

PLAN REFERENCES:

- 1.) "BOUNDARY LINE ADJUSTMENT; FOR; MICHAEL & DIANE REGAN; MAPLEWOOD AVENUE; PORTSMOUTH, N.H." BY: EMERY ENGINEERING DATED: SEPTEMBER, 1997 R.C.R.D. PLAN C-27772
- 2.) "BOUNDARY LINE ADJUSTMENT; FOR; REGAN ELECTRIC CO, INC.; DEARBORN STREET; PORTSMOUTH, N.H." BY: EMERY ENGINEERING DATED: NOVEMBER 22, 1994 NOT RECORDED ON FILE AT THIS OFFICE

N/F CARON, JEFFREY & RONDA
325 THAXTER ROAD
PORTSMOUTH, NH 03801
TAX MAP 141, LOT 37
R.C.R.D. BOOK 5504, PAGE 2295

N/F JOSEPH W. NELSON REV. TRUST
259 MAPLEWOOD AVE.
PORTSMOUTH, NH 03801
TAX MAP 123, LOT 8
R.C.R.D. BOOK 5812, PAGE 1789

N/F McNALLY, JOAN
276 MAPLEWOOD AVE.
PORTSMOUTH, NH 03801
TAX MAP 140, LOT 6
R.C.R.D. BOOK 3020, PAGE 1116

N/F WARD, JERMEY
21 DEARBORN STREET
PORTSMOUTH, NH 03801
TAX MAP 140, LOT 5
R.C.R.D. BOOK 5278, PAGE 2572

N/F STASUK, MICHAEL
31 DEARBORN STREET
PORTSMOUTH, N.H.
TAX MAP 140, LOT 4
R.C.R.D. BOOK 4864, PAGE 1731

N/F STASUK, MICHAEL
31 DEARBORN STREET
PORTSMOUTH, N.H.
TAX MAP 140, LOT 2
R.C.R.D. BOOK 3301, PAGE 2766

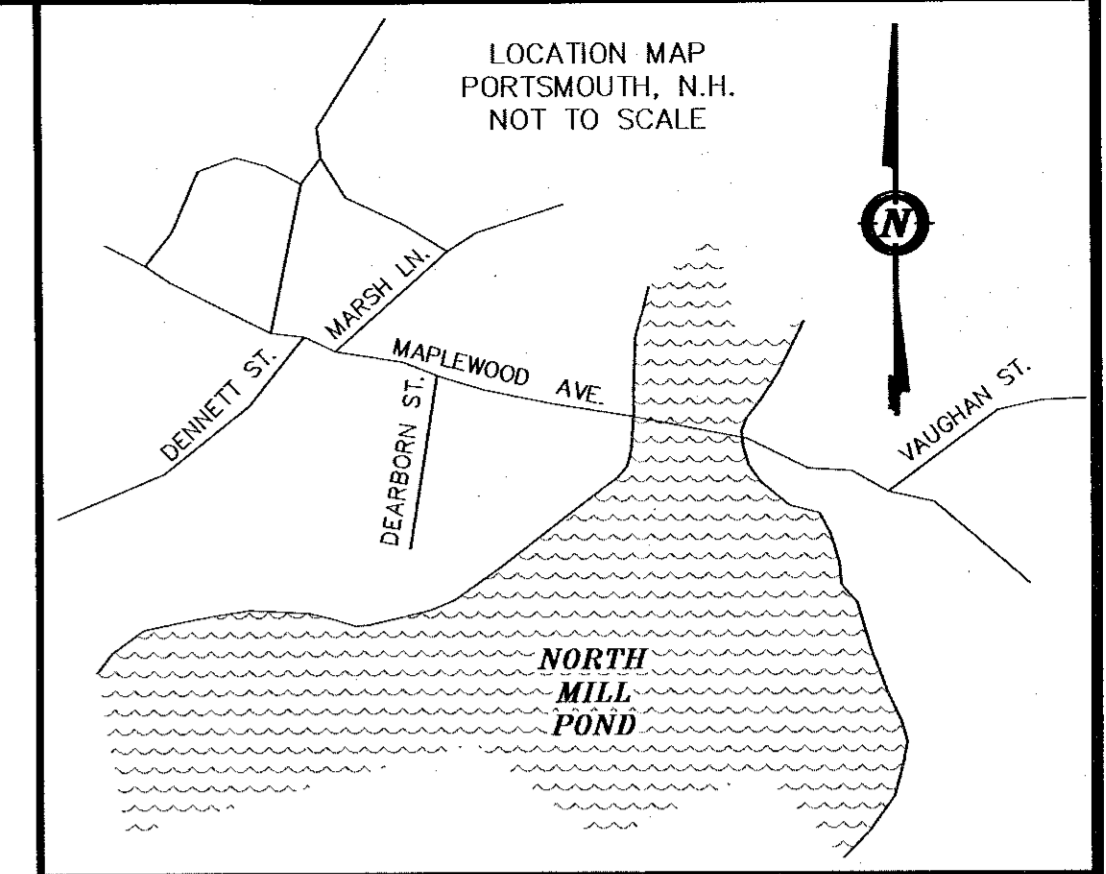
N/F REGAN ELECTRIC CO., INC.
94 LANGDON STREET
PORTSMOUTH, NH 03801
TAX MAP 123, LOT 4
EXISTING LOT AREA
13,129 sq.ft.
0.30 acres
PROPOSED LOT AREA
14,258 sq.ft.
0.33 acres

