

AMBIT ENGINEERING, INC. CIVIL ENGINEERS AND LAND SURVEYORS

200 Griffin Road, Unit 3, Portsmouth, NH 03801
Phone (603) 430-9282 Fax 436-2315

16 July 2021

Juliet Walker, Planning Director
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

RE: Submission for TAC Approval at 150 Daniel Street, Proposed Carriage House

Dear Ms. Walker and TAC Members:

On behalf of The Warner House we are pleased to submit the attached plan set for **TAC Approval** for the above-mentioned project and request that we be placed on the agenda for your **August 3, 2021** TAC Meeting. The project includes the construction of a proposed Carriage House (replica of historic) with the associated and required site improvements.

The property is in the Municipal (Civic) District where under Section 10.560 lots are exempt from all dimensional and intensity regulations. The proposed building is setback one foot from the property lines; and is in the location of the historic structure.

The following plans are included in our submission:

- Cover Sheet – This shows the Development Team, Legend, Site Location, and Site Zoning.
- Existing Conditions Site Plan C1 – This plan shows the property boundaries and existing site conditions in detail.
- Site Plan C2 – This plan shows the site development; proposed building, walkway, and sidewalk replacement. An existing curb cut will be removed; temporary access over the curb is sufficient for the future.
- Utility Plan C3 – This plan shows the site utilities in detail. Proposed water, sewer, electric and communications connections will be made to Chapel Street. Note 10 requests a Waiver from Portsmouth DPW Department Standards to allow a second water service to this property. This is requested for 2 reasons:
 - The existing water service to the Warner House is seasonal and is shut off in the winter due to the lack of insulation in the building. The proposed service would be year round.
 - Extending the water service from the existing connection location would require significant disruption to the roots of the existing 48 inch Horse Chestnut tree.
- Grading and Erosion Control C4 - This plan shows the proposed building and sidewalk grades. The building is proposed with a drip apron on the north side to minimize any additional run-off from the project.
- Detail Sheets D1 and D2 - These plans show the associated site construction details.

Also included in this submission is the following:

- Site Plan Application Checklist
- Site Cost Estimate
- Green Building Statement
- Schematic Design Architectural Plans

We look forward to the TAC review of this submission and feedback on the proposed design.

Sincerely,

John Chagnon

John R. Chagnon, PE
CC: Project Team

AUTHORIZATION
150 Daniel Street, Portsmouth, New Hampshire

The Warner House Association hereby authorizes representatives of Ambit Engineering, Inc. and Anne Whitney, Architect, to represent our interests before land use boards of the City of Portsmouth and any other State and / or federal agency necessary to obtain permits from for the above referenced property, and to submit any and all applications and materials related thereto on our behalf.

5.9-21

Date:

Marisa S Berth

Name Chair, Warner House Assoc.



City of Portsmouth, New Hampshire

Site Plan Application Checklist

This site plan application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. The checklist is required to be completed and uploaded to the Site Plan application in the City's online permitting system. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan review regulations for full details.

Applicant Responsibilities (Section 2.5.2): Applicable fees are due upon application submittal along with required attachments. The application shall be complete as submitted and provide adequate information for evaluation of the proposed site development. Waiver requests must be submitted in writing with appropriate justification.

Name of Applicant: Warner House Association Date Submitted: 7/19/21

Application # (in City's online permitting): _____

Site Address: 150 Daniel Street Portsmouth, NH 03801 Map: 106 Lot: 58

Application Requirements			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Complete application form submitted via the City's web-based permitting program (2.5.2.1(2.5.2.3A))	ON LINE APPLICATION	N/A
<input type="checkbox"/>	All application documents, plans, supporting documentation and other materials uploaded to the application form in viewpoint in digital Portable Document Format (PDF). One hard copy of all plans and materials shall be submitted to the Planning Department by the published deadline. (2.5.2.8)		N/A

Site Plan Review Application Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Statement that lists and describes "green" building components and systems. (2.5.3.1B)	ATTACHED Statement	
<input type="checkbox"/>	Existing and proposed gross floor area and dimensions of all buildings and statement of uses and floor area for each floor. (2.5.3.1C)	ATTACHED ARCHITECTURAL PLANS	N/A
<input type="checkbox"/>	Tax map and lot number, and current zoning of all parcels under Site Plan Review. (2.5.3.1D)	SHEET C1	N/A

Site Plan Review Application Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. (2.5.3.1E)	Cover Sheet	N/A
<input type="checkbox"/>	Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property. (2.5.3.1F)	SHEET C1	N/A
<input type="checkbox"/>	Names, addresses and telephone numbers of all professionals involved in the site plan design. (2.5.3.1G)	COVER	N/A
<input type="checkbox"/>	List of reference plans. (2.5.3.1H)	SHEET C1	N/A
<input type="checkbox"/>	List of names and contact information of all public or private utilities servicing the site. (2.5.3.1I)	Cover Sheet	N/A

Site Plan Specifications

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director.. (2.5.4.1A)	Required on all plan sheets	N/A
<input type="checkbox"/>	Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans. (2.5.4.1B)	Required on all plan sheets	N/A
<input type="checkbox"/>	GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. (2.5.4.1C)	SHEET C1	N/A
<input type="checkbox"/>	Plans shall be drawn to scale and stamped by a NH licensed civil engineer. (2.5.4.1D)	Required on all plan sheets	N/A
<input type="checkbox"/>	Wetlands shall be delineated by a NH certified wetlands scientist and so stamped. (2.5.4.1E)	N/A	N/A
<input type="checkbox"/>	Title (name of development project), north point, scale, legend. (2.5.4.2A)	COVER SHEET	N/A
<input type="checkbox"/>	Date plans first submitted, date and explanation of revisions. (2.5.4.2B)	COVER SHEET	N/A
<input type="checkbox"/>	Individual plan sheet title that clearly describes the information that is displayed. (2.5.4.2C)	Required on all plan sheets	N/A
<input type="checkbox"/>	Source and date of data displayed on the plan. (2.5.4.2D)	SHEET C1	N/A

Site Plan Specifications – Required Exhibits and Data

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	<p>1. Existing Conditions: (2.5.4.3A)</p> <ul style="list-style-type: none"> • Surveyed plan of site showing existing natural and built features; • Existing building footprints and gross floor area; • Existing parking areas and number of parking spaces provided; • Zoning district boundaries; • Existing, required, and proposed dimensional zoning requirements including building and open space coverage, yards and/or setbacks, and dwelling units per acre; • Existing impervious and disturbed areas; • Limits and type of existing vegetation; • Wetland delineation, wetland function and value assessment (including vernal pools); • SFHA, 100-year flood elevation line and BFE data, as required. 	SHEET C1	
<input type="checkbox"/>	<p>2. Buildings and Structures: (2.5.4.3B)</p> <ul style="list-style-type: none"> • Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation; • Elevations: Height, massing, placement, materials, lighting, façade treatments; • Total Floor Area; • Number of Usable Floors; • Gross floor area by floor and use. 	ATTACHED ARCHITECTURAL PLANS	
<input type="checkbox"/>	<p>3. Access and Circulation: (2.5.4.3C)</p> <ul style="list-style-type: none"> • Location/width of access ways within site; • Location of curbing, right of ways, edge of pavement and sidewalks; • Location, type, size and design of traffic signing (pavement markings); • Names/layout of existing abutting streets; • Driveway curb cuts for abutting prop. and public roads; • If subdivision; Names of all roads, right of way lines and easements noted; • AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC). 	SHEET C2	
<input type="checkbox"/>	<p>4. Parking and Loading: (2.5.4.3D)</p> <ul style="list-style-type: none"> • Location of off street parking/loading areas, landscaped areas/buffers; • Parking Calculations (# required and the # provided). 	N/A	
<input type="checkbox"/>	<p>5. Water Infrastructure: (2.5.4.3E)</p> <ul style="list-style-type: none"> • Size, type and location of water mains, shut-offs, hydrants & Engineering data; • Location of wells and monitoring wells (include protective radii). 	SHEET C3	
<input type="checkbox"/>	<p>6. Sewer Infrastructure: (2.5.4.3F)</p> <ul style="list-style-type: none"> • Size, type and location of sanitary sewage facilities & Engineering data, including any onsite temporary facilities during construction period. 	SHEET C3	

<input type="checkbox"/>	7. Utilities: (2.5.4.3G) <ul style="list-style-type: none"> The size, type and location of all above & below ground utilities; Size type and location of generator pads, transformers and other fixtures. 	SHEET C3	
<input type="checkbox"/>	8. Solid Waste Facilities: (2.5.4.3H) <ul style="list-style-type: none"> The size, type and location of solid waste facilities. 	N/A	
<input type="checkbox"/>	9. Storm water Management: (2.5.4.3I) <ul style="list-style-type: none"> The location, elevation and layout of all storm-water drainage. The location of onsite snow storage areas and/or proposed off-site snow removal provisions. Location and containment measures for any salt storage facilities Location of proposed temporary and permanent material storage locations and distance from wetlands, water bodies, and stormwater structures. 	SHEET C4	
<input type="checkbox"/>	10. Outdoor Lighting: (2.5.4.3J) <ul style="list-style-type: none"> Type and placement of all lighting (exterior of building, parking lot and any other areas of the site) and photometric plan. 	Single Building Door Light	
<input type="checkbox"/>	11. Indicate where dark sky friendly lighting measures have been implemented. (10.1)	N/A	
<input type="checkbox"/>	12. Landscaping: (2.5.4.3K) <ul style="list-style-type: none"> Identify all undisturbed area, existing vegetation and that which is to be retained; Location of any irrigation system and water source. 	SHEET C1	
<input type="checkbox"/>	13. Contours and Elevation: (2.5.4.3L) <ul style="list-style-type: none"> Existing/Proposed contours (2 foot minimum) and finished grade elevations. 	SHEET C4	
<input type="checkbox"/>	14. Open Space: (2.5.4.3M) <ul style="list-style-type: none"> Type, extent and location of all existing/proposed open space. 	SHEET C2	
<input type="checkbox"/>	15. All easements, deed restrictions and non-public rights of ways. (2.5.4.3N)	N/A	
<input type="checkbox"/>	16. Character/Civic District (All following information shall be included): (2.5.4.3P) <ul style="list-style-type: none"> Applicable Building Height (10.5A21.20 & 10.5A43.30); Applicable Special Requirements (10.5A21.30); Proposed building form/type (10.5A43); Proposed community space (10.5A46). 	N/A	
<input type="checkbox"/>	17. Special Flood Hazard Areas (2.5.4.3Q) <ul style="list-style-type: none"> The proposed development is consistent with the need to minimize flood damage; All public utilities and facilities are located and construction to minimize or eliminate flood damage; Adequate drainage is provided so as to reduce exposure to flood hazards. 	N/A	

Other Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Traffic Impact Study or Trip Generation Report, as required. (3.2.1-2)	N/A	
<input type="checkbox"/>	Indicate where Low Impact Development Design practices have been incorporated. (7.1)	N/A	
<input type="checkbox"/>	Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. (7.3.1)	N/A	
<input type="checkbox"/>	Stormwater Management and Erosion Control Plan. (7.4)	SHEET C4	
<input type="checkbox"/>	Inspection and Maintenance Plan (7.6.5)	N/A	

Final Site Plan Approval Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	All local approvals, permits, easements and licenses required, including but not limited to: <ul style="list-style-type: none"> • Waivers; • Driveway permits; • Special exceptions; • Variances granted; • Easements; • Licenses. (2.5.3.2A)	Cover Sheet	
<input type="checkbox"/>	Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: <ul style="list-style-type: none"> • Calculations relating to stormwater runoff; • Information on composition and quantity of water demand and wastewater generated; • Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls; • Estimates of traffic generation and counts pre- and post-construction; • Estimates of noise generation; • A Stormwater Management and Erosion Control Plan; • Endangered species and archaeological / historical studies; • Wetland and water body (coastal and inland) delineations; • Environmental impact studies. (2.5.3.2B)	SHEET C4	
<input type="checkbox"/>	A document from each of the required private utility service providers indicating approval of the proposed site plan and indicating an ability to provide all required private utilities to the site. (2.5.3.2D)	TBD	

Final Site Plan Approval Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	A list of any required state and federal permit applications required for the project and the status of same. (2.5.3.2E)	N/A	
<input type="checkbox"/>	A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations." (2.5.4.2E)	SHEET C2	N/A
<input type="checkbox"/>	For site plans that involve land designated as "Special Flood Hazard Areas" (SFHA) by the National Flood Insurance Program (NFIP) confirmation that all necessary permits have been received from those governmental agencies from which approval is required by Federal or State law, including Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S.C. 1334. (2.5.4.2F)	N/A	
<input type="checkbox"/>	Plan sheets submitted for recording shall include the following notes: a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds." b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director." (2.13.3)	SHEET C2	N/A

Applicant's Signature: John Chagnon Date: 7-16-21

Construction Cost Estimate

Warner House Association

Date: July 19, 2021

Project: Carriage House Addition

Job No: 2207

Location: 150 Daniel Street, Portsmouth, NH

Scope: **Site Cost Estimate**

ITEM NO	DESCRIPTION	UNIT	AMOUNT	UNIT COST	TOTAL
1	Driveway Apron Replacement	CY	5.8	\$270.00	\$1,566.00
2	Brick Sidewalk Replacement	SY	34	\$96.00	\$3,264.00
3	Eversource Electrical Service Connection	LS	1	\$5,000.00	\$5,000.00
4	Underground Electric/Conduit	LF	43	\$100.00	\$4,300.00
5	Water Service	FT	21	\$80.00	\$1,680.00
6	Sewer Service	FT	27	\$100.00	\$2,700.00
7	Low Dry Laid Wall	LF	28	\$100.00	\$2,800.00
8	Erosion Control	LS	1	\$500.00	\$500.00
9	Temporary Traffic Measures	LS	1	\$2,000.00	\$2,000.00
10	Building Excavation (Assumes Standard Removal)	CY	43	\$30.00	\$1,290.00
11	Drip Apron	LF	32	\$50.00	\$1,600.00
12	Fire Alarm Conduit	LF	36	\$40.00	\$1,440.00
	TOTAL				\$28,140

Note: This is an estimate of construction costs based upon various sources.



