

# 206 COURT STREET, LLC

## PORTSMOUTH, NEW HAMPSHIRE

### PROPOSED BUILDING ADDITION

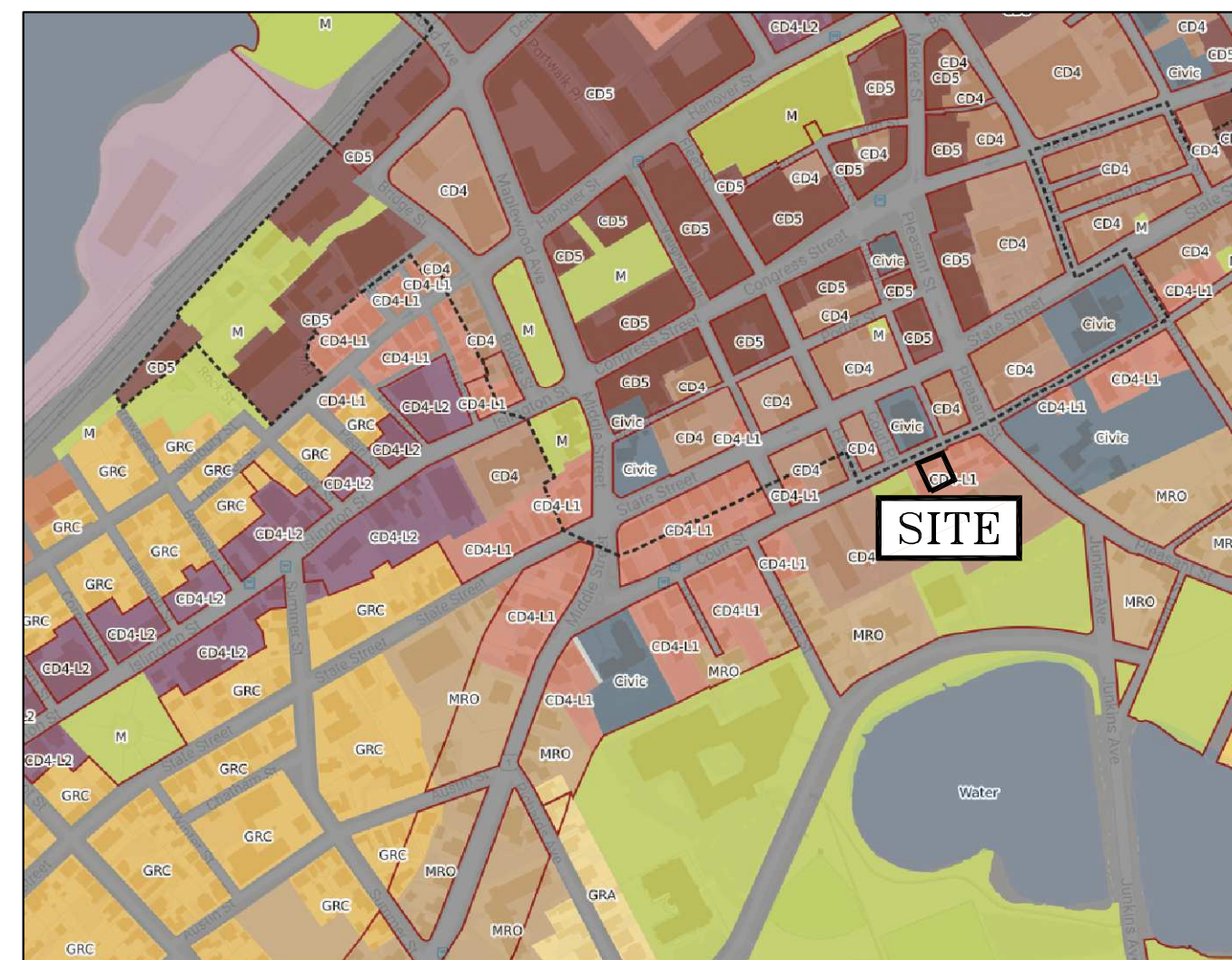
### PERMIT PLANS

**OWNER/APPLICANT:**  
**206 COURT STREET, LLC**  
 865 ISLINGTON STREET  
 PORTSMOUTH, N.H. 0380  
 Tel (603) 767-0766

**CIVIL ENGINEER & LAND SURVEYOR:**  
**AMBIT ENGINEERING, INC.**  
 200 GRIFFIN ROAD, UNIT 3  
 PORTSMOUTH, N.H. 03801-7114  
 Tel (603) 430-9282  
 Fax (603) 436-2315

**ARCHITECT:**  
**McHENRY ARCHITECTURE, PLLC**  
 4 MARKET STREET  
 PORTSMOUTH, N.H. 03801  
 Tel (603) 430-0274

**CONSTRUCTION MANAGEMENT:**  
**MALT HOUSE CONSTRUCTION**  
 95 BREWERY LANE  
 PORTSMOUTH, N.H. 03801  
 TEL (603) 430-9091



**Map 10.5A21A**  
**Character Districts and Civic Districts**

**Legend**

**Overlay Districts**

- DOD Downtown Overlay District
- HD Historic District

**Character Districts**

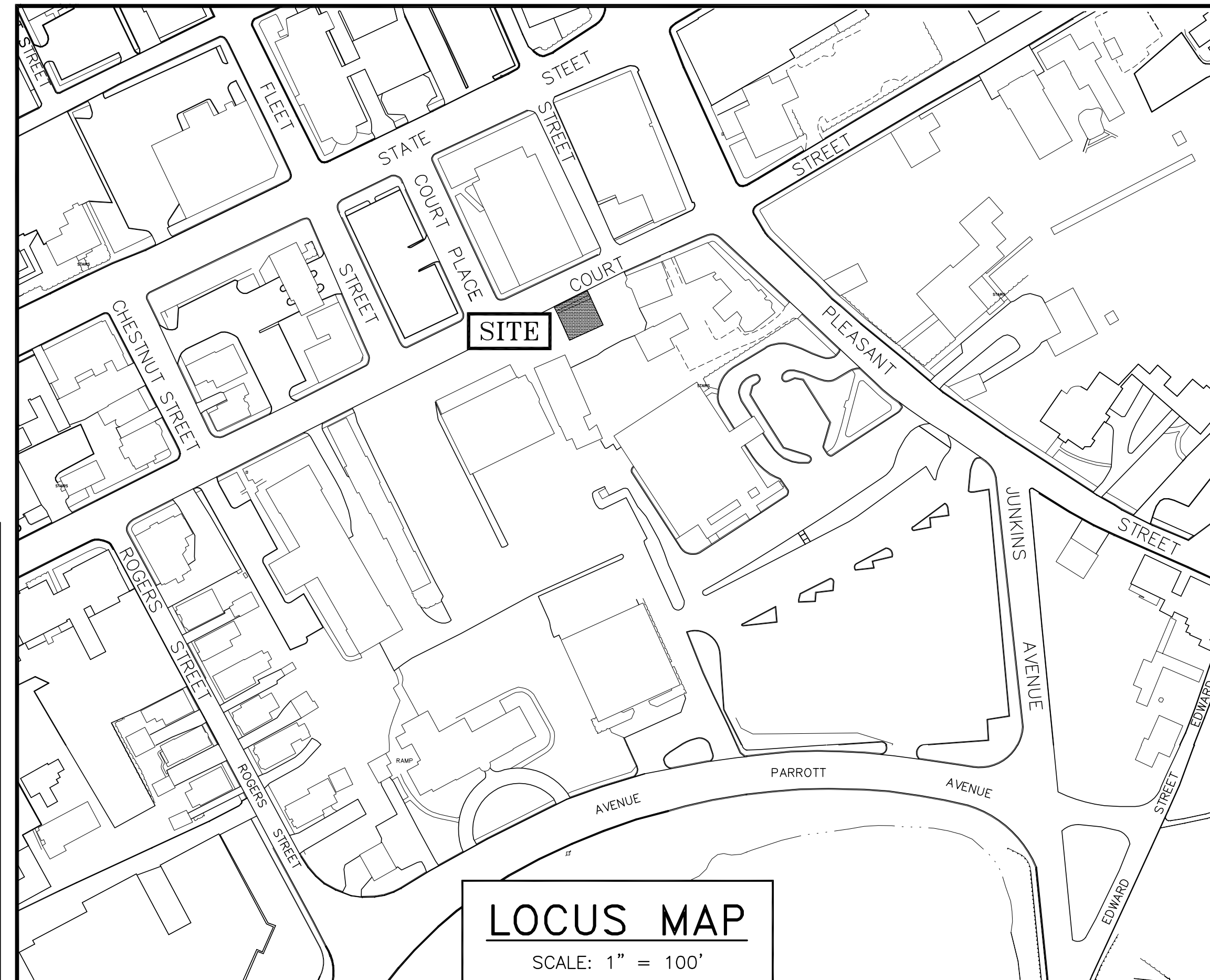
- CD5 Character District 5
- CD4 Character District 4
- CD4-W Character District 4-W
- CD4-L1 Character District 4-L1
- CD4-L2 Character District 4-L2

**Civic District**

- CIVIC Civic District

**Other Districts**

- M Municipal District
- TC Transportation Corridor



**LEGEND:**

N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCRD	ROCKINGHAM COUNTY
	REGISTRY OF DEEDS
	MAP 11/LOT 21
11/21	
IR FND	IRON ROD FOUND
IP FND	IRON PIPE FOUND
IR SET	IRON ROD SET
DH FND	DRILL HOLE FOUND
DH SET	DRILL HOLE SET
	GRANITE BOUND w/IRON ROD FOUND

EXISTING	PROPOSED	
FM	FM	FORCE MAIN
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	PG	GAS LINE
D	D	STORM DRAIN
FD	FD	FOUNDATION DRAIN
W	W	WATER LINE
FS	FS	FIRE SERVICE LINE
UE	UGE	UNDERGROUND ELECTRIC SUPPLY
		UNDERGROUND ELECTRIC SERVICE
OHW	OHW	OVERHEAD ELECTRIC/WIRES
		RETAINING WALL
		EDGE OF PAVEMENT (EP)
100	100	CONTOUR
97x3	98x0	SPOT ELEVATION
		UTILITY POLE
		ELECTRIC METER
		TRANSFORMER ON CONCRETE PAD
		WATER SHUT OFF/CURB STOP
C.O.	C.O.	PIPE CLEANOUT
		GATE VALVE
		HYDRANT
		CATCH BASIN
		SEWER MANHOLE
		DRAIN MANHOLE
		WATER METER MANHOLE
		TEST BORING
		TEST PIT
		LANDSCAPED AREA
CI	CI	CAST IRON PIPE
COP	COP	COPPER PIPE
CMP	CMP	CORRUGATED METAL PIPE
DI	DI	DUCTILE IRON PIPE
PVC	PVC	POLYVINYL CHLORIDE PIPE
RCP	RCP	REINFORCED CONCRETE PIPE
HYD	HYD	HYDRANT
CL	CL	CENTERLINE
EP	EP	EDGE OF PAVEMENT
EL.	EL.	ELEVATION
FF	FF	FINISHED FLOOR
INV	INV	INVERT
TBM	TBM	TEMPORARY BENCH MARK
TYP	TYP	TYPICAL



#### UTILITY CONTACTS

**ELECTRIC:**  
 EVERSOURCE  
 1700 LAFAYETTE ROAD  
 PORTSMOUTH, N.H. 03801  
 Tel. (603) 436-7708, Ext. 555.5678  
 ATTN: MICHAEL BUSBY, P.E. (MANAGER)  
 MICHAEL.BUSBY@NU.COM

**NATURAL GAS:**  
 UNITIL  
 325 WEST ROAD  
 PORTSMOUTH, N.H. 03801  
 Tel. (603) 294-5144  
 ATTN: DAVE BEAULIEU

**CABLE:**  
 COMCAST  
 155 COMMERCE WAY  
 PORTSMOUTH, N.H. 03801  
 Tel. (603) 679-5695 (X1037)  
 ATTN: MIKE COLLINS

**SEWER & WATER:**  
 PORTSMOUTH DEPARTMENT OF PUBLIC WORKS  
 680 PEVERLY HILL ROAD  
 PORTSMOUTH, N.H. 03801  
 Tel. (603) 427-1530  
 ATTN: JIM TOW

**COMMUNICATIONS:**  
 CONSOLIDATED  
 COMMUNICATIONS  
 JOE CONSIDINE  
 1575 GREENLAND ROAD  
 GREENLAND, N.H. 03840  
 Tel. (603) 427-5525

#### INDEX OF SHEETS

- C1 - EXISTING CONDITIONS PLAN
- C2 - DEMOLITION PLAN
- C3 - SITE PLAN
- C4 - UTILITY & GRADING PLAN
- D1 & D2 - DETAILS
- T2, A101, A102, A301 - ARCHITECTURAL PLANS

**PORTSMOUTH APPROVAL CONDITIONS NOTE:**  
 ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

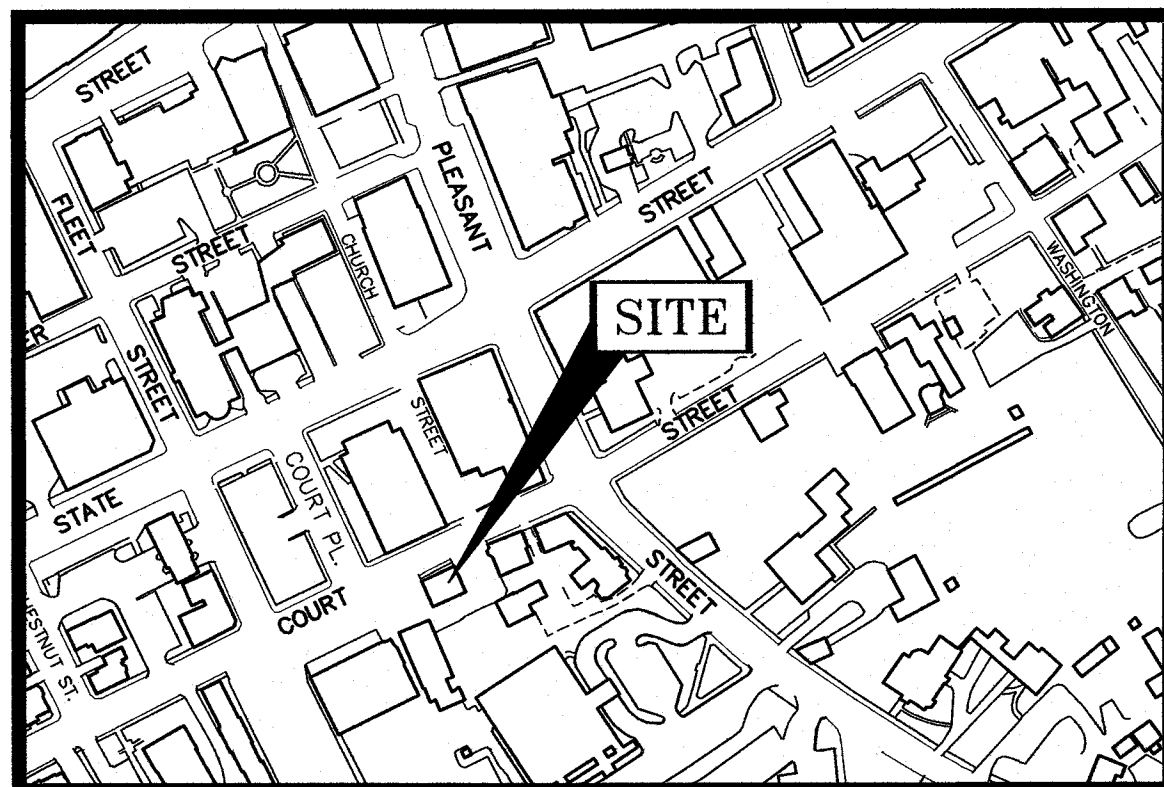
APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

**PROPOSED BUILDING ADDITION**  
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**PORTSMOUTH, N.H.**

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 Civil Engineers & Land Surveyors  
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 Portsmouth, N.H. 03801-7114  
 Tel (603) 430-9282  
 Fax (603) 436-2315

PLAN SET SUBMITTAL DATE: 17 SEPTEMBER 2018



**LOCATION MAP** SCALE: 1" = 200'

**LEGEND:**

- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY
- REGISTRY OF DEEDS
- RR SPK RAILROAD SPIKE
- MAP 11/LOT 21
- IR FND IRON ROD FOUND
- IP FND IRON PIPE FOUND
- IR SET IRON ROD SET
- RR SPIKE FND RAILROAD SPIKE FOUND

**TEST PIT #1, ELEV. 22.53**

Date: 9/14/18  
 Logged by: SDR 2094.01  
 Witnessed by:  
 ESHWT: 50"  
 Observed Water: NONE  
 Restrictive layer: 50"  
 REFUSAL: NONE TO 61"  
 Percolation rate: 8 min./inch  
 Roots: NONE

DEPTH	DESCRIPTION
0" - 11"	10YR 2/1 FINE SANDY LOAM, GRANULAR, FRIABLE
11" - 44"	10YR 3/2 FINE SANDY LOAM, GRANULAR, FRIABLE
44" - 50"	10YR 4/3 FINE SANDY LOAM, GRANULAR, FRIABLE
50" - 61"	2.5YR 5/3 CLAY LOAM, FIRM, MASSIVE

