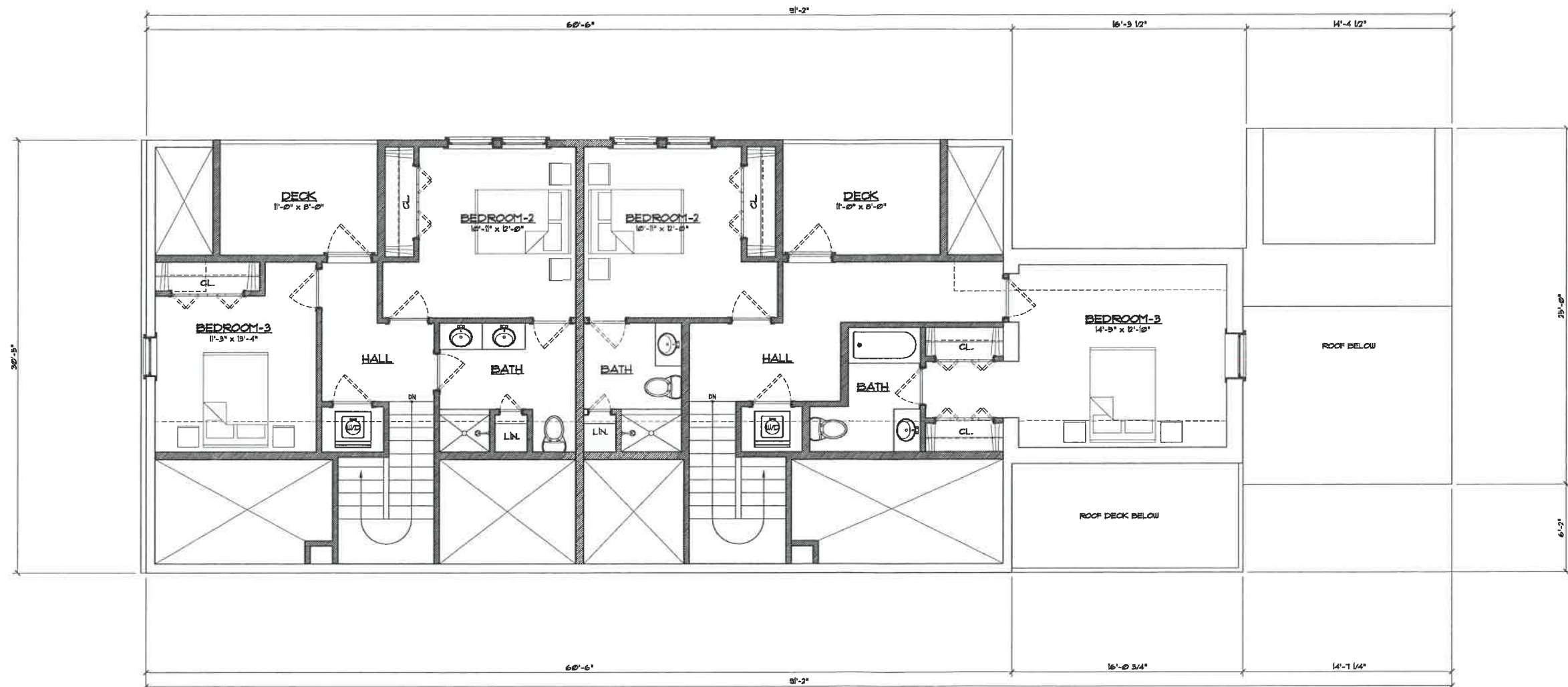
**REGISTRATION:**




**THIRD FLOOR PLAN**

ISSUE DATE: 5/30/19  
JOB NUMBER: N/A  
DRAWN BY: Jeremy Sheff  
CHECKED BY: Matt Silva  
SCALE: As Noted

**A-1.2**

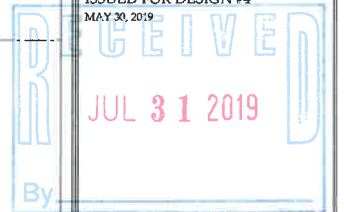


**NOTE:**  
 EXISTING WALLS  
 NEW WALLS TYP.  
 BEAMS ABOVE



**FIREHOUSE CONDOS**

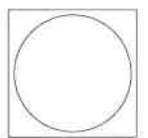
ISSUED DATES & REVISIONS:  
 ISSUED FOR DESIGN #1  
 MARCH 13, 2019  
 ISSUED FOR DESIGN #2  
 APRIL 10, 2019  
 ISSUED FOR DESIGN #3  
 APRIL 25, 2019  
 ISSUED FOR DESIGN #4  
 MAY 30, 2019



