

DRAWING INDEX

ISSUE DATE (NOT NOTED ABOVE)

COVER PAGE AND TECHNICAL DRAWINGS

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EX2.0 EXISTING ELEVATIONS
D1.0 DEMOLITION PLAN

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A1.2 SECOND AND THIRD FLOOR PLANS
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As Noted on sheet
As noted on sheet
As noted on sheet
As noted on sheet
As noted on sheet

ELECTRICAL

To Be Provided at Later Date

DWG SET ISSUE AND REVISIONS

NOTE: STRUCTURAL REVISIONS NUMBERS NOT DOCUMENTED IN THIS SCHEDULE

Progress Sets Not for Construction	as noted on sheet
Phase I Interior Structure	2019-08-08
Phase II	2019-09-13



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MANN RESIDENCE - PHASE 2

129 Daniel Street

Portsmouth, New Hampshire



Conceptual Daniel St. Perspective For Future Phase II
For graphical purposes only. Not to scale. Needs Approval.



20190935
MANN RESIDENCE - PHASE 2

Digital Information: P:\20190935_MANN Home Renovation\CADD\Proj_Models\mamm_culTrestNew28_2017

A0.0



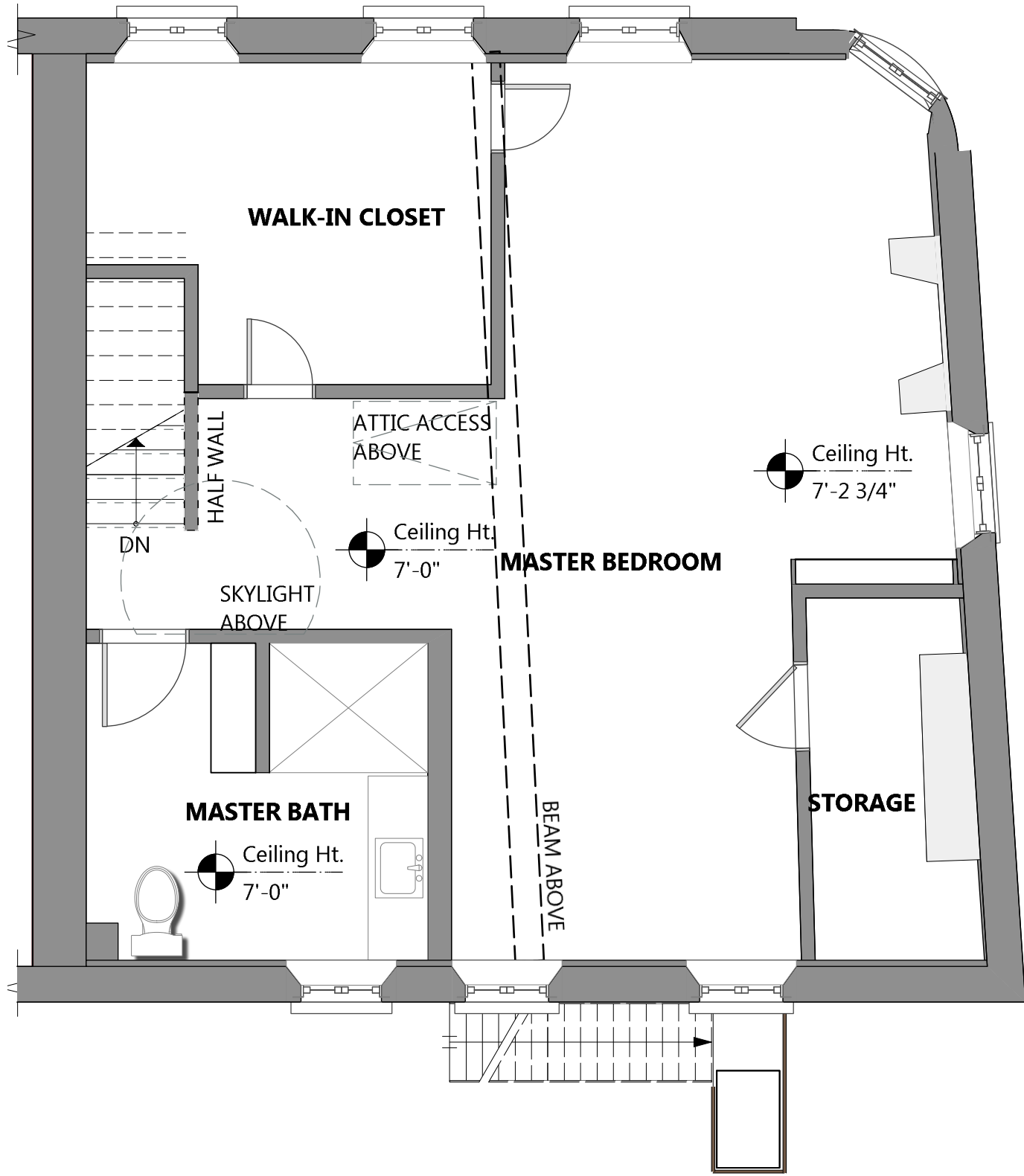
VIEW 1



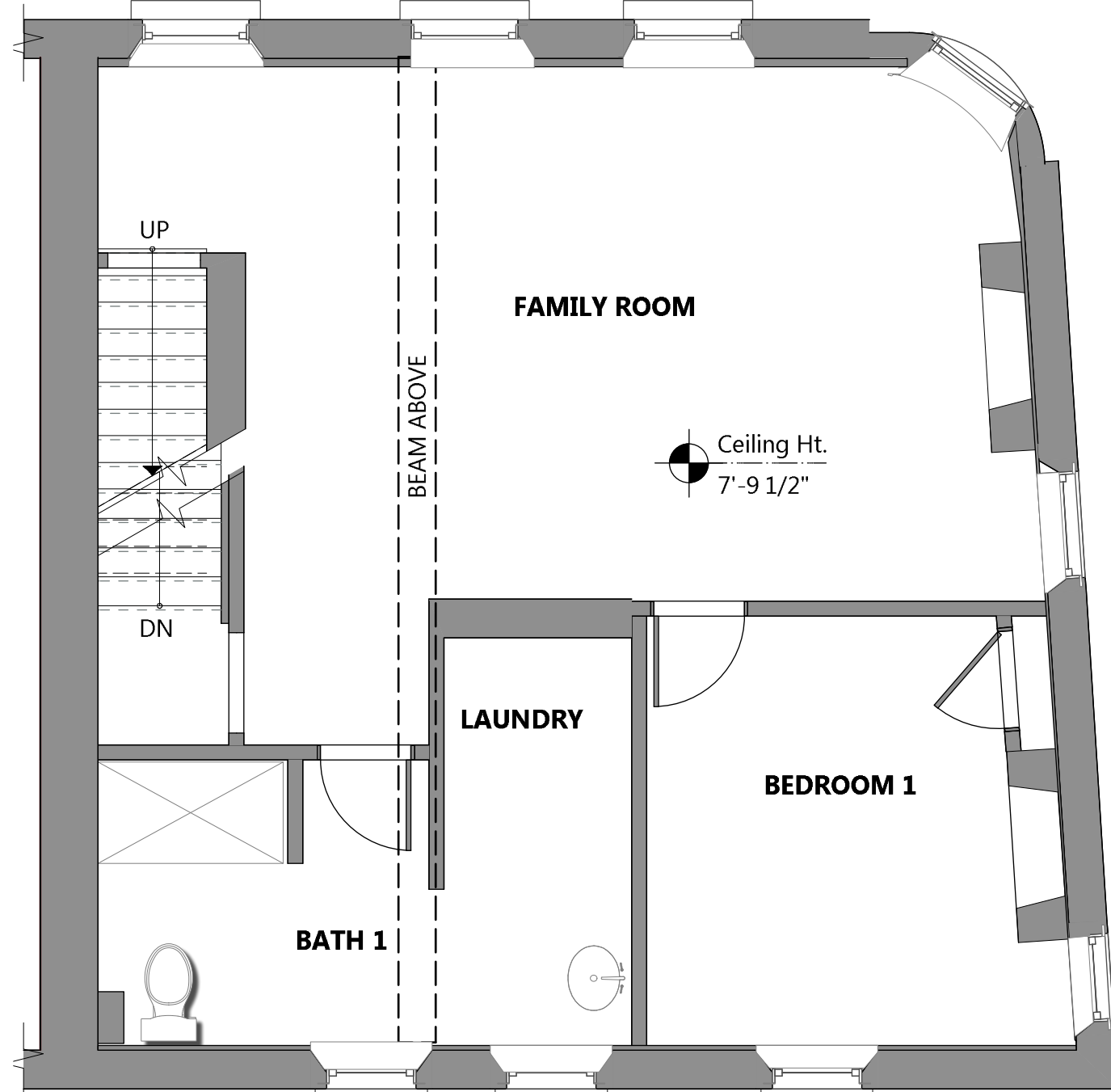
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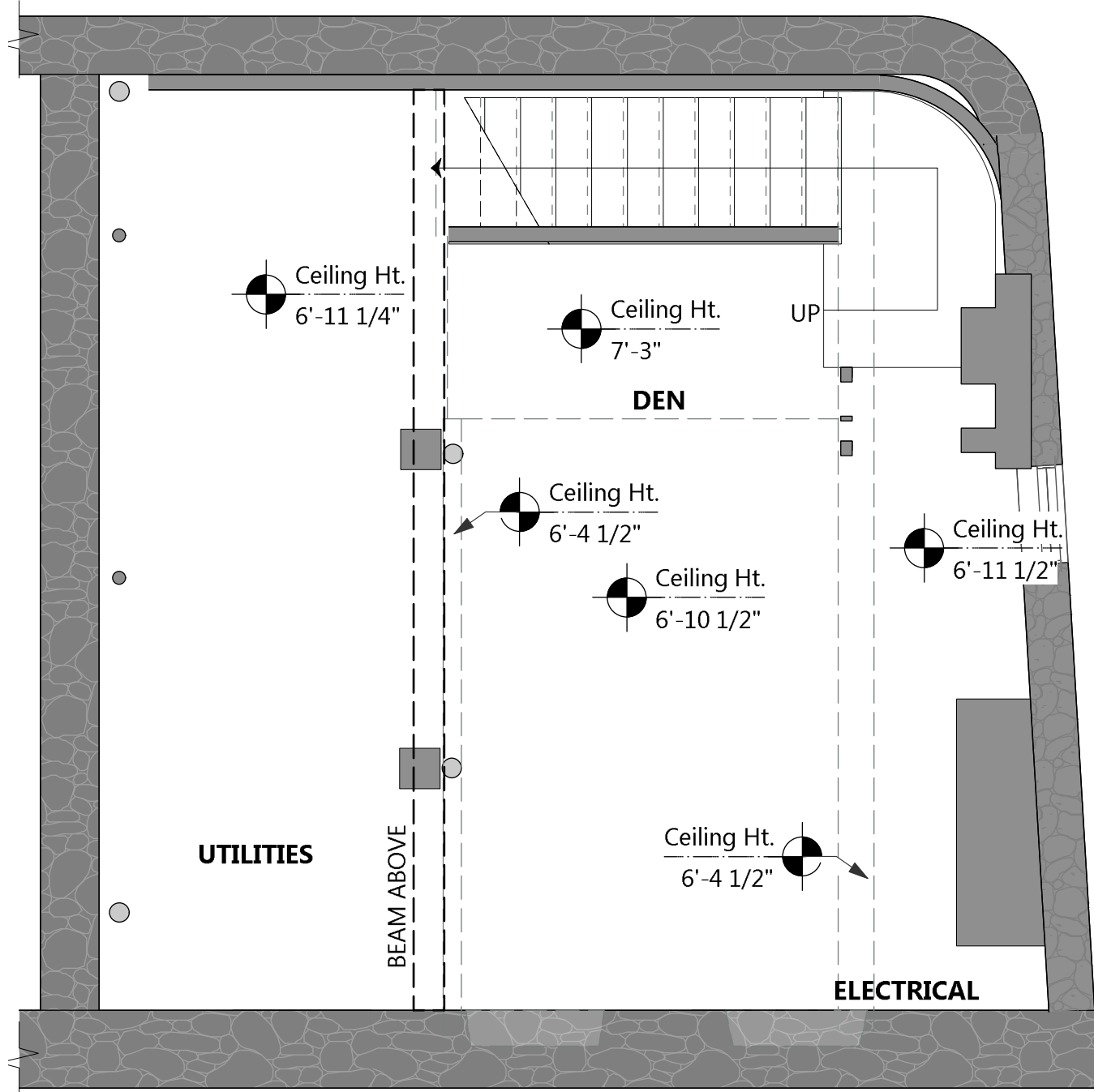
VIEW 3