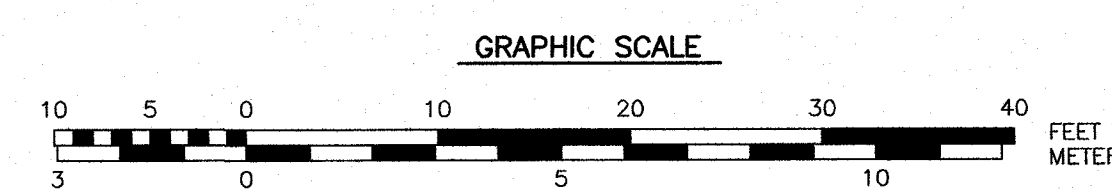
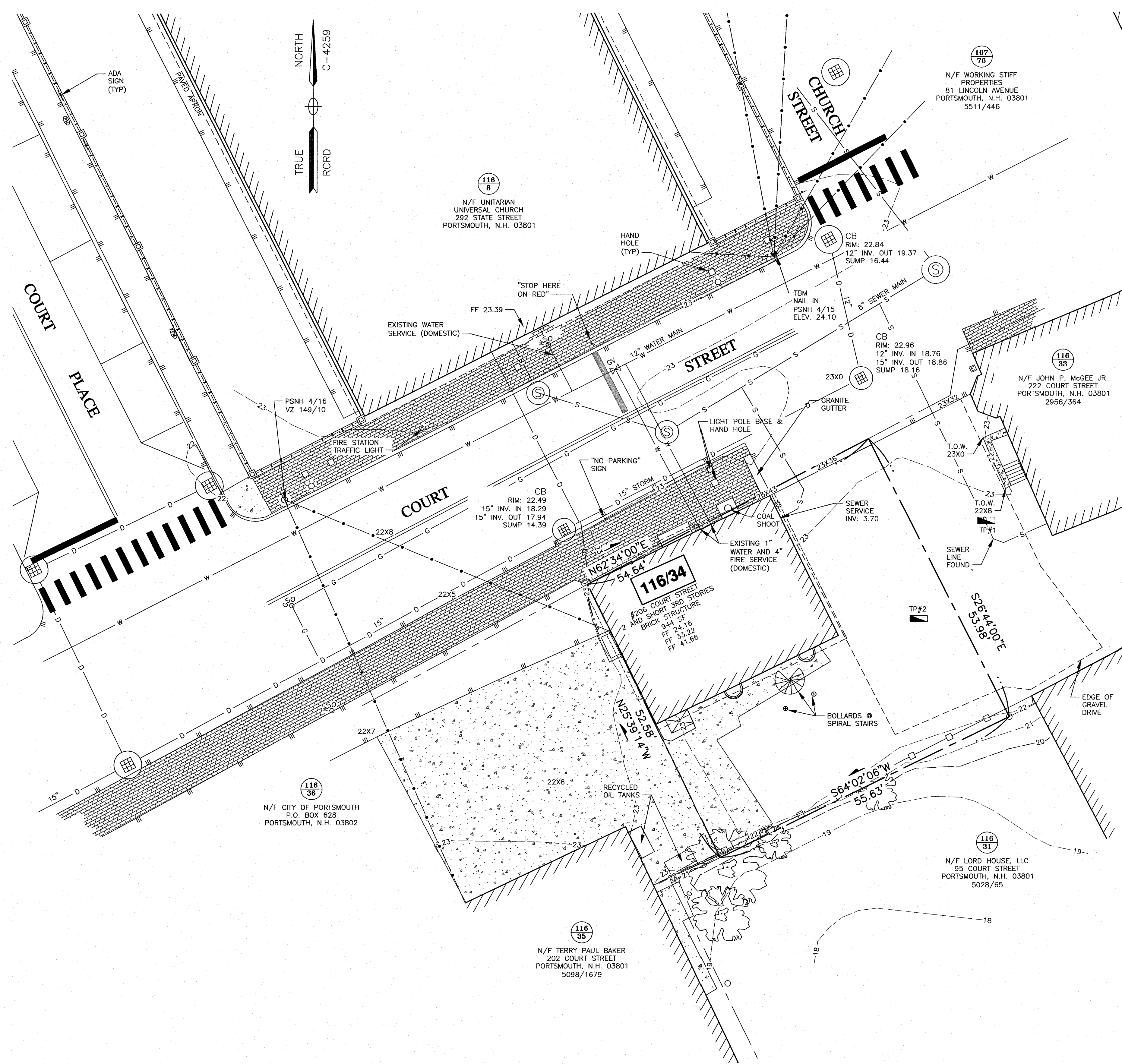
**TEST PIT #2, ELEV. 22.37**

Date: 9/14/18  
 Logged by: SDR 2094.01  
 Witnessed by:  
 ESHWT: 52"  
 Observed Water: NONE  
 Restrictive layer: 52"  
 REFUSAL: NONE TO 62"  
 Percolation rate: 8 min./inch  
 Roots: NONE

DEPTH	DESCRIPTION
0" - 11"	10YR 2/1 FINE SANDY LOAM, GRANULAR, FRIABLE
11" - 44"	10YR 3/2 FINE SANDY LOAM, GRANULAR, FRIABLE
44" - 50"	10YR 4/3 FINE SANDY LOAM, GRANULAR, FRIABLE
50" - 61"	2.5YR 5/2 CLAY LOAM, FIRM, MASSIVE

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

JOHN R. CHAGNON, LLS DATE



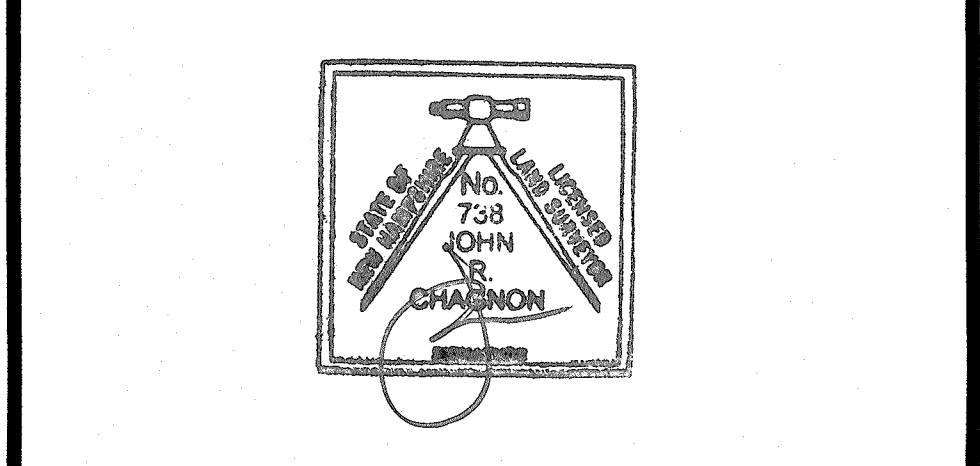
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 Fax (603) 436-2315

- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 116 AS LOT 34.
  - 2) OWNER OF RECORD:  
206 COURT STREET, LLC  
865 ISLINGTON STREET  
PORTSMOUTH, NH 03801  
BK 5900 PG 293
  - 3) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259E, EFFECTIVE MAY 17, 2005.
  - 4) EXISTING LOT AREA:  
2,937 S.F.  
0.0674 AC.
  - 5) PARCEL IS LOCATED CHARACTER DISTRICT 4-L1 AND HISTORICAL DISTRICT.
  - 6) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 116 LOT 34.
  - 7) DATUM: NAVD 1988, MEAN SEA LEVEL  
BENCHMARK: USGS DISK STAMPED V31 1943  
ELEVATION 29.19'

**SITE DEVELOPMENT  
206 COURT STREET  
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	9/17/18
0	ISSUED FOR COMMENT	8/6/18

REVISIONS



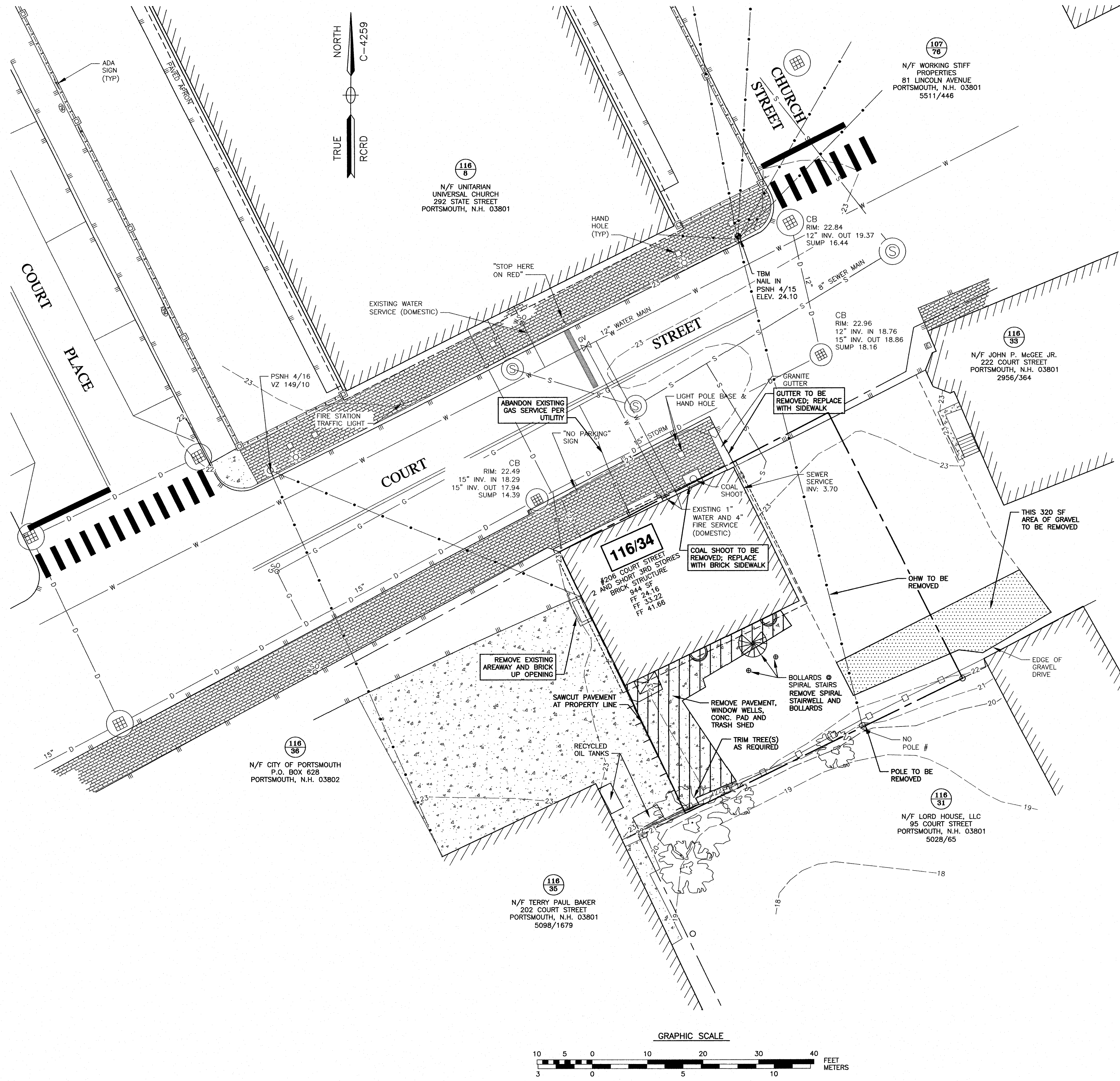
SCALE: 1" = 10' JULY 2018

EXISTING CONDITIONS PLAN **C1**

J:\JOBSS\202003\UN2094\IN 2094\2018\_Site Plans\Plans & Specs\Site\2094 SITE 2018.dwg, C1 VARIANCE AND EXIST

**DEMOLITION NOTES**

- A) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.
- B) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- C) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- E) SAWCUT AND REMOVE PAVEMENT ALONG MAP 116 LOT 35 AT PROPERTY LINE
- F) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- G) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- H) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN.
- I) ALL WORK WITHIN THE CITY OF PORTSMOUTH RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS (DPW).
- J) REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL SLUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- K) CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED, THE CONTRACTOR SHALL EMPLOY A NH LICENSED LAND SURVEYOR TO REPLACE THEM.
- L) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- M) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- N) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS

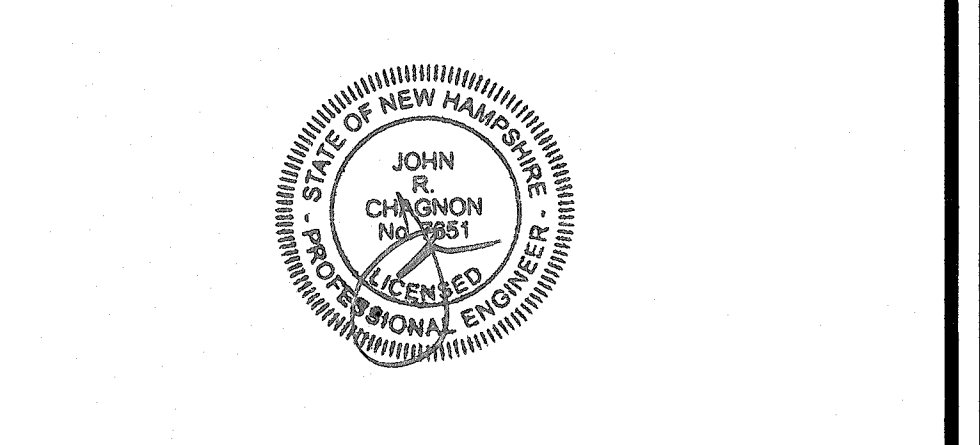


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- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
  - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
  - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

**SITE DEVELOPMENT  
 206 COURT STREET  
 PORTSMOUTH, N.H.**

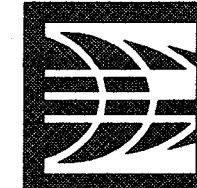
NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	9/17/18
0	ISSUED FOR COMMENT	8/7/18



SCALE: 1" = 10' JULY 2018

**DEMOLITION PLAN** **C2**

J:\JOBS2\JN2000s\JN2094\2018 Site Plans\Plans & Specs\Site\2094 SITE 2018.dwg - C2 DEMO



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**NOTES:**

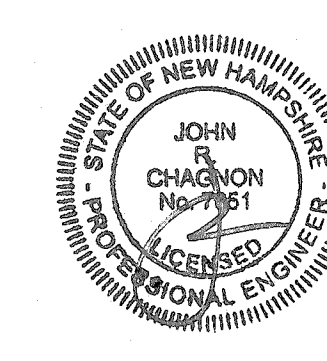
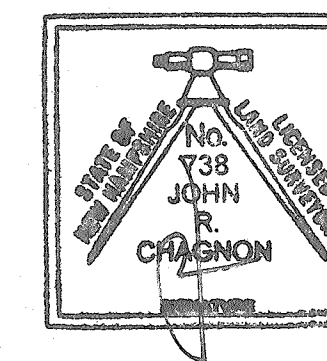
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PORTSMOUTH, NH 03801  
BK 5900 PG 293
- 3) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259E, EFFECTIVE MAY 17, 2005.
- 4) EXISTING LOT AREA:  
2,937 S.F.  
0.0674 AC.
- 5) PARCEL IS LOCATED CHARACTER DISTRICT 4-L1 AND HISTORICAL DISTRICT.
- 6) THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED ADDITION TO THE EXISTING STRUCTURE.
- 7) PARKING CALCULATIONS FOR MAP 116 LOT 34 PROPOSED USE IS 3 DWELLING UNITS EACH UNIT IS GREATER THAN 750 SF  
3 X 1.3 = 4 SPACES REQUIRED  
2 SPACES PROVIDED  
CONDITIONAL USE PERMIT REQUIRED

THE PROPOSED PARKING AREA WILL ALSO BENEFIT MAP 116 LOT 33; CALCULATION NOT PROVIDED.

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206 COURT STREET  
PORTSMOUTH, N.H.**

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NO.	DESCRIPTION	DATE

REVISIONS



SCALE: 1" = 10' JULY 2018

SITE PLAN

C3

**IMPERVIOUS SURFACE AREAS**

(TO PROPERTY LINE)

STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
STRUCTURE	944	1,711
PORCH, STEPS	45	3
PAVEMENT	22	19
CONCRETE	316	93
GRAVEL	906	0
TOTAL	2,233	1,826
LOT SIZE	2,937	2,937
% LOT COVERAGE	76.0%	62.2%
% OPEN SPACE	24.0%	37.8%

**DEVELOPMENT STANDARDS:**

CD4-L1: CHARACTER DISTRICT 4-LIMITED

BUILDING PLACEMENT (PRINCIPLE):

	REQUIRED	EXISTING	PROPOSED
MAX. PRINCIPLE FRONT YARD:	15 FEET	0 FEET	0 FEET
MIN. SIDE YARD:	5 FEET	0 FEET	0 FEET
MIN. REAR YARD:	5 FEET	25.6 FEET	5.6 FEET
FRONT LOT LINE BUILDOUT:	60%-80%	64.8%	64.8%

BUILDING FORM:

	REQUIRED	EXISTING	PROPOSED
MAX. STRUCTURE HEIGHT:	35 FEET	31'-5"	31'-5"
MAX. FIN. FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36 IN.	9 INCHES	9 INCHES
MIN. GROUND STORY HEIGHT:	11 FEET	9 FEET	9 FEET
FACADE GLAZING:	20-40%	16%	16%
ROOF TYPE:	GABLE, FLAT, HIP	HIP	HIP

LOT OCCUPATION:

	REQUIRED	EXISTING	PROPOSED
MAX. BUILDING BLOCK:	80 FT	54.6 FEET	54.6 FEET
MAX. FACADE MOD. LENGTH:	50 FEET	35 FEET	35 FEET
MAX. BUILDING COVERAGE:	60%	32.1%	58.3%
MAX. BUILDING FOOTPRINT:	2,500 SF	944 SF	1,711 SF
MIN. LOT AREA:	3,000 SF	2,937 SF	2,937 SF
MIN. OPEN SPACE COVERAGE:	25%	24%	37.8%

**VARIANCES:**

VARIANCE FROM 10.1114.21

- 1) TO PERMIT 8'x19' PARKING SPACES WHERE 8.5'x19' IS REQUIRED

VARIANCE FROM 10.5A41.10A

- 2) TO PERMIT A GROUND STORY HEIGHT OF 9 FEET WHERE 11 FEET IS REQUIRED
- 3) TO PERMIT A FACADE GLAZING OF 16% WHERE 20-40% IS REQUIRED
- 4) TO PERMIT A LOT AREA PER DWELLING UNIT OF 979 SF WHERE 3,000 SF LOT AREA PER DWELLING UNIT IS REQUIRED

VARIANCE FROM 10.1114.32 (B)

- 5) TO PERMIT BACKING INTO OR FROM A PUBLIC STREET TO THE PARKING SPOT

VARIANCES GRANTED:

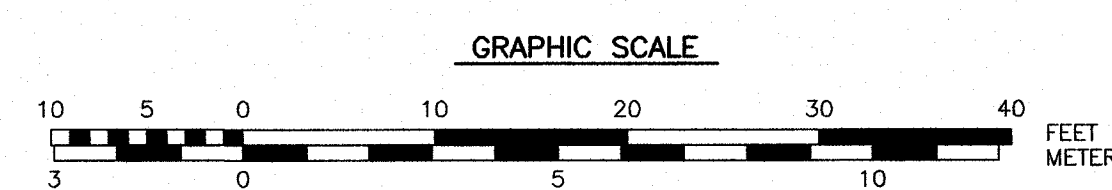
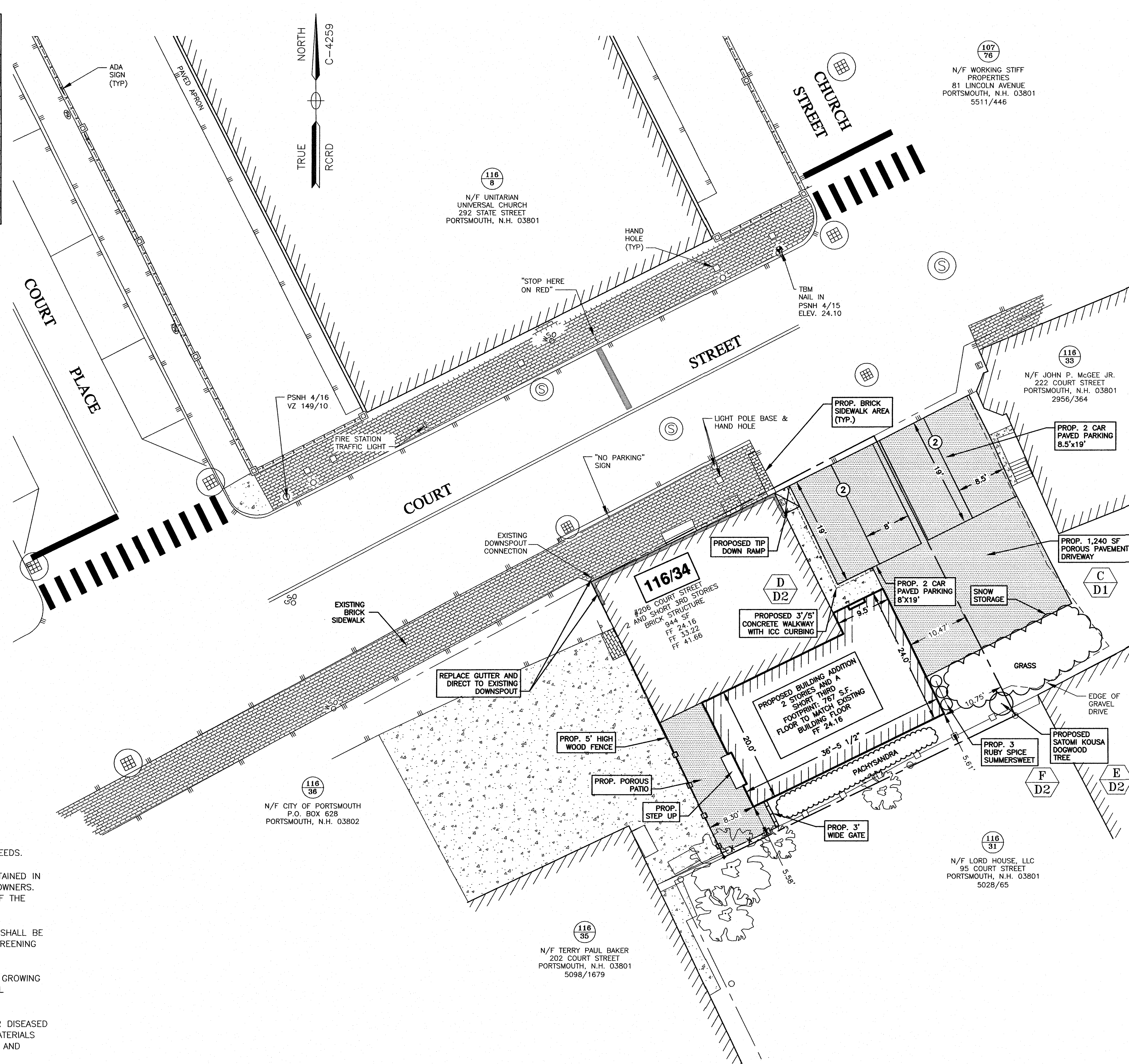
JULY 2018

