

III. NEW BUSINESS

- D. The request of **Shawn Bardong and Michiyo Bardong (Owner)**, for property located at **39 Dearborn Street** whereas relief is needed to demolish the existing shed and construct a two-story addition which requires the following: 1) Variance from Section 10.521 to allow a) 5 foot front yard where 15 feet is required; and b) 2 foot right side yard where 10 feet is required. 2) Variance from Section 10.321 to allow a nonconforming building or structure to be extended, reconstructed, or enlarged without conforming to the requirements of the Ordinance. Said property is located on Assessor Map 140 Lot 3 and lies within the General Residence A (GRA) and Historic District. (LU-23-5)

Existing & Proposed Conditions

	<u>Existing</u>	<u>Proposed</u>	<u>Permitted / Required</u>
<u>Land Use:</u>	Single-family	Expansion of livable space	Primarily residential
<u>Lot area (sq. ft.):</u>	11,236	11,236	7,500 min.
<u>Lot Area per Dwelling Unit (sq. ft.):</u>	11,236	11,236	7,500 min.
<u>Lot depth (ft.):</u>	60	60	70 min.
<u>Street Frontage (ft.)</u>	19	19	100 min.
<u>Primary Front Yard (ft.):</u>	5	5	15 min.
<u>Left Yard (ft.):</u>	114	114	10 min.
<u>Right Yard (ft.):</u>	2	2	10 min.
<u>Rear Yard (ft.):</u>	2	2	20 min.
<u>Height (ft.):</u>	22.5	24.5	35 max.
<u>Building Coverage (%):</u>	13	17.2	25 max.
<u>Open Space Coverage (%):</u>	>50	>50	30 min.
<u>Parking</u>	2	2	2
<u>Estimated Age of Structure:</u>	1700	Variance request(s) shown in red.	

Other Permits/Approvals Required

- Building Permit
- HDC

Neighborhood Context



0 25 50 100 Feet
1 inch = 58.4 feet

39 Dearborn Street



Previous Board of Adjustment Actions

August 26, 2008 – The Board **postponed** to September the request to construct a 7'10" by 13'9" shed which required the following relief:

- 1) 4'± left side yard setback where 10' was required; and
- 2) 65'± setback to salt water marsh or mean high water line where 100' was required.

September 16, 2008 – the above petition was **postponed** to October.

October 21, 2008 – The above petition was **amended** as follows and **postponed** to the November 18, 2008 meeting:

- 1) 5'± front setback where 15' was required was added

November 18, 2008 – The above petition was **withdrawn** by the applicant.

March 17, 2015 – The Board **postponed** the petition to construct a 100 s.f. shed in the front yard and an 8' x 13' single story addition, as well as adding shed dormers was to the April meeting.

April 21, 2015 – The Board **granted** variances for the above petition, with the shed reduced to 12' x 18'. Which required the following relief

- 1) a 5' front yard where 15' was required;

- 2) a 5' right side yard where 10' was required;
- 3) a 3' rear yard where 20' was required and
- 4) an accessory structure to be located in a required front yard.

The variances were **granted with stipulations** regarding the following:

- a) the dimensions, construction and uses of the granted accessory structure;
- b) no flood lights on the accessory structure;
- c) the creation of an approximate 2,018 s.f. View Easement Area with specified components, rules regarding trees and vegetation, and removal of a utility trailer; and
- d) the review of the Planning Department, prior to issuance of a building permit, of the final building and site plans and determination that the plans and elevations were in compliance with the stipulations.

August 27, 2019 – The Board voted to **granted** the following variance for the installation of a wall mounted outdoor AC condenser:

- 1) To allow a 2'6" right side setback where 10' is required.

February 22, 2023 – The Board **granted** the application for constructing a second story over the existing 1.5 story building, removing, and expanding the front porch, and removing and expanding the existing mudroom on the eastern side of the structure which requires the following:

- 1) Variance from Section 10.521 to allow
 - a) 2 foot rear yard where 20 feet is required
 - b) 9 foot side yard where 10 feet is required
- 2) Variance from Section 10.321 to allow the extension and enlargement of a non-conforming structure.

Planning Department Comments

The applicant is requesting relief to remove the existing accessory structure and construct an addition to the primary structure.

The applicant had previously obtained relief for this project in February however, after further review by the Historic District Commission, the applicant is now proposing a new design which requires different relief.

Variance Review Criteria

This application must meet all five of the statutory tests for a **variance** (see Section 10.233 of the Zoning Ordinance):

1. *Granting the variance would not be contrary to the public interest.*
2. *Granting the variance would observe the spirit of the Ordinance.*
3. *Granting the variance would do substantial justice.*
4. *Granting the variance would not diminish the values of surrounding properties.*
5. *The "unnecessary hardship" test:*
 - (a) *The property has special conditions that distinguish it from other properties in the area.*

AND

 - (b) *Owing to these special conditions, a fair and substantial relationship does not exist between the general public purposes of the Ordinance provision and the specific application of that provision to the property; and the proposed use is a reasonable one.*

OR

Owing to these special conditions, the property cannot be reasonably used in strict conformance with the Ordinance, and a variance is therefore necessary to enable a reasonable use of it.

10.235 Certain Representations Deemed Conditions

Representations made at public hearings or materials submitted to the Board by an applicant for a special exception or variance concerning features of proposed buildings, structures, parking or uses which are subject to regulations pursuant to Subsection 10.232 or 10.233 shall be deemed conditions upon such special exception or variance.

Portsmouth, NH - Board of Adjustment
Variance Statement for: 39 Dearborn Ext.

Date: 04.13.23

Chairman of the Board of Adjustment
C/O Planning Department City of Portsmouth
1 Junkins Ave.
Portsmouth, NH 03801

To The Chairman of the Board of Adjustment,

Please find this statement as addressing the requirements for a variance on the proposed project located at 39 Dearborn Ext.

Overview: The existing single-family structure was purchased by the current owners, Shawn and Michiyo Bardong as a home in our community with their three children. The renovated home will remain single-family with some much-needed additional square footage and upgrades to create a more functional home. The proposed renovation would include retaining the existing historic cape structure in existing condition, creating a glass connector between the existing historic structure and the addition for modern living that will house a family room and primary suite. We are proposing a small addition off the kitchen to house a mudroom entry that will be approached from the courtyard and parking area.

Per Section 10.233.21 – The variance will not be contrary to public interest. The house is very difficult to see from any public roadways. (I have included images for reference.) Only the direct neighbors can see the home and we will not be interrupting any views or sunlight to their structures.

Per Section 10.233.22 - The spirit of the Ordinance will be observed. With this addition / renovation we will be able to create a lovely courtyard with granite landing / steps between the driveway and house. This will finish a great deal of what has already been approved and bringing it to fruition.

Per Section 10.233.23 – Substantial Justice will be done. The existing home is already a non-conforming lot with the back setback 2'-6" and the right-side setback 2'-2". We will not be encroaching closer on any other property lines. No harm will be done to the neighborhood or community should this application be granted. We are in the process of securing an easement on the right side / back property line.

Per Section 10.233.24 - The values of the surrounding properties will not be diminished. The neighborhood is a lovely mix of historic homes, primarily colonials with additions. We have been through three HDC work sessions and they favored the connector solution to preserve the historic cape and create

separate structures for modern living that gives a nod to history and the neighboring structures.

Per Section 10.233.25 – Literal enforcement of the provisions of the ordinance would result in hardship.

- a. We are removing an existing shed / garage that currently stands 5' from the property line and while we are proposing the addition will move toward the water, we are staying as far away as possible and still provide functional living square footage. Additionally, we are also preserving a clear view of the historic cape with the glass connector. With the house already tucked into the top left corner of the property, there were very few options for the additions.
- b. The proposed ridge of the addition will be approx. 2' higher than the historic cape ridge. While considering mass and light on the property, we also acknowledge that the property itself sits approximately 4' lower than the abutters many of which are significantly taller than the proposed 22'-7" ridge line from their elevation advantage.
- c. The existing structure is not large enough for a family of five with both Shawn and Michiyo working from home. With the housing prices and lack of inventory in Portsmouth, they are willing to invest in the home and "love it back to life".

We encourage the Portsmouth Board of Adjustment to grant the variance to the Bardong Residence.

