

AMBIT ENGINEERING, INC.

CIVIL ENGINEERS AND LAND SURVEYORS

200 Griffin Road, Unit 3, Portsmouth, NH 03801

Phone (603) 430-9282 Fax 436-2315

8 October, 2019

Juliet Walker, Chair
City of Portsmouth Technical Advisory Committee
1 Junkins Avenue
Portsmouth, NH 03801

RE: Request for TAC Workshop at 60 Penhallow Street, Brick Market, Redevelopment Site Plan

Dear Ms. Walker:

On behalf of Mark McNabb and Dagny Taggart, LLC we are pleased to submit the attached plan set for **TAC Workshop Consultation** for the above-mentioned project at your October 15, 2019 Technical Advisory Committee Meeting. The project includes proposed new construction of a 4 story commercial building to be known as 60 Penhallow Street with the associated required site improvements. The site is currently a surface parking lot at the corner of Penhallow and Daniel Streets, on the opposite corner of the McIntire Building. The site redevelopment offers an excellent opportunity to link the McIntire Building site with Market Square by creating public access across the submitted and adjacent properties owned by the applicant and known as Tax Map 107, Lots 27 and 31. The TAC Committee will recall the recently submitted plans for the renovation of 3 Pleasant Street, the first part of the Brick Market project. This proposal involves the addition of a third property owned by Coventry Assets, LTD, that when taken together, as proposed herein, create a Community Development Area totaling 49,257 SF, which is greater than 1 acre. Under the Portsmouth Ordinance Section 10.5A43.43 this allows a developer to offer 20 % – 30 % Open Space in exchange for larger building footprints and 1 additional building story.

The application presented will use all three abutting properties to achieve the 30% minimum community space requirement allowing the added development under Section 10.5A43.43. This application will create community space easements connecting 30 and 60 Penhallow to 3 Pleasant Street for the larger footprint. This application seeks Technical Advisory Committee input herein under the **TAC Workshop Consultation** process.

The submission includes information from the project HDC Application, which includes Building Renderings and Color Details of the landscaping site amenities.

The following plans are included in our submission:

- Cover Sheet – This shows the Development Team, Legend, Site Location, and Site Zoning.
- Standard Boundary Survey Plan and Easement Plan – These plans show the existing property boundaries and property easements on the entire Community Development Area.
- Master Plan Existing Conditions – This plan shows the existing features and boundary of the Community Development Area.
- Master Plan Community Open Space – This plan shows the 30 % of the Community Development Area that will be dedicated as Open Space.
- Existing Conditions Plan C1 – This plan shows the existing conditions on the 60 Penhallow site.
- Demolition Plan C2 – This plan shows the removal of the existing features on the subject site.
- Site Layout Plan C3 – This plan shows the site development at 60 Penhallow in detail with the associated Zoning Calculations.
- Landscape Plan – This plan shows Site Landscape and Hardscape for the proposed development in the entire Community Development Area.
- Utility Plan C4 – This plan shows the proposed site utilities.
- Grading and Drainage Plan C5 – This plan shows proposed grading and preliminary drainage.
- Floor Plan A0.01 – This plan shows the building First Floor Level.
- Exterior Elevation Plan A0.02 & A0.03 – These plan shows the proposed building exterior elevations.
- First and Second Parking Floor Plans A0.00A and A0.00B – These plans show the two parking decks within the building that will provide underground parking to service the building.

Included in this submission is a preliminary Drainage Analysis; including cut sheets of the proposed strip drains.

We look forward to the TAC Committee's review of this submission and your feedback on the proposed design.

Sincerely,

John Chagnon

John R. Chagnon, PE

CC: Mark McNabb, Tracy Kozak, Robbi Woodburn, FX Bruton

3 June, 2019

To Whom It May Concern

RE: Client Representation for a proposed Site Plan for Dagny Taggart (McNabb Properties, Applicant) at 3 Pleasant Street, Portsmouth, NH

This letter is to inform the City of Portsmouth, NHDES, and other parties in accordance with State Law that Ambit Engineering is authorized to represent the above-mentioned property as my agent in the approval process. This includes signatory powers on any and all applications.

Please feel free to call me if there is any question regarding this authorization.

Sincerely,



Mark McNabb
Dagny Taggart, LLC; McNabb Properties, LLC

30 Penhallow Street
Suite 300 East
Portsmouth, NH
03801

SITE REDEVELOPMENT

BRICK MARKET

60 PENHALLOW STREET

PORTSMOUTH, NEW HAMPSHIRE

SITE PERMIT PLANS

OWNER:
DAGNY TAGGART, LLC
APPLICANT:
MCNABB PROPERTIES, LTD
30 PENHALLOW ST, STE 300 EAST
PORTSMOUTH, NH 03801
(603) 427-0725

CIVIL ENGINEER & LAND SURVEYOR:

AMBIT ENGINEERING, INC.
200 GRIFFIN ROAD, UNIT 3
PORTSMOUTH, N.H. 03801
Tel. (603) 430-9282
Fax (603) 436-2315

STRUCTURAL ENGINEER:

JSN ASSOCIATES, LLC
1 AUTUMN STREET
PORTSMOUTH NH, 03801
TEL.(603) 433-8639

MEP & FIRE PROTECTION:

PETERSEN ENGINEERING
127 PARROTT AVENUE
PORTSMOUTH NH, 03801
TEL.(603) 436-4233

ATTORNEY:
FX BRUTON
BRUTON & BERUBE, PLLC
601 CENTRAL AVENUE
DOVER, NH 03820
(603) 749-4529

LANDSCAPE ARCHITECT:

WOODBURN & COMPANY
103 KENT PLACE
NEWMARKET, NH 03857
TEL. (603) 659-5949
FAX (603) 659-5939

ARCHITECT:

JSA ARCHITECTS
273 CORPORATE DRIVE
SUITE 100
PORTSMOUTH NH 03801
TEL. (603) 436-2551
FAX (603) 436-6973

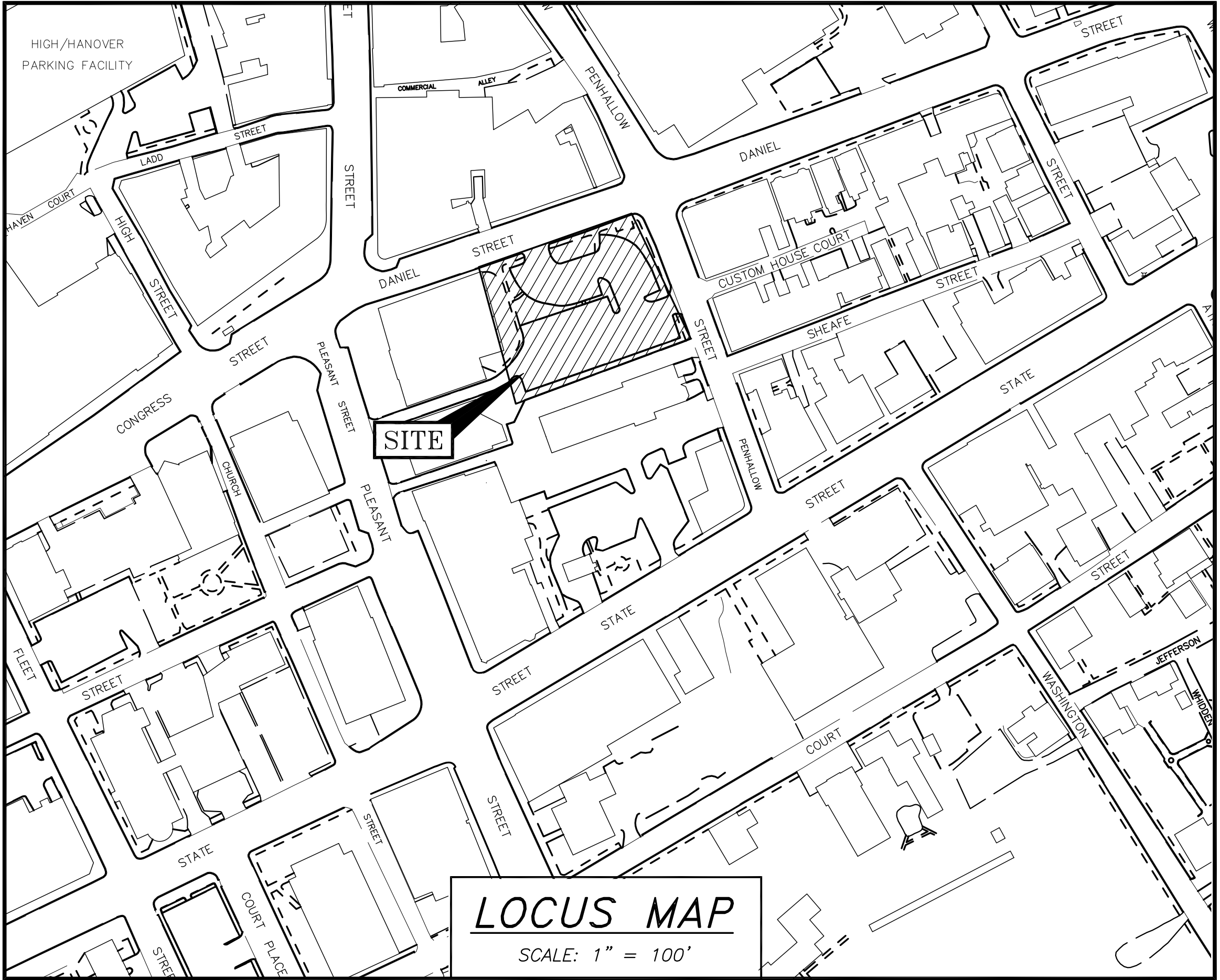
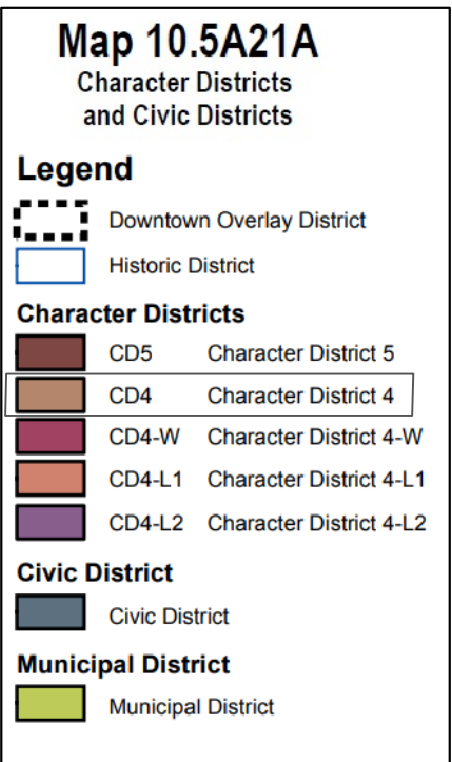
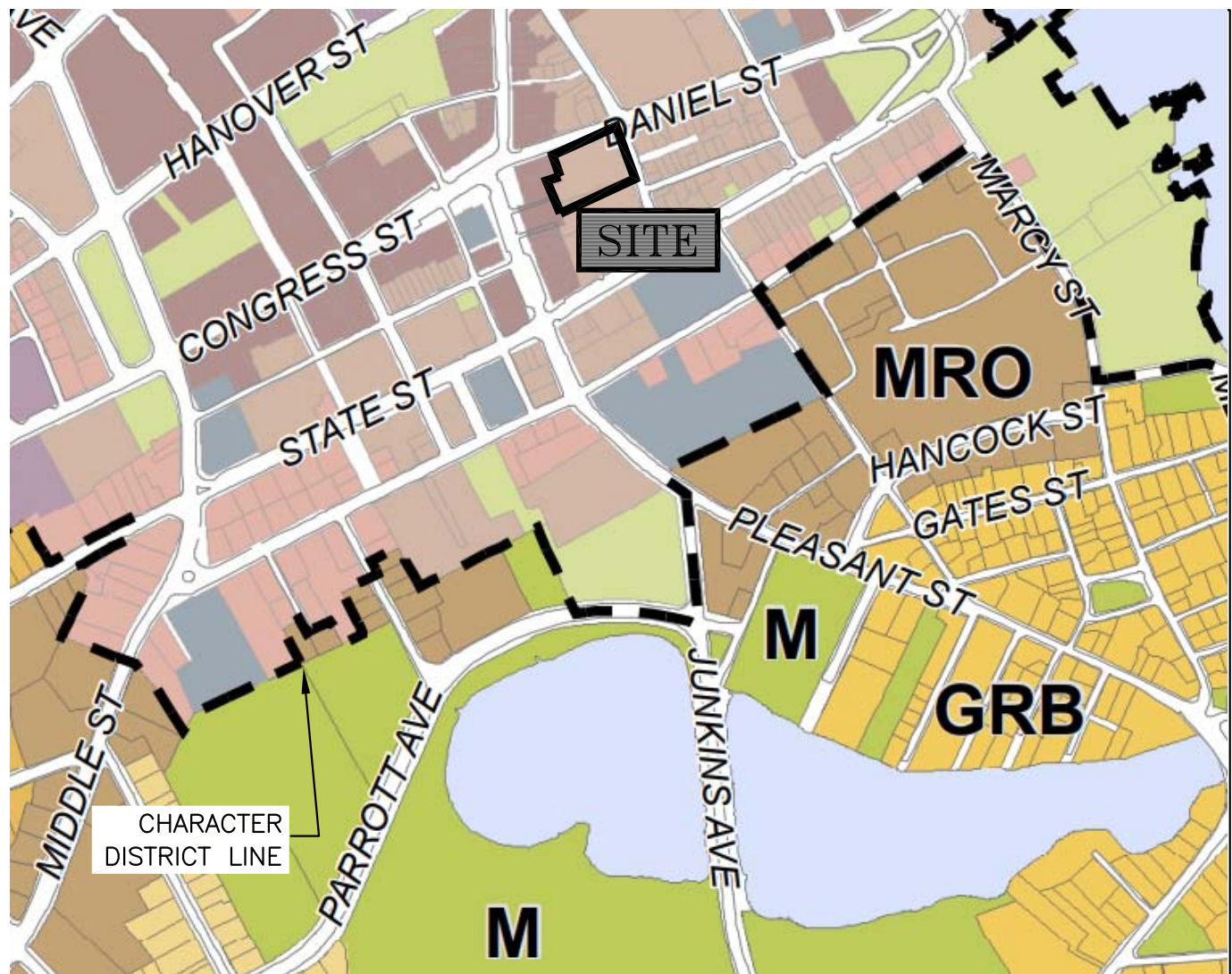
GEOTECHNICAL ENGINEER:

GSI
18 COTE AVENUE #11
GOFFSTOWN NH 03045
TEL. (603) 624-2722

PERMIT LIST:
PORTSMOUTH HDC
PORTSMOUTH ZONING BOARD
PORTSMOUTH SITE REVIEW

LEGEND:

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	SETBACK
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	G	GAS LINE
D	D	STORM DRAIN
W	W	WATER LINE
WS	WS	WATER SERVICE
UGE	UGE	UNDERGROUND ELECTRIC
OHW	OHW	OVERHEAD ELECTRIC/WIRES
---	UD	FOUNDATION DRAIN
---	---	EDGE OF PAVEMENT (EP)
100	100	CONTOUR
97x3	98x0	SPOT ELEVATION
⊙	⊙	UTILITY POLE
⊙	⊙	WALL MOUNTED EXTERIOR LIGHTS
⊙	⊙	TRANSFORMER ON CONCRETE PAD
⊙	⊙	ELECTRIC HANDHOLD
⊙	⊙	SHUT OFFS (WATER/GAS)
⊙	⊙	GATE VALVE
⊙	⊙	HYDRANT
⊙	⊙	CATCH BASIN
⊙	⊙	SEWER MANHOLE
⊙	⊙	DRAIN MANHOLE
⊙	⊙	TELEPHONE MANHOLE
⊙	⊙	PARKING SPACE COUNT
⊙	⊙	PARKING METER
⊙	⊙	LANDSCAPED AREA
⊙	⊙	TO BE DETERMINED
⊙	⊙	CAST IRON PIPE
⊙	⊙	COPPER PIPE
⊙	⊙	DUCTILE IRON PIPE
⊙	⊙	POLYVINYL CHLORIDE PIPE
⊙	⊙	REINFORCED CONCRETE PIPE
⊙	⊙	ASBESTOS CEMENT PIPE
⊙	⊙	VITRIFIED CLAY PIPE
⊙	⊙	EDGE OF PAVEMENT
⊙	⊙	ELEVATION
⊙	⊙	FINISHED FLOOR
⊙	⊙	INVERT
⊙	⊙	SLOPE FT/FT
⊙	⊙	TEMPORARY BENCH MARK
⊙	⊙	TYPICAL



PORTSMOUTH APPROVAL CONDITIONS NOTE:
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN
PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF
PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE

DWG. No.

- STANDARD BOUNDARY SURVEY
- EASEMENT PLAN (EXISTING & PROPOSED)
- MASTER PLAN — EXISTING CONDITIONS
- MASTER PLAN — COMMUNITY OPEN SPACE
- C1 EXISTING CONDITIONS PLAN
- C2 DEMOLITION PLAN
- C3 SITE LAYOUT PLAN
- L1 LANDSCAPE PLAN
- C4 UTILITY PLAN
- C5 GRADING & DRAINAGE PLAN

A0.01-A0.03 ARCHITECTURAL PLANS AND ELEVATION

A0.00A-A0.00B ARCHITECTURAL PARKING PLANS

UTILITY CONTACTS

ELECTRIC:
EVERSOURCE
1700 LAFAYETTE ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 436-7708, Ext. 555.5678
ATTN: MICHAEL BUSBY, P.E. (MANAGER)

SEWER & WATER:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 427-1530
ATTN: JIM TOW

NATURAL GAS:
UNITIL
325 WEST ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 294-5144
ATTN: DAVE BEAULIEU

COMMUNICATIONS:
FAIRPOINT COMMUNICATIONS
JOE CONSIDINE
1575 GREENLAND ROAD
GREENLAND, N.H. 03840
Tel. (603) 427-5525

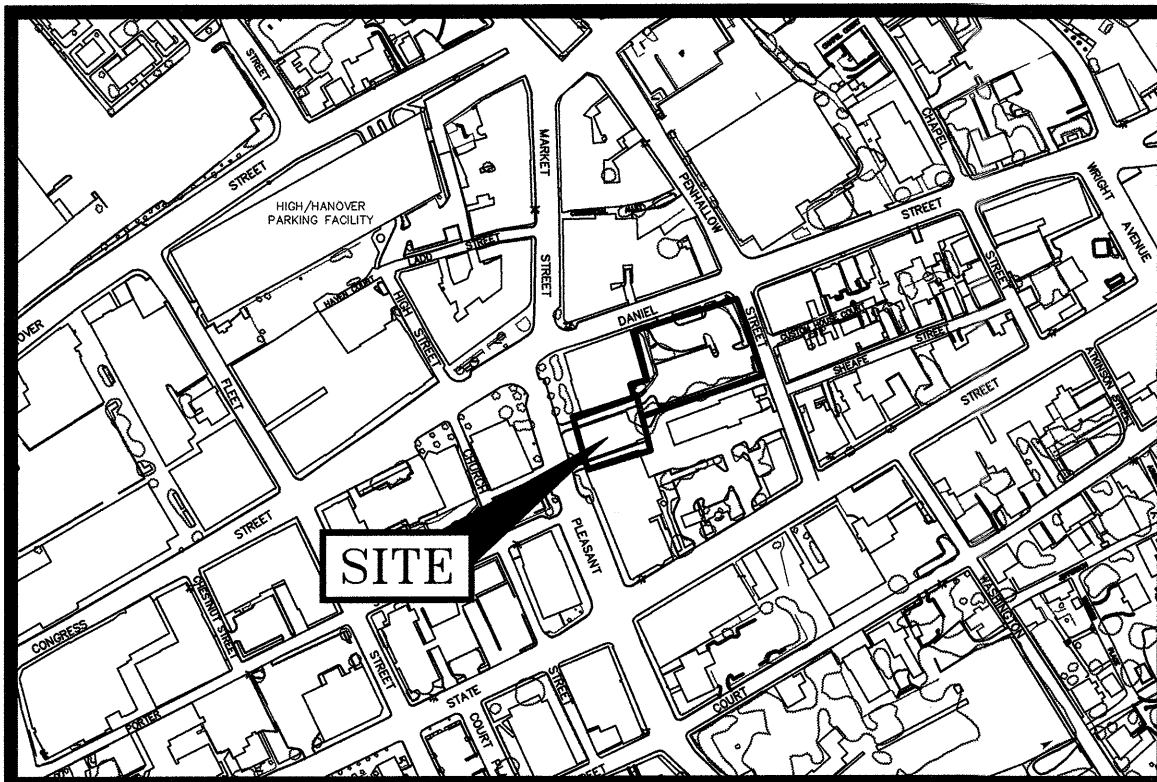
CABLE:
COMCAST
155 COMMERCE WAY
PORTSMOUTH, N.H. 03801
Tel. (603) 679-5695 (X1037)
ATTN: MIKE COLLINS

SITE PERMIT PLANS
MCNABB PROPERTIES, LTD.
60 PENHALLOW STREET
PORTSMOUTH, N.H.



