## **DRAWING INDEX**

COVER PAGE AND TECHNICAL DRAWINGS

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A0.4 CODE REVIEW

EXISTING CONDITIONS + DEMO

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EX.2.0 EXISTING ELEVATIONS
D1.0 DEMOLITION PLAN

## ARCHITECTURAL

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A1.1 BASEMENT AND FIRST FLOOR PLANS
A1.2 SECOND AND THIRD FLOOR PLANS
A2.0 PROPOSED ELEVATIONS
A4.0 BUILDING SECTIONS

## STRUCTURAL

GENERAL NOTES, SPECS, & DETAILS

As Noted on sheet

FOUNDATION PLAN & 1ST & 2ND FRAMING PLAN AND DETAILS

As noted on sheet

THIRD AND ROOF FRAMING PLAN & DETAILS

FRAMING DETAILS

As noted on sheet

FRAMING DETAILS

As noted on sheet

FIRST FLOOR PLAN, SECOND FLOOR FRAMING

As noted on sheet

ISSUE DATE (NOT NOTED ABOVE)

Phase II

## ELECTRICAL

To Be Provided at Later Date

# **DWG SET ISSUE AND REVISIONS**

NOTE: STRUCTURAL REVISIONS NUMBERS NOT DOCUMENTED IN THIS SCHEDULE

Progress Sets Not for Construction as noted on sheet

Phase I Interior Structure 2019-08-08

2019-09-13



THIS PROJECT CONSISTS OF AN EXISTING 3 STORY SINGLE FAMILY RESIDENCE WITH AN EXISTING FINISHED BASEMENT THAT WILL BE UPDATED AND RENOVATED. THE BUILDING WILL REMAIN A SINGLE FAMILY RESIDENCE. THERE WILL BE NO ALTERATION OR ADDITIONS TO THE EXTERIOR, INCLUDING THE WINDOWS OR EXTERIOR WINDOW TREATMENTS DURING PHASE I CONSTRUCTION. THE CONSTRUCTION FOR PHASE I WILL NOT ALTER THE EXTERIOR OF THE BUILDING, AND FOCUS ON REPAIRING THE STRUCTURAL INTEGRITY OF THE STRUCTURE FROM THE INTERIOR ONLY. THE ENTIRE BUILDING (INCLUDING BASEMENT) WILL BE SPRINKLERED TO NFPA 13R.

PHASE II OF THIS PROJECT WILL CONTINUE THE INTERIOR RENOVATION OF THIS PROJECT AND ALSO CONSIST OF THE EXTERIOR ALTERATIONS TO THE BUILDING INCLUDING REPLACING THE WINDOWS, AND A SMALL MUDROOM ADDITION. THE FOOTPRINT OF THE MUDROOM ADDITION WILL ADD 66 SF (SQUARE FEET) TO THE EXISTING 642 SF FOOTPRINT. THE ADDITION WILL MATCH THE EXISTING 3 STORY HEIGHT OF THE EXISTING BUILDING. THE ENTIRE BUILDING INCLUDING THE PROPOSED PHASE II ADDITION, WILL BE SPRINKLED TO MEET REQUIREMENTS OF

THE FOLLOWING NOTES ARE INTENDED TO ADDRESS ONLY THE MAJOR ISSUES OF THE PROJECT AND DOES NOT LIST ALL REQUIREMENTS OF THE CODES OR BY LAWS ENFORCED.

MAJOR CODES ENFORCED ARE 2009 EDITION UNLESS NOTED OTHERWISE BELOW 2009 INTERNATIONAL RESIDENTIAL CODE W/ CITY AMENDMENTS 2009 INTERNATIONAL FIRE CODE

2009 NATIONAL ELECTRIC CODE (NFPA70) W/ CITY ELECTRICAL AMENDMENT

2006 INTERNATIONAL ENERGY CONSERVATION CODE

CASE BY CASE BASIS. CHANGE OF OCCUPANCY SHALL BE CONSIDERED NEW CONSTRUCTION.

THE BUILDING WILL BE EQUIPPED WITH COMBINATION HARDWIRED CARBON MONOXIDE AND SMOKE DETECTORS AS REQUIRED. PER CITY AMENDMENT, SMOKE ALARMS SHALL BE SUPPLIED BY BRANCH CIRCUIT THAT ALSO SUPPLY LIGHTING LOADS SERVING HABITABLE SPACES.

THE EXISTING HABITABLE BASEMENT WILL BE RENOVATED TO INCLUDE A BEDROOM SPACE. PERMANENT ARTIFICIAL LIGHT AND MECHANICAL VENTILATION WILL BE PROVIDED AS REQUIRED.

CITY OF PORTSMOUTH, NH ORDINANCES PAGE 30 CHAPTER 12 SECTION R310 EMERGENCY ESCAPE AND RESCUE OPENINGS

R310.1 EMERGENCY ESCAPE AND RESCUE REQUIRED. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS ON NEW CONSTRUCTION SHALL MEET THE REQUIREMENTS OUTLINED IN IRC, SECTION R310. HOWEVER, EMERGENCY ESCAPE AND RESCUE OPENINGS FOR STRUCTURES LOCATED WITHIN THE HISTORIC DISTRICT WILL BE REVIEWED ON A

ADD NEW EXCEPTION 2 TO READ AS FOLLOWS:

EXCEPTION 2: EMERGENCY ESCAPE AND RESCUE OPENINGS ARE NOT REQUIRED WHEN THE ENTIRE STRUCTURE IS PROTECTED THROUGHOUT WITH AN AUTOMATIC FIRE SUPPRESSION SYSTEM CONFORMING TO SECTION 290, NFPA 13R OR NFPA 13D AS LISTED IN CHAPTER 44. ADD NEW SUBSECTIONS TO READ AS FOLLOWS:

R310.7 RENOVATIONS TO EXISTING FINISHED BASEMENT AREAS. WHEN EXISTING BASEMENT AREAS ARE BEING REMODELED FOR USES OTHER THAN SLEEPING ROOMS AND WHEN SUCH BASEMENTS DO NOT HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING OR ROUTE AS REQUIRED BY SECTIONS R310.1, R310.2, R310.3 OR R310.6; SMOKE AND CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R314 AND R315.

R308.4 OF IRC 2009: TEMPERED GLASS REQUIREMENTS

1. TEMPERED OPERABLE OR FIXED WINDOW LOCATED WITHIN 2 FEET OF DOOR SWING.

2. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT:

A. IS LARGER THAN 9 SQ. FT. AND B. BOTTOM EDGE OF GLAZING IS LESS THAN 18" ABOVE THE FLOOR AND C. THE TOP EDGE OF THE GLAZING IS MORE THAN 36" ABOVE THE FLOOR AND D. ONE OR MORE WALKING SURFACES ARE WITHIN 36" MEASURED

3. ALL GLAZING IN RAILINGS SHALL BE TEMPERED.

4. GLAZING IN ENCLOSURES (SHOWER, TUBS, ETC.) UNLESS FURTHER THAN 60" IN A STRAIGHT LINE FROM THE WATER'S EDGE OF THE FIXTURE.

HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING.

5. GLAZING IN WALLS AND FENCES TO INDOOR AND OUTDOOR POOLS, HOT TUBS, SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE AND WITHIN 60" (MEASURED HORIZONTALLY IN A STRAIGHT LINE).

6. GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36" HORIZONTALLY OF WALKING SURFACE WHEN EXPOSED SURFACE OR GLAZING IS LESS THAN 60" ABOVE PLANE OF ADJACENT WALKING SURFACE.

7. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD OF STAIRWAY IN ANY DIRECTION WHEN EXPOSED SURFACE OF GLAZING IS LESS THAN 60" ABOVE THE NOSE OF THE BOTTOM TREAD.

## R613.2 OF THE IRC 2009

WINDOW SILLS: IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISH GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED.

**EXCEPTIONS:** 

1.) WINDOW WHOSE OPENINGS WILL NOT ALLOW A 4-INCH DIAMETER SPHERE TO PASS THROUGH THE OPENING WHEN OPENING IS IN ITS LARGEST OPENED POSITION

2. ) OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2006 OR F2090.

### **ENERGY COMPLIANCE REQUIREMENTS**

[403.2.1] SUPPLY DUCTS IN ATTICS ARE INSULATED TO ≥R-8. ALL OTHER DUCTS IN UNCONDITIONED SPACES OR OUTSIDE THE BUILDING ENVELOPE ARE INSULATED TO

[403.2.2] ALL JOINTS AND SEAMS OF AIR DUCTS, AIR HANDLERS, FILTER BOXES, AND BUILDING CAVITIES USED AS RETURN DUCTS ARE SEALED.

[403.2.3] BUILDING CAVITIES ARE NOT USED FOR SUPPLY DUCTS.

[403.2.2] POST CONSTRUCTION DUCT TIGHTNESS TEST RESULT OF ≤8 CFM TO OUTDOORS, OR ≤12 CFM ACROSS SYSTEMS. OR, ROUGH-IN TEST RESULT OF ≤6 CFM ACROSS SYSTEMS OR ≤4 CFM WITHOUT AIR HANDLER. ROUGH-IN TEST VERIFICATION MAY NEED TO OCCUR DURING FRAMING INSPECTION.

[404.1] 50% OF LAMPS IN PERMANENT FIXTURES ARE HIGH EFFICACY LAMPS. [403.1.1] PROGRAMMABLE THERMOSTATS INSTALLED ON FORCED AIR FURNACES.

[403.1.2] HEAT PUMP THERMOSTAT INSTALLED ON HEAT PUMPS.

[403.4] CIRCULATING SERVICE HOT WATER SYSTEMS HAVE AUTOMATIC OR ACCESSIBLE MANUAL CONTROLS. [303.3] MANUFACTURER MANUALS FOR MECHANICAL AND WATER HEATING EQUIPMENT HAVE BEEN PROVIDED.

103.2, 403.7] CONSTRUCTION DRAWINGS AND DOCUMENTATION DEMONSTRATE ENERGY CODE COMPLIANCE FOR LIGHTING AND MECHANICAL SYSTEMS. SYSTEMS

SERVING MULTIPLE DWELLING UNITS MUST DEMONSTRATE COMPLIANCE WITH THE COMMERCIAL CODE. [403.6] HEATING AND COOLING EQUIPMENT IS SIZED PER ACCA MANUAL S BASED ON LOADS PER ACCA MANUAL J OR OTHER APPROVED METHODS.

[403.8] SNOW- AND ICE-MELTING SYSTEM CONTROLS INSTALLED.

[403.3] HVAC PIPING CONVEYING FLUIDS ABOVE 105 °F OR CHILLED FLUIDS BELOW 55 °F ARE INSULATED TO ≥R-3.

[403.4] CIRCULATING SERVICE HOT WATER PIPES ARE INSULATED TO R-2.

### BUILDING THERMAL ENVELOPE

AIR INFILTRATION REQUIREMENTS (AS REQUIRED BY IECC 2009)

JUNCTION BETWEEN FOUNDATION AND SILL PLATE CAULK ALL JOINTS, SEAMS AND PENETRATIONS INSULATE CORNERS AND HEADERS AT ALL WALLS SITE BUILT WINDOWS, DOORS, SKYLIGHTS SEAL OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES SEAL ATTIC ACCESSES, KNEE WALL DOORS, DROP DOWN STAIR HATCHES UTILITY PENETRATIONS

DROPPED CEILINGS/SOFFITS SEAL SEAL ANY SPACES BETWEEN WINDOW/DOOR JAMBS OR FRAMING INSULATE (AND PROVIDE AIR BARRIER) ALL RIM JOISTS

SEAL CHASES ADJACENT TO THE THERMAL ENVELOPE SEAL KNEEWALLS

SEAL WALLS / CEILINGS SEPARATING GARAGE FROM CONDITIONED SPACES

INSULATE BEHIND TUB/SHOWER ON EXTERIOR WALL

AIR BARRIER AT COMMON WALLS BETWEEN DWELLING UNITS HVAC REGISTER (THAT PENETRATE ENVELOPE) TO SUBFL. OR DRYWALL

PROVIDE AIR BARRIER AT FIREPLACE WALLS LIMIT AIR INFILTRATION AT ELECTRICAL/PHONE BOXES

PROVIDE INSULATION BETWEEN PLUMBING/WIRING AND OUTSIDE WALL BOTTOM PLATES TO PLYWOOD (EXTERIOR WALLS) WITH SILICON

LIMIT HOLD GWB UP OFF FLOOR 1/4" +/-

### BUILDING THERMAL ENVELOPE

(NOTE: SPECIFIC THERMAL DETAILS AND INCORPORATION WITH EXISTING EXTERIOR WALL CONDITIONS TO BE FURTHER STUDIED IN PHASE II CONSTRUCTION OF THIS PROJECT)

RECOMMENDED SEALANTS AND MANUFACTURERS

TREMCO EXTERIOR APPLICATIONS GE SILICONE II INTERIOR APPLICATIONS DYNAFLEX 230 INTERIOR APPLICATIONS

AVERAGE R-VALUES R/INCH

VALUES FOR REFRENCE ONLY (REFER TO INSULATION SCHEDULE ON BUILDING SECTION SHEETS FOR REQUIRED INSLATION TYPE AND

AMOUNT, NO SUBSTITUTIONS UNLESS APPROVED IN WRITING FROM ARCHITECT)