N/F MBRT ENTERPRISES LLC
10 NORDIC LANE
ROLLINSFORD, NH 03869
TAX MAP 123, LOT 1
R.C.R.D. BOOK 4878, PAGE 2539

AREA TO BE TRANSFERRED FROM MAP 140, LOT 1 TO MAP 123, LOT 4
1,129 sq.ft.
0.03 acres

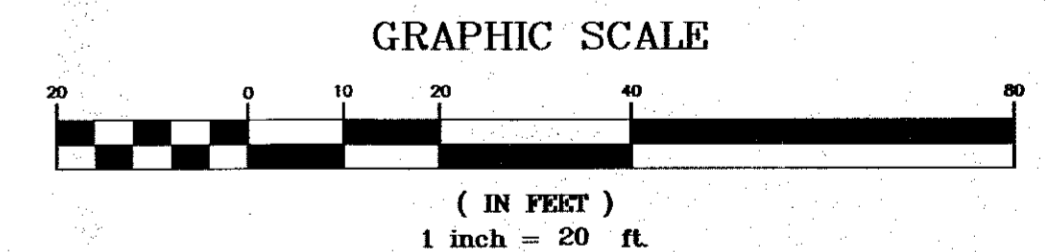
LEGEND:

- IRON BOUND (TO BE SET)
- IRON PIPE (FND)
- IRON BOUND/REBAR (FND)
- UTILITY POLE
- TO BE ABANDONED (T.B.A.)
- TREE
- PROPOSED BOUNDARY LINE
- BOUNDARY LINE (T.B.A.)
- EXISTING PAVEMENT LINE
- EXISTING PERIMETER BOUNDARY
- SURVEY TIE LINE
- TOP OF BANK



NOTES:

- 1.) OWNER: BRIAN & SUSAN REGAN
30 DEARBORN STREET
PORTSMOUTH, NH 03801
a. TAX MAP 140, LOT 1
b. EXISTING LOT AREA: 14,311 Sq.Ft., 0.33 Ac.
PROPOSED LOT AREA TAX MAP 140, LOT 1: 6,750 SQ.FT., 0.15 AC.
PROPOSED LOT AREA TAX MAP 140, LOT 1-1: 6,432 SQ.FT., 0.15 AC.
c. R.C.R.D. BOOK 3078, PAGE 1603
- 2.) OWNER: REGAN ELECTRIC CO., INC.
94 LANGDON STREET
PORTSMOUTH, NH 03801
A. TAX MAP 123, LOT 4
B. EXISTING LOT AREA: 13,129 SQ.FT., 0.30 AC.
PROPOSED LOT AREA: 14,258 SQ.FT., 0.33 AC.
C. R.C.R.D. BOOK 2227, PAGE 1517
- 3.) ZONING: GENERAL RESIDENCE "A" W/HISTORIC DISTRICT OVERLAY
MINIMUM FRONTAGE: 100'
MINIMUM LOT SIZE: 7,500 Sq.Ft./DWELLING UNIT
SETBACKS:
FRONT: 15'
SIDE: 10'
REAR: 20'
MINIMUM OPEN SPACE: 30%
BUILDING COVERAGE: 25%
- 4.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, A PORTION OF THIS PARCEL DOES FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY #330139, MAP# - 33015C0259E, DATED MAY 17, 2005.
- 5.) PROPERTY LINE INFORMATION WAS DETERMINED USING A TRAVERSE PERFORMED BY THIS OFFICE IN MARCH, 2010.
- 6.) VERTICAL DATUM IS BASED ON NGVD29 ELEVATION.
- 7.) THE PORTSMOUTH ZONING BOARD HAS GRANTED A VARIACE TO ALLOW THE ACTIONS ON THIS PLAN.
- 8.) THESE LOTS ARE SERVICED BY MUNICIPAL WATER AND SEWER.



RECEIVED		
OCT 19 2018		
BY: _____		
REVISION	DATE	DESCRIPTION
SUBDIVISION & LOT LINE REVISION LAND OF BRIAN & SUSAN REGAN & REGAN ELECTRIC DEARBORN STREET PORTSMOUTH, N.H. TAX MAP 140, LOT 1 & TAX MAP 123, LOT 4		
BERRY SURVEYING & ENGINEERING		SCALE : 1 IN. EQUALS 20 FT. DATE : OCTOBER 18, 2018 FILE NO. : DB 2010 - 059
335 SECOND CROWN POINT RD. BARRINGTON, N.H. 332-2863		
SIGNATURE		
DATE		

PLAN INTENT:

THE INTENT OF THIS PLAN IS TO REVISE THE BOUNDARY LINES OF TAX MAP 140, LOT 1 AND TAX MAP 123, LOT 4 BY TRANSFERRING 1,129 SQ.FT. OF LAND FROM LOT 1 TO LOT 4. THIS IS ALSO A SUBDIVISION PLAN WHICH WILL SUBDIVIDE LOT 1 INTO TWO LOTS SHOWN AS TAX MAP 140, LOT 1 & TAX MAP 140, LOT 1-1

I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE CITY OF PORTSMOUTH. - 1:10,000 -
10-18-18
KENNETH A. BERRY LLS 805 DATE

PORTSMOUTH
APPROVED
PLANNING BOARD

SIGNATURE

TITLE

DATE

PLAN REFERENCES:

1.) "BOUNDARY LINE ADJUSTMENT; FOR: MICHAEL & DIANE REGAN; MAPLEWOOD AVENUE, PORTSMOUTH, N.H." BY: EMERY ENGINEERING DATED: SEPTEMBER, 1997 R.C.R.D. PLAN C-27772

2.) "BOUNDARY LINE ADJUSTMENT; FOR: REGAN ELECTRIC CO, INC.; DEARBORN STREET, PORTSMOUTH, N.H." BY: EMERY ENGINEERING DATED: NOVEMBER 22, 1994 NOT RECORDED ON FILE AT THIS OFFICE

SOIL DATA:

799 ~ URBAN LAND-CANTON COMPLEX, 3-15% SLOPES

SEE USDA/ NRCS WEBSOIL SURVEY

N/F CARON, JEFFREY & RONDA
325 THAXTER ROAD
PORTSMOUTH, NH 03801
TAX MAP 141, LOT 37
R.C.R.D. BOOK 5504, PAGE 2295

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N/F McNALLY, JOAN
276 MAPLE WOOD AVE.
PORTSMOUTH, NH 03801
TAX MAP 140, LOT 6
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N/F MARD, JERMEY
21 DEARBORN STREET
PORTSMOUTH, NH 03801
TAX MAP 140, LOT 5
R.C.R.D. BOOK 5278, PAGE 2572