**APPROVAL NOTES:**

- 1) THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- 2) ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- 3) THE OWNER OF RECORD AND SUBSEQUENTLY THE CONDOMINIUM UNIT ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS.
- 4) ALL REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY, AND KEPT FREE OF REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.
- 5) THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_



J:\JOBS\2009\200909\2094\2018 Site Plans\Plans & Specs\Site\2094 SITE 2018.dwg, C3 SITE



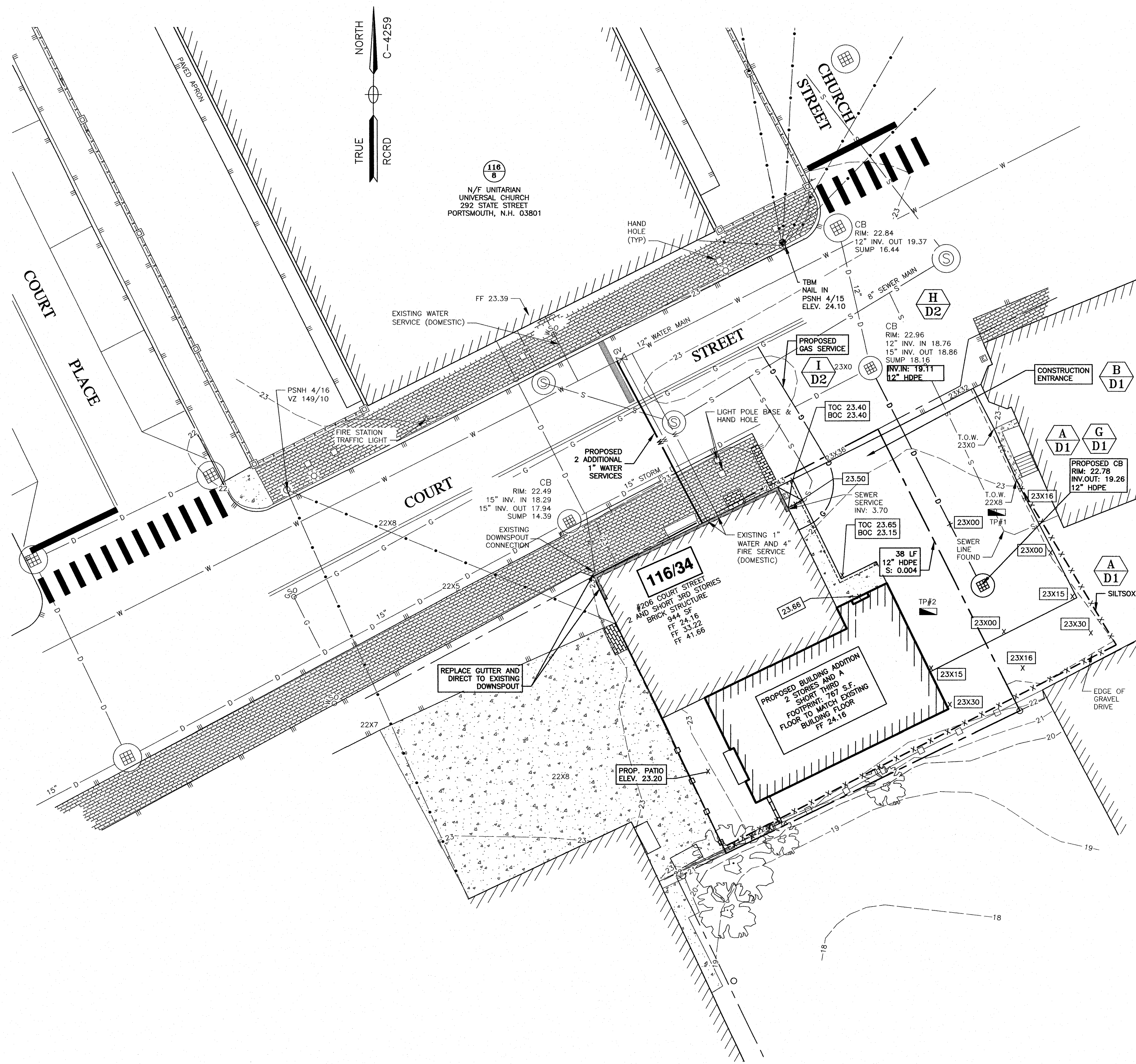
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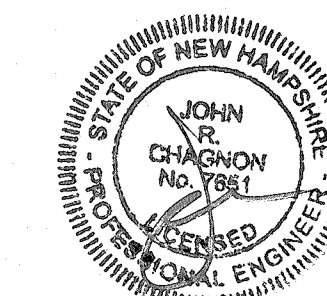
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- 4) INSTALL CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED CATCH BASINS UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.
- 5) PROPOSED SEWER FLOW:  
2 UNITS X 170 GPD/UNIT = 340 GPD
- 6) SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- 7) COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.
- 8) THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATED TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT.
- 9) ALL UTILITY CONNECTIONS SHALL BE INTERNAL.



**SITE DEVELOPMENT  
206 COURT STREET  
PORTSMOUTH, N.H.**

1	ISSUE FOR APPROVAL	9/17/18
0	ISSUED FOR COMMENT	8/7/18
NO.	DESCRIPTION	DATE

REVISIONS



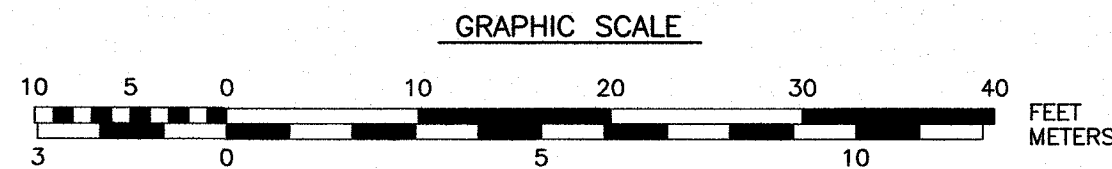
SCALE: 1" = 10' JULY 2018

**UTILITY AND  
GRADING PLAN**

**C4**

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

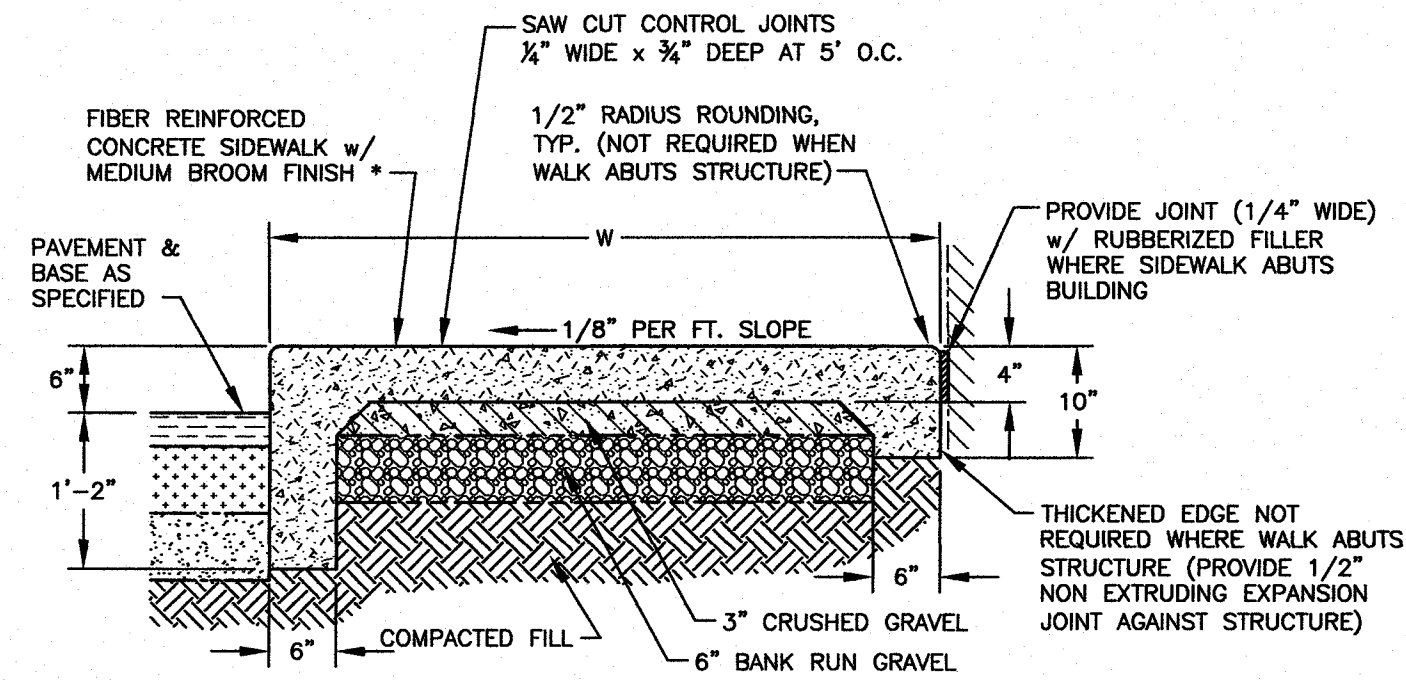


J:\JOB52\_UN2000s\_UN\_2084\2018\_Site\_Plans\Plans & Specs\Site\2084\_Site\_2018.dwg, C4 GRADE



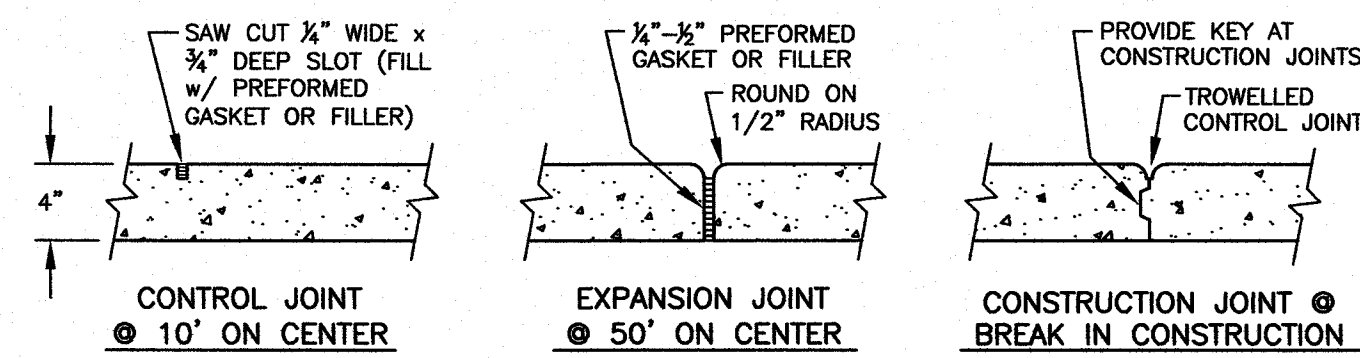
**NOTES:**

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

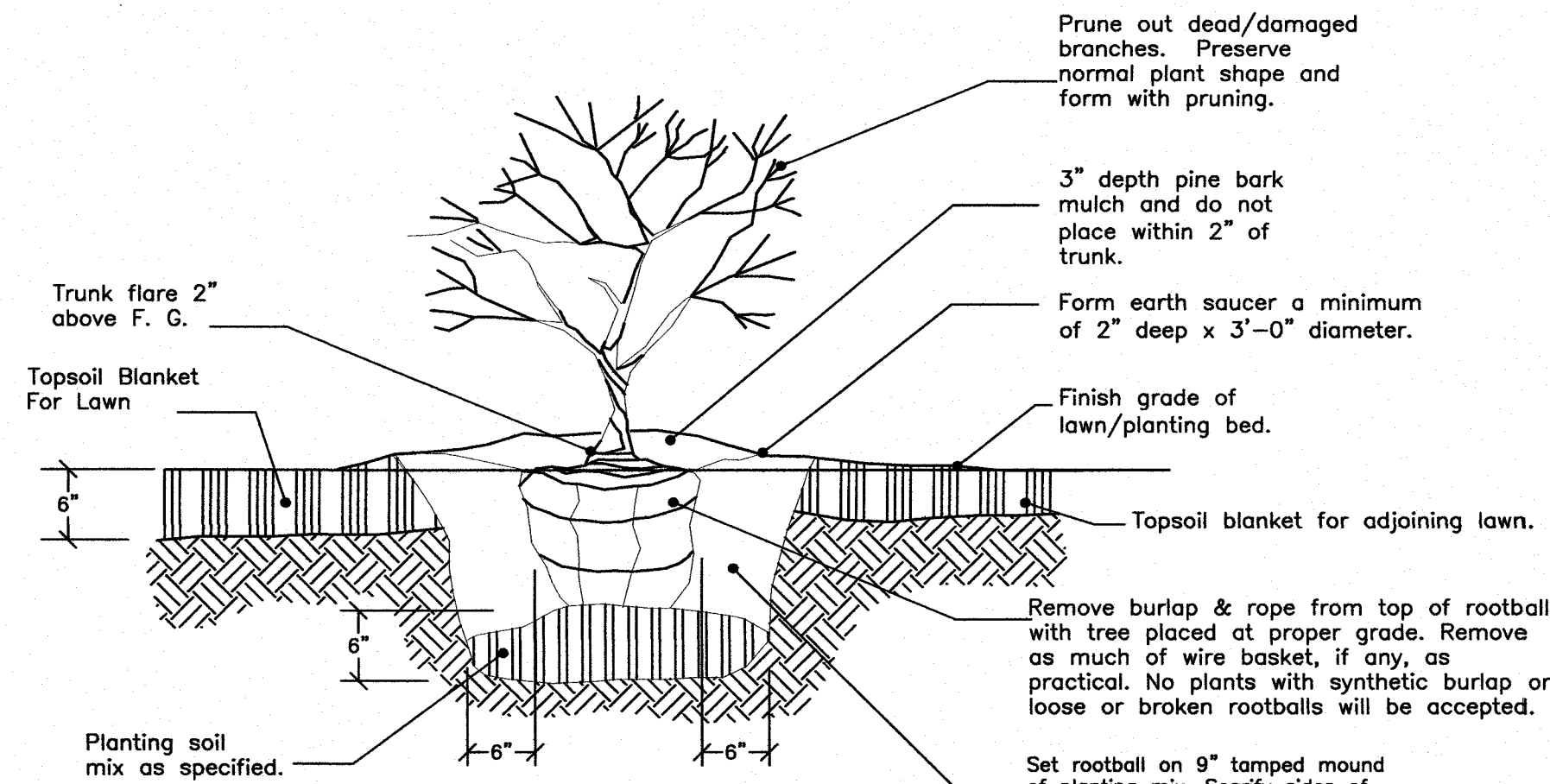


\*FIBER: 100% VIRGIN POLYPROPYLENE SUCH AS GRACE MICROFIBER, ASTM C1116, TYPE 111, PAR.4.1.3 OR EQUAL, APPLIED @ 1 LB. PER C.Y.