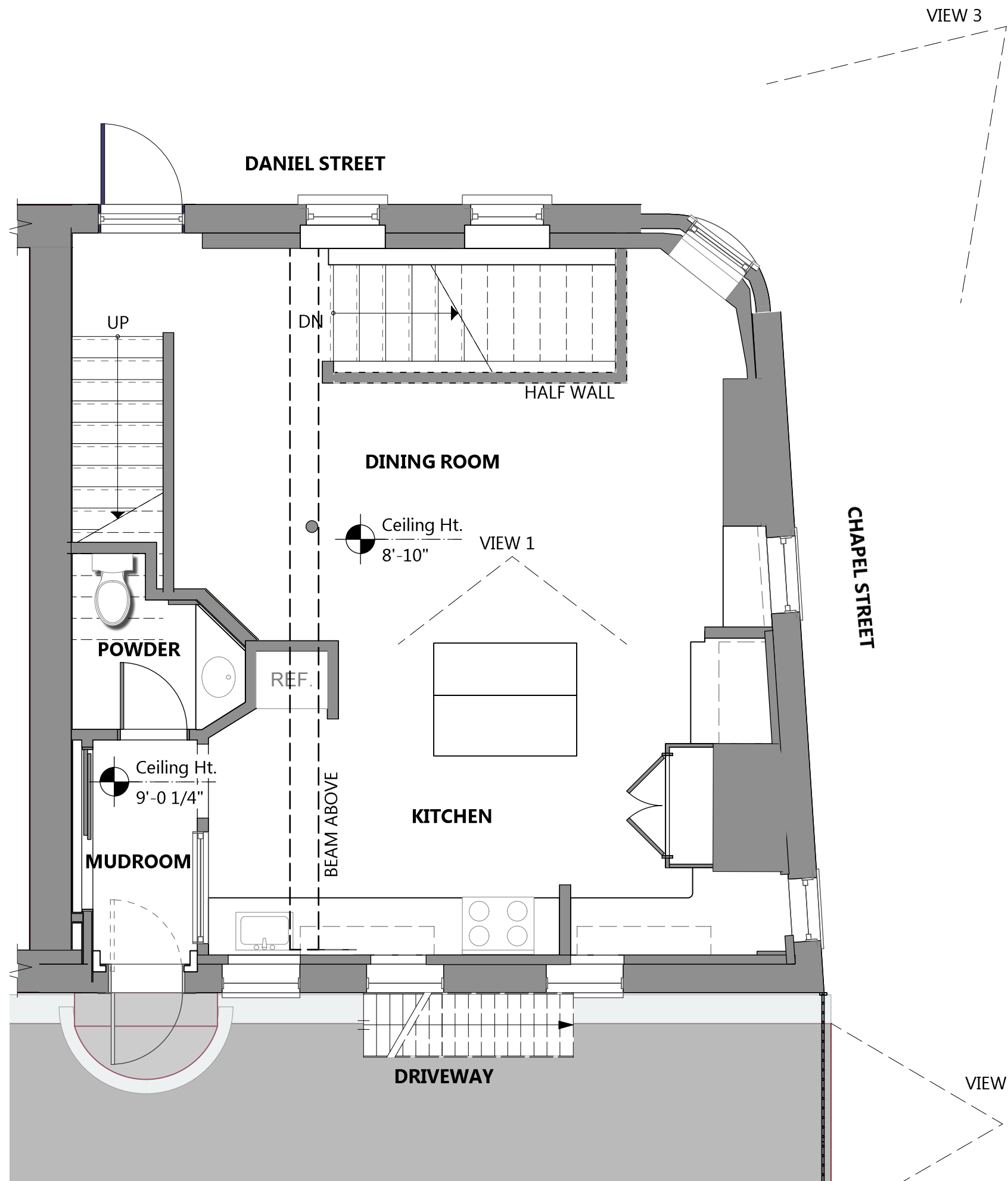
3 EXISTING THIRD FLOOR PLAN
Scale: 1/4" = 1'-0"



2 EXISTING SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



0 EXISTING BASEMENT FLOOR PLAN
Scale: 1/4" = 1'-0"



1 EXISTING FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

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Revision and Reissue Notes		
No.	Date	Issue Notes
1	8/27/23	Added dimensions