Submitted respectfully,

Amy Dutton
Amy Dutton Home
9 Walker Street
Kittery, Maine 03904
amy@amyduttonhome.com
207-337-2020

PHOTOS OF EXISTING PROPERTY:



FRONT VIEW



RIGHT SIDE VIEW



LEFT SIDE VIEW



BACK VIEW



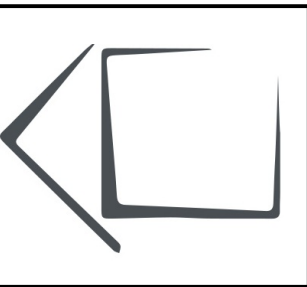
VIEW FROM DENNET STREET



VIEW FROM DEARBORN STREET



VIEW FROM MAPLEWOOD



Revision Table	Number	Date	Description

OVERVIEW

CLIENT:

BARBONG
39 DEARBORN EXT
PORTSMOUTH, NH

CONTACT:

ABRIGO HOME
PO BOX 1564
PORTSMOUTH, NH 03801
201.345.6050

DATE:

4/13/2023

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SCALED FOR:

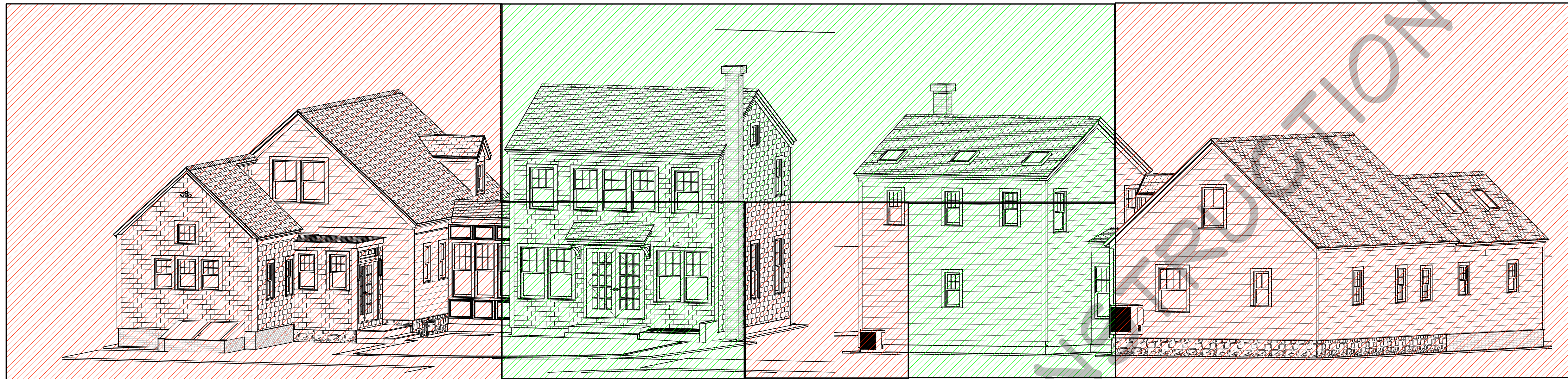
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

0-1



OVERVIEW

SCALE: NTS

SPECIFICATIONS + NOTES

*ROOFING MATERIAL: Asphalt Roof (to match existing roof over kitchen)
*ALL TRIM PACKAGE: PVC OR BORAL
*SIDING: Malbec cedar lap siding and shingles
*BRACKETS: ProWood Market - Bracket 02T9 - P 32", H:42", T: 5.5" (Ptd: WHITE)

*STAIR SYSTEM:
_EXTERIOR: Granite

*WINDOWS:
_MANUFACTURER: Marvin, Elevate
_EXT. FINISH: White
_INT. FINISH: White

*DOORS:
_MANUFACTURER: Broco - 4 Panel
_EXT. FINISH: White
_INT. FINISH: White

*BATHROOMS:
_FLOORING - Tile
_TUB DESIGN - Modern
_SHOWER FLOOR - Tile
_SHOWER WALLS - Tile
_SHOWER HEADS - Standard & Handheld
_SHOWER NICHE VS. SHELVES
_SHOWER DOOR - 1/2" glass lead-free
_NOTE: MAJOR PLUMBING CHANGES

*FLOORING:
_1ST FLOOR: PINE
_2ND FLOOR: PINE
_HEATED FLOOR: Primary Bath | Mudroom

*FIREPLACE:
_WOOD: stove
_HEARTH: FLUSH
*MATERIAL: Soapstone

NOTES:
*CEILING HEIGHTS: 1ST FLOOR: 8'4" | 2ND FLOOR: 12'
*CORNER BOARDS: 6" TYP
*RAKE BOARD: 8" TYP. PVC OR BORAL. (FILLED & PAINTED)
*SOFFIT - BEADBOARD AZEC
*ROOF VENT - RIDGE VENT
*ARCHITECTURAL DETAIL:
*WINDOW TRIM: 4-1/2" TYP. PVC

@ABRIGO HOME
DRAWINGS USED EXPRESSIVELY FOR
DESIGN ONLY FOR NOTED CLIENT. ALL
STRUCTURAL ENGINEERING PROVIDED BY
OTHER.

Building contractor / home owner to review and verify all
dimensions, specs and connections before construction
begins.
ELECTRICAL SYSTEM CODE: IEC 2017
MECHANICAL SYSTEM CODE: IMC 2015
PLUMBING SYSTEM CODE: 2021 Uniform Plumbing Code

FINAL CD SET DATE: 04.11.23

LIVING AREA

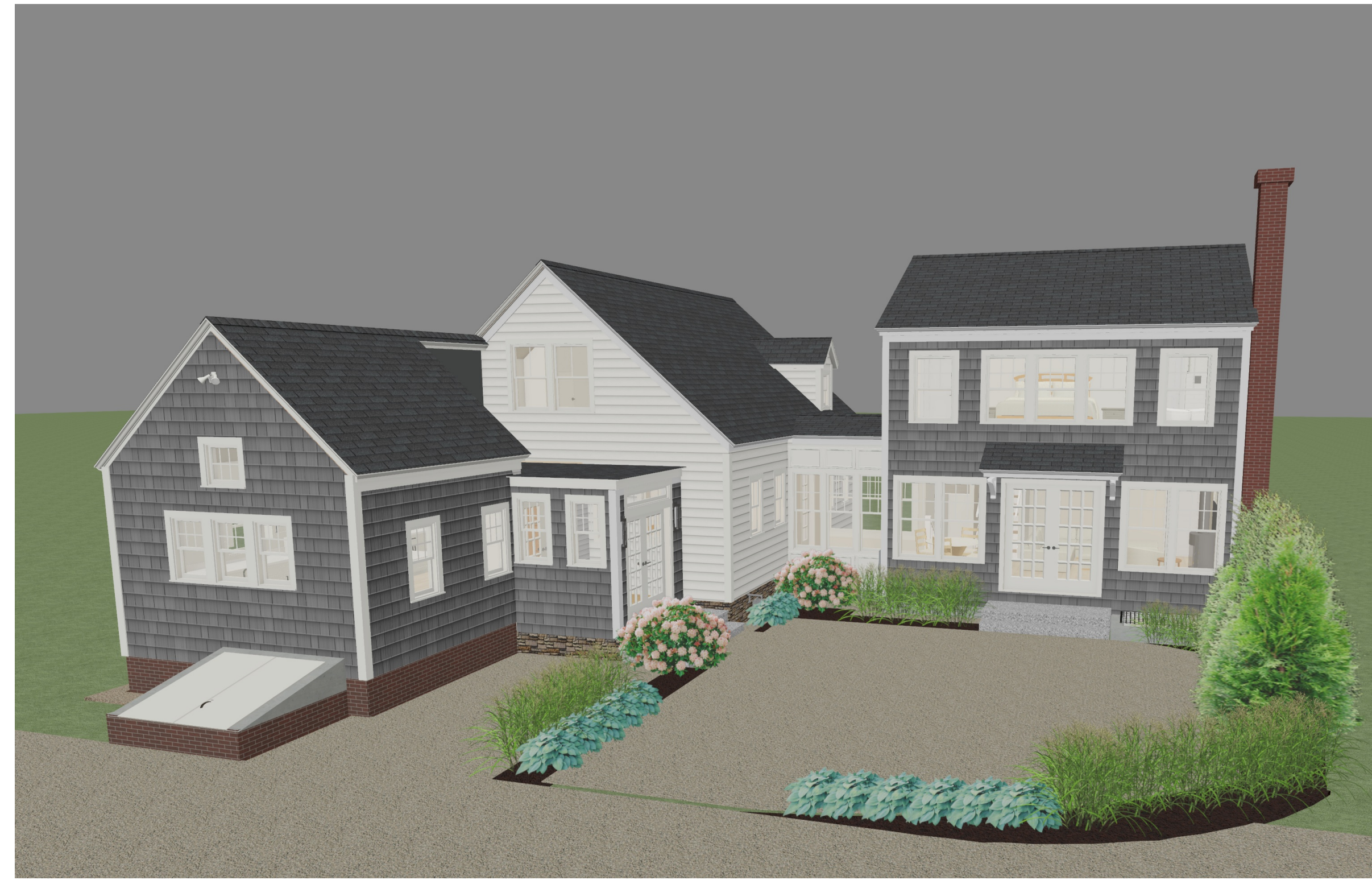
MAIN FLOOR	1738 sqft
2ND FLOOR	992 sqft
TOTAL	2730 sqft

DIM DISCLAIMER

BUILDING CONTRACTOR/HOME OWNER
TO REVIEW AND VERIFY ALL DIMENSIONS,
SPECS, AND CONNECTIONS BEFORE
CONSTRUCTION BEGINS.