N/F BMT ENT.
10 NORDIC LANE
ROLLINSFORD, NH 03869
TAX MAP 123, LOT 2
R.C.R.D. BOOK 3818, PAGE 1939

N/F REGAN ELCTRIC CO., INC.
94 LANGDON STREET
PORTSMOUTH, NH 03801
TAX MAP 123, LOT 4
EXISTING LOT AREA
13,129 Sq. Ft.
0.30 Ac.
PROPOSED LOT AREA
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N/F STASIUK, MICHAEL
31 DEARBORN STREET
PORTSMOUTH, N.H.
TAX MAP 140, LOT 4
R.C.R.D. BOOK 4864, PAGE 1731

N/F STASIUK, MICHAEL
31 DEARBORN STREET
PORTSMOUTH, N.H.
TAX MAP 140, LOT 2
R.C.R.D. BOOK 3301, PAGE 2766

N/F CHRISTOPHER BLAKE CURWEN
MICHEL A. KUSHNER
22 DEARBORN STREET
PORTSMOUTH, NH 03801
TAX MAP 123, LOT 5
R.C.R.D. BOOK 5461, PAGE 2579

TAX MAP 140, LOT 1-1
6,432 Sq. Ft.
0.15 Ac.

TAX MAP 140, LOT 1
6,750 Sq. Ft.
0.16 Ac.

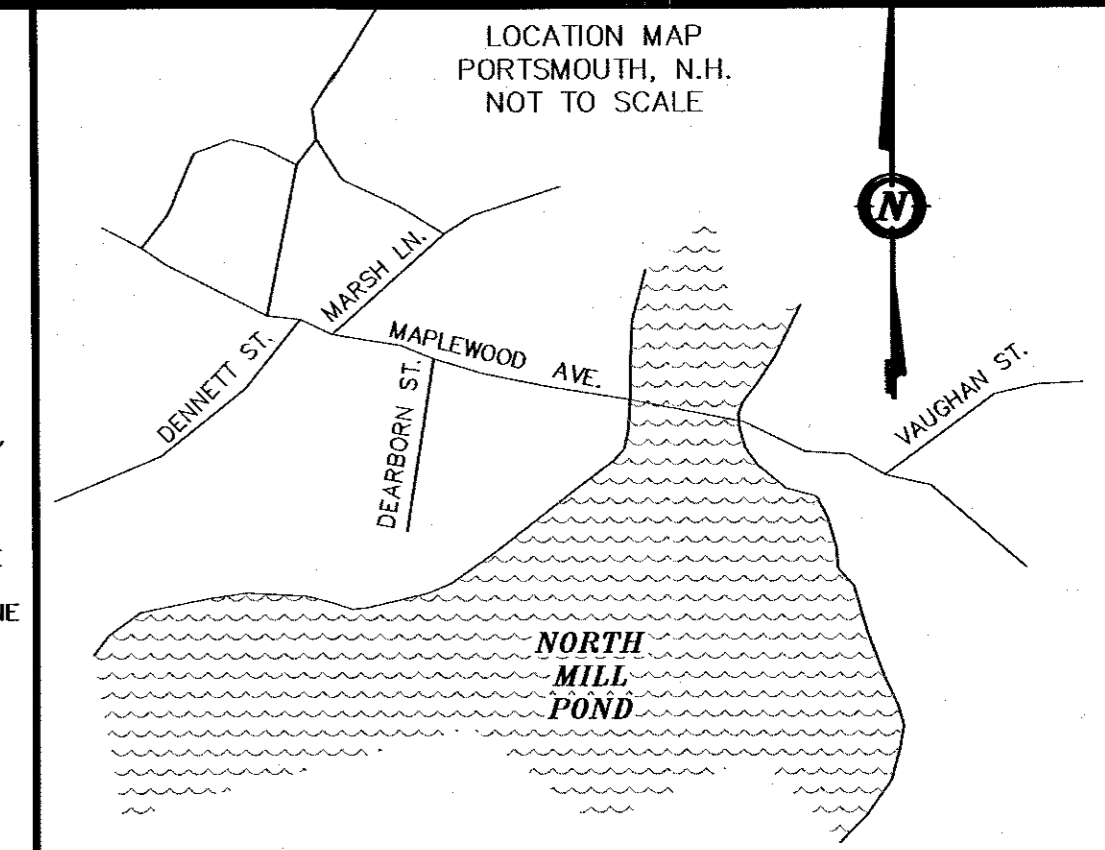
LEGEND:

- IRON BOUND (TO BE SET)
- IRON PIPE (FND)
- IRON BOUND/REBAR (FND)
- UTILITY POLE

TO BE ABANDONED (T.B.A.)

- TREE

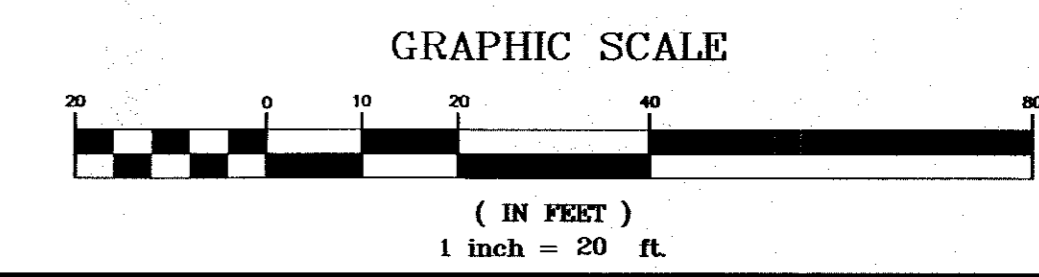
- PROPOSED BOUNDARY LINE
- BOUNDARY LINE (T.B.A.)
- EXISTING PAVEMENT LINE
- EXISTING PERIMETER BOUNDARY
- SURVEY TIE LINE
- TOP OF BANK
- EXISTING MINOR CONTOUR LINE
- EXISTING MAJOR CONTOUR LINE
- EXISTING WATER LINE
- EXISTING OVERHEAD UTILITY LINE