NOT RECOMMENDED FIBERGLASS BATTS

3.1

ICYNENE FOAM, SPRAYED

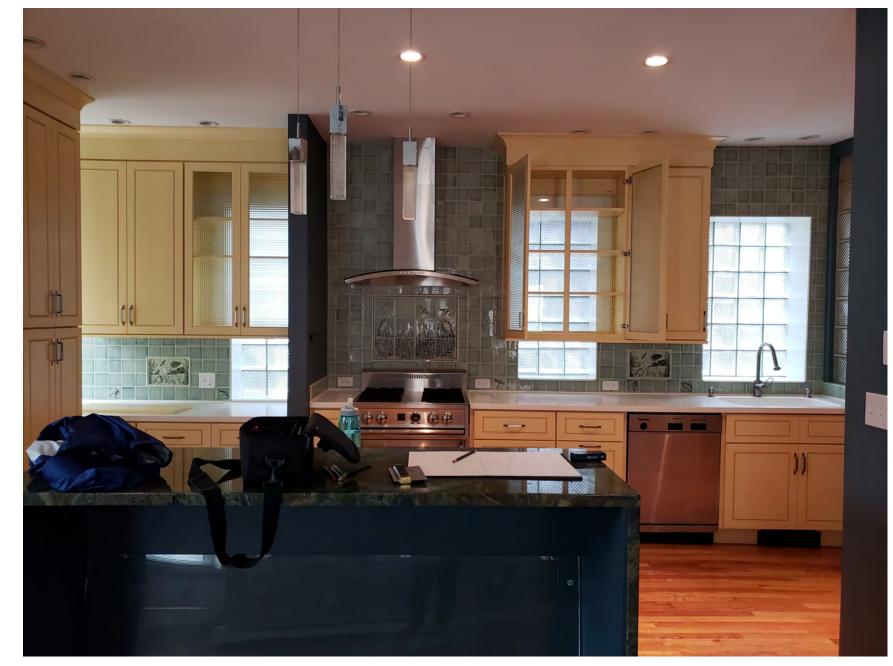
RECOMMENDED PRODUCTS

3.6 3.7 BLOWN CELLULOSE 4- 6 POLYISOCYANURATE BOARD POLYISOCYANURATE FOAM (CLOSED CELL) 4 - 8 POLYSTYRENE POLYURETHANE

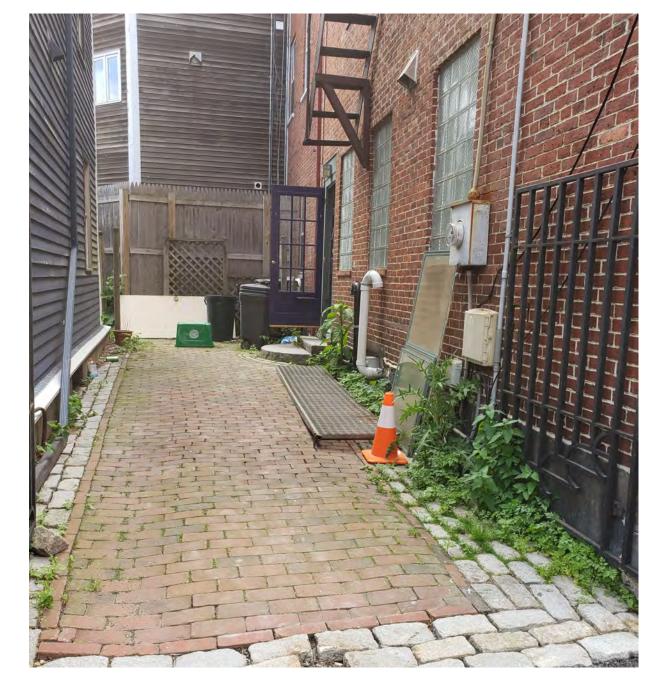
ww.tmsarchitects.co: One Cate Street Eldredge Park 603.436.4274