**GENERAL NOTES:**  
 General Contractor shall make all subcontractors and suppliers aware of the requirements of these notes.  
 All work shall be performed in compliance with all applicable Local, State and National Building, Life Safety and Electrical codes.  
 General Contractor shall be responsible for securing all permits or necessary for the completion of work shown throughout the Contract documents.  
 General Contractor shall lay out in the field the entire work to verify dimensional relationships before commencing any part, and shall verify all existing conditions and locations before proceeding.  
 Failure to verify dimensions and conditions before proceeding may subject the General Contractor to the required removal of completed work at General Contractor's cost. If a discrepancy which would have been discovered causes modification to the plans.  
 General Contractor shall coordinate the dimensional requirements between the work of the various trades.  
 Any discrepancies found in the plans, dimensions, existing conditions or any apparent error in the detailing or specifying of a product, material or means of assembly is to be pointed out to Profile Homes immediately.  
 Drawings shall not be scaled for dimensions and/or show. Profile Homes assumes no responsibility for use of incorrect plans.  
 Regardless of whether or not an item is shown or specified, General Contractor shall provide said item if it is necessary for the proper installation or function of an item shown or specified. Suppliers and subcontractors shall inform the General Contractor of their requirements for the work of other trades, which may not be indicated, prior to bidding.

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REGISTRATION:



**ELEVATIONS**

ISSUE DATE: 5/30/19  
 JOB NUMBER: N/A  
 DRAWN BY: Jeremy Sheff  
 CHECKED BY: Matt Silva  
 SCALE: As Noted