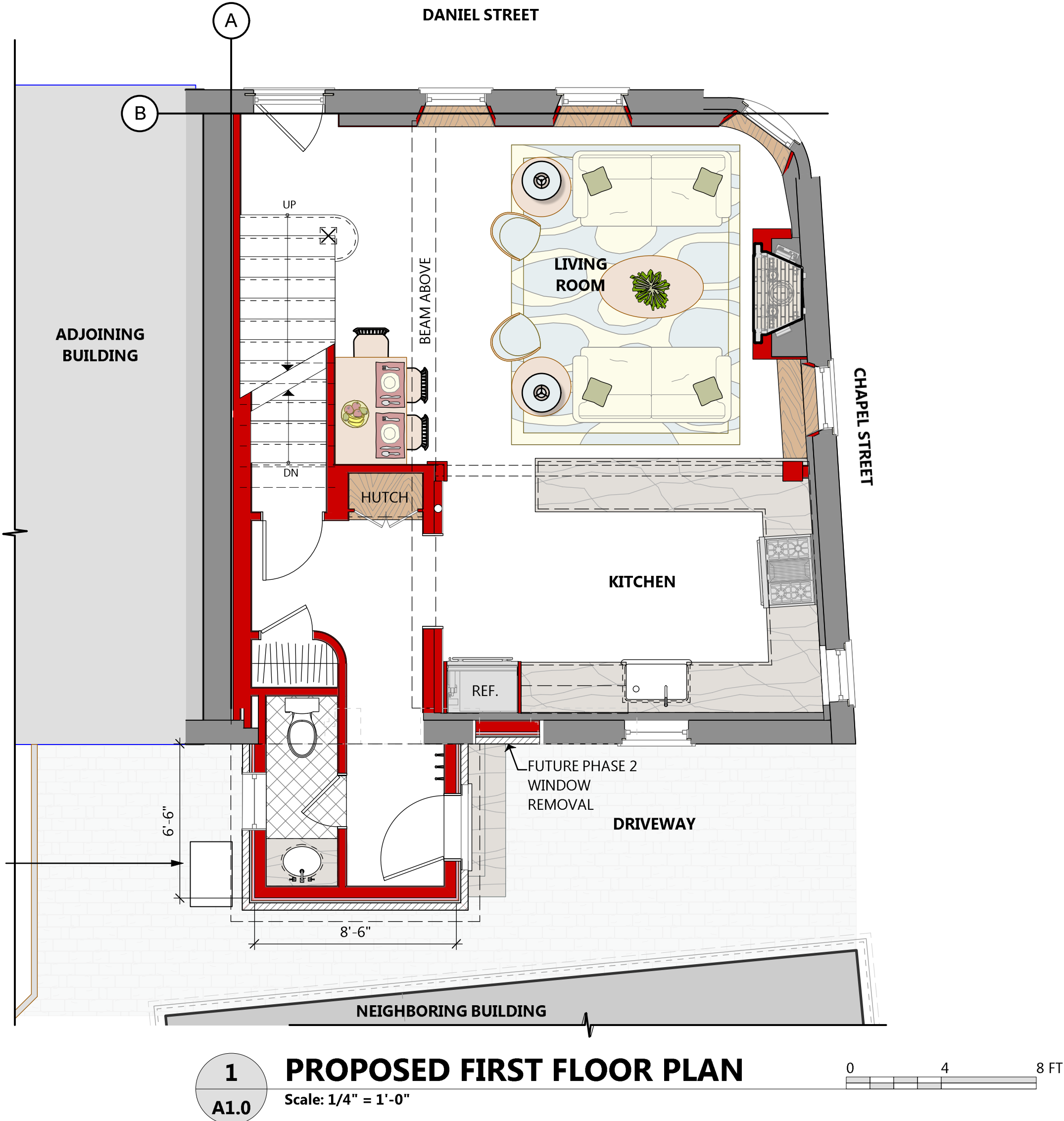
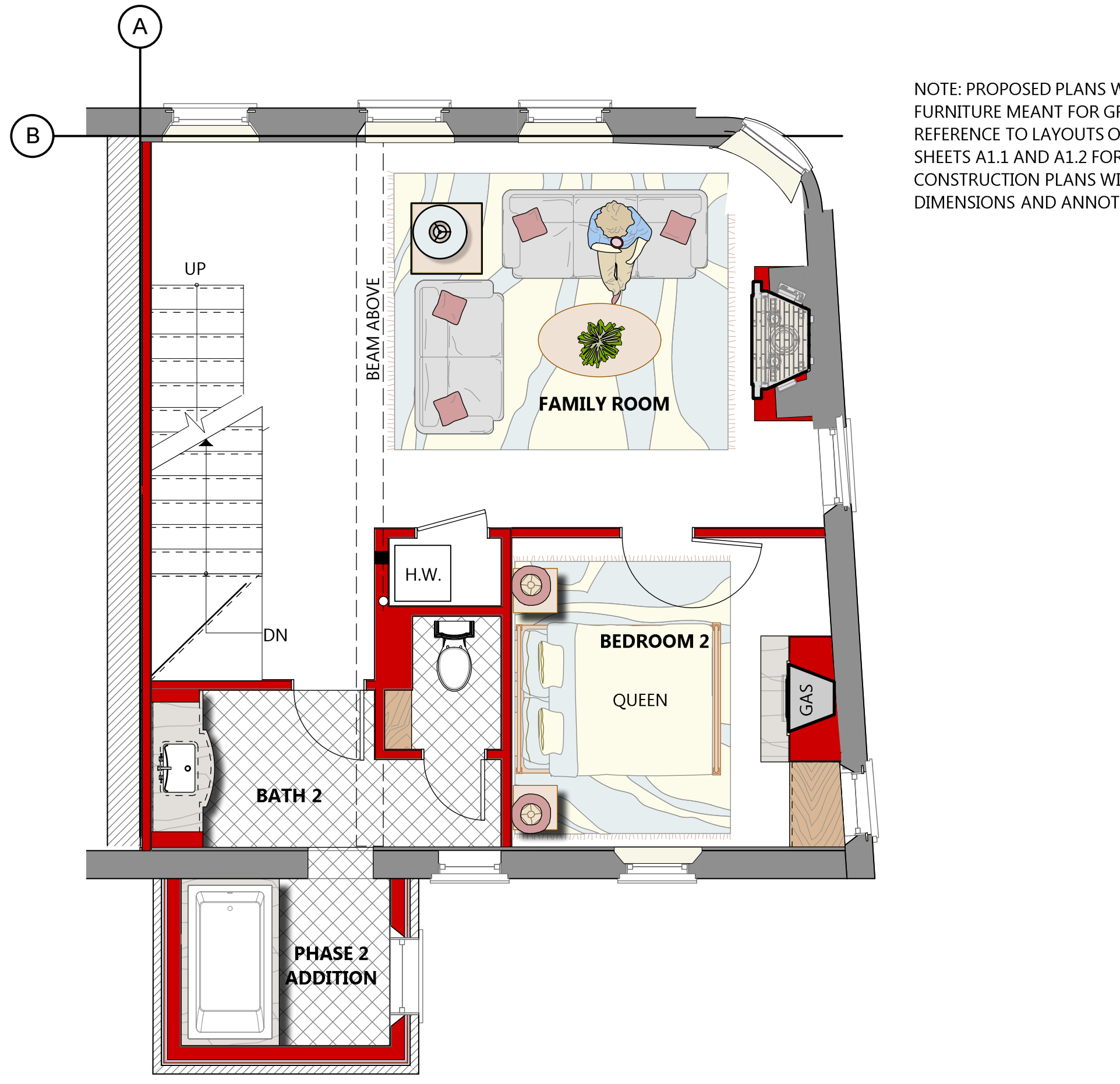
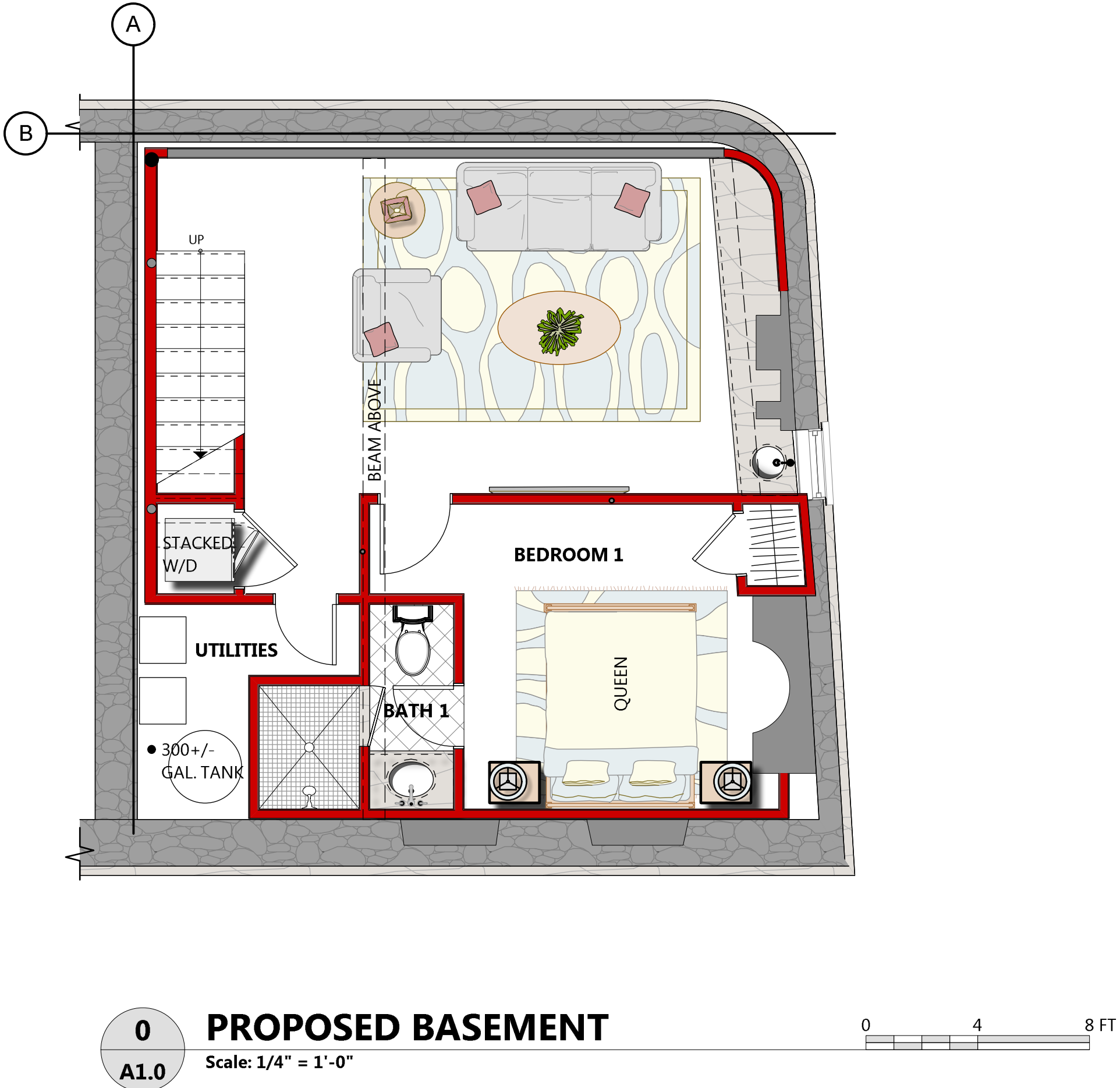
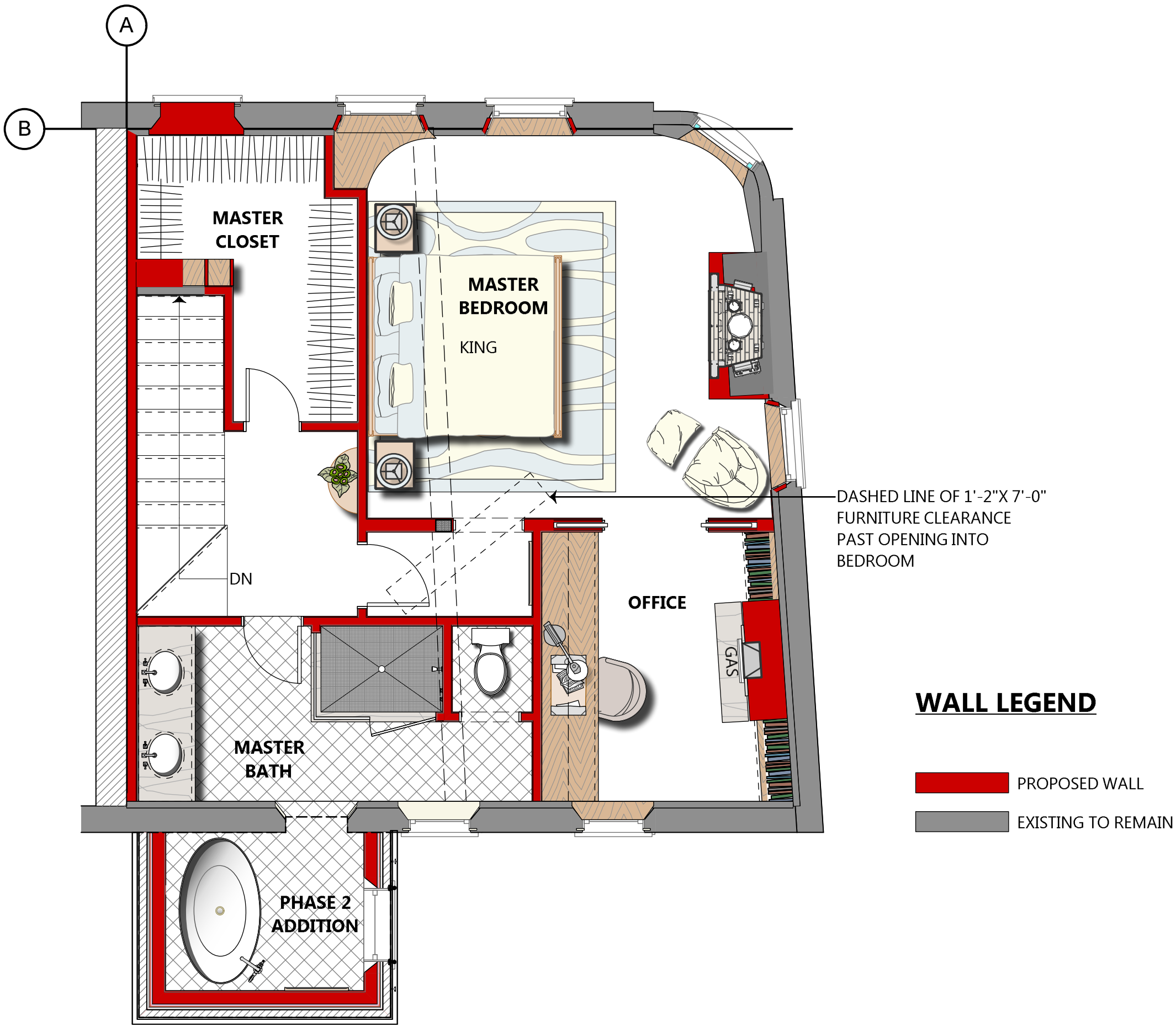
Project Information		
Drawn By	Project Manager	Project Name
Scale	Date	

MANN RESIDENCE - PHASE 2
129 Daniel Street
Portsmouth, New Hampshire

EXISTING FLOOR PLANS

EX1.0

EXISTING HEATED AREA	1926 SF
PROPOSED ADDITION HEATED AREA	134 SF
TOTAL HEATED AREA	2060 SF
EXISTING FOOTPRINT	642 SF
PROPOSED ADDITION FOOTPRINT	66 SF
TOTAL FOOTPRINT	708 SF
LOT SIZE	871.2 SF
LOT COVERAGE	81%



NOTE: PHASE 2 ADDITION TO BE BUILT AT LATER DATE WITH HISTORIC DISTRICT COMMISSION AND OTHER STATE AND LOCAL REQUIRED APPROVALS.

NOTE: PROPOSED PLANS WITH FURNITURE MEANT FOR GRAPHICAL REFERENCE TO LAYOUTS ONLY. SEE SHEETS A1.1 AND A1.2 FOR CONSTRUCTION PLANS WITH DIMENSIONS AND ANNOTATIONS.

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Revision and Reissue Notes

No.	Date	Issue Notes	Added dimensions
1	8/27/23		

Drawn By

Project manager

Scale

Date

Project No.

