

206 COURT STREET, LLC

PORTSMOUTH, NEW HAMPSHIRE

PROPOSED BUILDING ADDITION

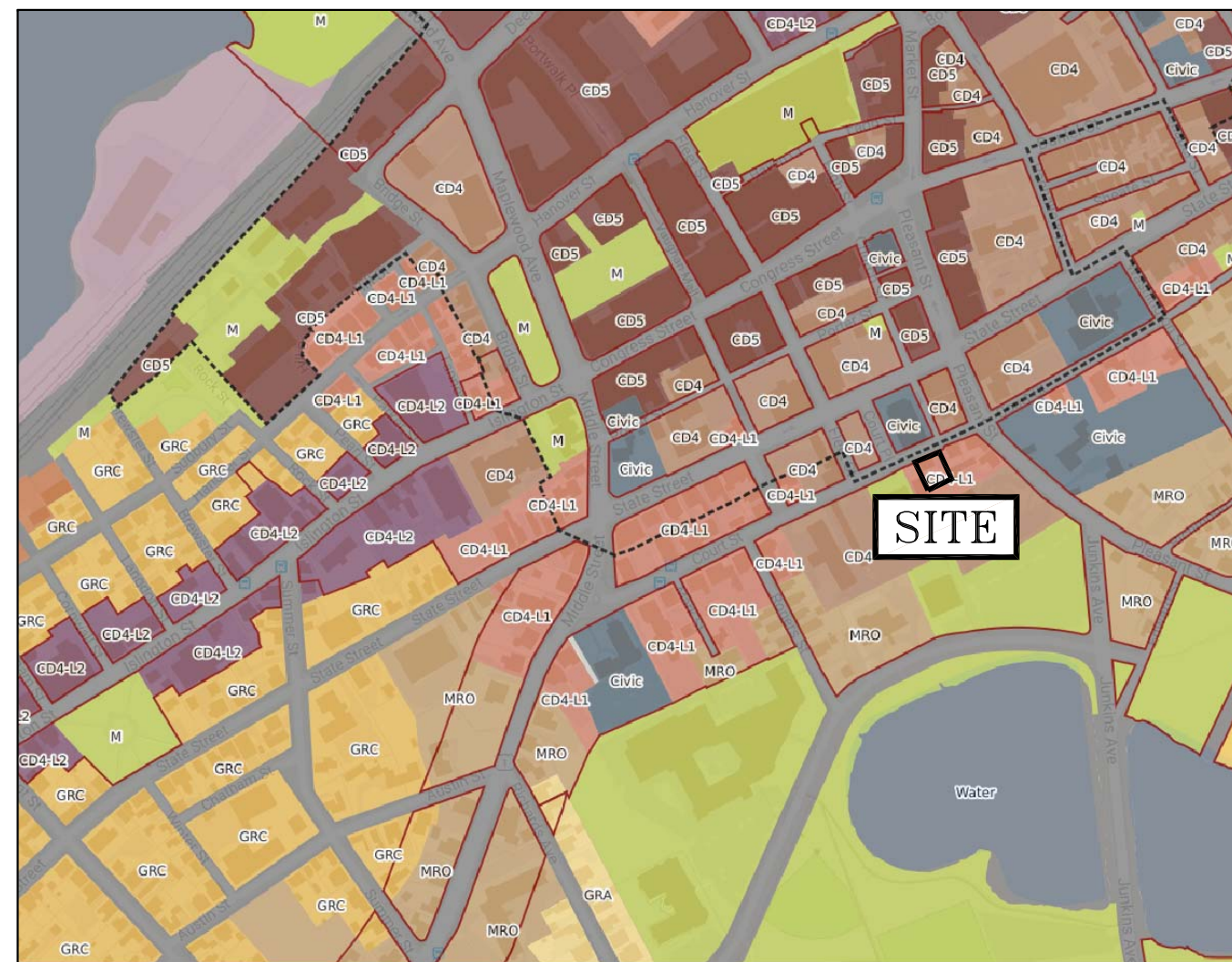
PERMIT PLANS

OWNER/APPLICANT:
206 COURT STREET, LLC
 865 ISLINGTON STREET
 PORTSMOUTH, N.H. 0380
 Tel (603) 767-0766

CIVIL ENGINEER & LAND SURVEYOR:
AMBIT ENGINEERING, INC.
 200 GRIFFIN ROAD, UNIT 3
 PORTSMOUTH, N.H. 03801-7114
 Tel (603) 430-9282
 Fax (603) 436-2315

ARCHITECT:
McHENRY ARCHITECTURE, PLLC
 4 MARKET STREET
 PORTSMOUTH, N.H. 03801
 Tel (603) 430-0274

CONSTRUCTION MANAGEMENT:
MALT HOUSE CONSTRUCTION
 95 BREWERY LANE
 PORTSMOUTH, N.H. 03801
 TEL (603) 430-9091



Map 10.5A21A
Character Districts and Civic Districts

Legend

Overlay Districts

- DOD Downtown Overlay District
- HD Historic District

Character Districts

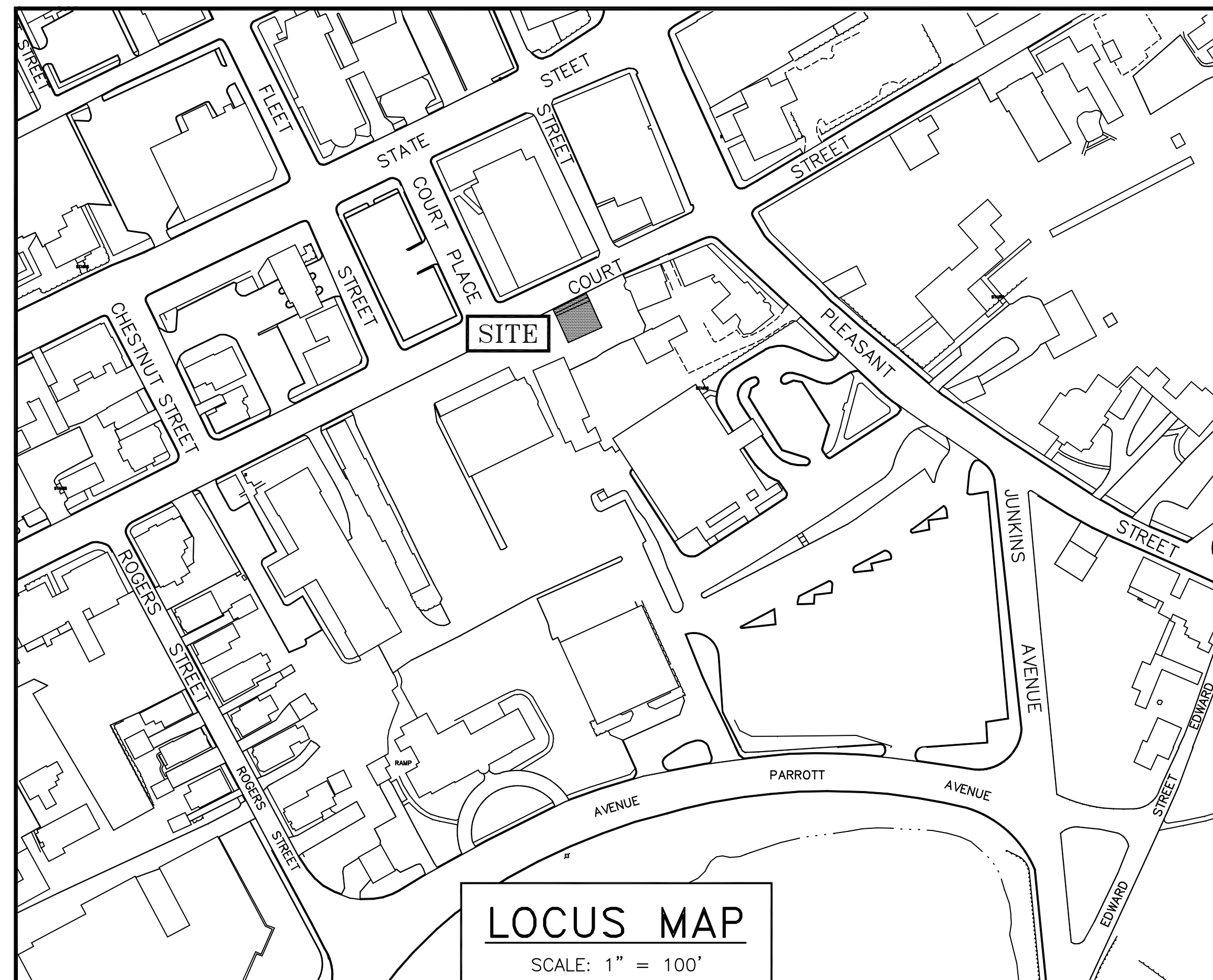
- CD5 Character District 5
- CD4 Character District 4
- CD4-W Character District 4-W
- CD4-L1 Character District 4-L1
- CD4-L2 Character District 4-L2

Civic District

- CIVIC Civic District

Other Districts

- M Municipal District
- TC Transportation Corridor



LEGEND:

N/F	NOW OR FORMERLY	
RP	RECORD OF PROBATE	
RCRD	ROCKINGHAM COUNTY	
	REGISTRY OF DEEDS	
	MAP 11/LOT 21	
(11/21)	IRON ROD FOUND	
● IR FND	IRON PIPE FOUND	
○ IP FND	IRON ROD SET	
● IR SET	DRILL HOLE FOUND	
○ DH FND	DRILL HOLE SET	
● DH SET	GRANITE BOUND w/IRON ROD FOUND	
○ DH SET		
EXISTING	PROPOSED	
FM	FM	FORCE MAIN
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	PG	GAS LINE
D	D	STORM DRAIN
FD	FD	FOUNDATION DRAIN
W	W	WATER LINE
FS	FS	FIRE SERVICE LINE
UE	UGE	UNDERGROUND ELECTRIC SUPPLY
		UNDERGROUND ELECTRIC SERVICE
OHW	OHW	OVERHEAD ELECTRIC/WIRES
		RETAINING WALL
		EDGE OF PAVEMENT (EP)
100	100	CONTOUR
97x3	98x0	SPOT ELEVATION
⊕	⊕	UTILITY POLE
⊕	⊕	ELECTRIC METER
⊕	⊕	TRANSFORMER ON CONCRETE PAD
⊕	⊕	WATER SHUT OFF/CURB STOP
C.O.	C.O.	PIPE CLEANOUT
GV	GV	GATE VALVE
HYD	HYD	HYDRANT
CB	CB	CATCH BASIN
SMH	SMH	SEWER MANHOLE
DMH	DMH	DRAIN MANHOLE
WMH	WMH	WATER METER MANHOLE
#5	#5	TEST BORING
TP 1	TP 1	TEST PIT
LA	LA	LANDSCAPED AREA
CI	CI	CAST IRON PIPE
COP	COP	COPPER PIPE
CMP	CMP	CORRUGATED METAL PIPE
DI	DI	DUCTILE IRON PIPE
PVC	PVC	POLYVINYL CHLORIDE PIPE
RCP	RCP	REINFORCED CONCRETE PIPE
HYD	HYD	HYDRANT
CL	CL	CENTERLINE
EP	EP	EDGE OF PAVEMENT
EL	EL	ELEVATION
FF	FF	FINISHED FLOOR
INV	INV	INVERT
TBM	TBM	TEMPORARY BENCH MARK
TYP	TYP	TYPICAL

INDEX OF SHEETS

- C1 - EXISTING CONDITIONS PLAN
- C2 - DEMOLITION PLAN
- C3 - SITE PLAN
- C4 - UTILITY & GRADING PLAN
- D1 & D2 - DETAILS
- T2, A101, A102, A301 - ARCHITECTURAL PLANS

UTILITY CONTACTS

ELECTRIC:
 EVERSOURCE
 1700 LAFAYETTE ROAD
 PORTSMOUTH, N.H. 03801
 Tel. (603) 436-7708, Ext. 555.5678
 ATTN: MICHAEL BUSBY, P.E. (MANAGER)
 MICHAEL.BUSBY@NU.COM

NATURAL GAS:
 UNITIL
 325 WEST ROAD
 PORTSMOUTH, N.H. 03801
 Tel. (603) 294-5144
 ATTN: DAVE BEAULIEU

CABLE:
 COMCAST
 155 COMMERCE WAY
 PORTSMOUTH, N.H. 03801
 Tel. (603) 679-5695 (X1037)
 ATTN: MIKE COLLINS

SEWER & WATER:
 PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
 680 PEVERLY HILL ROAD
 PORTSMOUTH, N.H. 03801
 Tel. (603) 427-1530
 ATTN: JIM TOW

COMMUNICATIONS:
 CONSOLIDATED
 COMMUNICATIONS
 JOE CONSIDINE
 1575 GREENLAND ROAD
 GREENLAND, N.H. 03840
 Tel. (603) 427-5525

PORTSMOUTH APPROVAL CONDITIONS NOTE:
 ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

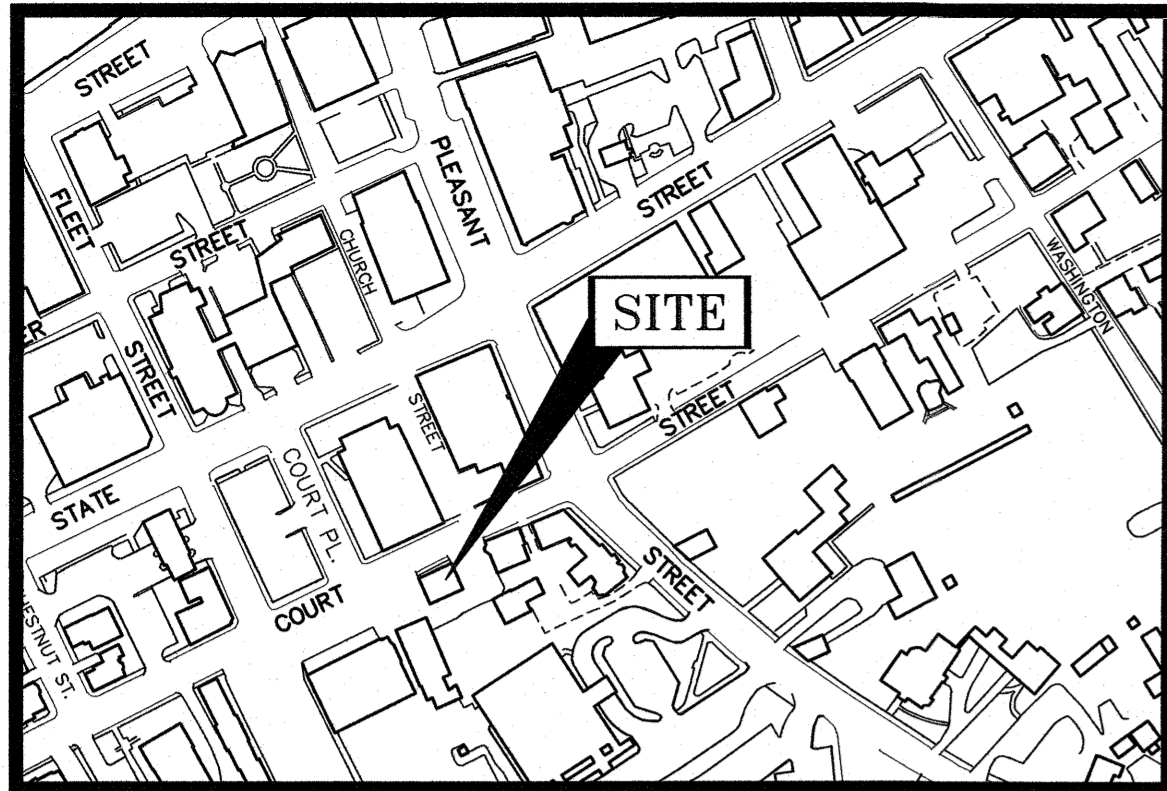
APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

PROPOSED BUILDING ADDITION
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PORTSMOUTH, N.H.

AMBIT ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 200 Griffin Road - Unit 3
 Portsmouth, N.H. 03801-7114
 Tel (603) 430-9282
 Fax (603) 436-2315

PLAN SET SUBMITTAL DATE: 5 NOVEMBER 2018



LOCATION MAP SCALE: 1" = 200'

LEGEND:

- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY
- RR SPK RAILROAD SPIKE
- MAP 11/LOT 21
- IR FND IRON ROD FOUND
- IP FND IRON PIPE FOUND
- IR SET IRON ROD SET
- RR SPIKE FND RAILROAD SPIKE FOUND

TEST PIT #1, ELEV. 22.53

Date: 9/14/18
 Logged by: SDR 2094.01
 Witnessed by:
 ESHWT: 50"
 Observed Water: NONE
 Restrictive layer: 50"
 REFUSAL: NONE TO 61"
 Percolation rate: 8 min./inch
 Roots: NONE

DEPTH	DESCRIPTION
0" - 11"	10YR 2/1 FINE SANDY LOAM, GRANULAR, FRIABLE
11" - 44"	10YR 3/2 FINE SANDY LOAM, GRANULAR, FRIABLE
44" - 50"	10YR 4/3 FINE SANDY LOAM, GRANULAR, FRIABLE
50" - 61"	2.5YR 5/3 CLAY LOAM, FIRM, MASSIVE

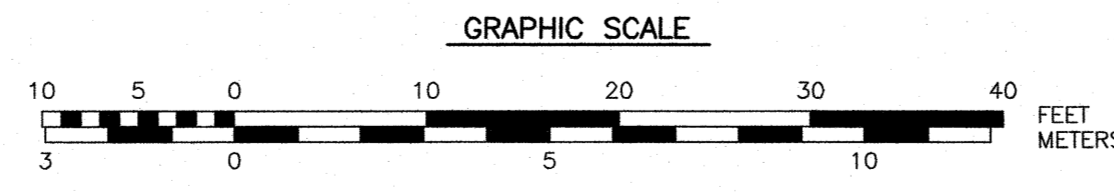
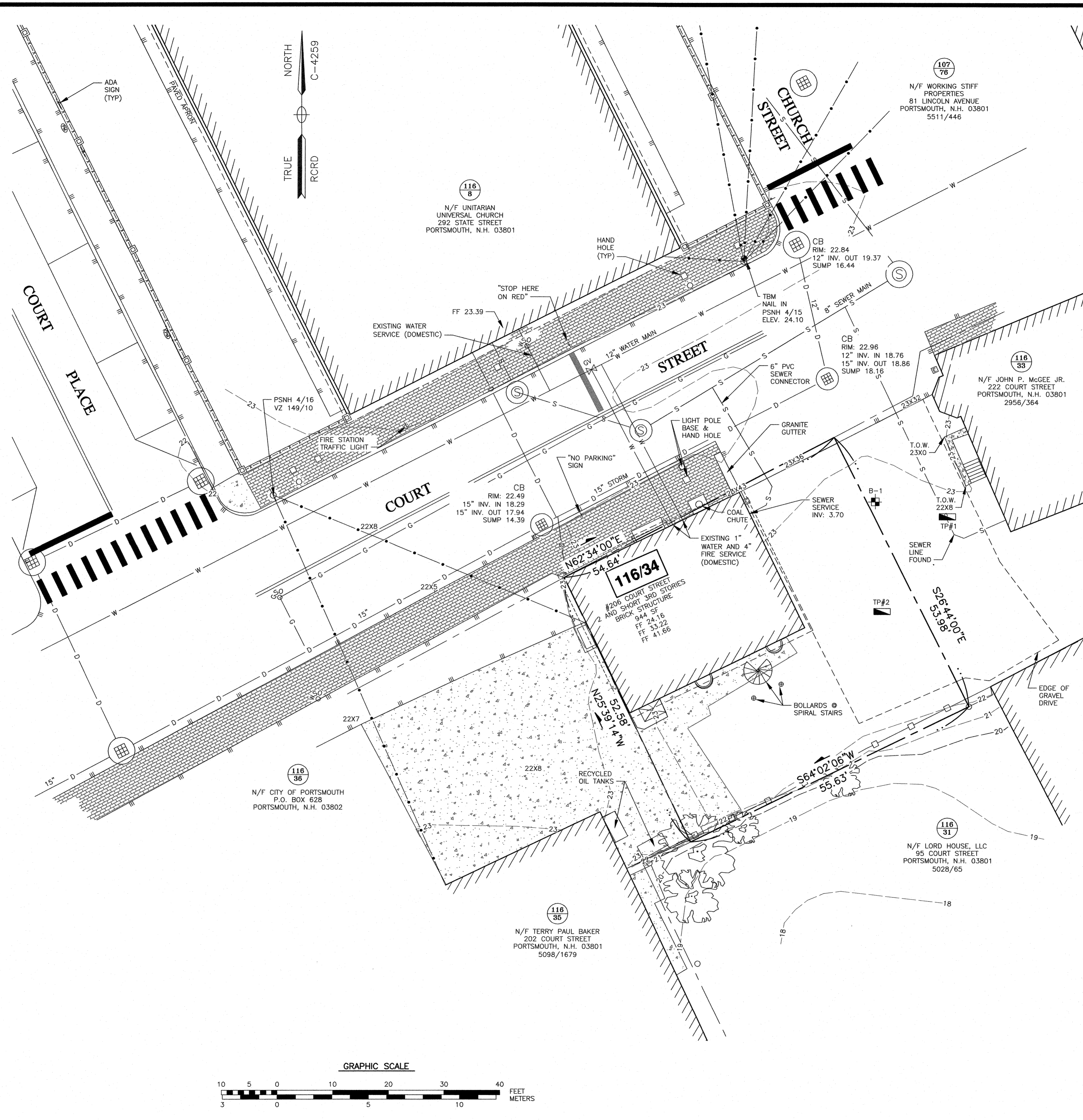
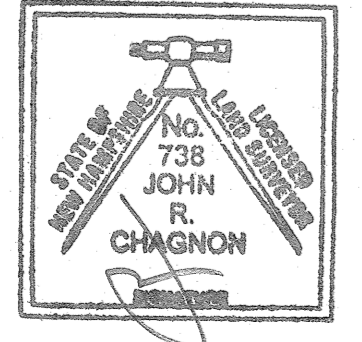
TEST PIT #2, ELEV. 22.37