**150 Daniel St., Warner House Association
Map 106 Lot 58**

Green Building Statement

General:

- This small building is replicating a structure that was historically on this location. The exterior will be constructed with similar historic materials and the framing, interior and systems will be that of a modern energy efficient building.

Water:

- Roof Drainage will be contained with a drip apron on the left side & guttered to the lawn/gardens on the right side. New walkways will be low slope & drain into the yard.
- There will be minimal water usage with single accessible 1/2 bath & utility sink. WC will meet low flow standards.

Energy:

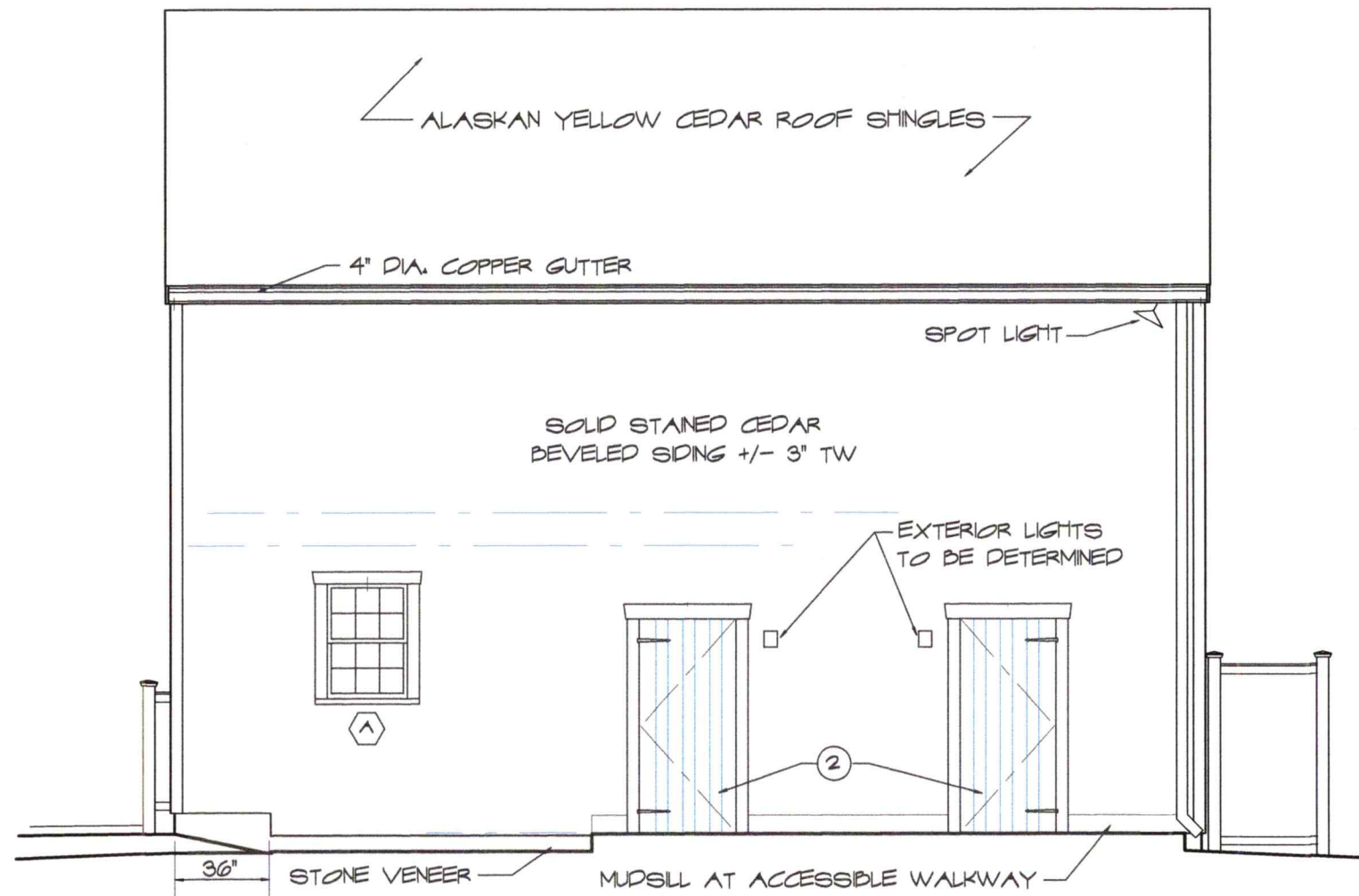
- Provide high performance thermal envelope. Use High Efficiency Heat Pumps for HVAC, with Heat Recovery (HRV) for ventilation.
- LED lighting will be used throughout.

Materials & Resources:

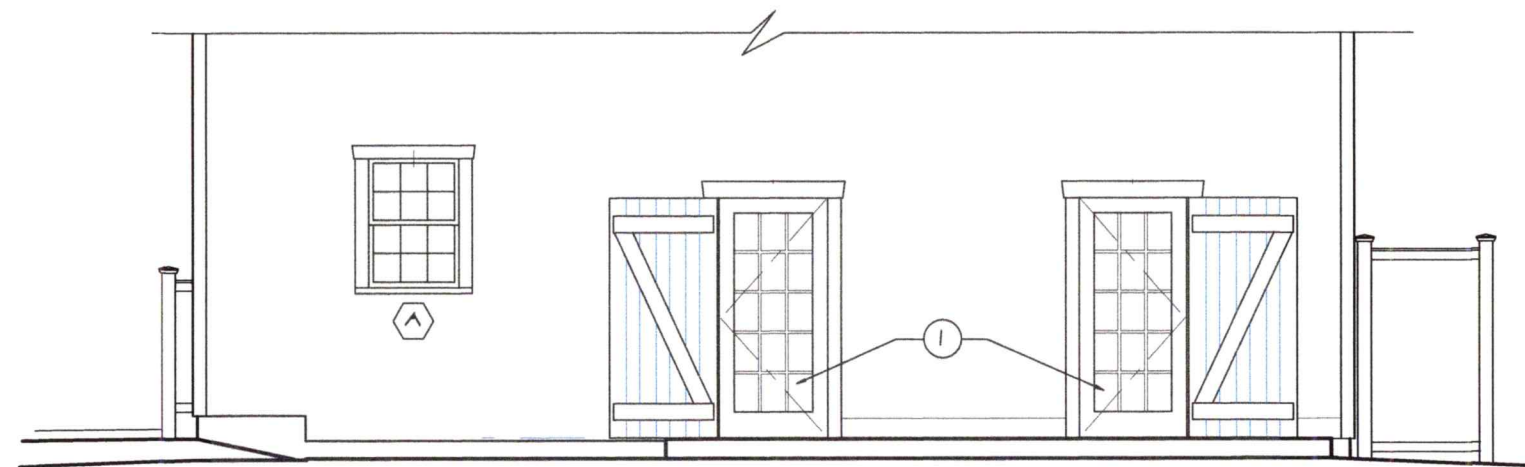
- Minimize waste during construction & operation.
- Use regional, renewable, low carbon footprint materials. As a reconstruction of a past historic building, exterior materials will be matching what was used historically for this type of outbuilding.

Indoor Environmental Quality:

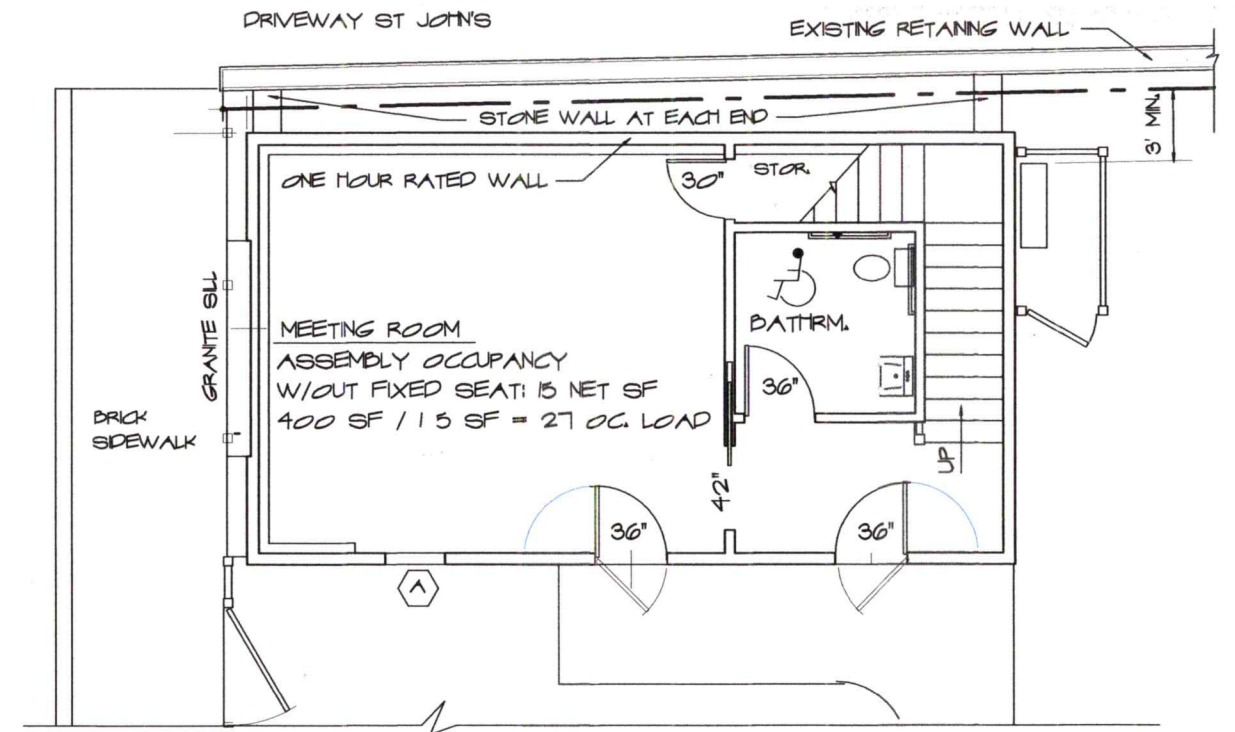
- Thermal Comfort, meet ASHRAE 55 Thermal Comfort Code, 1st & 2nd Floors will be Zoned separately.
- Indoor air quality will be achieved with HRV, heat recovery ventilation system.
- As a reconstruction of the past Carriage House there will be minimal windows which are appropriate for the use as a Meeting & Curatorial Space. Two windows were added to the 2nd floor to provide light & views to the street & gardens.
- Individual controls will be provided for temperature and lighting



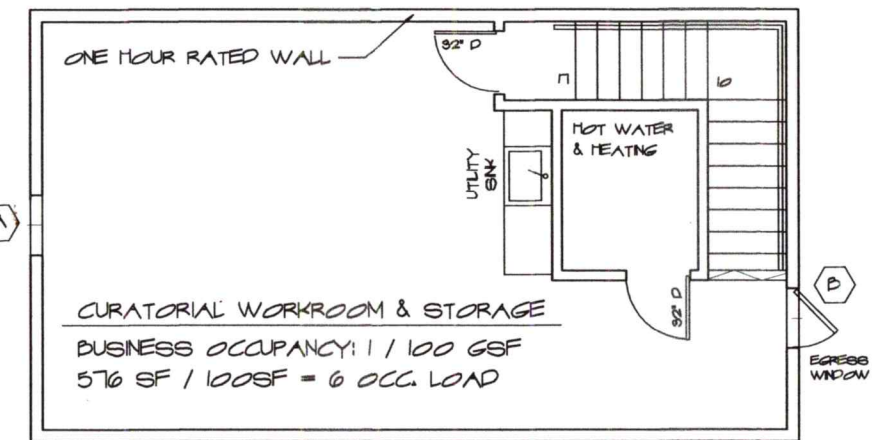
RIGHT SIDE ELEVATION WITH STORM DOORS
SCALE: 3/16" = 1'-0"



RIGHT SIDE ELEVATION WITH STORM DOORS OPEN
SCALE: 3/16" = 1'-0"