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

PLAN SET SUBMITTAL DATE: 8 OCTOBER 2019



LOCATION MAP

SCALE 1"=300'

LEGEND:

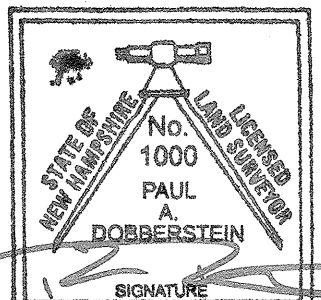
- N/F
RP
RCRD
11
21
- BOUNDARY
SETBACK
RAILROAD SPIKE FOUND
IRON ROD/PIPE FOUND
DRILL HOLE FOUND
STONE/CONCRETE BOUND FOUND
RAILROAD SPIKE SET
IRON ROD SET
DRILL HOLE SET
GRANITE BOUND SET
SEWER LINE
GAS LINE
STORM DRAIN
WATER LINE
UNDERGROUND ELECTRIC
OVERHEAD ELECTRIC/WIRES
CONTOUR
SPOT ELEVATION
EDGE OF PAVEMENT (EP)
WOODS / TREE LINE
UTILITY POLE (w/ GUY)
GAS SHUT OFF
WATER SHUT OFF/CURB STOP
GATE VALVE
HYDRANT
METER (GAS, WATER, ELECTRIC)
CATCH BASIN
TELEPHONE MANHOLE
SEWER MANHOLE
DRAIN MANHOLE
AIR CONDITIONER UNIT
SIGNS
ASBESTOS CEMENT PIPE
CAST IRON PIPE
CORRUGATED METAL PIPE
CONCRETE MASONRY UNIT
COPPER PIPE
DUCTILE IRON PIPE
POLYVINYL CHLORIDE PIPE
REINFORCED CONCRETE PIPE
VITRIFIED CLAY PIPE
ELEVATION
EDGE OF PAVEMENT
FINISHED FLOOR
INVERT
TEMPORARY BENCHMARK
TYPICAL
VERTICAL/SLOPED GRANITE CURB
CAPE COD BERM
LANDSCAPED AREA
- AC
CI
CMP
CMU
COP
DI
PVC
RCP
VC
EL.
EP
F.F.
INV.
TBM
TYP.
VGC/SGC
CCB
LSA

I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

PAUL A. DOBBERSTEIN, LLS #1000

DATE



PLAN REFERENCES:

- 1) PLAN OF LAND FOR INDIAN HEAD BANK OF PORTSMOUTH, DANIEL & PENHALLOW STREETS, PORTSMOUTH, NH. PREPARED BY TOWN PLANNING AND ENGINEERING ASSOC. INC. DATED JUNE 10, 1977, FINAL REVISION DATE AUGUST 30, 1978. R.C.R.D. PLAN C-8101.
- 2) PLAN OF LAND FOR INDIAN HEAD BANK OF PORTSMOUTH, DANIEL & PENHALLOW STREETS, COUNTY OF ROCKINGHAM, PORTSMOUTH, NEW HAMPSHIRE. PREPARED BY TOWN PLANNING AND ENGINEERING ASSOC., INC. R.C.R.D. PLAN C-7121.
- 3) LAND IN PORTSMOUTH COUNTY OF ROCKINGHAM TO CITY OF PORTSMOUTH, PORTSMOUTH, NH. PREPARED BY JOHN W. DURGIN, FILE NUMBER NO. 555 PLAN NO 7171. R.C.R.D. PLAN #01878.
- 4) SUBDIVISION OF LAND PORTSMOUTH, NH FOR SUSAN PETRIE-CLEMONS. PREPARED BY JOHN W. DURGIN ASSOCIATES, INC. DATED AUGUST 13, 1981. R.C.R.D. PLAN C-11434.

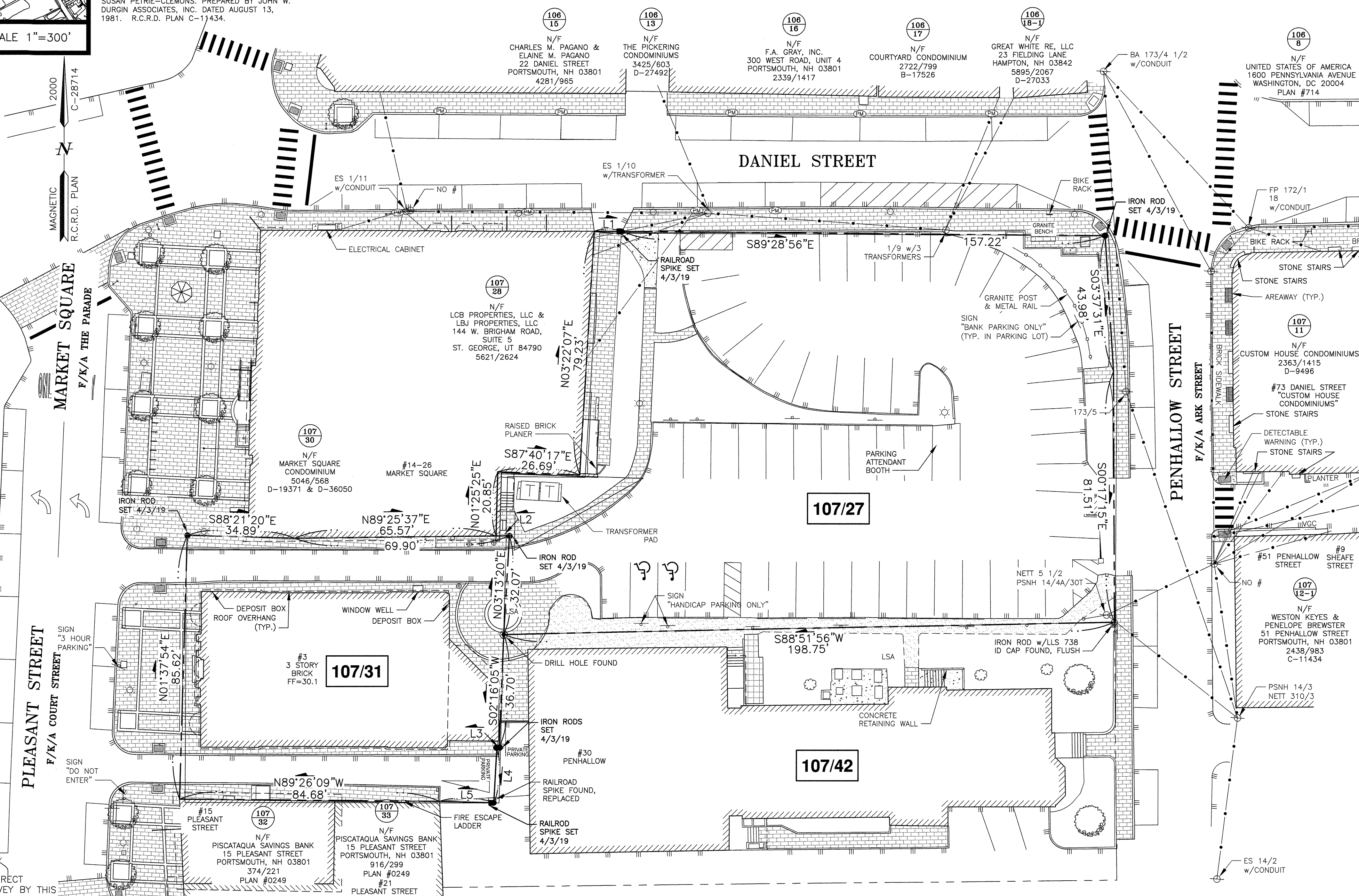
- 5) AS BUILT PLAN FOR INDIAN HEAD BANK OF PORTSMOUTH, PLEASANT STREET, PORTSMOUTH, N.H. COUNTY OF ROCKINGHAM PREPARED BY TOWN PLANNING AND ENGINEERING ASSOC. INC. DATED JANUARY 29, 1980, FINAL REVISION DATE FEBRUARY 19, 1980. NOT RECORDED.
- 6) PLAN OF LAND OF PORTSMOUTH TRUST CO., MARKET SQUARE, PORTSMOUTH N.H. PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, FILE NO. 555 PLAN NO. 6427. DATED JULY 1957. R.C.R.D. PLAN #02644.
- 7) PLAN OF PROPERTIES ON STATE AND PLEASANT STS., PORTSMOUTH, N.H. OWNED BY FREDERICK GARDNER AND PISCATAQUA BANK. PREPARED BY WILLIAM A. GROVER CIVIL ENGINEER. DATED SEPT 10, 1919. R.C.R.D. PLAN #0249.
- 8) WATER LINE EASEMENT, 28 PENHALLOW STREET, PORTSMOUTH, NH. DATED OCTOBER 13, 1989. NOT RECORDED.

- 9) LOT CONSOLIDATION, PORTSMOUTH N.H. FOR AMERICAN BANK DESIGN. PREPARED BY DURGIN-SCHOFIELD ASSOCIATES. DATED APRIL 20, 1988, FINAL REVISION MAY 17, 1988. R.C.R.D. PLAN D-18233.
- 10) SUBDIVISION PLAN OF LAND 22 AND 26 MARKET SQUARE, PORTSMOUTH, NEW HAMPSHIRE, COUNTY OF ROCKINGHAM AS PREPARED FOR / OWNER OF RECORD JAMES A. SHANLEY P.O. BOX 1380 PORTSMOUTH, N.H. 03801. PREPARED BY CIVILWORKS, INC. DATED FEBRUARY 15, 1989. R.C.R.D. PLAN D-19371.
- 11) CONDOMINIUM SITE PLAN OF LAND, 22-26 MARKET SQUARE, PORTSMOUTH, NEW HAMPSHIRE, COUNTY OF ROCKINGHAM, AS PREPARED FOR / OWNER OF RECORD LBJ PROPERTIES, LLC 1618 HIGHWAY 395 MINDEN, NV 94923. PREPARED BY CIVILWORKS, INC. DATED AUGUST 3, 2007, FINAL REVISION MARCH 6, 2009. R.C.R.D. PLAN D-36050.

- 12) PROPOSED EASEMENT PLAN MAP U-7 - LOT 42 FOR COVENTRY ASSETS, LTD, 30 PENHALLOW STREET, PORTSMOUTH N.H. COUNTY OF ROCKINGHAM. PREPARED BY AMBIT ENGINEERING, INC. DATED OCTOBER 2000. R.C.R.D. PLAN C-28714.
- 13) EASEMENT RELEASE PLAN MAP U-7 - LOT 42 FOR COVENTRY ASSETS, LTD, 30 PENHALLOW STREET, PORTSMOUTH N.H. COUNTY OF ROCKINGHAM. PREPARED BY AMBIT ENGINEERING, INC. DATED DECEMBER 2000, FINAL REVISION DECEMBER 20, 2000. R.C.R.D. PLAN C-28681.
- 14) TAX MAP 107 LOT 29 BOUNDARY PLAN OWNER: BNG PROPERTIES, INC. PREPARED FOR: TUSCAN BRANDS LOCATED AT: 14 MARKET SQUARE, PLEASANT STREET & DANIEL STREET, PORTSMOUTH, NEW HAMPSHIRE. PREPARED BY S&H LAND SERVICES, LLC. DATED JANUARY 2, 2019. R.C.R.D. PLAN D-41249.

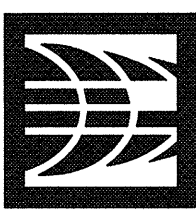
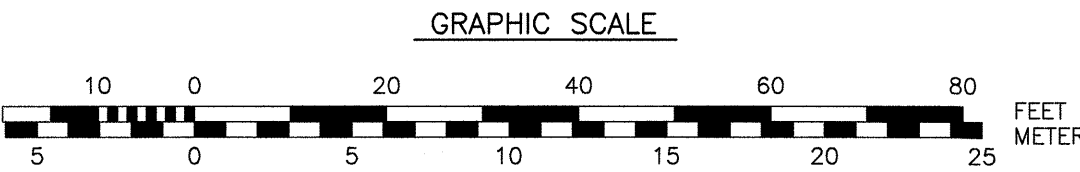
- 15) PLAN OF LAND TAX MAP 107 LOTS 39, 40 AND 41, PROPERTY OF HELEN S. BROUSSEAU GST EXEMPT TRUST AND HELEN S. BROUSSEAU REVOCABLE TRUST OF 2000, 12 PENHALLOW, 191 & 195 STATE STREET, COUNTY OF ROCKINGHAM, PORTSMOUTH NEW HAMPSHIRE. PREPARED BY MSC CIVIL ENGINEERS & LAND SURVEYORS, INC. DATED DECEMBER 12, 2007, FINAL REVISION JANUARY 8, 2008. R.C.R.D. PLAN D-35246.
- 16) CONDOMINIUM SITE PLAN TAX MAP 107 LOTS 39, 40 AND 41, PROPERTY OF HELEN S. BROUSSEAU GST EXEMPT TRUST AND HELEN S. BROUSSEAU REVOCABLE TRUST OF 2000, 12 PENHALLOW, 191 & 195 STATE STREET, COUNTY OF ROCKINGHAM, PORTSMOUTH NEW HAMPSHIRE. PREPARED BY MSC CIVIL ENGINEERS & LAND SURVEYORS, INC. DATED JANUARY 31, 2008, FINAL REVISION JUNE 19, 2008. R.C.R.D. PLAN D-335541.

- 17) PLAN OF A LOT OF LAND IN PORTSMOUTH BELONGING TO JONATHAN M. TREDICK, PORTSMOUTH, NH. PREPARED BY ALFRED M. HOYT, SURVEYOR DATED JULY 1, 1864. R.C.R.D. PLAN #0019.
- 18) SUBDIVISION PLAN FOR LI JUNE CHEN AND SHANG TA CHEN, 54 DANIEL ST. PORTSMOUTH, NEW HAMPSHIRE, COUNTY OF ROCKINGHAM. PREPARED BY AMBIT SURVEY. DATED NOVEMBER 1998. R.C.R.D. PLAN D-27033.
- 19) EASEMENT PLAN OF LAND 26 MARKET SQUARE, PORTSMOUTH, NEW HAMPSHIRE, COUNTY OF ROCKINGHAM, AS PREPARED FOR JAMES A. SHANLEY PO BOX 1380 PORTSMOUTH, NH 03801. PREPARED BY CIVILWORKS, INC. DATED SEPTEMBER 10, 1993. R.C.R.D. PLAN B-22525.
- 20) DIVISION PLAN, ESTATE OF JOTHAM ODIORNE. c.1774 RP 4093.



LENGTH TABLE

LINE	BEARING	DISTANCE
L1	S89°30'55"E	9.00'
L2	S89°25'37"W	4.33'
L3	N89°52'12"W	0.76'
L4	S03°04'06"W	17.95'
L5	N88°22'54"W	17.56'



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOTS 27 & 31.
- 2) OWNER OF RECORD:
DAGNY TAGGART, LLC
30 PENHALLOW STREET, SUITE 300 EAST
PORTSMOUTH, NH 03801
5990/1701 (LOT 31) & 5990/1703 (LOT 27)
C-7121, C-8101, & D-41408
- 3) PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
- 4) EXISTING LOT AREAS:

MAP 107 LOT 27
23,279 S.F.
0.5344 ACRES

MAP 107 LOT 31
8,867 S.F.
0.2036 ACRES
- 5) ASSESSOR'S MAP 107 LOT 27 IS LOCATED IN THE CHARACTER DISTRICT 4 (CD4) ZONING DISTRICT. ASSESSOR'S MAP 107 LOT 31 IS LOCATED IN THE CHARACTER DISTRICT 5 (CD5) ZONING DISTRICT. BOTH PARCELS ARE LOCATED WITHIN THE DOWNTOWN OVERLAY DISTRICT AND THE HISTORIC DISTRICT.
- 6) DIMENSIONAL REQUIREMENTS:
SEE ZONING ORDINANCE
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULT OF A STANDARD BOUNDARY SURVEY OF ASSESSOR'S MAP 107 LOTS 27 & 31 IN THE CITY OF PORTSMOUTH.
- 8) SEE SHEET 2 OF 2 FOR EASEMENTS, RESTRICTIONS, AND ENCUMBRANCES.
- 9) NOT ALL UTILITIES SHOWN HEREON.

NO.	DESCRIPTION	DATE
3	MISCELLANEOUS REVISIONS	10/7/19
2	ISSUED WITH TAC SUBMISSION	7/15/19
1	MONUMENTS SET	4/3/19
0	ISSUED FOR COMMENT	3/27/19
REVISIONS		

STANDARD BOUNDARY SURVEY
TAX MAP 107 -
LOTS 27 & 31
LAND OF:
DAGNY TAGGART, LLC
PROPERTY LOCATED AT:
3 PLEASANT STREET &
60 PENHALLOW STREET
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE



1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOTS 27 & 31.

- 2) OWNER OF RECORD:
DAGNY TAGGART, LLC
30 PENHALLOW STREET, SUITE 300 EAST
PORTSMOUTH, NH 03801
5990/1701 (LOT 31) & 5990/1703 (LOT 27)
C-7121, C-8101, & D-41408
- 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS
SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY
17, 2005.

- 4) EXISTING LOT AREAS:

MAP 107 LOT 27
23,279 S.F.
0.5344 ACRES

MAP 107 LOT 31
8,867 S.F.
0.2036 ACRES

- 5) ASSESSOR'S MAP 107 LOT 27 IS LOCATED IN THE CHARACTER DISTRICT 4 (CD4) ZONING DISTRICT. ASSESSOR'S MAP 107 LOT 31 IS LOCATED IN THE CHARACTER DISTRICT 5 (CD5) ZONING DISTRICT. BOTH PARCELS ARE LOCATED WITHIN THE DOWNTOWN OVERLAY DISTRICT AND THE HISTORIC DISTRICT.