Date: 9/14/18
 Logged by: SDR 2094.01
 Witnessed by:
 ESHWT: 52"
 Observed Water: NONE
 Restrictive layer: 52"
 REFUSAL: NONE TO 62"
 Percolation rate: 8 min./inch
 Roots: NONE

DEPTH	DESCRIPTION
0" - 11"	10YR 2/1 FINE SANDY LOAM, GRANULAR, FRIABLE
11" - 44"	10YR 3/2 FINE SANDY LOAM, GRANULAR, FRIABLE
44" - 50"	10YR 4/3 FINE SANDY LOAM, GRANULAR, FRIABLE
50" - 61"	2.5YR 5/2 CLAY LOAM, FIRM, MASSIVE

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

John R. Chagnon 10-3-18
 JOHN R. CHAGNON, LLS DATE



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 Civil Engineers & Land Surveyors
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 Portsmouth, N.H. 03801-7114
 Tel (603) 430-9282
 Fax (603) 436-2315

- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 116 AS LOT 34.
 - 2) OWNER OF RECORD: 206 COURT STREET, LLC 865 ISLINGTON STREET PORTSMOUTH, NH 03801 BK 5900 PG 293
 - 3) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259E, EFFECTIVE MAY 17, 2005.
 - 4) EXISTING LOT AREA: 2,937 S.F. 0.0674 AC.
 - 5) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4-L1 AND HISTORICAL DISTRICT.
 - 6) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 116 LOT 34.
 - 7) DATUM: NAVD 1988, MEAN SEA LEVEL
 BENCHMARK: USGS DISK STAMPED V31 1943 ELEVATION 29.19'

**SITE DEVELOPMENT
 206 COURT STREET
 PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
2	LABEL SEWERS AND OTHER LABELS	10/3/18
1	ISSUED FOR APPROVAL	9/17/18
0	ISSUED FOR COMMENT	8/6/18

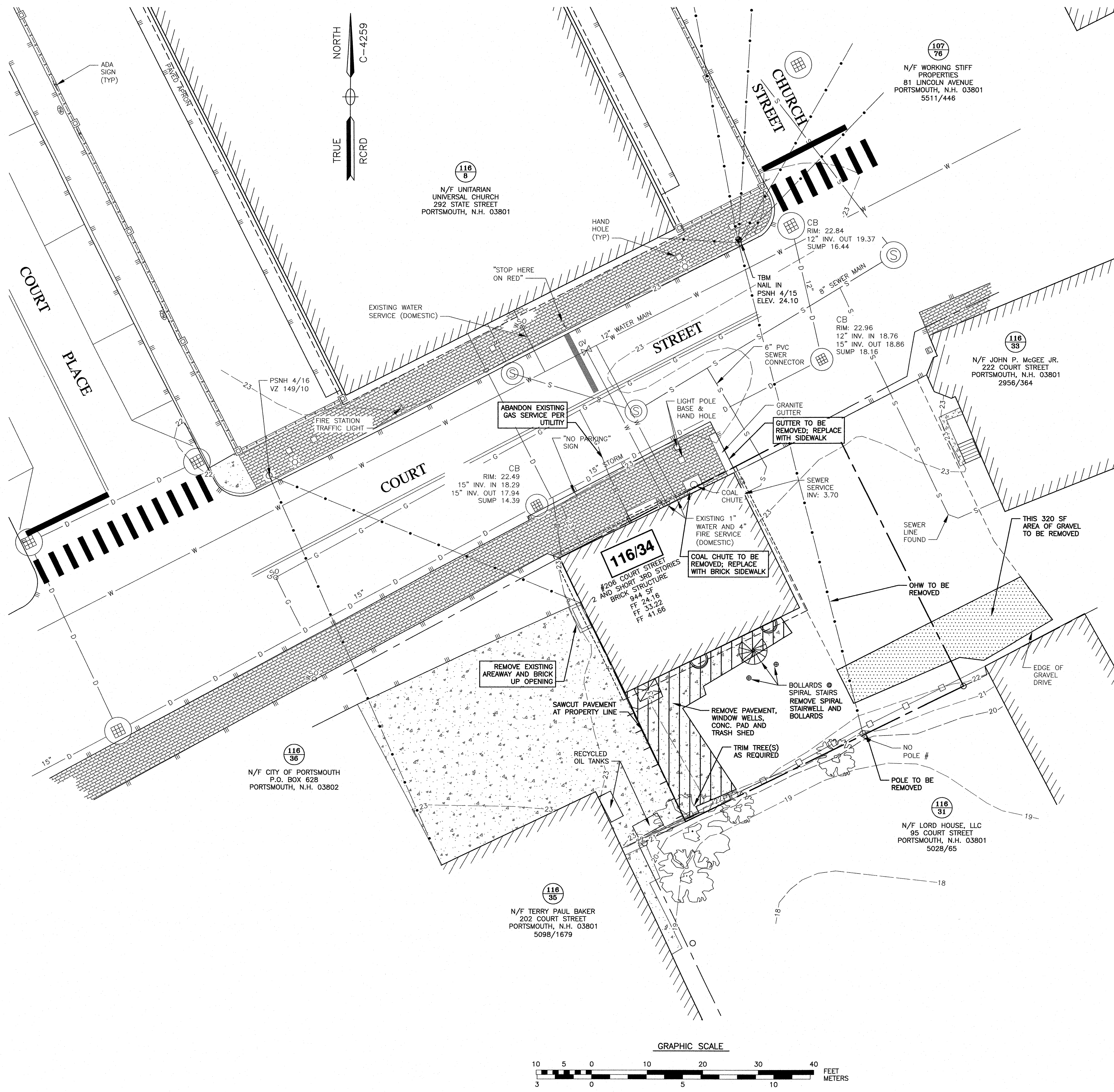
SCALE: 1" = 10' JULY 2018

EXISTING CONDITIONS PLAN **C1**

J:\JOBS\2009\2009\2018 Site Plans\Plans & Specs\Site\2094 SITE 2018.dwg, C1 VARIANCE AND EXIST

DEMOLITION NOTES

- A) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.
- B) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- C) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- E) SAWCUT AND REMOVE PAVEMENT ALONG MAP 116 LOT 35 AT PROPERTY LINE
- F) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- G) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- H) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN.
- I) ALL WORK WITHIN THE CITY OF PORTSMOUTH RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS (DPW).
- J) REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL SLUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- K) CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED, THE CONTRACTOR SHALL EMPLOY A NH LICENSED LAND SURVEYOR TO REPLACE THEM.
- L) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- M) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- N) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS

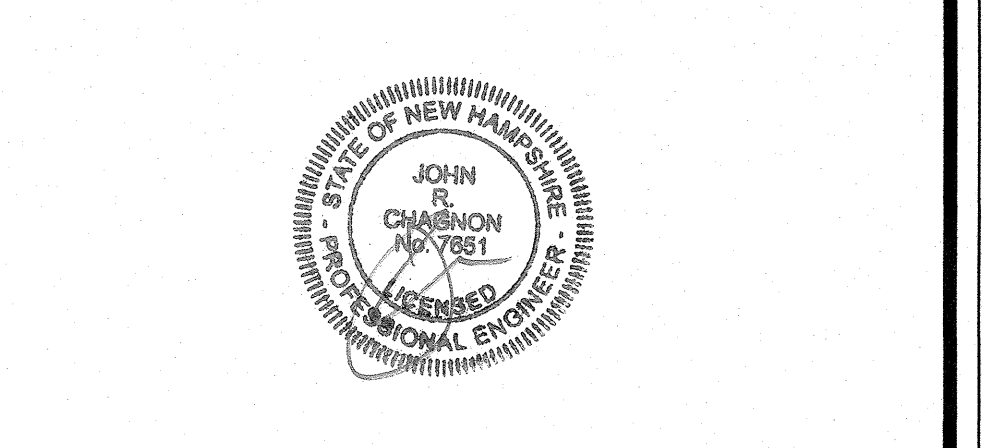


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- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
 - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

**SITE DEVELOPMENT
 206 COURT STREET
 PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
2	LABELS	10/3/18
1	ISSUED FOR APPROVAL	9/17/18
0	ISSUED FOR COMMENT	8/7/18



SCALE: 1" = 10' JULY 2018

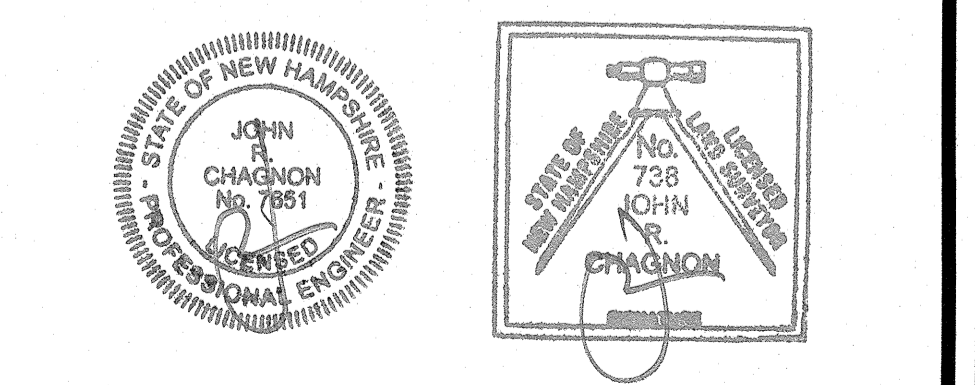
DEMOLITION PLAN **C2**

J:_0852_IN2000s\IN2000s\2094\2094_Site_Plans\Plans & Specs\Site\2094_Site_2018.dwg, C2 DEMO

- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 116 AS LOT 34.
 - 2) OWNER OF RECORD:
206 COURT STREET, LLC
865 ISLINGTON STREET
PORTSMOUTH, NH 03801
BK 5900 PG 293
 - 3) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259E, EFFECTIVE MAY 17, 2005.
 - 4) EXISTING LOT AREA:
2,937 S.F.
0.0674 AC.
 - 5) PARCEL IS LOCATED CHARACTER DISTRICT 4-L1 AND HISTORICAL DISTRICT.
 - 6) THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED ADDITION TO THE EXISTING STRUCTURE.
 - 7) PARKING CALCULATIONS FOR MAP 116 LOT 34
PROPOSED USE IS 3 DWELLING UNITS
EACH UNIT IS GREATER THAN 750 SF
3 X 1.3 = 4 SPACES REQUIRED
2 SPACES PROVIDED
CONDITIONAL USE PERMIT REQUIRED

**SITE DEVELOPMENT
206 COURT STREET
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
3	PARKING	11/5/18
2	PARKING SPOT #3, LANDSCAPE CALLOUTS	10/3/18
1	ISSUED FOR APPROVAL	9/17/18
0	ISSUED FOR COMMENT	8/7/18
REVISIONS		



SCALE: 1" = 10' JULY 2018

SITE PLAN **C3**

**IMPERVIOUS SURFACE AREAS
(TO PROPERTY LINE)**

STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
STRUCTURE	944	1,711
PORCH, STEPS	45	3
PAVEMENT	22	19
CONCRETE	316	93
GRAVEL	906	0
TOTAL	2,233	1,826
LOT SIZE	2,937	2,937
% LOT COVERAGE	76.0%	62.2%
% OPEN SPACE	24.0%	37.8%

DEVELOPMENT STANDARDS:

**OD4-L1: CHARACTER DISTRICT 4-LIMITED
BUILDING PLACEMENT (PRINCIPLE):**

	REQUIRED	EXISTING	PROPOSED
MAX. PRINCIPLE FRONT YARD:	15 FEET	0 FEET	0 FEET
MIN. SIDE YARD:	5 FEET	0 FEET	0 FEET
MIN. REAR YARD:	5 FEET	25.6 FEET	5.6 FEET
FRONT LOT LINE BUILDOUT:	60%-80%	64.8%	64.8%

BUILDING FORM:

	REQUIRED	EXISTING	PROPOSED
MAX. STRUCTURE HEIGHT:	35 FEET	31'-5"	31'-5"
MAX. FIN. FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36 IN.	9 INCHES	9 INCHES
MIN. GROUND STORY HEIGHT:	11 FEET	9 FEET	9 FEET
FACADE GLAZING:	20-40%	16%	16%
ROOF TYPE:	GABLE, FLAT, HIP	HIP	HIP

LOT OCCUPATION:

	REQUIRED	EXISTING	PROPOSED
MAX. BUILDING BLOCK	80 FT	54.6 FEET	54.6 FEET
MAX. FACADE MOD. LENGTH:	50 FEET	35 FEET	35 FEET
MAX. BUILDING COVERAGE:	60%	32.1%	58.3%
MAX. BUILDING FOOTPRINT:	2,500 SF	944 SF	1,711 SF
MIN. LOT AREA:	3,000 SF	2,937 SF	2,937 SF
MIN. OPEN SPACE COVERAGE:	25%	24%	37.8%

VARIANCES:

- VARIANCE FROM 10.1114.21**
- 1) TO PERMIT 8'x19' PARKING SPACES WHERE 8.5'x19' IS REQUIRED
- VARIANCE FROM 10.5A41.10A**
- 2) TO PERMIT A GROUND STORY HEIGHT OF 9 FEET WHERE 11 FEET IS REQUIRED
 - 3) TO PERMIT A FACADE GLAZING OF 16% WHERE 20-40% IS REQUIRED
 - 4) TO PERMIT A LOT AREA PER DWELLING UNIT OF 979 SF WHERE 3,000 SF LOT AREA PER DWELLING UNIT IS REQUIRED
- VARIANCE FROM 10.1114.32 (B)**
- 5) TO PERMIT BACKING INTO OR FROM A PUBLIC STREET TO THE PARKING SPOT

VARIANCES GRANTED:

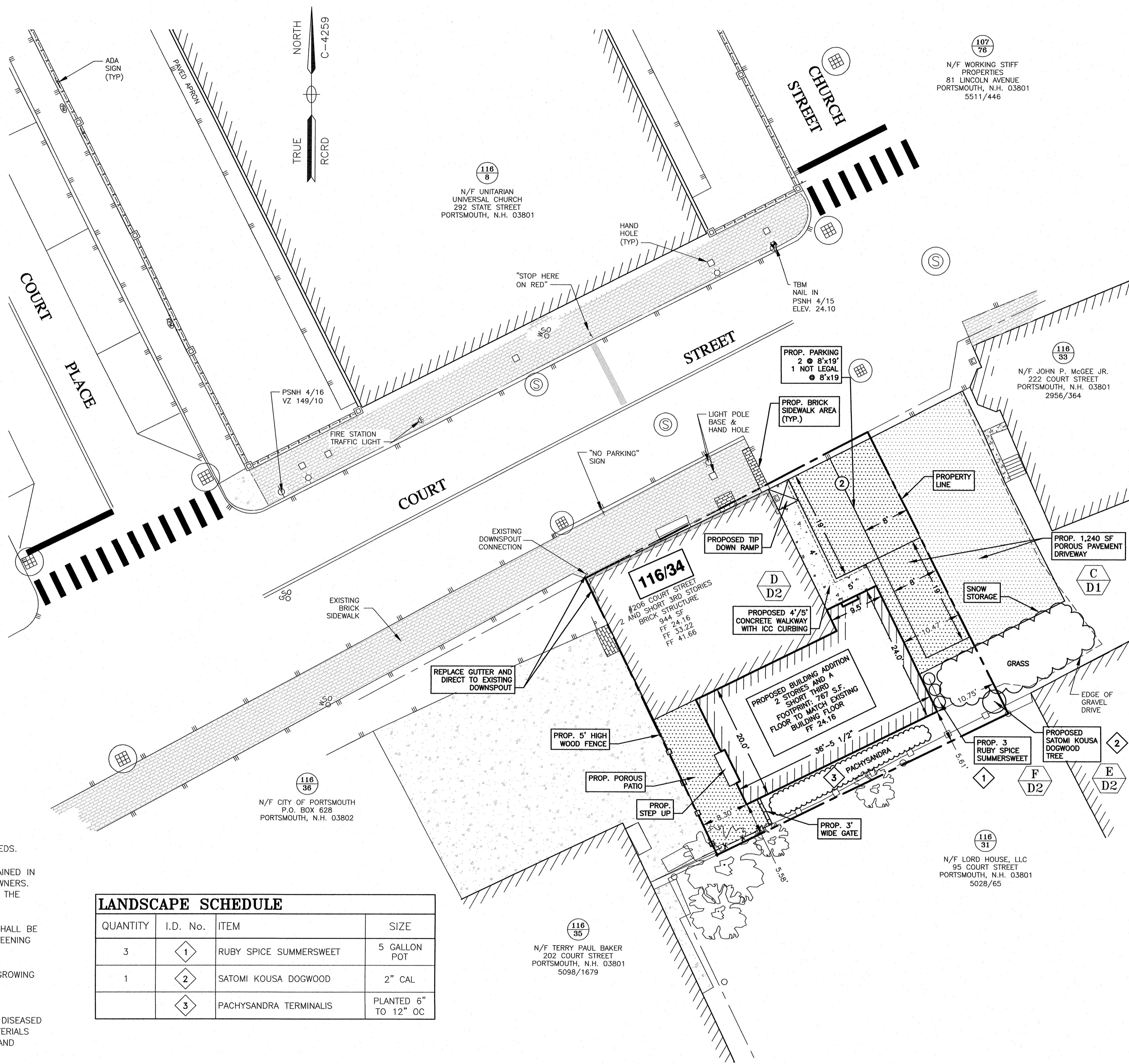
JULY 2018

APPROVAL NOTES:

- 1) THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- 2) ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- 3) THE OWNER OF RECORD AND SUBSEQUENTLY THE CONDOMINIUM UNIT ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS.
- 4) ALL REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY, AND KEPT FREE OF REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.
- 5) THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.