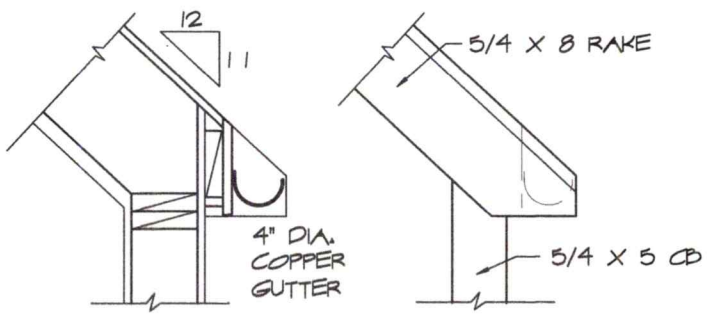
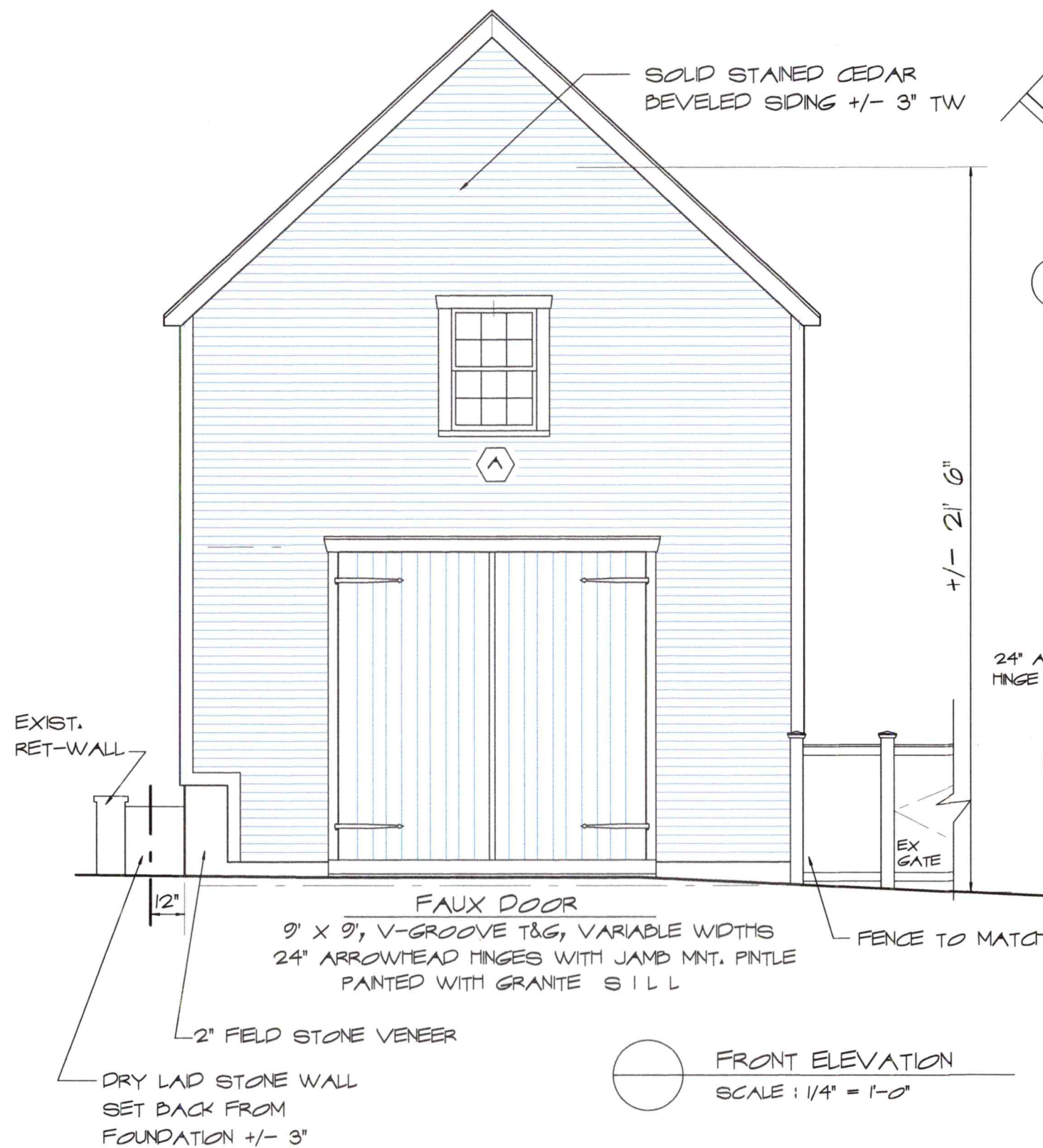
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



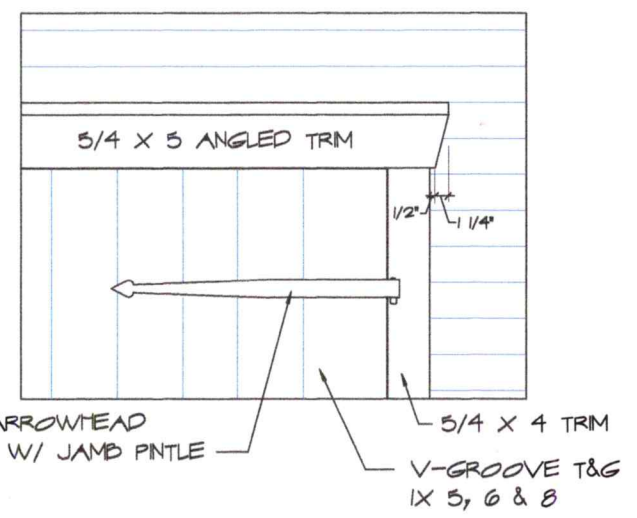
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

CARRIAGE HOUSE
RECONSTRUCTION
18' X 32'
OCCUPANT LOAD = 34

SCHEMATIC DESIGN CARRIAGE HOUSE RECONSTRUCTION, WARNER HOUSE ASSOC. 150 DANIEL STREET PORTSMOUTH, NH	 ANNE WHITNEY ARCHITECT 9 Sheafe Street Portsmouth NH 03801 603-427-2832	Project: # 2102	Date: 7/15/21
		Revisions:	1 OF 3



○ EVE DETAIL & RAKE ELEVATION
SCALE: 3/4" = 1'-0"



○ FAUX DOOR & TRIM DETAIL
SCALE: 3/4" = 1'-0"



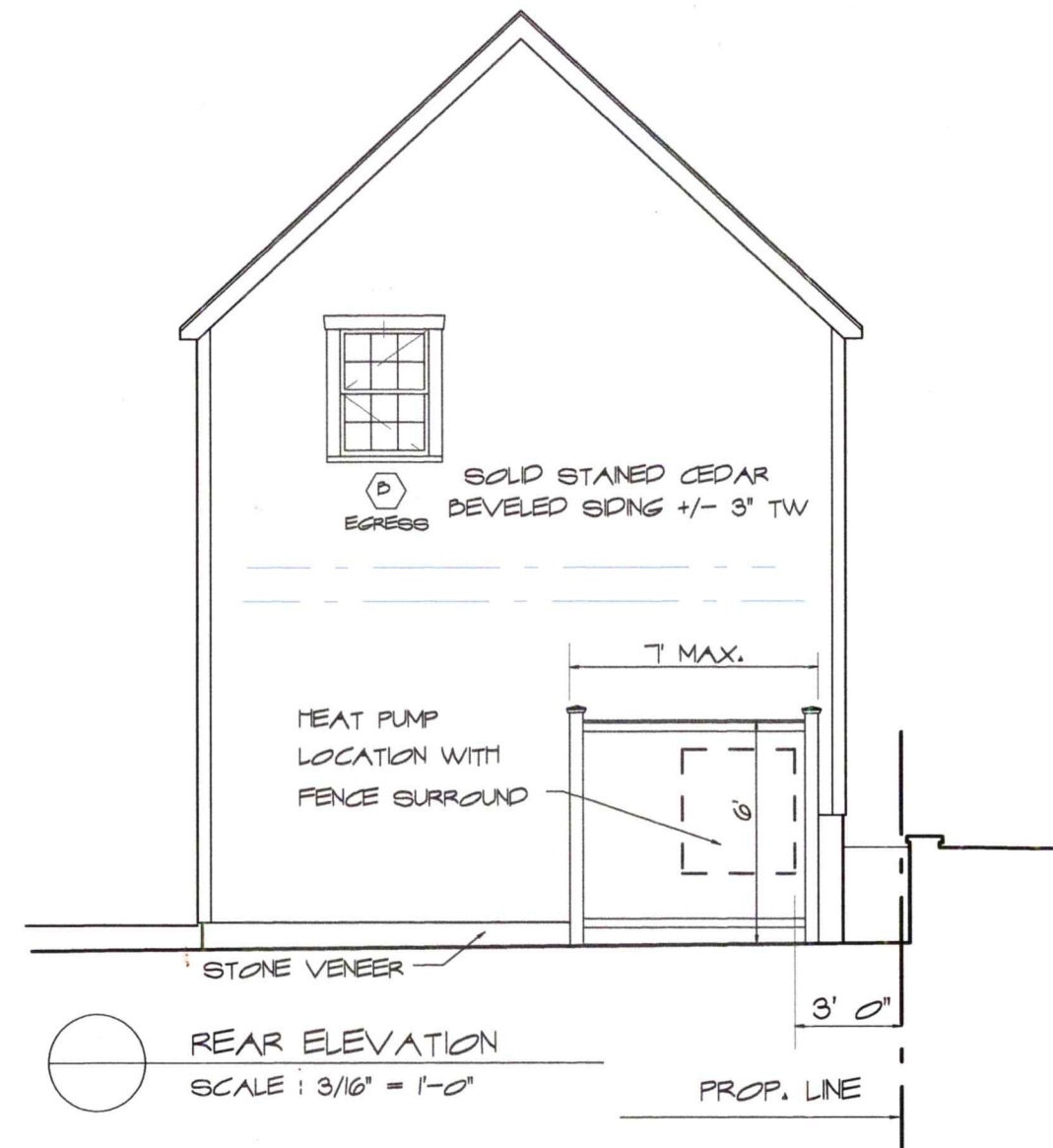
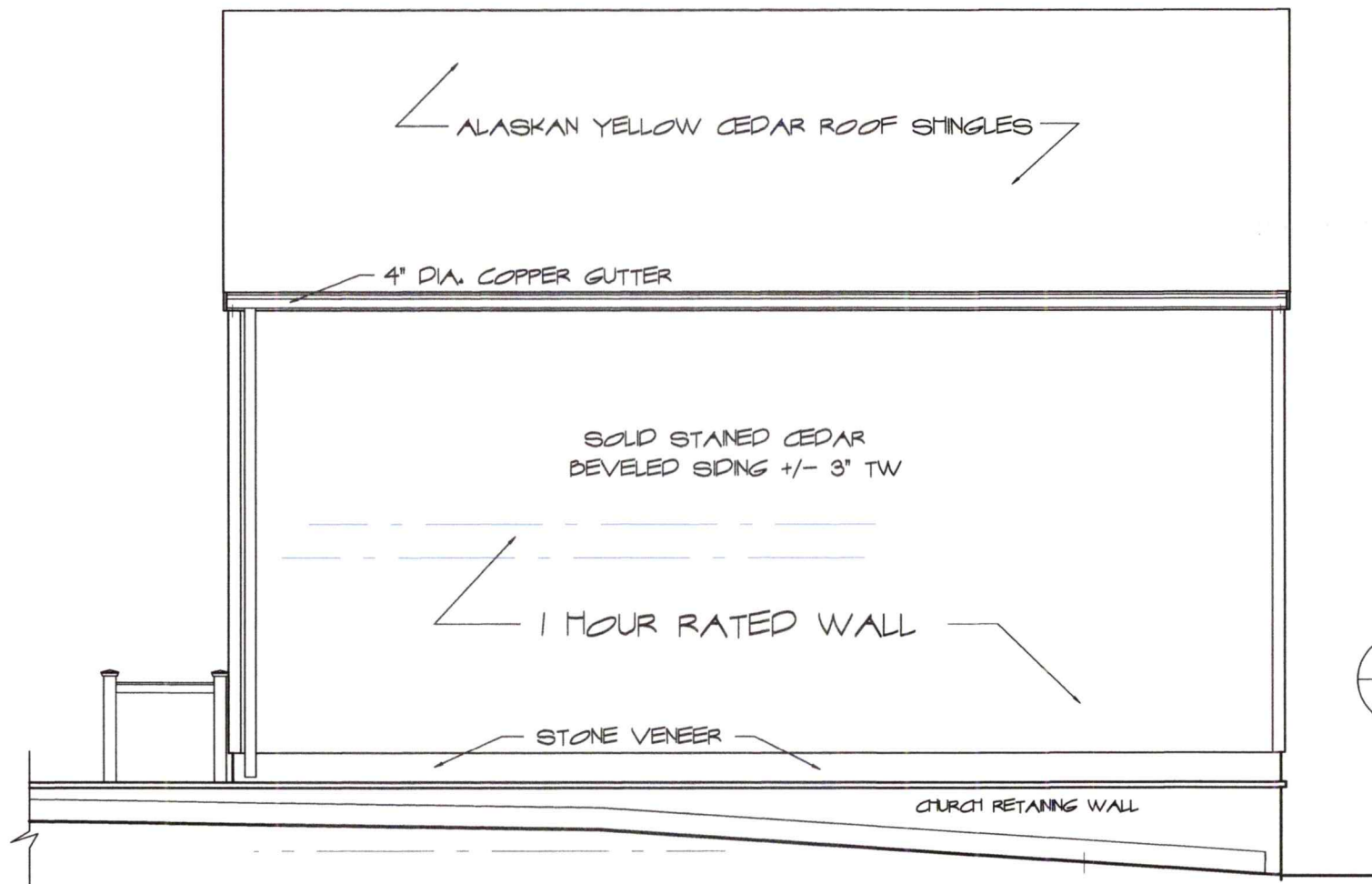
DETAIL PHOTO FROM ATTENEUM

○ FRONT ELEVATION
SCALE: 1/4" = 1'-0"

SCHEMATIC DESIGN ANNE WHITNEY ARCHITECT CARRIAGE HOUSE RECONSTRUCTION, WARNER HOUSE ASSOC. 150 DANIEL STREET PORTSMOUTH, NH	9 Sheafe Street Portsmouth NH 03801 603-427-2832	Project: 2102 Revisions:	Date: 7/15/21
	2 OF 3		

WINDOW & EXTERIOR DOOR SCHEDULES

SYM.	UNIT	LITES	ROUGH OPENING	REMARKS	QUAN.
WINDOWS					
A	8' x 9" Pane 30" x 45" Doublehung	6/6	2' 9" X 4' 1"	GREEN MOUNTAIN WINDOW CO. (GMW), Doublehung with 5/8" True Divided Lites & GMW Historic Sill, 5/4 x 5 Wood Casling, Hardware to be chosen by Owner. New 2x6 Wall	2
B	8' x 9" Pane 30" x 45" Casement	6/6	2' 9" X 4' 1"	GREEN MOUNTAIN WINDOW CO. (GMW), Casement, to match TDL's & Meeting Fall of Doublehung, Sill and Casings to match, Hardware to be chosen by Owner. New 2x6 Wall	1L
EXTERIOR DOOR					
1	Simpson #77015 36" x 80"	15	3' 2 1/2" x 6' 10 1/2"	SIMPSON DOOR CO., FIR DOOR, Model #77015, Inswing, with UltraBlock(R) Technology, Painted, 7/8" TDL, IG, Lever Handle & Lockset-Hardware	2
2	Custom storm door 36" x 80"	0	3' 2 1/2" x 6' 10 1/2"	V-Groove T&G Storm Door, Lifespan Pine, Painted with 12" Arrow Strap Hinges, Jamb Mtg Pintle & Thumb Latch. Custom made Door	2



RIGHT SIDE ELEVATION
SCALE: 3/16" = 1'-0"