NOTES:

- 1.) OWNER: BRIAN & SUSAN REGAN
30 DEARBORN STREET
PORTSMOUTH, NH 03801
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 - b. EXISTING LOT AREA: 14,311 Sq. Ft., 0.33 Ac.
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 - c. R.C.R.D. BOOK 3078, PAGE 1603
- 2.) OWNER: REGAN ELECTRIC CO., INC.
94 LANGDON STREET
PORTSMOUTH, NH 03801
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- 3.) ZONING: GENERAL RESIDENCE "A" W/HISTORIC DISTRICT OVERLAY
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MINIMUM LOT SIZE: 7,500 Sq. Ft./DWELLING UNIT
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- 7.) THE PORTSMOUTH ZONING BOARD HAS GRANTED A VARIACE TO ALLOW THE ACTIONS ON THIS PLAN.
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AREA TO BE TRANSFERRED FROM MAP 140, LOT 1 TO MAP 123, LOT 4
1,129 Sq. Ft.
0.03 Ac.



PORTSMOUTH
APPROVED
PLANNING BOARD

SIGNATURE

TITLE

DATE

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I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE CITY OF PORTSMOUTH. - 1:10,000 -

Kenneth A. Berry 10-18-18
KENNETH A. BERRY ILS 805 DATE

REVISION	DATE	DESCRIPTION
		SUBDIVISION & LOT LINE REVISION (TOPOGRAPHY) LAND OF BRIAN & SUSAN REGAN & REGAN ELECTRIC DEARBORN STREET PORTSMOUTH, N.H. TAX MAP 140, LOT 1 & TAX MAP 123, LOT 4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT RD.
BARRINGTON, N.H. 332-2863

SCALE : 1 IN. EQUALS 20 FT.
DATE : OCTOBER 18, 2018
FILE NO. : DB 2010 - 059

**CITY OF PORTSMOUTH
NEW HAMPSHIRE**



**SUBDIVISION
APPLICATION FOR
LOT LINE REVISION**

Property #1 140 Lot 1 Zone GRA Wetlands: Inland _____ Coastal X Lot Area 14311 sq ft.
 Property #2 123 Lot 4 Zone GRA Wetlands: Inland _____ Coastal X Lot Area 13129'

Date of Approvals (Indicate if Pending)

Conservation Commission _____ Conditional Use _____ Board of Adjustment _____
 Historic District Commission _____ Subdivision _____ Other _____

Street Address Property #1 28-30 Dearborn St. Portsmouth
 Street Address Property #2 6 Dearborn St. Portsmouth 2
 Number of total existing lots 2 Number of total proposed lots 140-1 13152 sq ft
 Lot area of existing lot(s) 140-1 14311 sq ft Lot area of proposed lots 123-4 13950 sq ft

Property #1 Owner's Name Brian Regan and Susan Regan Print Information Below
 Street Address 28-30 Dearborn St City/Town Portsmouth State NH Zip 0380
603-436-1196 (Susan) 603-436-5360 (Brian)
 Telephone # _____ Cell Phone # _____ Fax # _____ Email Address _____

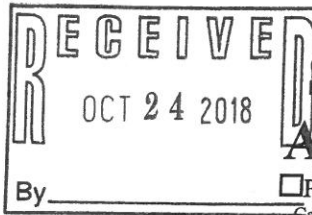
Property #2 Owner's Name Regan Electric Co. Inc Print Information Below
 Street Address 6 Dearborn St. City/Town Portsmouth State NH Zip 0380
603-436-9015
 Telephone # _____ Cell Phone # _____ Fax # _____ Email Address _____

Print Information Below
 Check One: Attorney for Owner _____ Attorney for Applicant _____ Engineer _____ Surveyor _____ Other _____ If other state relationship _____
Representative's Name John P. McBee Jr for Brian Regan + Regan Electric
 Street Address 222 Court St City/Town Portsmouth State NH Zip 0380
603-436-5360 N/A N/A Off: 1024 Hymnandmcbec.com
 Telephone # _____ Cell Phone # _____ Fax # _____ Email Address _____
Susan M. Regan Susan M. Regan 10/24/2018

Property Owner #1 Signature [Signature] Print Owner's Name Brian Regan John P. McBee Jr for Brian Regan Date 10/23/18
 Property Owner #2 Signature [Signature] Print Owner's Name Regan Electric Co. Inc John P. McBee Jr for Regan Electric Date 10/23/18
 Representative's Name _____ Print Representative's Name _____ Date _____

Note - This application, together with twelve (12) stamped and folded copies of the subdivision plan, the application fee, and any required State or Federal Permits and/or copies of Applications must be filed with the Planning Department. Refer to Subdivision Rules and Regulations, Section VII for digital submission requirements. The signed mylar will be held by the Planning Department for filing at the Registry of Deeds. A Memo from the Planning Department is submitted to the Planning Board prior to the meeting explaining your request. A copy can be obtained from the Planning Department.

CITY OF PORTSMOUTH NEW HAMPSHIRE



SUBDIVISION APPLICATION

By _____ Preliminary Final
Case Number _____

Map 140 Lot 1 Zone GRA Wetlands: Inland _____ Coastal X Lot Area 14,311 sq ft
Property Location 28-30 Dearborn St. Portsmouth, NH

Date of Approvals (Indicate if Pending)

Conservation Commission _____ Conditional Use _____ Board of Adjustment _____
Historic District Commission _____ Subdivision _____ Other _____

Number of total existing lots 1 Number of total proposed lots 2
Lot area of existing lot(s) 14,311 sq ft Lot area of proposed lots 140-1 6750 sq ft
140-77 6432 sq ft

Print Information Below

Property Owner's Name Brian Regan & Susan Regan
Street Address 28-30 Dearborn St. City/Town Portsmouth State NH Zip 03801
603-430-1196 (Susan) 603-436-5360 (for Brian)
Telephone # _____ Cell Phone # _____ Fax # _____ Email Address _____