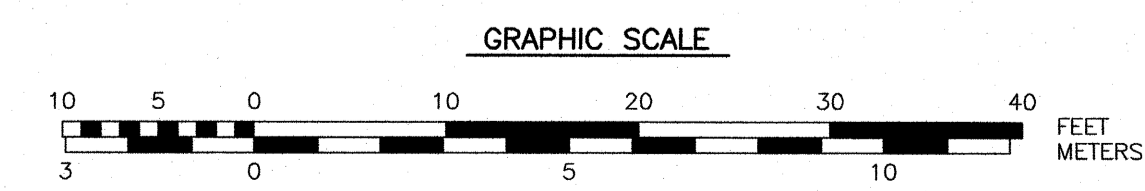
APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____



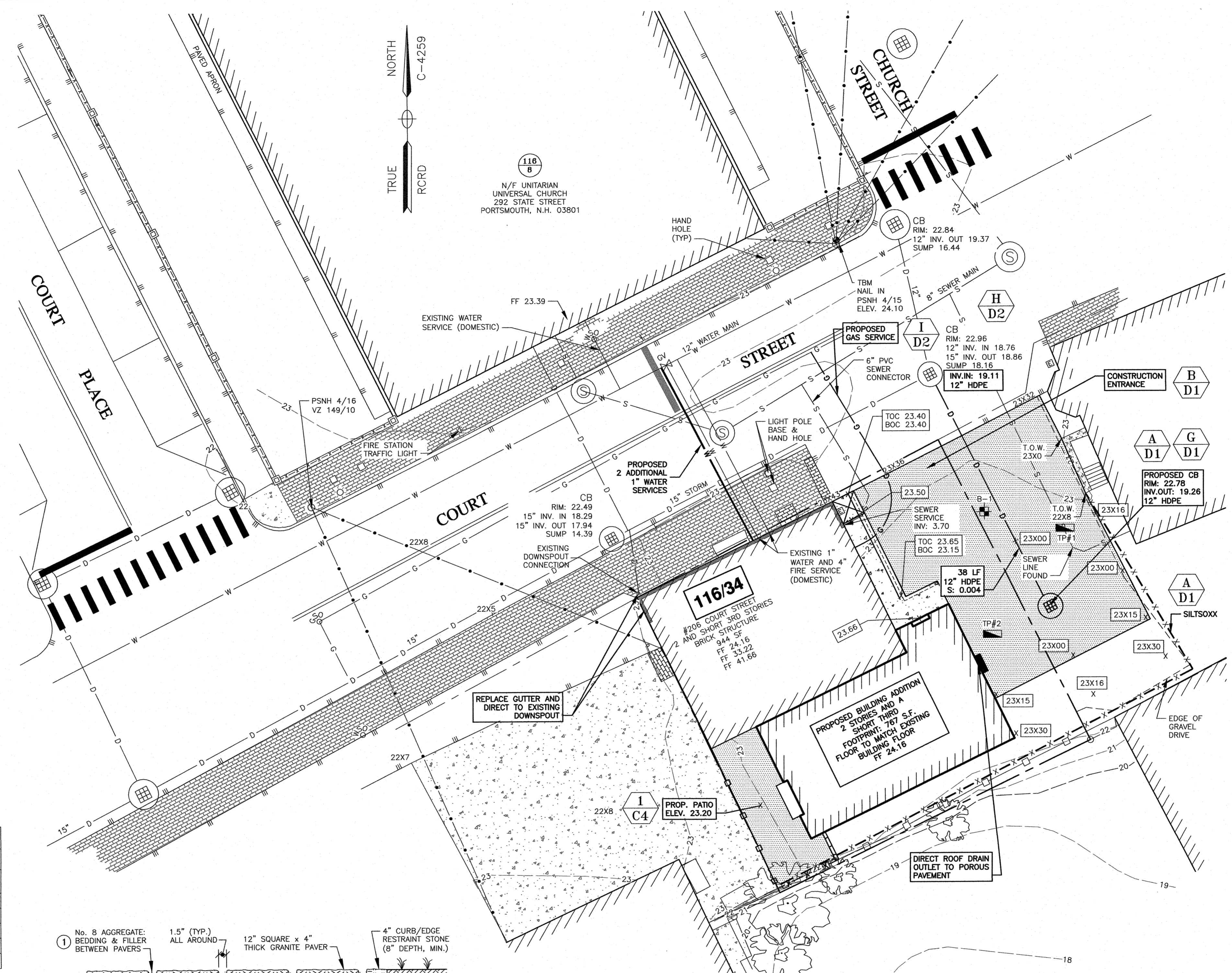
LANDSCAPE SCHEDULE

QUANTITY	I.D. No.	ITEM	SIZE
3	1	RUBY SPICE SUMMERSWEET	5 GALLON POT
1	2	SATOMI KOUSA DOGWOOD	2" CAL
	3	PACHYSANDRA TERMINALIS	PLANTED 6" TO 12" OC



J:\0852\UN2006s\UN2094\2018 Site Plans\Plans & Sheets\Site\2094_Site_2018.dwg, C3 SITE

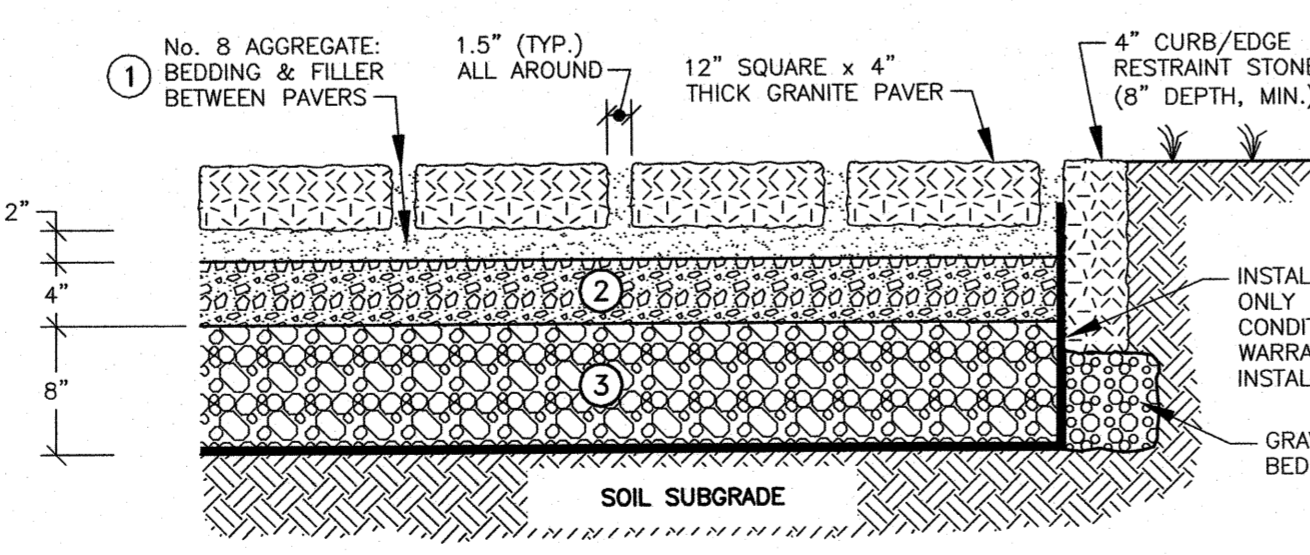
- NOTES:**
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 - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
 - 4) INSTALL CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED CATCH BASINS UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.
 - 5) PROPOSED SEWER FLOW:
2 UNITS X 170 GPD/UNIT = 340 GPD
 - 6) SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
 - 7) COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.
 - 8) THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATED TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT.
 - 9) ALL UTILITY CONNECTIONS SHALL BE INTERNAL.
 - 10) VERIFY EXISTING SEWER SERVICE IS 6" FROM BUILDING TO STREET SEWER AND REPLACE ANY SECTIONS SMALLER THAN 6".



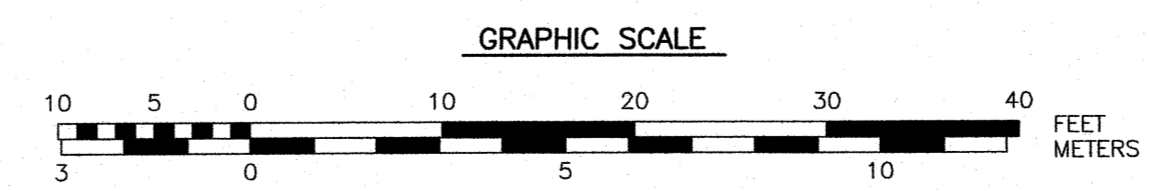
ASTM D 448 GRADATION TABLE

①		②		③	
ASTM No. 8 BEDDING & JOINT FILLER		ASTM No. 57 STONE OPEN GRADED BASE		ASTM No. 2 STONE SUBBASE	
SIEVE SIZE	PASSING BY WEIGHT (%)	SIEVE SIZE	PASSING BY WEIGHT (%)	SIEVE SIZE	PASSING BY WEIGHT (%)
1/2" (12.5mm)	100	1.5" (37.5mm)	100	3" (75mm)	100
3/8" (9.5mm)	85-100	1" (25mm)	95-100	2.5" (63mm)	90-100
No. 4 (4.75mm)	10-30	1/2" (12.5mm)	25-60	2" (50mm)	35-70
No. 8 (2.36mm)	0-10	No. 4 (4.75mm)	0-10	1.5" (37.5mm)	0-15
No. 16 (1.16mm)	0-5	No. 8 (2.36mm)	0-5	3/4" (19mm)	0-5

- NOTES:**
- 1) PAVING SYSTEM BASE DESIGN IS SIMILAR TO BASE REQUIRED FOR THE UNI ECO-STONE PAVER. INSTALLATION SHALL FOLLOW MANUFACTURER'S INSTRUCTIONS FOR PLACEMENT OF BASE MATERIALS.
 - 2) ALL STONE SHALL BE ANGULAR, WITH 90% FRACTURED FACES. STONE SHALL BE WASHED WITH LESS THAN 1% PASSING THE 200 SIEVE.
 - 3) CONTRACTOR SHALL SUBMIT SIEVE ANALYSIS FOR EACH COURSE MATERIAL TO PROJECT ENGINEER FOR APPROVAL PRIOR TO PLACEMENT.



1 POROUS PATIO SECTION
C4 12" SQUARE GRANITE PAVERS NTS OR APPROVED EQUAL

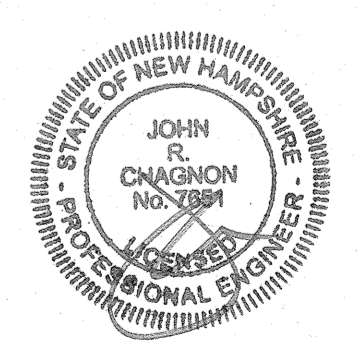


APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

**SITE DEVELOPMENT
 206 COURT STREET
 PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
2	ROOF DRAINS	10/3/18
1	ISSUE FOR APPROVAL	9/17/18
0	ISSUED FOR COMMENT	8/7/18



SCALE: 1" = 10' JULY 2018

UTILITY AND GRADING PLAN **C4**

J:\JOB52\IN2000s\IN2094\2018 Site Plans & Specs\Site\2094 SITE 2018.dwg, C4 GRADE

EROSION CONTROL NOTES

CONSTRUCTION SEQUENCE

DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

IF REQUIRED THE CONTRACTOR SHALL OBTAIN AN NPDES PHASE II STORMWATER PERMIT AND SUBMIT A NOTICE OF INTENT (N.O.I.) BEFORE BEGINNING CONSTRUCTION AND SHALL HAVE ON SITE A STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) AVAILABLE FOR INSPECTION BY THE PERMITTING AUTHORITY DURING THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARRYING OUT THE S.W.P.P.P. AND INSPECTING AND MAINTAINING ALL BMP'S CALLED FOR BY THE PLAN. THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION (N.O.T.) FORM TO THE REGIONAL EPA OFFICE WITHIN 30 DAYS OF FINAL STABILIZATION OF THE ENTIRE SITE OR TURNING OVER CONTROL OF THE SITE TO ANOTHER OPERATOR.

INSTALL PERIMETER CONTROLS, I.E., SILT/SOXX AND CATCH BASIN PROTECTION AROUND THE LIMITS OF DISTURBANCE BEFORE ANY EARTH MOVING OPERATIONS. THE USE OF HAYBALES IS NOT ALLOWED.

CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE.

CUT AND GRUB ALL TREES, SHRUBS, SAPLINGS, BRUSH, VINES AND REMOVE OTHER DEBRIS AND RUBBISH AS REQUIRED. DEMOLISH BUILDINGS AND FENCES AS NEEDED.

PERFORM DEMOLITION.

CONSTRUCT BUILDING.

CONSTRUCT WALKWAYS.

PLANT LANDSCAPING IN AREAS OUT OF WAY OF BUILDING CONSTRUCTION. PREPARE AND STABILIZE FINAL SITE GRADING BY ADDING TOPSOIL, SEED, MULCH AND FERTILIZER.

AFTER BUILDINGS ARE COMPLETED, FINISH ALL REMAINING LANDSCAPED WORK.

CONSTRUCT PARKING AREA.

REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

GENERAL CONSTRUCTION NOTES

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" OF THE NHDOT, AND "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE". THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR MORE THAN 45 DAYS.

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

DUST CONTROL: IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING, DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

SILT FENCES AND SILT/SOXX SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILT FENCES AND SILT/SOXX SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.

AVOID THE USE OF FUTURE OPEN SPACES (LOAM AND SEED AREAS) WHEREVER POSSIBLE DURING CONSTRUCTION. CONSTRUCTION TRAFFIC SHALL USE THE ROADBEDS OF FUTURE ACCESS DRIVES AND PARKING AREAS.

ADDITIONAL TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS--CONSTRUCT SILT FENCE OR SILT/SOXX AROUND TOPSOIL STOCKPILE.

AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL. STUMPS SHALL BE DISPOSED OF IN AN APPROVED FACILITY.

ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.

ALL NON-STRUCTURAL, SITE-FILL SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED.

FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL, TRASH, WOODY DEBRIS, LEAVES, BRUSH OR ANY DELETERIOUS MATTER SHALL NOT BE INCORPORATED INTO FILLS.

FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.

DURING CONSTRUCTION AND UNTIL ALL DEVELOPED AREAS ARE FULLY STABILIZED, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH ONE HALF INCH OF RAINFALL.

THE CONTRACTOR SHALL MODIFY OR ADD EROSION CONTROL MEASURES AS NECESSARY TO ACCOMMODATE PROJECT CONSTRUCTION.

ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

- BASE COURSE GRAVELS HAVE BEEN INSTALLED ON AREAS TO BE PAVED
- A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
- A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED
- EROSION CONTROL BLANKETS HAVE BEEN INSTALLED

VEGETATIVE PRACTICE

FOR PERMANENT MEASURES AND PLANTINGS:

LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE.

FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10-20-20 FERTILIZER.

SEED SHALL BE SOWN AT THE RATES SHOWN IN THE TABLE BELOW. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE, AND SHALL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.

THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED SHALL BE RESEEDED, AND ALL NOXIOUS WEEDS REMOVED.

A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE:

GENERAL COVER	PROPORTION	SEEDING RATE
CREeping RED FESCUE	50%	100 LBS/ACRE
KENTUCKY BLUEGRASS	50%	

SLOPE SEED (USED ON ALL SLOPES GREATER THAN OR EQUAL TO 3:1)	PROPORTION	SEEDING RATE
CREeping RED FESCUE	42%	
TALL FESCUE	42%	48 LBS/ACRE
BIRDSFOOT TREFLOIL	16%	

IN NO CASE SHALL THE WEED CONTENT EXCEED ONE PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH APPLICABLE STATE AND FEDERAL SEED LAWS.

FOR TEMPORARY PROTECTION OF DISTURBED AREAS: MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:
PERENNIAL RYE: 0.7 LBS/1,000 S.F.
MULCH: 1.5 TONS/ACRE

IN NO CASE SHALL THE WEED CONTENT EXCEED ONE PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH APPLICABLE STATE AND FEDERAL SEED LAWS.

FOR TEMPORARY PROTECTION OF DISTURBED AREAS: MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:
PERENNIAL RYE: 0.7 LBS/1,000 S.F.
MULCH: 1.5 TONS/ACRE

MAINTENANCE AND PROTECTION

THE CONTRACTOR SHALL MAINTAIN ALL LOAM & SEED AREAS UNTIL FINAL ACCEPTANCE AT THE COMPLETION OF THE CONTRACT. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REMOVAL OF STONES AND OTHER FOREIGN OBJECTS OVER 1/2 INCHES IN DIAMETER WHICH MAY APPEAR AND THE FIRST TWO (2) CUTTINGS OF GRASS NO CLOSER THEN TEN (10) DAYS APART. THE FIRST CUTTING SHALL BE ACCOMPLISHED WHEN THE GRASS IS FROM 2 1/2 TO 3 INCHES HIGH. ALL BARE AND DEAD SPOTS WHICH BECOME APPARENT SHALL BE PROPERLY PREPARED, LIMED AND FERTILIZED, AND RESEEDED BY THE CONTRACTOR AT HIS EXPENSE AS MANY TIMES AS NECESSARY TO SECURE GOOD GROWTH. THE ENTIRE AREA SHALL BE MAINTAINED, WATERED AND CUT UNTIL ACCEPTANCE OF THE LAWN BY THE OWNER'S REPRESENTATIVE.

THE CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PROTECT THE GRASS WHILE IT IS DEVELOPING.

TO BE ACCEPTABLE, SEEDED AREAS SHALL CONSIST OF A UNIFORM STAND OF AT LEAST 90 PERCENT ESTABLISHED PERMANENT GRASS SPECIES, WITH UNIFORM COUNT OF AT LEAST 100 PLANTS PER SQUARE FOOT.

SEEDED AREAS WILL BE FERTILIZED AND RESEEDED AS NECESSARY TO INSURE VEGETATIVE ESTABLISHMENT.

THE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATION IS ESTABLISHED.

THE SILT FENCE OR SILT/SOXX BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

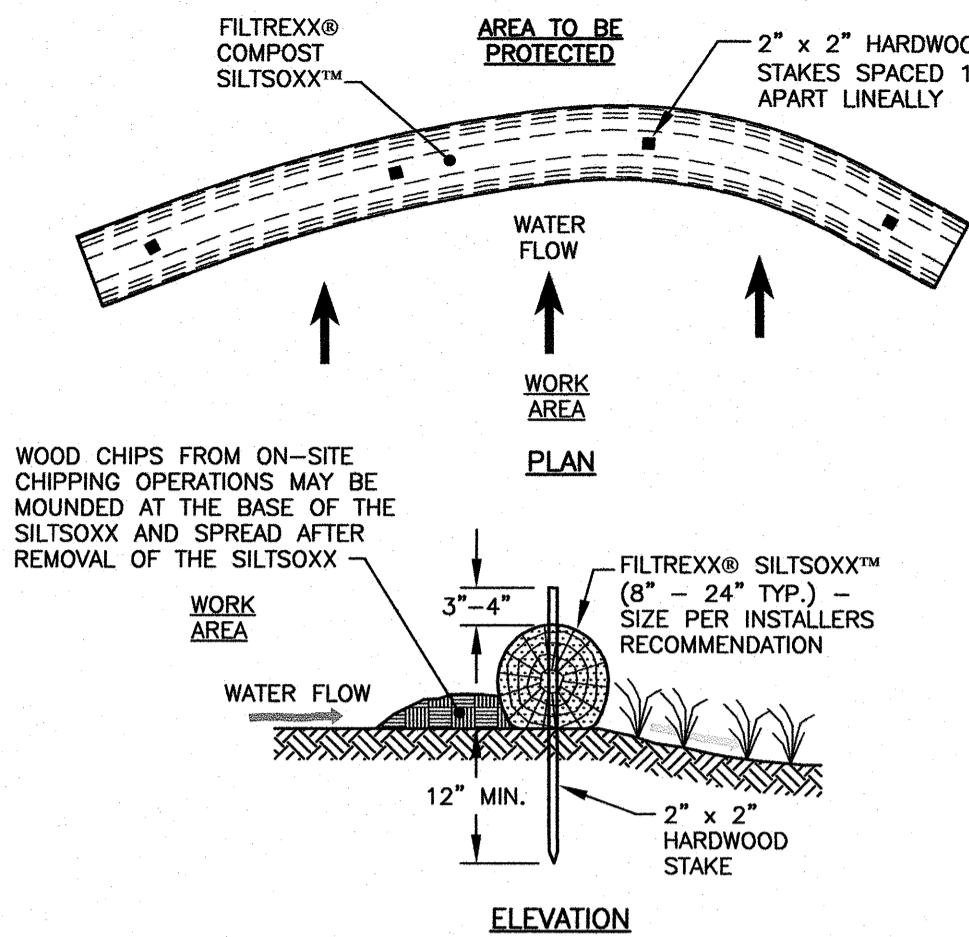
SILT FENCING AND SILT/SOXX SHALL BE REMOVED ONCE VEGETATION IS ESTABLISHED, AND DISTURBED AREAS RESULTING FROM SILT FENCE AND SILT/SOXX REMOVAL SHALL BE PERMANENTLY SEEDED.