**CROSS SECTION**

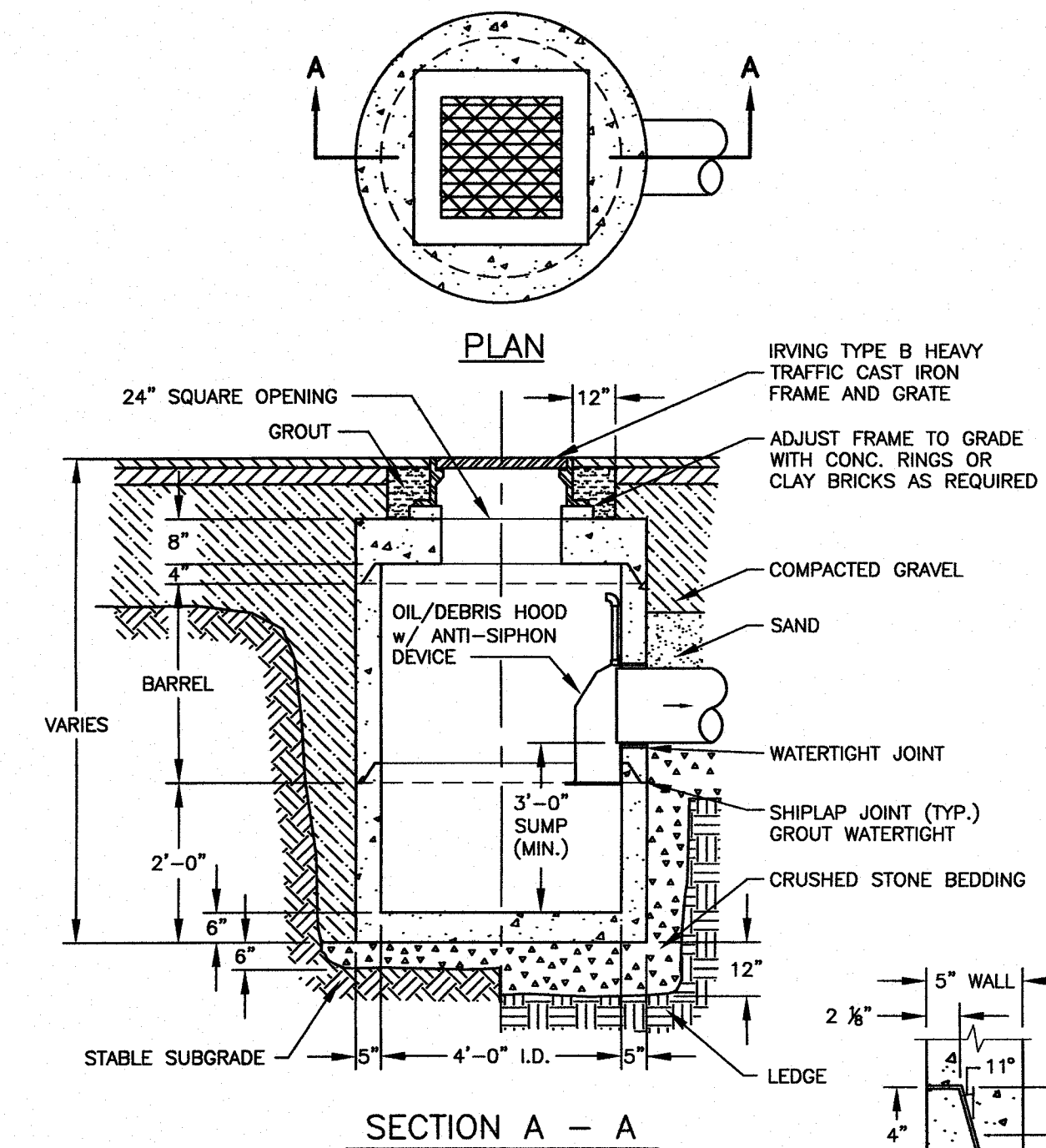


**C3 CONCRETE WALK w/ CONCRETE CURB NTS**



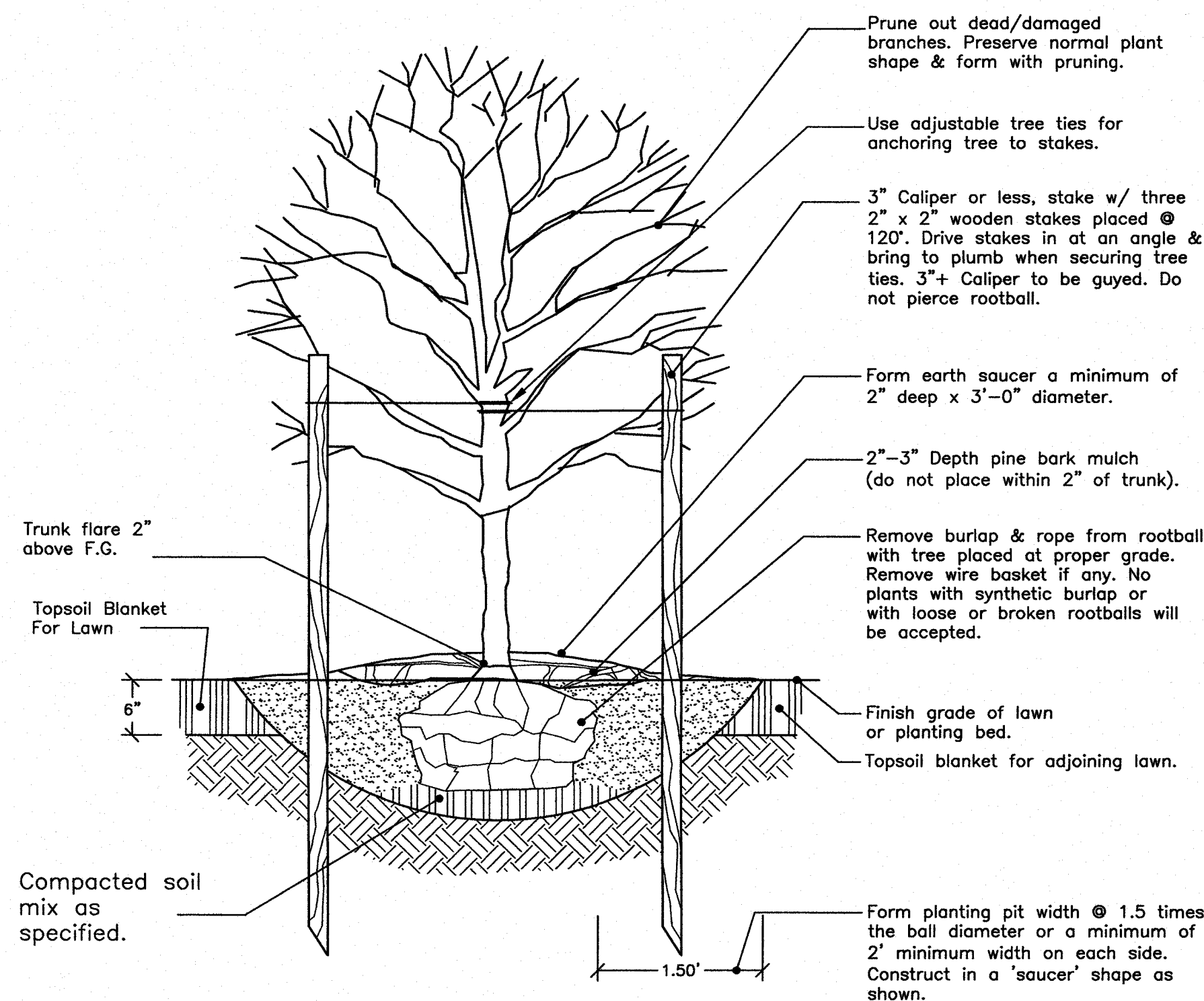
**NOTE:**  
For all shrubs the trunk flare and top of rootball shall be 1\"/>

**F SHRUB PLANTING DETAIL NTS**



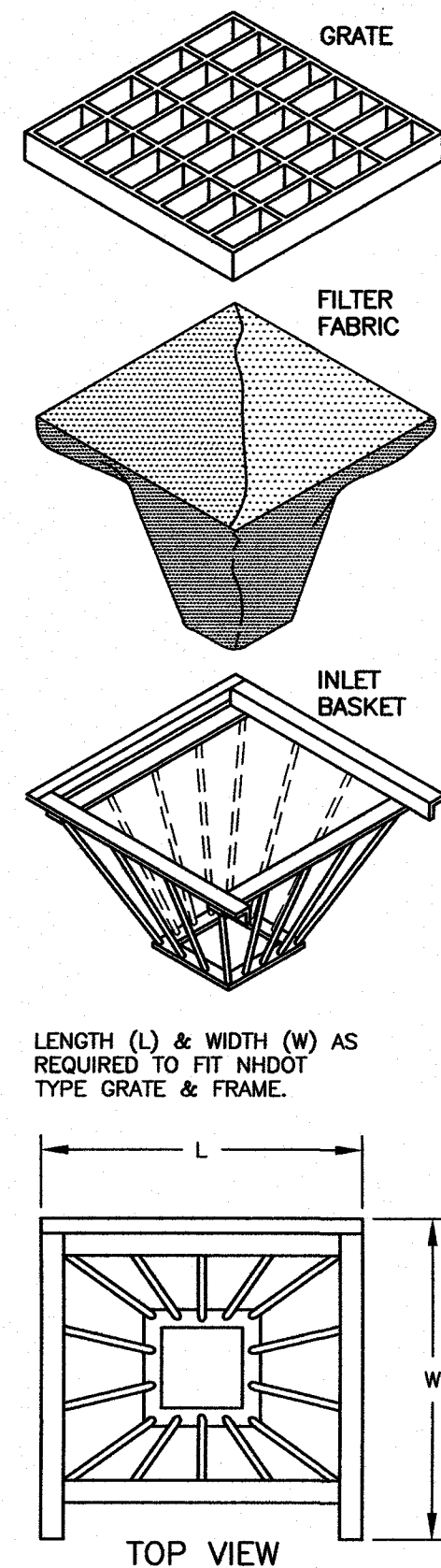
- NOTES:**
- 1) CONCRETE SHALL BE 4,000 P.S.I. AFTER 28 DAYS.
  - 2) CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER LINEAR FT. IN ALL SECTIONS & SHALL BE PLACED IN THE CENTER THIRD OF WALL.
  - 3) THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT.
  - 4) EACH CASTING TO HAVE LIFTING HOLES CAST IN.
  - 5) OUTLET HOOD SHALL BE A "SNOUT" BY BEST MANAGEMENT PRODUCTS, INC. OR APPROVED EQUAL SIZING AND INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS.

**G CATCH BASIN DETAIL NTS**



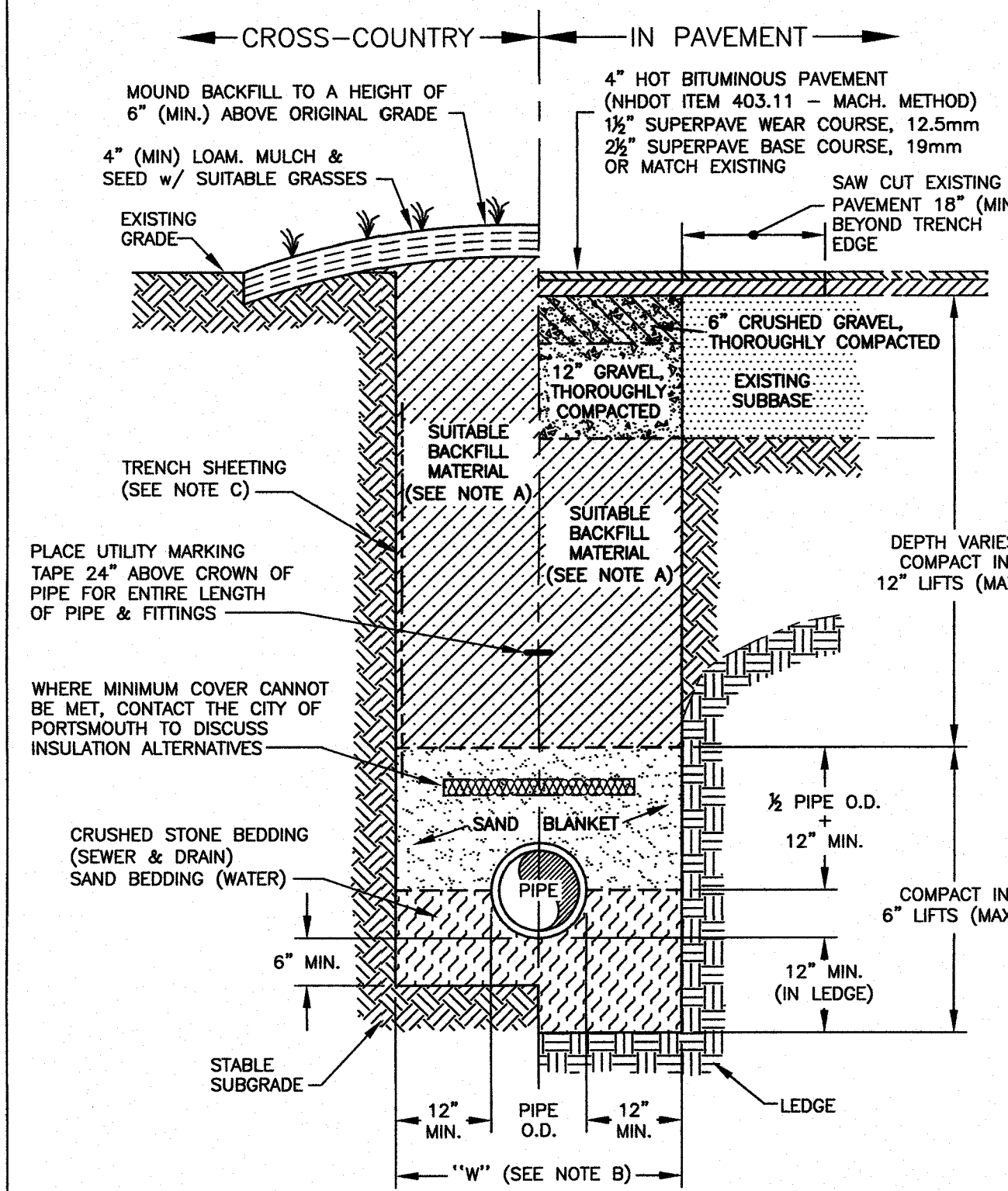
**NOTE:**  
For all trees the trunk flare & top of rootball shall be 2\"/>

**E TREE PLANTING DETAIL NTS**



- 1) INLET BASKETS SHALL BE INSTALLED IMMEDIATELY AFTER CATCH BASIN CONSTRUCTION IS COMPLETE AND SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL PAVEMENT BINDER COURSE IS COMPLETE.
- 2) FILTER FABRIC SHALL BE PUSHED DOWN AND FORMED TO THE SHAPE OF THE BASKET. THE SHEET OF FABRIC SHALL BE LARGE ENOUGH TO BE SUPPORTED BY THE BASKET FRAME WHEN HOLDING SEDIMENT AND, SHALL EXTEND AT LEAST 6\"/>

**H CATCH BASIN INLET BASKET CATCH BASIN IN COURT STREET NTS**



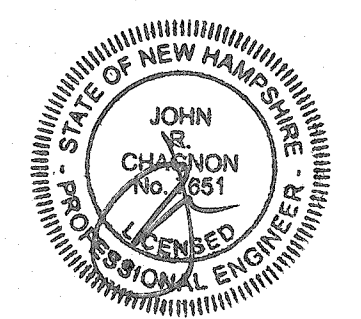
- TRENCH NOTES:**
- A) TRENCH BACKFILL: - IN PAVED AREAS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIALS DEEMED TO BE UNACCEPTABLE BY THE ENGINEER.
  - B) "W" = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D..
  - C) TRENCH SHEETING: IF REQUIRED, WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
  - D) MINIMUM PIPE COVER FOR UTILITY MAINS (UNLESS GOVERNED BY OTHER CODES):  
6\"/>
- E) ALL PAVEMENT CUTS SHALL BE REPAIRED BY THE INFRARED HEAT METHOD.

**I TYPICAL PIPE TRENCH NTS**

**SITE DEVELOPMENT  
206 COURT STREET  
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	9/17/18
0	ISSUED FOR COMMENT	8/6/18

**REVISIONS**



SCALE: AS SHOWN JULY 2018

**DETAILS D2**

# GENERAL CODE COMPLIANCE REVIEW

PORTSMOUTH, NH

**PROJECT DATA:**

DESCRIPTION: THE RENOVATION OF THE EXISTING BUILDING AT 206 COURT STREET AND AN ADDITION OFF OF THE SOUTH AND SOUTHEAST CORNER OF THE PROPERTY, RETURNING THE BUILDING TO IRS ORIGINAL RESIDENTIAL USE. THERE WILL BE 3 UNITS, 1 PER FLOOR.