WALL LEGEND	
	= ADDITION
	= EXISTING

Layout Page Table	
Label	Title
O-1	OVERVIEW
G-1	GENERAL NOTES
G-2	GENERAL NOTES
G-3	GENERAL NOTES
O-2	OVERVIEW
A1	FLOT PLAN
A2	FLOT PLAN
A3	DEMOLITION PLAN
A4	DEMOLITION PLAN
A-1	RENOVATION PLAN
A-2	FOUNDATION
A-3	FIRST FLOOR
A-4	SECOND FLOOR
A-5	ROOFS
A-6	WINDOW AND DOOR SCHEDULE
A-7	WINDOW AND DOOR SCHEDULE
A-8	ELEVATIONS
A-9	ELEVATIONS
A-10	ELEVATIONS
A-11	ELEVATIONS
A-12	ELEVATIONS
L-1	LANDSCAPE PLAN
A-13	SECTION
A-14	SECTION
A-15	SECTION
A-16	SECTION
F-1	FRAMING
F-2	FRAMING OVERVIEW
D-1	DETAILS
E-1	ELECTRICAL
P-1	PLUMBING
C-1	KITCHEN CABINETRY
C-2	BATH CABINETRY
C-3	CABINETRY
C-4	COUNTERTOP & TILE PLAN
C-5	COUNTERTOP & TILE QUANTITIES
C-6	CABINET SCHEDULE
FP-1	FURNITURE PLAN
FP-2	FURNITURE SCHEDULE



VIEW FROM WATER



VIEW FROM DEARBORN

EXISTING PROPERTY PHOTOS



HEIGHT STUDY IN RELATIONSHIP TO ABUTTER



RELATIONSHIP OF SHED TO PROPERTY LINE (ON OTHER SIDE OF FENCE)



SHED IN RELATIONSHIP TO CAPE & ENTRY

EXISTING NEIGHBORHOOD PHOTOS



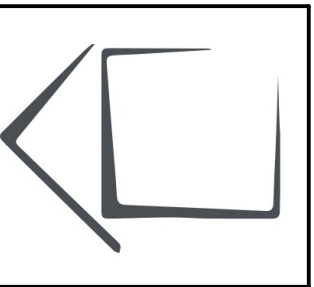
VIEW FROM DENNETT



VIEW FROM DEARBORN



VIEW FROM MAPLEWOOD



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 BARBONG
 39 DEARBORN EXT
 PORTSMOUTH, NH

CONTACT:
 ABRIGO HOME
 PO BOX 1564
 PORTSMOUTH, NH 03801
 201.345.6050

DATE:

4/13/2023

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SCALED FOR:
 24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

0-2

PRELIMINARY NOT FOR CONSTRUCTION

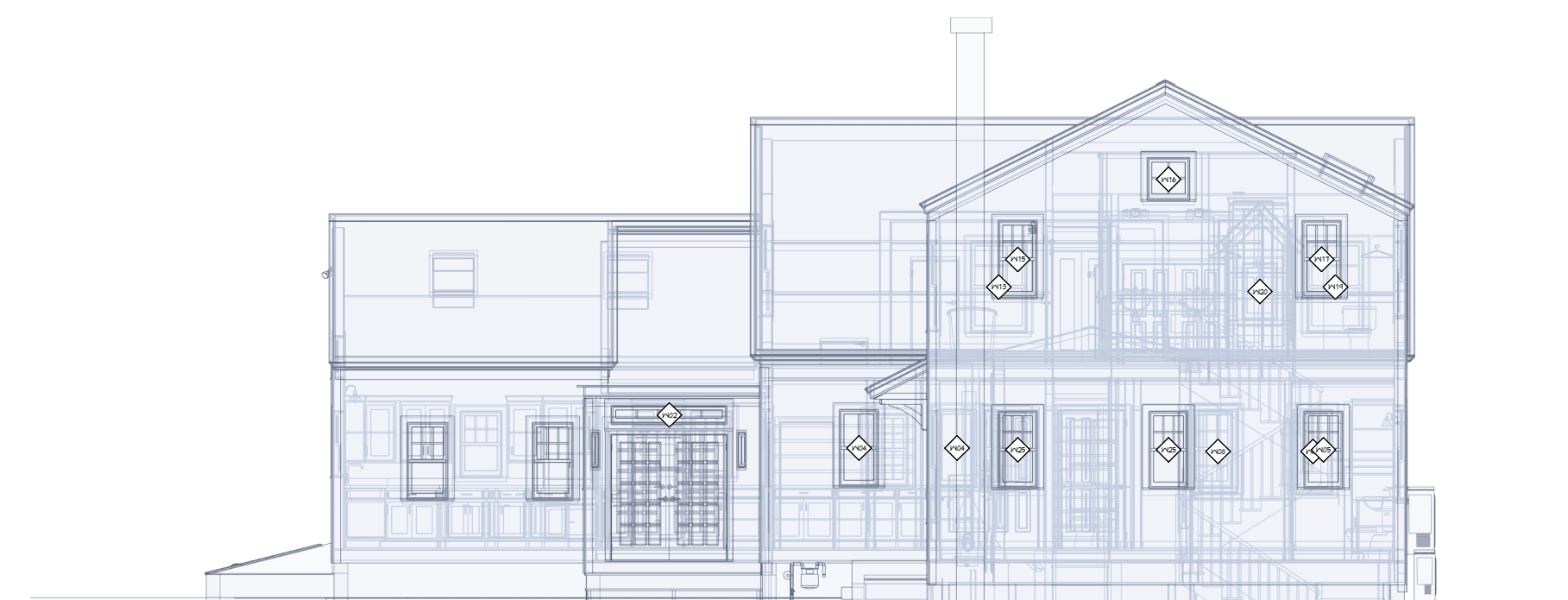


CITY OF PORTSMOUTH - MAP GEO GIS

SITE PLAN



GOOGLE SATELITE SITE

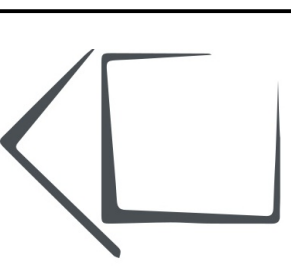


GLASS HOUSE ELEVATION FROM EAST

SCALE: 1/8" = 1'-0"

PRELIMINARY

NOT FOR CONSTRUCTION



Revision Number	Date	Description

PLOT PLAN

CLIENT:
 ABRIGO HOME
 39 DEARBORN EXT
 PORTSMOUTH, NH

CONTACT:
 ABRIGO HOME
 PO BOX 1564
 PORTSMOUTH, NH 03801
 207.345.6050

DATE:

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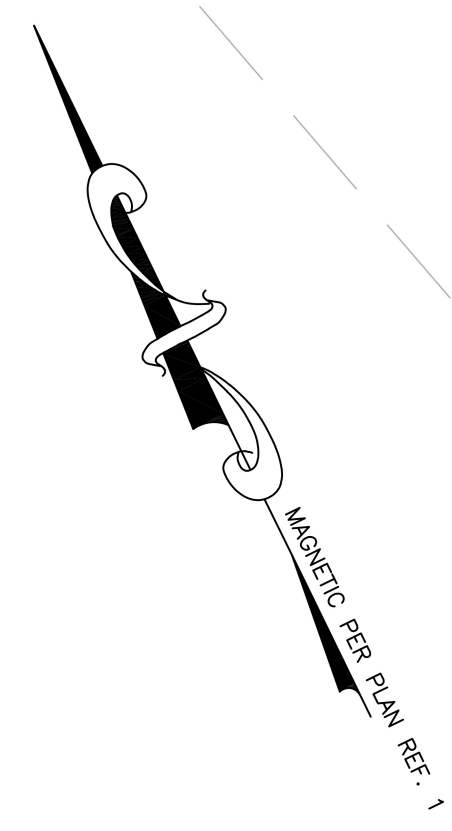
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 24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