Print Information Below

Applicant's / Developer's Name _____
Street Address _____ City/Town _____ State _____ Zip _____
Telephone # _____ Cell Phone # _____ Fax # _____ Email Address _____

Print Information Below

Check One: Owner's Attorney Applicant's Attorney Engineer Surveyor Other If other, state relationship _____
Representative's Name John P. McGee Jr for Brian Regan
Street Address 222 Court St. City/Town Portsmouth State NH Zip 03801
603-436-5360 N/A N/A epirealty@nandmeger.com
Telephone # _____ Cell Phone # _____ Fax # _____ Email Address _____

Susan M. Regan Susan M. Regan 10/24/2018
Owner's Signature _____ Print Owner's Name _____ Date _____

[Signature] John P. McGee Jr for Brian Regan 10/23/18
Applicant's/Developer's Signature _____ Print Applicant's/Developer's Name _____ Date _____
John P. McGee Jr for Brian Regan Brian Regan
Representative's Name _____ Print Representative's Name _____ Date _____

Note - This application, together with twelve (12) stamped and folded copies of the subdivision plan, the application fee, and any required State or Federal Permits and/or copies of Applications must be filed with the Planning Department. The signed mylar will be held by the Planning Department for filing at the Registry of Deeds. A Memo from the Planning Department is submitted to the Planning Board prior to the meeting explaining your request. A copy can be obtained from the Planning Department. Refer to Subdivision Rules and Regulations, Section VII for digital submission requirements.



City of Portsmouth, New Hampshire

Subdivision Application Checklist

RECEIVE
 OCT 24 2018
 By _____

This subdivision application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all subdivision review requirements. Please refer to the Subdivision review regulations for full details.

Applicant Responsibilities (Section III.C): Applicable fees are due upon application submittal along with required number of copies of the Preliminary or final plat and supporting documents and studies. Please consult with Planning staff for submittal requirements. ²³

Owner: Brian & Susan Regan / Regan Electric Co. inc. Date Submitted: 10-~~18~~-18

Applicant: Attorney Jack McGee

Phone Number: 603-436-5360 E-mail: office @flynnandmcgee.com

Site Address 1: 28-30 Dearborn Street Map: 140 Lot: 4

Site Address 2: 6 Dearborn Street Map: 123 Lot: 4

Application Requirements			
<input type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Completed Application form. (III.C.2-3)		N/A
<input checked="" type="checkbox"/>	All application documents, plans, supporting documentation and other materials provided in digital Portable Document Format (PDF) on compact disc, DVD or flash drive. (III.C.4)		N/A

Requirements for Preliminary/Final Plat				
<input type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Required for Preliminary / Final Plat	Waiver Requested
<input checked="" type="checkbox"/>	Name and address of record owner, any option holders, descriptive name of subdivision, engineer and/or surveyor or name of person who prepared the plat. (Section IV.1/V.1)	Sheets 1 and 2, Notes 1 & 2 and Title Block	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	N/A

Requirements for Preliminary/Final Plat				
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Required for Preliminary / Final Plat	Waiver Requested
<input checked="" type="checkbox"/>	<p>Preliminary Plat Names and addresses of all adjoining property owners. (Section IV.2)</p> <p>Final Plat Names and addresses of all abutting property owners, locations of buildings within one hundred (100) feet of the parcel, and any new house numbers within the subdivision. (Section V.2)</p>	Sheet 1	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	N/A
<input checked="" type="checkbox"/>	North point, date, and bar scale. (Section IV.3/V3)	Required on all Plan Sheets	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	N/A
<input checked="" type="checkbox"/>	Zoning classification and minimum yard dimensions required. (Section IV.4/V.4)	Sheet 1	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	N/A
<input checked="" type="checkbox"/>	<p>Preliminary Plat Scale (not to be smaller than one hundred (100) feet = 1 inch) and location map (at a scale of 1" = 1000'). (Section IV.5)</p> <p>Final Plat Scale (not to be smaller than 1"=100'), Location map (at a scale of 1"=1,000') showing the property being subdivided and its relation to the surrounding area within a radius of 2,000 feet. Said location map shall delineate all streets and other major physical features that may either affect or be affected by the proposed development. (Section V.5)</p>	Sheet 1	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	N/A
<input checked="" type="checkbox"/>	Location and approximate dimensions of all existing and proposed property lines including the entire area proposed to be subdivided, the areas of proposed lots, and any adjacent parcels in the same ownership. (Section IV.6)	Sheet 1	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	
<input checked="" type="checkbox"/>	Dimensions and areas of all lots and any and all property to be dedicated or reserved for schools, parks, playgrounds, or other public purpose. Dimensions shall include radii and length of all arcs and calculated bearing for all straight lines. (Section V.6/ IV.7)	Sheet 1	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	N/A
<input checked="" type="checkbox"/>	Location, names, and present widths of all adjacent streets, with a designation as to whether public or private and approximate location of existing utilities to be used. Curbs and sidewalks shall be shown. (Section IV.8/V.7)	Sheet 1	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	