ZONING: CD4 - L1

**STATE BUILDING CODE:**

2009 INTERNATIONAL BUILDING CODE (2009 IBC)

**LIFE SAFETY CODE:**

2015 NATIONAL FIRE PROTECTION AGENCY (NFPA 101)

**STATE ENERGY CODE:**

2009 INTERNATIONAL ENERGY CONSERVATION CODE (2009 IECC)

**STATE MECHANICAL CODE:**

2009 INTERNATIONAL MECHANICAL CODE (2009 IMC)

**STATE ELECTRICAL CODE:**

2014 NATIONAL ELECTRICAL CODE (2014 NEC)

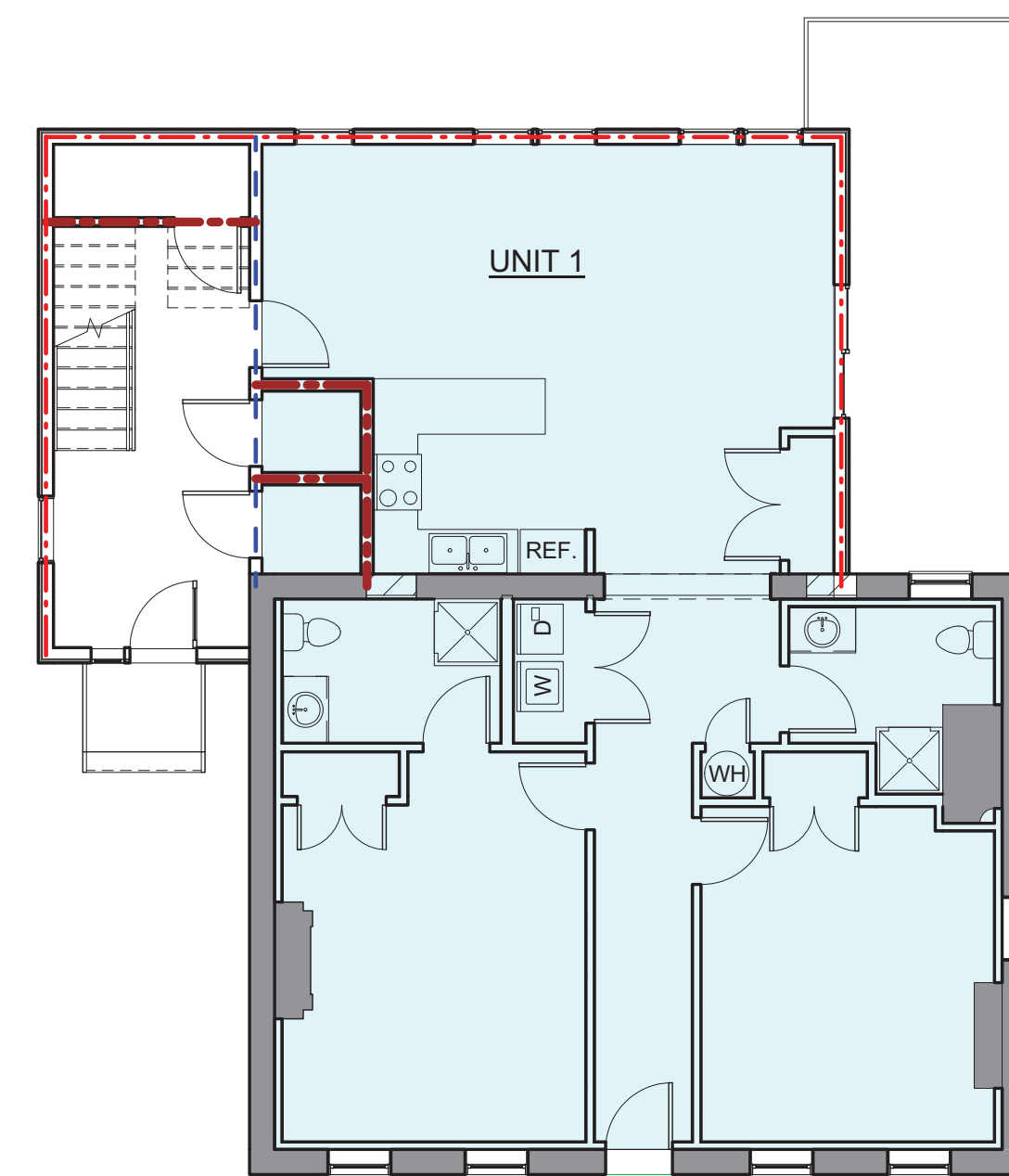
**STATE PLUMBING CODE:**

2009 INTERNATIONAL PLUMBING CODE (2009 IPC)

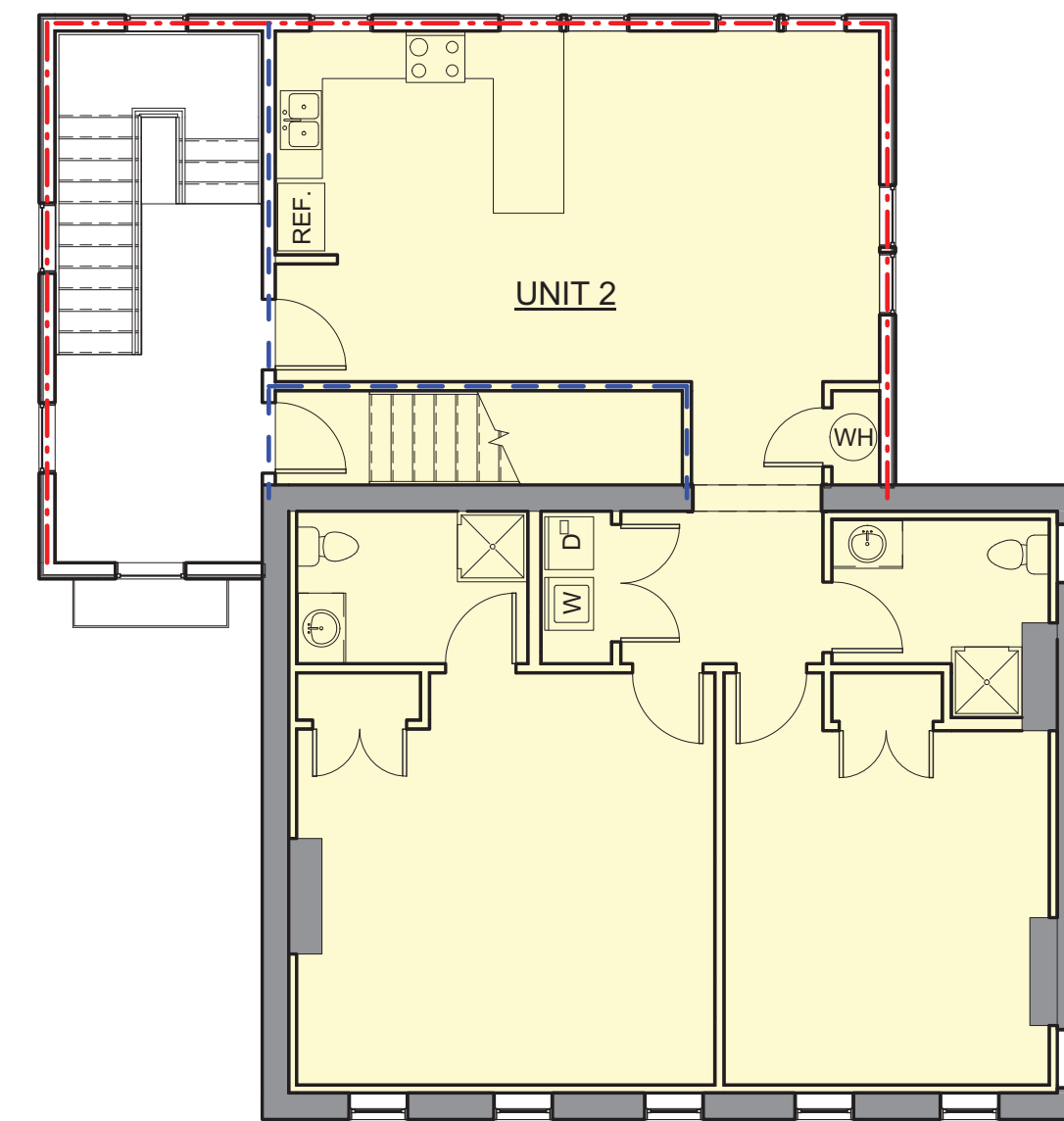
**STATE ACCESSIBILITY CODE:**

THE ARCHITECTURAL BARRIER FREE DESIGN CODE FOR THE STATE OF NH  
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

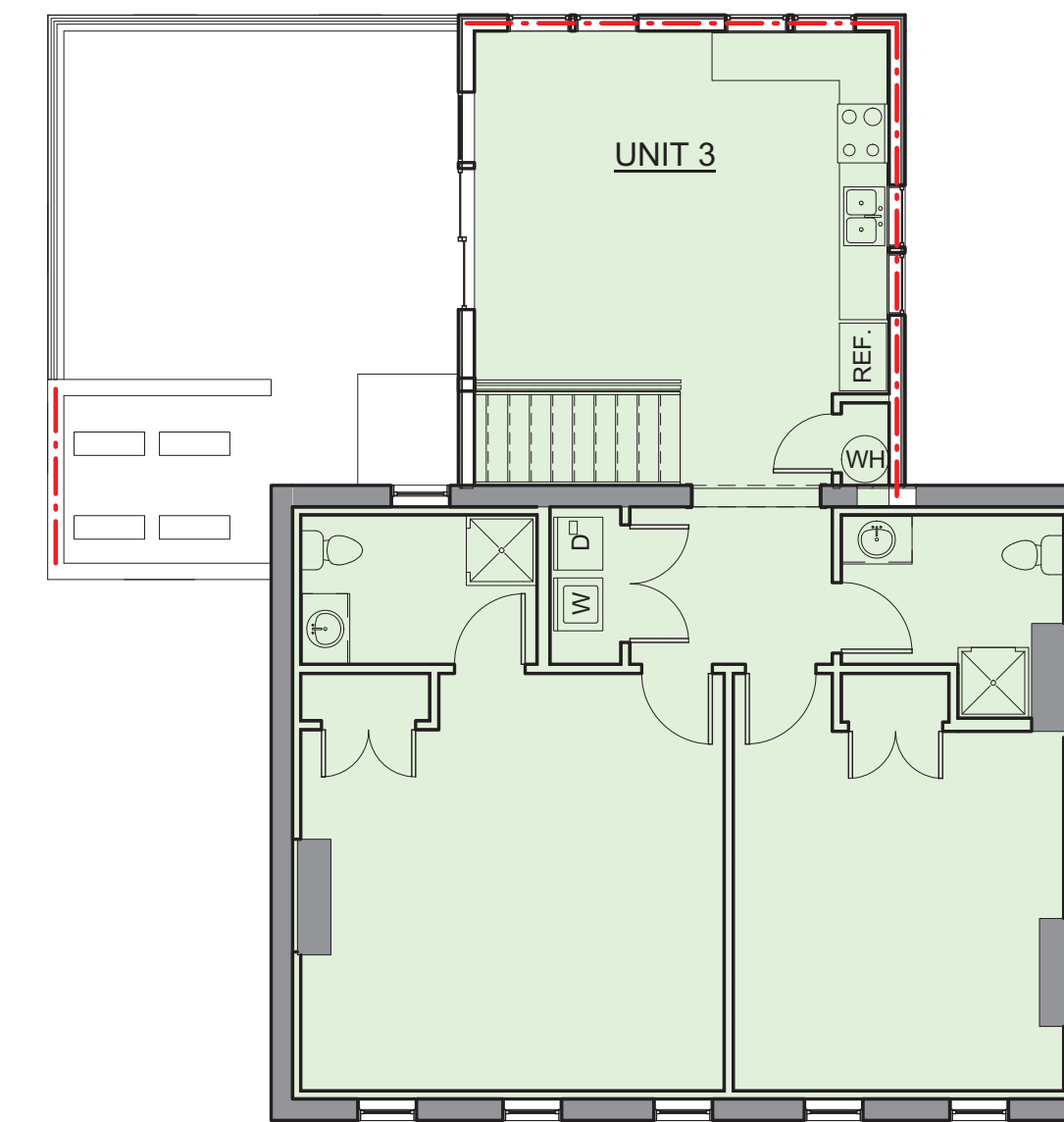
CODE REVIEW	
BASEMENT GROSS AREA	XXXX SF
FIRST FLOOR AREA	1,711 SF
SECOND FLOOR AREA	1,711 SF
TOTAL GROSS AREA	1,711 SF
PERIMETER	182'-11"
NUMBER OF STORIES ABOVE GRADE	THREE STORY
BUILDING HEIGHT	28'-2"
CONSTRUCTION TYPE	TYPE 5B (SECTION 602.5, IBC 2009)
SPRINKLER SYSTEM	YES (SECTION 903.2.8, IBC 2009) (30.3.5 NFPA 101)
OCCUPANCY USE GROUP	(R-2) RESIDENTIAL AND (S-1) STORAGE (CHAPTER 3, IBC 2009)
SEPARATED USE	(R-2) REQUIRES 1HR SEPARATION FROM (S-1) AND 1/2HR FROM (R-2) TO (R-2) (TABLE 508.4, IBC 2009)
<b>HEIGHT AND AREA LIMITATIONS</b>	
BASIC HEIGHT LIMITATIONS	
HEIGHT INCREASE	2 STORIES, 40'-0" (TABLE 503, IBC 2009)
ADJUSTED HEIGHT LIMITATIONS	+1 STORY AND 20'-0" DUE TO AUTOMATIC SPRINKLER (SECTION 504.2, IBC 2009)
BASIC AREA LIMITATIONS	3 STORIES, 35'-0" (PORTSMOUTH ZONING ORDINANCE)
AREA INCREASE	7,000 SF (TABLE 503, IBC 2009)
ADJUSTED AREA LIMITATIONS	7000 X 200% = 14,000 SF DUE TO AUTOMATIC SPRINKLER (SECTION 506.3, IBC 2009)
ELEVATOR REQUIRED	NO (SECTION 1104.4, IBC 2009)
<b>MEANS OF EGRESS REQUIREMENTS (NFPA 101)</b>	
OCCUPANT LOAD	BASEMENT: (S-1) XXX SF/500 = 1 1ST FLOOR: (R-2) 1,711 SF/200 = 8 2ND FLOOR: (R-2) 1,711 SF/200 = 8 3RD FLOOR: (R-2) 1,711 SF/200 = 8 25 PERSONS (TABLE 7.3.1.2, NFPA 101)
TOTAL BUILDING OCCUPANT LOAD	25 PERSONS (TABLE 7.3.1.2, NFPA 101)
MINIMUM NUMBER OF EXITS REQUIRED	1 PER UNIT (30.2.4.4, NFPA 101)(38.2.4.3, NFPA 101)
NUMBER OF EXITS PROVIDED	1 PER UNIT
REQUIRED CLEAR EGRESS WIDTH AT DOORS	NOT LESS THAN 32" (7.2.1.2.3.2, NFPA 101) / 32" MIN. PROVIDED
REQUIRED CLEAR EGRESS WIDTH AT STAIR	36" MIN. (7.2.2.1.2(A), NFPA 101) / 36" MIN. PROVIDED
MAXIMUM DEAD END CORRIDOR	(R-2) 50'-0" MAX and (S-1) 100'-0" MAX (TABLE A.7.6, NFPA 101)
MAXIMUM COMMON PATH OF TRAVEL	(R-2) 50'-0" MAX and (S-1) 100'-0" MAX (TABLE A.7.6, NFPA 101)
MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT	125'-0" MAX (TABLE A.31.1, NFPA 101)
MAXIMUM TRAVEL DISTANCE FROM DWELLING UNIT TO EXIT	200'-0" MAX (TABLE A.31.1, NFPA 101)
MINIMUM CORRIDOR WIDTH	36" (30.2.3.4, NFPA 101) / 36" MIN. PROVIDED
<b>MEANS OF EGRESS REQUIREMENTS (IBC 2009)</b>	
OCCUPANT LOAD	BASEMENT: (S-1) XXX SF/500 = 1 1ST FLOOR: (R-2) 1,711 SF/200 = 8 2ND FLOOR: (R-2) 1,711 SF/200 = 8 3RD FLOOR: (R-2) 1,711 SF/200 = 8 25 PERSONS (TABLE 1004.1.1, IBC 2009)
TOTAL BUILDING OCCUPANT LOAD	25 PERSONS (TABLE 1004.1.1, IBC 2009)
MINIMUM NUMBER OF EXITS REQUIRED	1 PER UNIT (TABLE 1021.2, IBC 2009)
NUMBER OF EXITS PROVIDED	1 PER UNIT
REQUIRED CLEAR EGRESS WIDTH AT DOORS	32" (1008.1.1, IBC 2009) / 32" MIN. PROVIDED
REQUIRED CLEAR EGRESS WIDTH AT STAIR	36" MIN. (1009.1.1, IBC 2009) / 36" MIN. PROVIDED
MAXIMUM DEAD END CORRIDOR	50'-0" MAX (1018.4.2, IBC 2009)
MAXIMUM TRAVEL DISTANCE	(R-2)(S-1) 250'-0" MAX (TABLE 1018.1, IBC 2009)
MINIMUM CORRIDOR WIDTH	36" (1018.2.2, IBC 2009) / 36" MIN. PROVIDED
<b>FIRE RATINGS</b>	
EXTERIOR BEARING WALLS	0 HOUR (TABLE 601, IBC 2009)
INTERIOR BEARING WALLS	0 HOUR (TABLE 601, IBC 2009)
NON-BEARING INTERIOR WALLS	0 HOUR (TABLE 601, IBC 2009)
FLOOR CONSTRUCTION	0 HOUR (TABLE 601, IBC 2009)
ROOF CONSTRUCTION	0 HOUR (TABLE 601, IBC 2009)
STRUCTURAL FRAME	0 HOUR (TABLE 601, IBC 2009)
EXIT ENCLOSURES	1 HOUR (1022.1, IBC 2009), 1 HOUR (912.5.3, IBC 2009)
SHAFT ENCLOSURES	1 HOUR (TABLE 708.4, IBC 2009)
CORRIDOR SEPARATION	1/2 HOUR (TABLE 1018.1, IBC 2009)
DWELLING UNIT SEPARATION	1/2 HOUR (SECTION 709.3, IBC 2009)
HORIZONTAL SEPARATION	1 HOUR BETWEEN (S-1) / (R-2) and 1/2 HOUR BETWEEN (R-2) / (R-2) (SECTION 712.3, IBC 2009)
<b>REQUIRED PLUMBING FIXTURES</b>	
WATER CLOSETS	(TABLE 2902.1, IBC 2009)
LAVATORIES	1 PER DWELLING UNIT
BATH/SHOWER	1 PER DWELLING UNIT
KITCHEN SINK	1 PER DWELLING UNIT
CLOTHES WASHER CONNECTION	1 PER 20 DWELLING UNITS
<b>ENERGY CODE</b>	
BUILDING USE TYPE	(TABLE 502.1.2, IECC 2009)
CLIMATE ZONE	RESIDENTIAL
ROOF ENERGY EFFICIENCY	ZONE 6
ABOVE GRADE WALLS ENERGY EFFICIENCY	R-38
BELOW GRADE WALLS ENERGY EFFICIENCY	R-21 or 15.2ci
SLAB-ON-GRADE FLOOR ENERGY EFFICIENCY	R-7.5ci
	R-10



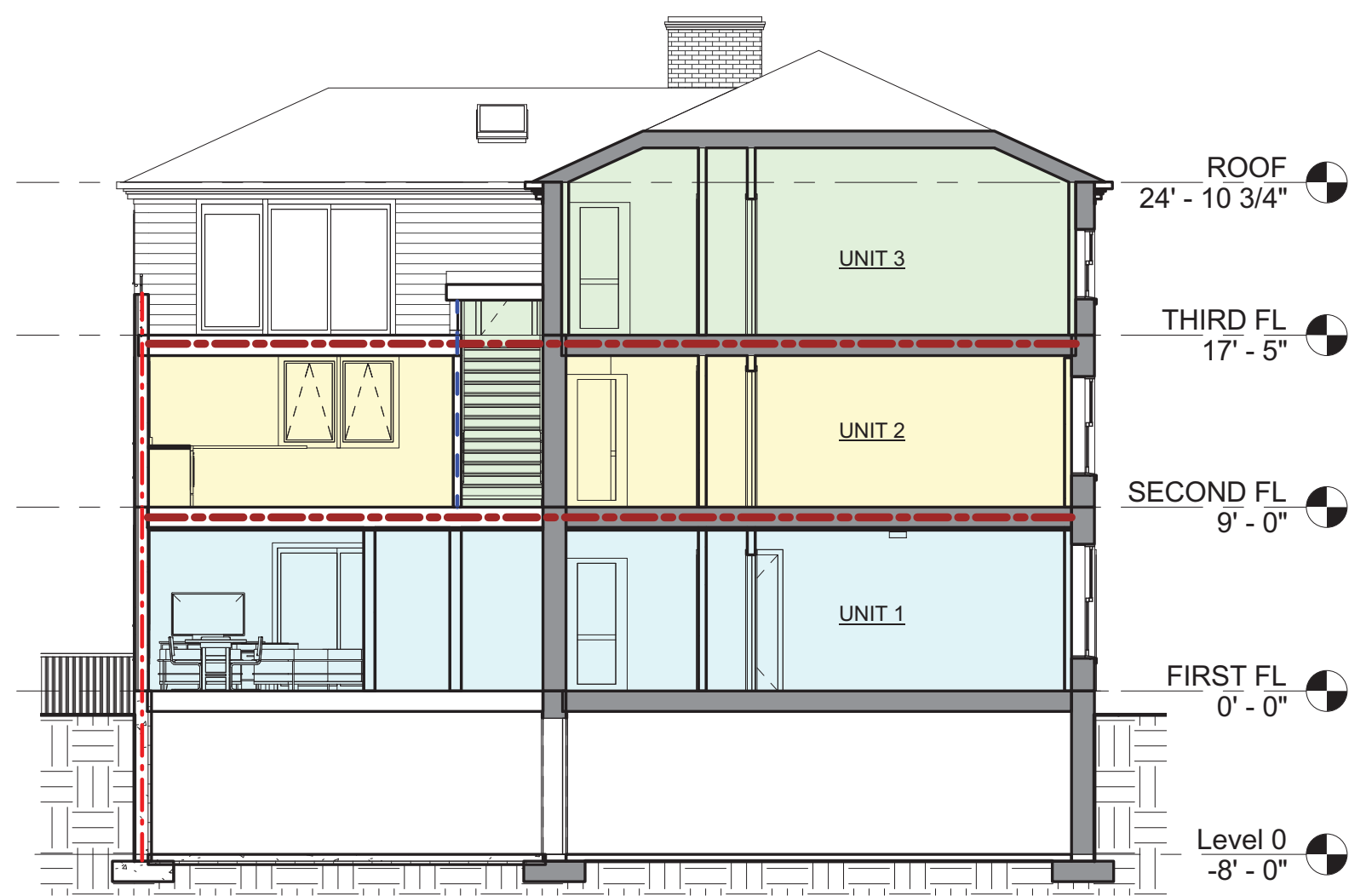
1 LIFE SAFETY- FIRST FLOOR PLAN  
1/8" = 1'-0"



2 LIFE SAFETY- SECOND FLOOR PLAN  
1/8" = 1'-0"



3 LIFE SAFETY- THIRD FLOOR PLAN  
1/8" = 1'-0"



4 LIFE SAFETY SECTION  
1/8" = 1'-0"

- 1 HR RATED FIRE PARTITION
- 1 HR RATED EXTERIOR WALL
- 1/2 HR RATED FLOOR/CEILING
- EGRESS
- SMOKE SEPARATION

LIFE SAFETY LEGEND

1. CONTRACTOR TO DESIGN AND PROVIDE NFPA 13r COMPLIANT FIRE SPRINKLER SYSTEM. THE DESIGN SHALL INCLUDE DRAWINGS AND ENGINEERING CALCULATIONS STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN NEW HAMPSHIRE. SYSTEM SHALL MEET ALL STATE AND LOCAL CODES. COORDINATE SYSTEM WITH DESIGN DOCUMENTS.
- 2.