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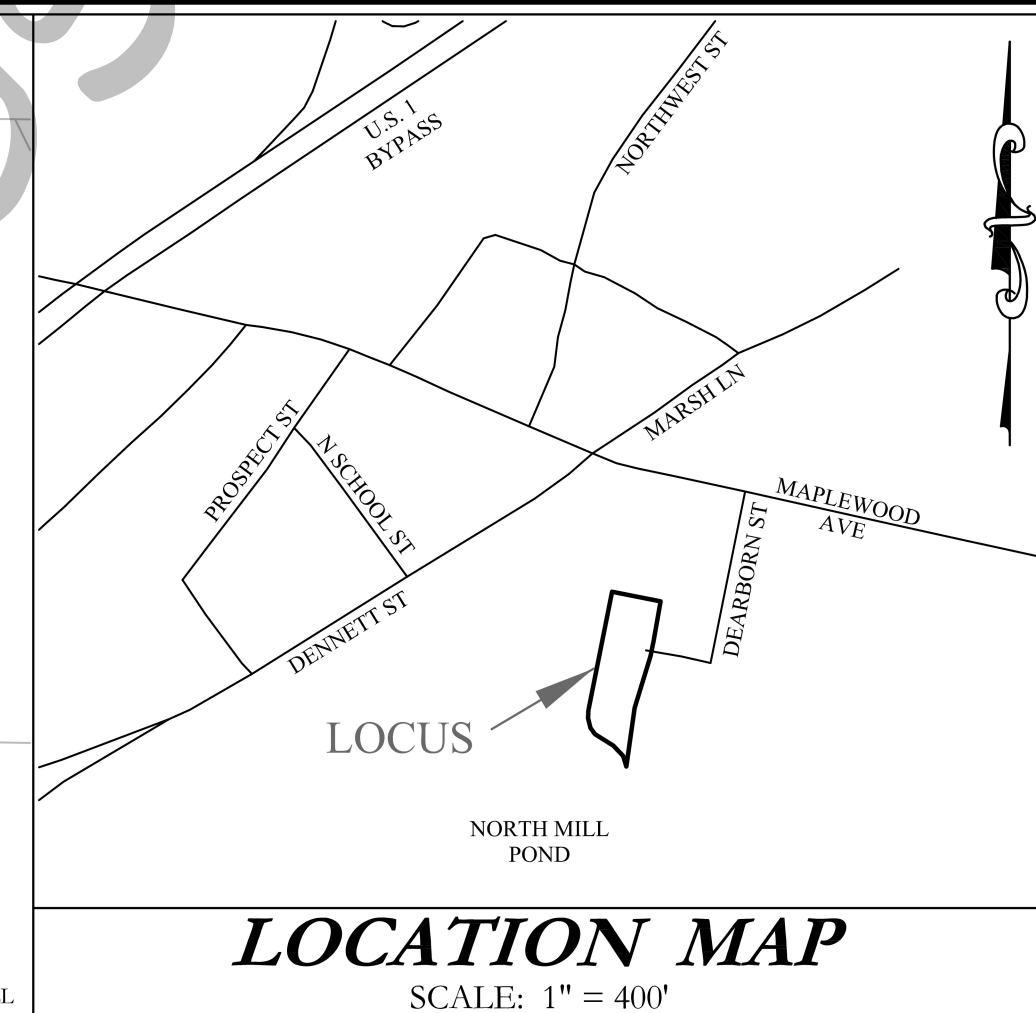
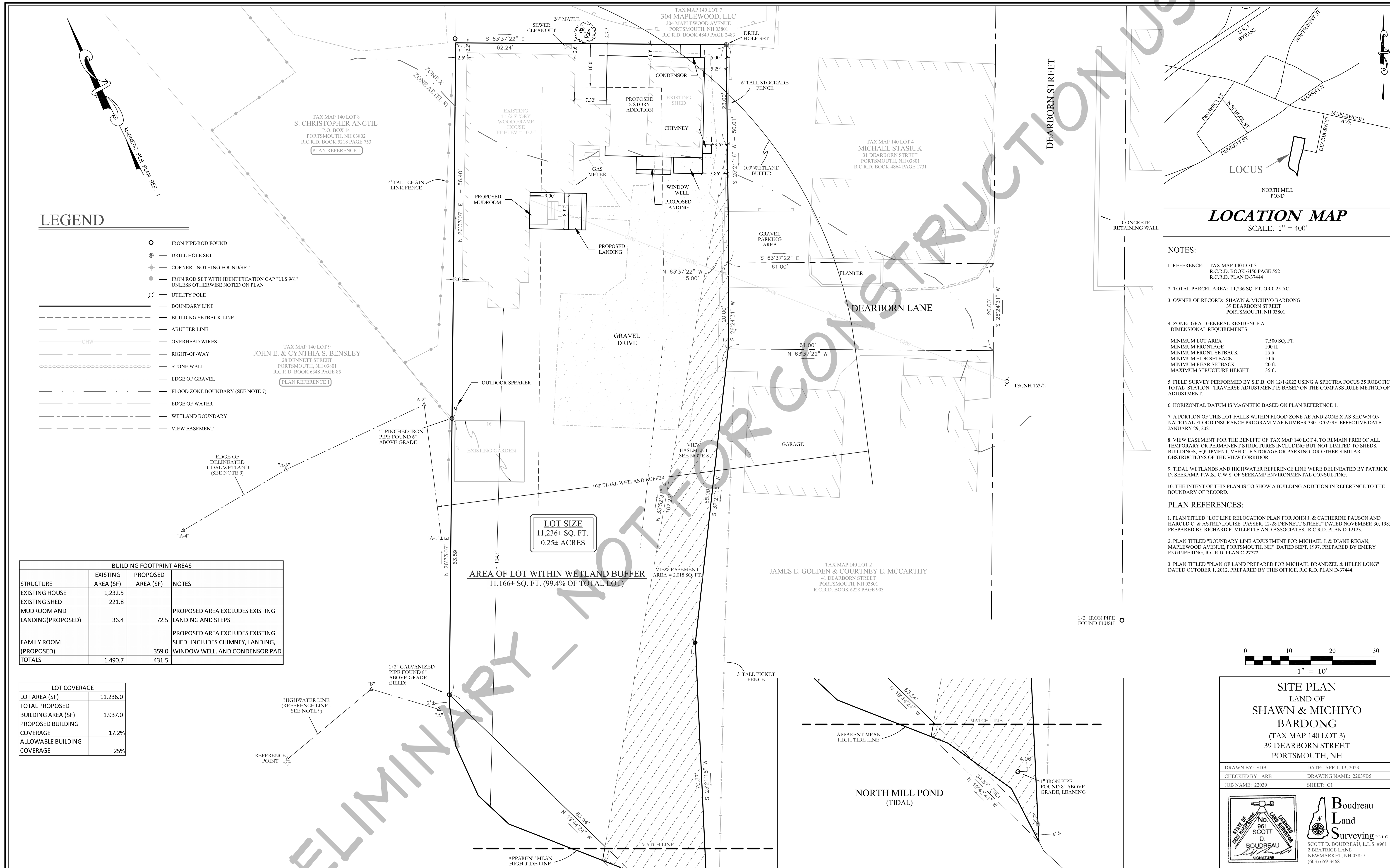


LEGEND

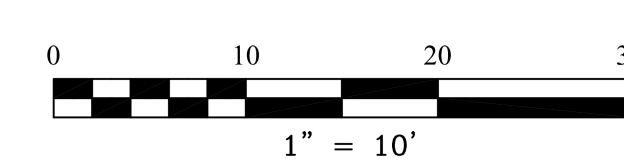
- — IRON PIPE/ROD FOUND
- — DRILL HOLE SET
- ◆ — CORNER - NOTHING FOUND/SET
- — IRON ROD SET WITH IDENTIFICATION CAP "LLS 961" UNLESS OTHERWISE NOTED ON PLAN
- ⊕ — UTILITY POLE
- — BOUNDARY LINE
- - - - BUILDING SETBACK LINE
- - - - ABUTTER LINE
- - - - OVERHEAD WIRES
- - - - RIGHT-OF-WAY
- - - - STONE WALL
- - - - EDGE OF GRAVEL
- - - - FLOOD ZONE BOUNDARY (SEE NOTE 7)
- - - - EDGE OF WATER
- - - - WETLAND BOUNDARY
- - - - VIEW EASEMENT

BUILDING FOOTPRINT AREAS			
STRUCTURE	EXISTING AREA (SF)	PROPOSED AREA (SF)	NOTES
EXISTING HOUSE	1,232.5		
EXISTING SHED	221.8		
MUDROOM AND LANDING (PROPOSED)	36.4	72.5	PROPOSED AREA EXCLUDES EXISTING LANDING AND STEPS
FAMILY ROOM (PROPOSED)		359.0	PROPOSED AREA EXCLUDES EXISTING SHED. INCLUDES CHIMNEY, LANDING, WINDOW WELL, AND CONDENSOR PAD
TOTALS	1,490.7	431.5	

LOT COVERAGE	
LOT AREA (SF)	11,236.0
TOTAL PROPOSED BUILDING AREA (SF)	1,937.0
PROPOSED BUILDING COVERAGE	17.2%
ALLOWABLE BUILDING COVERAGE	25%



- NOTES:**
- REFERENCE: TAX MAP 140 LOT 3, R.C.R.D. BOOK 6450 PAGE 552, R.C.R.D. PLAN D-37444
 - TOTAL PARCEL AREA: 11,236 SQ. FT. OR 0.25 AC.
 - OWNER OF RECORD: SHAWN & MICHIO BARDONG, 39 DEARBORN STREET, PORTSMOUTH, NH 03801
 - ZONE: GRA - GENERAL RESIDENCE A DIMENSIONAL REQUIREMENTS:
MINIMUM LOT AREA: 7,500 SQ. FT.
MINIMUM FRONTAGE: 100 FT.
MINIMUM FRONT SETBACK: 15 FT.
MINIMUM SIDE SETBACK: 10 FT.
MINIMUM REAR SETBACK: 20 FT.
MAXIMUM STRUCTURE HEIGHT: 35 FT.
 - FIELD SURVEY PERFORMED BY S.D.B. ON 12/1/2022 USING A SPECTRA FOCUS 35 ROBOTIC TOTAL STATION. TRAVERSE ADJUSTMENT IS BASED ON THE COMPASS RULE METHOD OF ADJUSTMENT.
 - HORIZONTAL DATUM IS MAGNETIC BASED ON PLAN REFERENCE 1.
 - A PORTION OF THIS LOT FALLS WITHIN FLOOD ZONE AE AND ZONE X AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM MAP NUMBER 33015C0259F, EFFECTIVE DATE JANUARY 29, 2021.
 - VIEW EASEMENT FOR THE BENEFIT OF TAX MAP 140 LOT 4, TO REMAIN FREE OF ALL TEMPORARY OR PERMANENT STRUCTURES INCLUDING BUT NOT LIMITED TO SHEDS, BUILDINGS, EQUIPMENT, VEHICLE STORAGE OR PARKING, OR OTHER SIMILAR OBSTRUCTIONS OF THE VIEW CORRIDOR.
 - TIDAL WETLANDS AND HIGHWATER REFERENCE LINE WERE DELINEATED BY PATRICK D. SEEKAMP, P.W.S., C.W.S. OF SEEKAMP ENVIRONMENTAL CONSULTING.
 - THE INTENT OF THIS PLAN IS TO SHOW A BUILDING ADDITION IN REFERENCE TO THE BOUNDARY OF RECORD.
- PLAN REFERENCES:**
- PLAN TITLED "LOT LINE RELOCATION PLAN FOR JOHN J. & CATHERINE PAUSON AND HAROLD C. & ASTRID LOUISE PASSER, 12-28 DENNETT STREET" DATED NOVEMBER 30, 1983, PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES, R.C.R.D. PLAN D-12123.
 - PLAN TITLED "BOUNDARY LINE ADJUSTMENT FOR MICHAEL J. & DIANE REGAN, MAPLEWOOD AVENUE, PORTSMOUTH, NH" DATED SEPT. 1997, PREPARED BY EMERY ENGINEERING, R.C.R.D. PLAN C-27772.
 - PLAN TITLED "PLAN OF LAND PREPARED FOR MICHAEL BRANDZEL & HELEN LONG" DATED OCTOBER 1, 2012, PREPARED BY THIS OFFICE, R.C.R.D. PLAN D-37444.