<p>SCHMATIC DESIGN</p> <p>ANNE WHITNEY ARCHITECT</p> <p>CARRIAGE HOUSE RECONSTRUCTION, WARNER HOUSE ASSOC.</p> <p>150 DANIEL STREET PORTSMOUTH, NH</p>	<p>9 Sheafe Street Portsmouth NH 03801 603-427-2832</p>	<p>Project: 2102</p>	<p>Date: 7/15/21</p>
		<p>Revisions:</p>	<p>3 OF 3</p>

CARRIAGE HOUSE RECONSTRUCTION WARNER HOUSE ASSOCIATION 150 DANIEL STREET PORTSMOUTH, NEW HAMPSHIRE SITE PERMIT PLANS

PROJECT PERMITS:

PORTSMOUTH HDC: 7-7-21
PORTSMOUTH BOA: 6-15-21
PORTSMOUTH SITE PLAN: PENDING

OWNER:

WARNER HOUSE ASSOCIATION
PO BOX 895
PORTSMOUTH, NH 03802
TEL. (603) 436-5909

CIVIL ENGINEER:

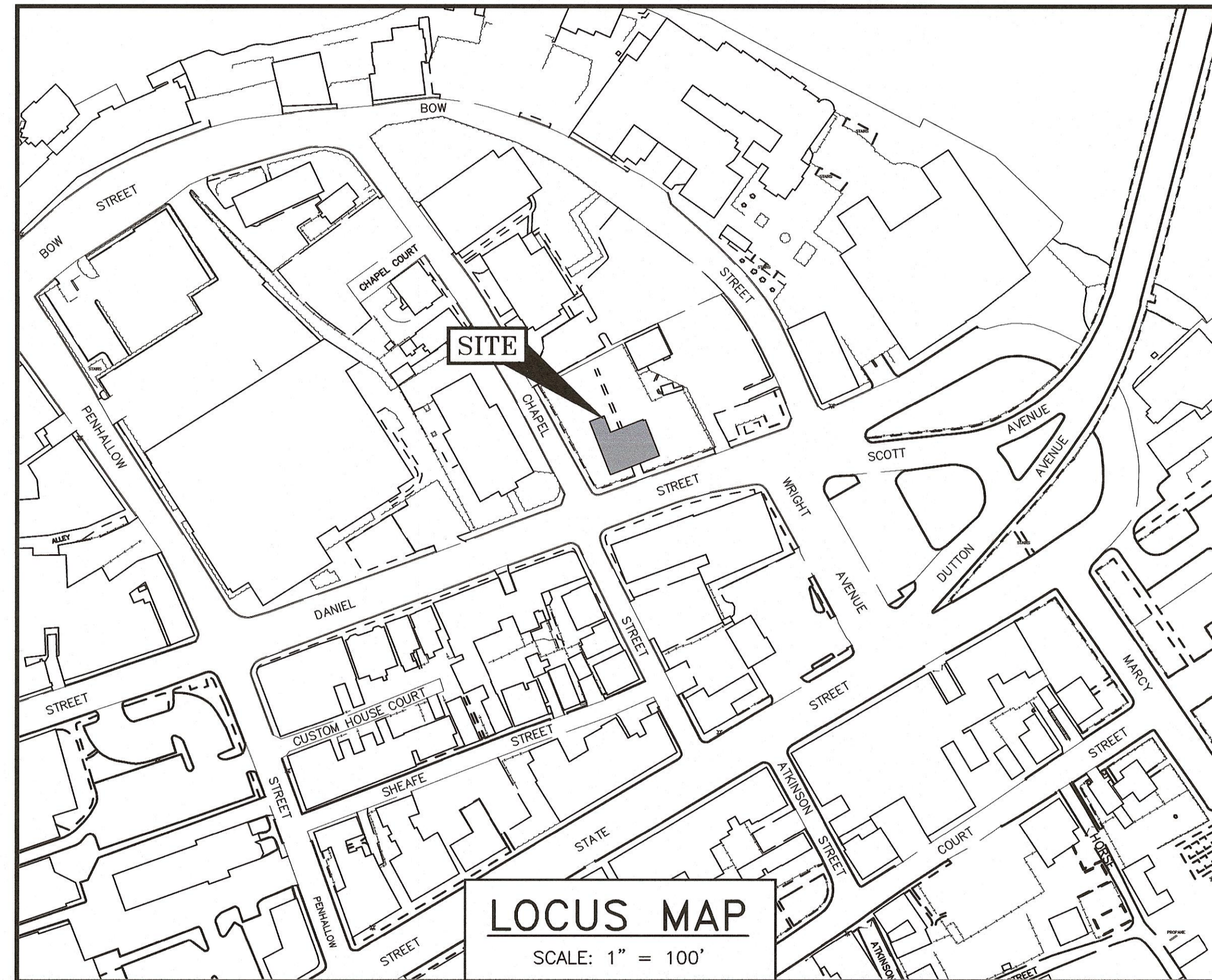
AMBIT ENGINEERING, INC.
200 GRIFFIN ROAD, UNIT 3
PORTSMOUTH, N.H. 03801
Tel. (603) 430-9282
Fax (603) 436-2315

ARCHITECT:

ANNE WHITNEY
9 SHEAFE STREET
PORTSMOUTH, NH, 03801
TEL. (603) 427-2832

LEGEND:

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	SETBACK
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	G	GAS LINE
D	D	STORM DRAIN
W	W	WATER LINE
WS	WS	WATER SERVICE
UGE	UGE	UNDERGROUND ELECTRIC
OHW	OHW	OVERHEAD ELECTRIC/WIRES
---	---	FOUNDATION DRAIN
---	---	EDGE OF PAVEMENT (EP)
100	100	CONTOUR
97x3	98x0	SPOT ELEVATION
○	○	UTILITY POLE
⊙	⊙	WALL MOUNTED EXTERIOR LIGHTS
⊙	⊙	TRANSFORMER ON CONCRETE PAD
⊙	⊙	ELECTRIC HANDHOLD
⊙	⊙	SHUT OFFS (WATER/GAS)
⊙	⊙	GATE VALVE
⊙	⊙	HYDRANT
⊙	⊙	HYDRANT
⊙	⊙	CATCH BASIN
⊙	⊙	SEWER MANHOLE
⊙	⊙	DRAIN MANHOLE
⊙	⊙	TELEPHONE MANHOLE
⊙	⊙	PARKING SPACE COUNT
⊙	⊙	PARKING METER
⊙	⊙	LANDSCAPED AREA
TBD	TBD	TO BE DETERMINED
CI	CI	CAST IRON PIPE
COP	COP	COPPER PIPE
DI	DI	DUCTILE IRON PIPE
PVC	PVC	POLYVINYL CHLORIDE PIPE
RCP	RCP	REINFORCED CONCRETE PIPE
AC	-	ASBESTOS CEMENT PIPE
VC	VC	VITRIFIED CLAY PIPE
EP	EP	EDGE OF PAVEMENT
EL	EL	ELEVATION
FF	FF	FINISHED FLOOR
INV	INV	INVERT
S =	S =	SLOPE FT/FT
TBM	TBM	TEMPORARY BENCH MARK
TYP	TYP	TYPICAL



Map 10.5A21A
Character Districts and Civic Districts

Legend

- Downtown Overlay District
- Historic District

Character Districts

- CD5 Character District 5
- CD4 Character District 4
- CD4-W Character District 4-W
- CD4-L1 Character District 4-L1
- CD4-L2 Character District 4-L2

Civic District

- Civic District

Municipal District

- Municipal District



INDEX OF SHEETS

DWG. No.	Description
C1	EXISTING CONDITIONS PLAN
C2	SITE LAYOUT PLAN
C3	UTILITY PLAN
C4	GRADING AND EROSION CONTROL PLAN
D1-D2	DETAILS

UTILITY CONTACTS

ELECTRIC:
EVERSOURCE
1700 LAFAYETTE ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 436-7708, Ext. 555.5678
ATTN: MICHAEL BUSBY, P.E. (MANAGER)

NATURAL GAS:
UNITIL
325 WEST ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 294-5144
ATTN: DAVE BEAULIEU

CABLE:
COMCAST
155 COMMERCE WAY
PORTSMOUTH, N.H. 03801
Tel. (603) 679-5695 (X1037)
ATTN: MIKE COLLINS

SEWER & WATER:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 427-1530
ATTN: JIM TOW

COMMUNICATIONS:
FAIRPOINT COMMUNICATIONS
JOE CONSIDINE
1575 GREENLAND ROAD
GREENLAND, N.H. 03840
Tel. (603) 427-5525

PORTSMOUTH APPROVAL CONDITIONS NOTE:
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

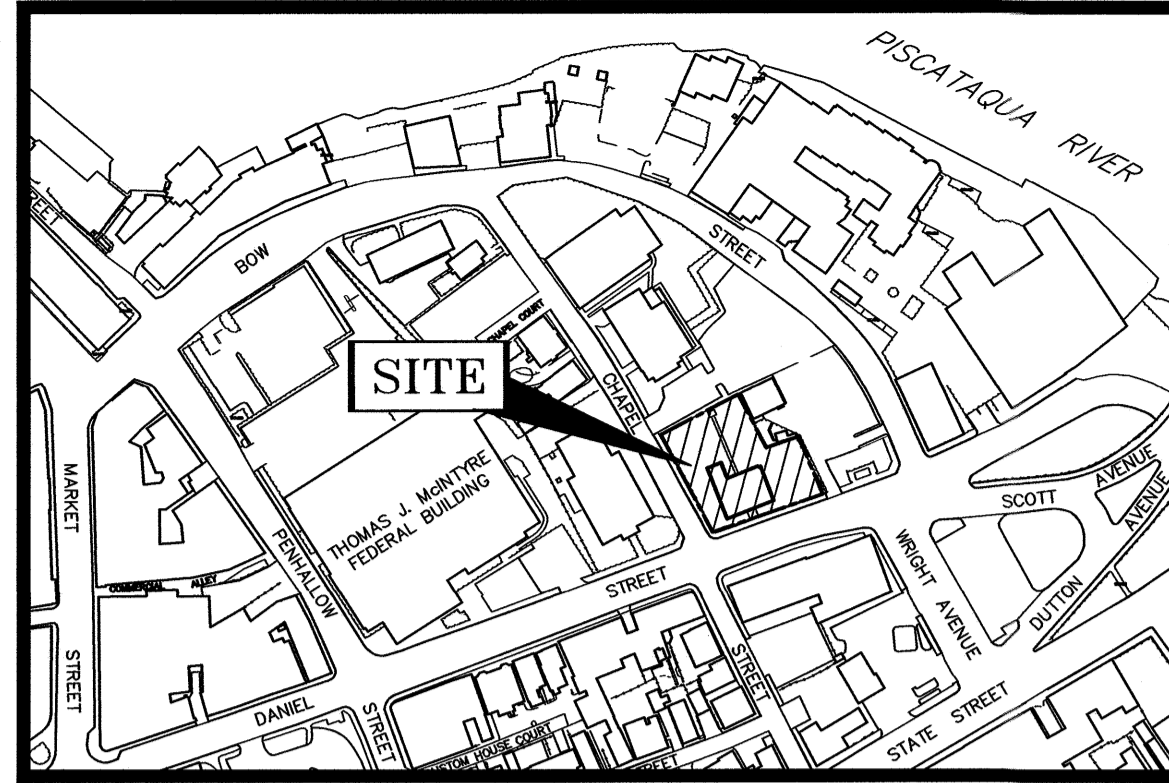
APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

**CARRIAGE HOUSE RECONSTRUCTION
WARNER HOUSE ASSOCIATION
150 DANIEL STREET
PORTSMOUTH, N.H.**

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

PLAN SET SUBMITTAL DATE: 19 JULY 2021



LOCATION MAP

SCALE: 1" = 200'

LEGEND:

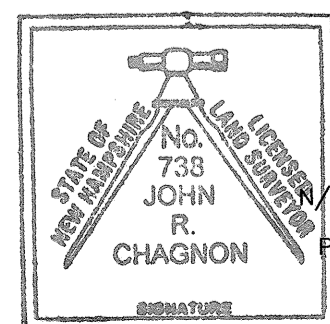
N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCRD	ROCKINGHAM COUNTY
	REGISTRY OF DEEDS
(11/21)	MAP 11 / LOT 21
---	BOUNDARY
---	SETBACK
■	RR SPK SET
○	IRON ROD FOUND
●	IRON ROD SET
○	DRILL HOLE SET
S	SEWER LINE
G	GAS LINE
D	STORM DRAIN
W	WATER LINE
---	OVERHEAD ELECTRIC/WIRES
100	CONTOUR
97x3	SPOT ELEVATION
---	EDGE OF PAVEMENT
○	UTILITY POLE (w/ GUY)
GCV	GAS GATE VALVE
+○+	HYDRANT
⊞	METER (GAS, WATER, ELECTRIC)
⊞	CATCH BASIN
⊞	TELEPHONE MANHOLE
⊞	SEWER MANHOLE
⊞	DRAIN MANHOLE
⊞	MONITORING WELL
⊞	SIGNS
⊞	LIGHT POLE
EL.	ELEVATION
F.F.	FINISHED FLOOR
TBM	TEMPORARY BENCHMARK
TYP.	TYPICAL
VGC	VERTICAL GRANITE CURB
LSA	LANDSCAPED AREA

PLAN REFERENCES:

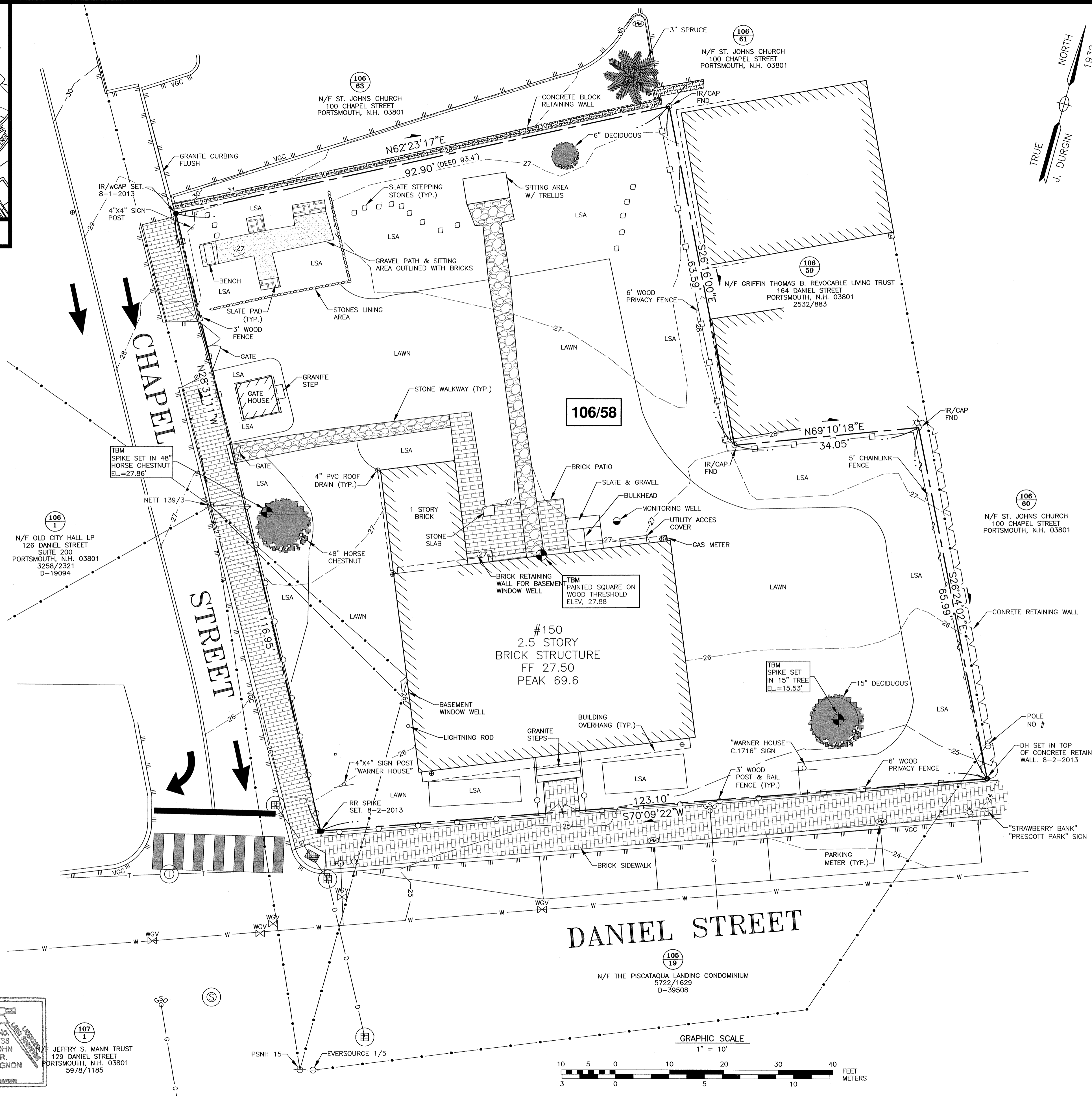
- 1) PLAN OF LOT, DANIEL ST. COR. BOW ST., PORTSMOUTH, N.H. SCALE: 1 INCH = 20 FEET DATED 1928 BY JOHN W. DURGIN, CIVIL ENGINEER, PLAN 908, NOT RECORDED.
- 2) PLAN OF LOT, 150 DANIEL ST., PORTSMOUTH, N.H. SCALE: 1 IN. = 20 FT. DATED JAN. 1932 BY JOHN W. DURGIN, CIVIL ENGINEER, NOT RECORDED.
- 3) PLAN OF LOT, BADGER FARM CREAMERIES, BOW ST., PORTSMOUTH, N.H. SCALE: 1 IN. = 10 FT. DATED JULY 1944 BY JOHN W. DURGIN, CIVIL ENGINEER, FILE # 317, PLAN # 8174, NOT RECORDED.
- 4) PLAN OF LAND, PORTSMOUTH, N.H. THE WARNER HOUSE ASSOCIATION, SCALE: 1 IN. = 10 FT. DATED AUGUST 1982, BY JOHN W. DURGIN ASSOCIATES, FILE # 1394, PLAN # 50067, NOT RECORDED.
- 5) CITY HALL, PLAN OF LAND, PREPARED FOR CITY OF PORTSMOUTH, PORTSMOUTH, NEW HAMPSHIRE, SCALE: 1" = 20', DATED JUNE 22, 1988 BY THOMAS F. MORAN, INC., RCRD PLAN D-19094.
- 6) STANDARD PROPERTY SURVEY FOR PROPERTY AT 164 DANIEL STREET, PORTSMOUTH, ROCKINGHAM COUNTY, NEW HAMPSHIRE, OWNED BY THOMAS B GRIFFIN, SCALE: 1" = 10', DATED 2/9/07, BY EASTERLY SURVEYING, DRAWING NO. 06850, NOT RECORDED.
- 7) PLAT OF LAND, 135 (aka 143) DANIEL STREET, PORTSMOUTH, NEW HAMPSHIRE, ASSESSOR'S PARCEL 105-19. OWNER CITY OF PORTSMOUTH, SCALE: 1" = 20', DATED 12/04/2012, BY JAMES VERRA AND ASSOCIATES, INC. RCRD PLAN D-37569.

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

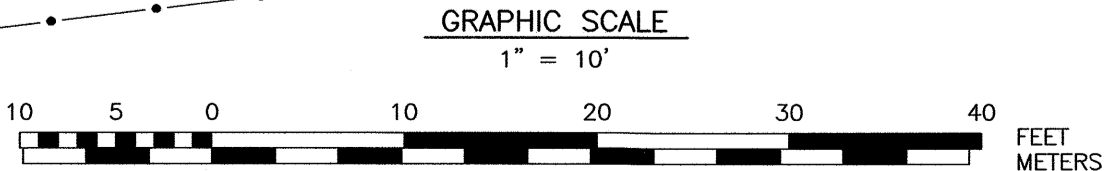
JOHN R. CHAGNON, LLS DATE 6.18.21



JEFFREY S. MANN TRUST
R. JOHN
1229 DANIEL STREET
PORTSMOUTH, N.H. 03801
5978/1185



DANIEL STREET



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

- NOTES:
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 106 AS LOT 58.
 - 2) OWNERS OF RECORD:
WARNER HOUSE ASSOCIATION
P. O. BOX 895
PORTSMOUTH, N.H. 03802
879/372
 - 3) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259F. JANUARY 29, 2021.
 - 4) EXISTING LOT AREA:
13,356 S.F.
0.3066 AC.
 - 5) PARCEL IS LOCATED IN THE HISTORIC AND CIVIC DISTRICTS.
 - 6) DIMENSIONAL REQUIREMENTS: SEE ORDINANCE.
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 106, LOT 58.
 - 8) DATUM: NAVD 1988-MEAN SEA LEVEL
BENCHMARK: PID 0C0289, V51 USGS DISC

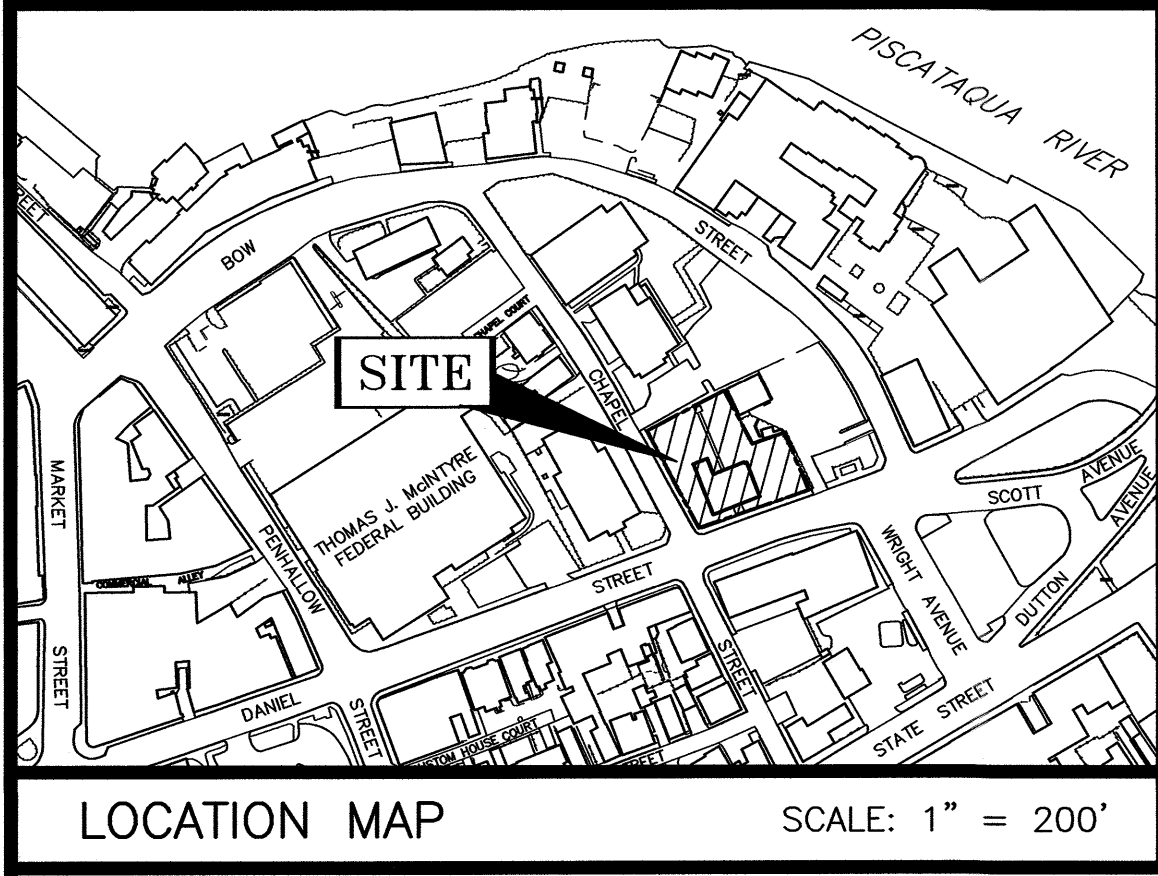
THE WARNER HOUSE ASSOCIATION
150 DANIEL STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	ADD TOPOGRAPHY	6/18/21
0	ISSUED FOR COMMENT	5/7/21

REVISIONS		
NO.	DESCRIPTION	DATE

SCALE: 1" = 10' MAY 2021

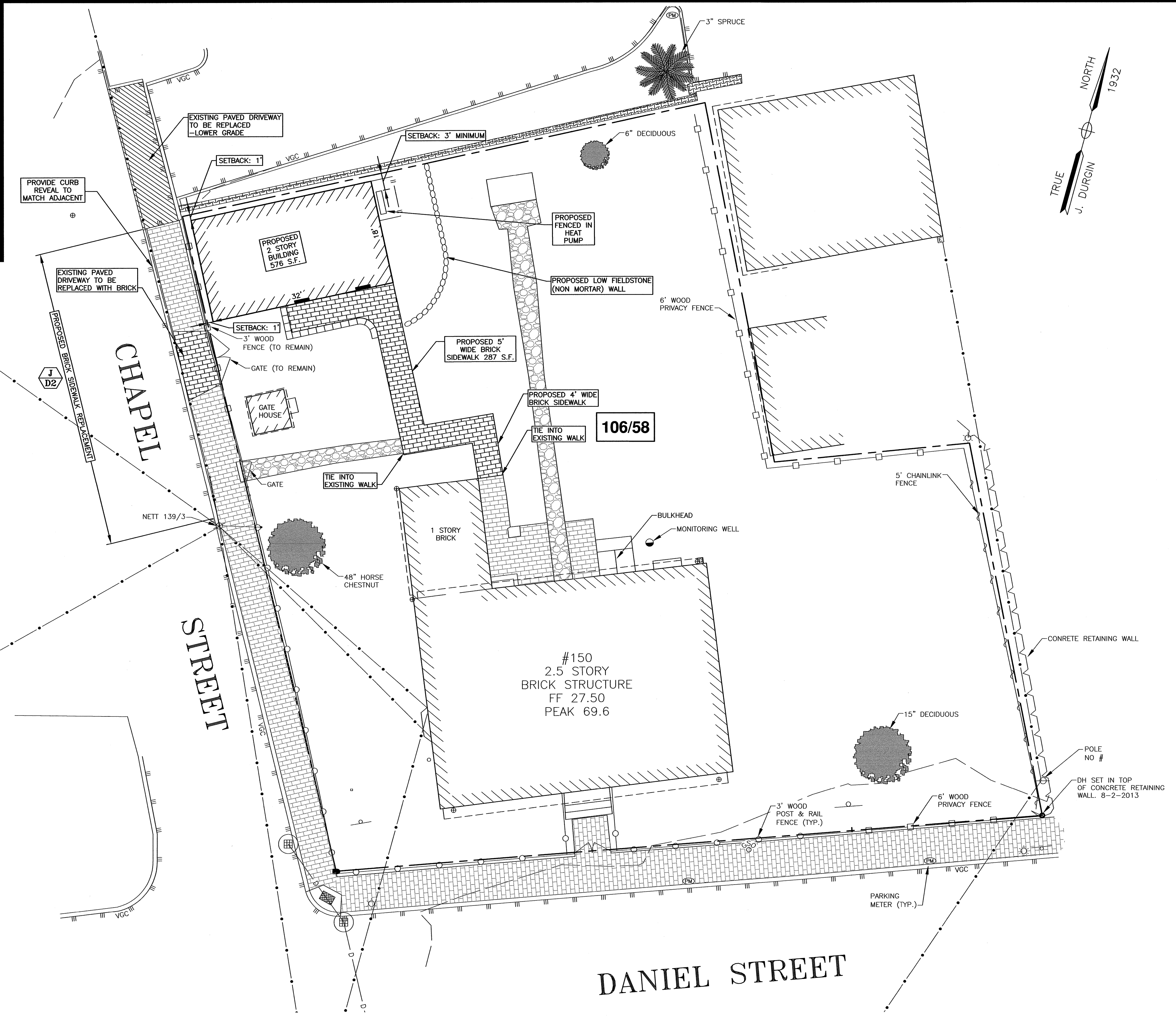
EXISTING CONDITIONS SITE PLAN **C1**



LOCATION MAP SCALE: 1" = 200'

GRANTED VARIANCES (6/15/21):

10.515.14 MECHANICAL SYSTEM: TO ALLOW A PROPOSED 3' SETBACK WHERE 10' IS REQUIRED.



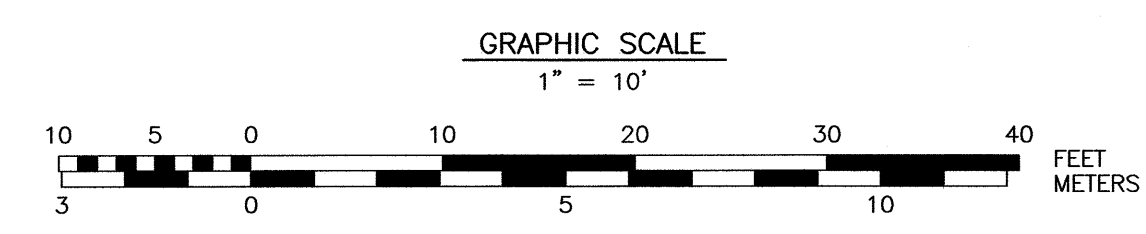
PORTSMOUTH APPROVAL CONDITIONS NOTE:
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.

ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

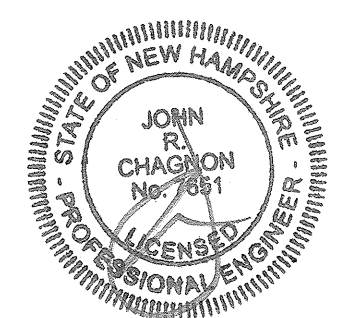


AMBIT ENGINEERING, INC.
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- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 106 AS LOT 58.
 - 2) OWNERS OF RECORD:
WARNER HOUSE ASSOCIATION
P. O. BOX 895
PORTSMOUTH, N.H. 03802
879/372
 - 3) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259F. JANUARY 29, 2021.
 - 4) EXISTING LOT AREA:
13,356 S.F.
0.3066 AC.
 - 5) PARCEL IS LOCATED IN THE HISTORIC AND CIVIC DISTRICTS.
 - 6) DIMENSIONAL REQUIREMENTS: THE CIVIC DISTRICT DOES NOT HAVE ANY DIMENSIONAL REQUIREMENTS.
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE IMPROVEMENTS ON TAX MAP 106, LOT 58.
 - 8) DATUM: NAVD 1988-MEAN SEA LEVEL
BENCHMARK: PID 0C0289, V31 USGS DISC

**THE WARNER HOUSE ASSOCIATION
150 DANIEL STREET
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	7/19/21
0	ISSUED FOR COMMENT	5/4/21

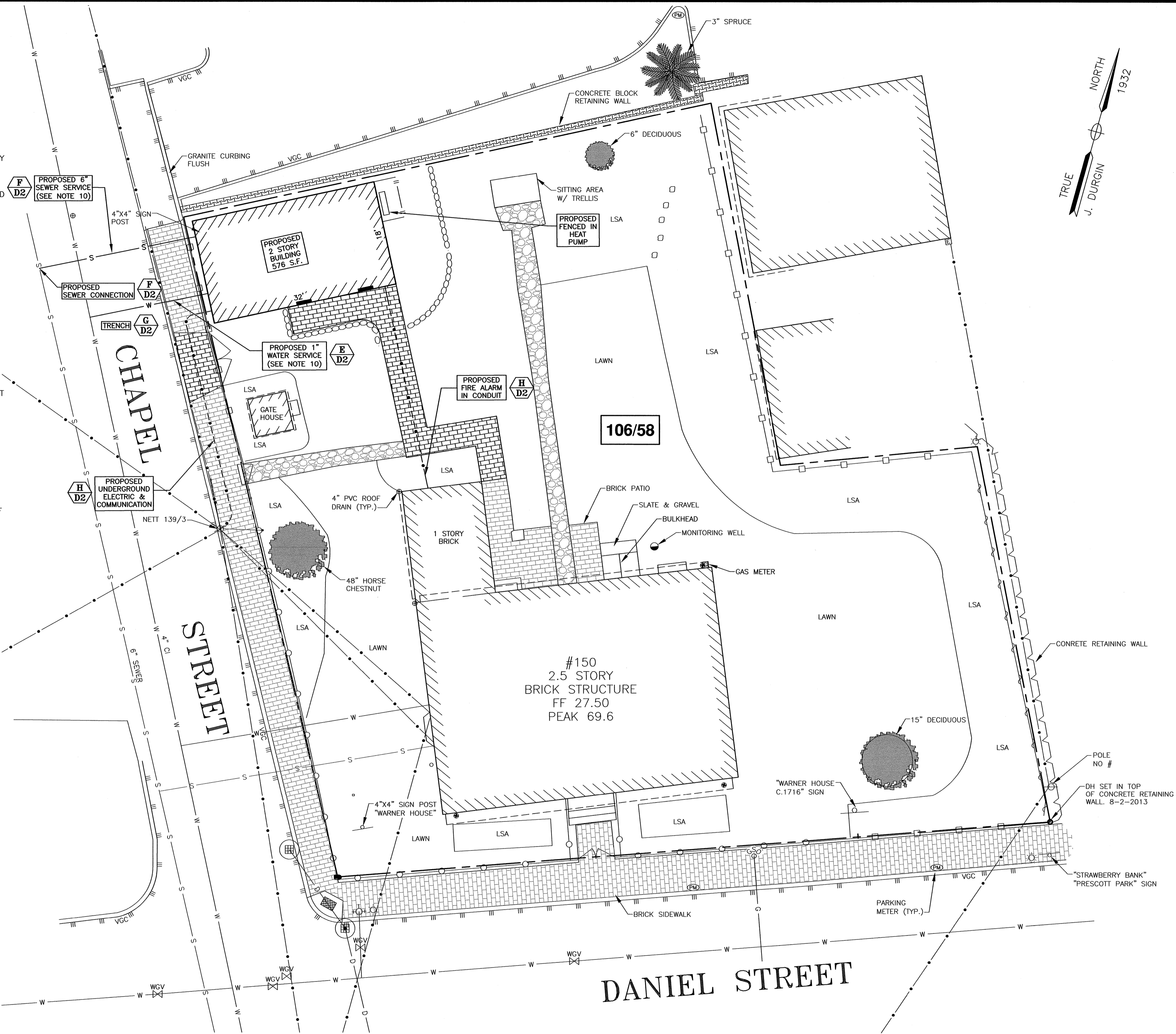


SCALE: 1" = 10' MAY 2021

SITE PLAN **C2**

UTILITY NOTES:

- 1) SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- 2) COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.
- 3) ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- 4) ALL WORK WITHIN CITY R.O.W. SHALL BE COORDINATED WITH CITY OF PORTSMOUTH.
- 5) CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
- 6) ANY CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED BY THE CITY OF PORTSMOUTH.
- 7) EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- 8) ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- 9) THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH BUILDING DRAWINGS AND UTILITY COMPANIES.
- 10) ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- 11) ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- 12) THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATED TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT.
- 13) THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED IN THESE DRAWING TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- 14) A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS WATER ABOVE SEWER.
- 15) SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- 16) GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
- 17) COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- 18) ALL SEWER PIPES WITH LESS THAN 6' COVER SHALL BE INSULATED.
- 19) CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- 20) CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ABUTTING PROPERTIES.

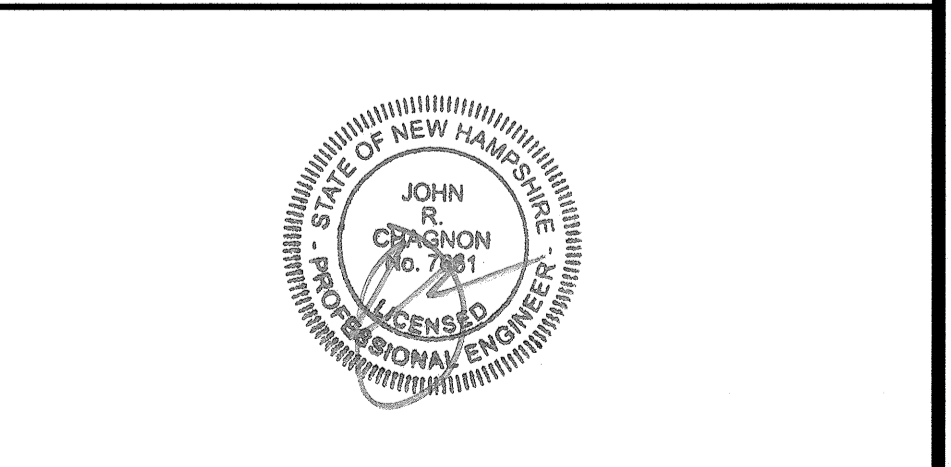


AMBIT ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 200 Griffin Road - Unit 3
 Portsmouth, N.H. 03801-7114
 Tel (603) 430-9282
 Fax (603) 436-2315

- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
 - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
 - 4) INSTALL CATCH BASIN INLET PROTECTION ON DOWNSTREAM CATCH BASINS UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.
 - 5) ALL WATER MAIN AND SANITARY SEWER WORK SHALL MEET THE STANDARDS OF THE NEW HAMPSHIRE STATE PLUMBING CODE AND CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.
 - 6) UTILITY AS-BUILTS SHALL BE SUBMITTED TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS UPON COMPLETION OF THE PROJECT.
 - 7) EVERSOURCE WORK ORDER TBD.
 - 8) PROPOSED SEWER FLOW:
 OFFICE:
 5 GPD/100 S.F.
 1152 X 5/100 = 58 GPD
 - 9) COMMUNICATIONS CONDUIT LOCATION SUBJECT TO CONFIRMATION FROM UTILITY PROVIDERS.
 - 10) WAIVER FROM THE PORTSMOUTH DPW WATER SERVICE GUIDELINES TO ALLOW A SECOND WATER SERVICE AT THIS LOCATION REQUESTED.

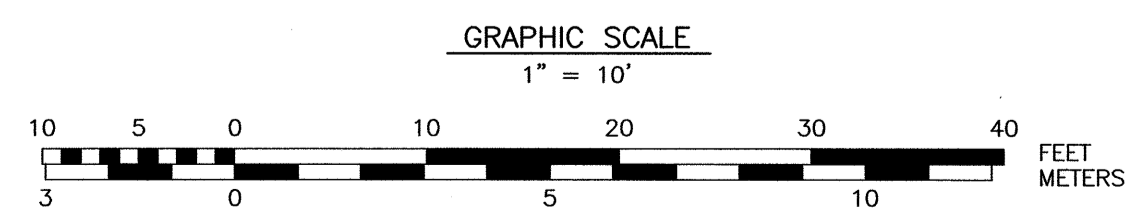
THE WARNER HOUSE ASSOCIATION
 150 DANIEL STREET
 PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	7/19/21
0	ISSUED FOR COMMENT	5/4/21



SCALE: 1" = 10' MAY 2021

UTILITY PLAN **C3**



J:\0852\UN22005\UN22005\UN2207\021 Permits\Plan & Specs\Site\2207_Site 2021.dwg, 7/15/2021 5:01:50 PM, Canon TX-3000.p3



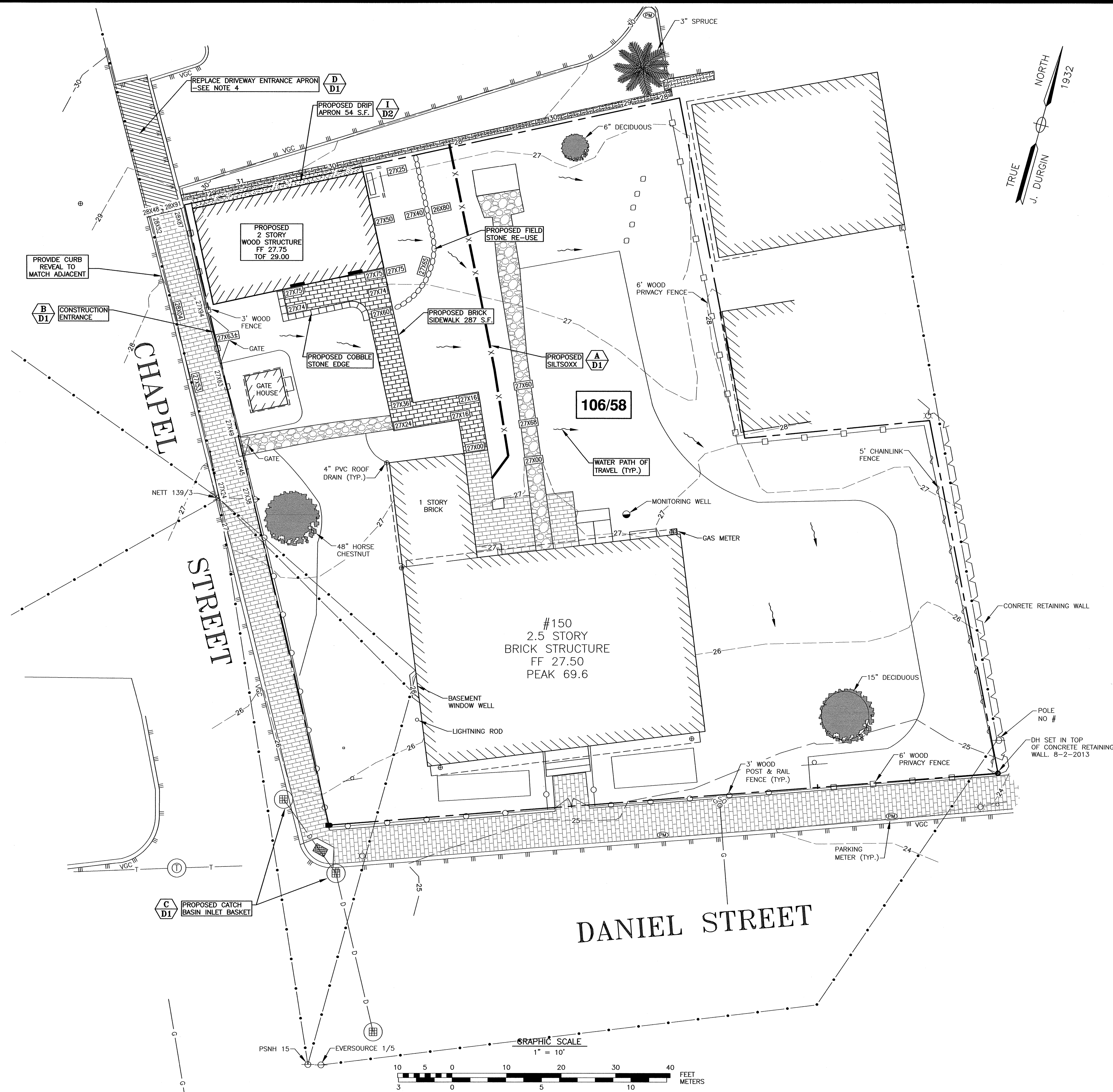
AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) THE PURPOSE OF THE DRIVEWAY APRON REPLACEMENT IS TO LOWER THE GRADE SO RUN-OFF FROM THE ADJACENT DRIVEWAY FLOWS TO THE CHAPEL STREET GUTTER LINE.