- 6) DIMENSIONAL REQUIREMENTS:
SEE ZONING ORDINANCE

- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EASEMENTS ASSOCIATED WITH A STANDARD BOUNDARY SURVEY OF ASSESSOR'S MAP 107 LOTS 27 & 31 IN THE CITY OF PORTSMOUTH. ALSO SHOWN IS A PROPOSED EASEMENT RESTRICTING BUILDING CONSTRUCTION ON ASSESSOR'S MAP 107 LOTS 27 & 42.

- 8) ASSESSOR'S MAP 107 LOTS 27 & 42 WILL BE BURDENED BY A POTENTIAL NO BUILD AREA; SUBJECT TO FINAL DESIGN APPROVAL BY THE PORTSMOUTH BUILDING INSPECTOR'S OFFICE FOR ANY BUILDING CONSTRUCTION ON ASSESSOR'S MAP 107 LOT 31. OWNER SHALL REVIEW APPLICABLE IBC CODES RELATIVE TO THE OPENINGS IN THE 30 PENHALLOW STREET BUILDING AND DESIGN ACCORDINGLY TO COMPLY.

3	MISCELLANEOUS REVISIONS	10/7/19
2	ADD BUILDING EASEMENT	7/15/19
1	REVISE PER COMMENTS	3/28/19
0	ISSUED FOR COMMENT	3/27/19
NO.	DESCRIPTION	DATE
REVISIONS		

LAND OF:
DAGNY TAGGART, LLC

PROPERTY LOCATED AT:
3 PLEASANT STREET &
60 PENHALLOW STREET
CITY OF PORTSMOUTH

CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

SCALE 1"=20' SHEET 2 OF 2 MARCH 2019



LEGEND:

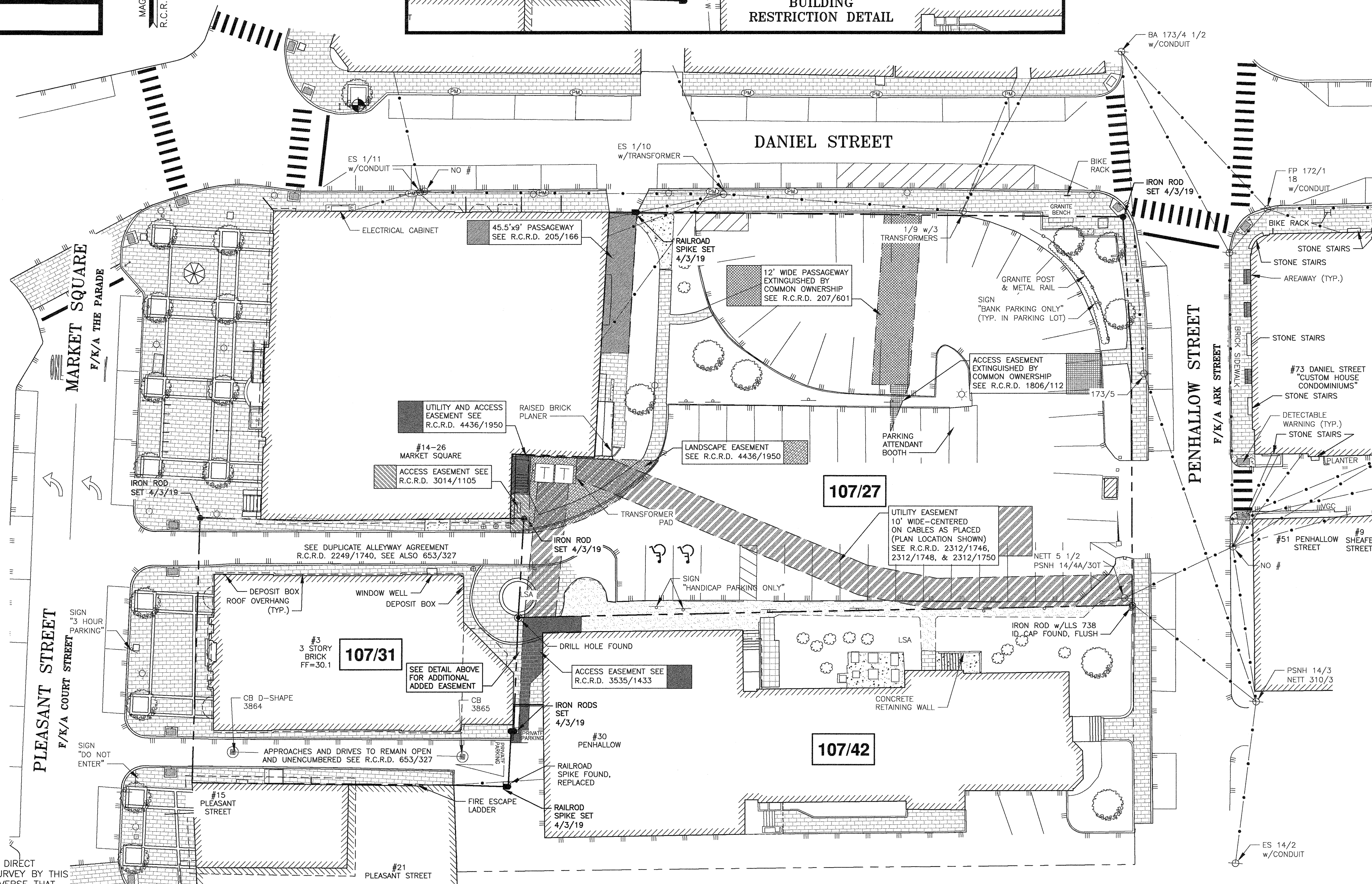
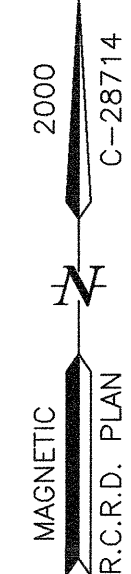
N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCRD	ROCKINGHAM COUNTY
	REGISTRY OF DEEDS
	MAP 11 / LOT 21
<hr style="border-top: 1px dashed black;"/>	
	BOUNDARY
	SETBACK
	RAILROAD SPIKE FOUND
	IRON ROD/PIPE FOUND
	DRILL HOLE FOUND
	STONE/CONCRETE BOUND FOUND
	RAILROAD SPIKE SET
	IRON ROD SET
	DRILL HOLE SET
	GRANITE BOUND SET
S	SEWER LINE
G	GAS LINE
D	STORM DRAIN
W	WATER LINE
	UNDERGROUND ELECTRIC
	OVERHEAD ELECTRIC/WIRES
100	CONTOUR
97x3	SPOT ELEVATION
	EDGE OF PAVEMENT (EP)
	WOODS / TREE LINE
	UTILITY POLE (w/ GUY)
	GAS SHUT OFF
	WATER SHUT OFF/CURB STOP
	GATE VALVE
HYD	HYDRANT
	METER (GAS, WATER, ELECTRIC)
	CATCH BASIN
	TELEPHONE MANHOLE
	SEWER MANHOLE
	DRAIN MANHOLE
	AIR CONDITIONER UNIT
	SIGNS
AC	ASBESTOS CEMENT PIPE
CI	CAST IRON PIPE
CMP	CORRUGATED METAL PIPE
CMU	CONCRETE MASONRY UNIT
COP	COPPER PIPE
DI	DUCTILE IRON PIPE
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
VC	VITRIFIED CLAY PIPE
EL	ELEVATION
EP	EDGE OF PAVEMENT
F.F.	FINISHED FLOOR
INV.	INVERT
TBM	TEMPORARY BENCHMARK
TYP.	TYPICAL
VGC/SGC	VERTICAL/SLOPED GRANITE CURB
CCB	CAPE COD BERM
LSA	LANDSCAPED AREA

I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

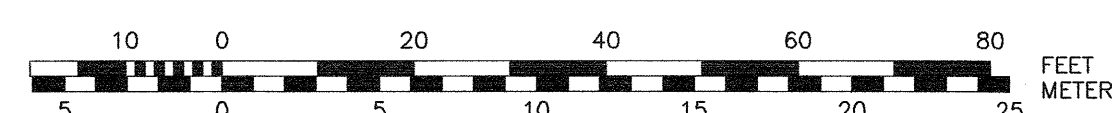
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

PAUL A. DOBBERSTEIN, LLS #1000

DATE _____

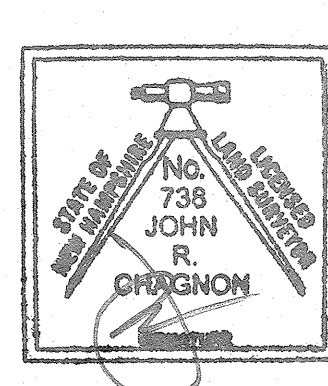
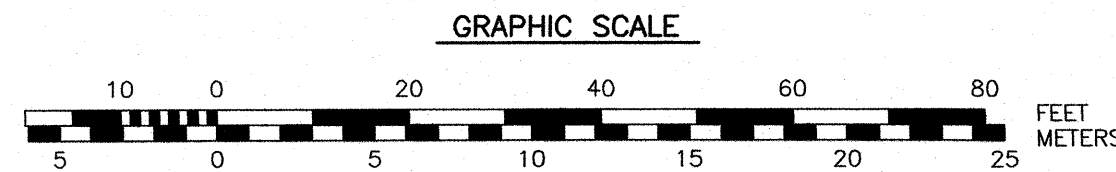
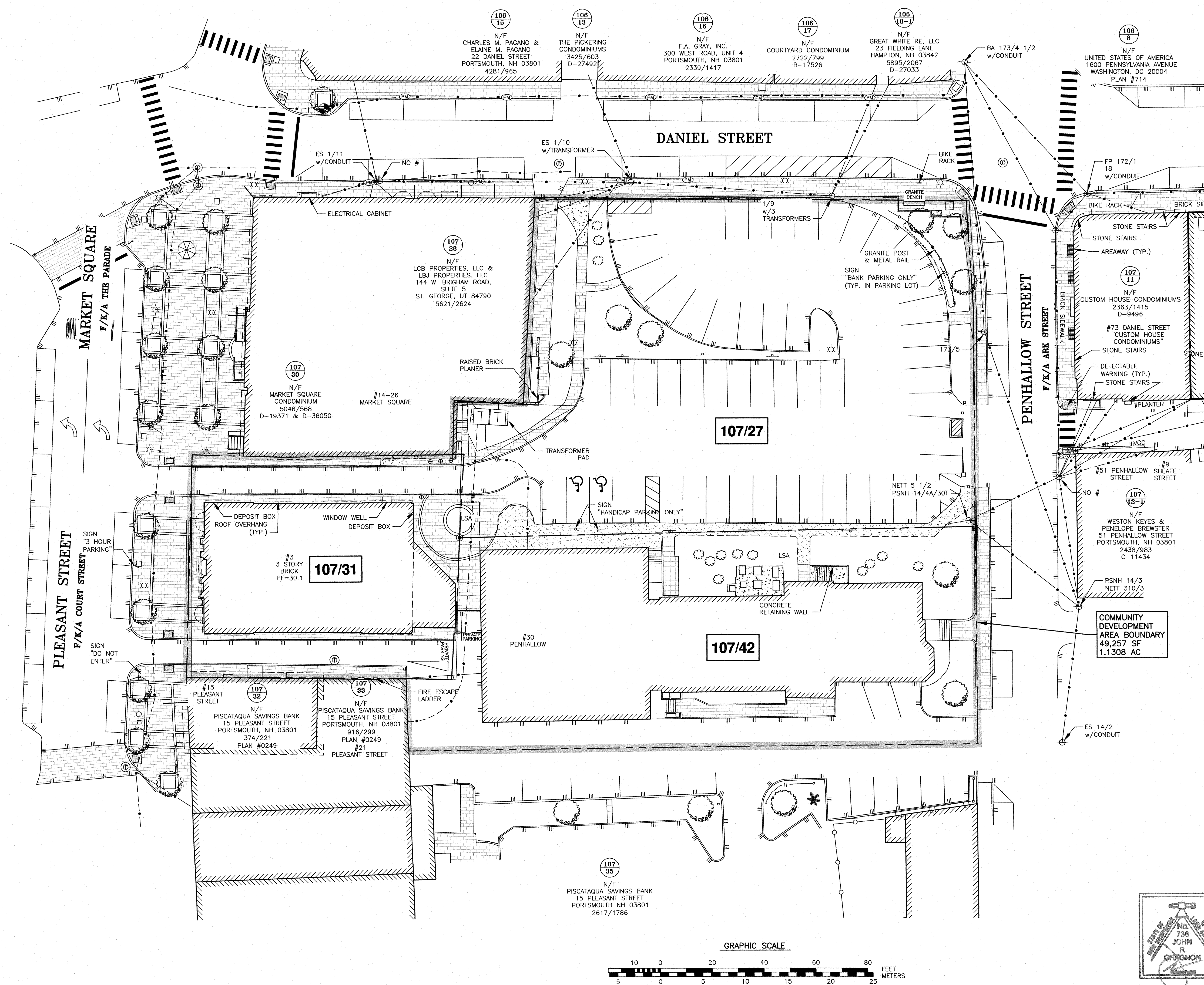


GRAPHIC SCALE



J:\JOBS\N 3000\N 3039\2019 Site Development 60 Penhallow Plans & Specs\Site 3039 MASTER PLAN 100719.dwg, MASTER PLAN EXIST

2000
C-28714
MAGNETIC
N
R.C.R.D. PLAN



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOTS 27, 31 & 42.
- 2) OWNERS OF RECORD:
107/27 & 31
DAGNY TAGGART, LLC
30 PENHALLOW STREET, SUITE 300 EAST
PORTSMOUTH, NH 03801
5990/701 (LOT 31) & 5990/1703 (LOT 27)
C-7121, C-8101, & D-41408

107/42
COVENTRY ASSETS, LTD
30 PENHALLOW STREET, SUITE 300 E
PORTSMOUTH, NH 03801
3067/2440 (LOT 42)
C-28681 & C-28714
- 3) PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
- 4) EXISTING LOT AREAS:

MAP 107 LOT 27
23,279 S.F.
0.5344 ACRES

MAP 107 LOT 31
8,867 S.F.
0.2036 ACRES

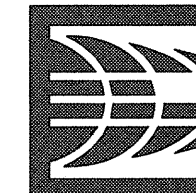
MAP 107 LOT 42
17,111 S.F.
0.3928 ACRES
- 5) ASSESSOR'S MAP 107 LOTS 27 & 42 ARE LOCATED IN THE CHARACTER DISTRICT 4 (CD4) ZONING DISTRICT. ASSESSOR'S MAP 107 LOT 31 IS LOCATED IN THE CHARACTER DISTRICT 5 (CD5) ZONING DISTRICT. PARCELS ARE LOCATED WITHIN THE DOWNTOWN OVERLAY DISTRICT AND THE HISTORIC DISTRICT.
- 6) DIMENSIONAL REQUIREMENTS:
SEE ZONING ORDINANCE

NO.	DESCRIPTION	DATE
1	UPDATED FOR 60 PENHALLOW	10/7/19
0	ISSUED FOR COMMENT	7/25/19

MASTER PLAN
EXISTING CONDITIONS
TAX MAP 107
LOTS 27, 31 & 42
BRICK MARKET
PROPERTY LOCATED AT:
3 PLEASANT STREET
30 PENHALLOW STREET
60 PENHALLOW STREET
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

SCALE 1"=20'

JULY 2019



AMBIT ENGINEERING, INC.
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3067/2440 (LOT 42)
C-28681 & C-28714
- 3) PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
- 4) EXISTING LOT AREAS:

MAP 107 LOT 27
23,279 S.F.
0.5344 ACRES

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8,867 S.F.
0.2036 ACRES

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- 5) ASSESSOR'S MAP 107 LOTS 27 & 42 ARE LOCATED IN THE CHARACTER DISTRICT 4 (CD4) ZONING DISTRICT. ASSESSOR'S MAP 107 LOT 31 IS LOCATED IN THE CHARACTER DISTRICT 5 (CD5) ZONING DISTRICT. PARCELS ARE LOCATED WITHIN THE DOWNTOWN OVERLAY DISTRICT AND THE HISTORIC DISTRICT.
- 6) DIMENSIONAL REQUIREMENTS:
SEE ZONING ORDINANCE

NO.	DESCRIPTION	DATE
2	ISSUED FOR 60 PENHALLOW STREET	10/7/19
1	ADD COMMUNITY SPACE AREA	8/28/19
0	ISSUED FOR COMMENT	7/25/19
REVISIONS		

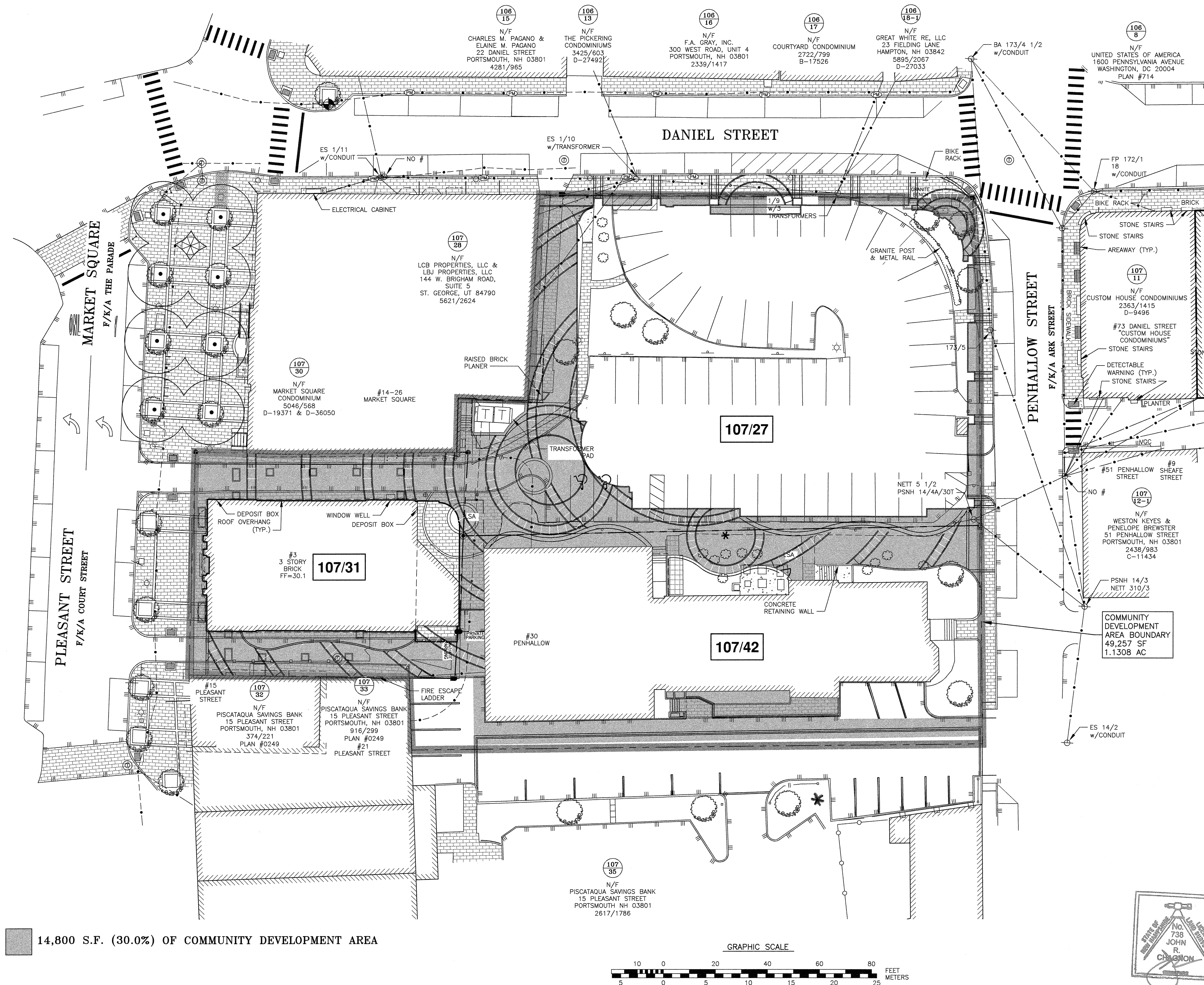
**BRICK MARKET
MASTER PLAN
COMMUNITY OPEN SPACE
TAX MAP 107
LOTS 27, 31 & 42**
PROPERTY LOCATED AT:
3 PLEASANT STREET
30 PENHALLOW STREET
60 PENHALLOW STREET
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