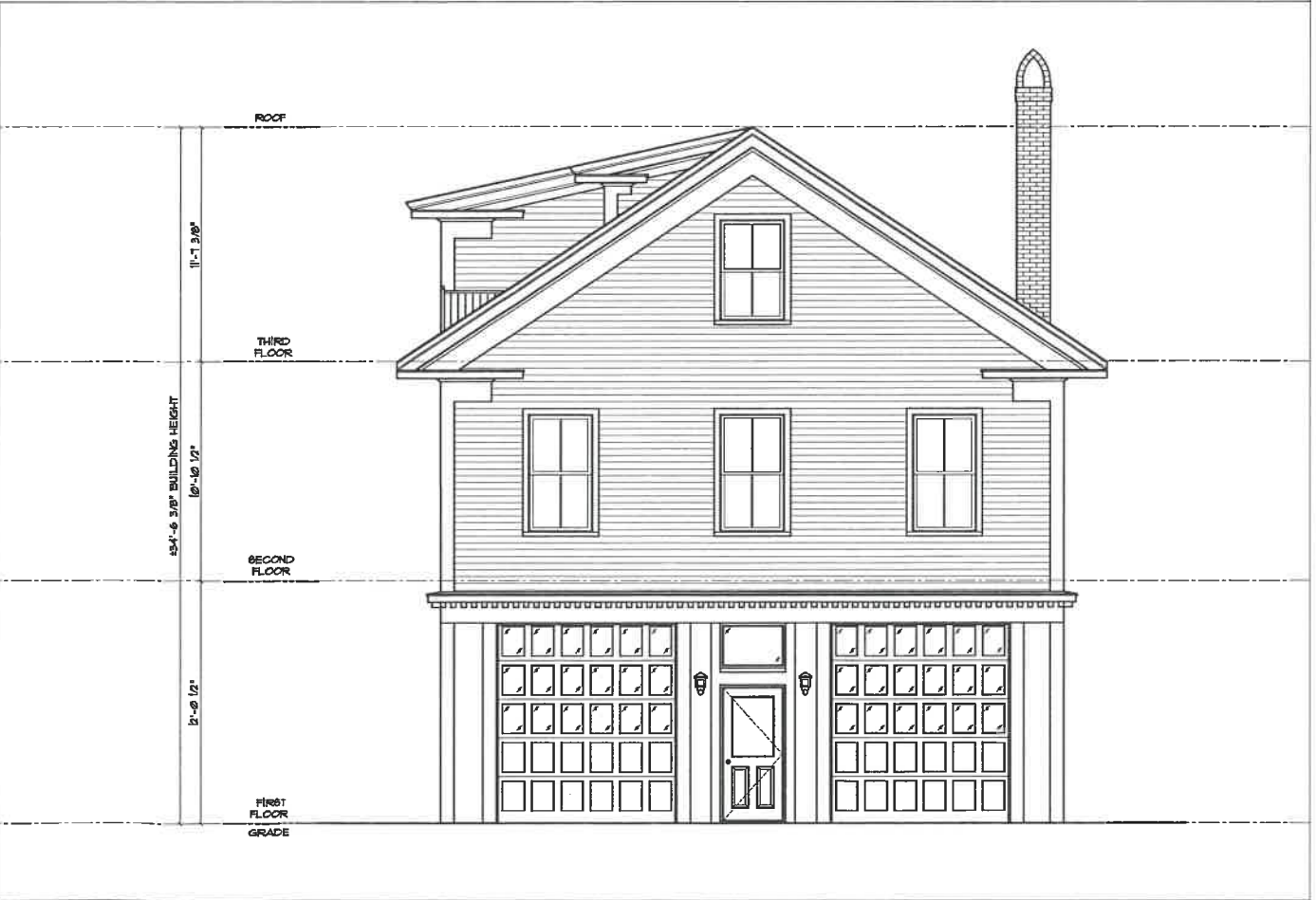
**A-2.0**



② RIGHT ELEVATION DRAWING SCALE: 1/4" = 1'-0"

④ MATERIAL NOTES

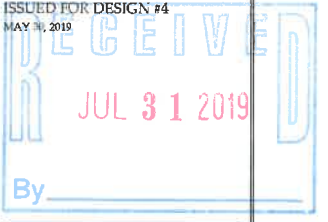
③ WINDOW & DOOR SCHEDULE



① FRONT ELEVATION DRAWING SCALE: 1/4" = 1'-0"

**FIREHOUSE CONDOS**

ISSUED DATES & REVISIONS:  
 ISSUED FOR DESIGN #1  
 MARCH 13, 2019  
 ISSUED FOR DESIGN #2  
 APRIL 10, 2019  
 ISSUED FOR DESIGN #3  
 APRIL 25, 2019  
 ISSUED FOR DESIGN #4  
 MAY 31, 2019

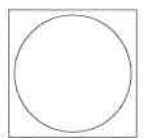


**GENERAL NOTES:**

General Contractor shall make all subcontractors and suppliers aware of the requirements of these notes.  
 All work shall be performed in compliance with all applicable local, state and national building, fire, safety and electrical codes.  
 General Contractor shall be responsible for securing all permits as necessary for the completion of work shown throughout the Contract Documents.  
 General Contractor shall lay out in the field the entire work to verify dimensional relationships before commencing any part, and shall verify all existing conditions and locations before proceeding.  
 Failure to verify dimensions and conditions before proceeding may subject the General Contractor to the required removal of completed work at General Contractor's Cost. If a discrepancy which could have been discovered exists notwithstanding to the plans.  
 General Contractor shall coordinate the dimensional requirements between the work of the various trades.  
 Any discrepancies found in the plans, dimensions, existing conditions or any apparent error in the checking or specifying of a product, material or means of assembly is to be pointed out to Profile Homes immediately.  
 Drawings shall not be scaled for dimensions and/or elevations. Profile Homes assumes no responsibility for use of incorrect scale.  
 Regardless of whether or not an item is shown or specified, General Contractor shall provide and item if it is necessary for the proper installation or function of an item shown or specified. Suppliers and subcontractors shall inform the General Contractor of their requirements for the work of other trades, which may not be indicated, prior to bidding.