Requirements for Preliminary/Final Plat				
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Required for Preliminary / Final Plat	Waiver Requested
<input checked="" type="checkbox"/>	Location of significant physical features, including bodies of water, watercourses, wetlands, railroads, important vegetation, stone walls and soils types that my influence the design of the subdivision. (Section IV.9/V.8)	Sheets 1 & 2	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	
<input checked="" type="checkbox"/>	Preliminary Plat Proposed locations, widths and other dimensions of all new streets and utilities, including water mains, storm and sanitary sewer mains, catch basins and culverts, street lights, fire hydrants, sewerage pump stations, etc. (Section IV.10) Final Plat Proposed locations and profiles of all proposed streets and utilities, including water mains, storm and sanitary sewer mains, catchbasins and culverts, together with typical cross sections. Profiles shall be drawn to a horizontal scale of 1"=50' and a vertical scale of 1"=5', showing existing centerline grade, existing left and right sideline grades, and proposed centerline grade. (Section V.9)	N/A	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	
<input checked="" type="checkbox"/>	When required by the Board, the plat shall be accompanied by profiles of proposed street grades, including extensions for a reasonable distance beyond the subject land; also grades and sizes of proposed utilities. (Section IV.10)	NA	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	
<input checked="" type="checkbox"/>	Base flood elevation (BFE) for subdivisions involving greater than five (5) acres or fifty (50) lots. (Section IV.11)	Sheet 1 & 2	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	
<input checked="" type="checkbox"/>	For subdivisions of five (5) lots or more, or at the discretion of the Board otherwise, the preliminary plat shall show contours at intervals no greater than two (2) feet. Contours shall be shown in dotted lines for existing natural surface and in solid lines for proposed final grade, together with the final grade elevations shown in figures at all lot corners. If existing grades are not to be changed, then the contours in these areas shall be solid lines. (Section IV.12/ V.12)	N/A	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	

Requirements for Preliminary/Final Plat				
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Required for Preliminary / Final Plat	Waiver Requested
<input checked="" type="checkbox"/>	Dates and permit numbers of all necessary permits from governmental agencies from which approval is required by Federal or State law. (Section V.10)	No Permits Required	<input type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	
<input checked="" type="checkbox"/>	For subdivisions involving greater than five (5) acres or fifty (50) lots, the final plat shall show hazard zones and shall include elevation data for flood hazard zones. (Section V.11)	N/A	<input type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	
<input checked="" type="checkbox"/>	Location of all permanent monuments. (Section V.12)	Sheet 1	<input type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	

General Requirements¹

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	1. Basic Requirements: (VI.1) a. Conformity to Official Plan or Map b. Hazards c. Relation to Topography d. Planned Unit Development		
<input type="checkbox"/>	2. Lots: (VI.2) a. Lot Arrangement b. Lot sizes c. Commercial and Industrial Lots		
<input type="checkbox"/>	3. Streets: (VI.3) a. Relation to adjoining Street System b. Street Rights-of-Way c. Access d. Parallel Service Roads e. Street Intersection Angles f. Merging Streets g. Street Deflections and Vertical Alignment h. Marginal Access Streets i. Cul-de-Sacs j. Rounding Street Corners k. Street Name Signs l. Street Names m. Block Lengths n. Block Widths o. Grade of Streets p. Grass Strips		
<input type="checkbox"/>	4. Curbing: (VI.4)		
<input type="checkbox"/>	5. Driveways: (VI.5)		
<input type="checkbox"/>	6. Drainage Improvements: (VI.6)		
<input type="checkbox"/>	7. Municipal Water Service: (VI.7)		
<input type="checkbox"/>	8. Municipal Sewer Service: (VI.8)		
<input type="checkbox"/>	9. Installation of Utilities: (VI.9) a. All Districts b. Indicator Tape		
<input type="checkbox"/>	10. On-Site Water Supply: (VI.10)		
<input type="checkbox"/>	11. On-Site Sewage Disposal Systems: (VI.11)		
<input type="checkbox"/>	12. Open Space: (VI.12) a. Natural Features b. Buffer Strips c. Parks d. Tree Planting		
<input type="checkbox"/>	13. Flood Hazard Areas: (VI.13) a. Permits b. Minimization of Flood Damage c. Elevation and Flood-Proofing Records d. Alteration of Watercourses		
<input type="checkbox"/>	14. Erosion and Sedimentation Control (VI.14)		

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	15. Easements (VI.15)		
<input type="checkbox"/>	a. Utilities		
<input type="checkbox"/>	b. Drainage		
<input type="checkbox"/>	16. Monuments: (VI.16)		
<input type="checkbox"/>	17. Benchmarks: (VI.17)		
<input type="checkbox"/>	18. House Numbers (VI.18)		

Design Standards			
	Required Items for Submittal	Indicate compliance and/or provide explanation as to alternative design	Waiver Requested
<input type="checkbox"/>	1. Streets have been designed according to the design standards required under Section (VII.1). a. Clearing b. Excavation c. Rough Grade and Preparation of Sub-Grade d. Base Course e. Street Paving f. Side Slopes g. Approval Specifications h. Curbing i. Sidewalks j. Inspection and Methods		
<input type="checkbox"/>	2. Storm water Sewers and Other Drainage Appurtenances have been designed according to the design standards required under Section (VII.2). a. Design b. Standards of Construction		
<input type="checkbox"/>	3. Sanitary Sewers have been designed according to the design standards required under Section (VII.3). a. Design b. Lift Stations c. Materials d. Construction Standards		
<input type="checkbox"/>	4. Water Mains and Fire Hydrants have been designed according to the design standards required under Section (VII.4). a. Connections to Lots b. Design and Construction c. Materials d. Notification Prior to Construction		

Owner:

Applicant's/Representative's Signature:

Susan Regan
for Owners Brian Regan
Regan Electric Co. Inc.

(John P. McGeer)