SCALE 1"=20'

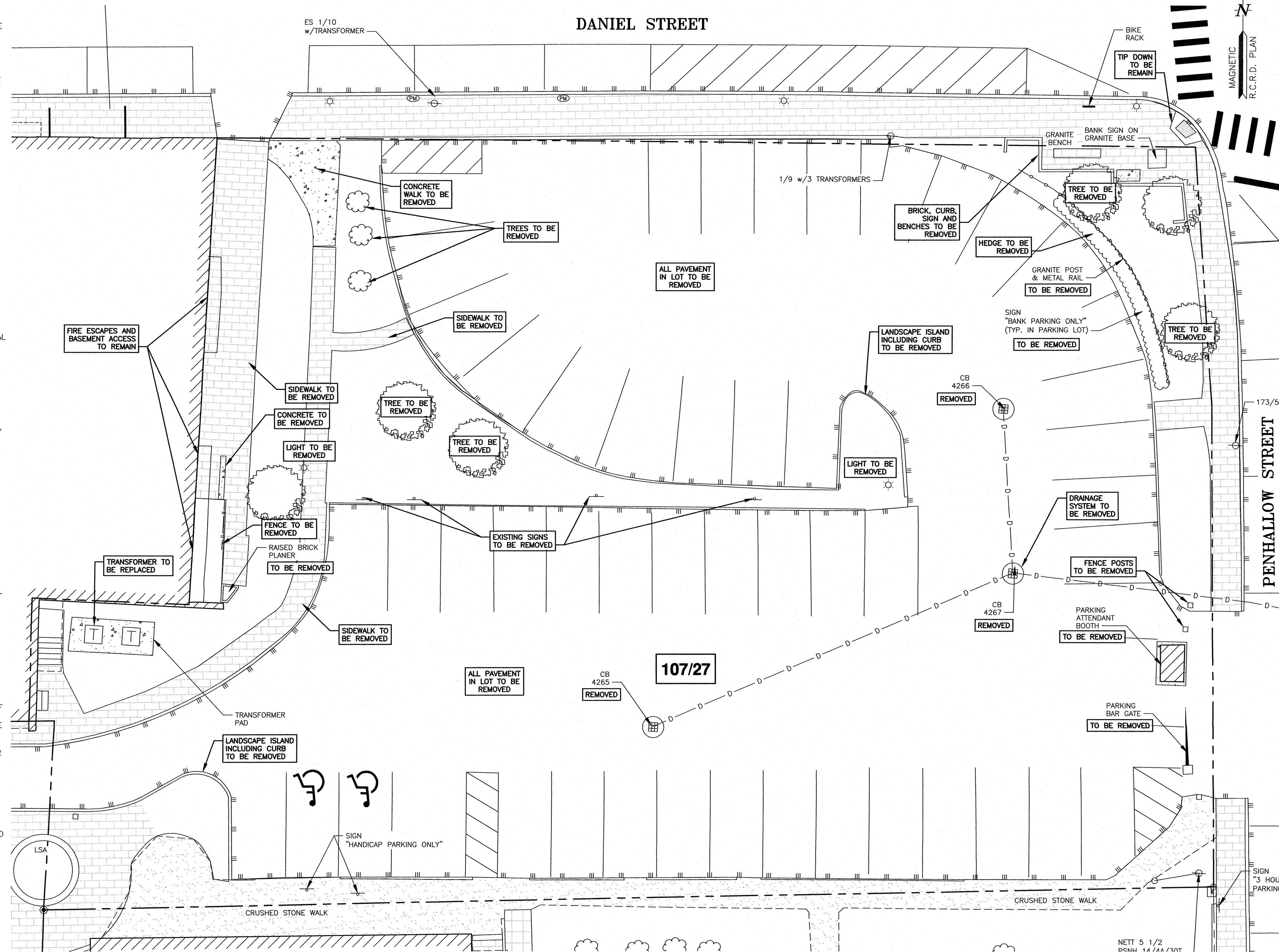
JULY 2019

FB 402 PG 1

3039



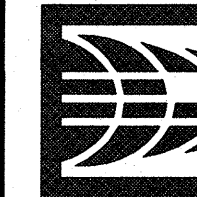
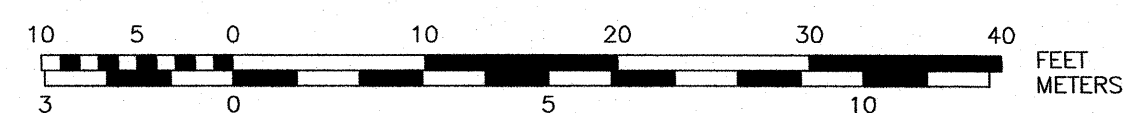
- A) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.
- B) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- C) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPAIRED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- E) SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
- F) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- G) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- H) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING MONITORING WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER TO COORDINATE MONITORING WELL REMOVAL AND/OR RELOCATION WITH NHDES AND OTHER AUTHORITY WITH JURISDICTION PRIOR TO CONSTRUCTION.
- I) ALL WORK WITHIN THE CITY OF PORTSMOUTH RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS (DPW).
- J) CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED, THE CONTRACTOR SHALL EMPLOY A NH LICENSED LAND SURVEYOR TO REPLACE THEM.
- K) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND IMMEDIATELY OFF-SITE TO BE MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL INSPECTION BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MINIMUM OF ONE REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- L) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- M) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS



CHAIRMAN

DATE _____

GRAPHIC SCALE



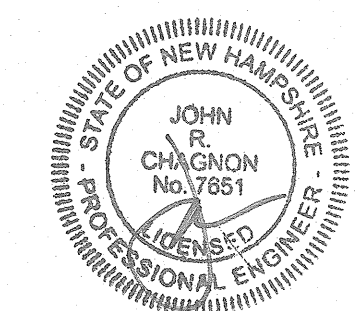
AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

**BRICK MARKET
60 PENHALLOW STREET
PORTSMOUTH, N.H.**

0	ISSUED FOR COMMENT	10/8/19
NO.	DESCRIPTION	DATE
REVISIONS		



OCTOBER 2019

C2

J:\J0653\JN 3000's\JN 3039\2019 Site Development\60 Penhallow Plans & Specs\Site\3039 SITE 60 PENHALLOW.dwg, C3 SITE

ZONING DEVELOPMENT STANDARD

CD4: CHARACTER DISTRICT 4

DOWNTOWN OVERLAY DISTRICT AND HISTORIC DISTRICT

BUILDING PLACEMENT (PRINCIPAL):

	REQUIRED	EXISTING NO. BUILDING	107/27 (60 PENHALLOW ST) PROPOSED
MAX. PRINCIPAL FRONT YARD:	10 FEET	N/A	2.9 FEET
MIN. SIDE YARD:	NR	N/A	3.8 FEET
MIN. REAR YARD:	5 FEET*	N/A	14.8 FEET
FRONT LOT LINE BUILDOUT:	50% MIN	N/A	96%
* REAR SETBACK: 5' (REAR LINE) OR 10' (ALLEY CENTERLINE)			

BUILDING TYPES:

BUILDING TYPES: OFFICE, RESTAURANT

DOWNTOWN OVERLAY DISTRICT DOES NOT PERMIT RESIDENTIAL USES FOR GROUND FLOOR. ENTRY CAN NOT EXCEED 20% OF GROUND FLOOR AREA (N/A).

FACADE TYPE: SHOPFRONT

BUILDING FORM:

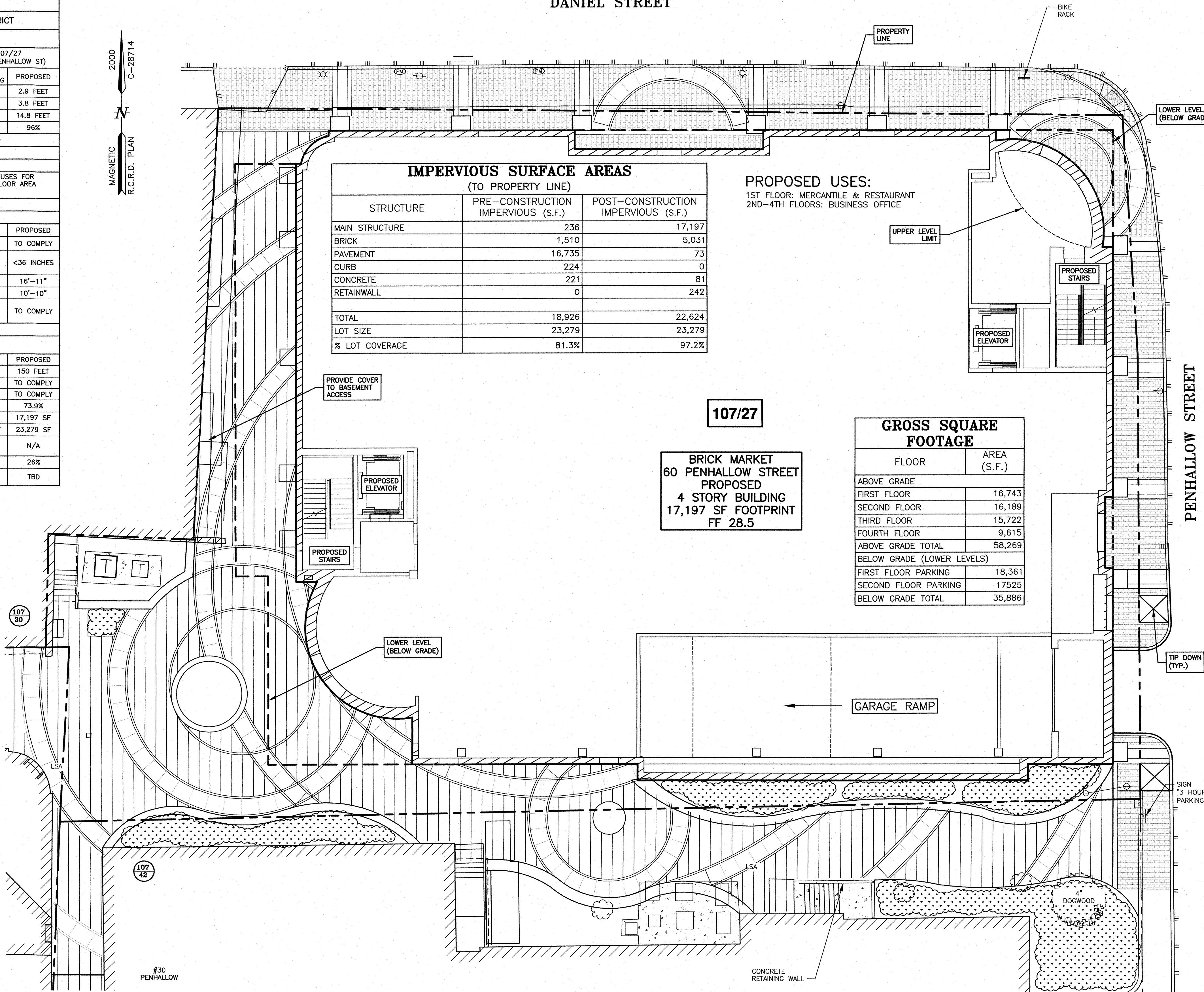
	REQUIRED	EXISTING	PROPOSED
MAX STRUCTURE HEIGHT:	40 FEET	N/A	TO COMPLY
MAX. FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36 INCHES	N/A	<36 INCHES
MIN. GROUND STORY HEIGHT:	12 FEET	N/A	16'-11"
MIN. SECOND STORY HEIGHT:	10 FEET	N/A	10'-10"
FACADE GLAZING (WINDOW/PERIMETER):	70% SHOP 20-50% OTHER	N/A	TO COMPLY

ROOF TYPE: MANSARD, HIP, GABLE

LOT OCCUPATION:

	REQUIRED	EXISTING	PROPOSED
MAX BUILDING BLOCK:	200 FEET	N/A	150 FEET
MAX FACADE MOD. LENGTH:	80 FEET	-	TO COMPLY
MAX. ENTRANCE SPACING:	50 FEET	-	TO COMPLY
MAX BUILDING COVERAGE:	90%	0%	73.9%
MAX BUILDING FOOTPRINT:	20,000 SF	NONE	17,197 SF
MIN. LOT AREA:	NR	23,279 SF	23,279 SF
MIN. LOT AREA/DWELLING (LOT AREA/# OF UNITS):	NR	-	N/A
MIN. OPEN SPACE :	10%	N/A	26%
MAX. GROUND FLOOR GFA PER USE	15,000 SF	N/A	TBD

DANIEL STREET



IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)		
STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE	236	17,197
BRICK	1,510	5,031
PAVEMENT	16,735	73
CURB	224	0
CONCRETE	221	81
RETAINWALL	0	242
TOTAL	18,926	22,624
LOT SIZE	23,279	23,279
% LOT COVERAGE	81.3%	97.2%

PROPOSED USES:

1ST FLOOR: MERCANTILE & RESTAURANT
2ND-4TH FLOORS: BUSINESS OFFICE

GROSS SQUARE FOOTAGE	
FLOOR	AREA (S.F.)
ABOVE GRADE	
FIRST FLOOR	16,743
SECOND FLOOR	16,189
THIRD FLOOR	15,722
FOURTH FLOOR	9,615
ABOVE GRADE TOTAL	58,269
BELOW GRADE (LOWER LEVELS)	
FIRST FLOOR PARKING	18,361
SECOND FLOOR PARKING	17,525
BELOW GRADE TOTAL	35,886

BRICK MARKET
60 PENHALLOW STREET
PROPOSED
4 STORY BUILDING
17,197 SF FOOTPRINT
FF 28.5

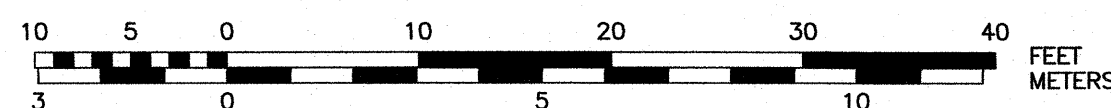
PORTSMOUTH APPROVAL CONDITIONS NOTE:
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE

GRAPHIC SCALE



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

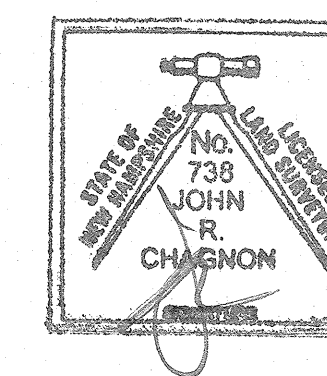
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOT 27.
- 2) OWNER OF RECORD:
DAGNY TAGGART, LLC
30 PENHALLOW STREET, SUITE 300 EAST
PORTSMOUTH, NH 03801
- 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
- 4) EXISTING LOT AREA:
23,279 S.F.
0.5344 ACRES
- 5) ASSESSOR'S MAP 107 LOT 27 IS LOCATED IN THE CHARACTER DISTRICT 4 (CD4) ZONING DISTRICT. PARCEL IS LOCATED WITHIN THE DOWNTOWN OVERLAY DISTRICT (DOD) AND THE HISTORIC DISTRICT (HDC).
- 6) PARKING SPECIFICATIONS: NO PARKING REQUIRED
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW SITE LAYOUT FOR BUILDING ON ASSESSOR'S MAP 107 LOT 27 IN THE CITY OF PORTSMOUTH.
- 8) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 9) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 10) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 11) SEE LANDSCAPE PLANS FOR PROPOSED SURFACE TREATMENTS.
- 12) SNOW SHALL BE REMOVED FROM THE SITE.

**BRICK MARKET
60 PENHALLOW STREET
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
1	ISSUED FOR REVIEW	10/8/19
REVISIONS		

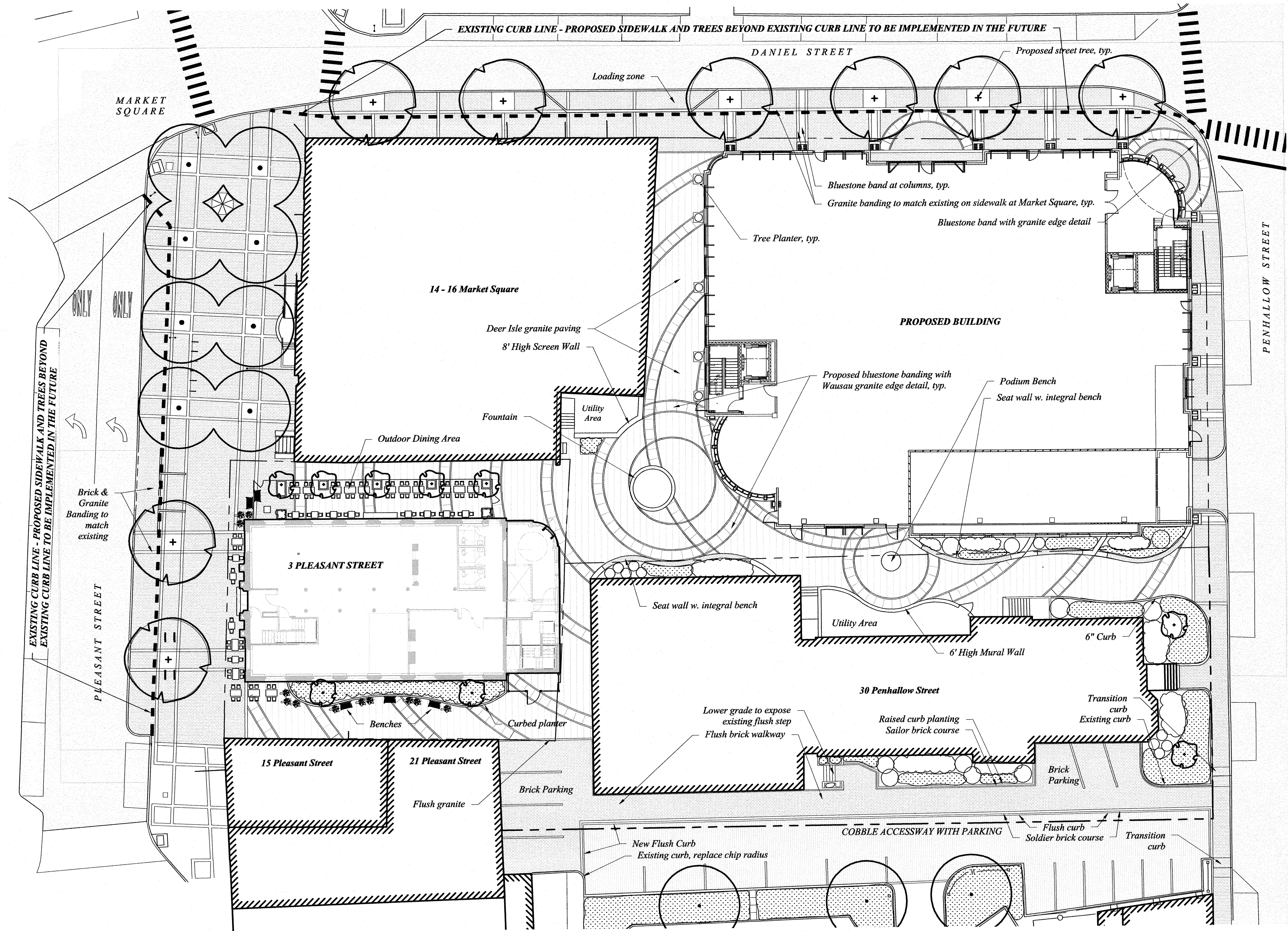


SCALE: 1"=10'