RESIDEN

**A0.4** 

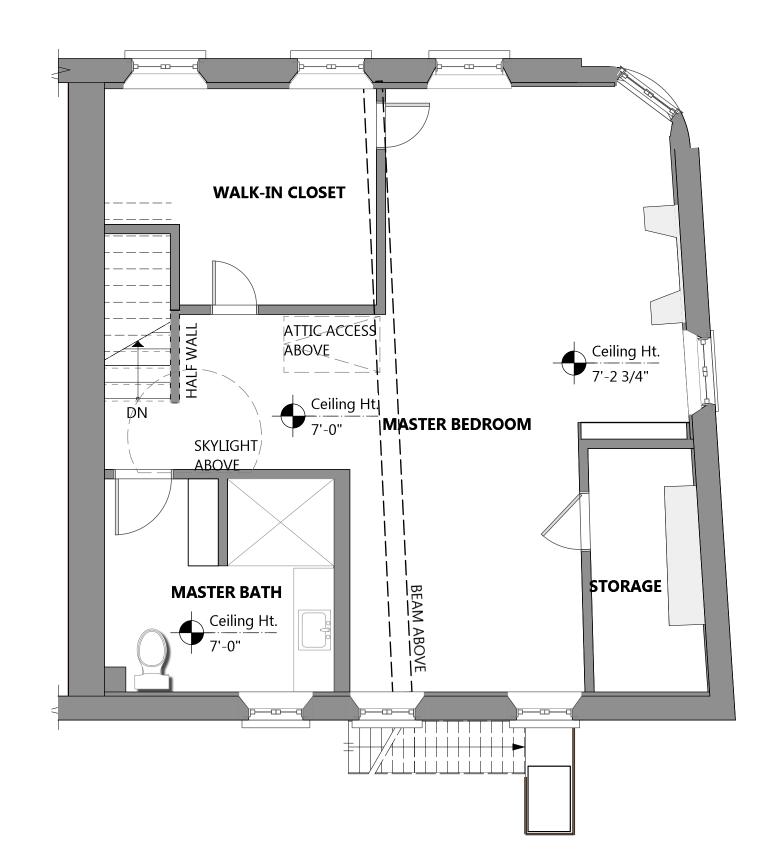


<u>VIEW 1</u>

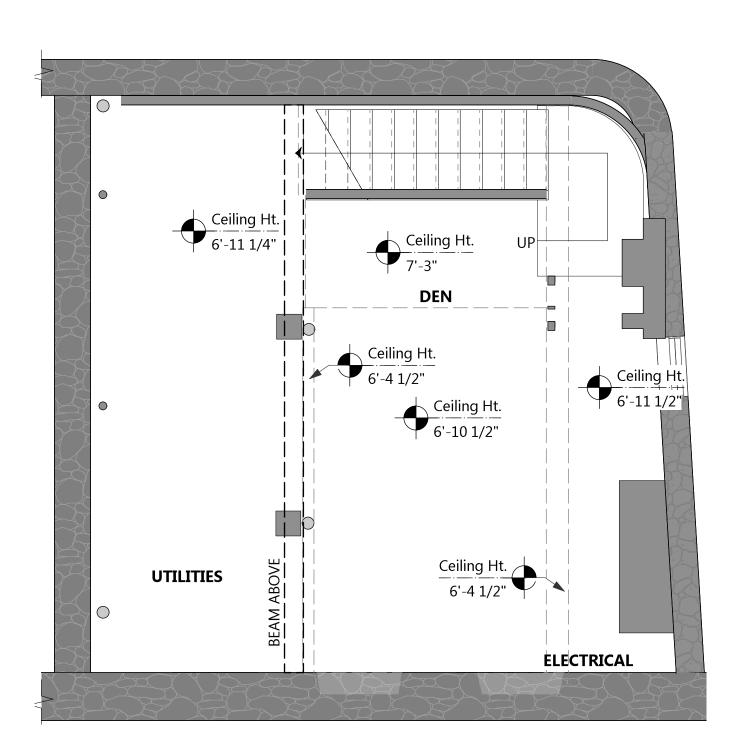


VIEW 2

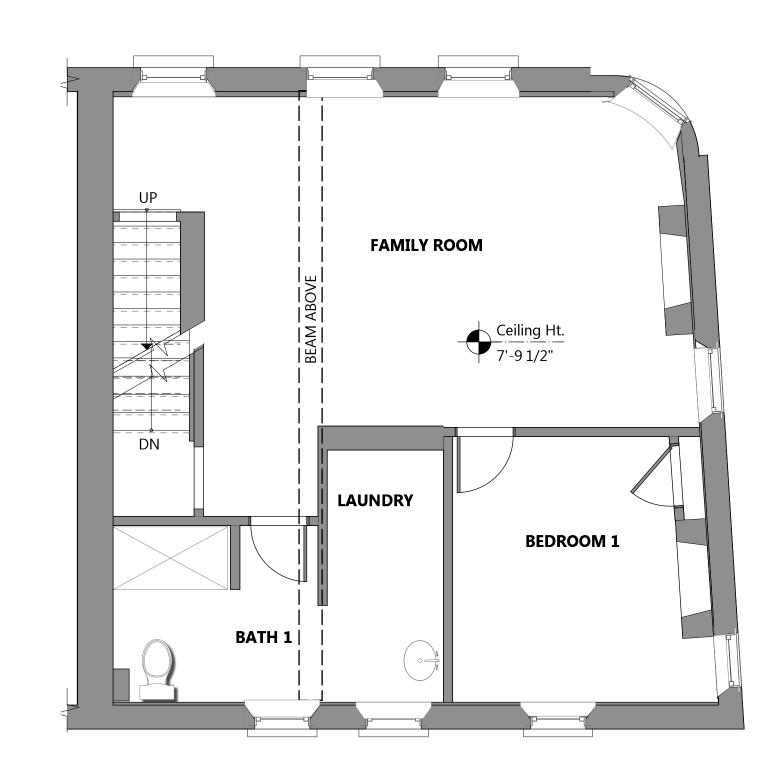




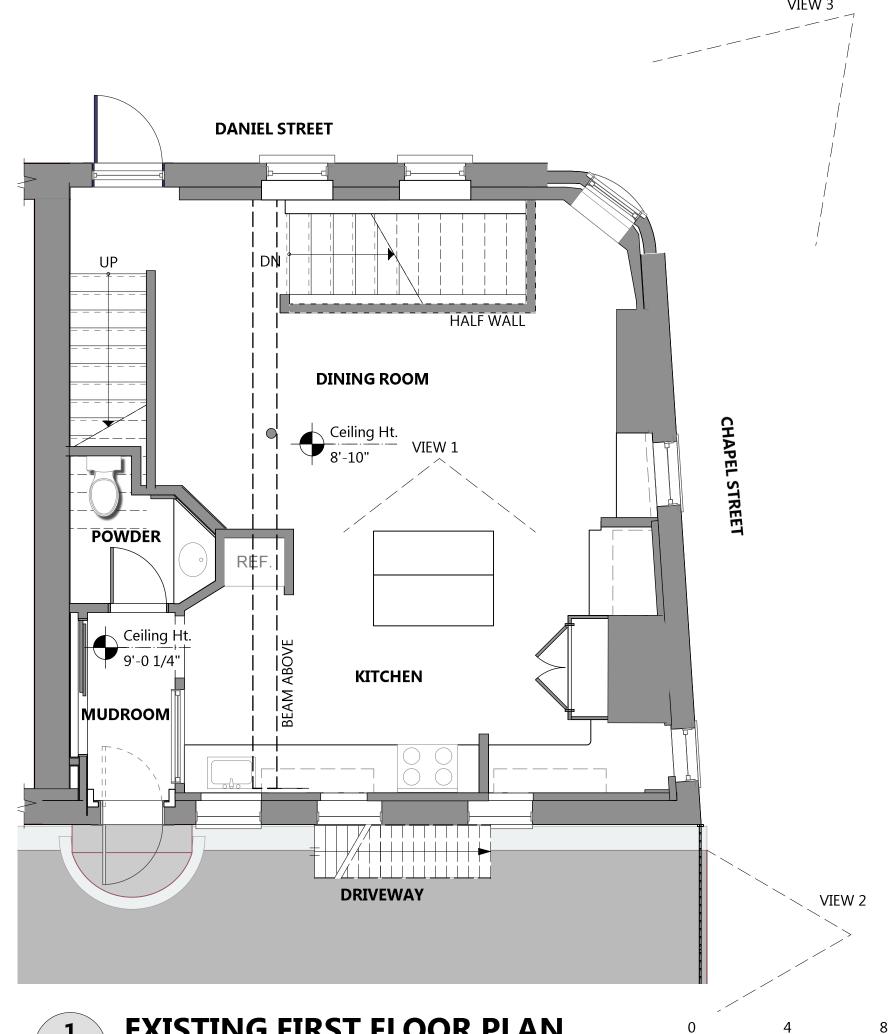










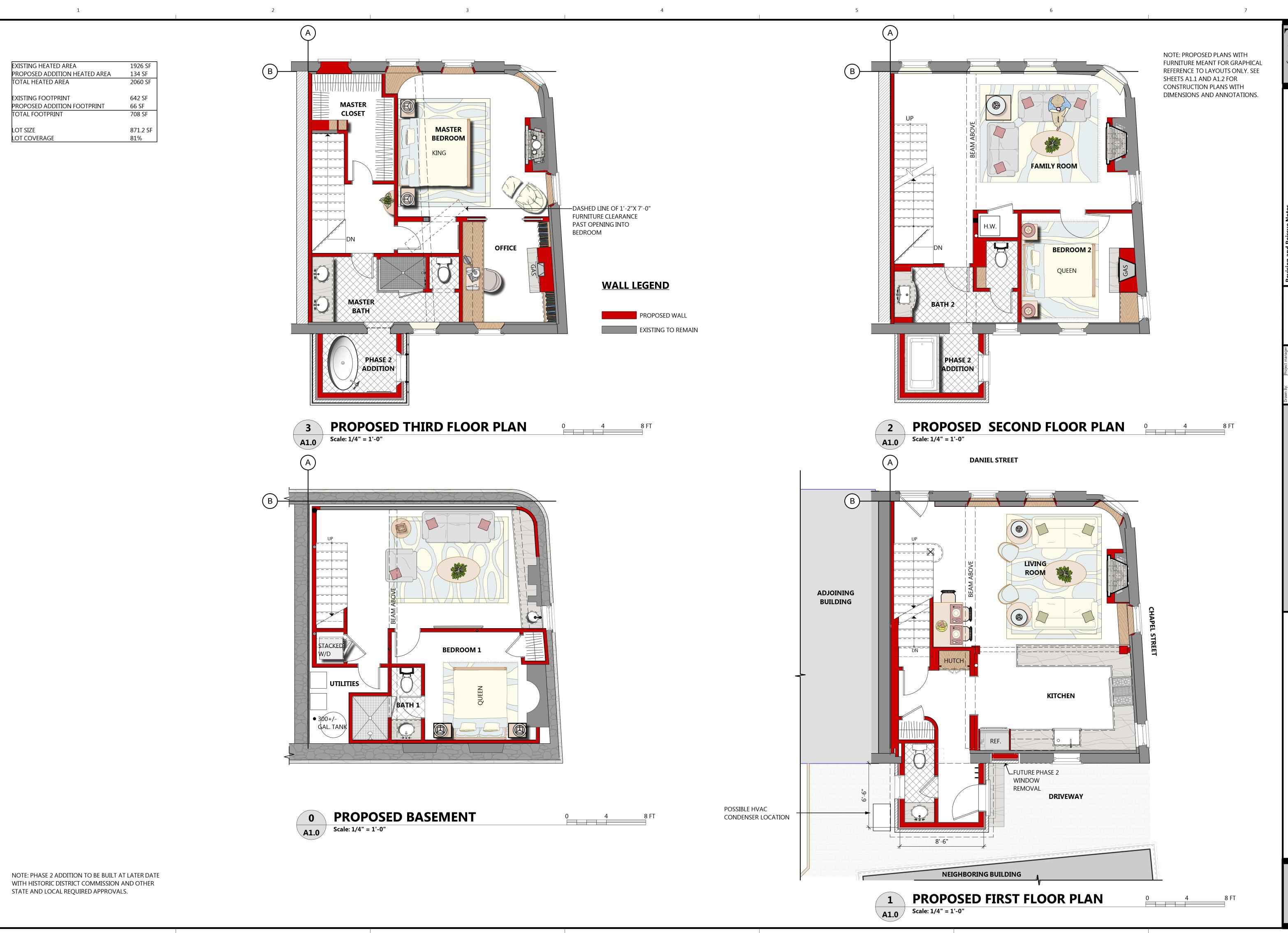


**EXISTING FIRST FLOOR PLAN** 1 EXISING / Scale: 1/4" = 1'-0" 0 4 8 FT

**EX1.0** 

One Cate Street Eldredge Park 603.436.4274

MANN RESIDEN



One Cate Street Eldredge Park 603.436.4274

Date:
Project No:

Dence - PHAS

Daniel Street

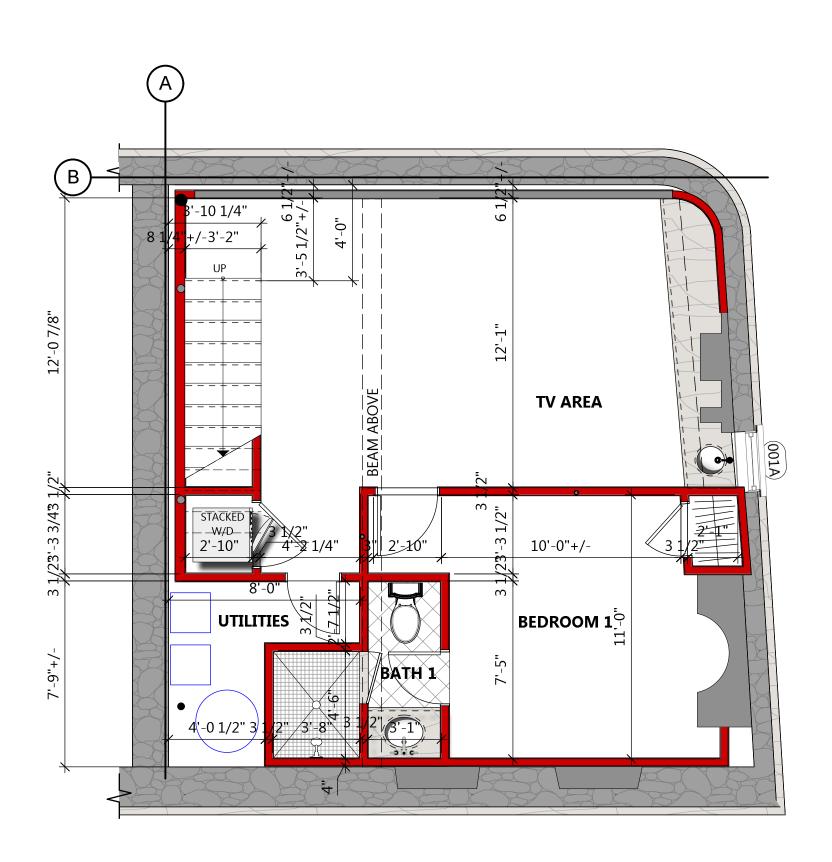
MANN RESIDENC 129 Daniel St

ED PLANS WITH FURNITURE

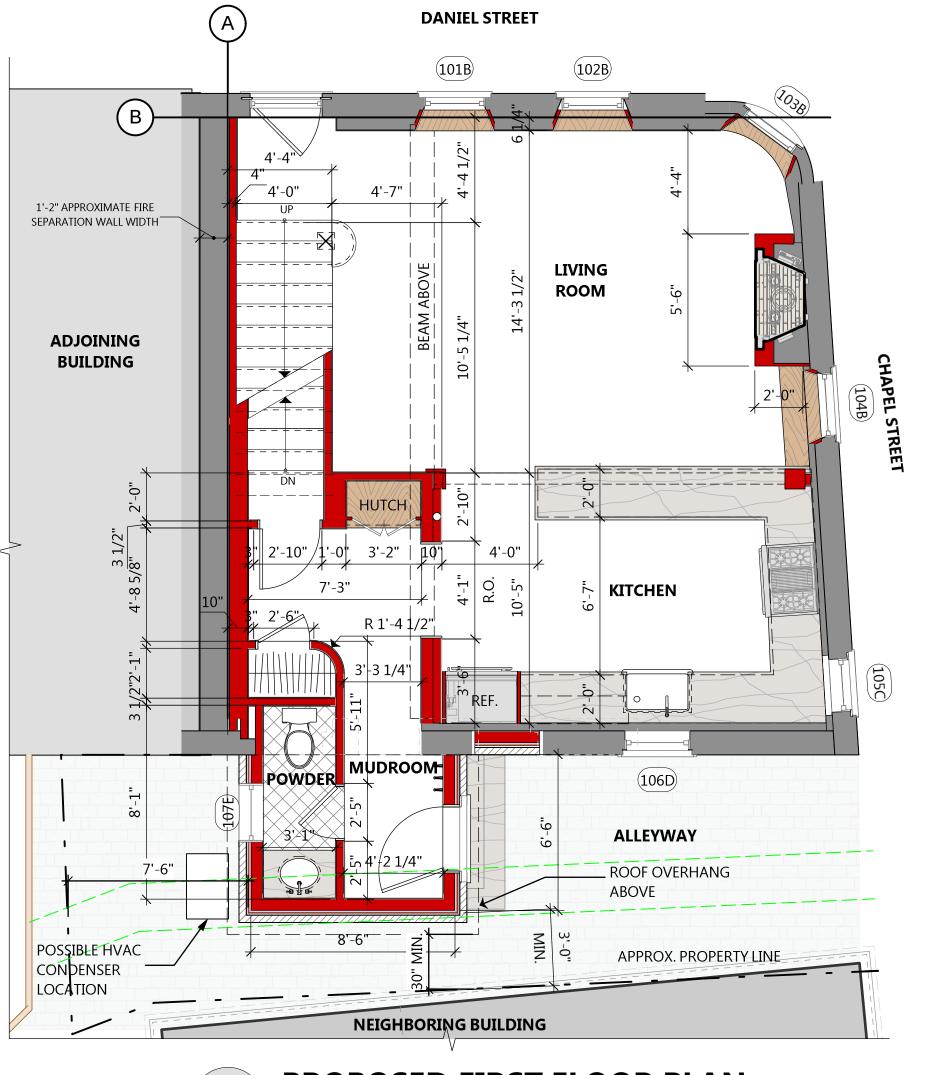
A1.0











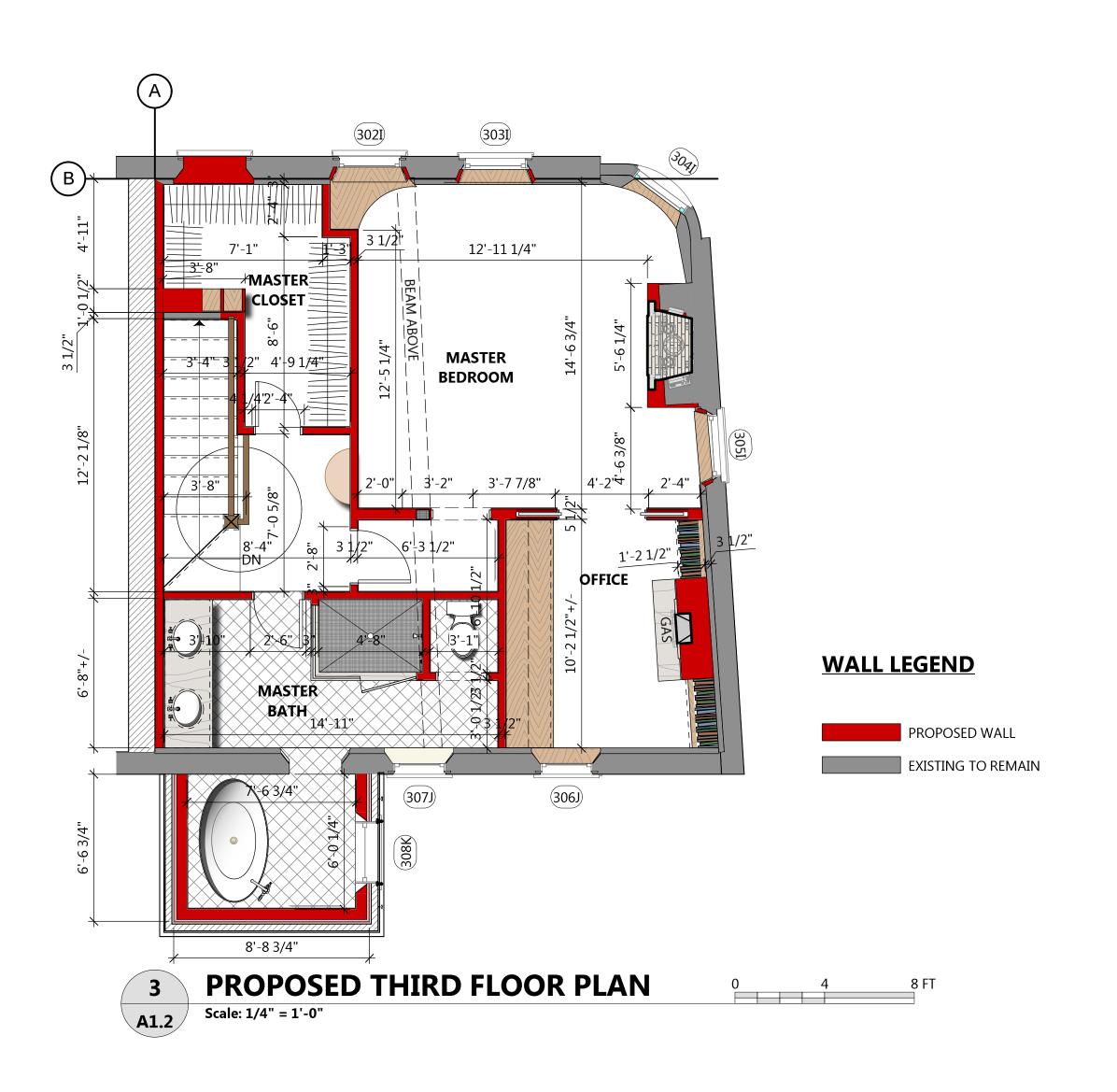