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**REGISTRATION:**



**ELEVATIONS**

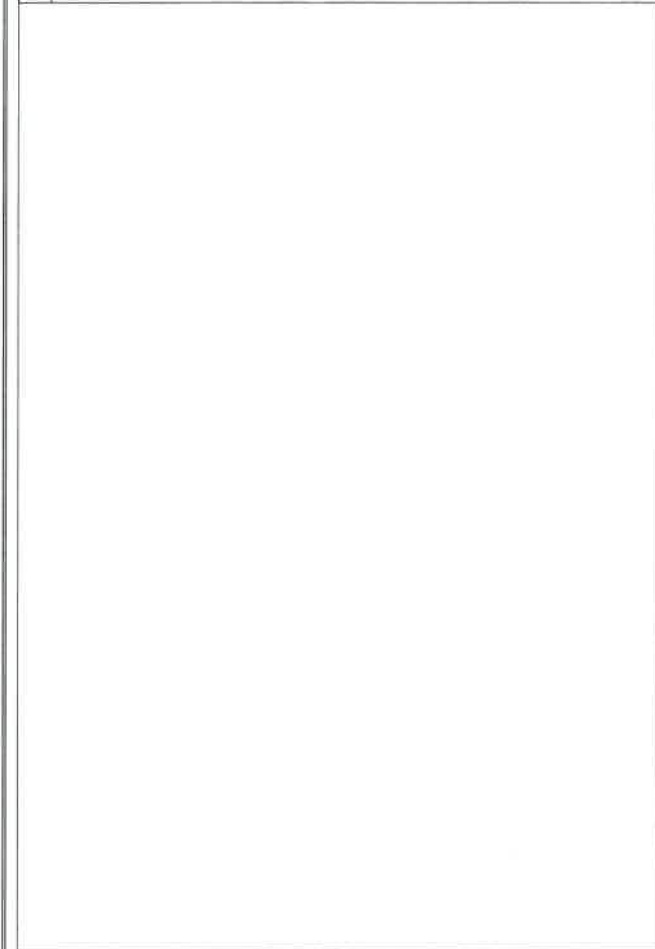
ISSUE DATE: 5/31/19  
 JOB NUMBER: N/A  
 DRAWN BY: Jeremy Sheaff  
 CHECKED BY: Matt Silva  
 SCALE: As Noted