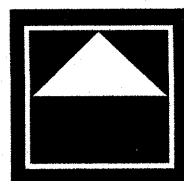
OCTOBER 2019

SITE LAYOUT PLAN

C3



0 5 10 20 40



Brick Market

LANDSCAPE MASTER PLAN

Portsmouth, New Hampshire

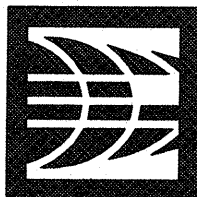
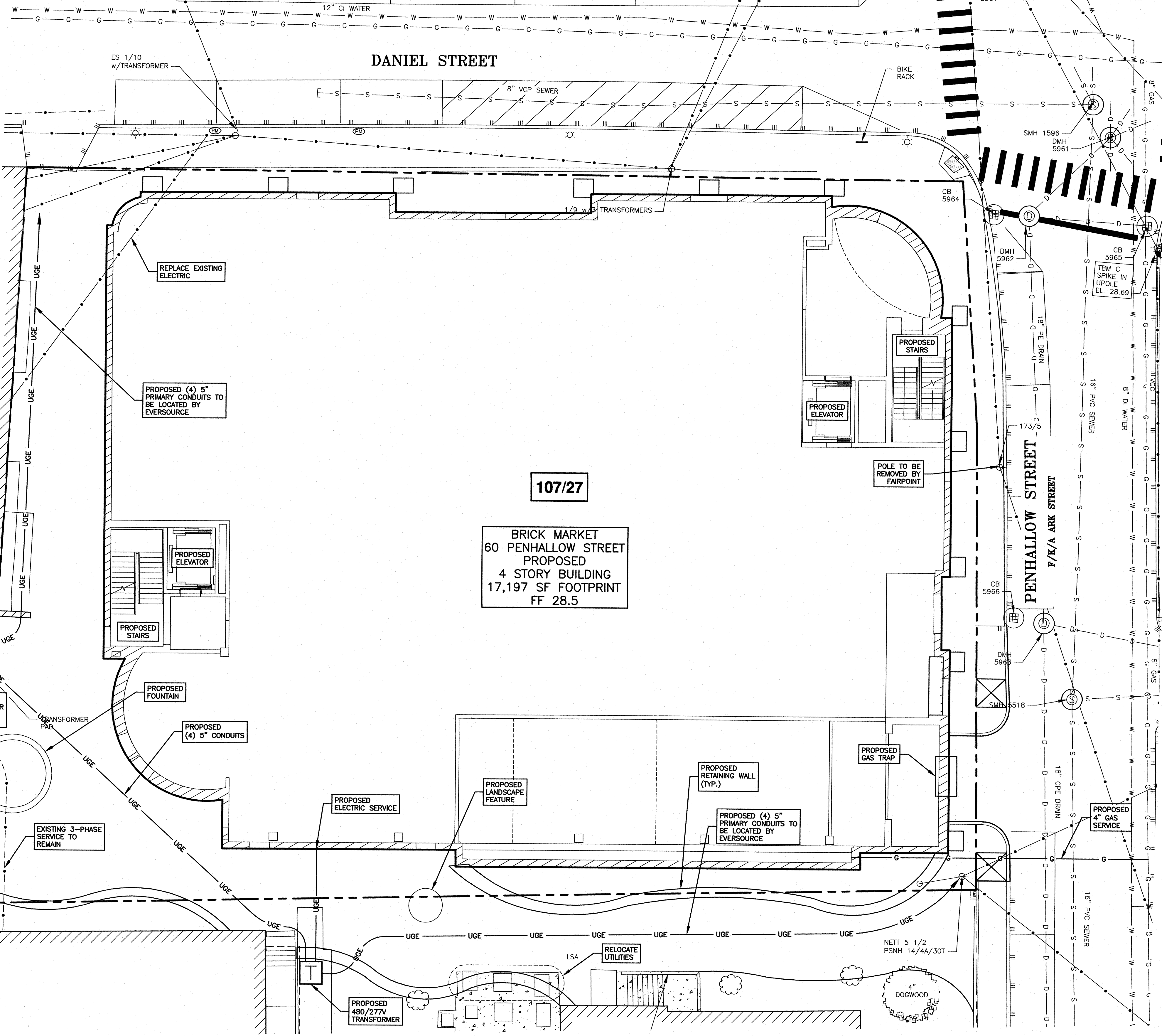
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 Checked By: RW
 Scale: 1" = 20' - 0"
 Date: September 19, 2019
 Revisions: October 2, 2019
 October 7, 2019
 October 8, 2019

L-1

Sheet 1 of 1

UTILITY NOTES:

- 1) SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- 2) COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.
- 3) SEE GRADING AND DRAINAGE PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
- 4) ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, POLYWRAPPED, CEMENT LINED DUCTILE IRON PIPE.
- 5) ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION AND BEFORE ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTSMOUTH.
- 6) ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- 7) ALL WORK WITHIN CITY R.O.W. SHALL BE COORDINATED WITH CITY OF PORTSMOUTH.
- 8) CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJUTING PROPERTIES THROUGHOUT CONSTRUCTION.
- 9) ANY CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED BY THE CITY OF PORTSMOUTH.
- 10) EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- 11) ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- 12) THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH BUILDING DRAWINGS AND UTILITY COMPANIES.
- 13) ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- 14) ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- 15) THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT.
- 16) THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED IN THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- 17) CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- 18) A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS WATER ABOVE SEWER.
- 19) SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- 20) GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
- 21) COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- 22) ALL SEWER PIPES WITH LESS THAN 6" COVER SHALL BE INSULATED.
- 23) CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- 24) CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ADJUTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ADJUTERS WITH UTILITY COMPANY AND AFFECTED ADJUTER.
- 25) SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT ELECTRICAL ENGINEER IN COORDINATION WITH THE SITE CIVIL ENGINEER.
- 26) CONTRACTOR SHALL CONSTRUCT ALL UTILITIES AND DRAINS TO WITHIN 10' OF THE FOUNDATION WALLS AND CONNECT THESE TO SERVICE STUBS FROM THE BUILDING.
- 27) THE CONTRACTOR SHALL INSTALL THE SEWER LINE AND MANHOLE IN CONSULTATION AND COORDINATION WITH DEPARTMENT OF PUBLIC WORKS.



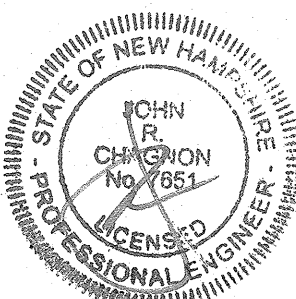
AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) INSTALL CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED CATCH BASINS IN THE PROJECT VICINITY UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.
- 5) ALL WATER MAIN AND SANITARY SEWER WORK SHALL MEET THE STANDARDS OF THE NEW HAMPSHIRE STATE PLUMBING CODE AND CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.
- 6) UTILITY AS-BUILTS SHALL BE SUBMITTED TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS UPON COMPLETION OF THE PROJECT.
- 7) EVERSOURCE WORK ORDER #3107781
- 8) PROPOSED SEWER FLOW:
1ST FLOOR MERCANTILE & RESTAURANT: 3,600 GPD
OFFICE SPACE:
141,526 SF/(2.5 GPD X 100 SF) = 1,038 GPD
TOTAL PROPOSED FLOW = 4,638 GPD
- 9) THE APPLICANT SHALL HAVE A COMMUNICATIONS SITE SURVEY CONDUCTED BY A MOTOROLA COMMUNICATIONS CARRIER APPROVED BY THE PORTSMOUTH'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE PORTSMOUTH POLICE AND FIRE RADIO SYSTEMS CONFIGURATION. IF THE SITE SURVEY INDICATES THAT IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER WILL BE REQUIRED TO MAINTAIN ANY INSTALLED EQUIPMENT. THE PROPERTY OWNER SHALL BE RESPONSIBLE TO PAY FOR THE SITE SURVEY WHETHER OR NOT THE SURVEY INDICATES THAT EQUIPMENT IS NECESSARY. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR PORTSMOUTH. THE SURVEY SHALL BE COMPLETED AND ANY REQUIRED EQUIPMENT INSTALLED, TESTED, AND ACCEPTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

**BRICK MARKET
60 PENHALLOW STREET
PORTSMOUTH, N.H.**

ISSUED FOR COMMENT		10/8/19
NO.	DESCRIPTION	DATE
REVISIONS		



SCALE: 1"=10" MAY 2019

UTILITY PLAN

C4

DRAIN STRUCTURE TABLE

STRUCTURE	RIM ELEV.	INV. ELEV. IN INV. ELEV. OUT	DOWNSIDE STRUCTURE
PIPE			
DMH 5961	28.52	21.87 6" CLAY 22.07 6" CLAY 24.19 6" CLAY 22.37 6" CLAY 23.12 15" HDPE	DMH 5962
15" HDPE	L = 16 LF, S = 0.0213 ft./ft.		
CB 5964	27.76	24.43 12" HDPE	DMH 5962
12" HDPE	L = 2 LF, S = 0.10 ft./ft.		
DMH 5962	27.99	24.23 12" HDPE 22.78 15" HDPE 23.35 12" HDPE 22.79 18" HDPE	DMH 5963
18" HDPE	L = 68 LF, S = 0.0209 ft./ft.		
CB 5966	27.05	23.62 12" HDPE	DMH 5963
12" HDPE	L = 2 LF, S = 0.075 ft./ft.		
DMH 5963	27.10	23.47 12" HDPE 21.37 18" HDPE 21.28 12" HDPE 21.12 18" HDPE	DMH 5958
18" HDPE	L = 83 LF, S = 0.0143 ft./ft.		
DMH 5958	26.29	22.59 12" HDPE 19.93 18" HDPE 22.17 12" HDPE 19.91 18" HDPE	DMH 5957 NOT FOUND
18" HDPE	L = ?, S = ?		
CB 4265	27.30	24.14 12" RCP	CB 4267
12" RCP	L = 62 LF, S = 0.005 ft./ft.		
CB 4266	27.34	24.14 12" RCP	CB 4267
12" RCP	L = 24 LF, S = 0.0125 ft./ft.		
CB 4267	26.84	23.82 12" RCP 23.84 12" RCP 23.49 12" HDPE	CB 5966
12" RCP	L = 42 LF, S = ?		

DANIEL STREET

BRICK MARKET
PROPOSED
4 STORY BUILDING
17,197 SF FOOTPRINT
FF 28.5

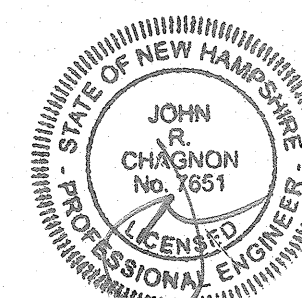
107/27

PENHALLOW STREET
F/K/A ARK STREET

- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
 - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
 - 4) CITY SHALL BE NOTIFIED IF THERE ARE ANY CONFLICTS WITH PROPOSED DRAINAGE PIPES UNCOVERED DURING CONSTRUCTION. REVIEW AND APPROVAL OF REMEDIES, BY THE CITY, REQUIRED.

BRICK MARKET
60 PENHALLOW STREET
PORTSMOUTH, N.H.

0	ISSUED FOR COMMENT	10/8/19
NO.	DESCRIPTION	DATE
	REVISIONS	



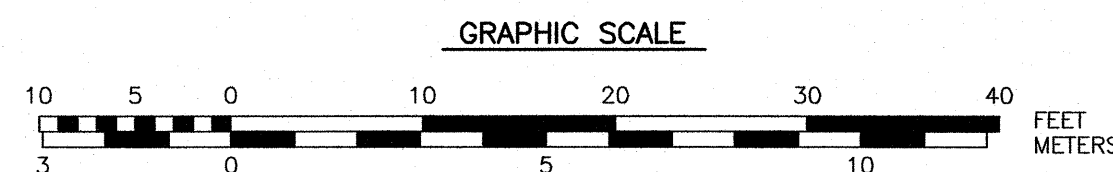
SCALE: 1"=10' MAY 2019

GRADING AND DRAINAGE
PLAN

C5

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN DATE



2000
C-28714
N
MAGNETIC
R.C.R.D. PLAN

N/F
COVENTRY ASSETS, LTD.
30 PENHALLOW STREET
SUITE 300 E
PORTSMOUTH, NH 03801
3057/2440

TRENCH DRAIN
BY
WWW.IRONAGEGRATES.COM

15 LF - 1" GALVANIZED
SLOTTED DRAIN
WWW.SLOTDRAINSYSTEMS.COM

PROPOSED DMH
WITH HATCH LID

146 LF-12" HDPE
S = 0.01375 ft./ft.

14 LF - 1" GALVANIZED
SLOTTED DRAIN
WWW.SLOTDRAINSYSTEMS.COM

23 LF - 1" GALVANIZED
SLOTTED DRAIN
WWW.SLOTDRAINSYSTEMS.COM

CONNECT
EXISTING
DOWNSPOUT
(TYP.)

21 LF-8" HDPE
S = 0.01 ft./ft.

25 LF-8" HDPE
S = 0.01 ft./ft.

21 LF-8" HDPE
S = 0.01 ft./ft.

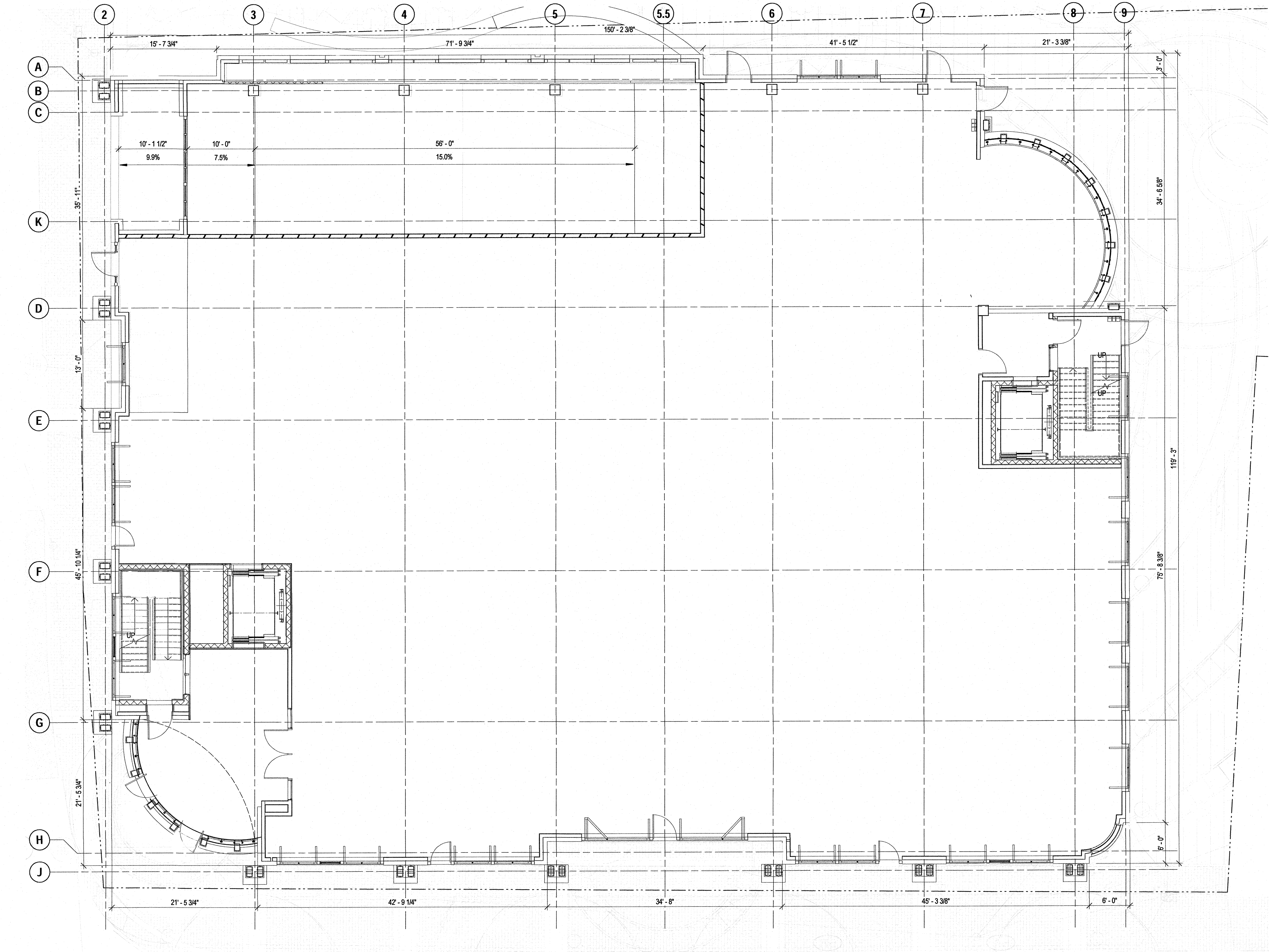
56 LF-8" HDPE
S = 0.01 ft./ft.

6 LF-8" HDPE
S = 0.01 ft./ft.

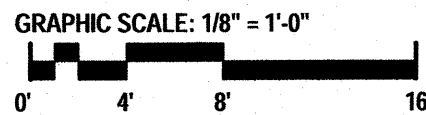
25 LF-8" HDPE
S = 0.01 ft./ft.

CONNECT
EXISTING
DOWNSPOUT
(TYP.)