MANN RESIDENCE - PHASE 2

129 Daniel Street

Portsmouth, New Hampshire

PROPOSED PLANS WITH FURNITURE

PROGRESS PRINT NOT FOR CONSTRUCTION

A1.0



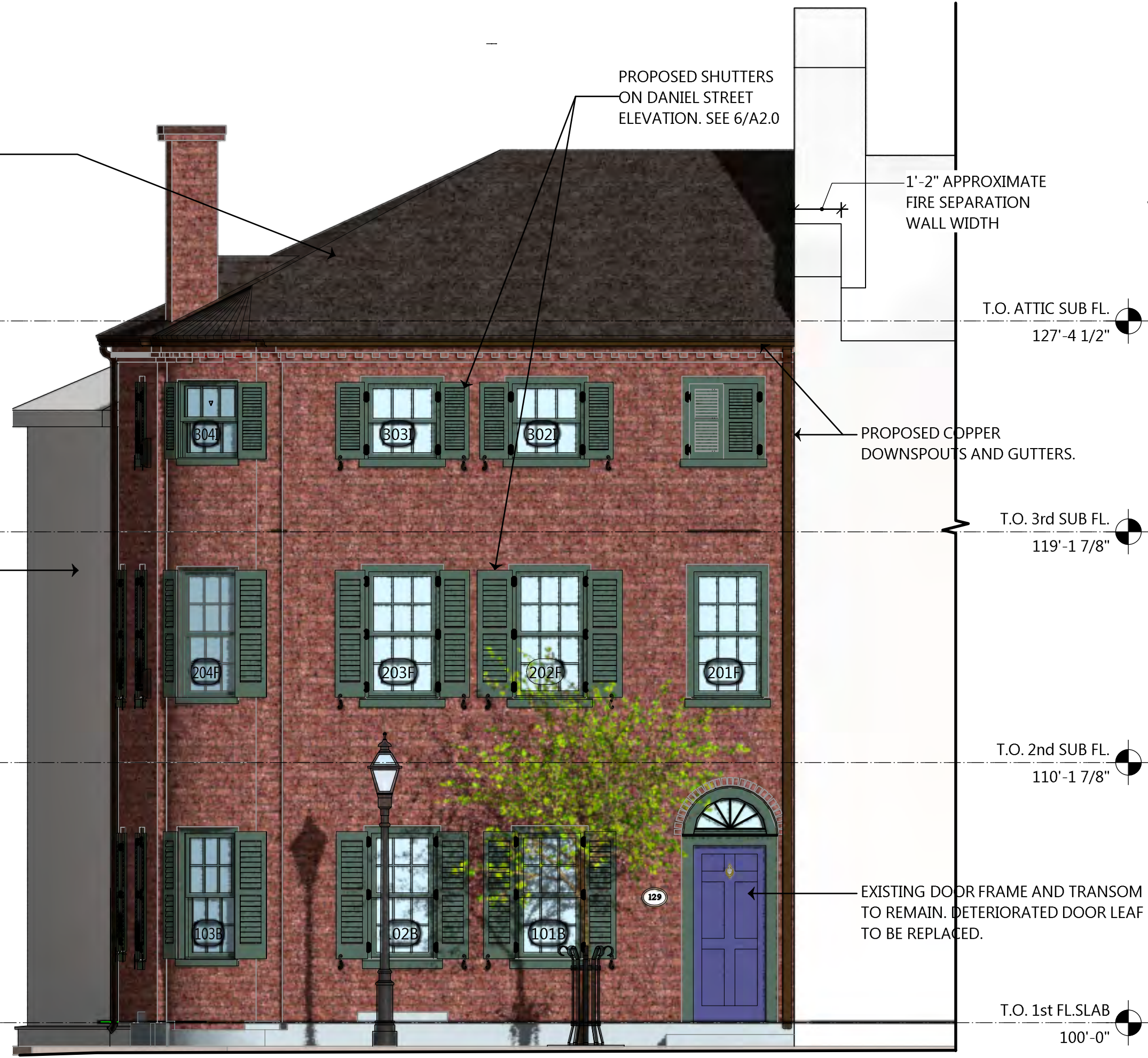


PROPOSED SYNTHETIC SLATE SHINGLE
BORAL - INSPIRE
CLASSIC SLATE GRAY BLACK BLEND

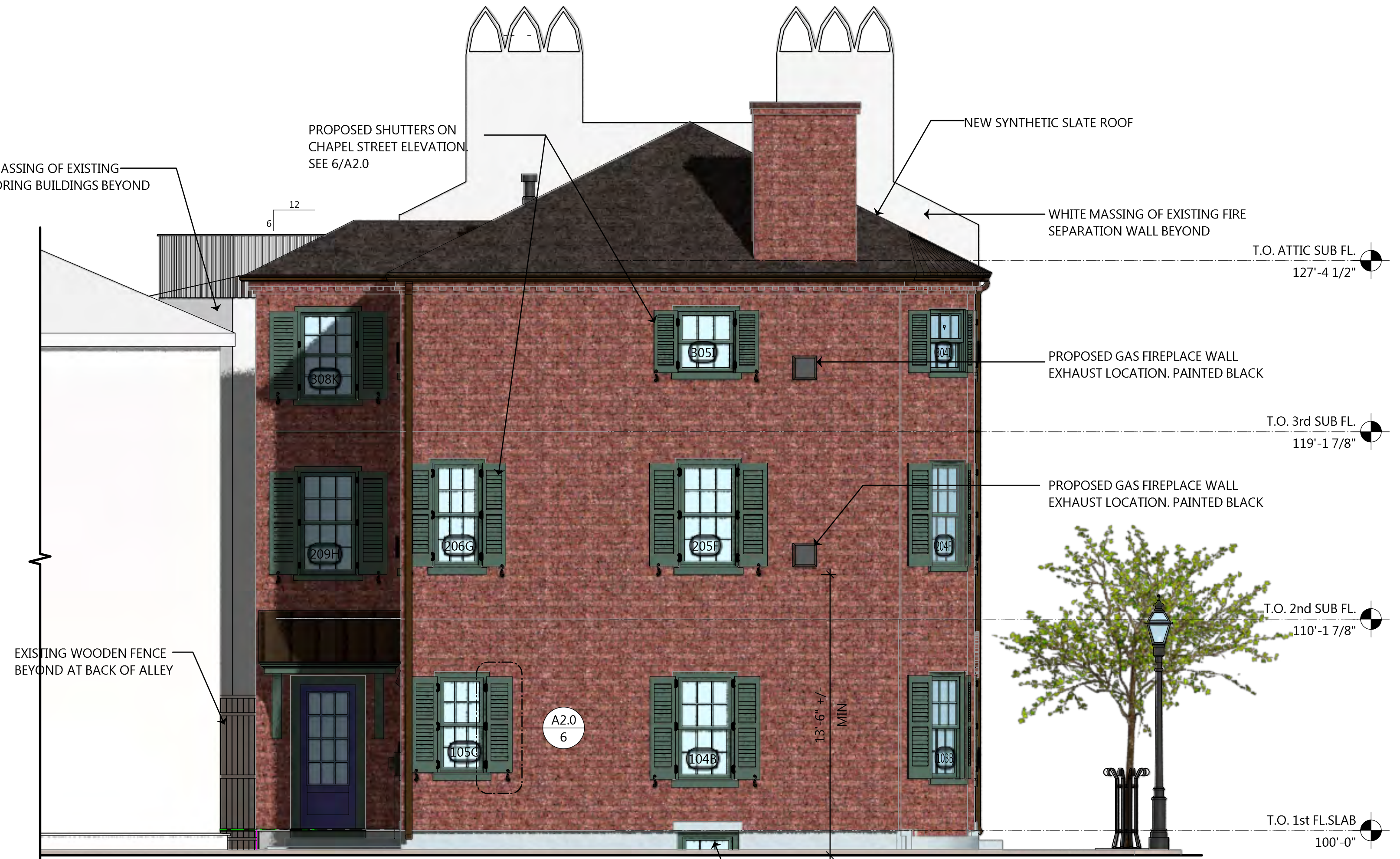
WHITE MASSING OF EXISTING
NEIGHBORING BUILDINGS BEYOND
VIEWED AT SLIGHT ANGLE ALONG
CHAPEL STREET

EXISTING WOOD SILLS TO BE
REFURBISHED. WINDOWS TO BE
REPLACED. NOTE: SELECT THIRD AND
SECOND FLOOR SILLS MAY NEED TO
BE REPLACED IF ROT IS TOO
SIGNIFICANT TO REPAIR.

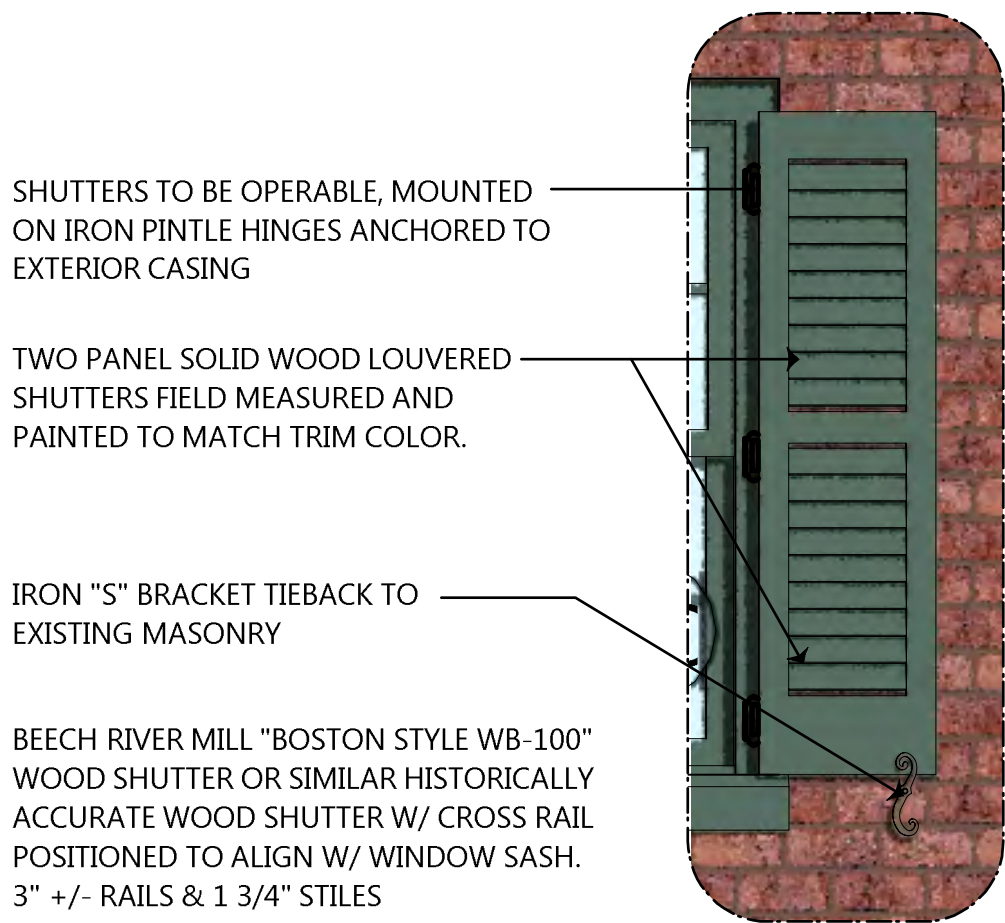
EXISTING BRICK SILLS TO BE REMOVED
@ FIRST FLOOR AND REPLACED WITH
PAINTED WOOD SILLS.