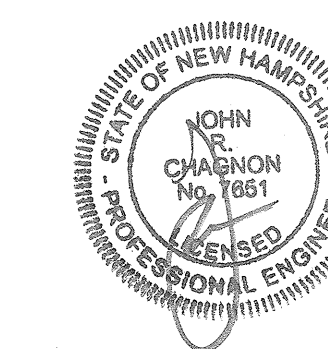


APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

**THE WARNER HOUSE ASSOCIATION
150 DANIEL STREET
PORTSMOUTH, N.H.**

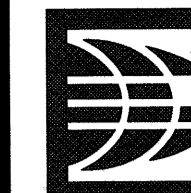
NO.	DESCRIPTION	DATE
0	ISSUED FOR APPROVAL	7/19/21
REVISIONS		



SCALE: 1" = 10' JULY 2021

GRADING & EROSION CONTROL PLAN

C4



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

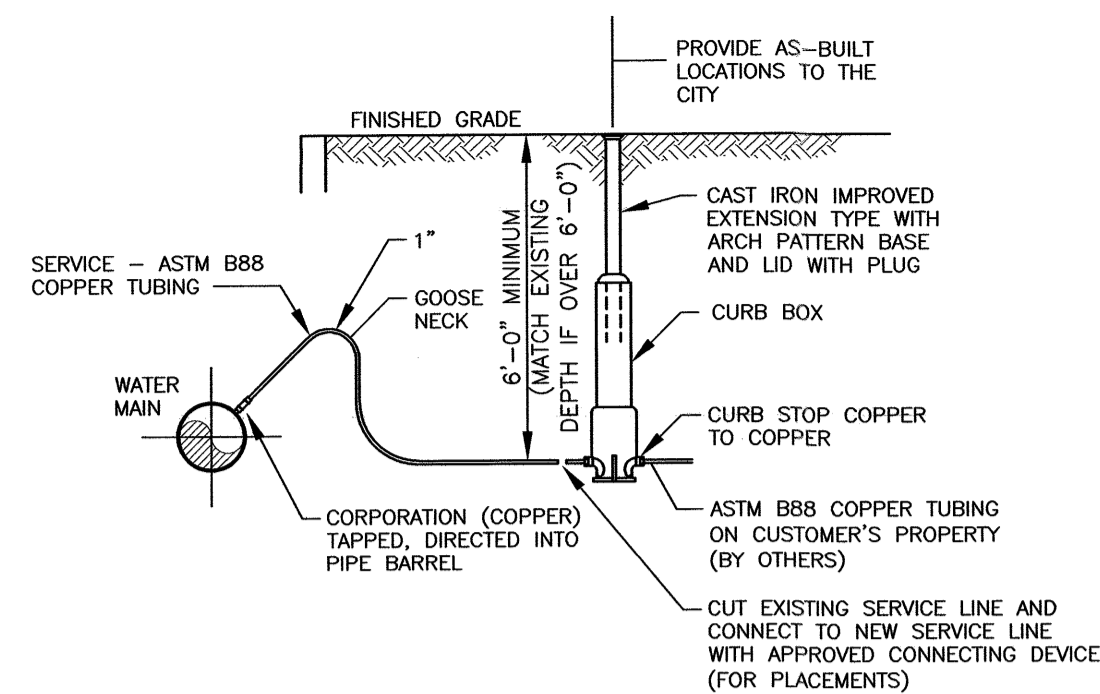
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

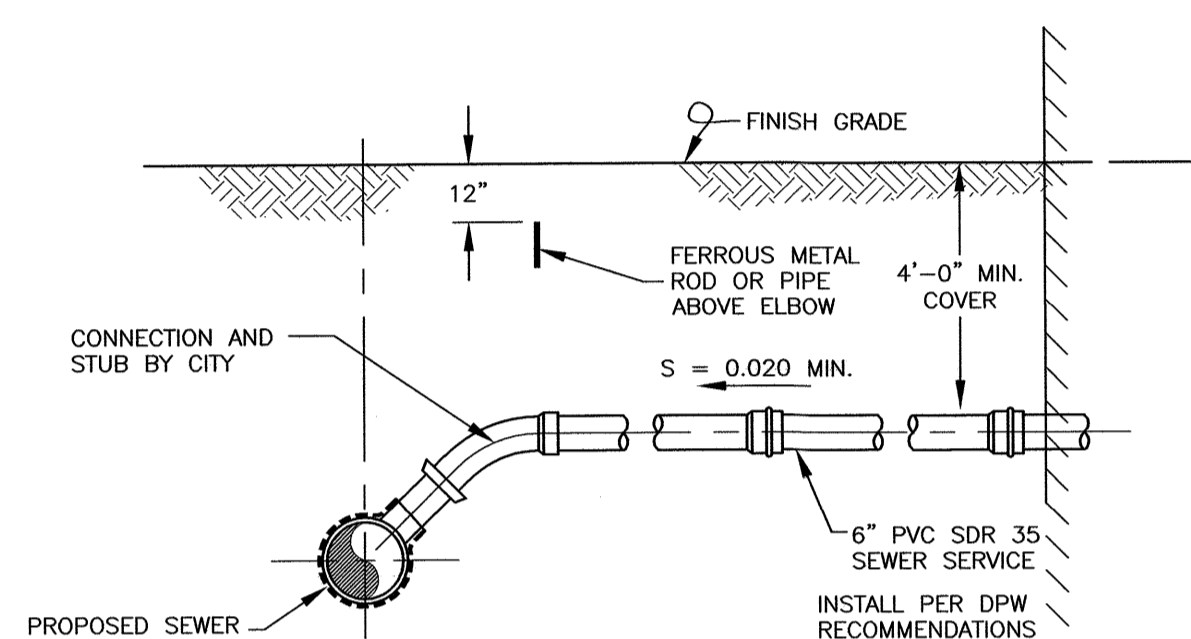
1) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

2) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.

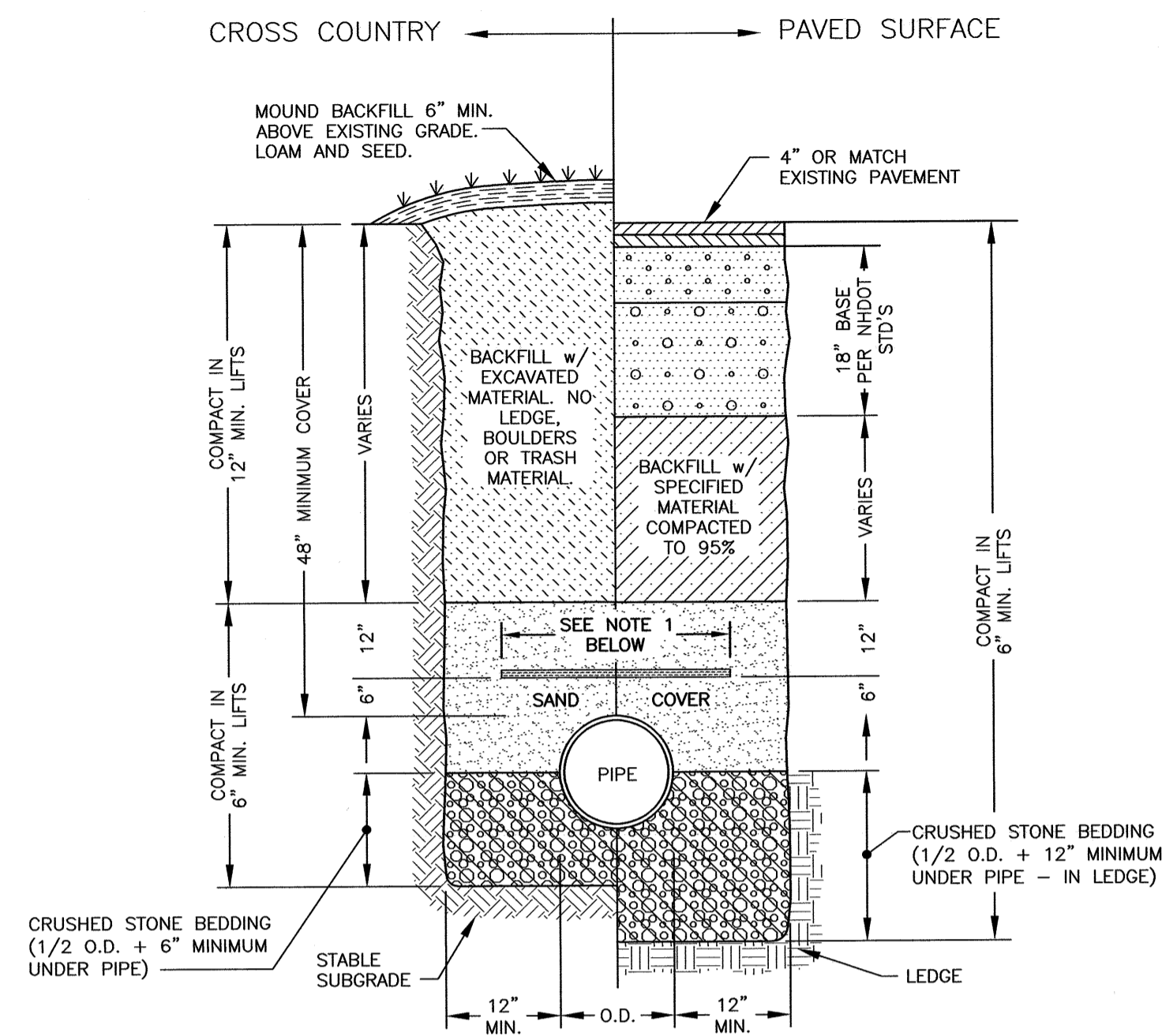
3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION." (NHDES DECEMBER 2008).