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1 FIRST FLOOR OVERALL PLAN
1/8" = 1'-0"



GROSS SQUARE FOOTAGE	
ABOVE GRADE	
FIRST FLOOR	16,743
SECOND FLOOR	16,189
THIRD FLOOR	15,722
FOURTH FLOOR	9,615
TOTAL	58,269
BELOW GRADE	
FIRST FLOOR	18,361
SECOND FLOOR	17,525
TOTAL	35,886
GRAND TOTAL (ABOVE AND BELOW TOTALS)	94,155

REVISIONS		
NO.	DESCRIPTION	DATE

60 PENHALLOW STREET
at BRICK MARKET

Penhallow Street
Portsmouth, NH

MARK McNABB

Scale: 1/8" = 1'-0"
Date: 8/28/2019
Project Number: P19081.02

REVISIONS		
NO.	DESCRIPTION	DATE

SCHEMATIC
PROGRESS
EXTERIOR
ELEVATIONS

A0.02

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1 NORTH ELEVATION - DANIEL ST
1/8" = 1'-0"



2 EAST ELEVATION - PENHALLOW STREET
1/8" = 1'-0"

60 PENHALLOW STREET
at BRICK MARKET

Penhallow Street
Portsmouth, NH

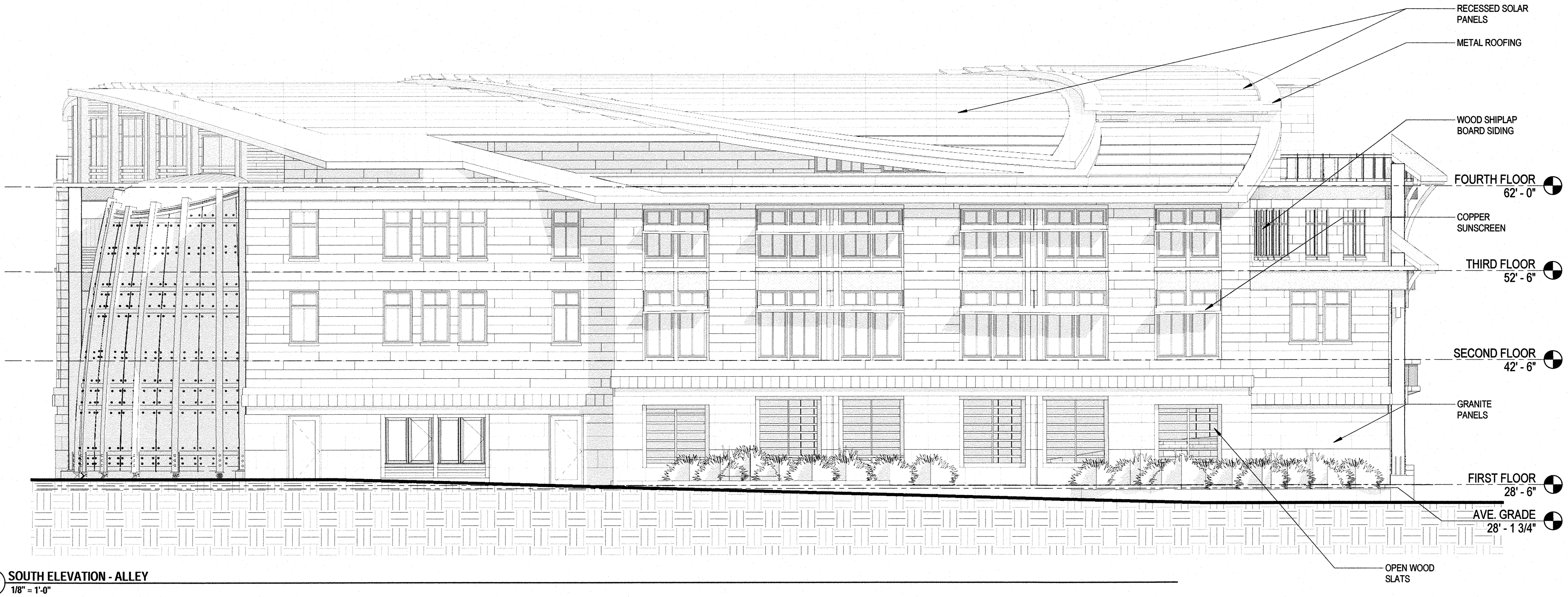
MARK McNABB

Scale: 1/8" = 1'-0"
Date: 8/28/2019
Project Number: P19081.02

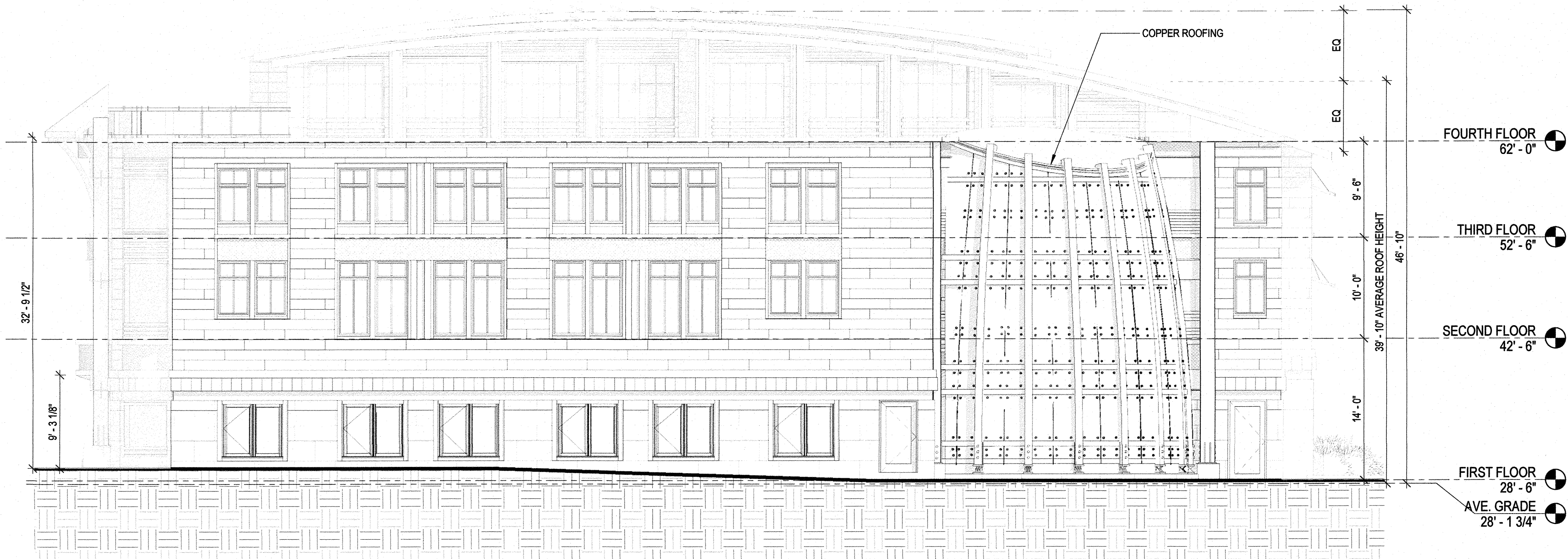
REVISIONS		
NO.	DESCRIPTION	DATE

SCHEMATIC
PROGRESS
EXTERIOR
ELEVATIONS

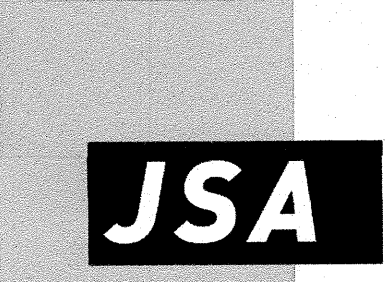
A0.03



1 SOUTH ELEVATION - ALLEY
1/8" = 1'-0"



2 WEST ELEVATION - ALLEY
1/8" = 1'-0"



ARCHITECTS
INTERIORS
PLANNERS

273 CORPORATE DRIVE
PORTSMOUTH, NH 03801
T 603.436.2551
F 603.436.6973
www.jsainc.com

60 PENHALLOW STREET
at BRICK MARKET

Penhallow Street
Portsmouth, NH

MARK McNABB

Scale: 1/8" = 1'-0"
Date: 8/28/2019
Project Number: P19081.02

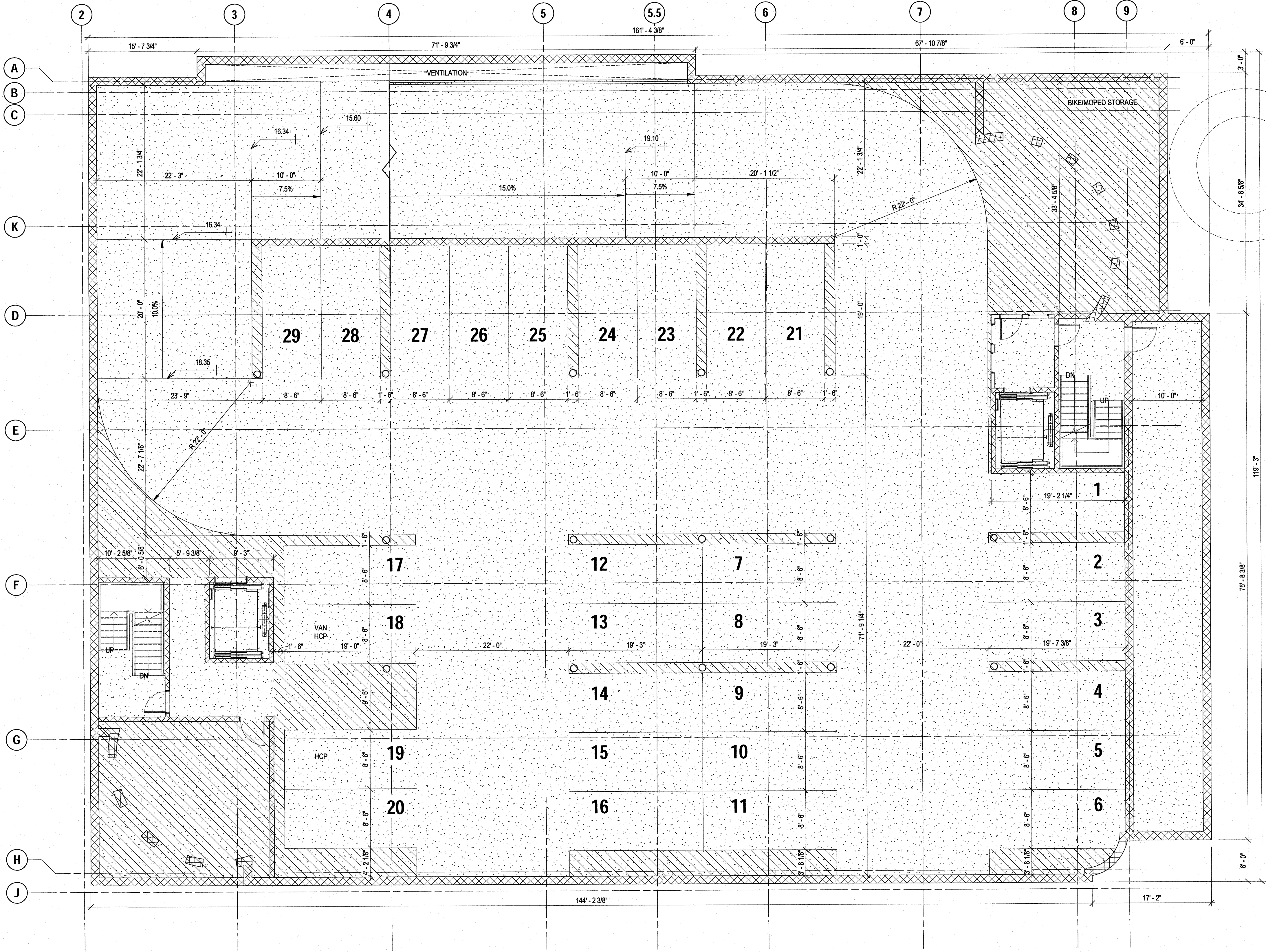
REVISIONS		
NO.	DESCRIPTION	DATE

SCHEMATIC
PROGRESS

FIRST PARKING
FLOOR PLAN

A0.00A

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GROSS SQUARE FOOTAGE	
ABOVE GRADE	
FIRST FLOOR	16,743
SECOND FLOOR	16,189
THIRD FLOOR	15,722
FOURTH FLOOR	9,615
TOTAL	58,269
BELOW GRADE	
FIRST FLOOR	18,361
SECOND FLOOR	17,525
TOTAL	35,886
GRAND TOTAL (ABOVE AND BELOW TOTALS)	94,155

1 BASEMENT FIRST FLOOR OVERALL PLAN
1/8" = 1'-0"

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GROSS SQUARE FOOTAGE	
ABOVE GRADE	
FIRST FLOOR	16,743
SECOND FLOOR	16,189
THIRD FLOOR	15,722
FOURTH FLOOR	9,615
TOTAL	58,269
BELOW GRADE	
FIRST FLOOR	18,361
SECOND FLOOR	17,525
TOTAL	35,886
GRAND TOTAL (ABOVE AND BELOW TOTALS)	94,155

60 PENHALLOW STREET
at BRICK MARKET

Penhallow Street
Portsmouth, NH

MARK McNABB

Scale: 1/8" = 1'-0"
Date: 8/28/2019
Project Number: P19081.02

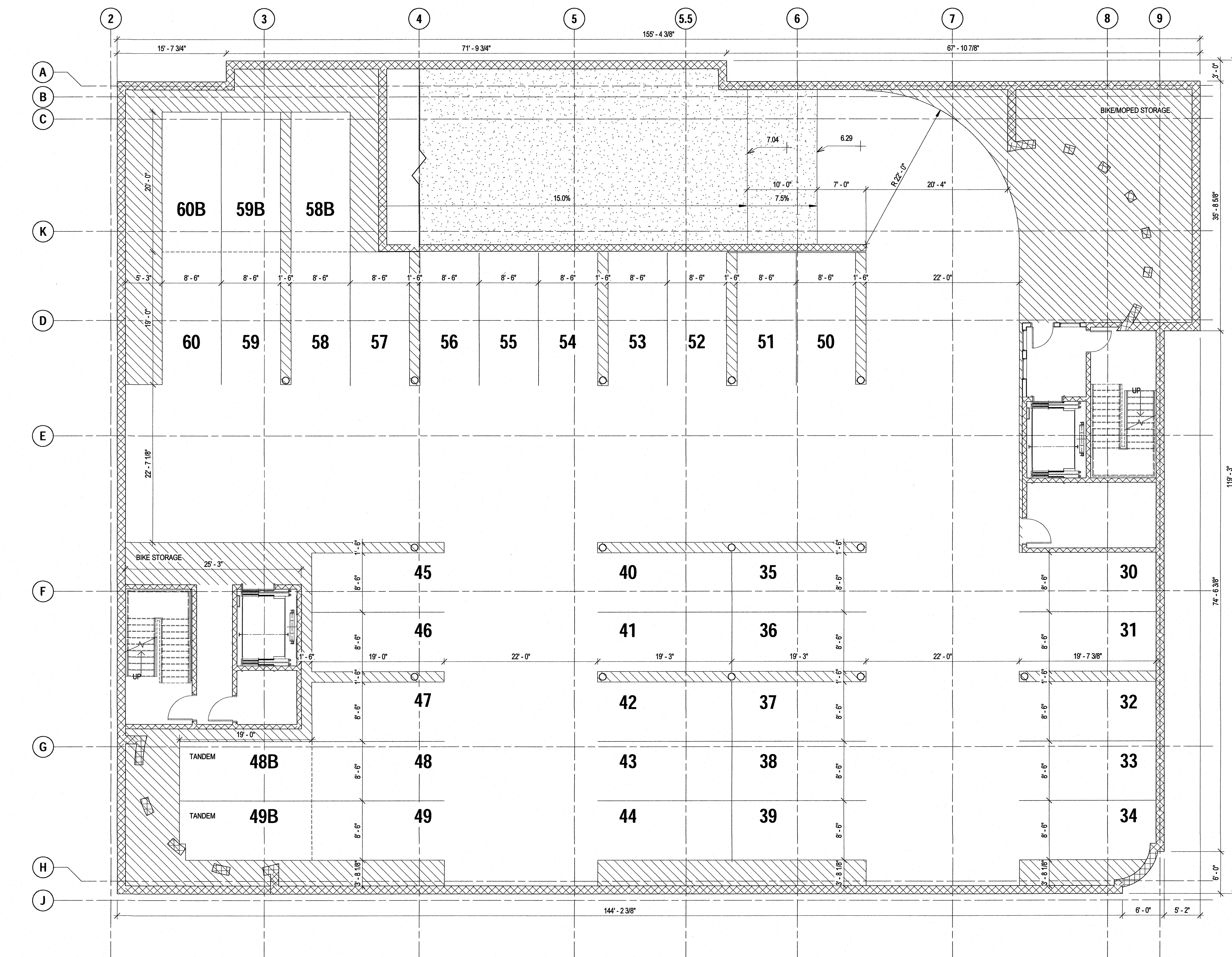
REVISIONS		
NO.	DESCRIPTION	DATE

SCHEMATIC PROGRESS

SECOND PARKING FLOOR PLAN

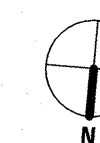
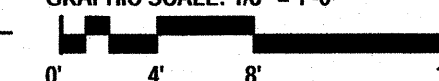
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1 BASEMENT SECOND FLOOR OVERALL PLAN
1/8" = 1'-0"

GRAPHIC SCALE: 1/8" = 1'-0"





D1.6

PERSPECTIVE NE DANIEL ST

60 PENHALLOW STREET at BRICK MARKET
HDC WS4 - OCTOBER 2019



D1.7

PERSPECTIVE NW DANIEL ST

60 PENHALLOW STREET at BRICK MARKET
HDC WS4 - OCTOBER 2019



TANGRAM 3DS

D1.8

PERSPECTIVE SW COURTYARD

60 PENHALLOW STREET at BRICK MARKET
HDC WS4 - OCTOBER 2019

JSA

ARCHITECTS
INTERIORS
PLANNERS



D1.9

PERSPECTIVE SE PENHALLOW ST

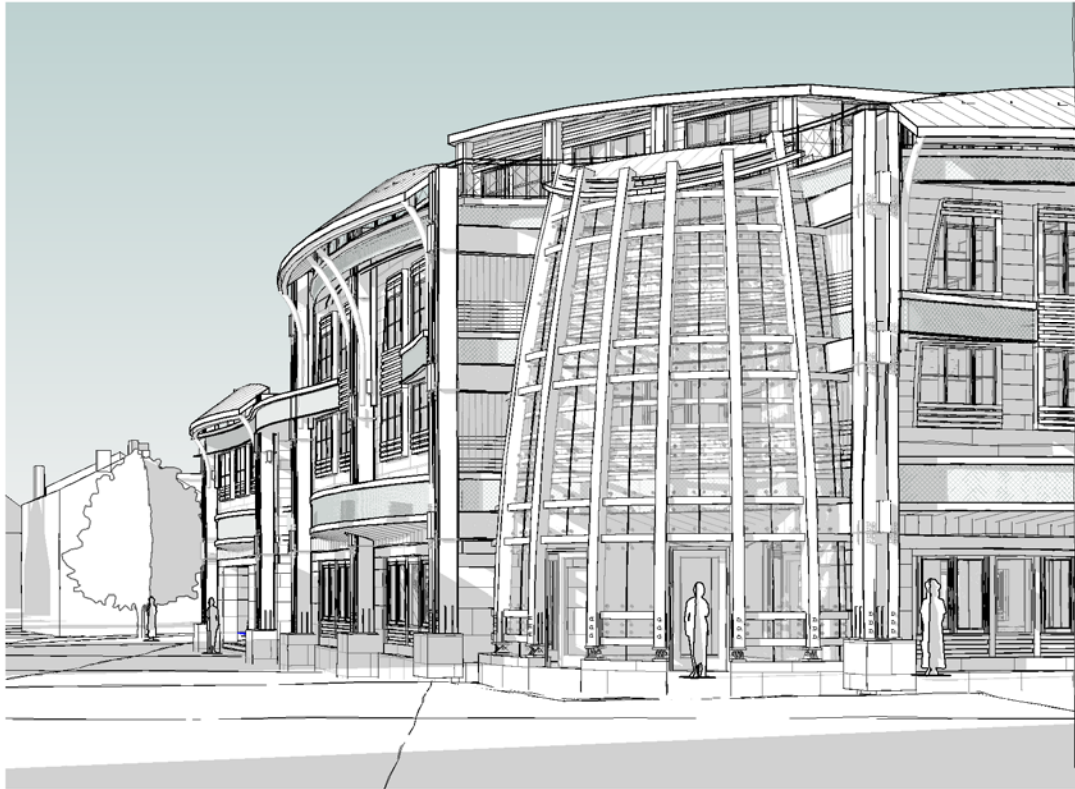
60 PENHALLOW STREET at BRICK MARKET
HDC WS4 - OCTOBER 2019