FIRE SPRINKLER NOTES

206 COURT STREET  
PORTSMOUTH, NH

**McHENRY ARCHITECTURE**  
4 Market Street  
Portsmouth, New Hampshire  
603.430.0274

**NOT FOR CONSTRUCTION PERMIT SET ONLY**

No.	Description	Date

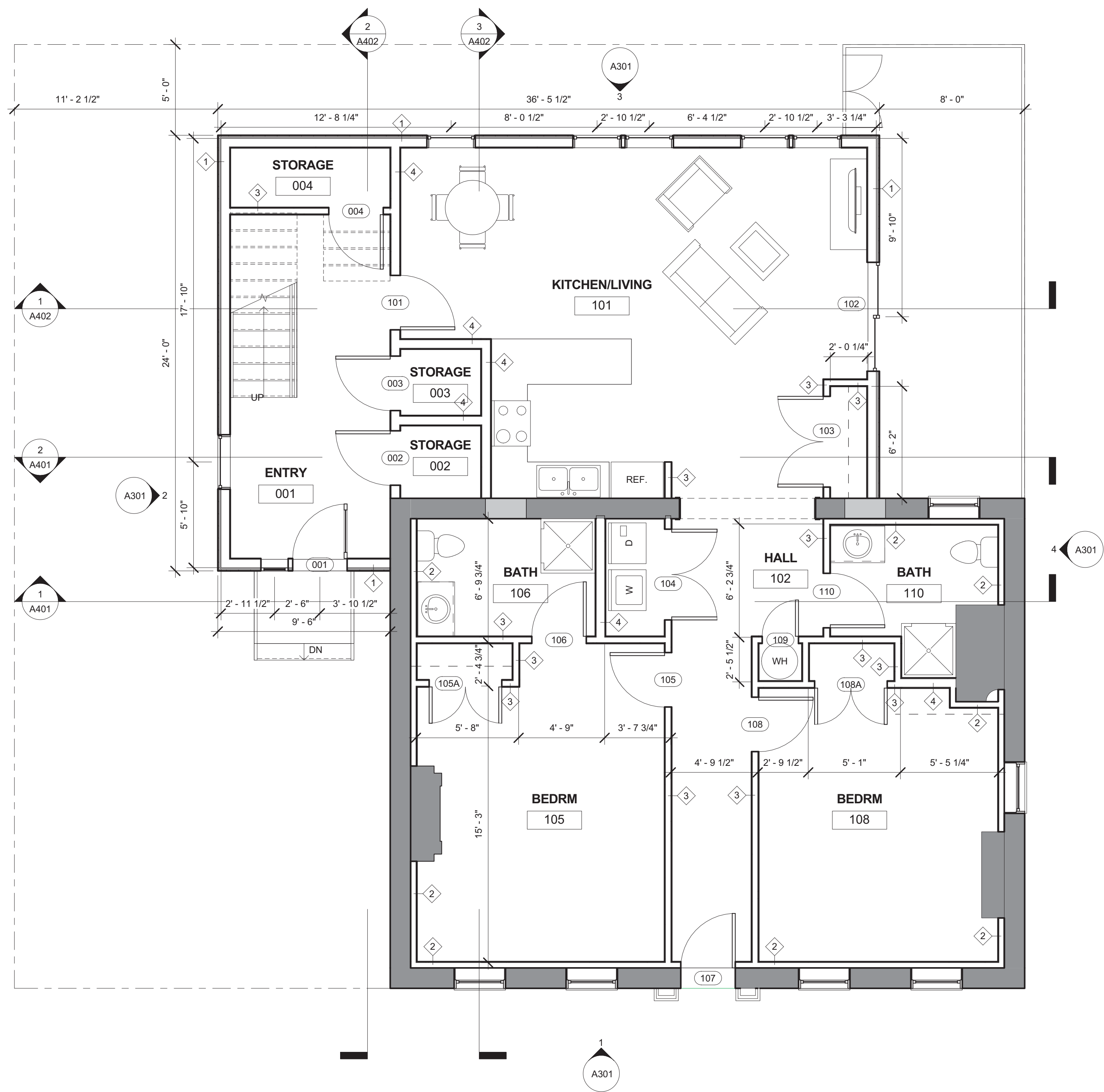
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206 COURT STREET

Drawing Name:  
GENERAL CODE REVIEW AND WALL TYPES

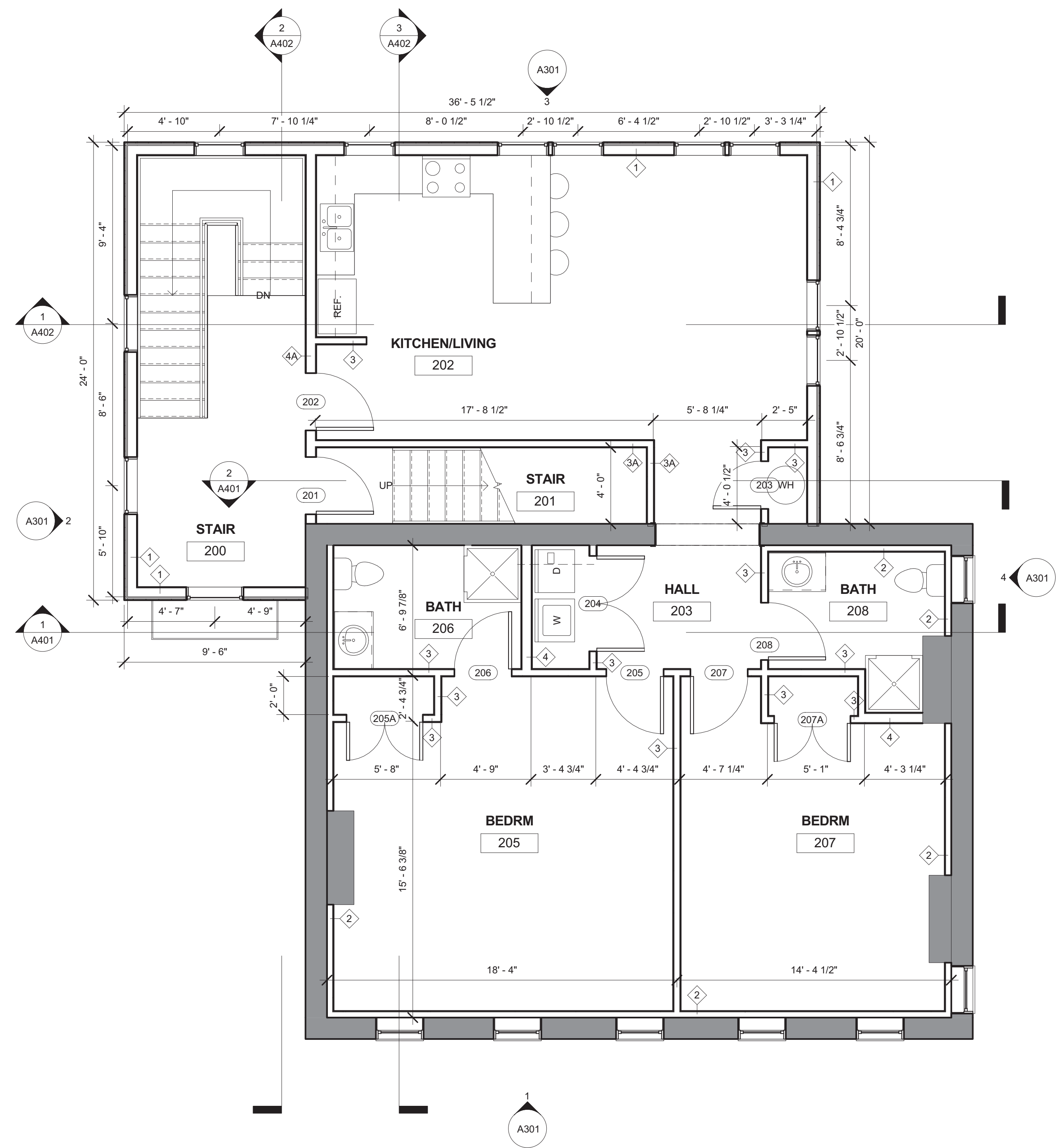
Project number: 18022  
Date: 06/20/2018  
Drawn by: MB  
Checked by: JJ

**T2**





1 FIRST FLOOR PLAN  
1/4" = 1'-0"



2 SECOND FLOOR PLAN  
1/4" = 1'-0"

1. THESE REMOVAL PLANS ARE BASED ON EXAMINATION OF THE EXISTING STRUCTURE AND ARE INTENDED TO SHOW THE GENERAL CONDITIONS WHICH ARE EXPECTED TO OCCUR. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY SITUATIONS, DIMENSIONS, OR OTHER CONDITIONS OF THE EXISTING STRUCTURE WHICH MAY ARISE DURING DEMOLITION OR CONSTRUCTION.
2. VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH THE REMOVAL WORK IN ANY AREA. REMOVAL OF DOORS, WINDOWS, CABINETRY, FINISHES, PARTITIONS, OR ANY OTHER NON-STRUCTURAL ITEMS MAY PROCEED AS INDICATED. WHERE DISCREPANCIES INVOLVE STRUCTURAL ITEMS, REPORT SUCH DIFFERENCES TO THE ARCHITECT IMMEDIATELY AND SECURE INSTRUCTIONS BEFORE PROCEEDING WITH THE WORK IN THAT AREA.
3. DASHED LINES INDICATE WALLS, DOORS, WINDOWS, CABINETRY AND OTHER ITEMS TO BE REMOVED.
4. CUT WORK BY METHODS LEAST LIKELY TO DAMAGE EXISTING WORK TO REMAIN AND ANY NEW WORK. THE CONTRACTOR SHALL REPAIR ALL DAMAGES CAUSED TO THE ADJACENT WORK CAUSED BY THE REMOVALS.
5. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY FORMS OF PROTECTION.
6. THE CONTRACTOR SHALL FOLLOW ALL OSHA REQUIREMENTS.
7. REMOVE EXISTING APPLIANCES AND FIXTURES.
8. TEMPORARY BRACING OR SHORING NEEDED TO HOLD THE STRUCTURE IN A SAFE AND STABLE POSITION DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
9. SALVAGE AND STORE ANY EXISTING TRIM WORK BEING REMOVED FOR REUSE.

1. ALL FURNITURE N.I.C.
2. FURNITURE LAYOUTS SHOWN FOR SPACE PLANNING PURPOSES.
3. ALL KITCHEN EQUIPMENT N.I.C.
4. KITCHEN EQUIPMENT INSTALLATION BY OTHERS. G.C. TO PROVIDE AND INSTALL ALL PLUMBING AND ELECTRICAL CONNECTIONS.

REMOVALS NOTES

FURNITURE AND EQUIPMENT NOTES

206 COURT STREET  
PORTSMOUTH, NH

McHENRY  
ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire  
603.430.0274

NOT FOR CONSTRUCTION  
PERMIT SET ONLY

No.	Description	Date

Project Name:  
206 COURT STREET

Drawing Name:  
FLOOR PLANS

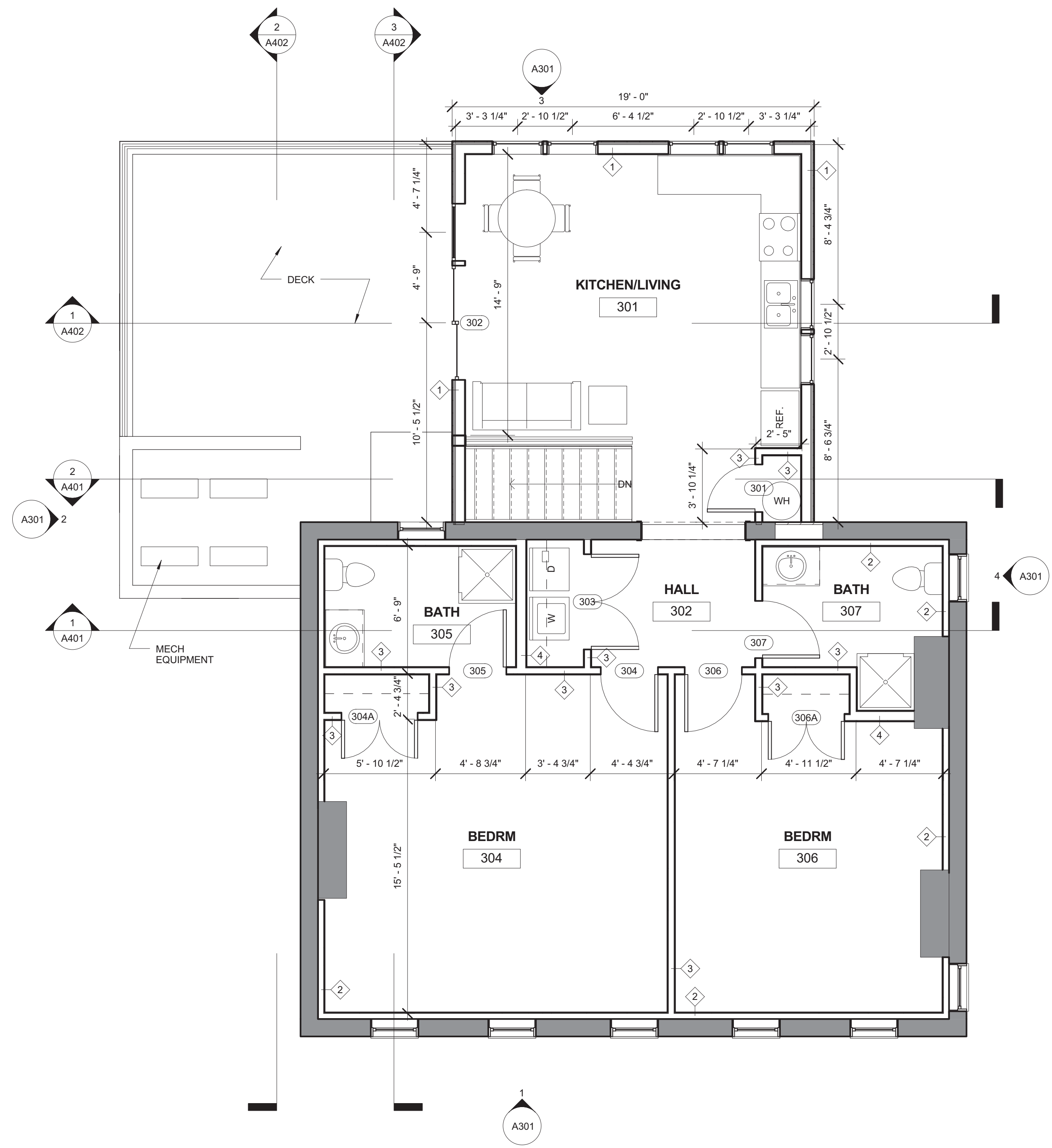
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Date: 06/20/2018  
Drawn by: MB  
Checked by: JJ

A101

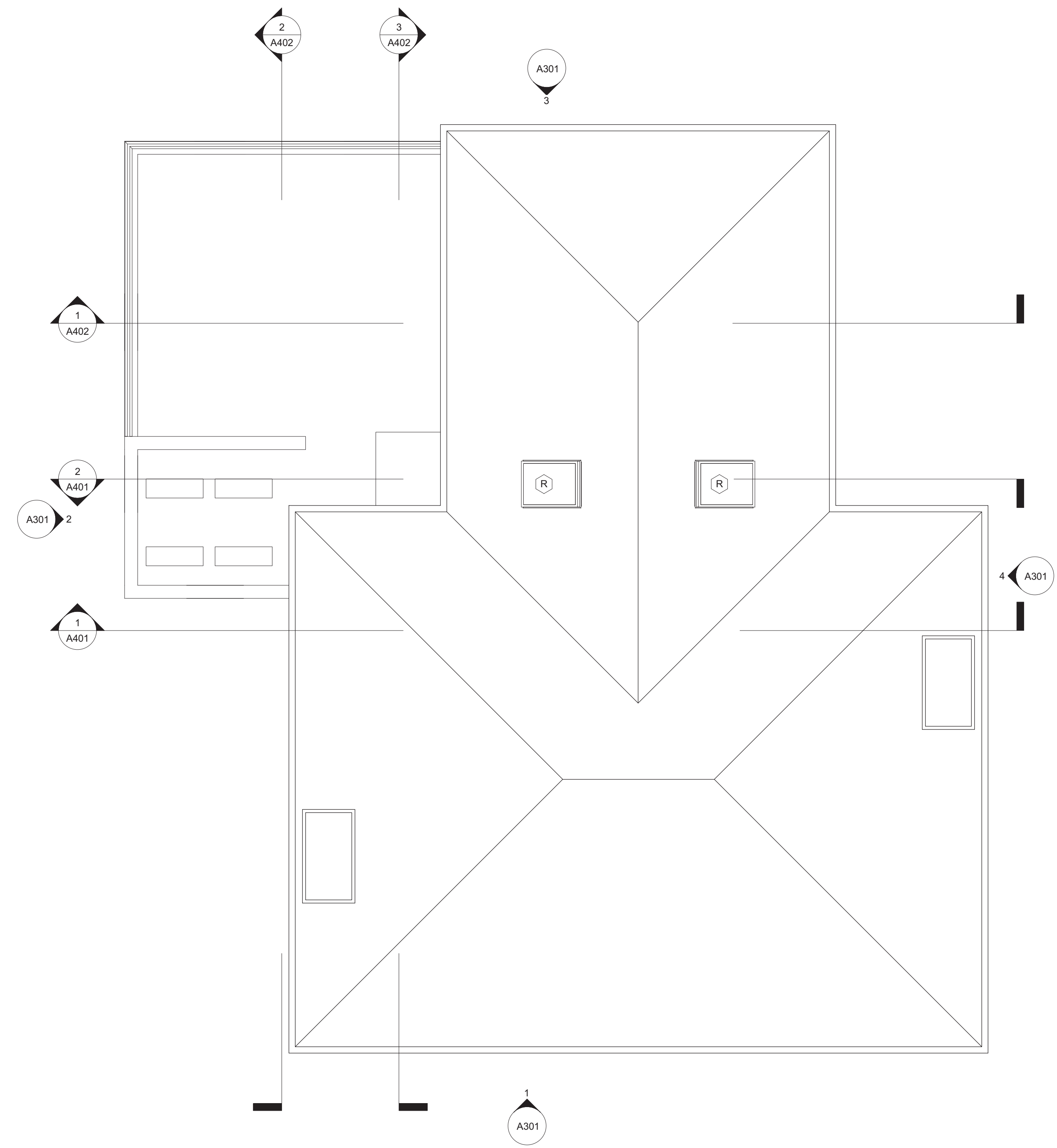
Scale: 1/4" = 1'-0"

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7/27/2018 7:40:24 AM



① THIRD FLOOR PLAN  
1/4" = 1'-0"



② ROOF PLAN  
1/4" = 1'-0"

206 COURT STREET  
PORTSMOUTH, NH

McHENRY  
ARCHITECTURE  
4 Market Street  
Portsmouth, New Hampshire  
603.430.0274