E TYPICAL WATER SERVICE CONNECTION
C3 NTS

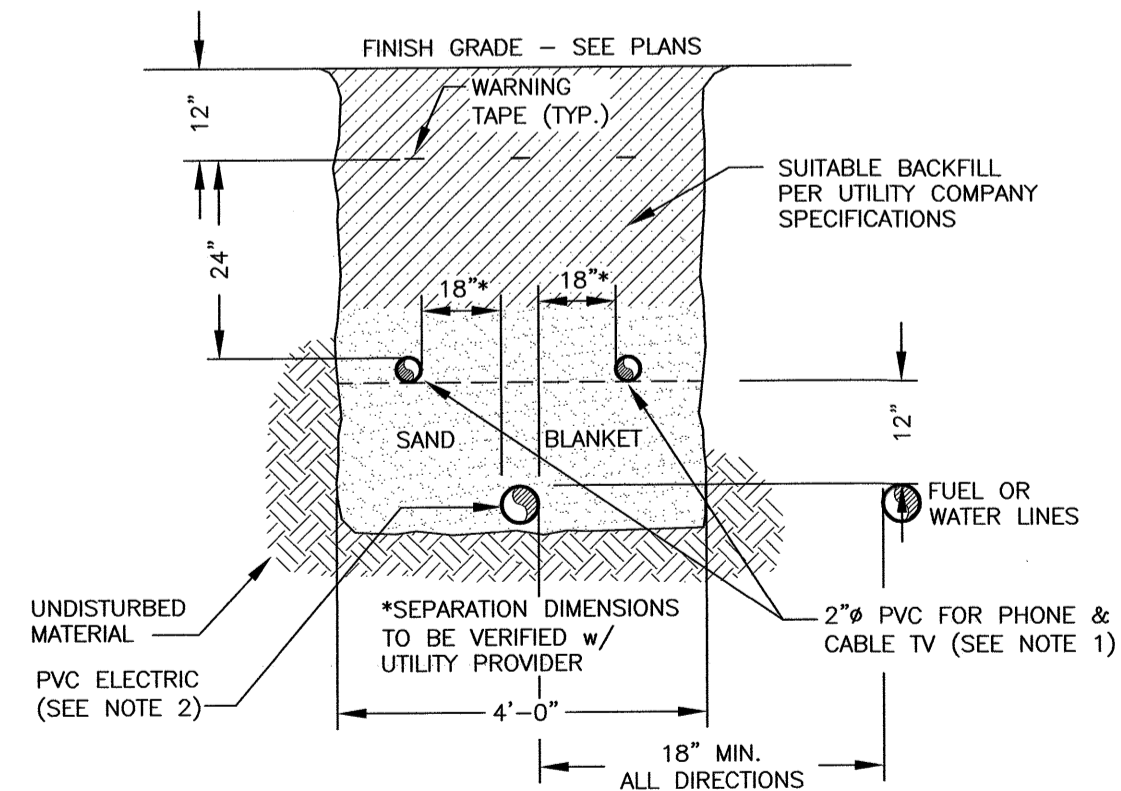


F TYPE "A" SEWER SERVICE CONNECTION
C3 NTS



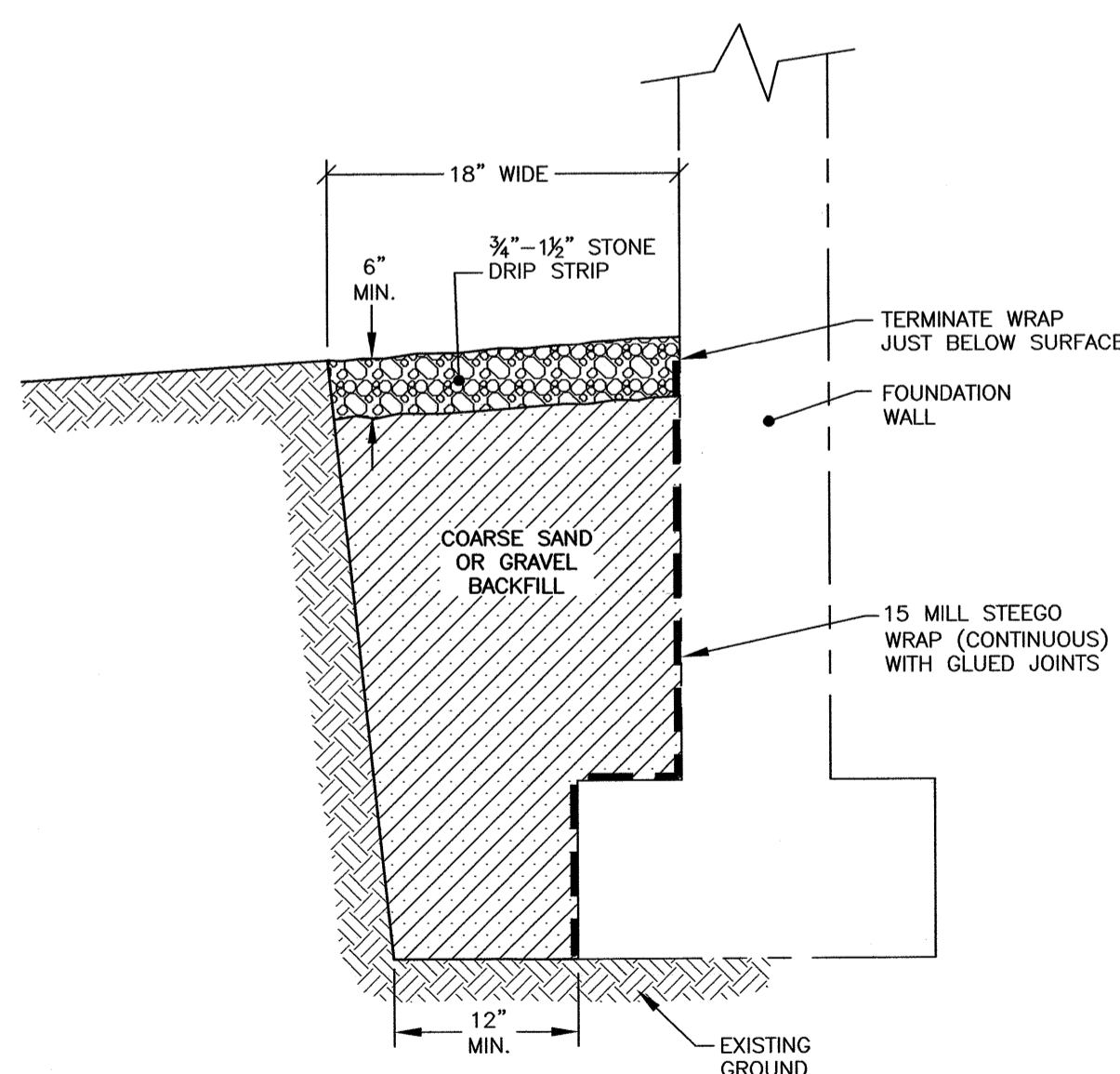
NOTES:
1) WHERE MINIMUM COVER CANNOT BE MET, CONTACT THE APPROPRIATE MUNICIPAL DEPARTMENT TO DISCUSS INSULATION ALTERNATIVES.
2) TRENCHING SHALL BE PERFORMED IN ACCORDANCE WITH STATE OF NEW HAMPSHIRE STANDARDS FOR SEWER CONSTRUCTION.

G SEWER TRENCH DETAIL
C3



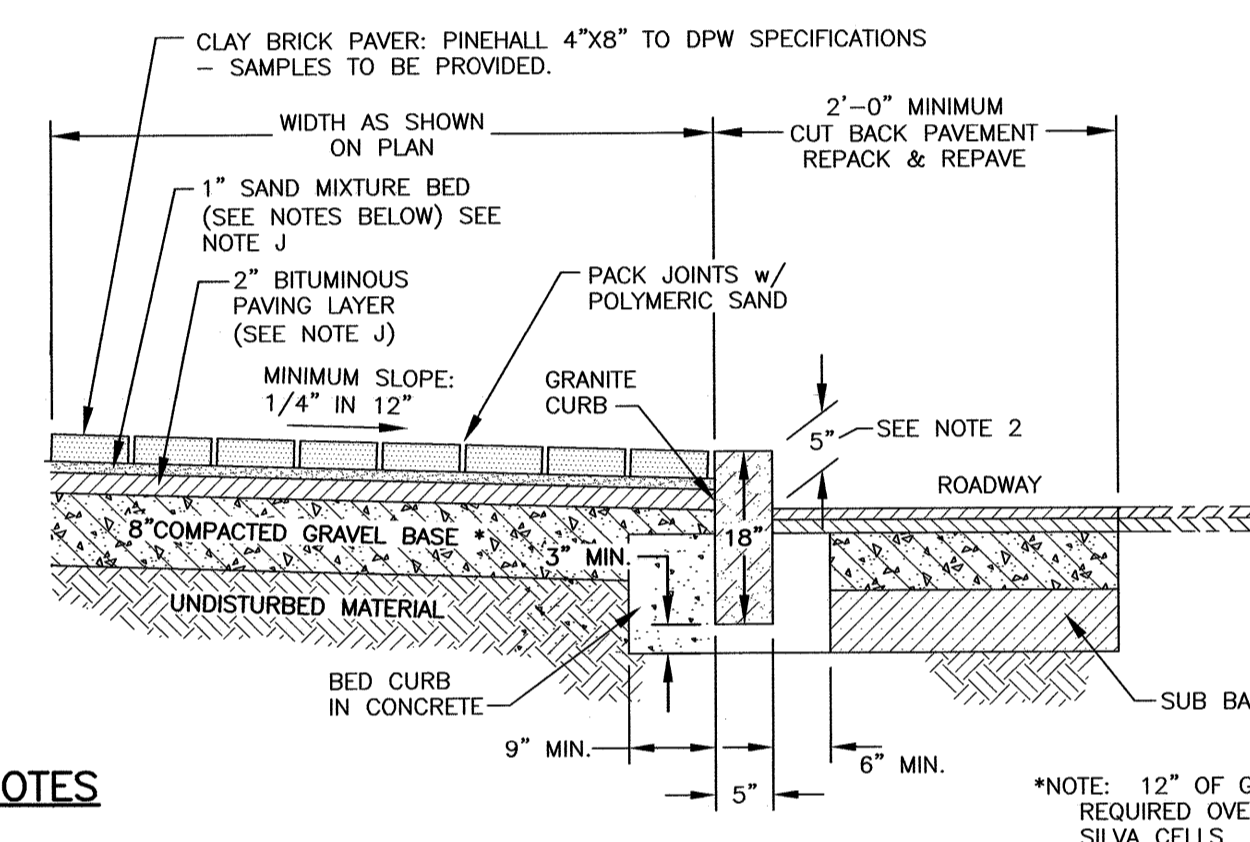
NOTES:
1) ALL CONDUIT TO BE U.L. LISTED, SCH. 80 UNDER ALL TRAVEL WAYS, & SCHED. 40 FOR THE REMAINDER.
2) NORMAL CONDUIT SIZES FOR PSNH ARE 3 INCH FOR SINGLE PHASE PRIMARY AND SECONDARY VOLTAGE CABLES, 4 INCH FOR THREE PHASE SECONDARY, AND 5 INCH FOR THREE PHASE PRIMARY.
3) ALL WORK TO CONFORM TO THE NATIONAL ELECTRICAL CODE (LATEST REVISION)
4) INSTALL A 200# PULL ROPE FOR EACH CONDUIT
5) VERIFY ALL CONDUIT SPECIFICATIONS WITH UTILITY COMPANY'S PRIOR TO ANY CONSTRUCTION.

H BURIED ELEC/COMM CABLE
C3 NTS



I STONE DRIP APRON
C4 (UNDER BUILDING DRIP LINE) NTS

CONSTRUCTION NOTE:
EXISTING GRANITE CURB DISTURBED BY CONSTRUCTION SHALL BE REUSED AND ANY MISSING CURB SHALL BE REPLACED WITH NEW CURB MATCHING EXISTING CURB SIZE. NO CURB LESS THAN 3' IN LENGTH WILL BE ALLOWED.



BRICK PAVEMENT NOTES

SCOPE OF WORK:

- 1) THE WORK SHALL CONSIST OF CONSTRUCTING/RECONSTRUCTING THE SUB-BASE AND CONSTRUCTING A NEW BRICK SIDEWALK AS DIRECTED IN THE FIELD BY THE ENGINEER.
- 2) REVEAL SHALL BE 5" (COORDINATE WITH PORTSMOUTH DPW).

METHODS OF CONSTRUCTION:

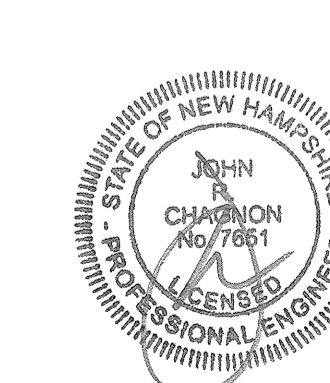
- A) ALL LABOR AND MATERIALS SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 608, AND CITY OF PORTSMOUTH SPECIFICATIONS FOR NEW BRICK SIDEWALK, SECTION 6.
- B) ALL BRICKS SHALL CONFORM TO THE REQUIREMENTS OF ASTM STANDARD SPECIFICATIONS FOR BUILDING BRICKS: CLASS SX, TYPE 1, APPLICATION PX. THE BRICKS SHALL BE NO. 1, WIRE CUT TYPE FOR PAVING, WITH A COMPRESSIVE STRENGTH OF NOT LESS THAN 6,000 POUNDS PER SQUARE INCH. THE BRICKS SHALL NOT BE CORED OR HAVE FROGS AND SHALL BE OF A STANDARD SIZE (2.25" X 4 X 8").
- C) EXCAVATION FOR SIDEWALKS SHALL BE AT A DEPTH OF 10 INCHES BELOW FINISH GRADE. IN AREAS NOT BUTTING CURBING OR BUILDINGS, THE EXCAVATION SHALL BE 6 INCHES WIDER THAN THE FINISHED SIDEWALK WIDTH. AT ALL DRIVE CROSSINGS, THE DEPTH OF EXCAVATION SHALL BE INCREASED ACCORDINGLY. THE CONTRACTOR SHALL PROVIDE NEAT AND SQUARE CUTTING OF EXISTING ASPHALT ROAD SURFACE AS NEEDED. ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT THE CONTRACTOR'S OWN EXPENSE.
- D) THE BASE MATERIAL SHALL CONSIST OF A MIXTURE OF STONES OR ROCK FRAGMENTS AND PARTICLES WITH 100% PASSING THE 3 INCH SIEVE, 95% TO 100% PASSING THE 2 INCH SIEVE, 55% TO 85% PASSING THE 1 INCH SIEVE, AND 27% TO 52% PASSING THE NO. 4 SIEVE. AT LEAST 50% OF THE MATERIALS RETAINED ON THE 1 INCH SIEVE SHALL HAVE A FRACTURED FACE. THE BASE MATERIAL SHALL BE THOROUGHLY COMPACTED TO THE DEPTH SPECIFIED OR DIRECTED. IN THE WAY OF ALL DRIVE CROSSINGS THE BASE WILL BE INCREASED TO A COMPACTED DEPTH OF 12 INCHES. ALL CURB REQUIREMENTS FOR RECONSTRUCTION WILL BE AS DIRECTED, BASED ON SITE CONDITIONS. THE WORK INCLUDES BACKING UP ANY AND ALL CURB BEING INSTALLED BY OTHERS ON BOTH SIDES.
- E) THE CLAY BRICK PAVERS SHALL BE LAID IN A 1 INCH BED OF A SAND MIXTURE COMPRISED OF: 3 PARTS SAND MIXED WITH 1 PART PORTLAND CEMENT.
- F) THE CONTRACTOR SHALL LAY THE BRICKS SO THAT APPROXIMATELY 5.2 BRICKS SHALL COVER ONE SQUARE FOOT.
- G) THE SIDEWALK SHALL PITCH TOWARDS THE STREET AS SHOWN ON THE GRADING PLAN.
- H) IN AREAS WHERE THE FRONT OF THE BRICK SIDEWALK IS NOT ADJACENT TO GRANITE CURBING, THE CONTRACTOR SHALL INSTALL EDGING TO HOLD THE BRICKS IN PLACE. SUCH EDGING SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- I) THE CONTRACTOR SHALL SUBMIT A SAMPLE OF THE BRICKS FOR APPROVAL BY THE CITY BEFORE BRICKS ARE INSTALLED.
- J) 2" BITUMINOUS PAVING LAYER MAY BE SUBSTITUTED WITH 2" COMPACTED GRAVEL ON SITE AREAS THAT ARE PRIVATE PROPERTY.

J BRICK SIDEWALK w/ VERTICAL GRANITE CURB
C2 (STONE DUST BEDDING OVER BITUMINOUS PAVING) NTS

THE WARNER HOUSE ASSOCIATION
150 DANIEL STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR APPROVAL	7/19/21

REVISIONS



SCALE: AS NOTED MAY 2021

DETAILS

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