JSA

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INTERIORS
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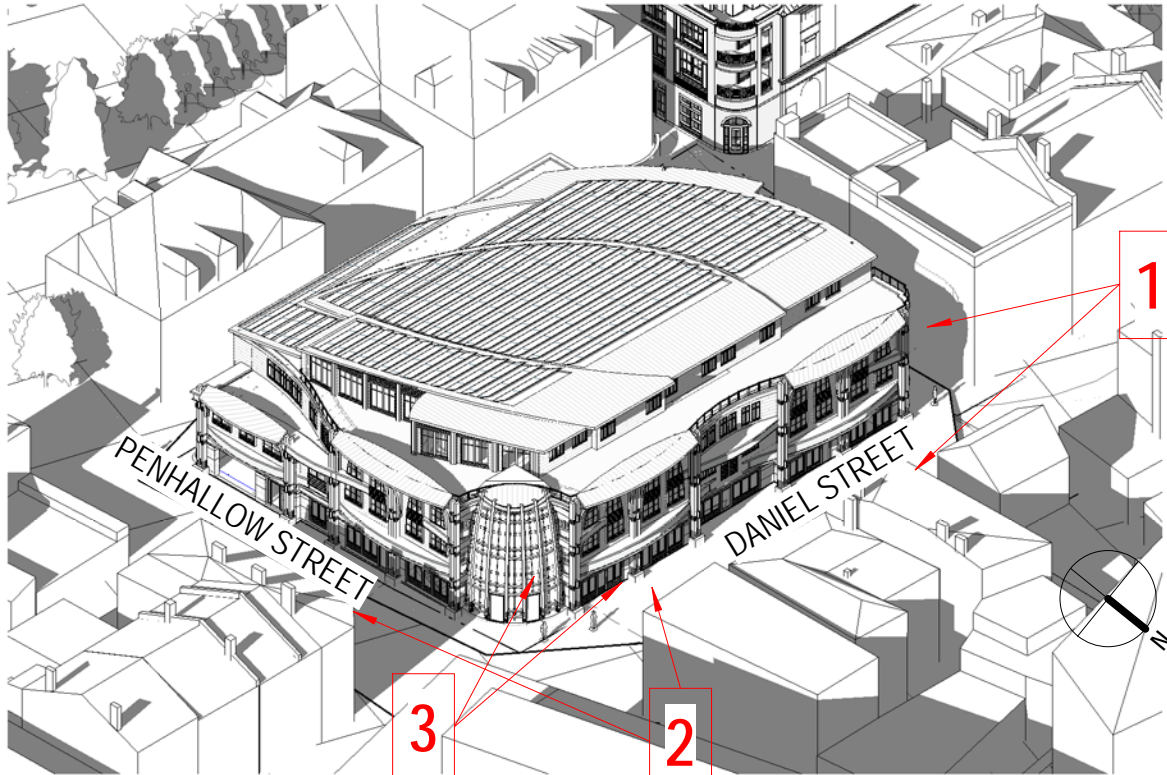
STREET VIEW 1



STREET VIEW 2



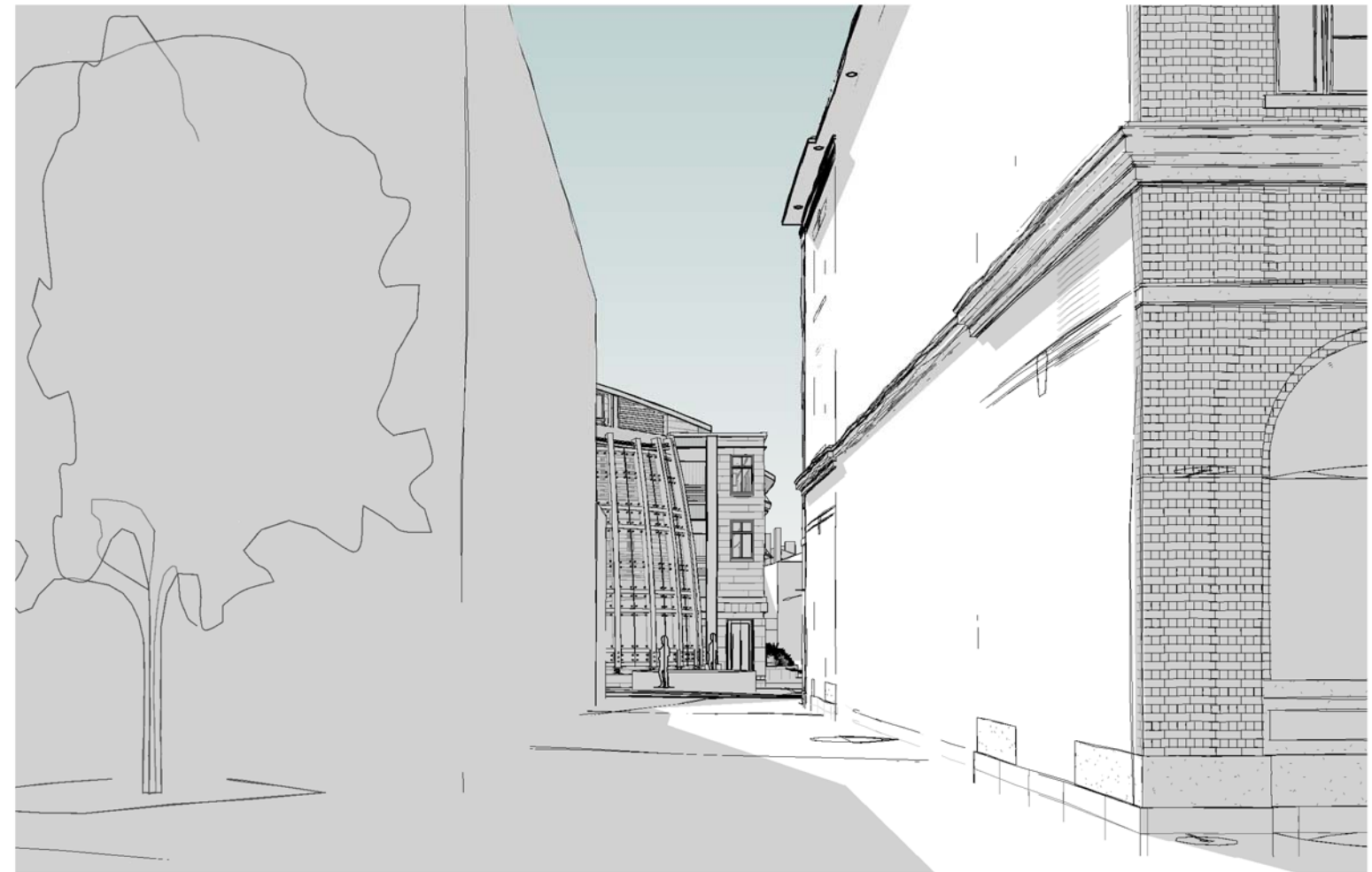
STREET VIEW 3



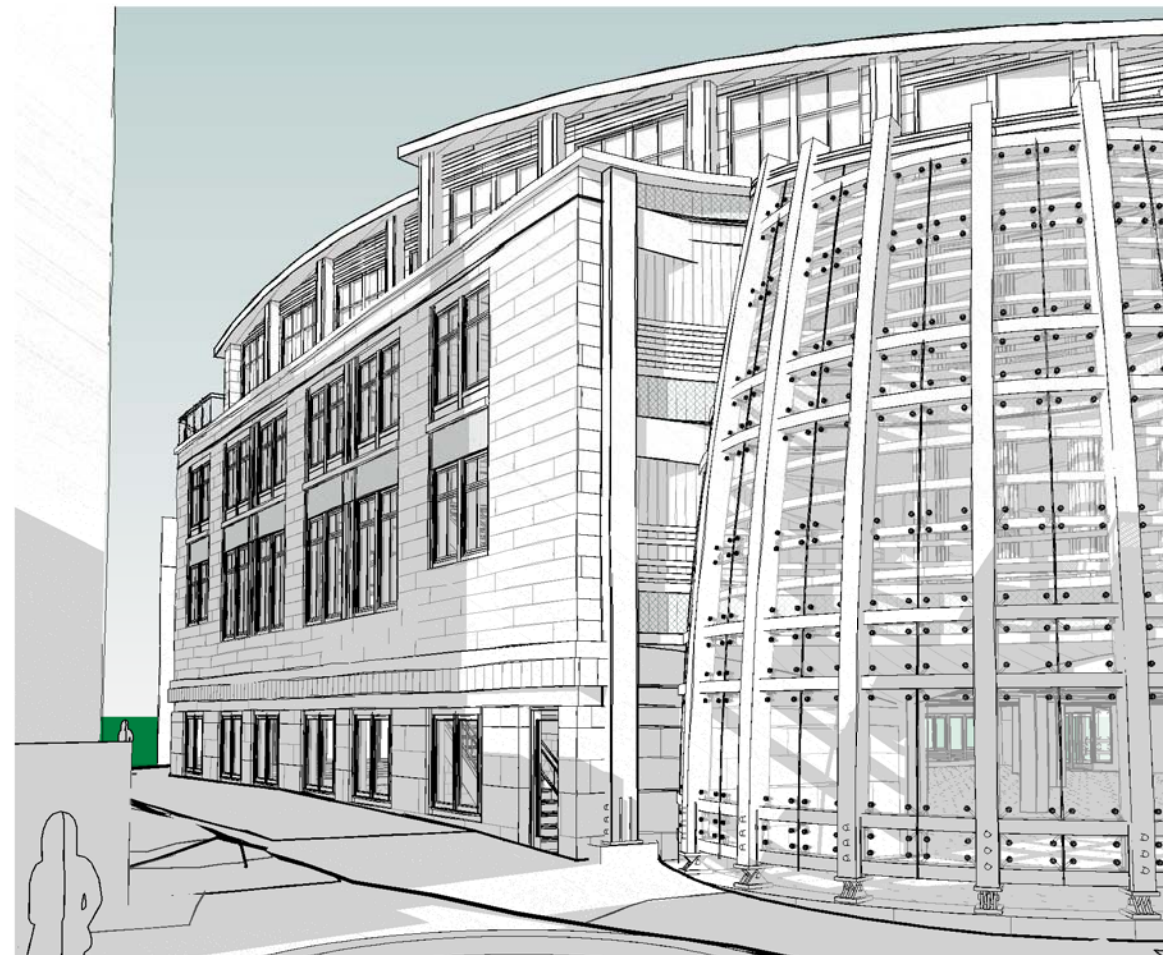
D1.10 3D VIGNETTES - FRONT
 60 PENHALLOW STREET at BRICK MARKET
 HDC WS4 OCTOBER 2019



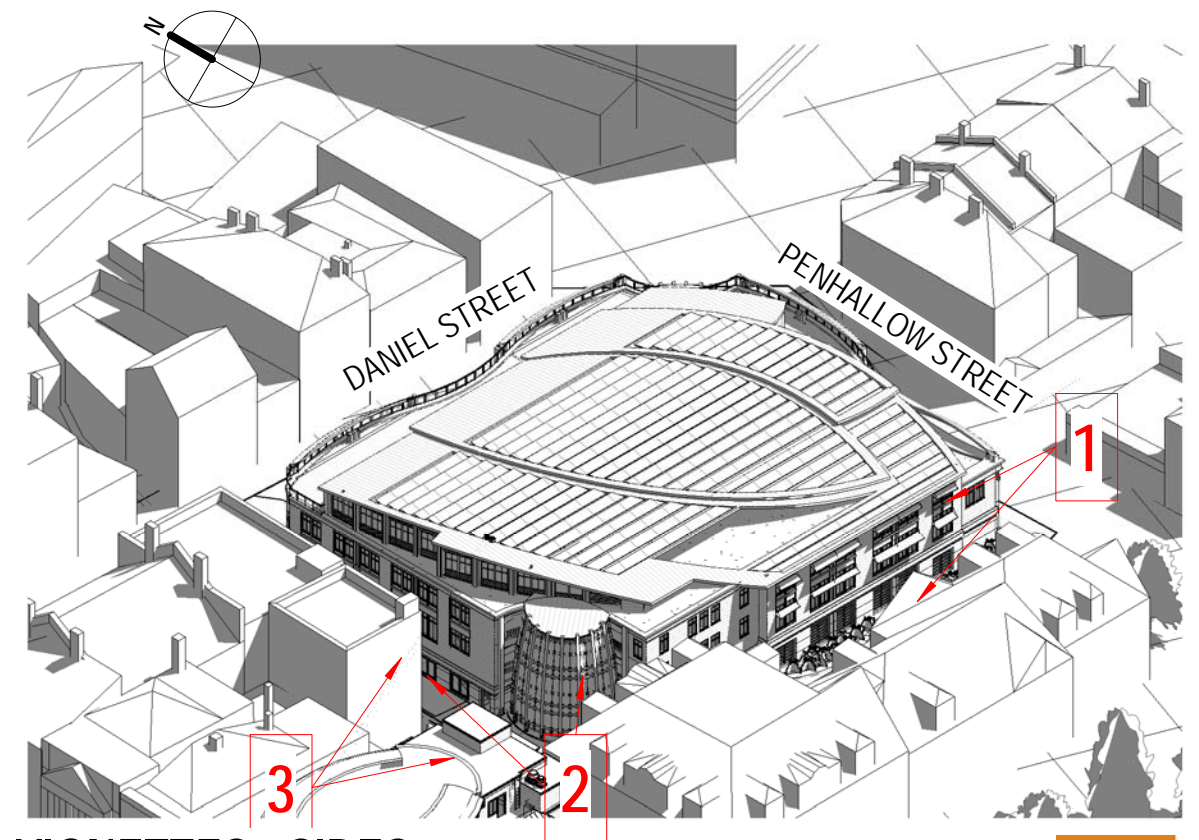
STREET VIEW 1



STREET VIEW 3



STREET VIEW 2



D1.11

3D VIGNETTES - SIDES

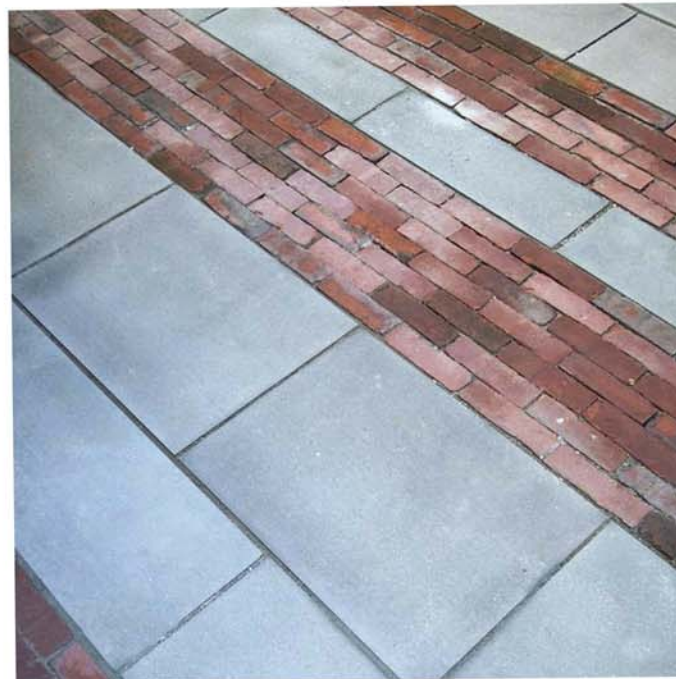
60 PENHALLOW STREET at BRICK MARKET 53 DANIEL STREET
HDC Work Session 2 AUGUST 7, 2019



Wausau Red Granite - Slim banding



Deer Isle Granite - Paving Field



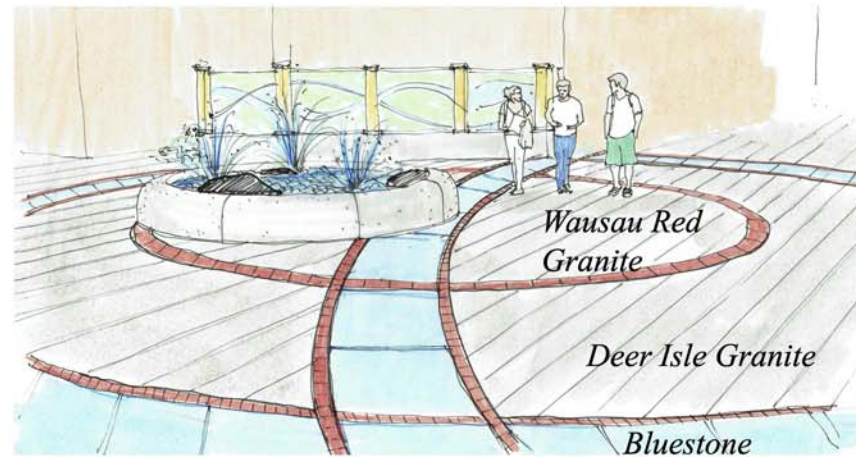
Bluestone



Podium Bench - 6' diameter

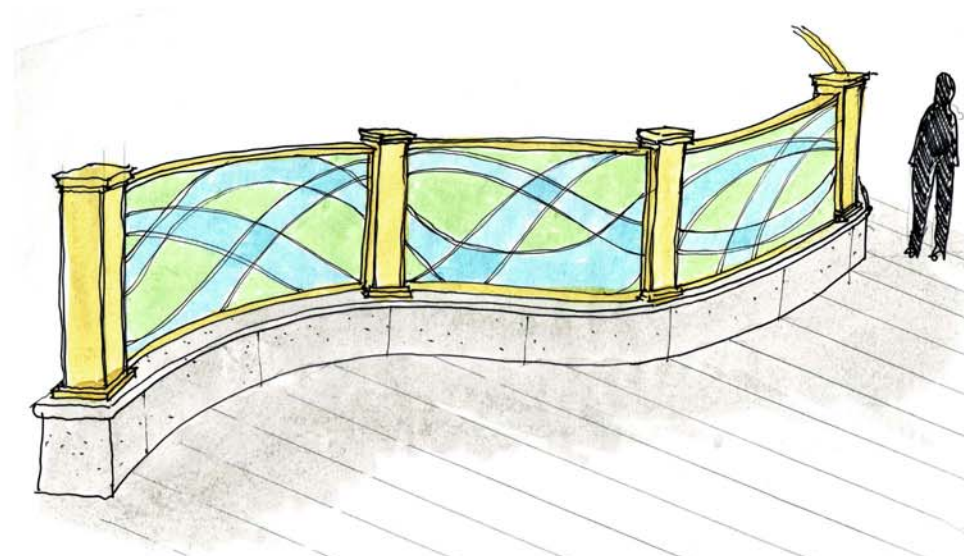


*Wood Bench Top - sits on Deer Isle granite wall base instead of steel feet as shown here
18" w x 14" - 20" base (varies with grade)*



*Granite Fountain - low sprays
18" high x 14' diameter*

*Tree planters shown as core ten here
3'x3'x3'*



*Mural Wall - Height 6' and 8' see plan - Granite base 18x18"
Posts wood to match building*



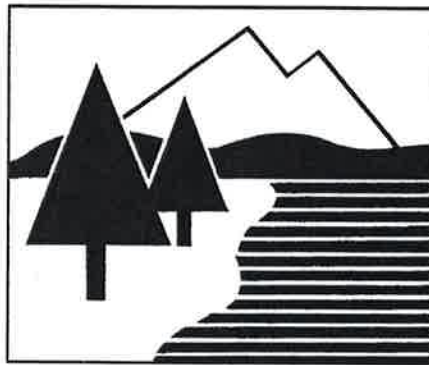
D1.31

LANDSCAPE MATERIALS

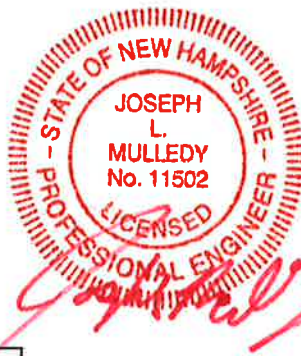
60 PENHALLOW STREET at BRICK MARKET
HDC WS4 OCTOBER 2019

DRAINAGE ANALYSIS
SITE REDEVELOPMENT

60 PENHALLOW STREET
PORTSMOUTH, NH



October 8, 2019



Ambit Engineering, Inc.