**A-2.1**

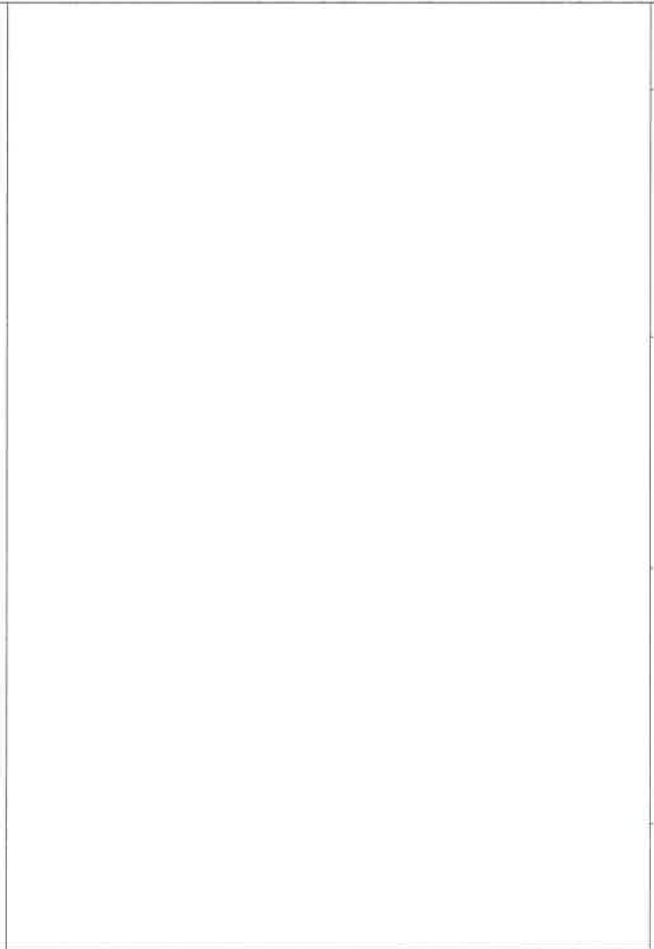


② LEFT ELEVATION

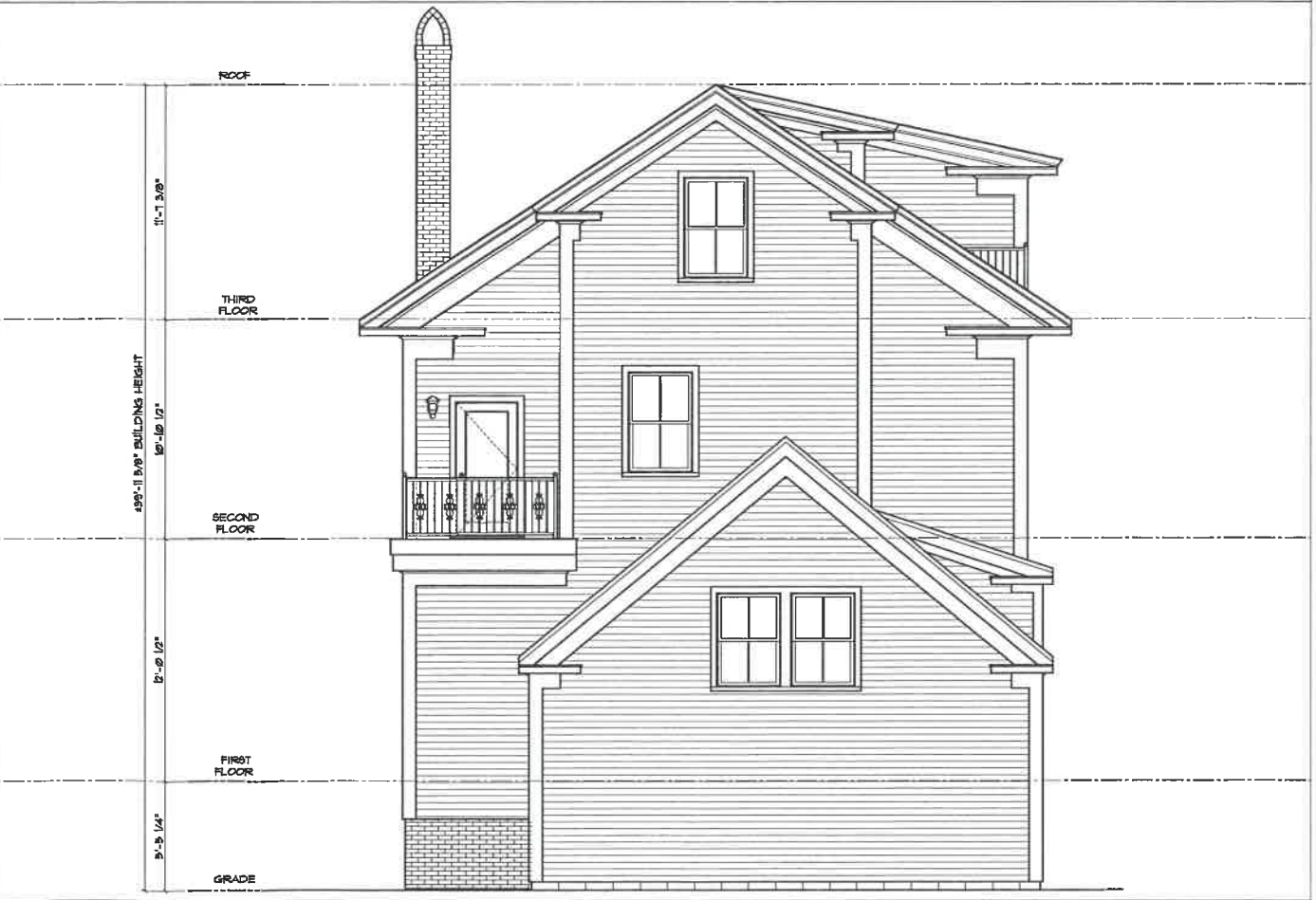
DRAWING SCALE: 1/4" = 1'-0"



④ MATERIAL NOTES

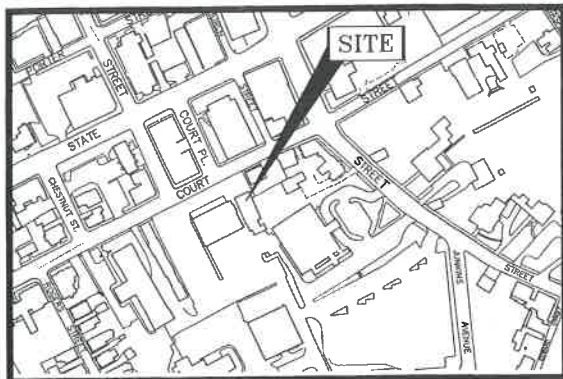


③ WINDOW & DOOR SCHEDULE



① REAR ELEVATION

DRAWING SCALE: 1/4" = 1'-0"



LOCATION MAP SCALE: 1" = 200'

LEGEND:

- |      |                          |
|------|--------------------------|
| N/F  | NOW OR FORMERLY          |
| RP   | RECORD OF PROBATE        |
| RCRD | ROCKINGHAM COUNTY        |
|      | REGISTRY OF DEEDS        |
|      | MAP 11 / LOT 21          |
|      | BOUNDARY                 |
|      | SETBACK                  |
|      | RAILROAD SPIKE FOUND/SET |
|      | IRON ROD FOUND/SET       |
|      | IRON PIPE FOUND/SET      |
|      | IRON PIPE FOUND/SET      |
|      | DRILL HOLE FOUND/SET     |
|      | BOUND w/ DRILL HOLE      |
|      | STONE BOUND w/DRILL HOLE |
|      | SEWER LINE               |
|      | STORM DRAIN              |
|      | WATER LINE               |
|      | UNDERGROUND ELECTRIC     |
|      | OVERHEAD ELECTRIC/WIRES  |
|      | EDGE OF PAVEMENT (EP)    |