**NOT FOR CONSTRUCTION  
PERMIT SET ONLY**

No.	Description	Date

Project Name:  
206 COURT STREET

Drawing Name:  
FLOOR PLANS

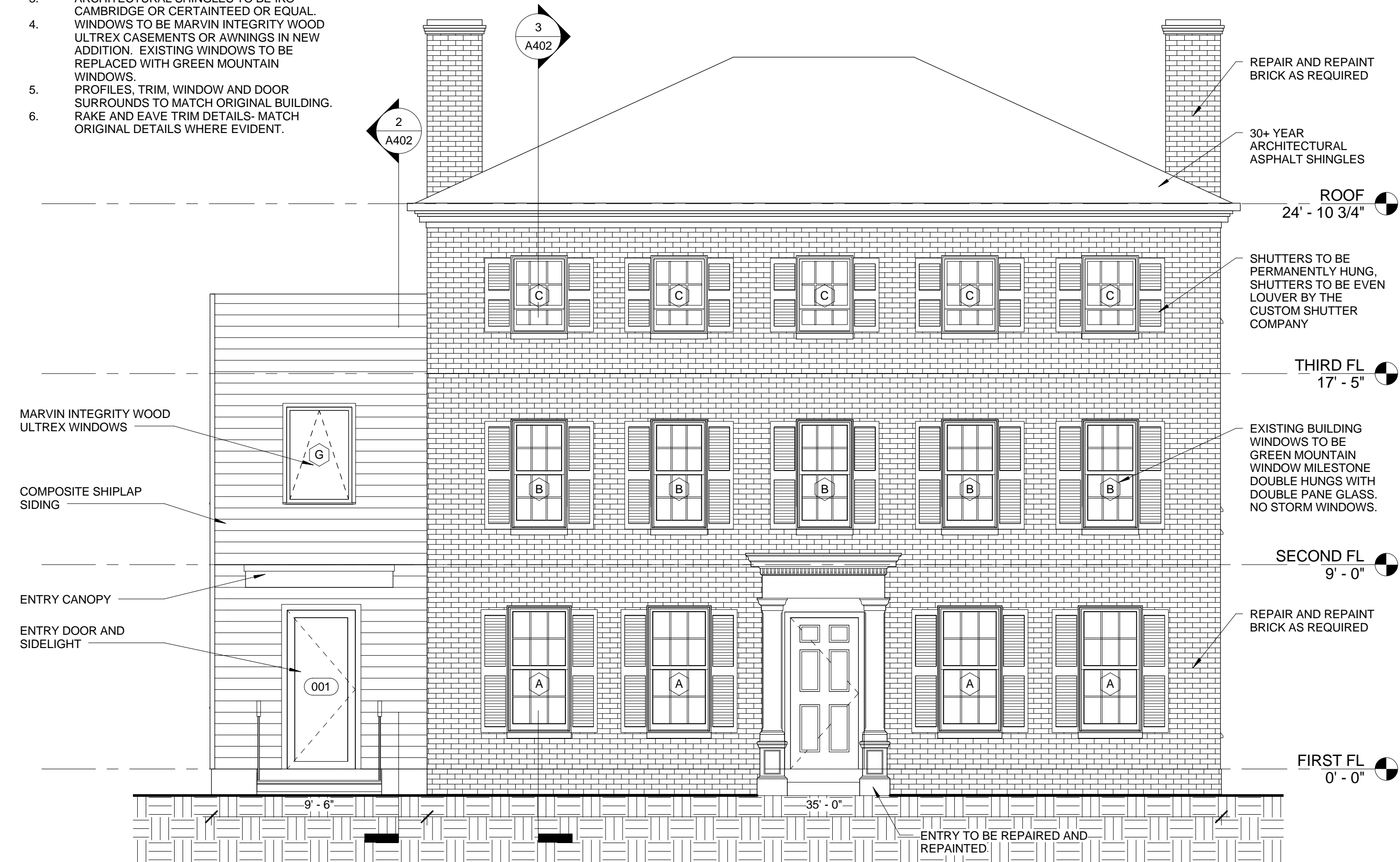
Project number: 18022  
Date: 06/20/2018  
Drawn by: MB  
Checked by: JJ

**A102**

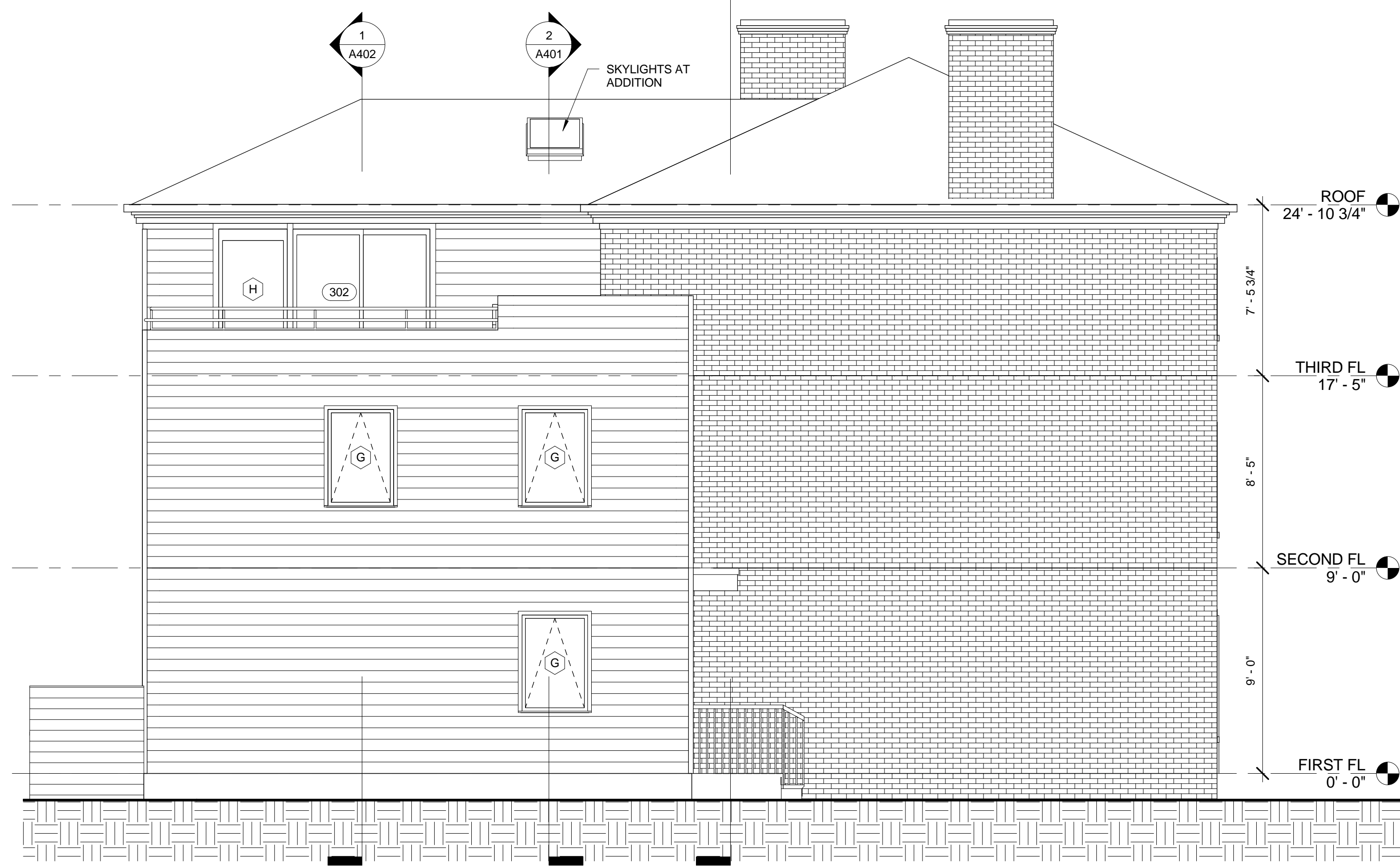
Scale: 1/4" = 1'-0"

**EXTERIOR FINISHES NOTES**

1. COLOR SELECTIONS FOR ALL MATERIALS TO BE PROVIDED TO OWNER FOR FINAL SELECTION AND APPROVAL.
2. TRIM TO BE COMPOSITE PLANK- AZEK OR EQUAL.
3. ARCHITECTURAL SHINGLES TO BE IKO CAMBRIDGE OR CERTAINTED OR EQUAL.
4. WINDOWS TO BE MARVIN INTEGRITY WOOD ULTREX CASEMENTS OR AWINGS IN NEW ADDITION. EXISTING WINDOWS TO BE REPLACED WITH GREEN MOUNTAIN WINDOWS.
5. PROFILES, TRIM, WINDOW AND DOOR SURROUNDS TO MATCH ORIGINAL BUILDING. RAKE AND EAVE TRIM DETAILS- MATCH ORIGINAL DETAILS WHERE EVIDENT.
- 6.



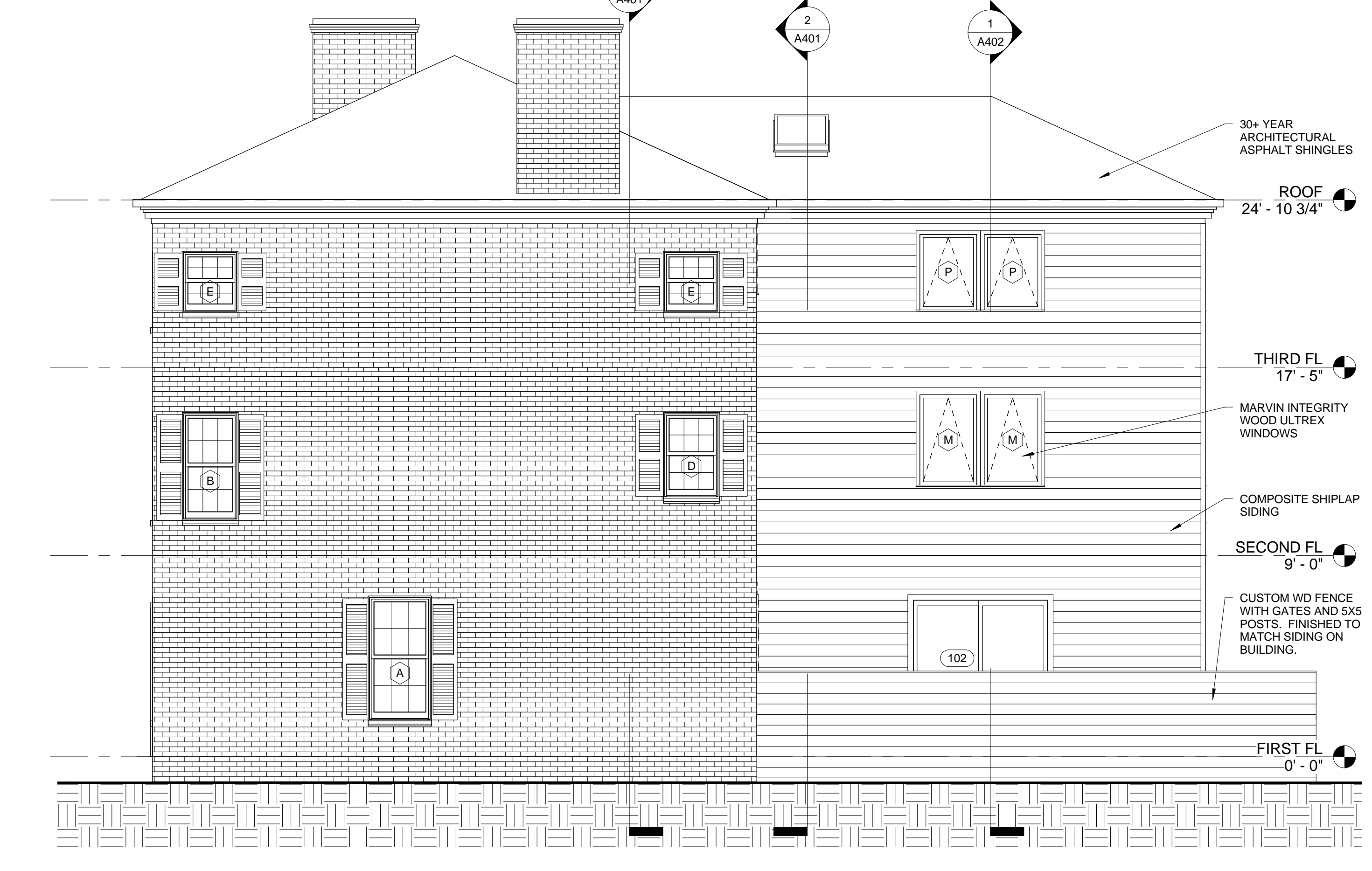
1 North Elevation  
1/4" = 1'-0"



2 East Elevation  
1/4" = 1'-0"



3 South Elevation  
1/4" = 1'-0"



4 West Elevation  
1/4" = 1'-0"

206 COURT STREET  
PORTSMOUTH, NH

**McHENRY ARCHITECTURE**  
4 Market Street  
Portsmouth, New Hampshire  
603.430.0274

**NOT FOR CONSTRUCTION PERMIT SET ONLY**

No.	Description	Date

Project Name:  
206 COURT STREET

Drawing Name:  
EXTERIOR ELEVATIONS

Project number: 18022  
Date: 06/20/2018  
Drawn by: MB  
Checked by: JJ

**A301**  
Scale: 1/4" = 1'-0"

**CITY OF PORTSMOUTH  
NEW HAMPSHIRE**

**SITE REVIEW  
APPLICATION**

Building Permit Application Number \_\_\_\_\_

Case Number \_\_\_\_\_

Fee \_\_\_\_\_

Map 116 Lot 34 Zone CD 4-L1 Wetlands: Inland \_\_\_\_\_ Coastal \_\_\_\_\_ Lot Area 2,937 SF

<b>Date of Approvals (Indicate if Pending)</b>			
Conservation Commission	<u>N/A</u>	Conditional Use	<u>Pending</u> Board of Adjustment <u>July 2018</u>
Historic District Commission	<u>July 2018</u>	Subdivision	<u>N/A</u> Other <u>N/A</u>

Street Address 206 Court Street

Description of Project including all use(s) Proposed Building Addition and conversion to 3 Dwelling Units including associated site improvements.

Building(s) Footprint 1,711 Gross Floor Area \_\_\_\_\_ #of Stories 3

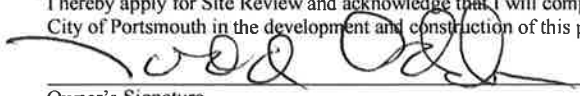
# of Dwelling Units 3 Number of Parking Spaces: Existing \_\_\_\_\_ Informal \_\_\_\_\_ Proposed 2

<small>Print Information Below</small>			
<b>Property Owner's Name</b> <u>206 Court Street, LLC</u>			
Street Address	<u>865 Islington Street</u>	City/Town	<u>Portsmouth</u> State <u>NH</u> Zip <u>03801</u>
Telephone #	<u>603-767-0766</u>	Fax #	<u>todda@rustandsalt.com</u>
Cell Phone #		Email Address	

<small>Print Information Below</small>			
<b>Applicant's / Developer's Name</b> <u>Same as Above</u>			
Street Address		City/Town	
Telephone #		Fax #	
Cell Phone #		Email Address	

<small>Print Information Below (Include Additional Contact Information on Next Page)</small>			
Check One: Owner's Attorney <input type="checkbox"/> Applicant's Attorney <input type="checkbox"/> Engineer <input checked="" type="checkbox"/> Surveyor <input type="checkbox"/> Other <input type="checkbox"/> If other, state relationship _____			
<b>Representative's Name</b> <u>John Chagnon, PE; Ambit Engineering</u>			
Street Address	<u>200 Griffin Road, Unit 3</u>	City/Town	<u>Portsmouth</u> State <u>NH</u> Zip <u>03801</u>
Telephone #	<u>603-430-9282</u>	Fax #	<u>jrc@ambitengineering.com</u>
Cell Phone #		Email Address	

I hereby apply for Site Review and acknowledge that I will comply with all the ordinances and any stipulations of the Site Review Committee of the City of Portsmouth in the development and construction of this project.

 TODD ADELMAN 9-14-18  
 Owner's Signature Print Owner's Name Date

SAME AS ABOVE  
 Applicant's/Developer's Signature Print Applicant's/Developer's Name Date

Print Information Below

Check One: Owner's Attorney  Applicant's Attorney  Engineer  Surveyor  Other  If other, state relationship \_\_\_\_\_

**Representative's Name** \_\_\_\_\_

Street Address \_\_\_\_\_ City/Town \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Telephone # \_\_\_\_\_ Cell Phone # \_\_\_\_\_ Fax # \_\_\_\_\_ Email Address \_\_\_\_\_

Print Information Below

Check One: Owner's Attorney  Applicant's Attorney  Engineer  Surveyor  Other  If other, state relationship \_\_\_\_\_

**Representative's Name** \_\_\_\_\_

Street Address \_\_\_\_\_ City/Town \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Telephone # \_\_\_\_\_ Cell Phone # \_\_\_\_\_ Fax # \_\_\_\_\_ Email Address \_\_\_\_\_

Print Information Below

Check One: Owner's Attorney  Applicant's Attorney  Engineer  Surveyor  Other  If other, state relationship \_\_\_\_\_

**Representative's Name** \_\_\_\_\_

Street Address \_\_\_\_\_ City/Town \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Telephone # \_\_\_\_\_ Cell Phone # \_\_\_\_\_ Fax # \_\_\_\_\_ Email Address \_\_\_\_\_

## Attachments

**The following materials must be submitted to the Planning Department along with the completed Application Form:**

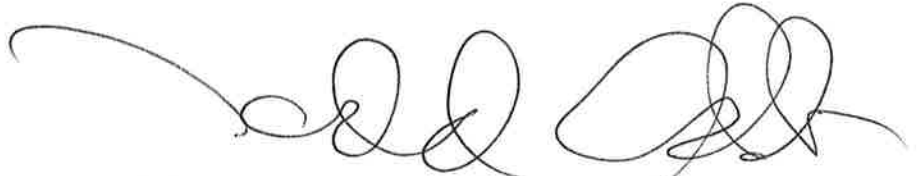
- Site Plan Application Checklist
- Ten (10) stamped and folded copies of the site plan – four (4) full-size (22" x 34") and six (6) reduced (11" x 17")
- Digital copy of any plans and/or exhibits (in PDF format)
- Application Fee
- Any required State or Federal Permits

AUTHORIZATION  
206 Court Street, Portsmouth, New Hampshire

I, Todd Adelman, of 206 Court Street, LLC, hereby authorize representatives of Ambit Engineering, Inc., McHenry Architects and Bosen & Associates, PLLC to represent its interests before the Portsmouth Planning Board and Technical Review Committee, and to submit any and all applications and materials related thereto on its behalf.

9-14-18

Date:

A handwritten signature in black ink, consisting of a long, sweeping horizontal line followed by several loops and a final flourish.

Todd Adelman, 206 Court Street, LLC

## STATEMENT OF AUTHORIZATION

The undersigned, Robert Thompson, President, of The Black Heritage Trail of New Hampshire, owner of property at 222 Court Street, Portsmouth, NH, does hereby authorize Bernard W. Pelech, as attorney, and Ambit Engineering to prepare and file any and all applications for the City of Portsmouth Zoning Board of Adjustment and Planning Board, and further authorizes Bernard W. Pelech and Ambit Engineering to represent our interests before the Zoning Board and/or Planning Board for the City of Portsmouth with regard to the property located on Court Street.