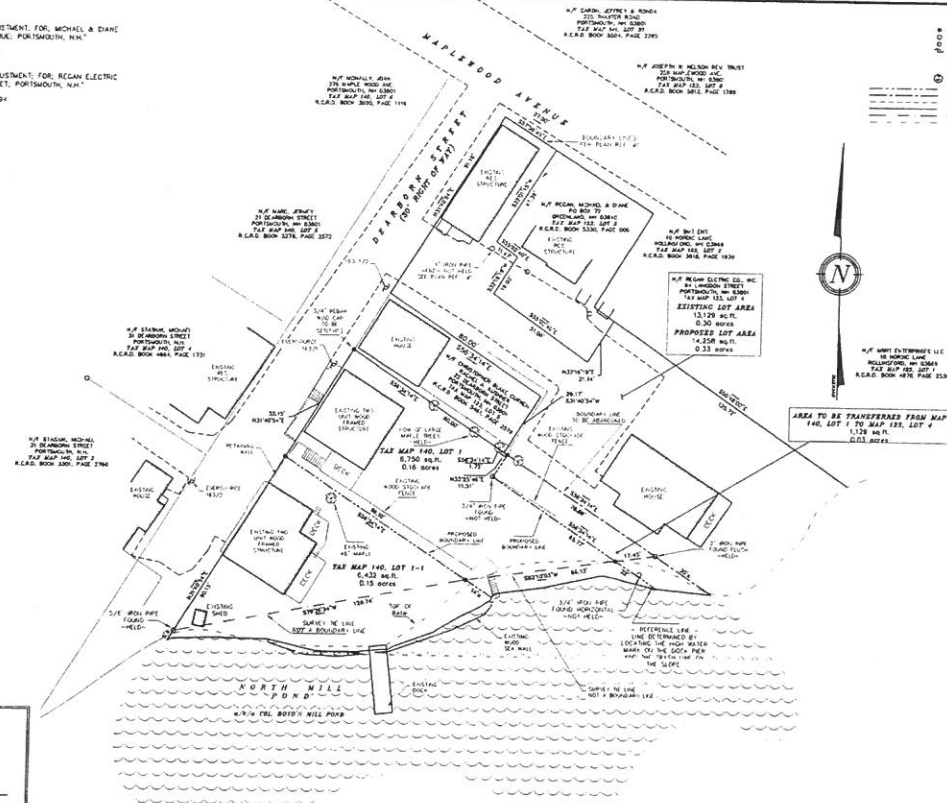
Date:

23
 10-18-18

¹ See City of Portsmouth, NH Subdivision Rules and Regulations for details.
 Subdivision Application Checklist/January 2018

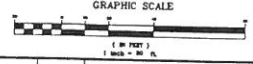
PLAN REFERENCES:

- 1) "BOUNDARY LINE ADJUSTMENT FOR MICHAEL & DIANE REGAN, MAPLEWOOD AVENUE, PORTSMOUTH, N.H." BY EMERY ENGINEERING DATED SEPTEMBER, 1987 R.C.R.D. PLAN C-27772
- 2) "BOUNDARY LINE ADJUSTMENT FOR REGAN ELECTRIC CO. INC., DEARBORN STREET, PORTSMOUTH, N.H." BY EMERY ENGINEERING DATED NOVEMBER 22, 1994 NOT RECORDED ON FILE AT THIS OFFICE



NOTES:

- OWNER: BRIAN & SUSAN REGAN
30 DEARBORN STREET
PORTSMOUTH, NH 03801
- TAX MAP 140, LOT 1
- EXISTING LOT AREA: 14,311 SQ.FT., 0.33 AC.
PROPOSED LOT AREA: TAX MAP 140, LOT 1: 8,750 SQ.FT., 0.15 AC.
PROPOSED LOT AREA: TAX MAP 140, LOT 1-1: 6,432 SQ.FT., 0.15 AC.
R.C.R.D. BOOK 3076, PAGE 1003
- OWNER: REGAN ELECTRIC CO. INC.
54 LINDSEY STREET
PORTSMOUTH, NH 03801
- TAX MAP 123, LOT 4
- EXISTING LOT AREA: 13,129 SQ.FT., 0.30 AC.
PROPOSED LOT AREA: 12,188 SQ.FT., 0.28 AC.
R.C.R.D. BOOK 2227, PAGE 1317
- ZONING: GENERAL RESIDENCE "A" W/ HISTORIC DISTRICT OVERLAY
MINIMUM FRONTAGE: 100'
MINIMUM LOT SIZE: 7,500 SQ.FT./DWELLING UNIT
SETBACKS:
FRONT: 15'
SIDE: 10'
REAR: 20'
MINIMUM OPEN SPACE: 30%
BUILDING COVERAGE: 25%
- HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE & BELIEF, A PORTION OF THIS PARCEL DOES FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF. FEMA COMMUNITY #330-39, MAP # 33015C0259C, DATED MAY 17, 2005.
- PROPERTY LINE INFORMATION WAS DETERMINED USING A TRAVERSE PERFORMED BY THIS OFFICE IN APRIL, 2018.
- VERTICAL DATUM IS BASED ON MGD895 ELEVATION.
- THE PORTSMOUTH ZONING BOARD HAS GRANTED A VARIANCE TO ALLOW THE ACTIONS ON THIS PLAN.
- THESE LOTS ARE SERVICED BY MUNICIPAL WATER AND SEWER.



REVISION	DATE	DESCRIPTION
SUBDIVISION & LOT LINE REVISION		
BRIAN & SUSAN REGAN & REGAN ELECTRIC		
DEARBORN STREET		
PORTSMOUTH, N.H.		
TAX MAP 140, LOT 1 & TAX MAP 123, LOT 4		

PORTSMOUTH
APPROVED
PLANNING BOARD

SIGNATURE _____

TITLE _____

DATE _____

PLAN INTENT:

THE INTENT OF THIS PLAN IS TO REVISE THE BOUNDARY LINES OF TAX MAP 140, LOT 1 AND TAX MAP 123, LOT 4 BY TRANSFERRING 1,529 SQ.FT. OF LAND FROM LOT 1 TO LOT 4. THIS IS ALSO A SUBDIVISION PLAN WHICH WILL SUBDIVIDE LOT 1 INTO TWO LOTS SHOWN AS TAX MAP 140, LOT 1 & TAX MAP 140, LOT 1-1