PROPOSED FIRST FLOOR PLAN 1 PROPOSE
A1.1 Scale: 1/4" = 1'-0"

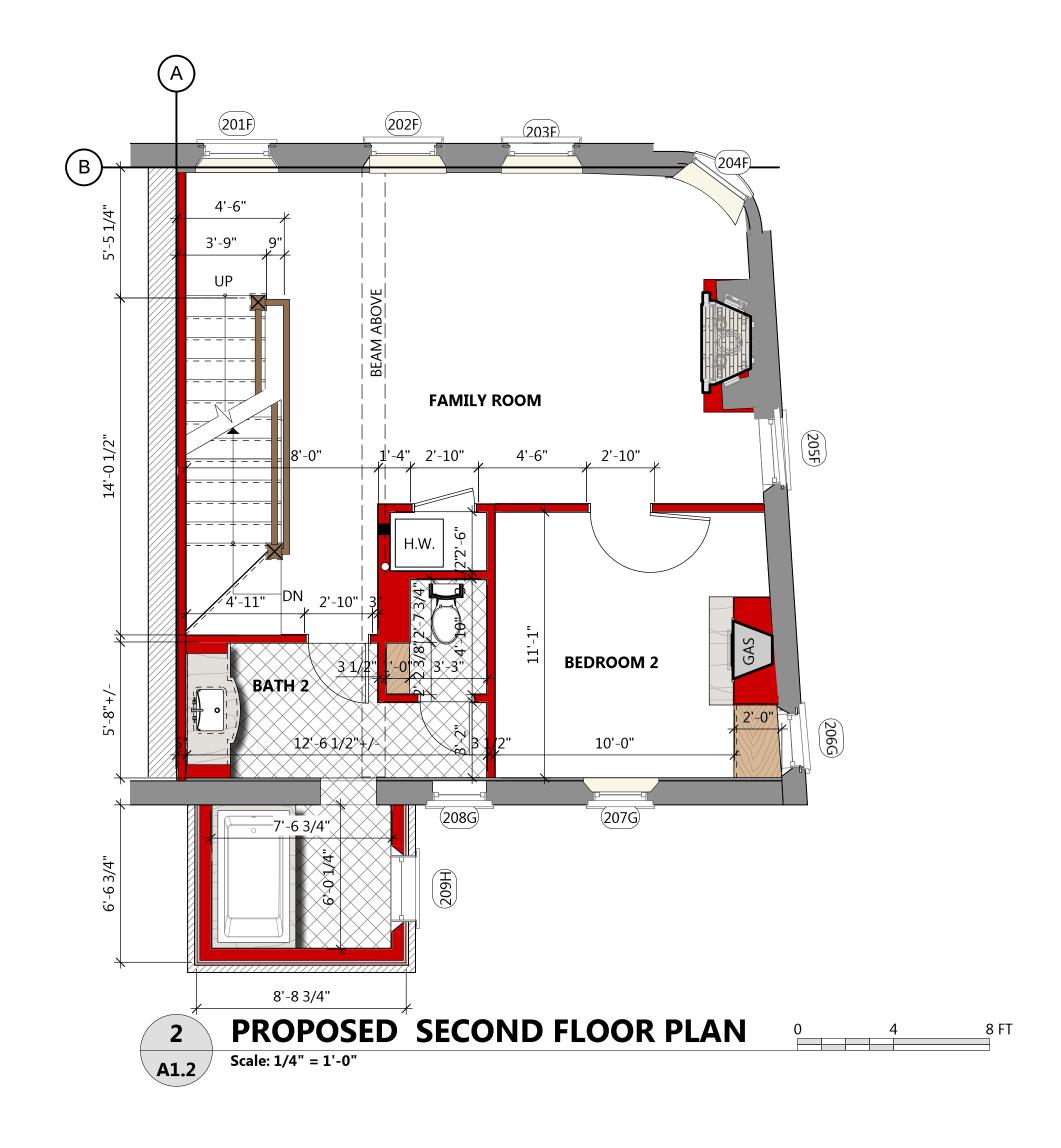
NOTE: PHASE 2 ADDITION TO BE BUILT AT LATER DATE WITH HISTORIC DISTRICT COMMISSION AND OTHER STATE AND LOCAL REQUIRED APPROVALS.