PLAN REFERENCES:

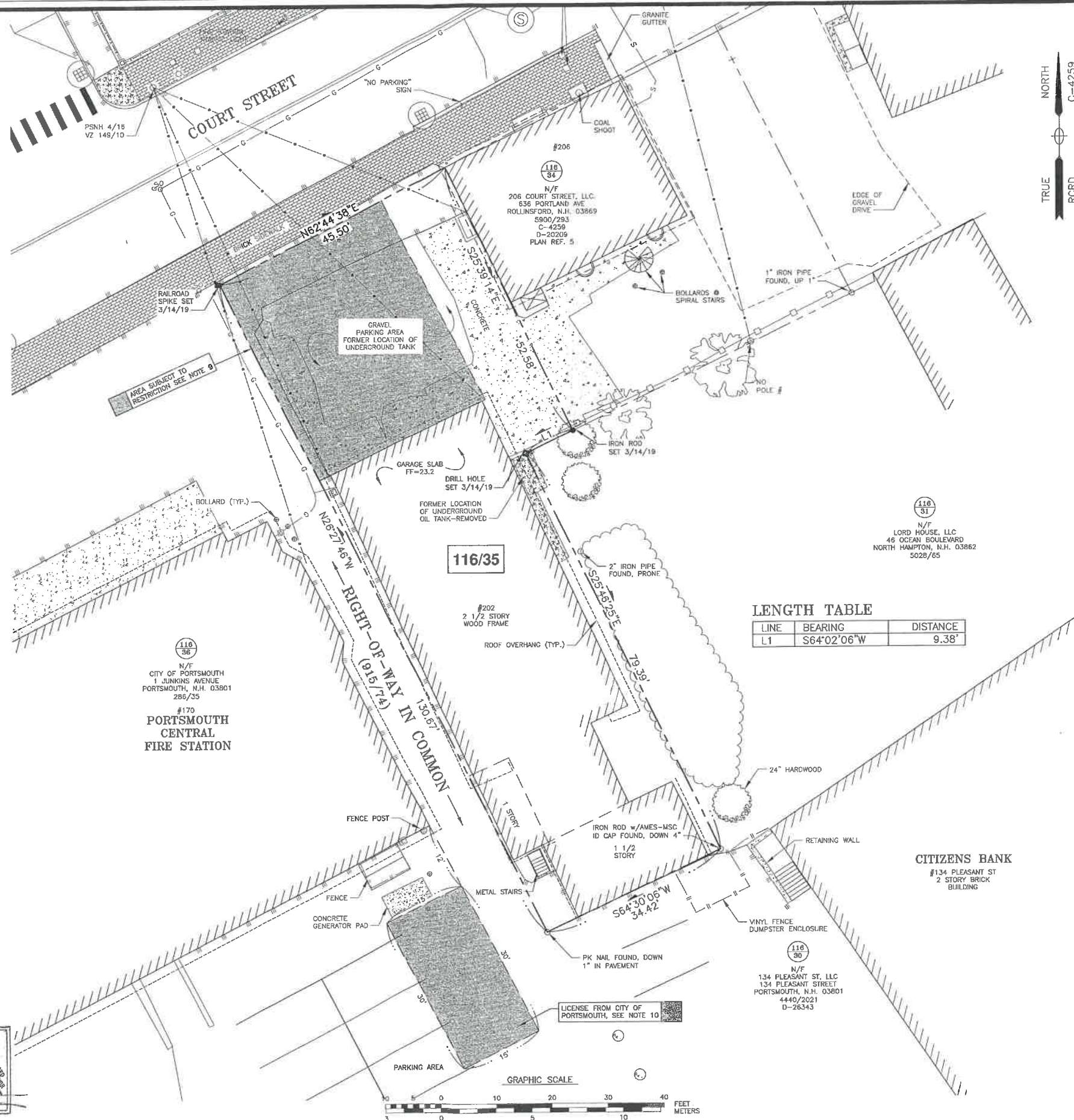
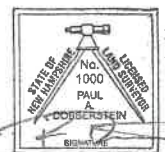
- 1) PLAN OF LOTS Nos. 202, 206 & 222 COURT STREET PORTSMOUTH, N.H. PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, DATED JANUARY 1974. R.C.R.D. PLAN C-4259.
- 2) LOT LINE ADJUSTMENT PLAN FOR DAVID L. BAKER, SR. IN PORTSMOUTH, N.H. PREPARED BY SEACOAST ENGINEERING ASSOCIATES, INC. DATED MARCH 23, 1990, FINAL REVISION MARCH 26, 1990. R.C.R.D. PLAN D-20209.
- 3) ALTA/ACSM LAND TITLE SURVEY FOR CITIZENS BANK OF NEW HAMPSHIRE 134 PLEASANT STREET COUNTY OF ROCKINGHAM PORTSMOUTH, NH. PREPARED BY MILLETTE, SPRAGUE & COLWELL, INC. DATED JUNE 9, 1998, FINAL REVISION JUNE 15, 1998. R.C.R.D. PLAN D-26343.
- 4) BOUNDARY PLAN LAND OF PORTSMOUTH HOUSING AUTHORITY COURT STREET PORTSMOUTH, N.H. TAX MAP 116, LOT 38. PREPARED BY BERRY SURVEYING & ENGINEERING. DATED MAY 30, 2014, FINAL REVISION JUNE 4, 2014. NOT RECORDED.
- 5) UNITARIAN-UNIVERSALIST CHURCH 206 COURT STREET PORTSMOUTH, N.H. VARIANCE APPLICATION PLAN. PREPARED BY AMBIT ENGINEERING, INC. DATED APRIL 2016. NOT RECORDED.