I CERTIFY THAT THIS PLAN EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE CITY OF PORTSMOUTH - 11-18-00 -

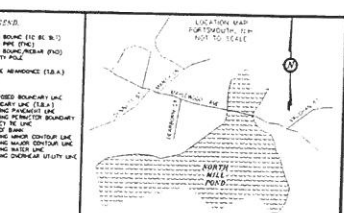
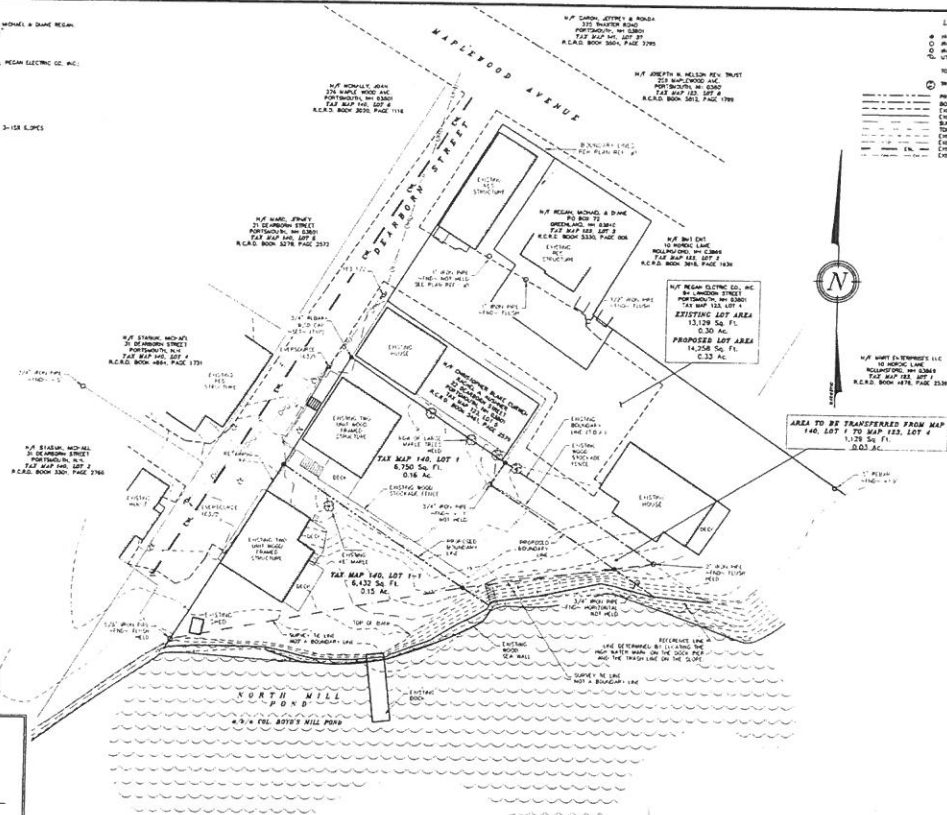
KENNETH A. BERRY L.S. REG. DATE: 10-18-18

BERRY SURVEYING & ENGINEERING
325 SECOND CROWN POINT RD.
BARRINGTON, N.H. 332-2863

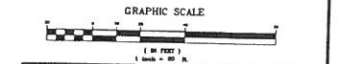
SCALE: 1 IN. EQUALS 20 FT.
DATE: OCTOBER 18, 2018
FILE NO.: DB 2010 - 059

PLAN REVISIONS

1) BOUNDARY LINE ADJUSTMENT FOR MOBILE & DANE REGAN
 2) BOUNDARY LINE ADJUSTMENT FOR DEARBORN STREET
 3) BOUNDARY LINE ADJUSTMENT FOR DEARBORN STREET
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 100) BOUNDARY LINE ADJUSTMENT FOR DEARBORN STREET



- 1) OWNER: BRIAN & SUSAN REGAN
 30 DEARBORN STREET
 PORTSMOUTH, NH 03801
- 2) OWNER: REGAN ELECTRIC CO. INC.
 84 LANSDOWN STREET
 PORTSMOUTH, NH 03801
- 3) ZONING: GENERAL RESIDENCE "A" HISTORIC DISTRICT OVERLAY
 MINIMUM FRONTAGE: 100'
 MINIMUM LOT SIZE: 7,500 SQ. FT./DWELLING UNIT
 FRONT: 15'
 REAR: 20'
 MINIMUM OPEN SPACE: 30%
 BUILDING COVERAGE: 25%
- 4) I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE & BELIEF A PORTION OF THIS PARCEL DOES FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF. FEMA COMMUNITY #33039, MAP# = 33015C0298, DATED MAY 11, 2005.
- 5) PROPERTY LINE INFORMATION WAS DETERMINED USING A TRAVELER PERFORMED BY THIS OFFICE IN MARCH 2010.
- 6) VERTICAL DATUM IS BASED ON MGD/2000 ELEVATION.
- 7) THE PORTSMOUTH ZONING BOARD HAS GRANTED A VARIANCE TO ALLOW THE ACTIONS ON THIS PLAN.
- 8) THESE LOTS ARE SERVED BY MUNICIPAL WATER AND SEWER.



REVISION	DATE	DESCRIPTION
		SUBDIVISION & LOT LINE REVISION (TOPOGRAPHY)
		LAND OF BRIAN & SUSAN REGAN & REGAN ELECTRIC DEARBORN STREET PORTSMOUTH, NH TAX MAP 140, LOT 1 & TAX MAP 123, LOT 4

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT RD.
 BARRINGTON, N.H. 0332-2863
 SCALE: 1 IN. EQUALS 20 FT.
 DATE: OCTOBER 18, 2018
 FILE NO.: DB 2010 - 058

PORTSMOUTH
 APPROVED
 PLANNING BOARD

SIGNATURE _____

TITLE _____

DATE _____

PLAN INTENT:
 THE INTENT OF THIS PLAN IS TO REVISE THE BOUNDARY LINES OF TAX MAP 140, LOT 1 AND TAX MAP 123, LOT 4 BY TRANSFERRING 1,179 SQ. FT. OF LAND FROM LOT 1 TO LOT 4. THIS IS ALSO A SUBDIVISION PLAN WHICH WILL SUBDIVIDE LOT 1 INTO TWO LOTS SHOWN AS TAX MAP 140, LOT 1 & TAX MAP 140, LOT 1-1

I CERTIFY THAT THIS PLAN EXCEEDS THE MINIMUM REQUIREMENTS FOR ACCURACY AND COMPLETENESS OF THE STATE OF NH AND OF THE CITY OF PORTSMOUTH - 1:10000 - 12-18-18
 KENNETH A. BERRY ULS 805 DATE