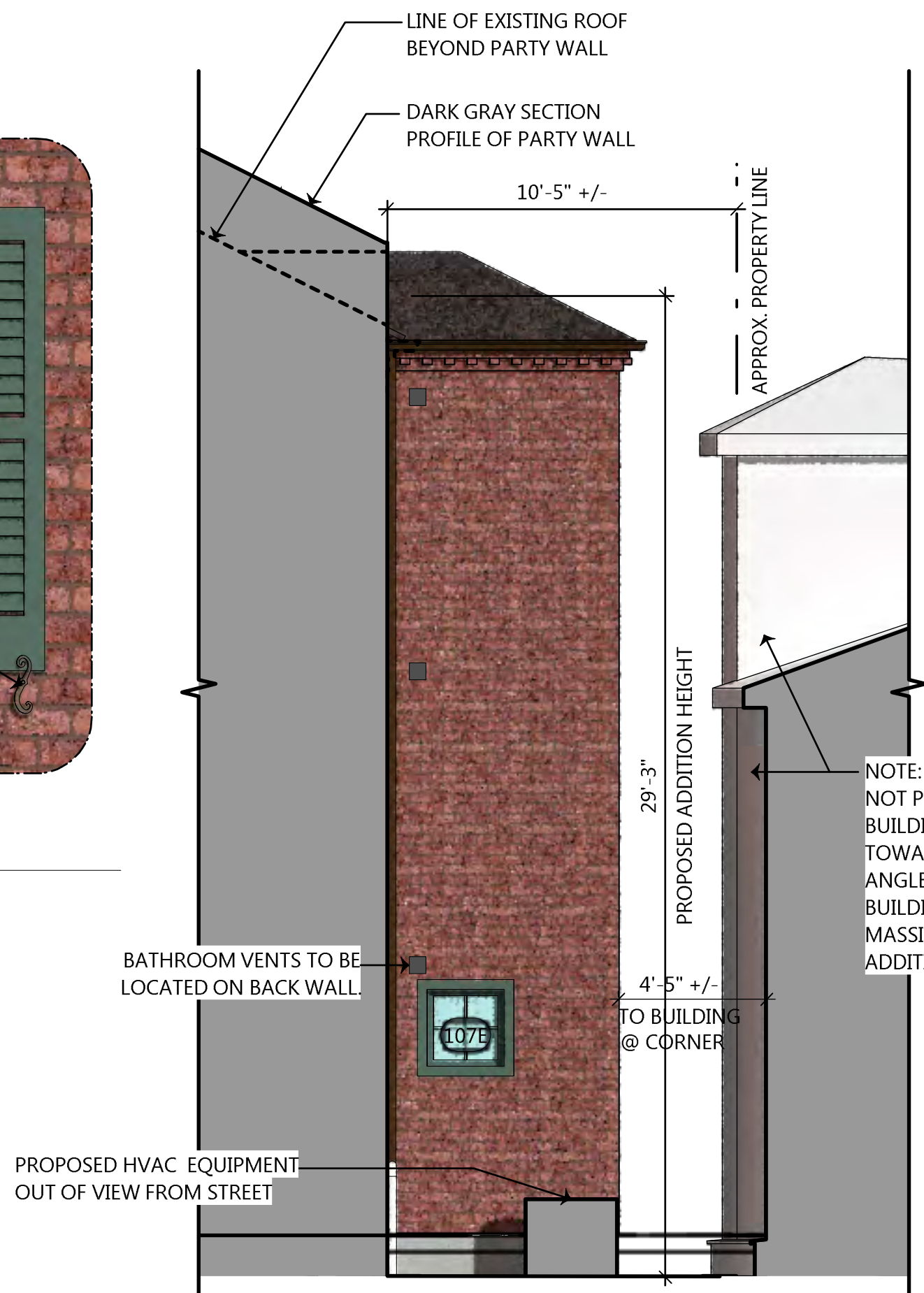
1
A2.0 **PROPOSED DANIEL STREET ELEVATION**
Scale: 1/4" = 1'-0"



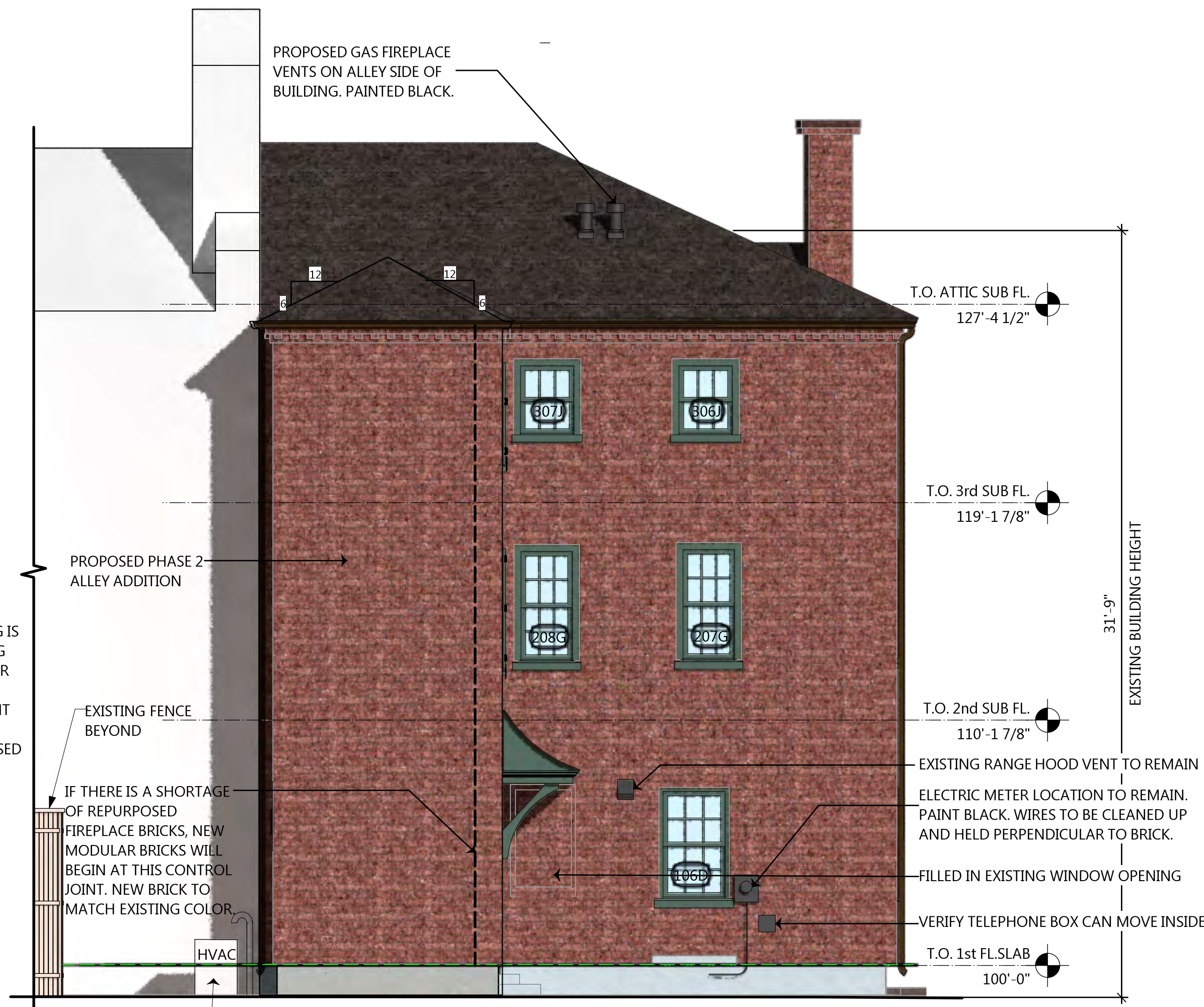
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A2.0 **PROPOSED CHAPEL STREET ELEVATION**
Scale: 1/4" = 1'-0"



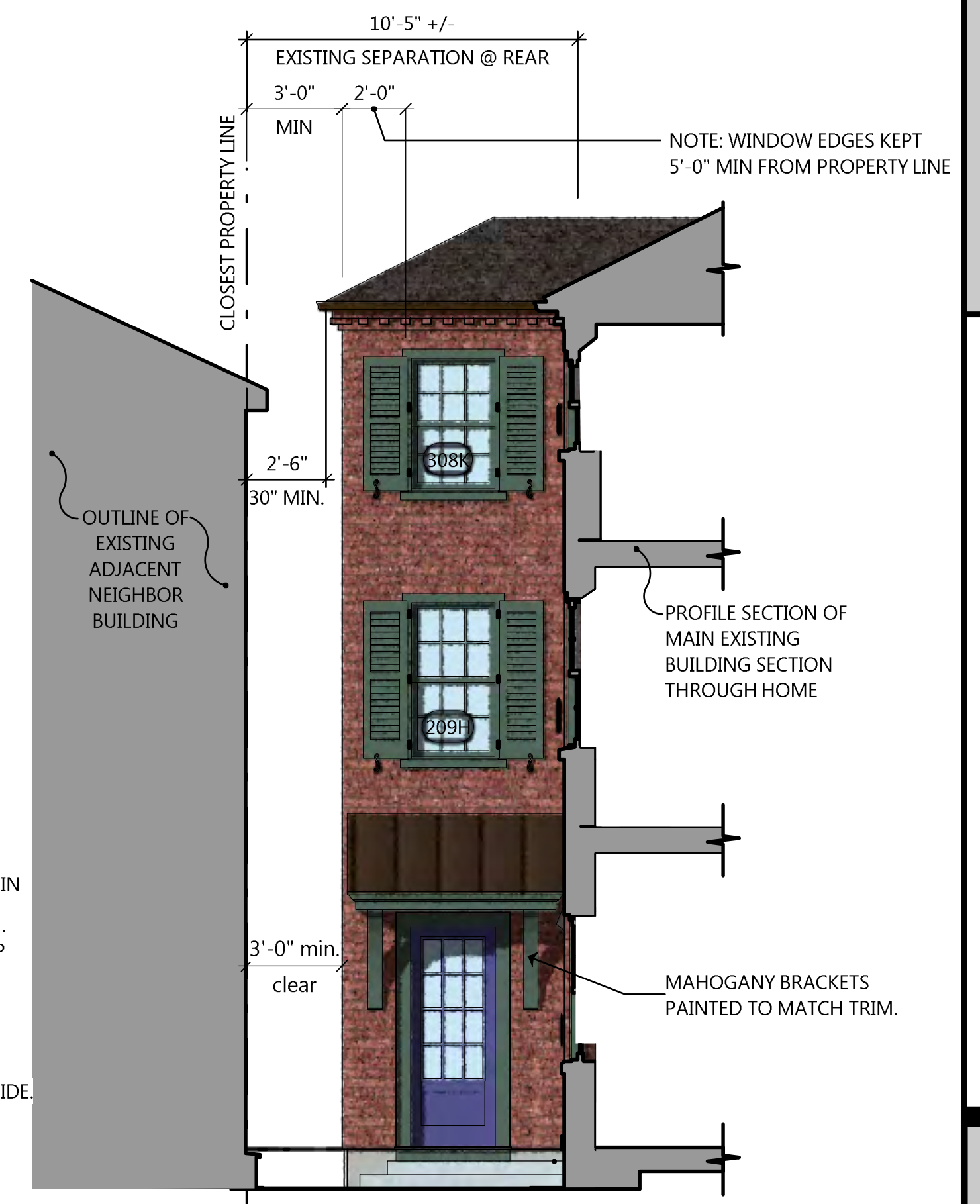
6
A2.0 **Typical Exterior Shutter**
Scale: 3/4" = 1'-0"



5
A2.0 **Back Alley Elevation**
Scale: 1/4" = 1'-0"



3
A2.0 **PROPOSED ALLEYWAY ELEVATION**
Scale: 1/4" = 1'-0"



4
A2.0 **Partial Elevation @ Alley Addition**
Scale: 1/4" = 1'-0"

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Revision and Rescue Notes

No.	Date	Issue Notes	Added dimensions
1	8/27/23		

Project manager

Scale

Date

Project No.