I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

PAUL A. DOBBERSTEIN, LLS #1000

3/15/2019  
DATE



LENGTH TABLE

LINE	BEARING	DISTANCE
L1	S64°02'06"W	9.38'



**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 436-8282  
Fax (603) 436-2315

NOTES:

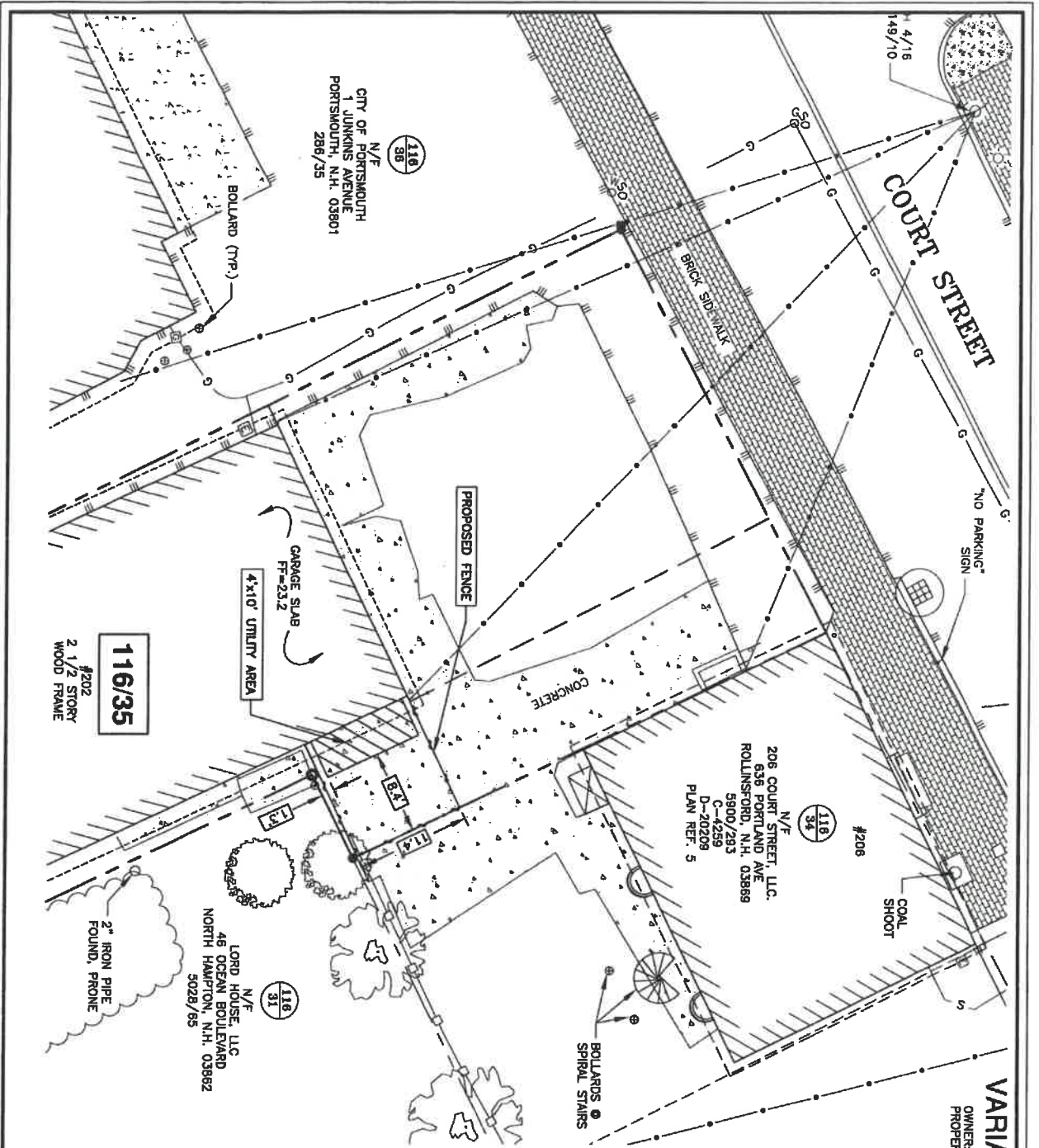
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 116 AS LOT 35.
- 2) OWNERS OF RECORD:  
BAKER FAMILY TRUST  
DAVID L. BAKER & TERRY P. BAKER, TRUSTEES  
202 COURT ST  
PORTSMOUTH, NH 03801  
5903/777  
C-4259 & D-20209
- 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 3301SC0259E, EFFECTIVE DATE MAY 17, 2005.
- 4) EXISTING LOT AREA:  
5,115 S.F.  
0.1174 ACRES
- 5) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4-L1 (C04-L1) AND THE HISTORIC OVERLAY DISTRICT.
- 6) DIMENSIONAL REQUIREMENTS: SEE ZONING ORDINANCE
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULT OF A STANDARD BOUNDARY SURVEY OF ASSESSOR'S MAP 116 LOT 35 IN THE CITY OF PORTSMOUTH.
- 8) PARCEL HAS RIGHT FOR "ALL PURPOSES" TO A RIGHT-OF-WAY IN COMMON BETWEEN THE PROPERTY AND THE CENTRAL FIRE STATION. SEE R.C.R.D. 915/74.
- 9) AREA OF PROPERTY IMMEDIATELY SOUTHERLY OF COURT STREET IS SUBJECT TO A CONDITION FROM THE CITY OF PORTSMOUTH THAT "NO BUILDING, STRUCTURE OR EDIFICE SHALL BE BUILT OR ERECTED". SEE R.C.R.D. 915/74.
- 10) AREA SHOWN SUBJECT TO LICENSE AGREEMENT FROM CITY OF PORTSMOUTH TO DAVID L. BAKER, HIS HEIRS AND/OR ASSIGNS (SEE R.C.R.D. 2360/585).



NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	3/15/19

STANDARD BOUNDARY SURVEY  
TAX MAP 116 - LOT 35  
LAND OF:  
**BAKER FAMILY TRUST**  
PREPARED FOR:  
**PROFILE HOMES, LLC**  
PROPERTY LOCATED AT:  
202 COURT STREET  
CITY OF PORTSMOUTH  
COUNTY OF ROCKINGHAM  
STATE OF NEW HAMPSHIRE



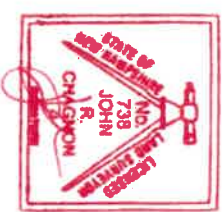


**VARIANCE PLAN MAP 116 - LOT 35**

OWNER: PROPLE HOMES, LLC  
 PROPERTY LOCATION: 202 COURT STREET  
 CITY OF PORTSMOUTH  
 COUNTY OF ROCKINGHAM  
 STATE OF NEW HAMPSHIRE

**NOTE:**  
 1) THE PURPOSE OF THIS PLAN IS TO  
 SHOW SETBACKS FROM A PROPOSED UTILITY  
 AREA TO PROPERTY LINE

**RECEIVED**  
 AUG - 8 2019  
 BY: \_\_\_\_\_



**AMBT ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 800 Gearing Road - Unit 3  
 Portsmouth, NH 03801-7114  
 Tel: (603) 436-5825  
 Fax: (603) 436-5815