SITE PLAN
LAND OF
SHAWN & MICHIO BARDONG
(TAX MAP 140 LOT 3)
39 DEARBORN STREET
PORTSMOUTH, NH

DRAWN BY: SDB DATE: APRIL 13, 2023
CHECKED BY: ARB DRAWING NAME: 22039B85
JOB NAME: 22039 SHEET: C1

Boudreau Land Surveying P.L.L.C.
SCOTT D. BOUDREAU, L.L.S., 8961
2 DEATRICE LANE
NEWMARKET, NH 03857
(603) 659-3468

Revision Table

Number	Date	Description

PLOT PLAN

CLIENT:
BARDONG
39 DEARBORN EXT
PORTSMOUTH, NH

CONTACT:
ABRIGO HOME
PO BOX 1564
PORTSMOUTH, NH 03801
207.345.6050

DATE:
4/13/2023

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A2

DEMOLITION NOTES

GENERAL NOTES

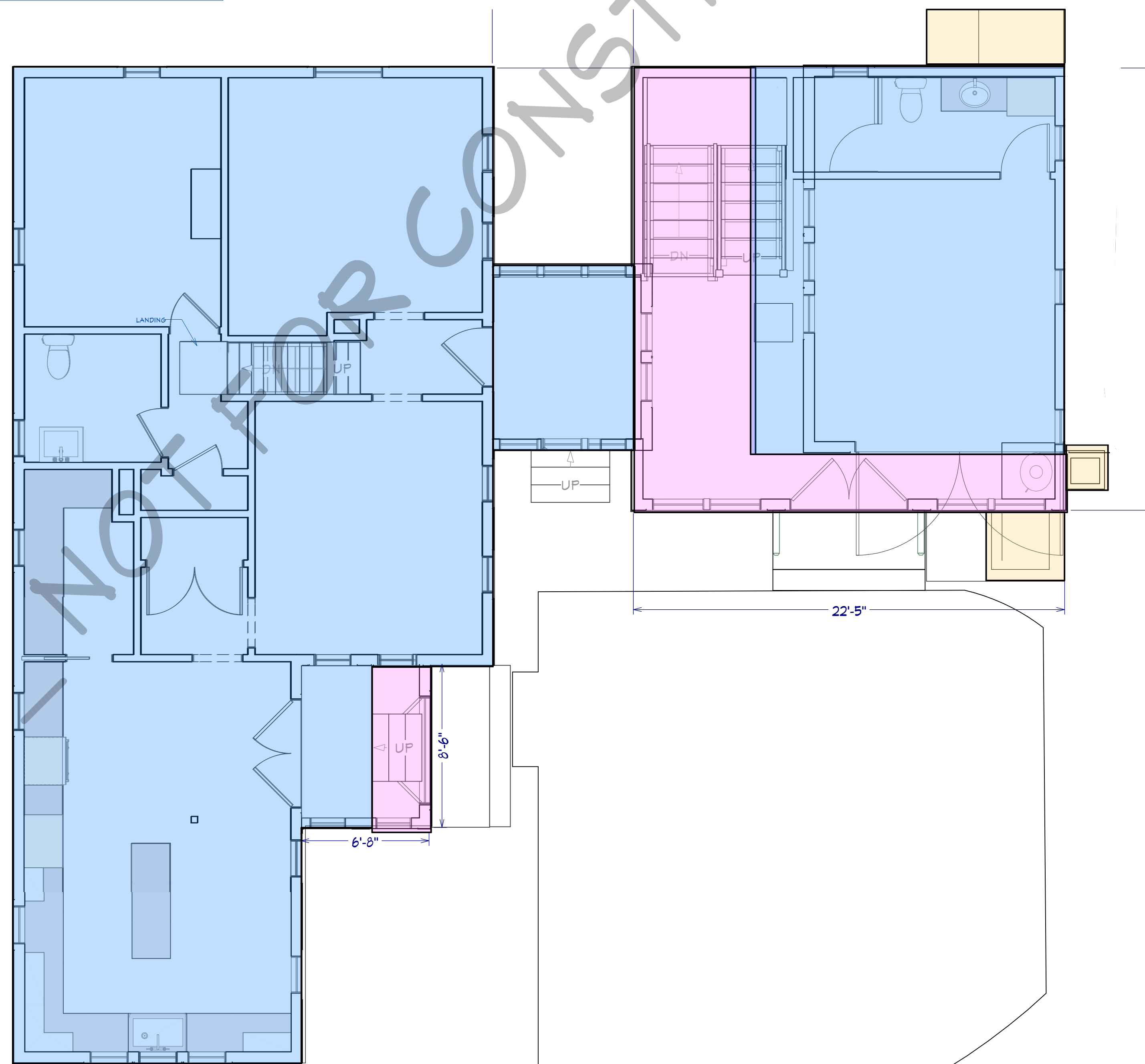
1. PROVIDE SELECTIVE DEMOLITION TO REMOVE EX. FLOOR, WALLS, CEILING, WINDOWS AND ROOF SYSTEMS IDENTIFIED. CONFIRM EXACT LOCATION W/ DESIGNER AND CIVIL ENGINEER PRIOR TO SELECTIVE DEMOLITION COMMENCEMENT. CONSULT WITH DESIGN PROFESSIONAL FOR ALL REQUIRED TEMPORARY SHORING AND SUPPORTS.
2. CUT EXISTING FOUNDATION TO LOCATION IDENTIFIED AND PREPARE FOR NEW FOUNDATION WALL.
3. EXISTING FOUNDATION WALL TO BE CUT AND REMAIN IN PLACE. REMOVE SILL PLATES OR OTHER LUMBER AND CUT BACK ANCHOR BOLTS TO TOP OF WALL. FILL VOID WITH SAND AND/ OR SOILS CONSISTENT WITH SURROUNDING MATERIALS.

CAD BLOCK GUIDE

VERSION 7: CAPE W/ COLONIAL ADDITION

- EXISTING FOOTPRINT (1,454.3 SQFT)
- PROPOSED ADDITION (431 SQFT)

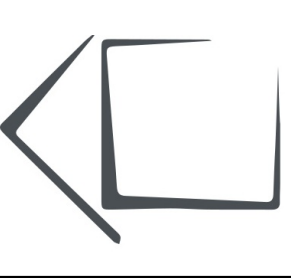
TOTAL 1,885.3 SQFT



VERSION 7: CAPE W/ COLONIAL ADDITION

RENOVATION PLAN

SCALE: 1/4" = 1'-0"



Revision Table

Number	Date	Description

RENOVATION PLAN

CLIENT:
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39 DEARBORN EXT
PORTSMOUTH, NH

CONTACT:
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PO BOX 1564
PORTSMOUTH, NH 03801
201.345.6050

DATE:

4/13/2023

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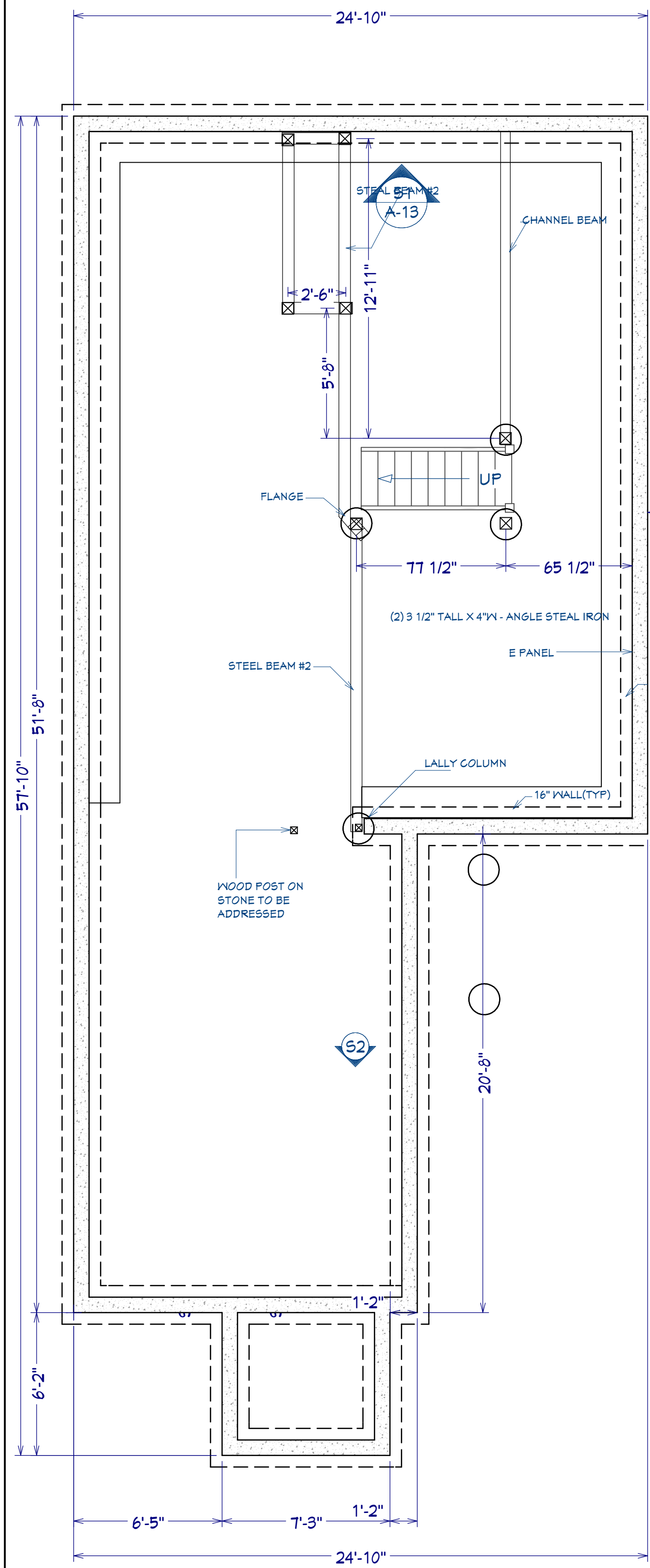
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24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

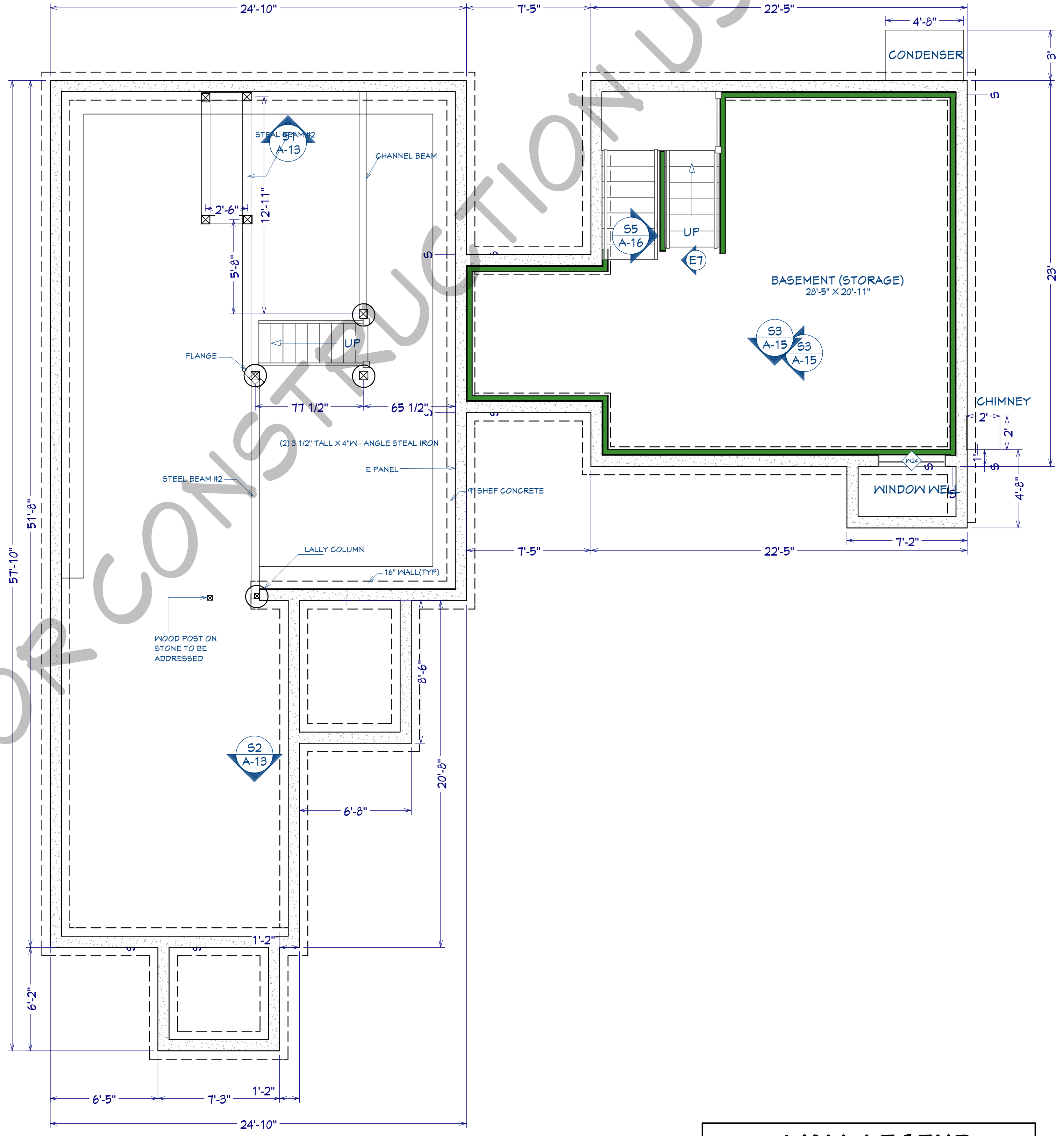
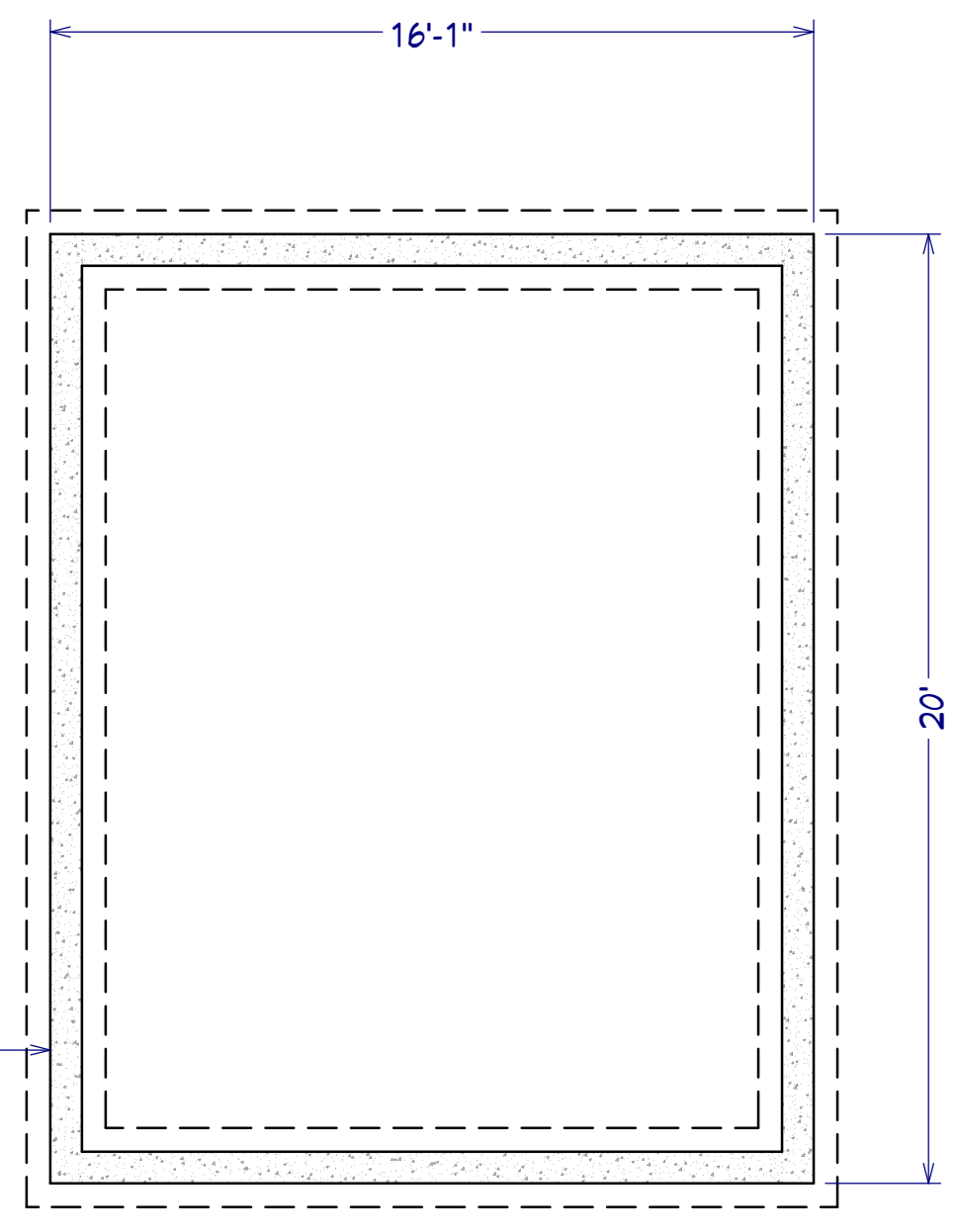
A-1