**A1.1** 

One Cate Street Eldredge Park 603.436.4274

MANN RESIDEN





TIVIS
architects
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One Cate Street
Eldredge Park
603.436.4274

Revision and Reissue NotesNo.DateIssue Notes18/21/19Added dimensions

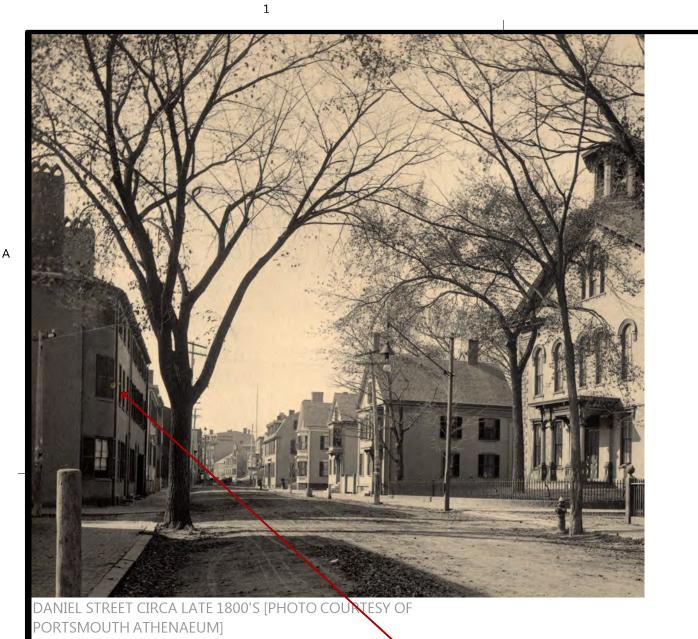
Drawn By: Project manager:

Scale:

Date:
Project No:

MANN RESIDENCE - PHASE 2
129 Daniel Street
Portsmouth, New Hampshire

COND AND THIRD FLOOR PLANS





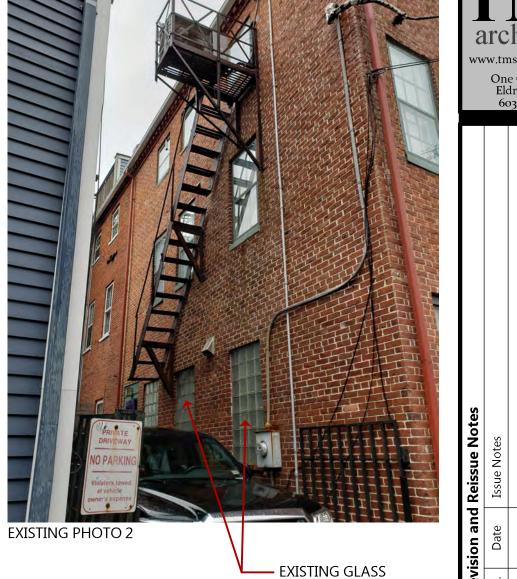




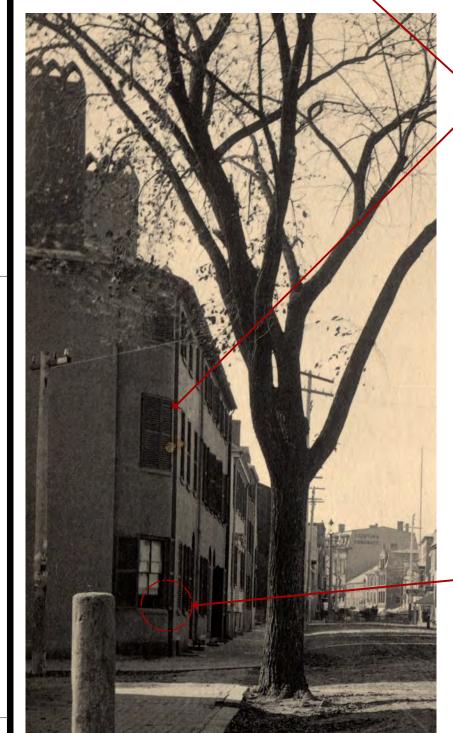
CURRENTLY IN WINDOW WITH VINYL SASHES PROPOSED TO BE REPLACED W/ MORE HISTORICALLY ACCURATE WOOD DOUBLE HUNG WINDOWS