WINTER NOTES

ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

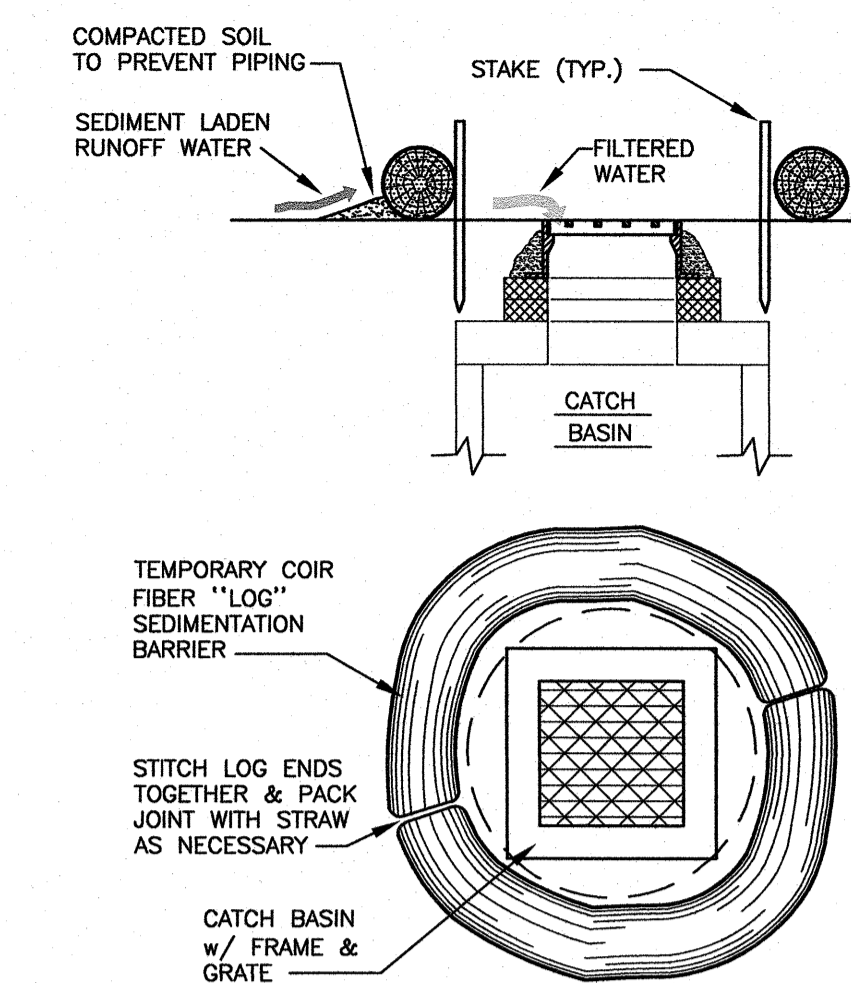
ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.



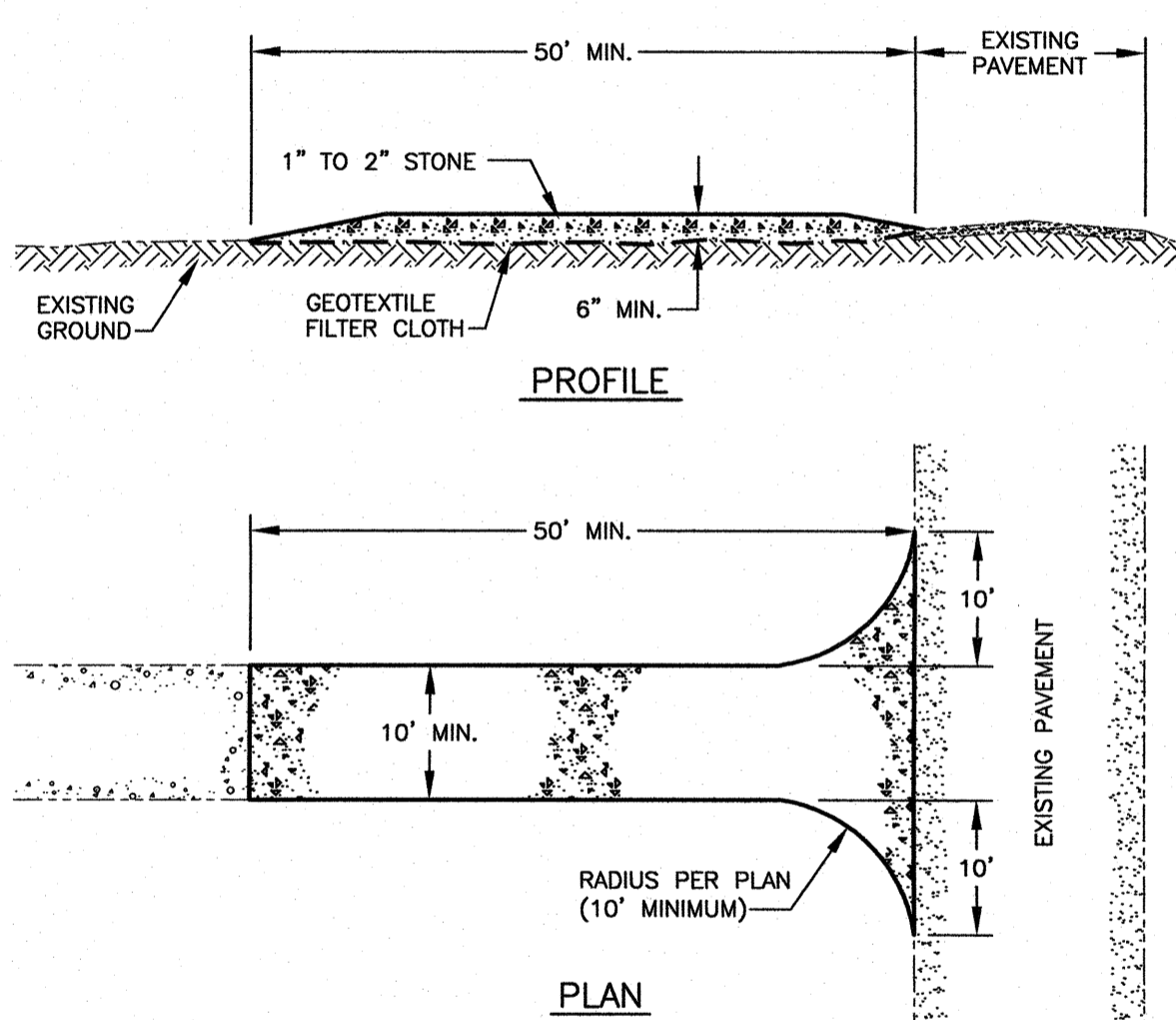
- NOTES:**
1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
 2. FILTREXX SYSTEM SHALL BE INSTALLED BY A CERTIFIED FILTREXX INSTALLER.
 3. THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTRATION SYSTEM IN A FUNCTIONAL CONDITION AT ALL TIMES. IT WILL BE ROUTINELY INSPECTED AND REPAIRED WHEN REQUIRED.
 4. SILT/SOXX DEPICTED IS FOR MINIMUM SLOPES, GREATER SLOPES MAY REQUIRE ADDITIONAL PLACEMENTS.
 5. THE COMPOST FILTER MATERIAL WILL BE DISPersed ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER.

FILTREXX® SILT/SOXX™ FILTRATION SYSTEM
(AS NEEDED) NTS



- NOTE:**
1. PRIOR TO INSTALLATION, SILT LOGS SHALL BE KEPT DRY AND STORED IN THEIR ORIGINAL WRAPPING.
 2. MINIMUM CROSS SECTIONAL DIAMETER OF SILT LOGS: 12".
 3. SILT LOGS MAY BE CUT AND RE-STITCHED AS NEEDED PER MANUFACTURERS RECOMMENDATIONS.
 4. SILT LOGS SHALL BE INSPECTED AFTER EACH STORM EVENT.
 5. REMOVE ACCUMULATED SILT WHEN DEPTH REACHES ONE HALF OF SILT LOG DIAMETER.
 6. IF LOGS ARE TOO STIFF TO BEND AROUND CATCH BASIN INLET, THEY MAY BE CUT AND LAID SQUARE.

"SILT LOG" BARRIER AT CATCH BASIN INLET
ON SITE CATCH BASIN NTS



- MAINTENANCE**
- 1) MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE GRAVEL AND THE EFFECTIVENESS OF THE GRAVEL PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOP DRESSED WITH NEW STONE. COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.
 - 2) IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

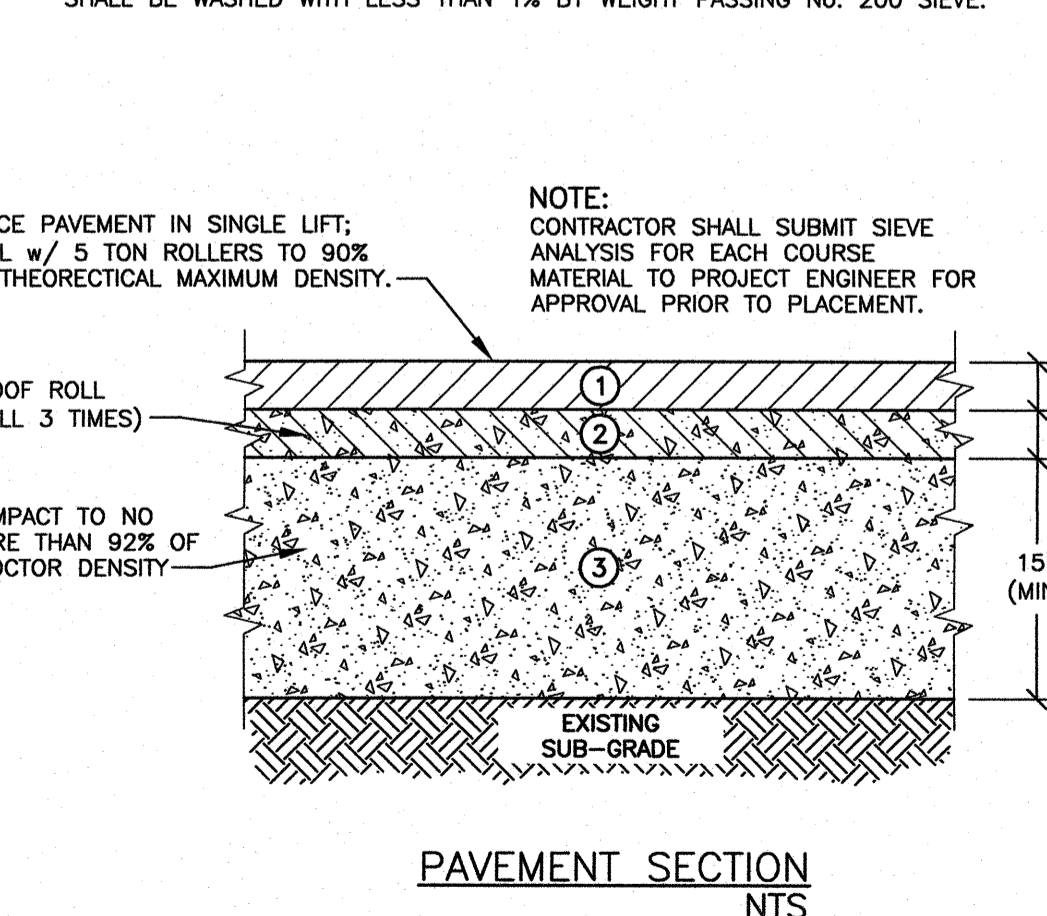
- CONSTRUCTION SPECIFICATIONS**
- 1) STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE.
 - 2) THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
 - 3) THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
 - 4) THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
 - 5) GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
 - 6) ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
 - 7) THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
 - 8) WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY, WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

B C4 STABILIZED CONSTRUCTION ENTRANCE NTS

POROUS PAVEMENT SPECIFICATIONS

①	②	③			
POROUS PAVEMENT w/ THE FOLLOWING GRADATIONS*	CHOKER/RESERVOIR COURSE w/ THE FOLLOWING GRADATIONS**	FILTER COURSE (Item 304.3, Processed Gravel)			
SIEVE SIZE	PASSING BY WEIGHT (%)	SIEVE SIZE	PASSING BY WEIGHT (%)	SIEVE SIZE	PASSING BY WEIGHT (%)
3/4" (19mm)	100	1" (25mm)	100	3" (75mm)	100
1/2" (12.5mm)	85-100	3/4" (19mm)	45-55	2.0" (63mm)	95-100
3/8" (9.5mm)	55-75	1/2" (12.5mm)	40-50	1" (25mm)	55-85
No. 4 (4.75mm)	10-25	3/8" (9.5mm)	35-45	No. 4 (4.75mm)	27-52
No. 8 (2.36mm)	5-10	No. 4 (4.75mm)	---	---	---
No. 200 (0.075mm)	2-4	No. 8 (2.36mm)	0-5	No. 200 (0.075 mm)	0-12 (in sand portion)

* WITH 6% PERFORMANCE GRADED ASPHALT BINDER CONTENT BY VOLUME.
AIR VOIDS TO BE 20%
** CRUSHED QUARRY STONE SHALL CONTAIN AT LEAST 2 FRACTURED FACES, & SHALL BE WASHED WITH LESS THAN 1% BY WEIGHT PASSING No. 200 SIEVE.



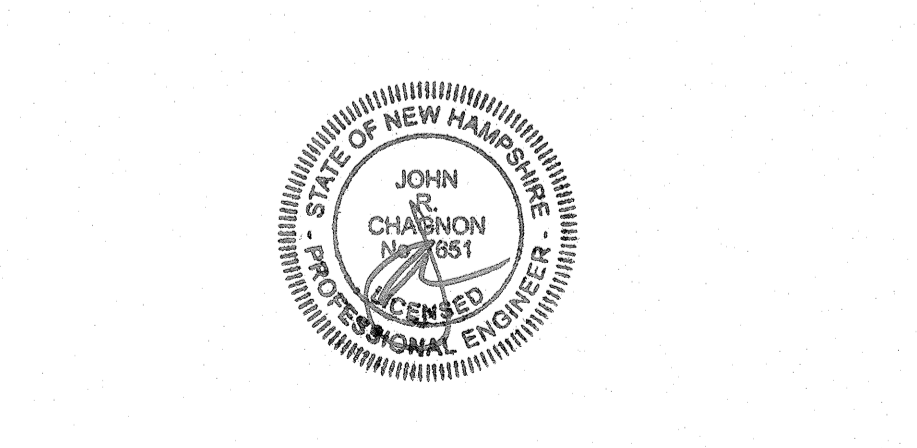
C C3 POROUS PAVEMENT NTS

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 436-9282
Fax (603) 436-2315

- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
 - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

SITE DEVELOPMENT
206 COURT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	9/17/18
0	ISSUED FOR COMMENT	8/6/18
REVISIONS		



SCALE: AS SHOWN JULY 2018

EROSION PROTECTION NOTES AND DETAILS **D1**

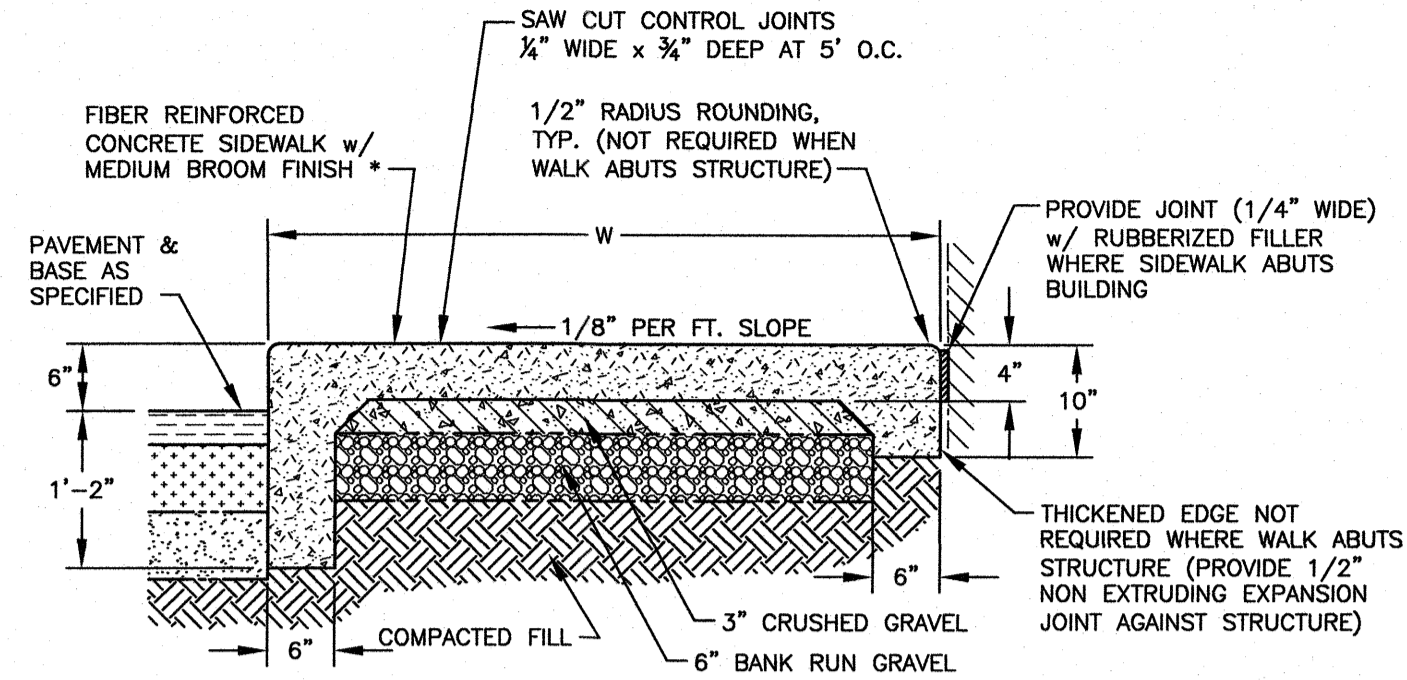


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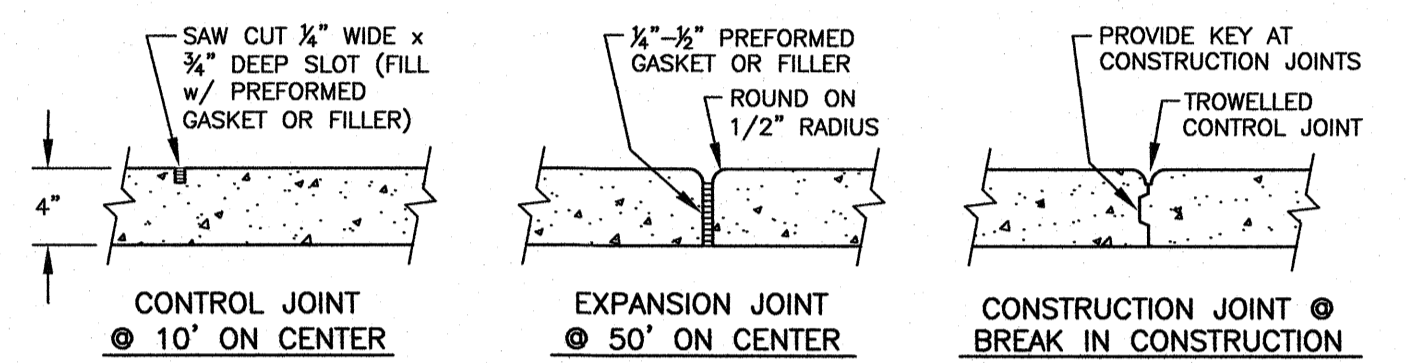
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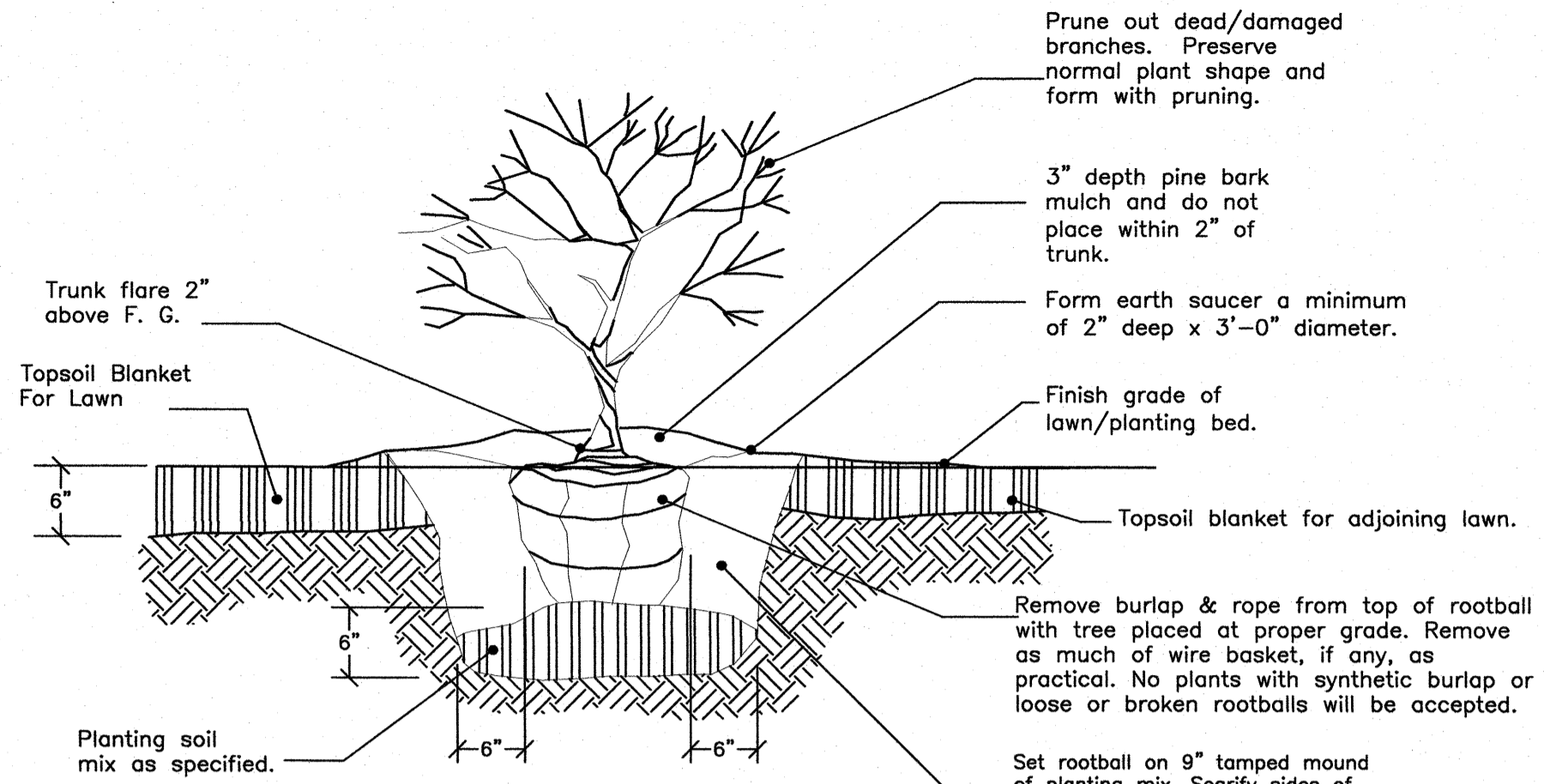


*FIBER: 100% VIRGIN POLYPROPYLENE SUCH AS GRACE MICROFIBER, ASTM C1116, TYPE 111, PAR.4.1.3 OR EQUAL. APPLIED @ 1 LB. PER C.Y.