Civil Engineers and Land Surveyors
200 Griffin Road, Unit 3
Portsmouth, NH 03801
Phone: 603.430.9282; Fax: 603.436.2315
E-mail: jlm@ambitengineering.com
(Ambit Job Number 3039)

TABLE OF CONTENTS

REPORT

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Site Specific Information	3
Pre-Development Drainage	4
Post-Development Drainage	4
Erosion and Sediment Control Practices	5
Conclusion	6
References	6

APPENDIX

- A. Vicinity (Tax) Map
- B. Tables, Charts, Etc.
- C. HydroCAD Drainage Analysis Calculations
- D. Soil Survey Information
- E. FEMA FIRM Map
- F. Inspection & Maintenance Plan

ATTACHMENTS

Existing Drainage Plan - W1

Proposed Drainage Plan - W2

EXECUTIVE SUMMARY

This drainage analysis examines the pre-development (existing) and post-development (proposed) stormwater drainage patterns for the proposed development which includes a constructing a multi-story mixed use building at 60 Penhallow Street in Portsmouth, NH. The site is shown on the City of Portsmouth Assessor's Tax Map 107 as Lot 27. The lot size is 23,279 square-feet (0.53 acres).

The new building will be serviced by public water and public sewer. The development has the potential to increase stormwater runoff to adjacent properties, and therefore must be designed in a manner to prevent that occurrence. This will be done primarily by capturing stormwater runoff and routing it through appropriate stormwater facilities, designed to ensure that there will be no increase in peak runoff from the site as a result of this project.

The hydrologic modeling uses the "Extreme Precipitation" values from The Northeast Regional Climate Center (Cornell University) for modeling purposes. Because Portsmouth is in the Seacoast area, we have increased these values by 15% and incorporated these values in this report.

SITE REDEVELOPMENT

60 Penhallow Street

PORTSMOUTH, NH

INTRODUCTION / PROJECT DESCRIPTION

This drainage report is designed to assist the owner, planning board, contractor, regulatory reviewer, and others in understanding the impact of the proposed development project on local surface water runoff and quality. The project site is shown on the City of Portsmouth, NH Assessor's Tax Map 107 Lot 27.

Bounding the site to the north is Daniel Street. Bounding the site to the West are commercial buildings with frontage along Daniel Street and Market Square / Pleasant Street. Bounding the site to the south is a commercial building with frontage on Penhallow Street. Bounding the Site to the east is Penhallow Street. The subject property is situated in the Character District 4 (CD4), Downtown Overlay District (DOD) and the Historic District (HDC). A vicinity map is included in the Appendix to this report.

The proposed development plan is to construct a new commercial building with a below grade, two level garage and other associated improvements such as utilities and landscaping. The project is anticipated to begin construction in the spring of 2020 and be substantially completed by the summer of 2021.

This report includes information about the existing site and the proposed development necessary to analyze stormwater runoff and to design any required mitigation. The report includes maps of pre-development and post-development watersheds, sub-catchment areas and calculations of runoff. The report will provide a narrative of the stormwater runoff and describe numerically and graphically the surface water runoff patterns for this site. Proposed stormwater management and treatment structures and methods will also be described, as well as erosion and sediment control practices. To fully understand the proposed site development the reader should also review a complete site plan set in addition to this report.

METHODOLOGY

This report uses the US Soil Conservation Service (SCS) Method for estimating stormwater runoff. The SCS method is published in The National Engineering Handbook (NEH), Section 4 "Hydrology" and includes the Technical Release No. 20, (TR-20) "Computer Program for Project Formulation Hydrology", and Technical Release No. 55 (TR-55) "Urban Hydrology for Small Watersheds" methods. This report uses the HydroCAD version 10.0 program, written by HydroCAD Software Solutions LLC, Chocorua, N.H., to apply these methods for the calculation of runoff and for pond modeling. Hydrologic modeling employs the "Extreme Precipitation" values from The Northeast Regional Climate Center (Cornell University) increased by 15%. These values have been used and are included in this report.

Time of Concentration (Tc) is calculated by entering measured flow path data such as flow path type, length, slope and surface characteristics into the HydroCAD program. For the purposes of this report, and as directed by TR55, a minimum time of concentration of 5 minutes is used.

The storm events used for the calculations in this report are the 2-year, 10-year and 50-year (24-hour) storms. Watershed basin boundaries have been delineated and subsequently revised using topographic maps prepared and updated by Ambit Engineering survey data, record plans and field observations to confirm.

SITE SPECIFIC INFORMATION

Based on the United States Department of Agriculture (USDA) Natural Resources Conservation Service (NRCS), Soil Survey of Rockingham County, New Hampshire, the site is made up of one soil type:

699 – Urban land. This soil has been assigned a Hydrologic Soil Group (HSG) classification of B, with a Low runoff class.

The physical characteristics of the site consist of (3-15%) grades that generally slope downward into the center of the site. At least three catch basins located on site provide adequate drainage in the existing conditions. Elevations on the site range from 30 to 27 feet above sea level. Currently the site is a private commercial parking lot. The existing vegetation around the lot consists of established grasses, shrubs and trees.

According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) number 33015C0259E (effective date May 17, 2005), the project site is not located in a floodplain. A copy of the FIRM map is included in the Appendix.

PRE-DEVELOPMENT DRAINAGE

The existing site drains via overland flow from the outer bounds of the property towards the center of the site to three catch basins located within the parking lot. These three catch basins combine and discharge to a 12" HDPE through CB 5966 located along the curb line in Penhallow Street. We have placed the design point at the end of the existing 12" HDPE, entering CB 5966 and then into an 18" HDPE main trunkline at DMH 5963. There is no existing stormwater detention or treatment on the site.

In the pre-development condition, the site has been analyzed as four watershed basins (ES1, ES2, ES3 and ES4) based on localized topography and discharge location. As described above, ES1 represents the majority of on site runoff while ES2, ES3 and ES4 are the offsite runoff from adjacent streets. The runoff curve number (CN) for Subcatchment ES1 is calculated to be 91 with impervious coverage of 76.9%. The runoff curve numbers for ES2, ES3 and ES4 is 98 since they are entirely impervious surface consisting of asphalt and brick sidewalk.

Table 1: Pre-Development Watershed Basin Summary

Watershed Basin ID	Basin Area (SF)	Tc (MIN)	CN	2-Year Runoff (CFS)	10-Year Runoff (CFS)	50-Year Runoff (CFS)	Design Point
ES1	30,432	5.0	91	2.25	3.67	5.80	DP1
ES2	4,330	5.0	98	0.37	0.56	0.86	DP1
ES3	1,701	5.0	98	0.14	0.22	0.34	DP1
ES4	803	5.0	98	0.07	0.10	0.16	DP1

POST-DEVELOPMENT DRAINAGE

The proposed development has been designed to match the pre-development drainage patterns to the greatest extent feasible. In the post-development condition, the site has been analyzed as four (4) separate subcatchments (PS1, PS2, PS3 and PS4) based on localized topography and discharge locations. In general, the proposed subcatchments are similar area as the existing subcatchments. Basin PS1 is the rooftop runoff from the new building. PS2 is the runoff from Daniel Street. PS3 is the runoff from Penhallow Street. PS4 is runoff from the alley way that flows out to Penhallow Street.

The runoff curve number (CN), Time of Concentration (TC), % Impervious, and Peak Flow Rate (CFS) for the Post Development Watersheds are shown in Table 2: Post Development Water Shed Summary below.

Table 2: Post-Development Watershed Basin Summary

Watershed Basin ID	Basin Area (SF)	Tc (MIN)	CN	2-Year Runoff (CFS)	10-Year Runoff (CFS)	50-Year Runoff (CFS)	Design Point
PS1	17,104	5.0	98	1.46	2.23	3.39	DP1
PS2	5,601	5.0	98	0.48	0.73	1.11	DP1
PS3	1,995	5.0	98	0.17	0.26	0.40	DP1
PS4	12,558	5.0	98	1.00	1.58	2.45	DP1

The overall impervious coverage of the area analyzed in this report for all basins **increases** from 30,251 square feet (81.1%) in the pre-development condition to 35,773 square feet (95.9%) in the post-development condition. Since runoff from the site is largely roof top and brick type paver walkways, there is no real need for treatment of stormwater runoff as the runoff will be relatively clean.

Table 3 shows a summary of the comparison between pre-developed flows and post-developed flows for the design point.

Table 3: Pre-Development to Post-Development Comparison

	Q2 (CFS)		Q10 (CFS)		Q25 (CFS)		Q50 (CFS)	
Design Point	Pre	Post	Pre	Post	Pre	Post	Pre	Post
DP1	2.83	3.11	4.56	4.80	5.90	6.11	7.16	7.34

EROSION AND SEDIMENT CONTROL PRACTICES

The erosion potential for this site as it exists is low due to the existing pavement at the site. During construction, the major potential for erosion is wind and stormwater runoff. The contractor will be required to inspect and maintain all necessary erosion control measures, as well as installing any additional measures as required. All erosion control practices shall conform

to “The Stormwater Management and Erosion Control Handbook for Urban and Developing Areas in New Hampshire.” Some examples of erosion and sediment control measures to be utilized for this project during construction may include:

- Silt Soxx (or approved alternative) located at the toe of disturbed slopes
- Stabilized construction entrance at access point to the site
- Temporary mulching and seeding for disturbed areas
- Spraying water over disturbed areas to minimize wind erosion

After construction, permanent stabilization will be accomplished by permanent seeding, landscaping and surfacing the access drives and parking areas with asphalt paving

CONCLUSION

The existing site is largely impervious surface. The proposed development will add a nominal amount of impervious surface to the overall area. This results in marginal increases between 0.28 cfs and 0.18 cfs in stormwater runoff for the range of storms analyzed. Considering that there is a closed drainage system located within Penhallow Street, in our opinion these increases can be absorbed with no concern for negative impacts.

REFERENCES

1. City of Portsmouth, NH. Site Plan Review Regulations amended September 15, 2016.
2. Comprehensive Environmental Inc. and New Hampshire Department of Environmental Services. *New Hampshire Stormwater Manual (Volumes 1, 2 and 3)*, December 2008 (Revision 1.0).
3. Minnick, E.L. and H.T. Marshall. *Stormwater Management and Erosion and Sediment Control Handbook for Urban and Developing Areas in New Hampshire*, prepared by Rockingham County Conservation District, prepared for New Hampshire Department of Environmental Services, in cooperation with USDA Soil Conservation Service, August 1992.
4. HydroCAD Software Solution, LLC. *HydroCAD Stormwater Modeling System Version 10.0* copyright 2013. HydroCAD Software Solution, LLC. *HydroCAD Stormwater Modeling System Version 10.0* copyright 2013.
5. University of New Hampshire Stormwater Center 2009 Biannual Report, Pages 14-21 for references to Lag time (TC) for Porous Pavement and Filtration Basins.



SPECIFICATIONS

GENERAL:

The surface drainage system shall be 9000 Series Slot Drain complete with slotted linear trench opening as manufactured by Slot Drain Systems.

MATERIALS:

T304 Stainless Steel, T316 Stainless Steel, Galvanized Steel, Fiberglass

DESIGN OPTIONS:

Slot Opening (#): ½" (0), 1" (1), 1 ¼" (5)
End (*): Open (0), End Cap (1), Flush Nipple (5)
Section Lengths: Full 9'8", Half 4'10"
Typical runs start with 102 or 102B (Half Section).

LOAD CLASS:

Load Class F (10,000 lbs.)

FLOW RATE:

½" 11 gpm (per foot of drain)
1 18 gpm (per foot of drain)
1 ¼" 27 gpm (per foot of drain)

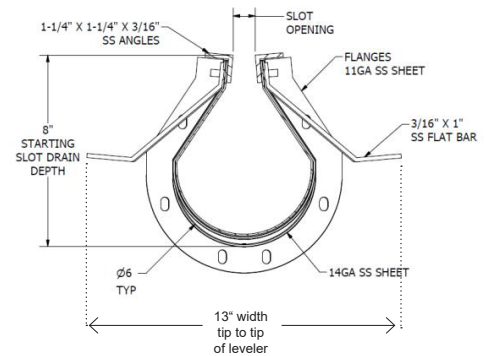
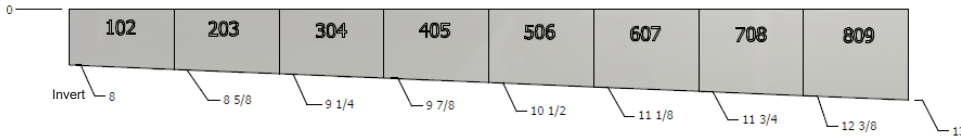
ACCESSORIES:

Cleaning paddle, Cleaning Brush, Flush Flo, CIP

INSTALLATION:

The 9000 Series Slot Drain System shall be installed in accordance with the manufacturer's installation instructions and recommendations.

Typical Modular Layout of a Slot Drain® System
(Sections fit together as illustrated below)



DRAIN CHANNELS

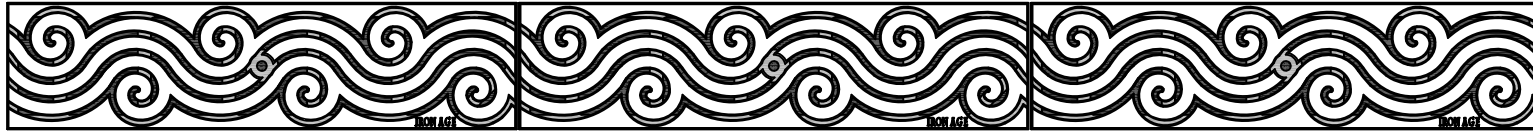
DESCRIPTION	PART NO.	INVERT SHALLOW		INVERT DEEP	
		INCHES	MM	INCHES	MM
9000 SERIES SS SLOT 102 HALF	SD95#*-102B	8 5/16	211.137	8 5/8	219.075
9000 SERIES SS SLOT 102	SD95#*-102	8	203.2	8 5/8	219.075
9000 SERIES SS SLOT 203	SD95#*-203	8 5/8	219.075	9 1/4	234.95
9000 SERIES SS SLOT 304	SD95#*-304	9 1/4	234.95	9 7/8	250.825
9000 SERIES SS SLOT 405	SD95#*-405	9 7/8	250.825	10 1/2	266.7
9000 SERIES SS SLOT 505 N	SD95#*-505B	10 1/2	266.7	10 1/2	266.7
9000 SERIES SS SLOT 506	SD95#*-506	10 1/2	266.7	11 1/8	282.575
9000 SERIES SS SLOT 607	SD95#*-607	11 1/8	282.575	11 3/4	298.45
9000 SERIES SS SLOT 708	SD95#*-708	11 3/4	298.45	12 3/8	314.325
9000 SERIES SS SLOT 809	SD95#*-809	12 3/8	314.325	13	330.2
9000 SERIES 90° SS SLOT	-	-	-	-	-
9000 SERIES SS TRANSITION PIT	-	-	-	-	-
	-	-	-	-	-

CATCH BASIN

DESCRIPTION	TOP WIDTH		TOP LENGTH		BOTTOM WIDTH		BOTTOM LENGTH		HEIGHT		OUTLET HEIGHT		EDGE OF FRAME	
	INCHES	MM	INCHES	MM	INCHES	MM	INCHES	MM	INCHES	MM	INCHES	MM	INCHES	MM
9000 SS CB	13	304.8	13	304.8	13	304.8	13	304.8	20 1/4	508	4 or 6	101.6 - 152.4	15	381

SPECIFYING ENGINEER IS RESPONSIBLE FOR CONCRETE ENCASEMENT AND REINFORCING BASED UPON APPLICATION AND LOCAL CODES.
SLOT DRAIN SYSTEMS RESERVES THE RIGHT TO CHANGE THE PRODUCT AND SPECIFICATIONS WITHOUT NOTICE

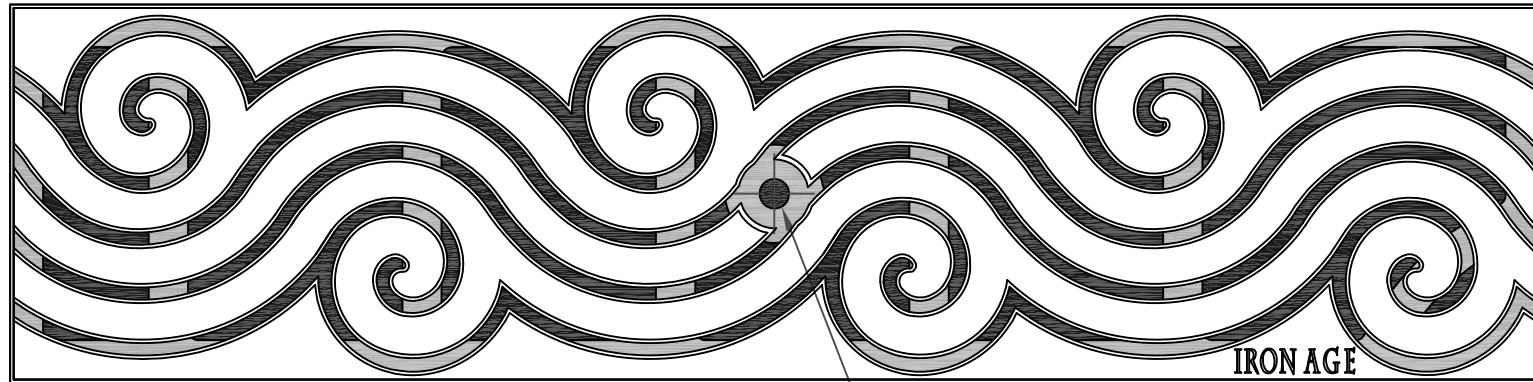
3 GRATES ARRAYED



TOP

19 $\frac{7}{16}$ "
[494mm]

4 $\frac{13}{16}$ "
[122mm]



Hole for bolt-down



IRON AGE
DESIGNS

2104 SW 152nd St #4 TEL 206.276.0925
Burien, WA 98166 FAX 206.257.0318
www.ironagegrates.com

Argo 5"x20" Heel-Proof Trench Grate drawn by: CD
scale: NTS
drawing no. ARG.A.05x20 date: 01/01/09

NOTES:

1. Material: cast iron
2. Natural finish
3. Total thickness: $\frac{13}{16}$ "
4. Fits drain channels
5. No openings greater than $\frac{1}{4}$ "
6. Due to casting inconsistencies, all dimensions are nominal.
7. **Weight: 11 lbs. per casting**

manufactured by:

ABT® PolyDrain®,
ACO™ KlassikDrain-K100/K100S
MEADRAIN® 1000 Series

Registration Number:
VA 2-007-074

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