MANN RESIDENCE - PHASE 2

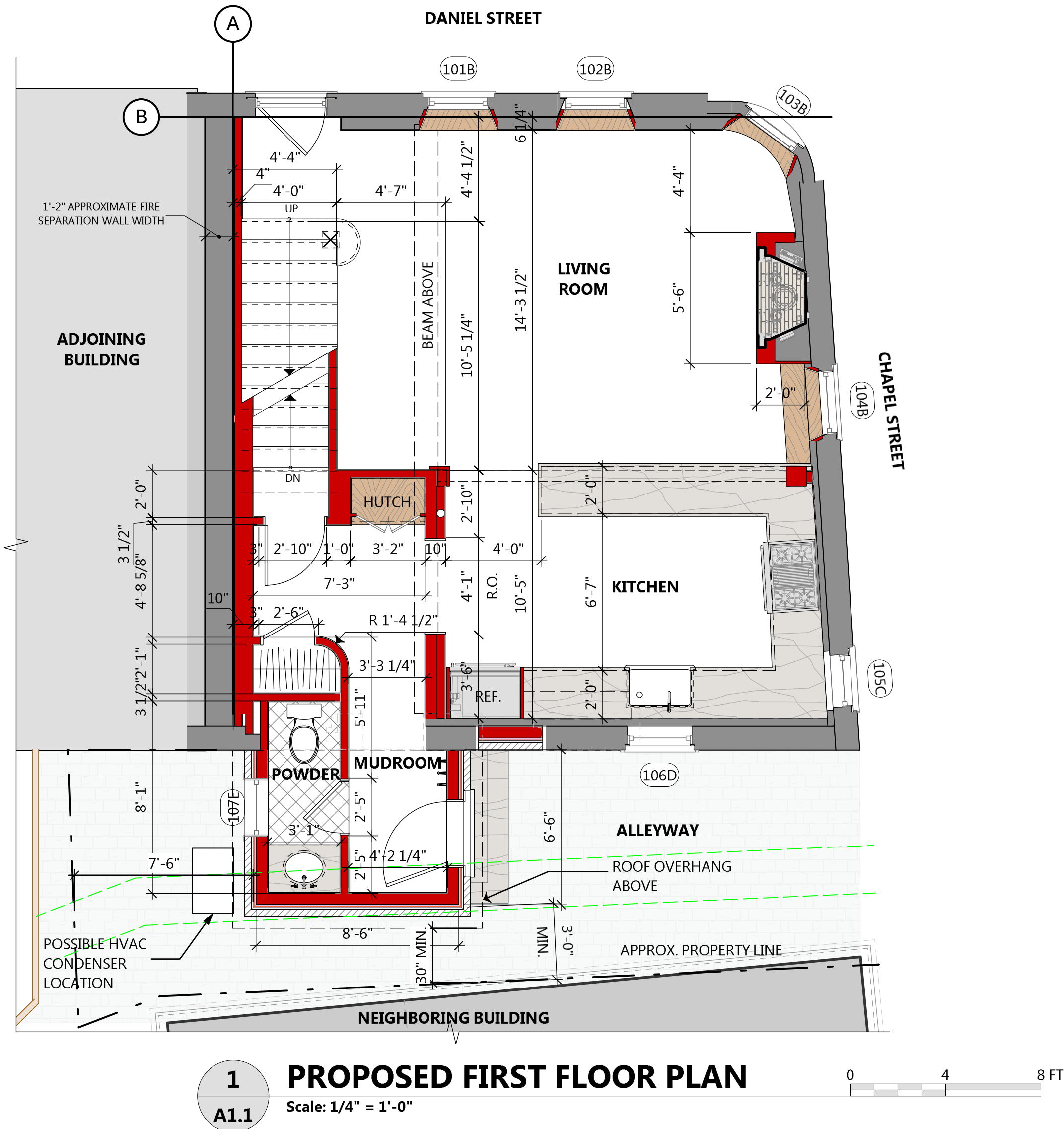
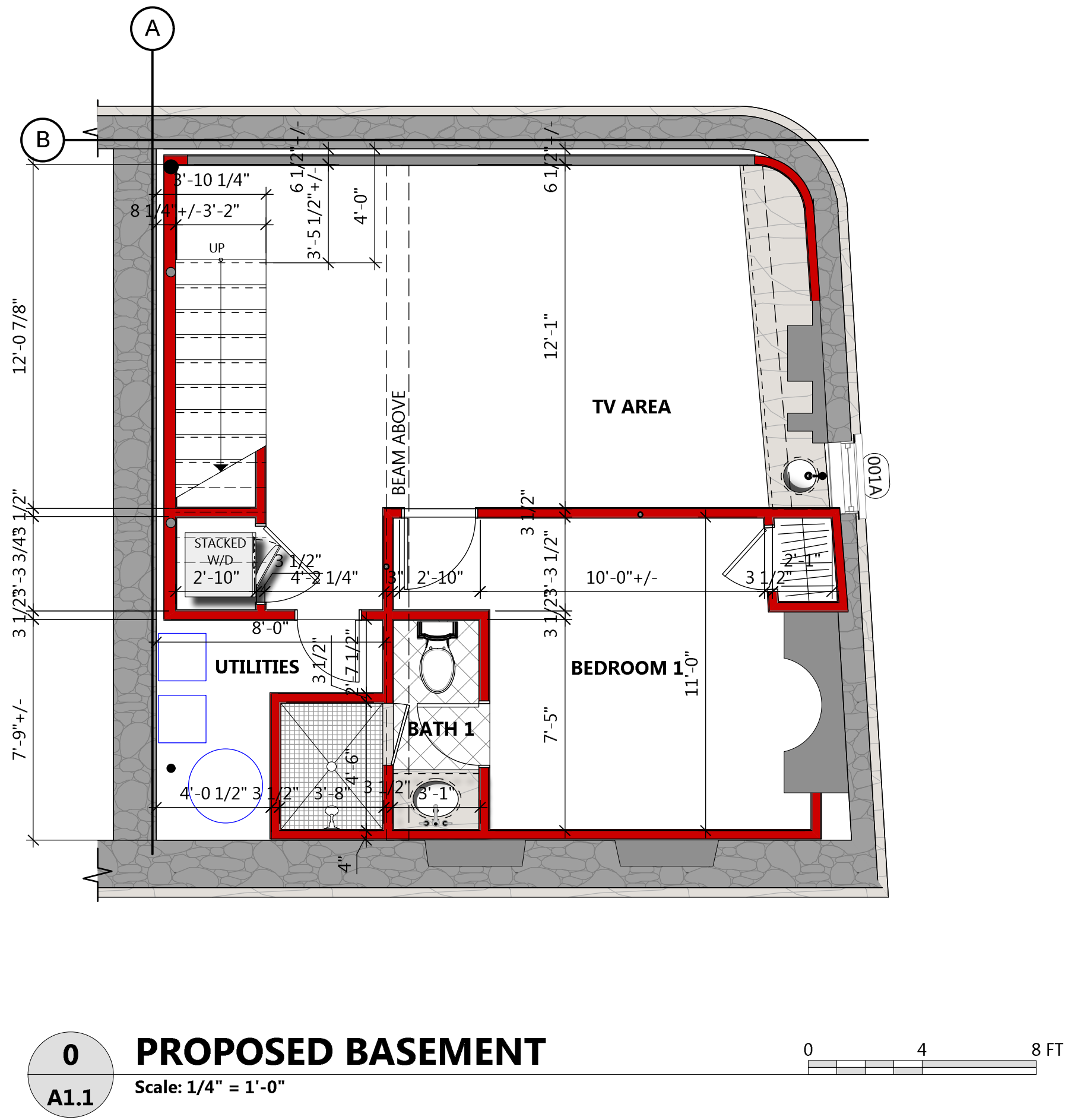
129 Daniel Street