CROSS SECTION

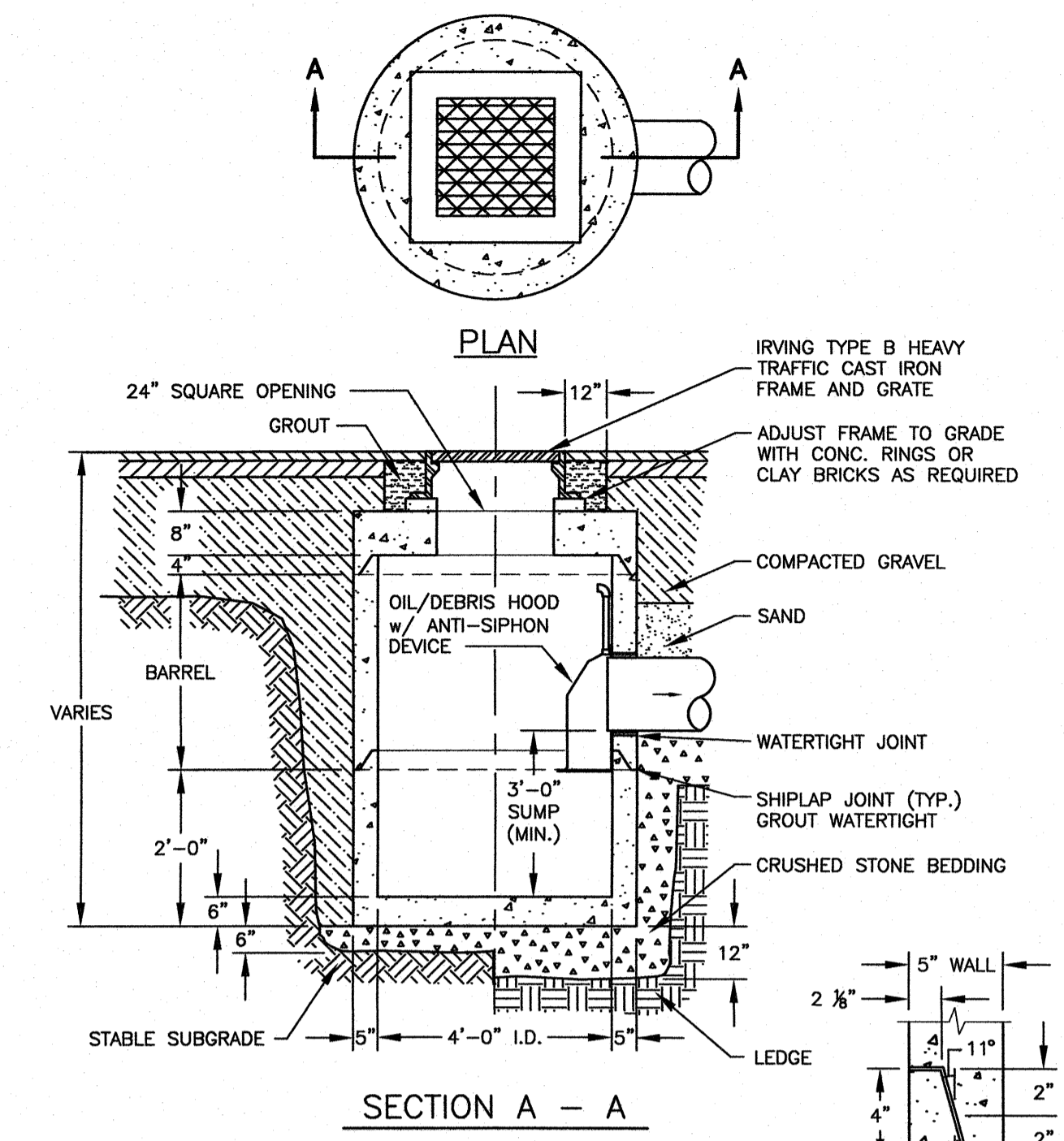


D CONCRETE WALK w/ CONCRETE CURB
C3 NTS



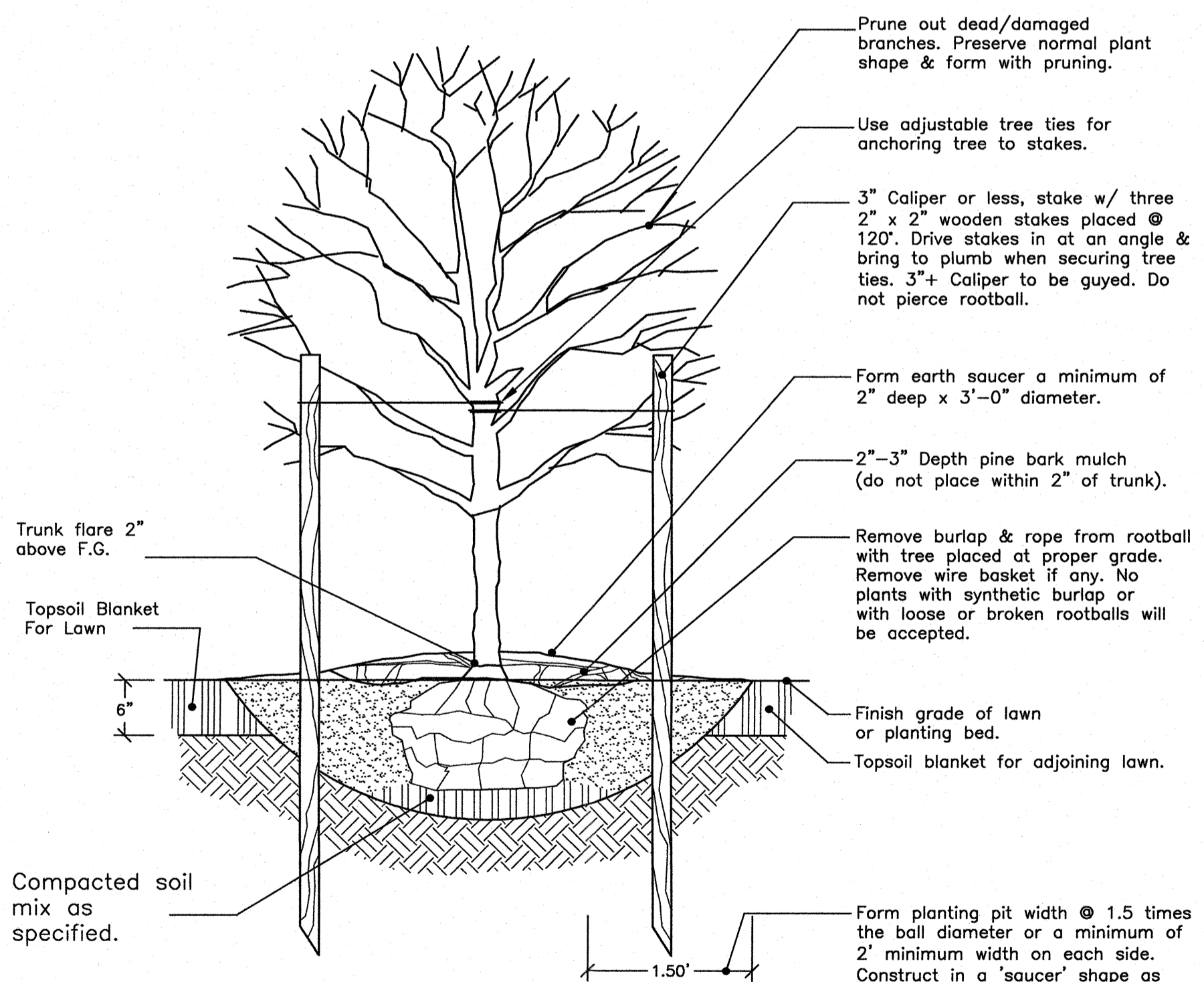
NOTE:
For all shrubs the trunk flare and top of rootball shall be 1\"/>

F SHRUB PLANTING DETAIL
C3 NTS



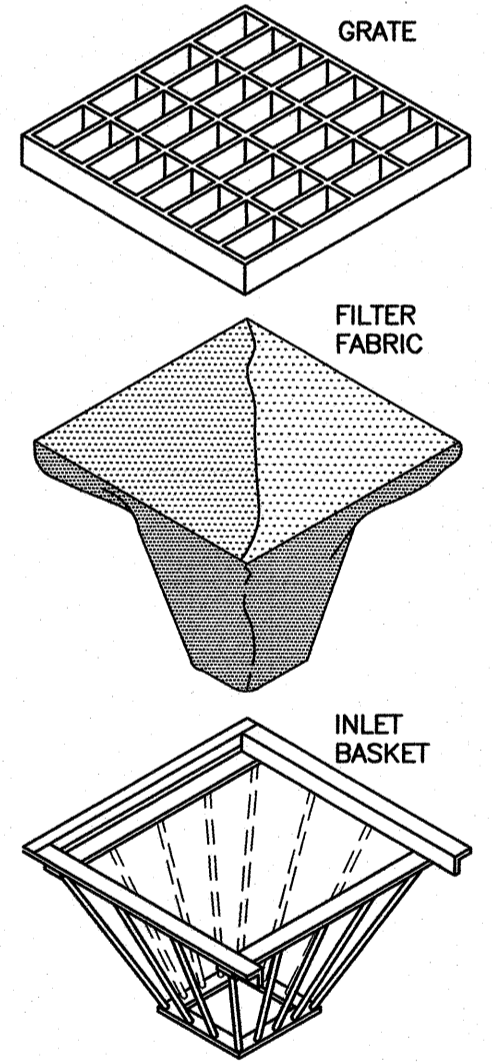
- NOTES:**
- 1) CONCRETE SHALL BE 4,000 P.S.I. AFTER 28 DAYS.
 - 2) CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER LINEAR FT. IN ALL SECTIONS & SHALL BE PLACED IN THE CENTER THIRD OF WALL.
 - 3) THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT.
 - 4) EACH CASTING TO HAVE LIFTING HOLES CAST IN.
 - 5) OUTLET HOOD SHALL BE A "SNOUT" BY BEST MANAGEMENT PRODUCTS, INC. OR APPROVED EQUAL. SIZING AND INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS.

G CATCH BASIN DETAIL
C4 NTS

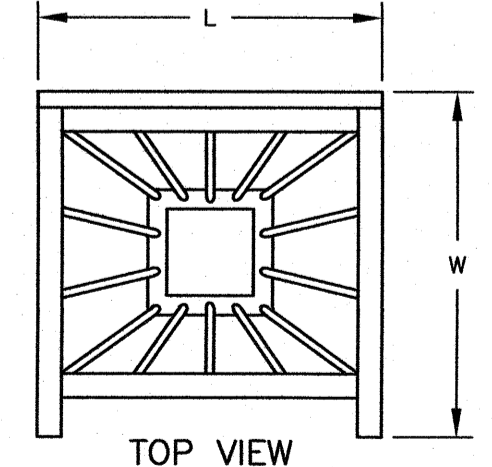


NOTE:
For all trees the trunk flare & top of rootball shall be 2\"/>

E TREE PLANTING DETAIL
C3 NTS

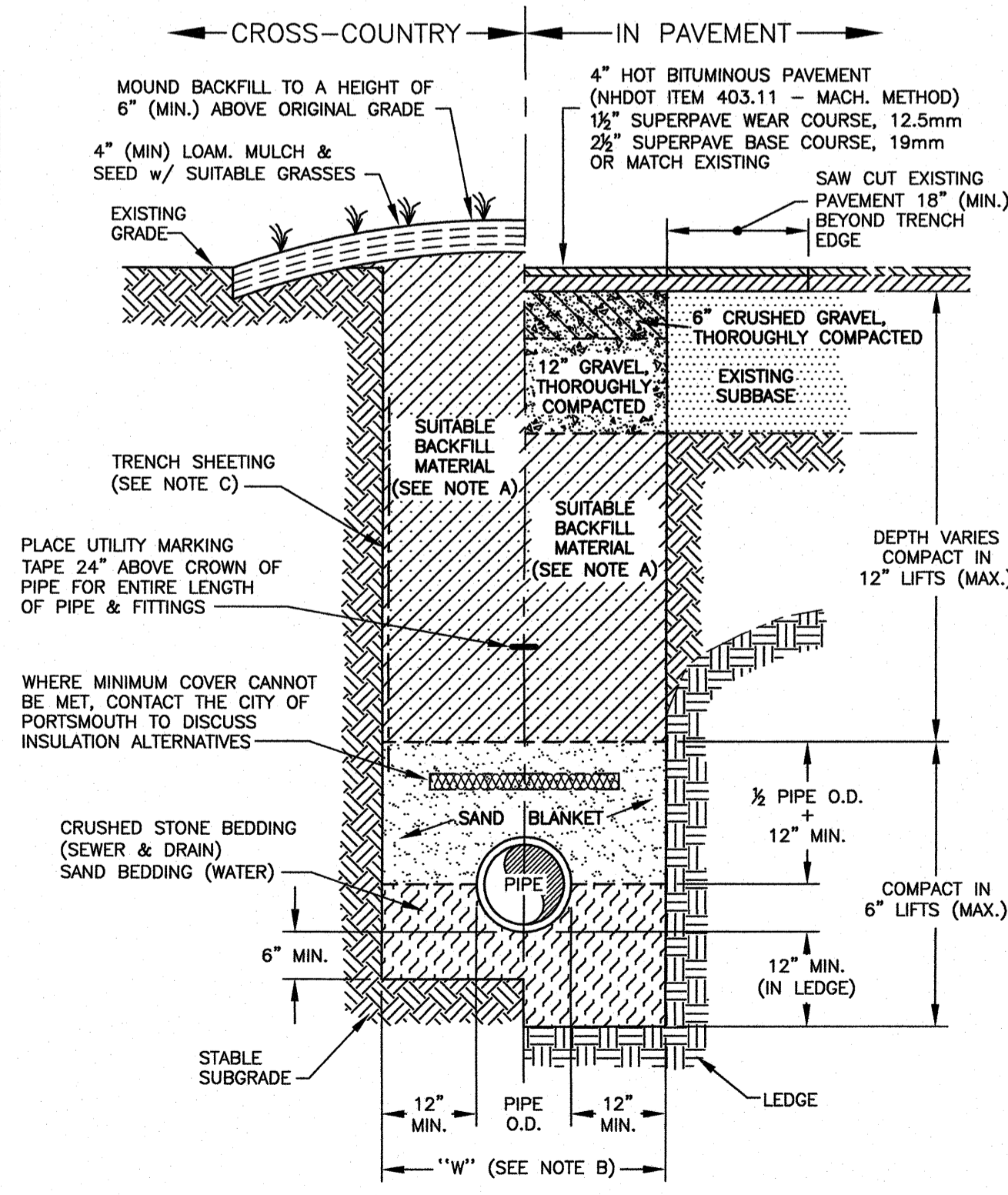


LENGTH (L) & WIDTH (W) AS REQUIRED TO FIT NHDOT TYPE GRATE & FRAME.



H CATCH BASIN INLET BASKET
C4 NTS

- 1) INLET BASKETS SHALL BE INSTALLED IMMEDIATELY AFTER CATCH BASIN CONSTRUCTION IS COMPLETE AND SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL PAVEMENT BINDER COURSE IS COMPLETE.
- 2) FILTER FABRIC SHALL BE PUSHED DOWN AND FORMED TO THE SHAPE OF THE BASKET. THE SHEET OF FABRIC SHALL BE LARGE ENOUGH TO BE SUPPORTED BY THE BASKET FRAME WHEN HOLDING SEDIMENT AND, SHALL EXTEND AT LEAST 6\"/>

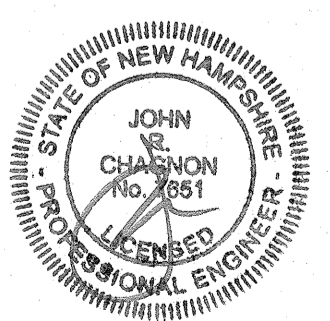


- TRENCH NOTES:**
- A) TRENCH BACKFILL: - IN PAVED AREAS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIALS DEEMED TO BE UNACCEPTABLE BY THE ENGINEER.
 - B) "W" = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D..
 - C) TRENCH SHEETING: IF REQUIRED, WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
 - D) MINIMUM PIPE COVER FOR UTILITY MAINS (UNLESS GOVERNED BY OTHER CODES):
6\"/>
- E) ALL PAVEMENT CUTS SHALL BE REPAIRED BY THE INFRARED HEAT METHOD.

I TYPICAL PIPE TRENCH
C4 NTS

SITE DEVELOPMENT
206 COURT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	9/17/18
0	ISSUED FOR COMMENT	8/6/18



SCALE: AS SHOWN JULY 2018

DETAILS **D2**

GENERAL CODE COMPLIANCE REVIEW

PORTSMOUTH, NH

PROJECT DATA:

DESCRIPTION: THE RENOVATION OF THE EXISTING BUILDING AT 206 COURT STREET AND AN ADDITION OFF OF THE SOUTH AND SOUTHEAST CORNER OF THE PROPERTY, RETURNING THE BUILDING TO ITS ORIGINAL RESIDENTIAL USE. THERE WILL BE 3 UNITS, 1 PER FLOOR.