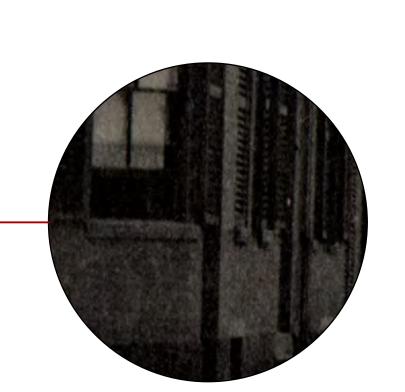


EXISTING FIRST FLOOR WINDOWS WITH NO MUNTIN



**BLOCK WINDOWS** 





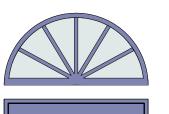
BUILDING HISTORICALLY HAD 2 PANEL LOUVERED SHUTTERS

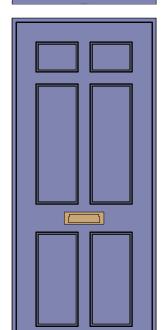


EXAMPLE OF EXISTING DETERIORATED WINDOW PROPOSED TO BE REPLACED WITH WOOD HUNG WINDOW

WINDOW SCHEDULE							
		FRAME SIZE (INCHES)		ROUGH OPENING SIZE (FEET)		WINDOW DATA	
#	TYPE	WIDTH	HEIGHT	WIDTH	HEIGHT	SASH	COMMENTS
BASEMENT	Γ		'				
001	Α	30 1/4+/- VIF	40+/- VIF	2'7 1/4"+/- VIF	3'5"+/- VIF	Fixed Glass	VERIFY AND MATCH EXISTING WINDOW MO
FIRST FLO	OR						
101	В	30 1/2+/- VIF	59 1/2+/- VIF	2'7 1/2"+/- VIF	5'0 1/2"+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
102	В	30 1/2+/- VIF	59 1/2+/- VIF	2'7 1/2"+/- VIF	5'0 1/2"+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
103	В	30 1/2+/- VIF	59 1/2+/- VIF	2'7 1/2"+/- VIF	5'0 1/2"+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
104	В	32+/- VIF	59 1/4+/- VIF	2'9"+/- VIF	5'0 1/4"+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
105	С	26 1/2+/- VIF	55 1/4+/- VIF	2'3 1/2"+/- VIF	4'8 1/4"+/- VIF	Double Hung	VERIFY. SEE NOTE BELOW
106	D	32 3/8+/- VIF	56+/- VIF	2'9 3/8"+/- VIF	4'9"+/- VIF	Double Hung	VERIFY. SEE NOTE BELOW
107	E	29+/- VIF	29+/- VIF	2'6"+/- VIF	2'6"+/- VIF	Fixed Glass	VERIFY AND MATCH EXISTING WINDOW MO
SECOND FI	LOOR	,		,	,		
201	F	33+/- VIF	59 1/2+/- VIF	2'10"+/- VIF	5'0 1/2"+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
202	F	33+/- VIF	59 1/2+/- VIF	2'10"+/- VIF	5'0 1/2"+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
203	F	33+/- VIF	59 1/2+/- VIF	2'10"+/- VIF	5'0 1/2"+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
204	F	33+/- VIF	59 1/2+/- VIF	2'10"+/- VIF	5'0 1/2"+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
205	F	33+/- VIF	59 1/2+/- VIF	2'10"+/- VIF	5'0 1/2"+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
206	G	27+/- VIF	59 1/2+/- VIF	2'4"+/- VIF	5'0 1/2"+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
207	G	27+/- VIF	55 1/2+/- VIF	2'4"+/- VIF	4'8 1/2"+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
208	G	27+/- VIF	55+/- VIF	2'4"+/- VIF	4'8"+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
209	Н	33+/- VIF	59 1/2+/- VIF	2'10"+/- VIF	5'0 1/2"+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
THIRD FLO		,	, ,	·	, ,	,	
301	I	33 1/2+/- VIF	36+/- VIF	2'10 1/2"+/- VIF	3'1"+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
302	I	33 1/2+/- VIF	36+/- VIF	2'10 1/2"+/- VIF	3'1"+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
303	I	33 1/2+/- VIF	36+/- VIF	2'10 1/2"+/- VIF	3'1"+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
304	I	33 1/2+/- VIF	36+/- VIF	2'10 1/2"+/- VIF	3'1"+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
305	I	33 1/2+/- VIF	36+/- VIF	2'10 1/2"+/- VIF	3'1"+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
306	J	28+/- VIF	35+/- VIF	2'5"+/- VIF	3'0"+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
307	J	28+/- VIF	35+/- VIF	2'5"+/- VIF	3'0"+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
308	K	33+/- VIF	50 3/4+/- VIF	2'10"+/- VIF	4'3 3/4"+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO

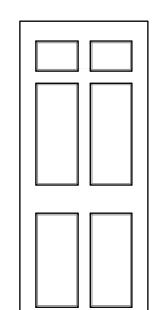
NOTE: WINDOWS 105 AND 106 SILL HEIGHT TO BE RAISED TO FIT ABOVE 3'-0" COUNTERTOP HEIGHT. WINDOW HEAD HEIGHT AND WIDTH TO MATCH EXISTING.



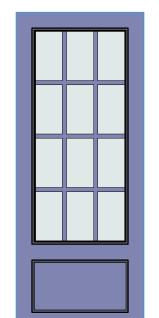


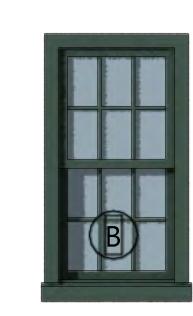
EXISTING DOOR





**TYPICAL INTERIOR DOOR** DOOR LEAF TO REPLICATE EXISTING HISTORIC 6 PANEL DOOR.

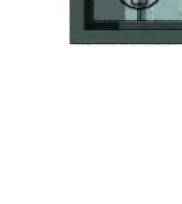


















**EXTERIOR TRIM PAINT** 

BENJAMIN MOORE

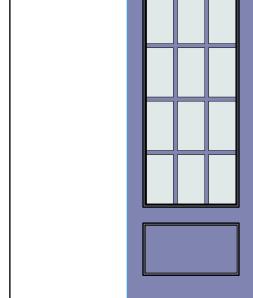
692 JACK PINE

1. EXTERIOR WINDOWS TO BE WOOD (PAINTED TO MATCH TRIM) WITH NO ATTACHED FACTORY EXTERIOR TRIM WITH PAINTED SELECT PINE INTERIOR U.N.O. (COLOR TBD WITH INTERIOR DESIGNER). INSULATED LOW E 11 GLAZING W/ 7/8" SDL MUNTINS W/ INTERNAL SPACER BARS (AS SHOWN ON ELEVATIONS AND TYPES)-(U.N.O. ON WINDOW TYPES / SCHEDULE), FACTORY PROVIDED HARDWARE TO BE OIL RUBBED BRONZE FINISH UNLESS NOTED OTHERWISE. ROLL SCREENS FROM INTERIOR.

EXTERIOR DOOR PAINT ROMAN VIOLET

PPG1170-7

- 2. G.C. AND WINDOW REP. TO FIELD VERIFY M.O.'S AND ADJUST WINDOW SIZES AS NECESSARY TO FIT EXISTING OPENINGS PRIOR TO WINDOW ORDER. ARCHITECT TO BE NOTED OF ADJUSTED SIZES IN WRITING
- 3. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL WINDOWS FOR ARCHITECT'S APPROVAL PRIOR TO FABRICATION. ANY CHANGES MADE TO WINDOW DIMENSIONS OR CALLED OUT SPECIFICATIONS SHOULD BE REVIEWED AND APPROVED IN WRITING BY THE ARCHITECT PRIOR TO SUBMISSION OF WINDOW SHOP DRAWINGS FOR FINAL APPROVAL.
- 4. G.C. TO FIELD VERIFY WINDOW AND DOOR ROUGH OPENINGS ON SCHEDULES WITH FLOOR PLANS, SECTIONS AND MANUF. SUGGESTED SIZES PRIOR TO FRAMING, G.C. TO COORDINATE WITH WINDOW MANUF. REP AS RECOMMENDED BY MANF. FOR SILL PAN FLASHING, BITUMINOUS MEMBRANE, ETC... AS INDICATED ON ARCHITECTURAL DETAILS AND SECTIONS, WHERE NOT TAKEN INTO ACCOUNT BY WINDOW MANF. SUGGESTED R.O's. CONSULT W/ ARCHITECT WITH ANY DISCREPANCIES PRIOR TO PLACING WINDOW ORDER.
- 5. MUNTINS SPACED TO CREATE EQUAL EXPOSED GLASS DIMENSIONS UNLESS OTHERWISE NOTED.
- 6. REFER TO ELEVATIONS FOR WINDOW OPERATION AND HINGE DIRECTIONS.
- 7. CONTRACTOR TO VERIFY AREAS OF TEMPERED GLASS ON UNITS AND R.O. DIMENSIONS FOR REQUIRED EGRESS WINDOWS WHERE REQUIRED BY CODE AND/OR NOTED ON DRAWINGS PRIOR TO FRAMING THE OPENING OR PLACING WINDOW ORDER.







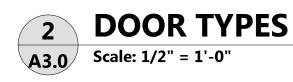














**PROPOSED WINDOW TYPES**