Portsmouth, New Hampshire

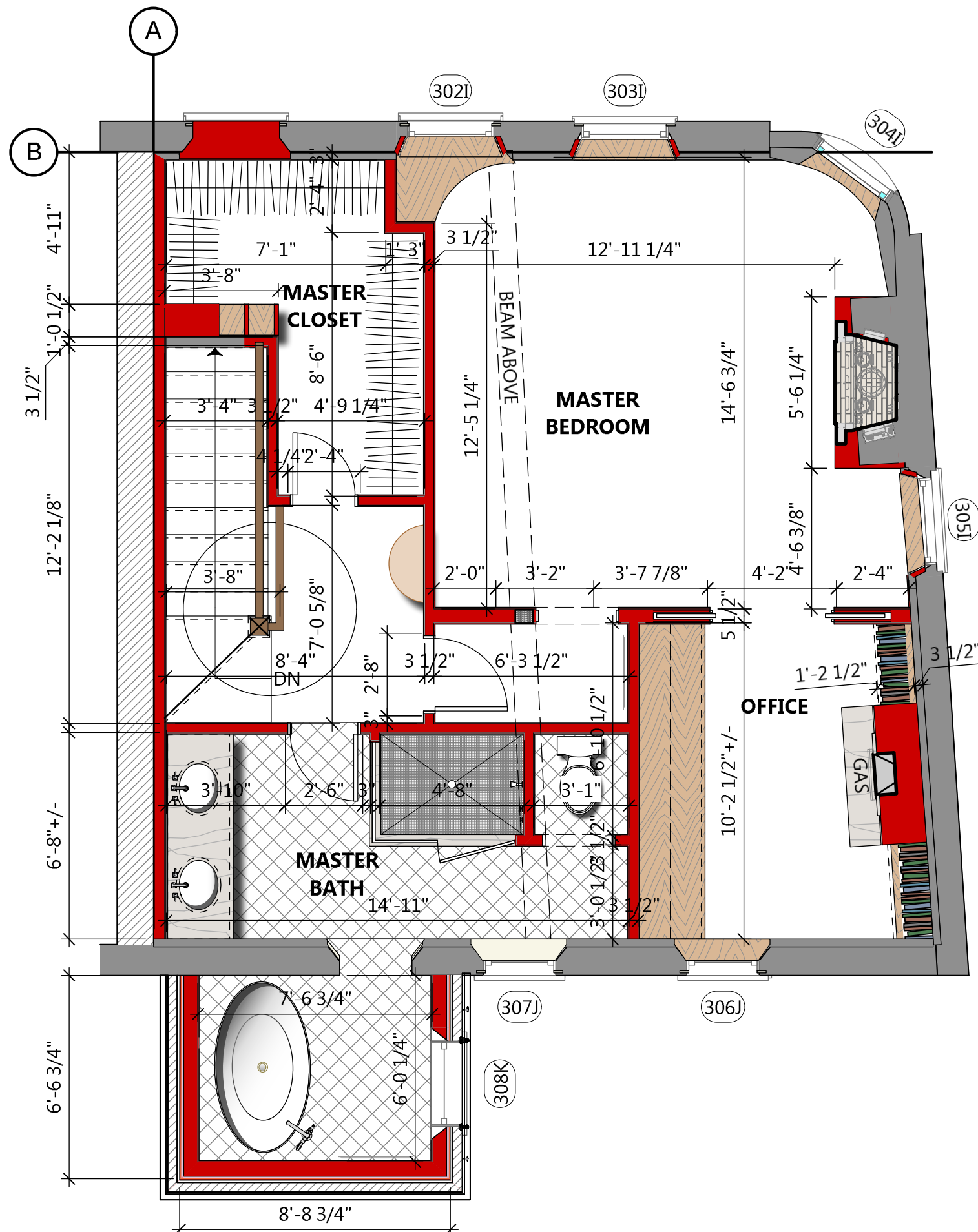
PROPOSED ELEVATIONS

PROGRESS PRINT NOT FOR CONSTRUCTION

A2.0



NOTE: PHASE 2 ADDITION TO BE BUILT AT LATER DATE
WITH HISTORIC DISTRICT COMMISSION AND OTHER
STATE AND LOCAL REQUIRED APPROVALS.

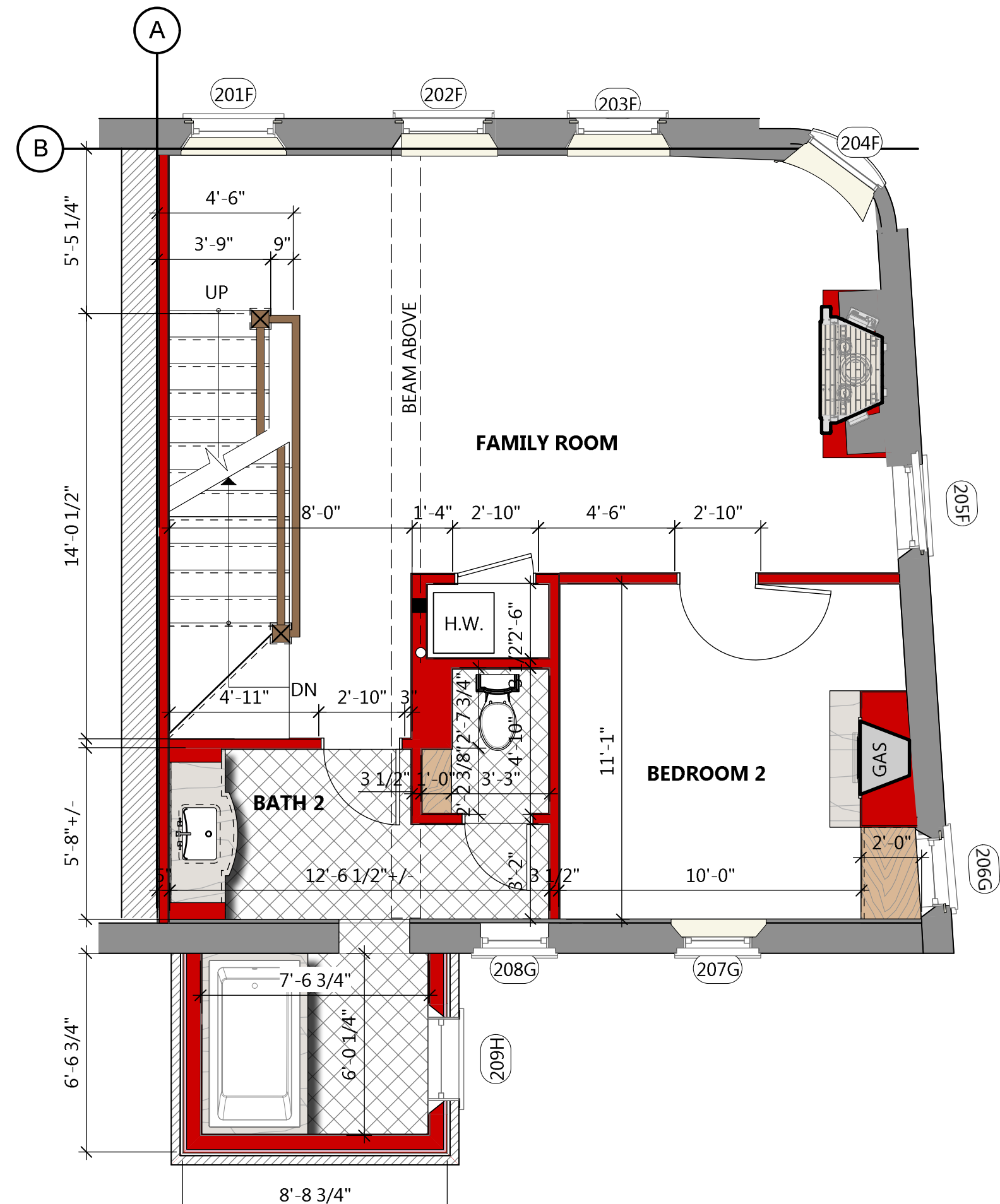


3 PROPOSED THIRD FLOOR PLAN
Scale: 1/4" = 1'-0"

WALL LEGEND

PROPOSED WALL

EXISTING TO REMAIN

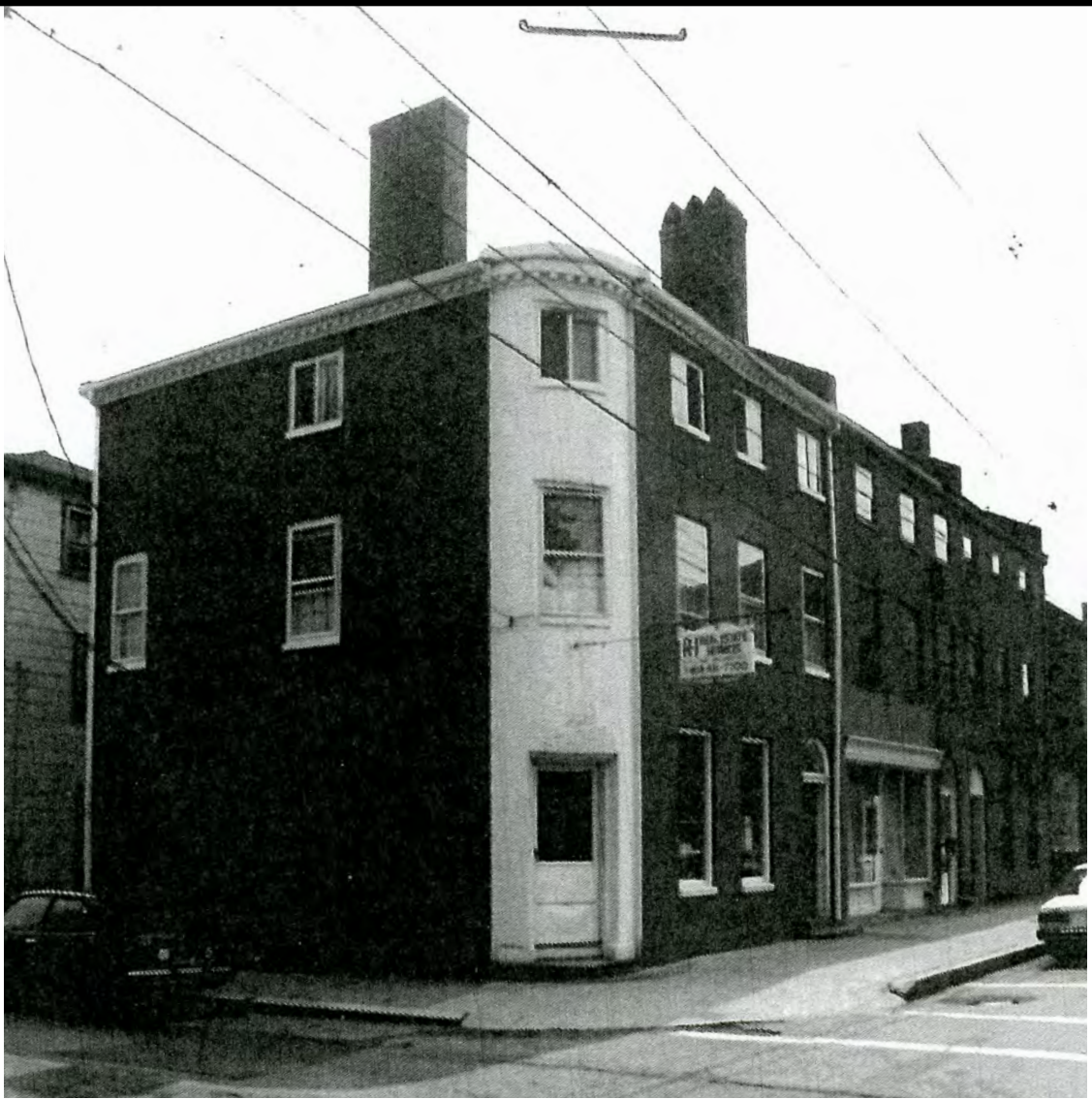


2 PROPOSED SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

NOTE: PHASE 2 ADDITION TO BE BUILT AT LATER DATE
WITH HISTORIC DISTRICT COMMISSION AND OTHER
STATE AND LOCAL REQUIRED APPROVALS.