ZONING: CD4 - L1

STATE BUILDING CODE:

2009 INTERNATIONAL BUILDING CODE (2009 IBC)

LIFE SAFETY CODE:

2015 NATIONAL FIRE PROTECTION AGENCY (NFPA 101)

STATE ENERGY CODE:

2009 INTERNATIONAL ENERGY CONSERVATION CODE (2009 IECC)

STATE MECHANICAL CODE:

2009 INTERNATIONAL MECHANICAL CODE (2009 IMC)

STATE ELECTRICAL CODE:

2014 NATIONAL ELECTRICAL CODE (2014 NEC)

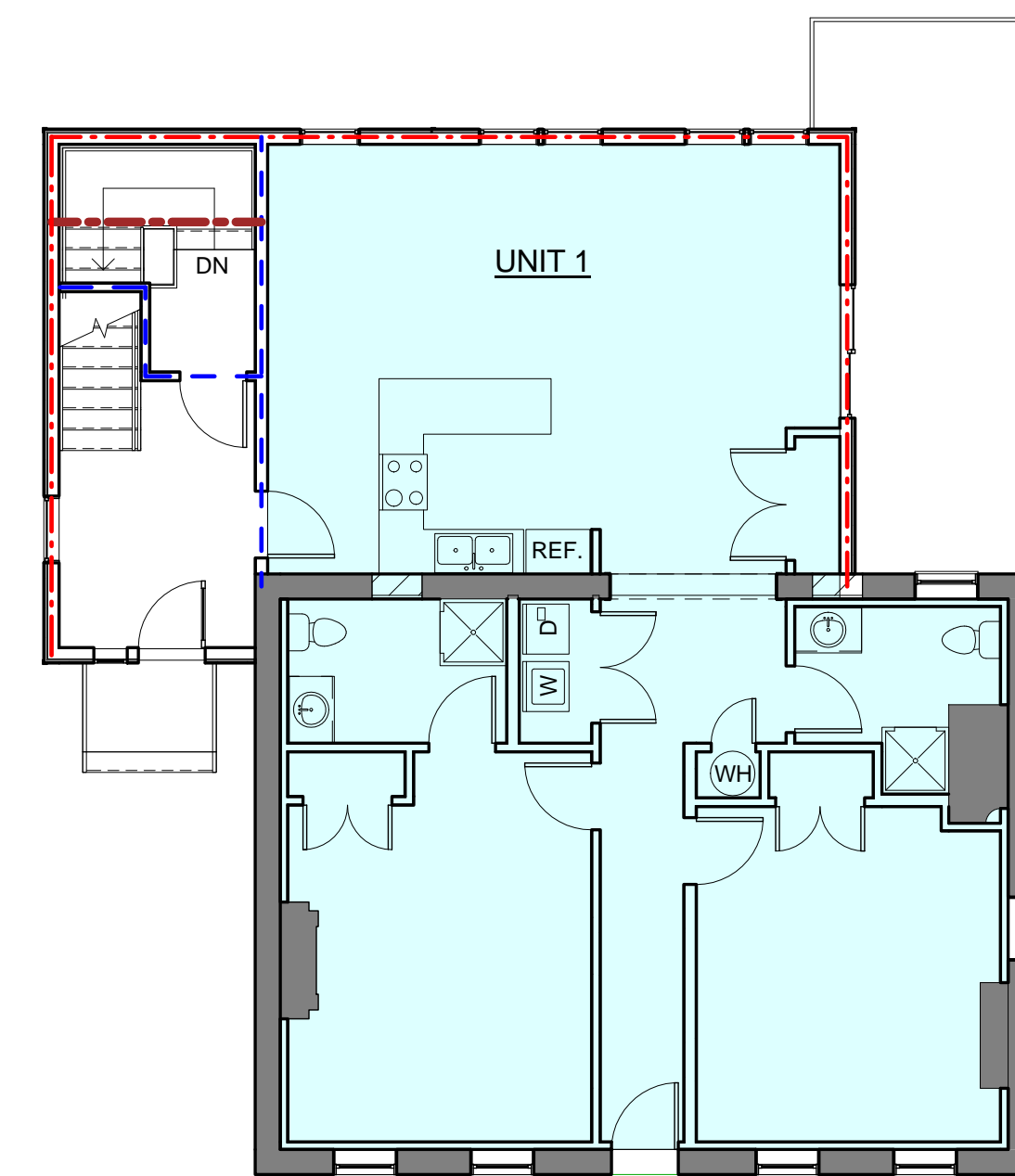
STATE PLUMBING CODE:

2009 INTERNATIONAL PLUMBING CODE (2009 IPC)

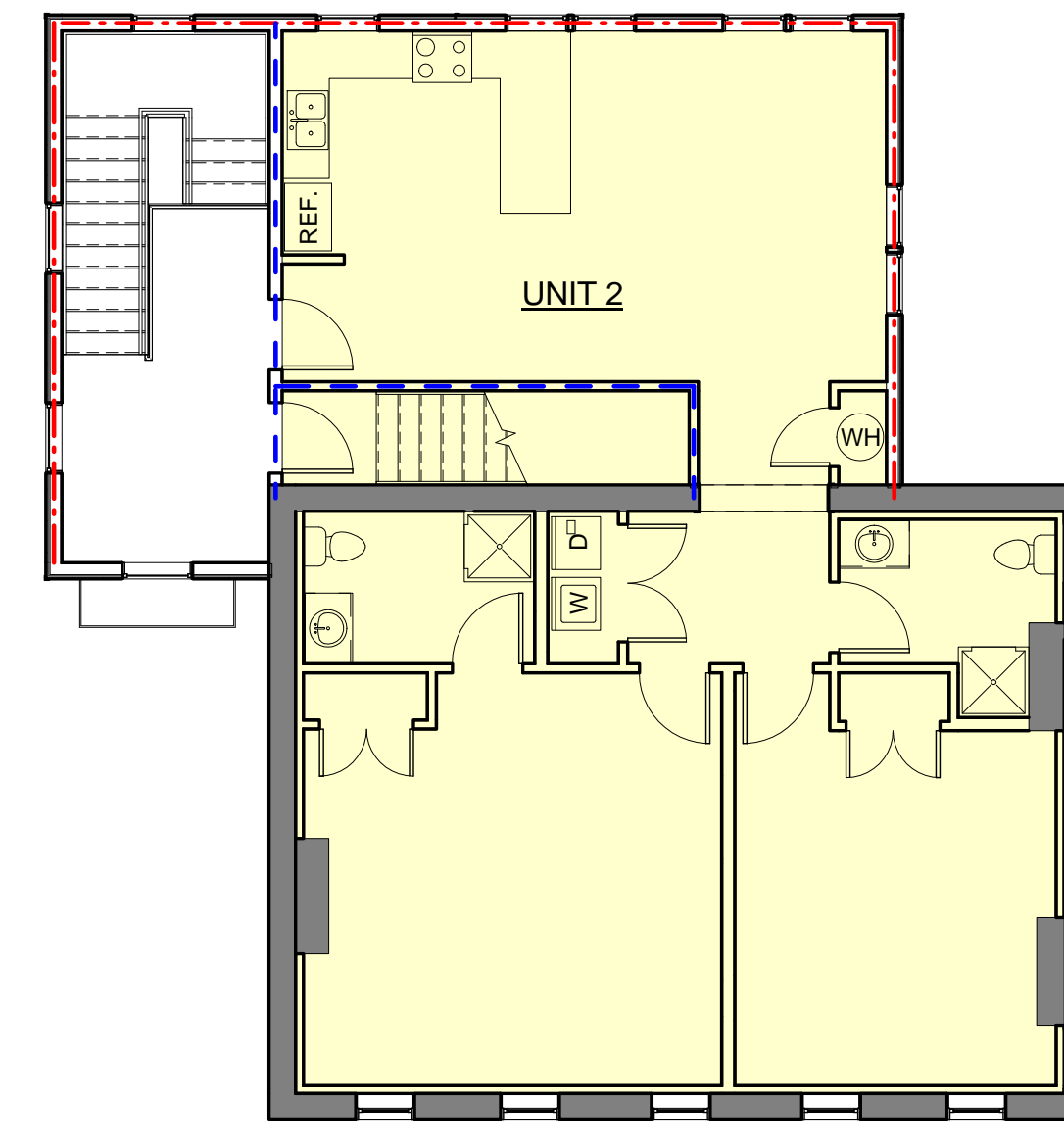
STATE ACCESSIBILITY CODE:

THE ARCHITECTURAL BARRIER FREE DESIGN CODE FOR THE STATE OF NH
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

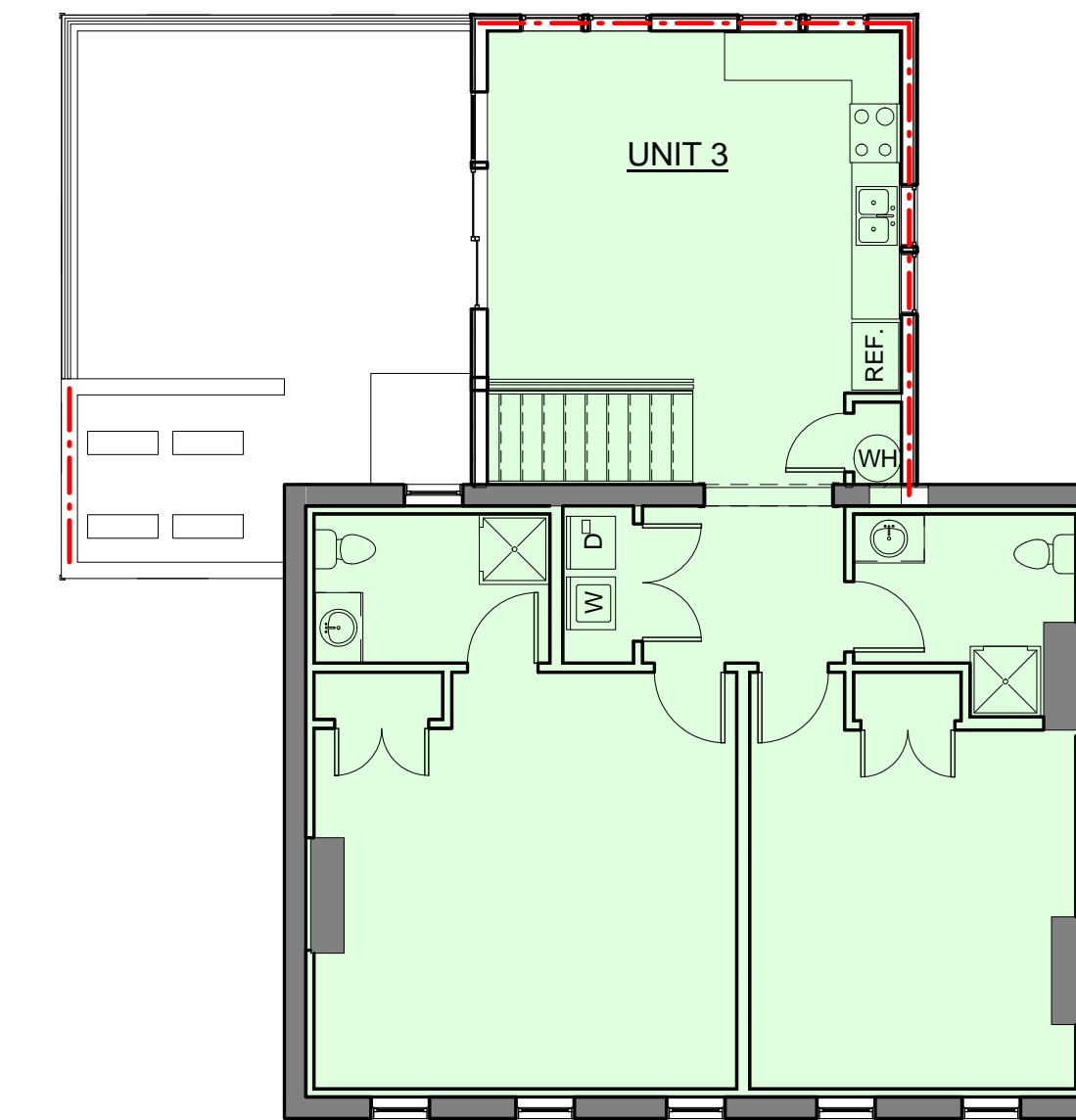
CODE REVIEW	
BASAMENT GROSS AREA	XXXX SF
FIRST FLOOR AREA	1,711 SF
SECOND FLOOR AREA	1,711 SF
THIRD FLOOR AREA	1,190 SF
TOTAL GROSS AREA	4,612 SF
PERIMETER	182'-11"
NUMBER OF STORIES ABOVE GRADE	THREE STORY
BUILDING HEIGHT	28'-2"
CONSTRUCTION TYPE	TYPE 5B (SECTION 602.5, IBC 2009)
SPRINKLER SYSTEM	YES (SECTION 903.2.8, IBC 2009) (30.3.5 NFPA 101)
OCCUPANCY USE GROUP	(R-2) RESIDENTIAL AND (S-1) STORAGE (CHAPTER 3, IBC 2009)
SEPARATED USE	(R-2) REQUIRES 1HR SEPARATION FROM (S-1) AND 1/2HR FROM (R-2) TO (R-2) (TABLE 508.4, IBC 2009)
HEIGHT AND AREA LIMITATIONS	
BASIC HEIGHT LIMITATIONS	2 STORIES, 40'-0" (TABLE 503, IBC 2009)
HEIGHT INCREASE	+1 STORY AND 20'-0" DUE TO AUTOMATIC SPRINKLER (SECTION 504.2, IBC 2009)
ADJUSTED HEIGHT LIMITATIONS	3 STORIES, 35'-0" (PORTSMOUTH ZONING ORDINANCE)
BASIC AREA LIMITATIONS	7,000 SF (TABLE 503, IBC 2009)
AREA INCREASE	7,000 X 200% = 14,000 SF DUE TO AUTOMATIC SPRINKLER (SECTION 506.3, IBC 2009)
ADJUSTED AREA LIMITATIONS	7,000 + 14,000 = 21,000 SF
ELEVATOR REQUIRED	NO (SECTION 1104.4, IBC 2009)
MEANS OF EGRESS REQUIREMENTS (NFPA 101)	
OCCUPANT LOAD	BASEMENT: (S-1) XXX SF/500 = 1 1ST FLOOR: (R-2) 1,711 SF/200 = 8 2ND FLOOR: (R-2) 1,711 SF/200 = 8 3RD FLOOR: (R-2) 1,190 SF/200 = 5 22 PERSONS (TABLE 7.3.1.2, NFPA 101)
TOTAL BUILDING OCCUPANT LOAD	1 PER UNIT (30.2.4.4, NFPA 101)(38.2.4.3, NFPA 101)
MINIMUM NUMBER OF EXITS REQUIRED	1 PER UNIT
NUMBER OF EXITS PROVIDED	NOT LESS THAN 32" (7.2.1.2.3.2, NFPA 101) / 32" MIN. PROVIDED
REQUIRED CLEAR EGRESS WIDTH AT DOORS	36" MIN. (7.2.2.1.2(A), NFPA 101) / 36" MIN. PROVIDED
REQUIRED CLEAR EGRESS WIDTH AT STAIR	(R-2) 50'-0" MAX AND (S-1) 100'-0" MAX (TABLE A.7.6, NFPA 101)
MAXIMUM DEAD END CORRIDOR	(R-2) 50'-0" MAX AND (S-1) 100'-0" MAX (TABLE A.7.6, NFPA 101)
MAXIMUM COMMON PATH OF TRAVEL	125'-0" MAX (TABLE A.3.1.1, NFPA 101)
MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT	200'-0" MAX (TABLE A.3.1.1, NFPA 101)
MAXIMUM TRAVEL DISTANCE FROM DWELLING UNIT TO EXIT	36" (30.2.3.4, NFPA 101) / 36" MIN. PROVIDED
MINIMUM CORRIDOR WIDTH	
MEANS OF EGRESS REQUIREMENTS (IBC 2009)	
OCCUPANT LOAD	BASEMENT: (S-1) XXX SF/500 = 1 1ST FLOOR: (R-2) 1,711 SF/200 = 8 2ND FLOOR: (R-2) 1,711 SF/200 = 8 3RD FLOOR: (R-2) 1,190 SF/200 = 5 22 PERSONS (TABLE 1004.1.1, IBC 2009)
TOTAL BUILDING OCCUPANT LOAD	1 PER UNIT (TABLE 1021.2, IBC 2009)
MINIMUM NUMBER OF EXITS REQUIRED	1 PER UNIT
NUMBER OF EXITS PROVIDED	32" (1008.1.1, IBC 2009) / 32" MIN. PROVIDED
REQUIRED CLEAR EGRESS WIDTH AT DOORS	36" MIN. (1009.1.1, IBC 2009) / 36" MIN. PROVIDED
REQUIRED CLEAR EGRESS WIDTH AT STAIR	50'-0" MAX (1018.4.2, IBC 2009)
MAXIMUM DEAD END CORRIDOR	(R-2)/(S-1) 250'-0" MAX (TABLE 1016.1, IBC 2009)
MAXIMUM TRAVEL DISTANCE	36" (1018.2.2, IBC 2009) / 36" MIN. PROVIDED
MINIMUM CORRIDOR WIDTH	
FIRE RATINGS	
EXTERIOR BEARING WALLS	0 HOUR (TABLE 601, IBC 2009)
INTERIOR BEARING WALLS	0 HOUR (TABLE 601, IBC 2009)
NON-BEARING INTERIOR WALLS	0 HOUR (TABLE 601, IBC 2009)
FLOOR CONSTRUCTION	0 HOUR (TABLE 601, IBC 2009)
ROOF CONSTRUCTION	0 HOUR (TABLE 601, IBC 2009)
STRUCTURAL FRAME	0 HOUR (TABLE 601, IBC 2009)
EXIT ENCLOSURES	1 HOUR (1022.1, IBC 2009), 1 HOUR (912.5.3, IBC 2009)
SHAFT ENCLOSURES	1 HOUR (TABLE 708.4, IBC 2009)
CORRIDOR SEPARATION	1/2 HOUR (TABLE 1018.1, IBC 2009)
DWELLING UNIT SEPARATION	1/2 HOUR (SECTION 709.3, IBC 2009)
HORIZONTAL SEPARATION	1 HOUR BETWEEN (S-1) / (R-2) and 1/2 HOUR BETWEEN (R-2) / (R-2) (SECTION 712.3, IBC 2009)
REQUIRED PLUMBING FIXTURES	
WATER CLOSETS	(TABLE 2902.1, IBC 2009)
LAVATORIES	1 PER DWELLING UNIT
BATH/SHOWER	1 PER DWELLING UNIT
KITCHEN SINK	1 PER DWELLING UNIT
CLOTHES WASHER CONNECTION	1 PER 20 DWELLING UNITS
ENERGY CODE	
BUILDING USE TYPE	RESIDENTIAL
CLIMATE ZONE	ZONE 6
ROOF ENERGY EFFICIENCY	R-38
ABOVE GRADE WALLS ENERGY EFFICIENCY	R-21 or 15.2ci
BELOW GRADE WALLS ENERGY EFFICIENCY	R-7.5ci
SLAB-ON-GRADE FLOOR ENERGY EFFICIENCY	R-10



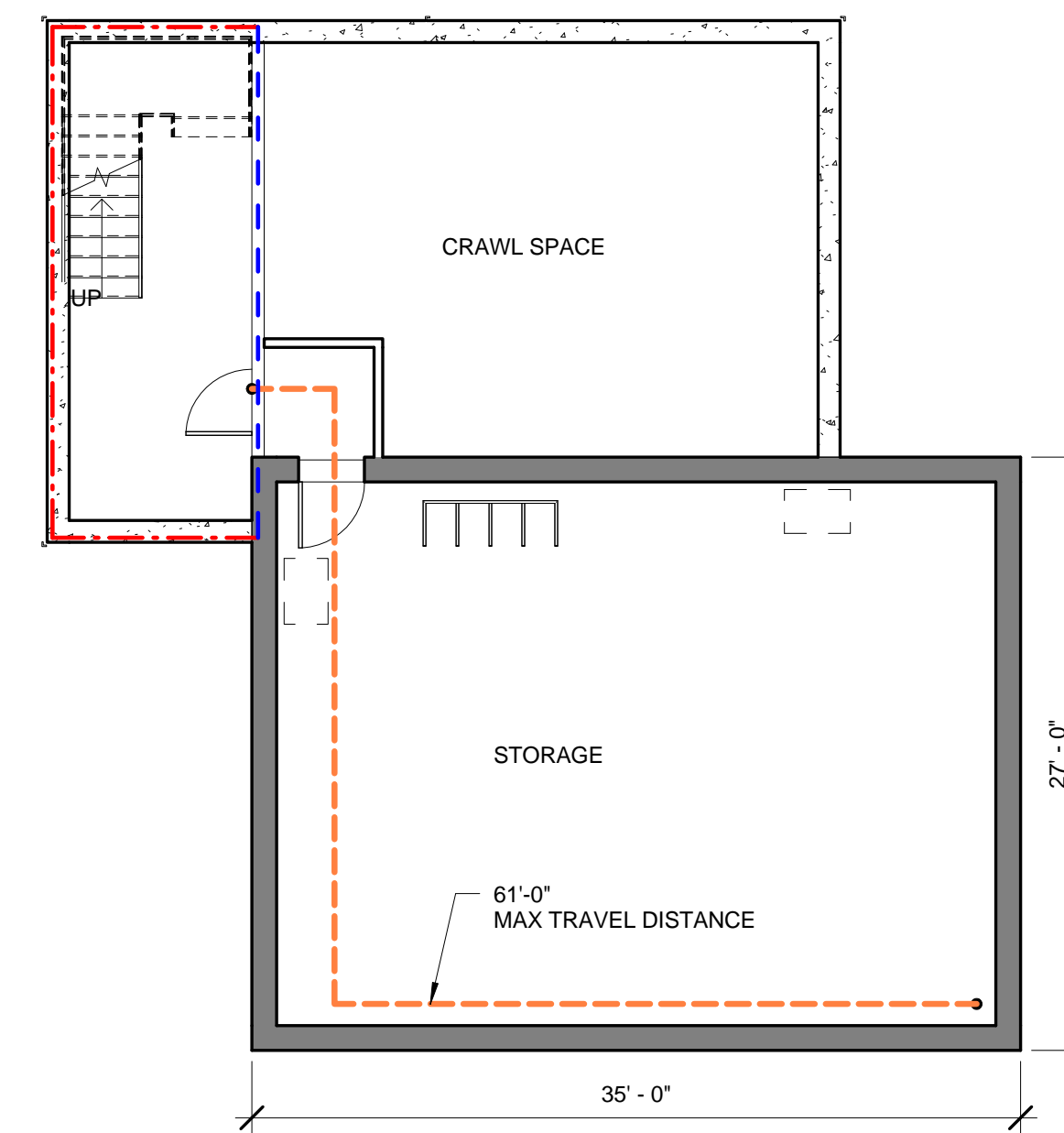
1 LIFE SAFETY- FIRST FLOOR PLAN
1/8" = 1'-0"