The Black Heritage Trail of New Hampshire

Dated: September 14, 2018

By:

  
Robert Thompson, President

Construction/Site Cost Estimate					
206 Court Street					9/17/2018
Portsmouth, NH					
Item No.	DESCRIPTION	Units	Quantity	Unit Cost	Total
1	Site - Earthwork	LS	1	\$ 25,000	\$ 25,000
2	Site - Landscaping	LS	1	\$ 1,200	\$ 1,200
3	Site - Asphalt	TON	24	\$ 360	\$ 8,640
4	Site - Pavers	SY	24	\$ 28	\$ 672
5	Site - Fence	LF	36	\$ 30	\$ 1,080
7	Site - Concrete Sidewalk	SF	108	\$ 25	\$ 2,700
8	Site - Brick Sidewalk	SF	24	\$ 30	\$ 720
11	Utility - Drain Pipes	LF	38	\$ 20	\$ 760
11	Utility - Drain Manhole/Catch Basin	EA	1	\$ 3,250	\$ 3,250
14	Utility - Electric, Phone, Cable	LF	90	\$ 8	\$ 720
15	Utility - Water Service	LF	60	\$ 40	\$ 2,400
18	Loam and Seed	LS	1	\$ 300	\$ 300
19	Erosion Control	LS	1	\$ 3,000	\$ 3,000
Sub-Total					\$ 50,442

**APPLICATION FEE:**

**\$500 + (\$50,442/1000 x \$5) + (3100/ 1,000 x \$10)= \$ 783.21**





# City of Portsmouth Building Permit

Inspection Department  
1 Junkins Avenue  
Portsmouth, NH 03801  
603-610-7243

**Permit Number:**  
32501  
**Date of Issue:**  
August 21, 2018  
**Expires:**  
Wed Aug 21 2019 12:31:19  
GMT+0000 (UTC)  
**Const. Cost:**  
\$35000.00

**Owner:** 206 COURT STREET LLC  
**Applicant:** Sandy Dewing  
**Contractor:** Sandy Dewing, Malthouse Construction Corp **Phone #:** 603-235-7021  
**Location:** 206 COURT ST

**Description of Work:** non use specific repairs to building envelope, all repairs have been HDC approved  
Trim repair and replacement to soffit and fascia along with front door surrounding trim conforming to HDC approved guidelines

**Zoning:** Character District 4-L1 (CD 4-L1)  
**Map/Lot:** 0116--0034--0000-  
**Design Occupant Load:**

**Min Constr. Type:** Commercial Office  
**Bldg. Code:** IBC **Edition:** 2009

**Remarks:**

- \* Construction per HDC approval/conditions of approval must be followed. Affidavite may be required from designer outlining compliance with HDC approval. Compliance Inspection and signoff required prior to permit closure. Contact Vincent Hayes for compliance inspection 603-427-9022
- \*Applicant must contact energy supplier to safe up any overhead electric lines that are within 10' of work area prior to start of repairs.

The PERMIT HOLDER has read this permit, the permit application, and the Building Official's marked-up plans and agrees to perform the work authorized including any conditions or requirements indicated thereon; and any stipulations imposed by a Land Use Board in conjunction with the project. The CONTRACTOR shall be responsible for notifying the Inspection Department 48 hours in advance, for FOUNDATION, FRAMING, and FINAL inspections. A Certificate of Occupancy is required for all Building Permits. Buildings shall not be occupied until ALL inspections (BUILDING, ELECTRICAL, PLUMBING, MECHANICAL, and FIRE) are complete and Occupancy has been issued. By signing this permit, the owner or his/her representative (Permit Holder), authorizes property access by city officials to conduct interior and exterior inspections and property tax assessments during and/or after the construction process.

**The Permit Card Shall Be Posted and Visible From the Street During Construction.**

**Code Official:**

This is an e-permit. To learn more, scan this barcode or

visit [.viewpointcloud.com/#!/records/](http://viewpointcloud.com/#!/records/)





# City of Portsmouth, New Hampshire

## Site Plan Application Checklist

This site plan application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan review regulations for full details.

**Applicant Responsibilities (Section 2.5.2):** Applicable fees are due upon application submittal along with required attachments. The application shall be complete as submitted and provide adequate information for evaluation of the proposed site development. Waiver requests must be submitted in writing with appropriate justification.

Name of Owner/Applicant: \_\_\_\_\_ Date Submitted: \_\_\_\_\_

Phone Number: \_\_\_\_\_ E-mail: \_\_\_\_\_

Site Address: \_\_\_\_\_ Map: \_\_\_\_\_ Lot: \_\_\_\_\_

Zoning District: \_\_\_\_\_ Lot area: \_\_\_\_\_ sq. ft.

Application Requirements			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Fully executed and signed Application form. <b>(2.5.2.3)</b>		N/A
<input type="checkbox"/>	All application documents, plans, supporting documentation and other materials provided in digital Portable Document Format (PDF) on compact disc, DVD or flash drive. <b>(2.5.2.8)</b>		N/A

Site Plan Review Application Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Statement that lists and describes "green" building components and systems. <b>(2.5.3.1A)</b>		
<input type="checkbox"/>	Gross floor area and dimensions of all buildings and statement of uses and floor area for each floor. <b>(2.5.3.1B)</b>		N/A
<input type="checkbox"/>	Tax map and lot number, and current zoning of all parcels under Site Plan Review. <b>(2.5.3.1C)</b>		N/A
<input type="checkbox"/>	Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. <b>(2.5.3.1D)</b>		N/A

**Site Plan Review Application Required Information**

<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>	<b>Waiver Requested</b>
<input type="checkbox"/>	Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property. <b>(2.5.3.1E)</b>		N/A
<input type="checkbox"/>	Names, addresses and telephone numbers of all professionals involved in the site plan design. <b>(2.5.3.1F)</b>		N/A
<input type="checkbox"/>	List of reference plans. <b>(2.5.3.1G)</b>		N/A
<input type="checkbox"/>	List of names and contact information of all public or private utilities servicing the site. <b>(2.5.3.1H)</b>		N/A

**Site Plan Specifications**

<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>	<b>Waiver Requested</b>
<input type="checkbox"/>	Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director. Submittals shall be a minimum of 11 inches by 17 inches as specified by Planning Dept. staff. <b>(2.5.4.1A)</b>	Required on all plan sheets	N/A
<input type="checkbox"/>	Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans. <b>(2.5.4.1B)</b>	Required on all plan sheets	N/A
<input type="checkbox"/>	GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. <b>(2.5.4.1C)</b>	Required on all plan sheets	N/A
<input type="checkbox"/>	Plans shall be drawn to scale. <b>(2.5.4.1D)</b>	Required on all plan sheets	N/A
<input type="checkbox"/>	Plans shall be prepared and stamped by a NH licensed civil engineer. <b>(2.5.4.1D)</b>	Required on all plan sheets	N/A
<input type="checkbox"/>	Wetlands shall be delineated by a NH certified wetlands scientist. <b>(2.5.4.1E)</b>		N/A
<input type="checkbox"/>	Title (name of development project), north point, scale, legend. <b>(2.5.4.2A)</b>	Required on all plan sheets	N/A
<input type="checkbox"/>	Date plans first submitted, date and explanation of revisions. <b>(2.5.4.2B)</b>	Required on all plan sheets	N/A
<input type="checkbox"/>	Individual plan sheet title that clearly describes the information that is displayed. <b>(2.5.4.2C)</b>	Required on all plan sheets	N/A

**Site Plan Specifications**

<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>	<b>Waiver Requested</b>
<input type="checkbox"/>	Source and date of data displayed on the plan. <b>(2.5.4.2D)</b>	Required on all plan sheets	N/A
<input type="checkbox"/>	A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations." <b>(2.5.4.2E)</b>	Required on all plan sheets	N/A
<input type="checkbox"/>	Plan sheets submitted for recording shall include the following notes: <ul style="list-style-type: none"> <li>a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds."</li> <li>b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director."</li> </ul> <b>(2.13.3)</b>		N/A
<input type="checkbox"/>	Plan sheets showing landscaping and screening shall also include the following additional notes: <ul style="list-style-type: none"> <li>a. "The property owner and all future property owners shall be responsible for the maintenance, repair and replacement of all required screening and landscape materials."</li> <li>b. "All required plant materials shall be tended and maintained in a healthy growing condition, replaced when necessary, and kept free of refuse and debris. All required fences and walls shall be maintained in good repair."</li> <li>c. "The property owner shall be responsible to remove and replace dead or diseased plant materials immediately with the same type, size and quantity of plant materials as originally installed, unless alternative plantings are requested, justified and approved by the Planning Board or Planning Director."</li> </ul> <b>(2.13.4)</b>		N/A

**Site Plan Specifications – Required Exhibits and Data**

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
	<b>1. Existing Conditions: (2.5.4.3A)</b>		
<input type="checkbox"/>	a. Surveyed plan of site showing existing natural and built features;		
<input type="checkbox"/>	b. Zoning boundaries;		
<input type="checkbox"/>	c. Dimensional Regulations;		
<input type="checkbox"/>	d. Wetland delineation, wetland function and value assessment;		
<input type="checkbox"/>	e. SFHA, 100-year flood elevation line and BFE data.		
	<b>2. Buildings and Structures: (2.5.4.3B)</b>		
<input type="checkbox"/>	a. Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation;		
<input type="checkbox"/>	b. Elevations: Height, massing, placement, materials, lighting, façade treatments;		
<input type="checkbox"/>	c. Total Floor Area;		
<input type="checkbox"/>	d. Number of Usable Floors;		
<input type="checkbox"/>	e. Gross floor area by floor and use.		
	<b>3. Access and Circulation: (2.5.4.3C)</b>		
<input type="checkbox"/>	a. Location/width of access ways within site;		
<input type="checkbox"/>	b. Location of curbing, right of ways, edge of pavement and sidewalks;		
<input type="checkbox"/>	c. Location, type, size and design of traffic signing (pavement markings);		
<input type="checkbox"/>	d. Names/layout of existing abutting streets;		
<input type="checkbox"/>	e. Driveway curb cuts for abutting prop. and public roads;		
<input type="checkbox"/>	f. If subdivision; Names of all roads, right of way lines and easements noted;		
<input type="checkbox"/>	g. AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC).		
	<b>4. Parking and Loading: (2.5.4.3D)</b>		
<input type="checkbox"/>	a. Location of off street parking/loading areas, landscaped areas/buffers;		
<input type="checkbox"/>	b. Parking Calculations (# required and the # provided).		
	<b>5. Water Infrastructure: (2.5.4.3E)</b>		
<input type="checkbox"/>	a. Size, type and location of water mains, shut-offs, hydrants & Engineering data;		
<input type="checkbox"/>	b. Location of wells and monitoring wells (include protective radii).		
	<b>6. Sewer Infrastructure: (2.5.4.3F)</b>		
<input type="checkbox"/>	a. Size, type and location of sanitary sewage facilities & Engineering data.		
	<b>7. Utilities: (2.5.4.3G)</b>		
<input type="checkbox"/>	a. The size, type and location of all above & below ground utilities;		
<input type="checkbox"/>	b. Size type and location of generator pads, transformers and other fixtures.		

**Site Plan Specifications – Required Exhibits and Data**

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	<b>8. Solid Waste Facilities: (2.5.4.3H)</b>		
<input type="checkbox"/>	a. The size, type and location of solid waste facilities.		
<input type="checkbox"/>	<b>9. Storm water Management: (2.5.4.3I)</b>		
<input type="checkbox"/>	a. The location, elevation and layout of all storm-water drainage.		
<input type="checkbox"/>	<b>10. Outdoor Lighting: (2.5.4.3J)</b>		
<input type="checkbox"/>	a. Type and placement of all lighting (exterior of building, parking lot and any other areas of the site) and; b. photometric plan.		
<input type="checkbox"/>	<b>11. Indicate where dark sky friendly lighting measures have been implemented. (10.1)</b>		
<input type="checkbox"/>	<b>12. Landscaping: (2.5.4.3K)</b>		
<input type="checkbox"/>	a. Identify all undisturbed area, existing vegetation and that which is to be retained;		
<input type="checkbox"/>	b. Location of any irrigation system and water source.		
<input type="checkbox"/>	<b>13. Contours and Elevation: (2.5.4.3L)</b>		
<input type="checkbox"/>	a. Existing/Proposed contours (2 foot minimum) and finished grade elevations.		
<input type="checkbox"/>	<b>14. Open Space: (2.5.4.3M)</b>		
<input type="checkbox"/>	a. Type, extent and location of all existing/proposed open space.		
<input type="checkbox"/>	<b>15. All easements, deed restrictions and non-public rights of ways. (2.5.4.3N)</b>		
<input type="checkbox"/>	<b>16. Location of snow storage areas and/or off-site snow removal. (2.5.4.3O)</b>		
<input type="checkbox"/>	<b>17. Character/Civic District (All following information shall be included): (2.5.4.3Q)</b>		
<input type="checkbox"/>	a. Applicable Building Height (10.5A21.20 & 10.5A43.30);		
<input type="checkbox"/>	b. Applicable Special Requirements (10.5A21.30);		
<input type="checkbox"/>	c. Proposed building form/type (10.5A43);		
<input type="checkbox"/>	d. Proposed community space (10.5A46).		

<b>Other Required Information</b>			
<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>	<b>Waiver Requested</b>
<input type="checkbox"/>	Traffic Impact Study or Trip Generation Report, as required. <i>(Four (4) hardcopies of the full study/report and Six (6) summaries to be submitted with the Site Plan Application) (3.2.1-2)</i>		
<input type="checkbox"/>	Indicate where Low Impact Development Design practices have been incorporated. <b>(7.1)</b>		
<input type="checkbox"/>	Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. <b>(7.3.1)</b>		
<input type="checkbox"/>	Indicate where measures to minimize impervious surfaces have been implemented. <b>(7.4.3)</b>		
<input type="checkbox"/>	Calculation of the maximum effective impervious surface as a percentage of the site. <b>(7.4.3.2)</b>		
<input type="checkbox"/>	Stormwater Management and Erosion Control Plan. <i>(Four (4) hardcopies of the full plan/report and Six (6) summaries to be submitted with the Site Plan Application) (7.4.4.1)</i>		

<b>Final Site Plan Approval Required Information</b>			
<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>	<b>Waiver Requested</b>
<input type="checkbox"/>	All local approvals, permits, easements and licenses required, including but not limited to: <ul style="list-style-type: none"> <li>a. Waivers;</li> <li>b. Driveway permits;</li> <li>c. Special exceptions;</li> <li>d. Variances granted;</li> <li>e. Easements;</li> <li>f. Licenses.</li> </ul> <b>(2.5.3.2A)</b>		
<input type="checkbox"/>	Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: <ul style="list-style-type: none"> <li>a. Calculations relating to stormwater runoff;</li> <li>b. Information on composition and quantity of water demand and wastewater generated;</li> <li>c. Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls;</li> <li>d. Estimates of traffic generation and counts pre- and post-construction;</li> <li>e. Estimates of noise generation;</li> <li>f. A Stormwater Management and Erosion Control Plan;</li> <li>g. Endangered species and archaeological / historical studies;</li> <li>h. Wetland and water body (coastal and inland) delineations;</li> <li>i. Environmental impact studies.</li> </ul> <b>(2.5.3.2B)</b>		

**Final Site Plan Approval Required Information**

<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>	<b>Waiver Requested</b>
<input type="checkbox"/>	A document from each of the required private utility service providers indicating approval of the proposed site plan and indicating an ability to provide all required private utilities to the site. <b>(2.5.3.2D)</b>		
<input type="checkbox"/>	A list of any required state and federal permit applications required for the project and the status of same. <b>(2.5.3.2E)</b>		

**Applicant's Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_





17 September, 2018

**Trip Generation Calculation**  
**Site Redevelopment**  
**206 Court Street**  
**Portsmouth, NH**

The purpose of this calculation is to identify the net change in vehicle trips expected to be generated by the site development at 206 Court Street. Currently the lot has a three story building previously used as classroom and office space for South Church. The proposed plan is to add an addition to the building and convert the building to three residential units.

In developing the expected trips Ambit Engineering considered the standard trip generation rates and equations published in the Institute of Transportation Engineers (ITE) Trip Generation Manual, 9<sup>th</sup> Edition (2012). The land use category that best correlates with the existing use is General Office Building (ITE Land Use Code 710). The land use category that best correlates with the proposed use is Residential Condominium/Townhouse (ITE Land Use Code 230). The trip rates, based upon the number of dwelling units of the buildings are summarized below for the **Weekday AM and PM Peak Hour**:

Trip Generation Summary

Existing – AM Peak Hour

General Office Building (0.48 trips per employee)     0.48 x 4 employees = 2 trips  
Total     2 trips

Proposed – AM Peak Hour

Condominium/Townhouse (0.44 trips per dwelling unit)     0.44 x 3 units = 2 trips  
Total     2 trips

Existing – PM Peak Hour

General Office Building (0.46 trips per employee)     0.46 x 4 employees = 2 trips  
Total     2 trips

Proposed – PM Peak Hour

Condominium/Townhouse (0.52 trips per dwelling unit)     0.52 x 3 units = 2 trips  
Total     2 trips

Trip Generation Impact

Based on the calculations there is no increase in peak hour trips anticipated with this project.

Please feel free to call if you have any questions or comments.

Sincerely,

A handwritten signature in black ink, appearing to be 'JRC', with a long horizontal line extending to the right.

John R. Chagnon, Project Manager

October 2, 2018

City of Portsmouth Planning Board

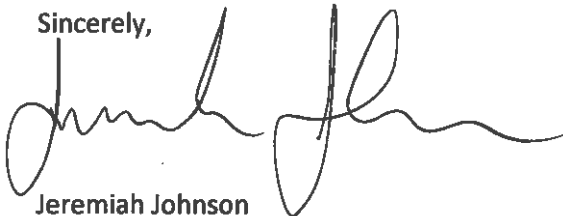
**GREEN BUILDING STATEMENT**

Re: Proposed 3 Unit Residential in Renovated Building at 206 Court Street, Portsmouth, NH

The building envelope of the proposed new addition at 206 Court Street is being designed to meet or exceed the prescriptive method of the current State of NH adopted 2009 International Energy Code requirements. The existing exterior masonry wall of the existing building will be furred out with additional 2x4 framing that will be filled with closed cell spray foam to also meet the 2009 International Energy Code requirements.

- Foundation system of addition to be cast in place concrete with continuous rigid insulation installed to depths required by the energy code. Continuous insulation to be provided under the concrete slab on grade for 2 feet along the exterior wall.
- Exterior walls of addition to have cavity filled with closed cell spray foam insulation and a continuous air barrier. Exterior skin of building to be masonry.
- Exterior Windows to have thermally broken aluminum framing with insulated, high-performance glazing to provide enhanced thermal performance and solar control. (Exterior windows in existing building to be all wood)
- Roofing system: Lighter colored architectural asphalt shingle roofing system over cavity filled with closed cell spray foam insulation.
- HVAC systems to consist of high-efficiency heat pumps
- Plumbing: All fixtures to be low flow.
- Lighting: Exterior lighting to be LED cutoff fixtures for energy efficiency and to minimize light pollution. All interior lighting to be LED throughout using less than 1 watt / sf and perimeter daylight sensors. Occupancy sensors to be utilized as required by code.
- Landscaping: local species that are drought tolerant to be incorporated into plantings list.

Sincerely,



Jeremiah Johnson  
Senior Associate