DANIEL STREET CIRCA LATE 1800'S (PHOTO COUNTEY OF PORTSMOUTH ATHENAEUM)



129 DANIEL STREET "DANIEL STREET GROCERY" CIRCA 1970'S (PORTSMOUTH NH HISTORIC DISTRICT SURVEY 1979)



EXISTING WINDOW PHOTO 3

NON-ORIGINAL WINDOWS CURRENTLY IN WINDOW WITH VINYL SASHES PROPOSED TO BE REPLACED W/ MORE HISTORICALLY ACCURATE WOOD DOUBLE HUNG WINDOWS



EXISTING PHOTO 1

EXISTING FIRST FLOOR WINDOWS WITH NO MUNTIN



EXISTING PHOTO 2

EXISTING GLASS BLOCK WINDOWS



BUILDING HISTORICALLY HAD 2 PANEL LOUVERED SHUTTERS

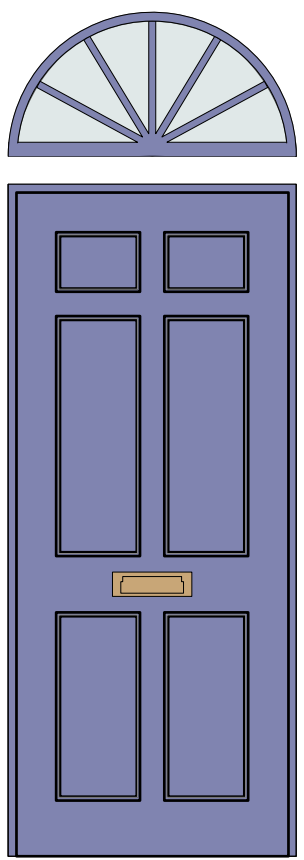


EXISTING WINDOW PHOTO 4

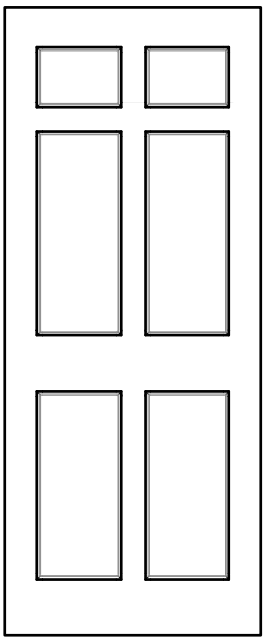
EXAMPLE OF EXISTING DETERIORATED WINDOW PROPOSED TO BE REPLACED WITH WOOD HUNG WINDOW

WINDOW SCHEDULE							
		FRAME SIZE (INCHES)		ROUGH OPENING SIZE (FEET)		WINDOW DATA	
#	TYPE	WIDTH	HEIGHT	WIDTH	HEIGHT	SASH	COMMENTS
BASEMENT							
001	A	30 1/4+/- VIF	40+/- VIF	2'7 1/4+/- VIF	3'5+/- VIF	Fixed Glass	VERIFY AND MATCH EXISTING WINDOW MO
FIRST FLOOR							
101	B	30 1/2+/- VIF	59 1/2+/- VIF	2'7 1/2+/- VIF	5'0 1/2+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
102	B	30 1/2+/- VIF	59 1/2+/- VIF	2'7 1/2+/- VIF	5'0 1/2+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
103	B	30 1/2+/- VIF	59 1/2+/- VIF	2'7 1/2+/- VIF	5'0 1/2+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
104	B	32+/- VIF	59 1/4+/- VIF	2'9+/- VIF	5'0 1/4+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
105	C	26 1/2+/- VIF	55 1/4+/- VIF	2'3 1/2+/- VIF	4'8 1/4+/- VIF	Double Hung	VERIFY. SEE NOTE BELOW
106	D	32 3/8+/- VIF	56+/- VIF	2'9 3/8+/- VIF	4'9+/- VIF	Double Hung	VERIFY. SEE NOTE BELOW
107	E	29+/- VIF	29+/- VIF	2'6+/- VIF	2'6+/- VIF	Fixed Glass	VERIFY AND MATCH EXISTING WINDOW MO
SECOND FLOOR							
201	F	33+/- VIF	59 1/2+/- VIF	2'10+/- VIF	5'0 1/2+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
202	F	33+/- VIF	59 1/2+/- VIF	2'10+/- VIF	5'0 1/2+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
203	F	33+/- VIF	59 1/2+/- VIF	2'10+/- VIF	5'0 1/2+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
204	F	33+/- VIF	59 1/2+/- VIF	2'10+/- VIF	5'0 1/2+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
205	F	33+/- VIF	59 1/2+/- VIF	2'10+/- VIF	5'0 1/2+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
206	G	27+/- VIF	59 1/2+/- VIF	2'4+/- VIF	5'0 1/2+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
207	G	27+/- VIF	55 1/2+/- VIF	2'4+/- VIF	4'8 1/2+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
208	G	27+/- VIF	55+/- VIF	2'4+/- VIF	4'8+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
209	H	33+/- VIF	59 1/2+/- VIF	2'10+/- VIF	5'0 1/2+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
THIRD FLOOR							
301	I	33 1/2+/- VIF	36+/- VIF	2'10 1/2+/- VIF	3'1+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
302	I	33 1/2+/- VIF	36+/- VIF	2'10 1/2+/- VIF	3'1+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
303	I	33 1/2+/- VIF	36+/- VIF	2'10 1/2+/- VIF	3'1+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
304	I	33 1/2+/- VIF	36+/- VIF	2'10 1/2+/- VIF	3'1+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
305	I	33 1/2+/- VIF	36+/- VIF	2'10 1/2+/- VIF	3'1+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
306	J	28+/- VIF	35+/- VIF	2'5+/- VIF	3'0+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
307	J	28+/- VIF	35+/- VIF	2'5+/- VIF	3'0+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO
308	K	33+/- VIF	50 3/4+/- VIF	2'10+/- VIF	4'3 3/4+/- VIF	Double Hung	VERIFY AND MATCH EXISTING WINDOW MO

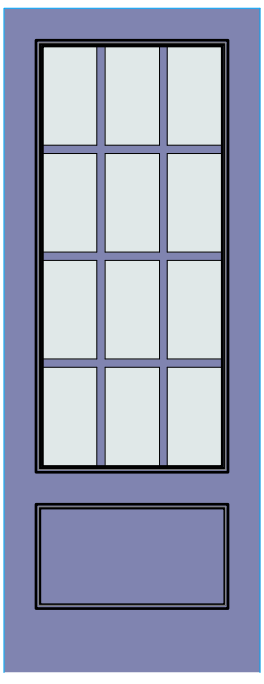
NOTE: WINDOWS 105 AND 106 SILL HEIGHT TO BE RAISED TO FIT ABOVE 3'-0" COUNTERTOP HEIGHT. WINDOW HEAD HEIGHT AND WIDTH TO MATCH EXISTING.



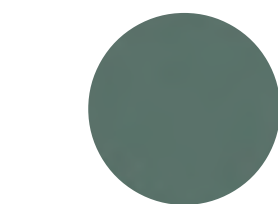
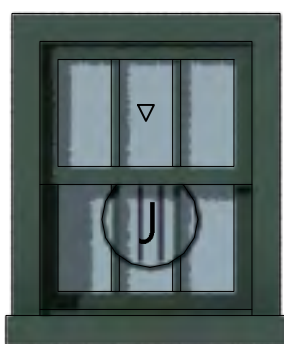
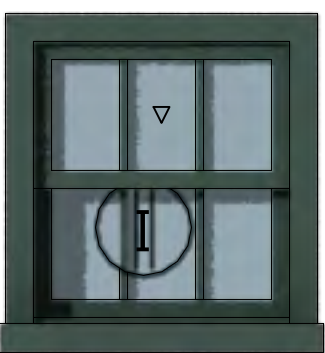
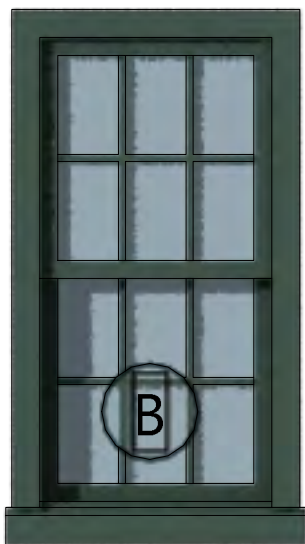
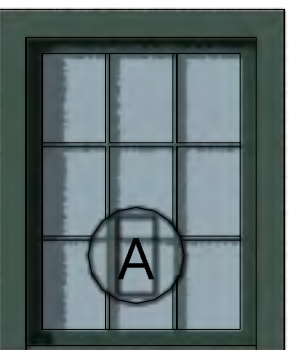
FRONT ENTRY DOOR
DOOR LEAF TO MATCH EXISTING DOOR



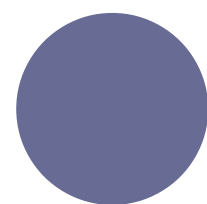
TYPICAL INTERIOR DOOR
DOOR LEAF TO REPLICATE EXISTING HISTORIC 6 PANEL DOOR.



REAR ENTRY DOOR



EXTERIOR TRIM PAINT
BENJAMIN MOORE
692 JACK PINE



EXTERIOR DOOR PAINT
ROMAN VIOLET
PPG1170-7

GENERAL WINDOW NOTES

- EXTERIOR WINDOWS TO BE WOOD (PAINTED TO MATCH TRIM) WITH NO ATTACHED FACTORY EXTERIOR TRIM WITH PAINTED SELECT PINE INTERIOR U.N.O. (COLOR TBD WITH INTERIOR DESIGNER). INSULATED LOW E 11 GLAZING W/ 7/8" SDL MUNTINS W/ INTERNAL SPACER BARS (AS SHOWN ON ELEVATIONS AND TYPES)-(U.N.O. ON WINDOW TYPES / SCHEDULE), FACTORY PROVIDED HARDWARE TO BE OIL RUBBED BRONZE FINISH UNLESS NOTED OTHERWISE. ROLL SCREENS FROM INTERIOR.
- G.C. AND WINDOW REP. TO FIELD VERIFY M.O.'S AND ADJUST WINDOW SIZES AS NECESSARY TO FIT EXISTING OPENINGS PRIOR TO WINDOW ORDER. ARCHITECT TO BE NOTED OF ADJUSTED SIZES IN WRITING
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL WINDOWS FOR ARCHITECT'S APPROVAL PRIOR TO FABRICATION. ANY CHANGES MADE TO WINDOW DIMENSIONS OR CALLED OUT SPECIFICATIONS SHOULD BE REVIEWED AND APPROVED IN WRITING BY THE ARCHITECT PRIOR TO SUBMISSION OF WINDOW SHOP DRAWINGS FOR FINAL APPROVAL.
- G.C. TO FIELD VERIFY WINDOW AND DOOR ROUGH OPENINGS ON SCHEDULES WITH FLOOR PLANS, SECTIONS AND MANUF. SUGGESTED SIZES PRIOR TO FRAMING. G.C. TO COORDINATE WITH WINDOW MANUF. REP. AS RECOMMENDED BY MANF. FOR SILL PAN FLASHING, BITUMINOUS MEMBRANE, ETC... AS INDICATED ON ARCHITECTURAL DETAILS AND SECTIONS, WHERE NOT TAKEN INTO ACCOUNT BY WINDOW MANF. SUGGESTED R.O.'S. CONSULT W/ ARCHITECT WITH ANY DISCREPANCIES PRIOR TO PLACING WINDOW ORDER.
- MUNTINS SPACED TO CREATE EQUAL EXPOSED GLASS DIMENSIONS UNLESS OTHERWISE NOTED.
- REFER TO ELEVATIONS FOR WINDOW OPERATION AND HINGE DIRECTIONS.
- CONTRACTOR TO VERIFY AREAS OF TEMPERED GLASS ON UNITS AND R.O. DIMENSIONS FOR REQUIRED EGRESS WINDOWS WHERE REQUIRED BY CODE AND/OR NOTED ON DRAWINGS PRIOR TO FRAMING THE OPENING OR PLACING WINDOW ORDER. REFER TO TEMPRED GLAZING NOTES BELOW:

2 DOOR TYPES A3.0 Scale: 1/2" = 1'-0"

1 PROPOSED WINDOW TYPES A3.0 Scale: 1/2" = 1'-0"