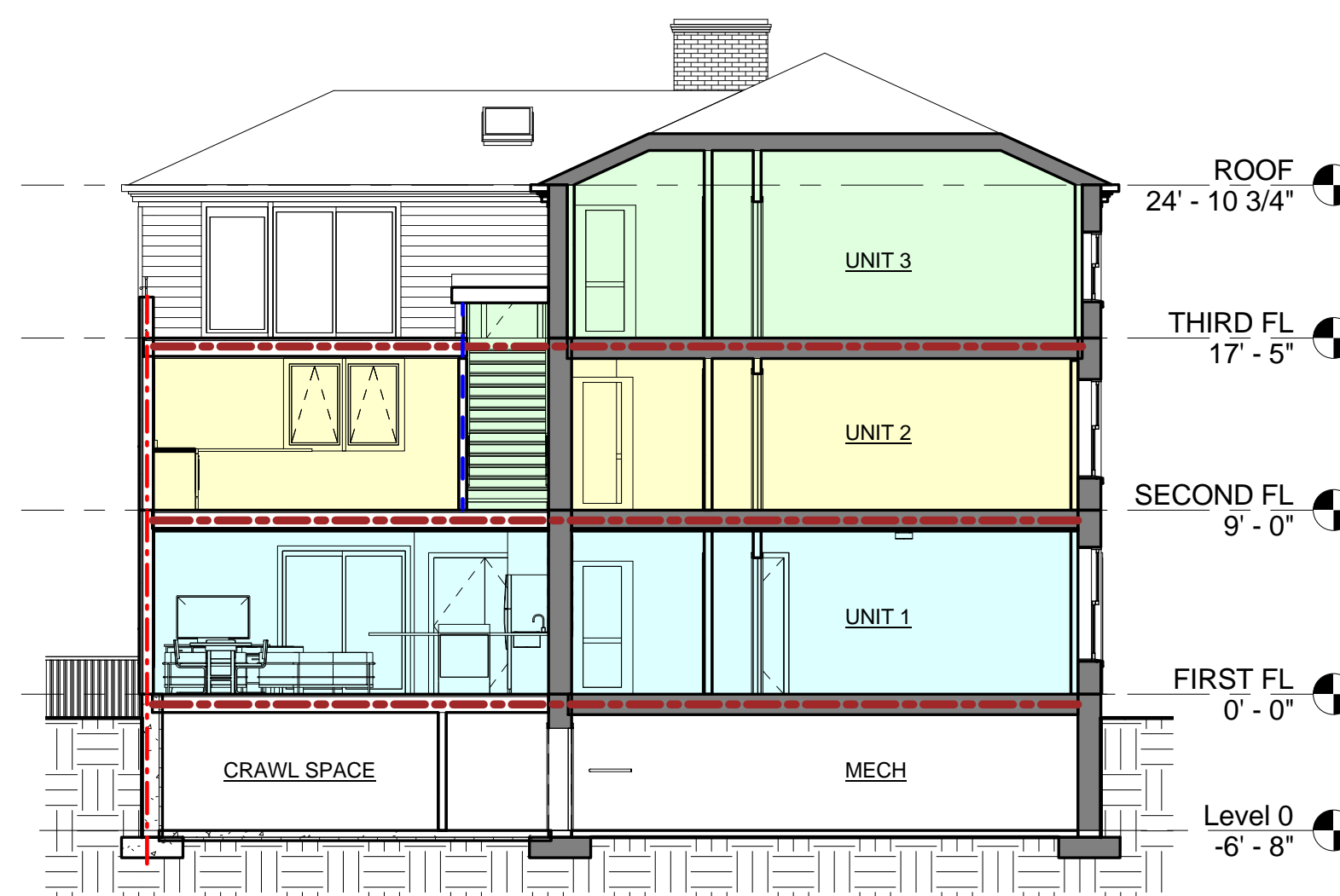
2 LIFE SAFETY- SECOND FLOOR PLAN
1/8" = 1'-0"



3 LIFE SAFETY- THIRD FLOOR PLAN
1/8" = 1'-0"



4 LIFE SAFETY- BASEMENT PLAN
1/8" = 1'-0"



5 LIFE SAFETY SECTION
1/8" = 1'-0"

- 1 HR RATED FIRE PARTITION
- 1 HR RATED EXTERIOR WALL
- 1/2 HR RATED FLOOR/CEILING
- EGRESS
- SMOKE SEPARATION

LIFE SAFETY LEGEND

1. CONTRACTOR TO DESIGN AND PROVIDE NFPA 13r COMPLIANT FIRE SPRINKLER SYSTEM. THE DESIGN SHALL INCLUDE DRAWINGS AND ENGINEERING CALCULATIONS STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN NEW HAMPSHIRE.
2. SYSTEM SHALL MEET ALL STATE AND LOCAL CODES. COORDINATE SYSTEM WITH DESIGN DOCUMENTS.

FIRE SPRINKLER NOTES

206 COURT STREET
PORTSMOUTH, NH

McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire
603.430.0274

NOT FOR CONSTRUCTION PERMIT SET ONLY

No.	Description	Date

Project Name:
206 COURT STREET

Drawing Name:
GENERAL CODE REVIEW AND WALL TYPES

Project number: 18022
Date: 10/25/2018
Drawn by: MB
Checked by: JJ

T2

Scale: As indicated

NOT FOR CONSTRUCTION
PERMIT SET ONLY

No.	Description	Date

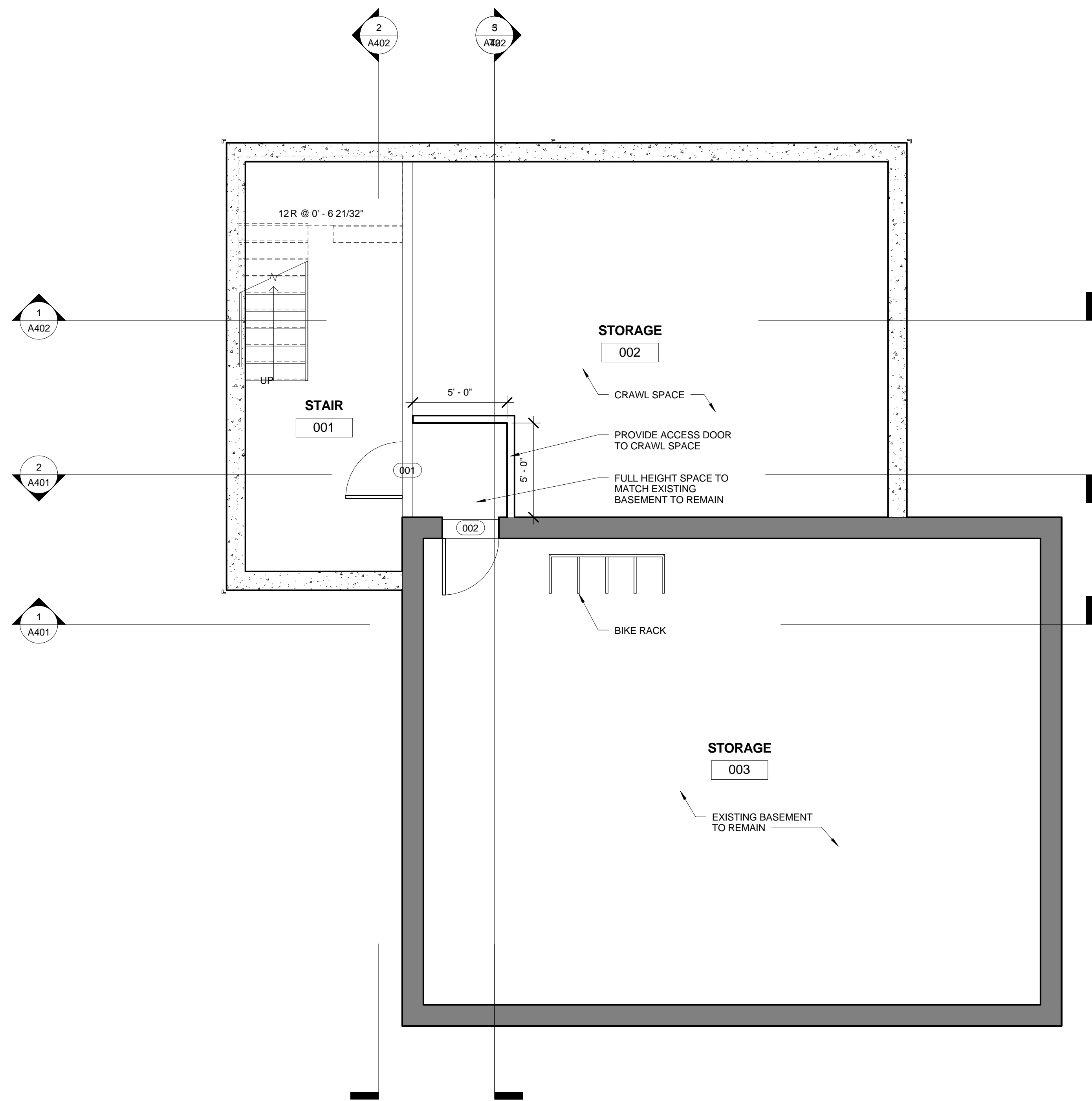
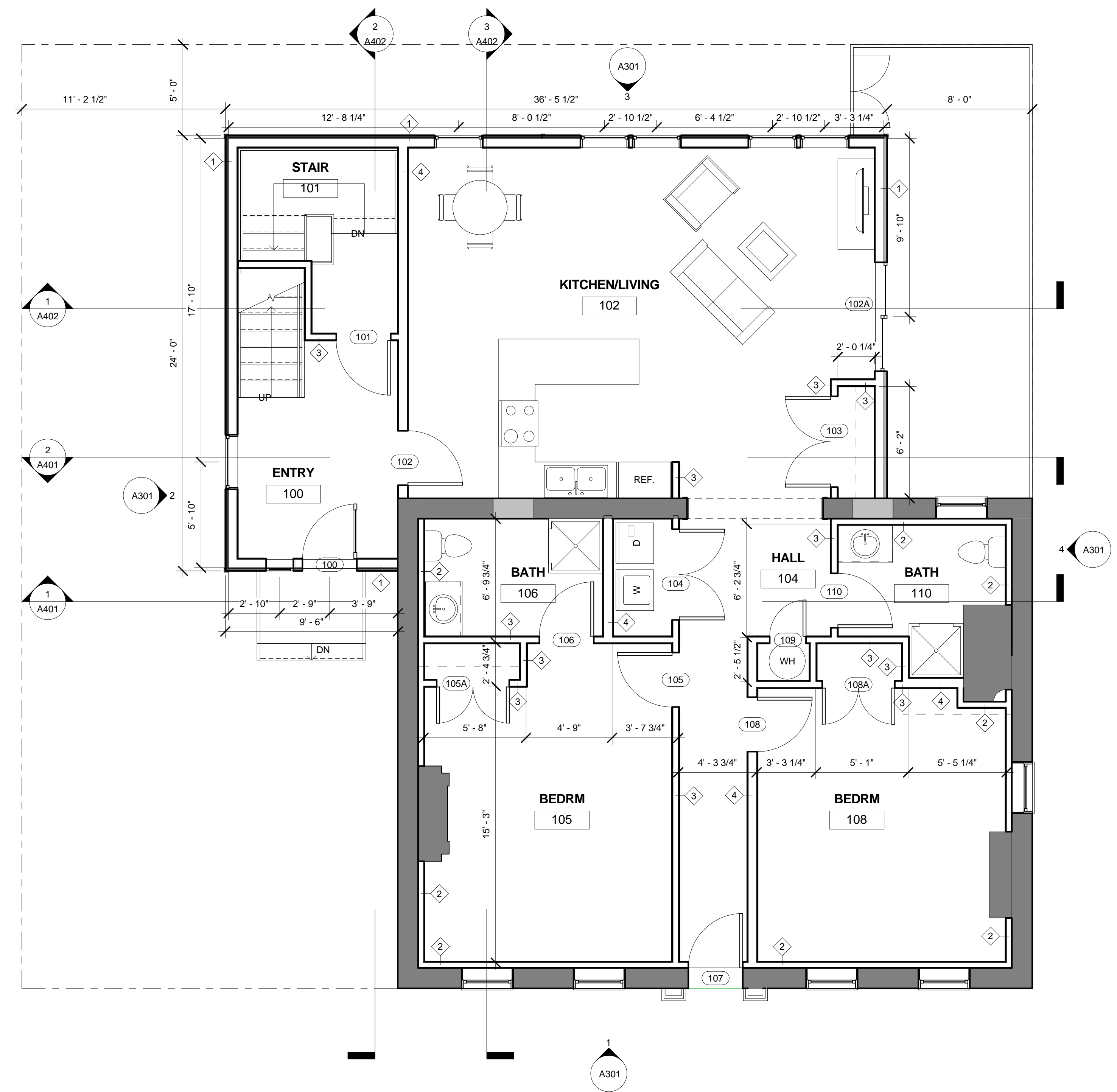
Project Name:
206 COURT STREET

Drawing Name:
FLOOR PLANS

Project number: 18022
Date: 10/25/2018
Drawn by: MB
Checked by: JJ

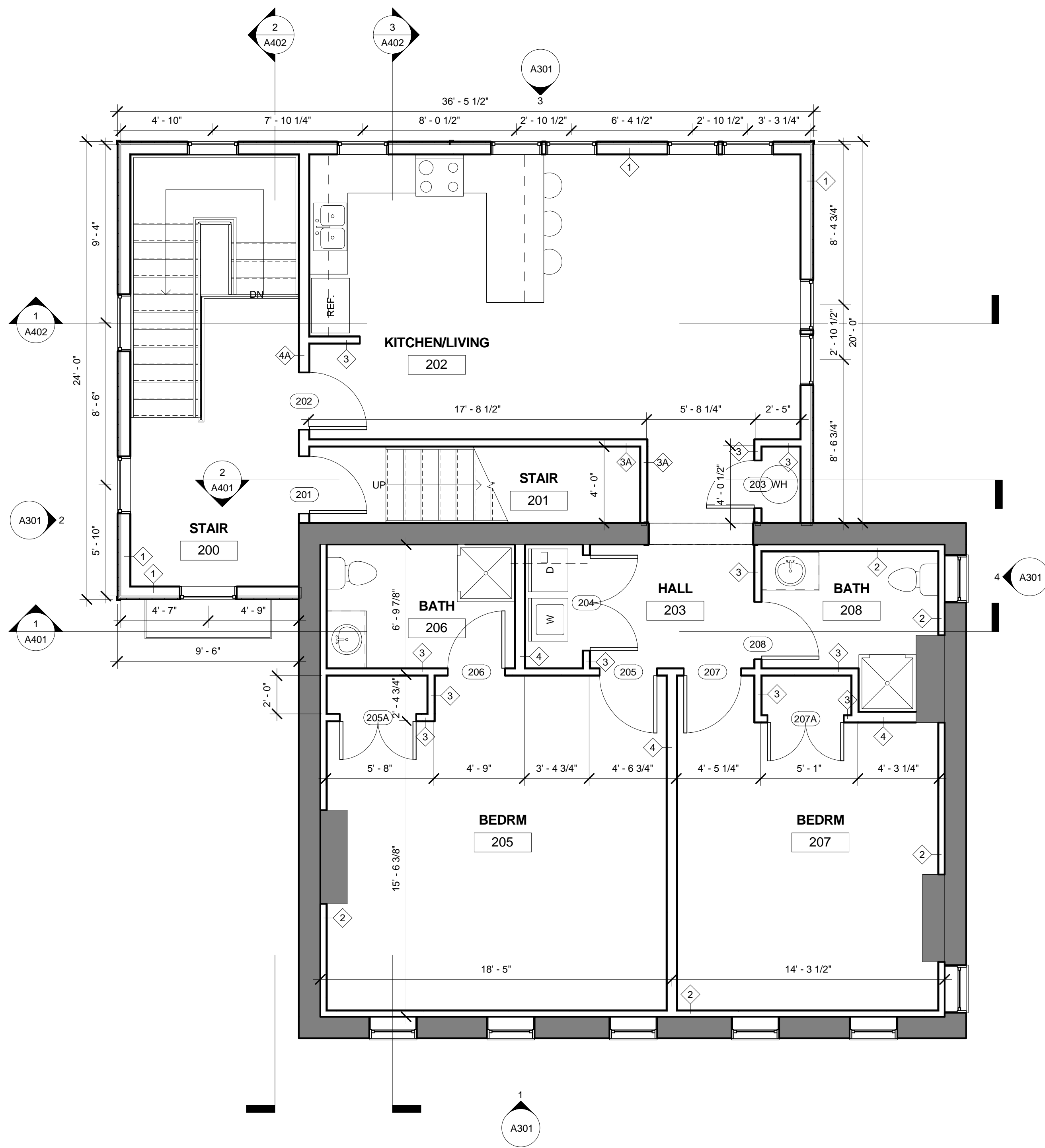
A101

Scale: 1/4" = 1'-0"

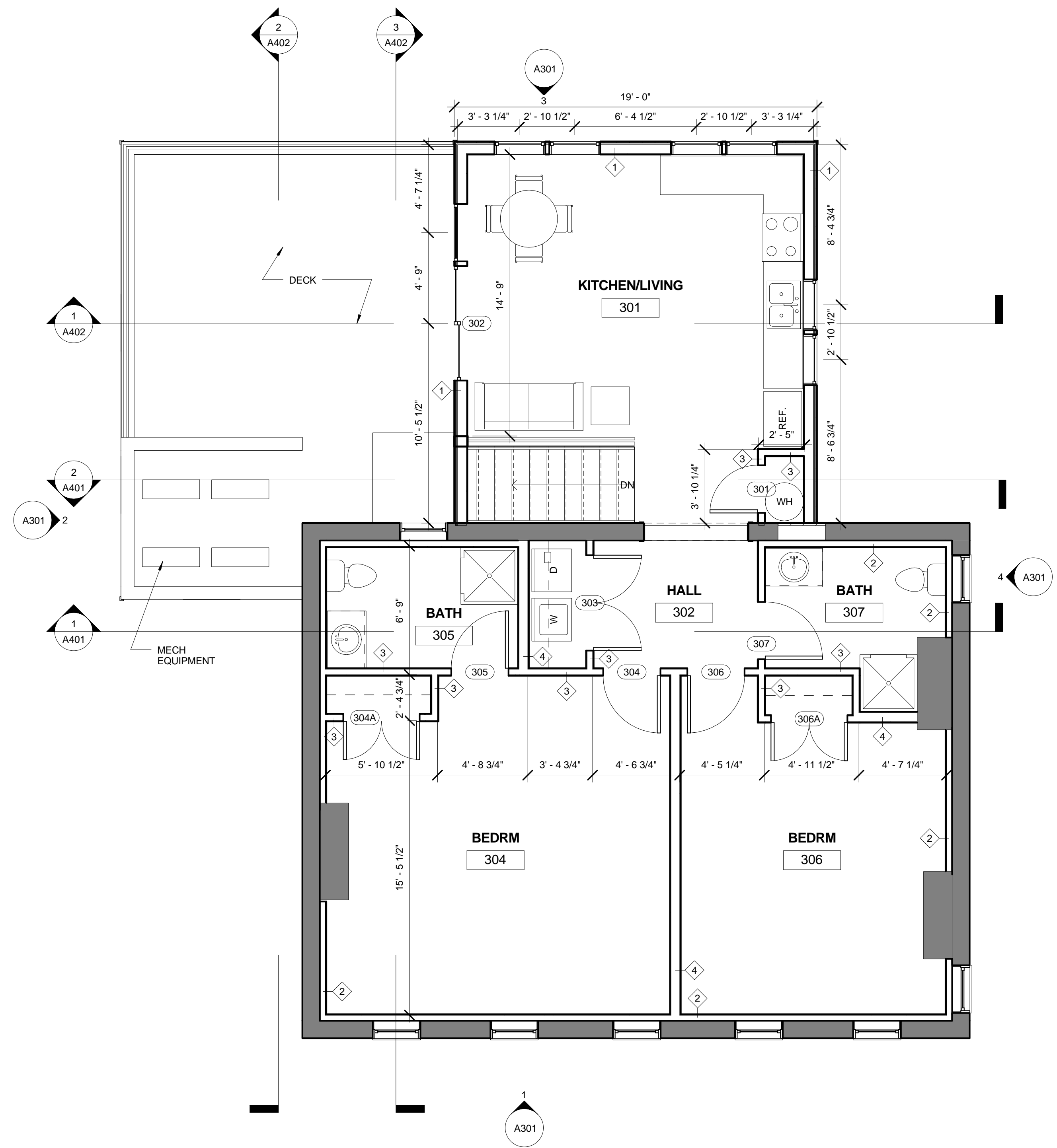


1. ALL FURNITURE N.I.C.
2. FURNITURE LAYOUTS SHOWN FOR SPACE PLANNING PURPOSES.
3. ALL KITCHEN EQUIPMENT N.I.C.
4. KITCHEN EQUIPMENT INSTALLATION BY OTHERS. G.C. TO PROVIDE AND INSTALL ALL PLUMBING AND ELECTRICAL CONNECTIONS.

FURNITURE AND EQUIPMENT NOTES



② SECOND FLOOR PLAN
1/4" = 1'-0"



① THIRD FLOOR PLAN
1/4" = 1'-0"

206 COURT STREET
PORTSMOUTH, NH

McHENRY
ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire
603.430.0274

NOT FOR CONSTRUCTION
PERMIT SET ONLY

No.	Description	Date

Project Name:
206 COURT STREET

Drawing Name:
FLOOR PLANS

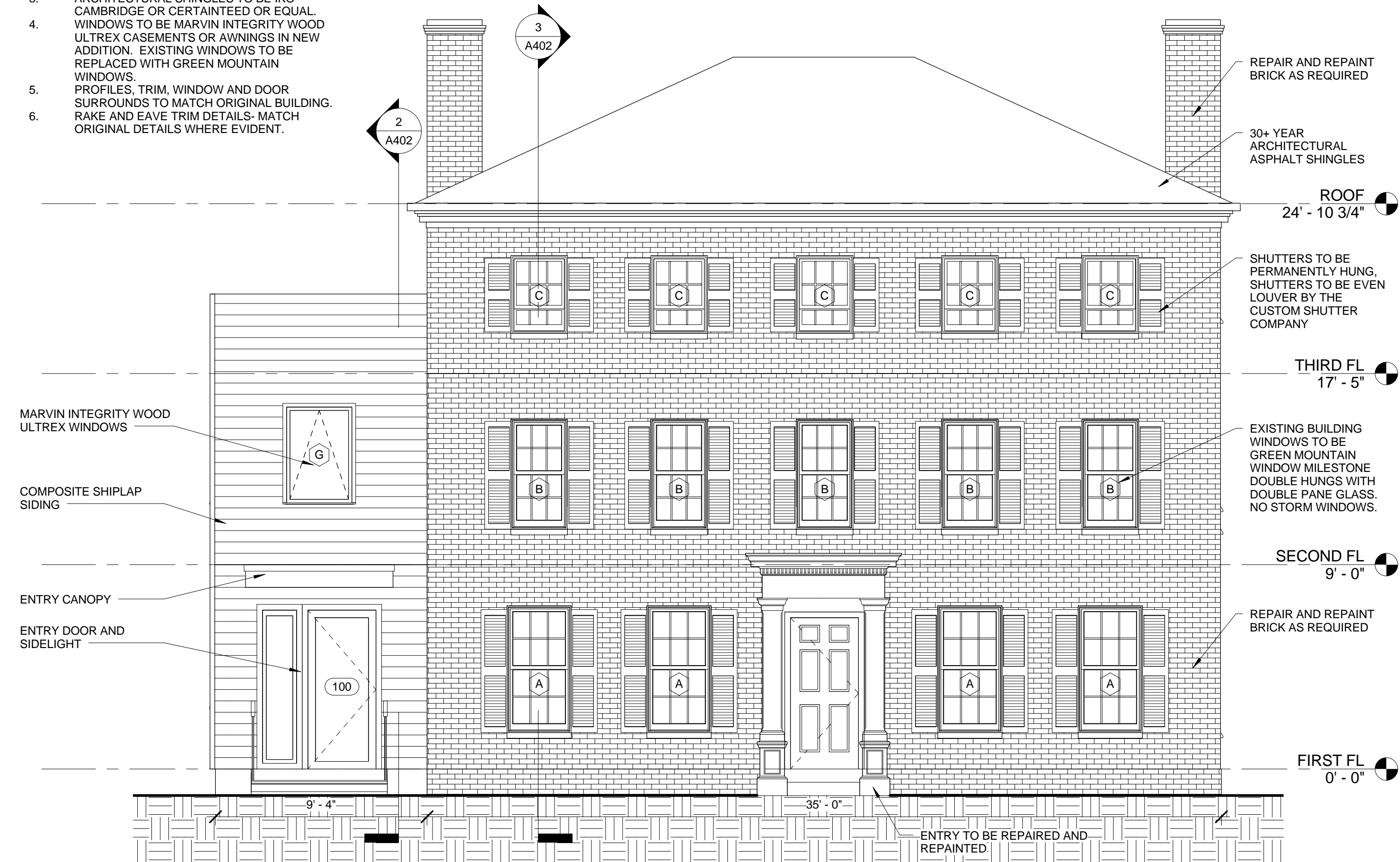
Project number: 18022
Date: 10/25/2018
Drawn by: MB
Checked by: JJ

A102

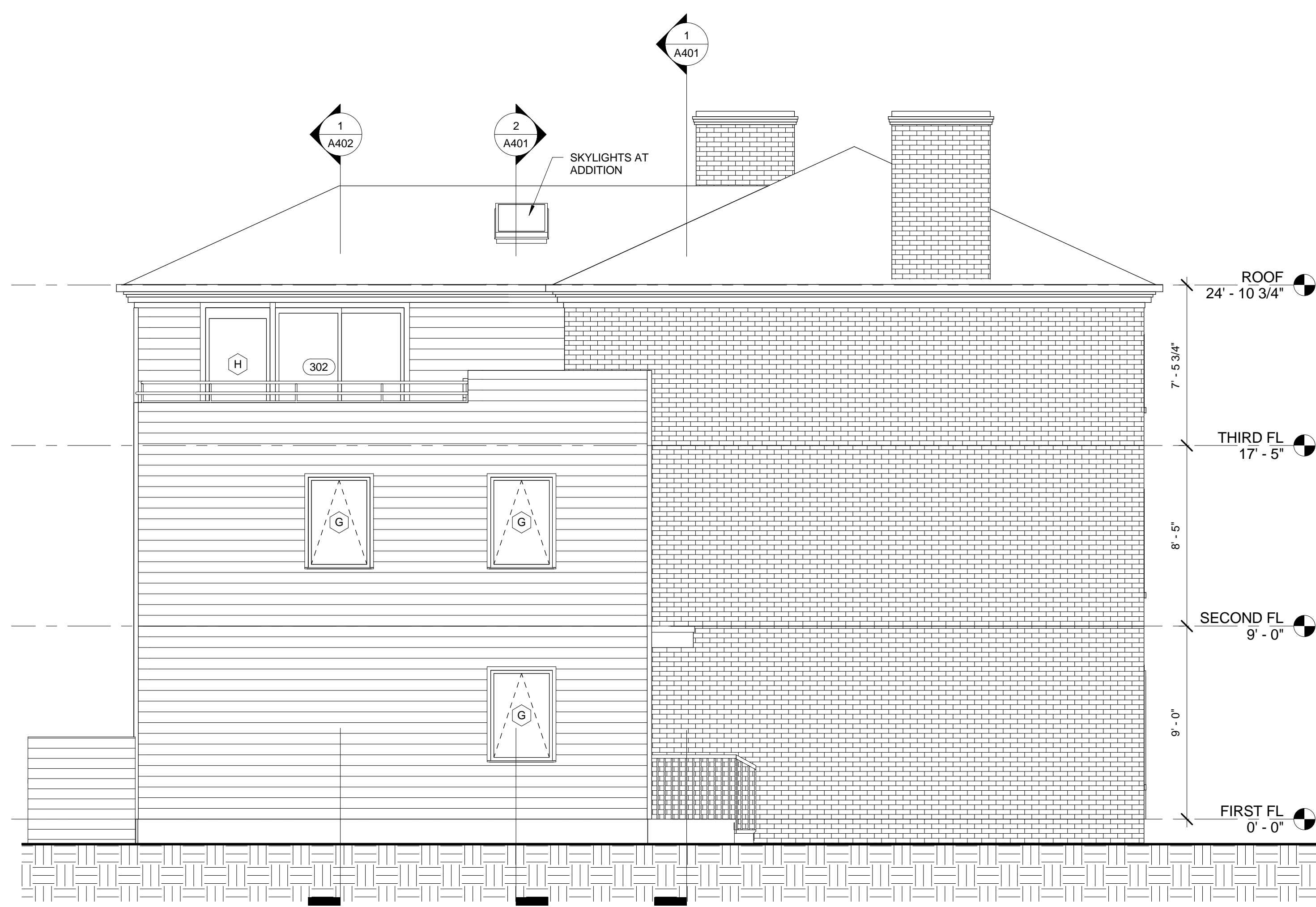
Scale: 1/4" = 1'-0"

EXTERIOR FINISHES NOTES

1. COLOR SELECTIONS FOR ALL MATERIALS TO BE PROVIDED TO OWNER FOR FINAL SELECTION AND APPROVAL.
2. TRIM TO BE COMPOSITE PLANK- AZEK OR EQUAL.
3. ARCHITECTURAL SHINGLES TO BE IKO CAMBRIDGE OR CERTAINTED OR EQUAL.
4. WINDOWS TO BE MARVIN INTEGRITY WOOD ULTREX CASEMENTS OR AWINGS IN NEW ADDITION. EXISTING WINDOWS TO BE REPLACED WITH GREEN MOUNTAIN WINDOWS.
5. PROFILES, TRIM, WINDOW AND DOOR SURROUNDS TO MATCH ORIGINAL BUILDING. RAKE AND EAVE TRIM DETAILS- MATCH ORIGINAL DETAILS WHERE EVIDENT.
- 6.



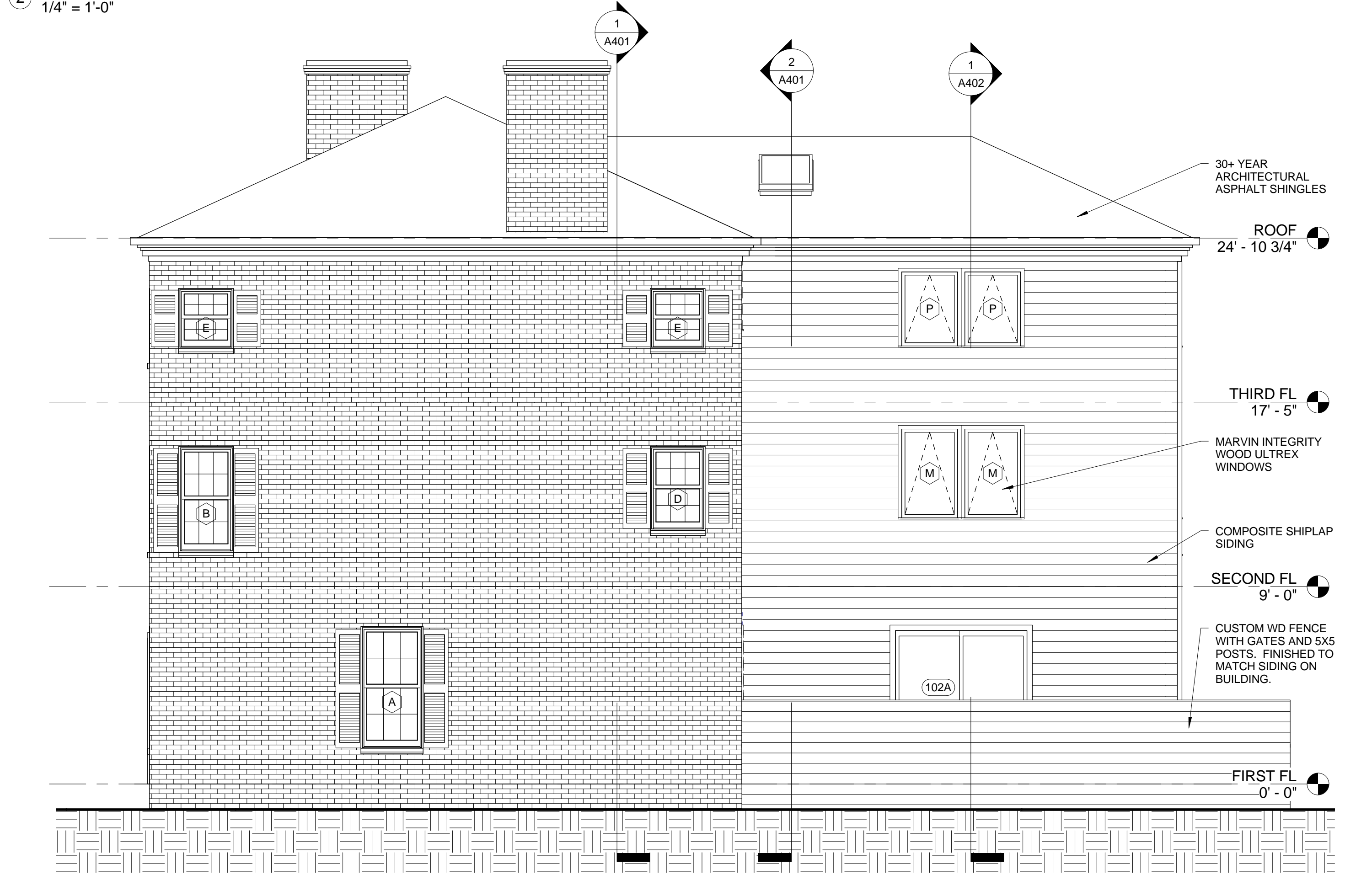
1 North Elevation
1/4" = 1'-0"



2 East Elevation
1/4" = 1'-0"



3 South Elevation
1/4" = 1'-0"



4 West Elevation
1/4" = 1'-0"

206 COURT STREET
PORTSMOUTH, NH

McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire
603.430.0274

NOT FOR CONSTRUCTION PERMIT SET ONLY

No.	Description	Date

Project Name:
206 COURT STREET

Drawing Name:
EXTERIOR ELEVATIONS

Project number: 18022
Date: 10/25/2018
Drawn by: MB
Checked by: JJ

A301
Scale: 1/4" = 1'-0"



AMBIT ENGINEERING, INC. CIVIL ENGINEERS AND LAND SURVEYORS
200 Griffin Road, Unit 3, Portsmouth, NH 03801 Phone (603) 430-9282 Fax 436-2315

7 November, 2018

**Parking Assessment
Site Redevelopment – Proposed Housing
206 Court Street
Portsmouth, NH**

On behalf of 206 Court Street, LLC, we hereby submit this Parking Assessment in support of the applicant's filing with the Portsmouth Planning Board for a Conditional Use Permit under Section 10.112.52 of the Portsmouth Ordinance. The Conditional Use Permit seeks to provide 2 parking spaces where 4 are required. The project involves an addition to an existing structure at 206 Court Street to create 3 residential dwelling units, one per floor. The applicant seeks to create a building for rental purposes, not for sale, as may have been previously stated. The building will partially serve the needs of the applicant's employees.

The existing use of the property was most recently accessory classroom and office space associated with South Church; which is across the street. Although not similar to this proposed use as to time and day of use, the site was previously granted a Variance from Section 10.112.30 of the Portsmouth Ordinance to allow no off-street parking spaces to be provided where 53 parking spaces were required.

The site requires 1.3 parking spaces per dwelling unit, based on the proposed size of the units. This totals 3.9, or 4 total spaces required. The proposal seeks to provide 2 legal spaces; though there are actually 3 useable spaces. One space is stacked behind another; and this space combined with the space out front, does not meet the dimensional requirements for tandem spaces; so therefore it does not count according to the Ordinance. Due to site dimensional constraints, there is no place on the property to create a fourth space. The site constraints come from the existing building's relationship to the property lines. On the west, the building face abuts the property line. The use of the building requires secondary egress out to the public street. This is provided along the easterly building face, which constrains the ability to park vehicles to two due to the property line location. To add parking in the rear would cause a loss of parking along this side equal to the amount of parking to be gained by such an arrangement; as the cars would have to traverse over the parking spaces in the front, making them unusable. Therefore the applicant's solution to these space constraints is to provide an off-site parking spot. Please find attached a lease application, which has been accepted, to a parking spot in the Foundry Place Garage, which will be dedicated to a resident in one of the apartments.

In addition to this acquisition; the applicant has added a dedicated space in the basement for bicycle parking; which is suitable transportation given the urban location of the site. Also there is a COAST bus stop in close proximity to the site; and the unit is just outside the Downtown Overlay District; allowing for rental to someone who does not have a vehicle. There is also on-street parking; which will allow for intermittent use associated with access during times when the off-site parking is temporarily not convenient; such as during shopping and associated deliveries.

The applicant believes that the provided parking is sufficient for the proposed use, and respectfully requests that the Planning Board grant the Conditional Use Permit as submitted. Please feel free to call if you have any questions or comments about this application.

Sincerely,

A handwritten signature in black ink, appearing to read 'JRC', with a large, stylized flourish extending from the end of the signature.

John R. Chagnon, PE

Attached: 206 Court Street Parking Pass and Application

#20649

206 Court St. LLC
Justin Brady

**FOUNDRY PLACE
GARAGE**



PARKPORTSMOUTH

100 FOUNDRY PLACE

**CITY OF PORTSMOUTH
OFFICE OF THE PARKING CLERK
FOUNDRY PLACE GARAGE – LEASE AGREEMENT**

PLEASE PRINT ALL INFORMATION CLEARLY

CARD #: _____

BUSINESS NAME: 206 COURT ST. LLC

LAST NAME: _____ FIRST: _____ I: _____

LEGAL ADDRESS: 865 ISLINGTON ST #200

MAILING ADDRESS: 865 ISLINGTON ST. #200

CITY: PORTSMOUTH STATE: N.H ZIP: 03801

HOME PHONE: () _____ WORK PHONE: (603) 610-1300

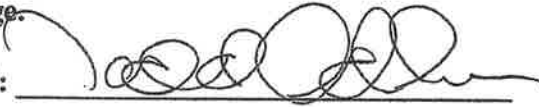
NUMBER OF LEASES REQUESTED: 1 USE REQUESTED:

- Resident @ \$100.00 (must provide proof of residency)
- Non-Resident @125.00

PROXIMITY CARD DEPOSIT: _____

STARTING DATE: (based on calendar months): NOVEMBER(?) 2018

By signing below, I certify that I have received and read the Rules and Regulations for the Foundry Place Garage and will adhere to all. All information provided is true and accurate to the best of my knowledge.

DATE: 10/25/18 SIGNATURE: 

EMAIL ADDRESS: TODD@RUSTANT.SALT.COM

.....
FOR OFFICIAL USE ONLY:

DATE: _____ AMOUNT RECEIVED: _____

CASH: _____ CHECK: _____ CC _____

CREDIT CARD: _____ AMOUNT: _____

SIGNATURE: _____ DATE: _____