EXISTING FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

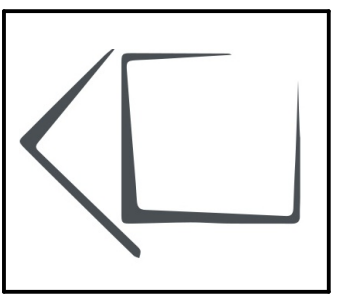


PROPOSED FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



VERSION 7: CAPE WITH COLONIAL ADDITION
SCALE: 1/4" = 1'-0"

WALL LEGEND	
	= EXTERIOR WALL
	= INTERIOR 6
	= INTERIOR 4
	= NEW WALL
	= DEMO WALL
	= GLASS TOP TILE BOTTOM PONY WALL
	= GLASS SHOWER WALL



Revision Table		
Number	Date	Description

FOUNDATION

CLIENT:
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 39 DEARBORN EXT
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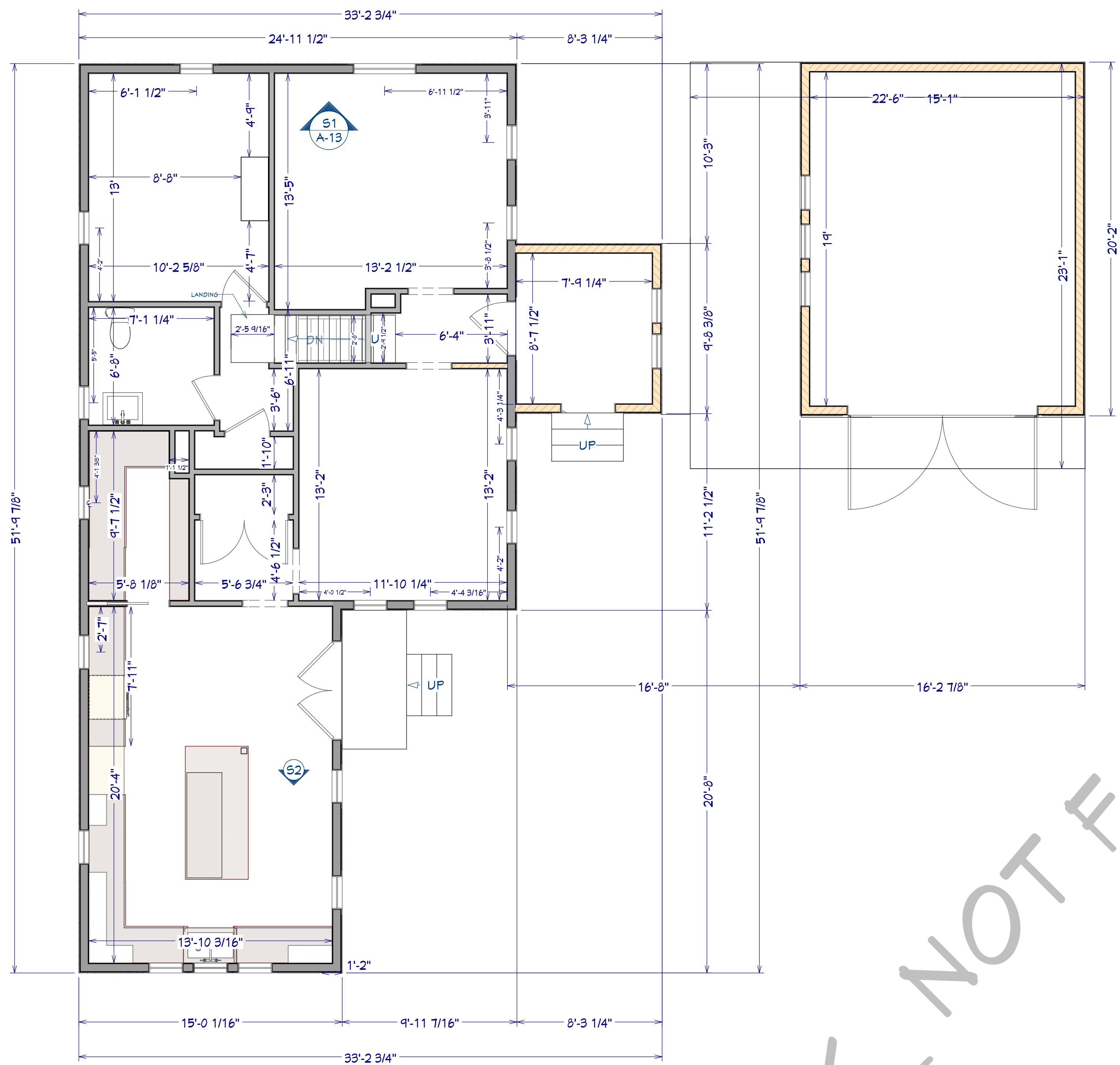
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24" X 36"

SCALE:
SEE SCALE ON DRAWINGS

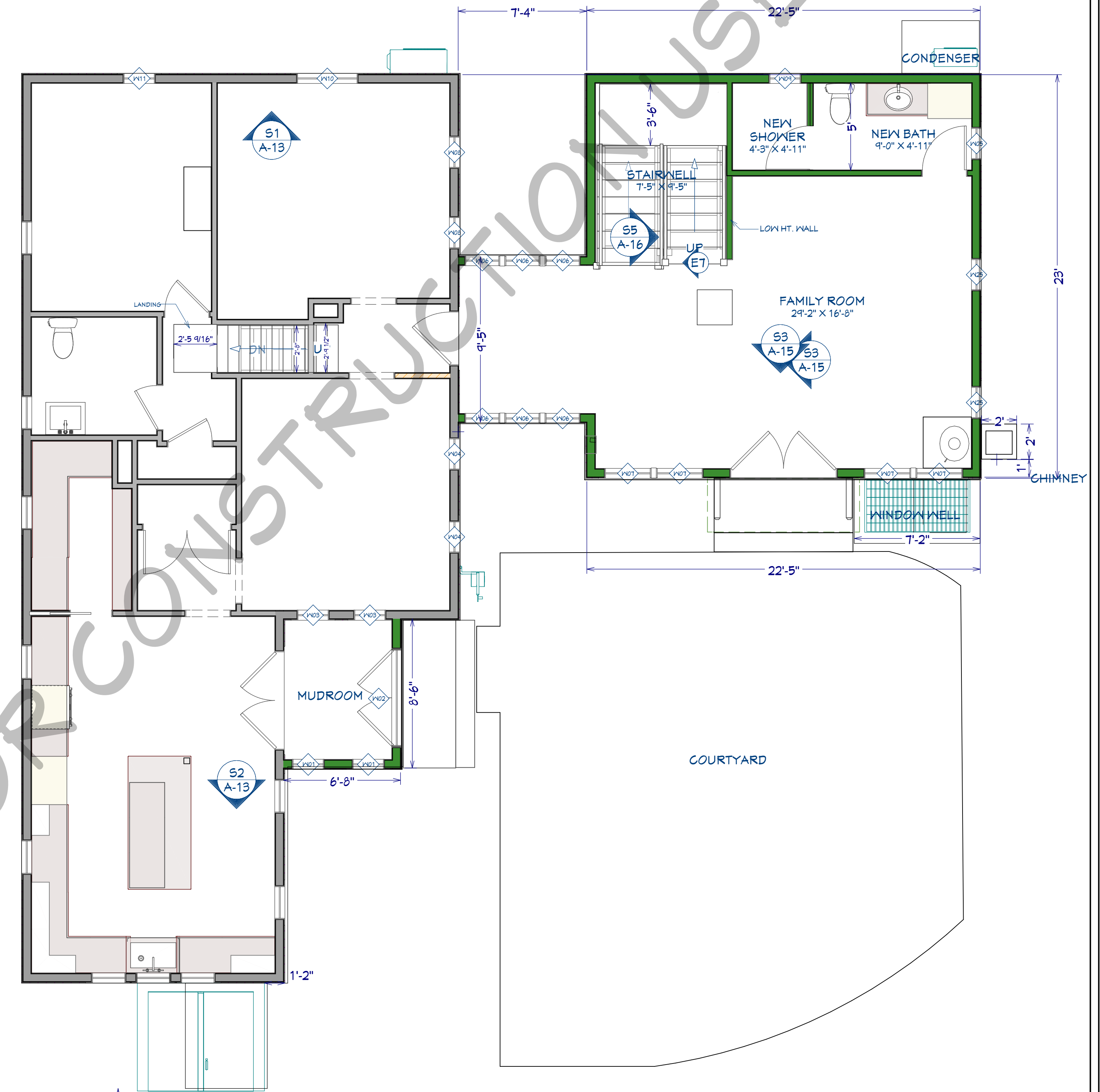
SHEET:
A-2

PRELIMINARY - NOT FOR CONSTRUCTION USE



EXISTING FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



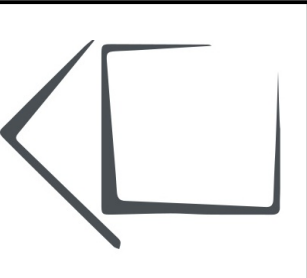
VERSION 7: CAPE WITH COLONIAL ADDITION

SCALE: 1/4" = 1'-0"

PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

WALL LEGEND	
	= EXTERIOR WALL
	= INTERIOR 6
	= INTERIOR 4
	= NEW WALL
	= DEMO WALL
	= GLASS TOP TILE BOTTOM PONY WALL
	= GLASS SHOWER WALL



Revision Table		
Number	Date	Description

FIRST FLOOR

CLIENT:
 ABRIGO HOME
 39 DEARBORN EXT
 PORTSMOUTH, NH

CONTACT:
 ABRIGO HOME
 PO BOX 1564
 PORTSMOUTH, NH 03801
 207.345.6050

DATE:

4/13/2023

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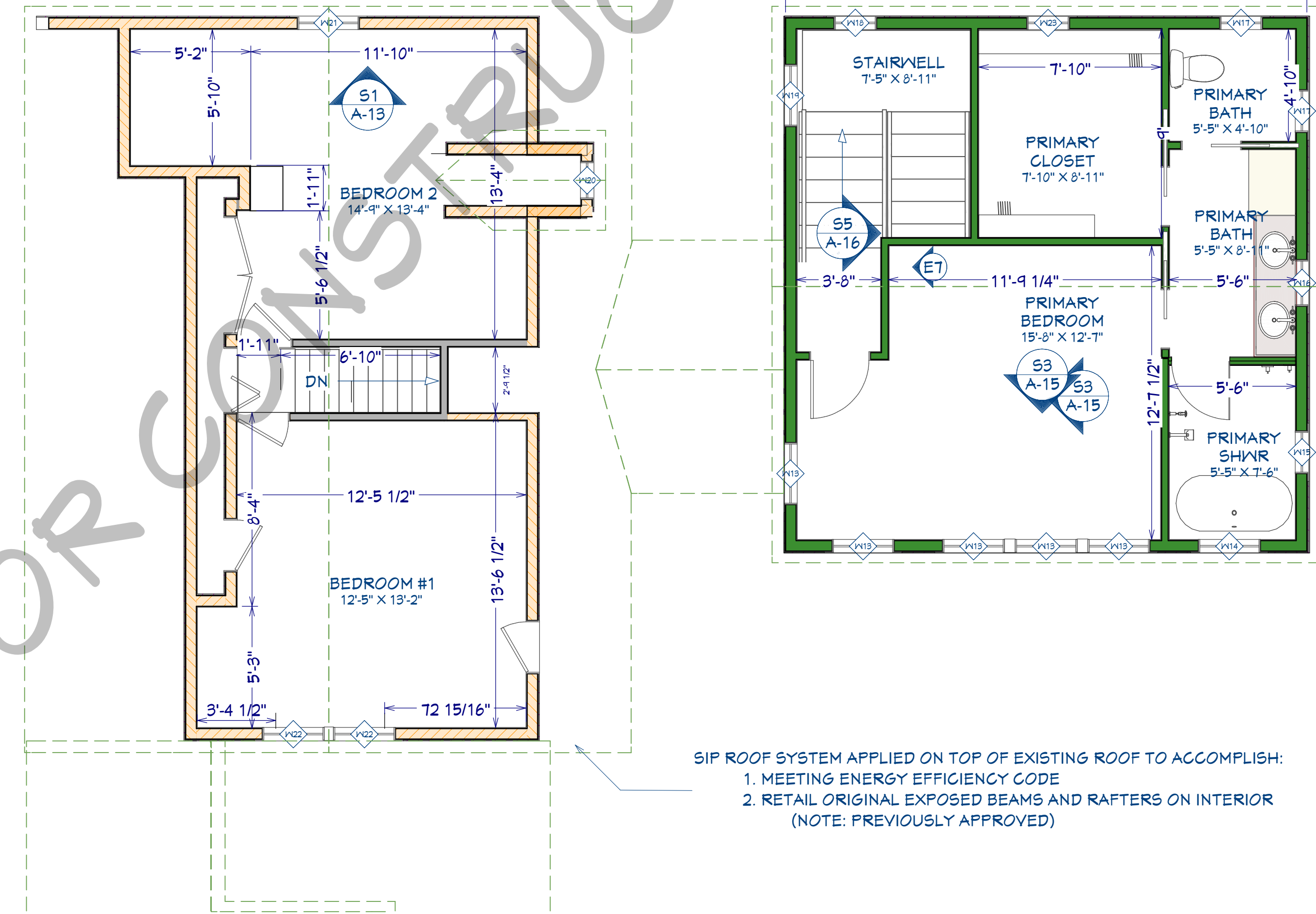
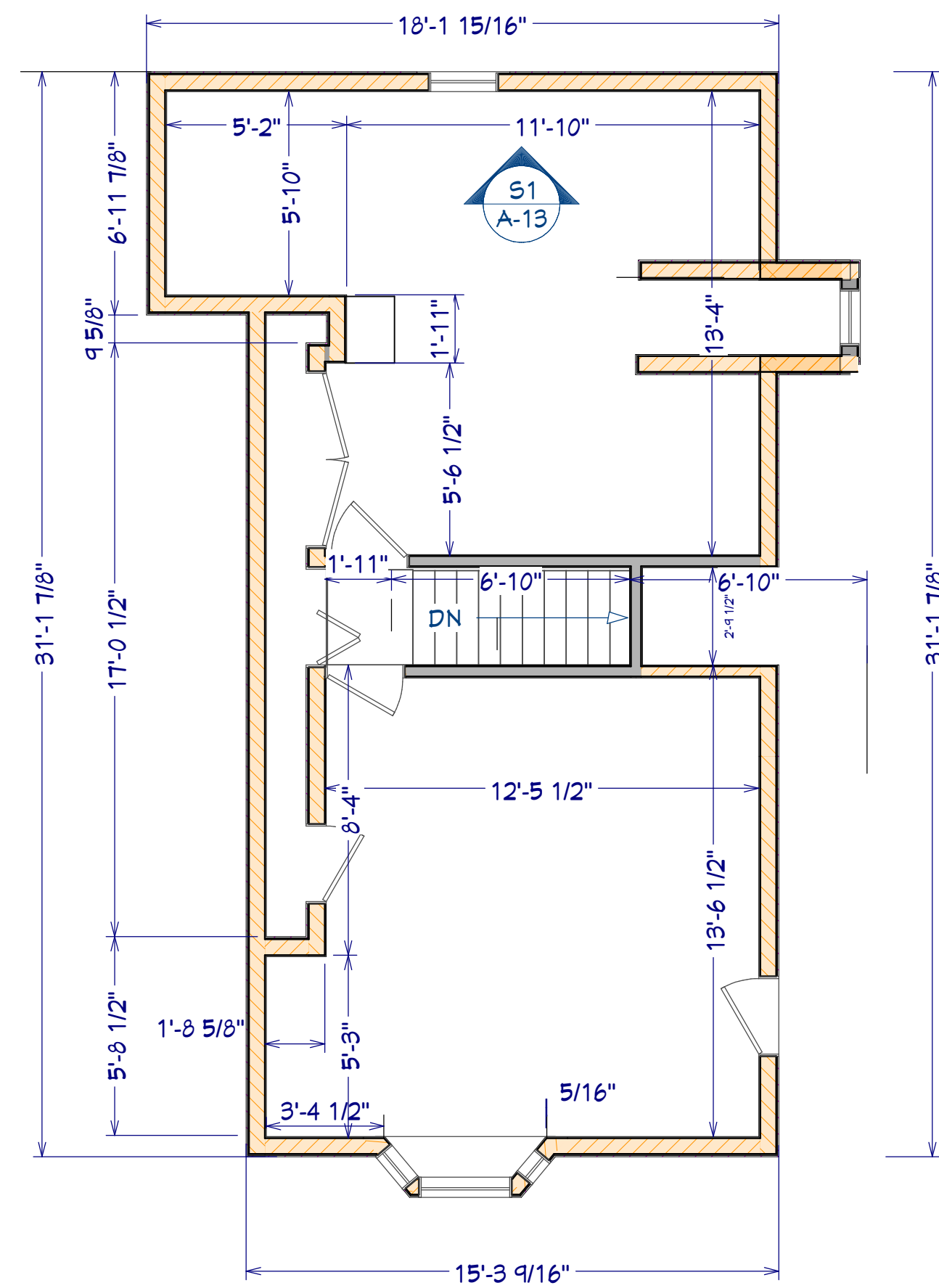
SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

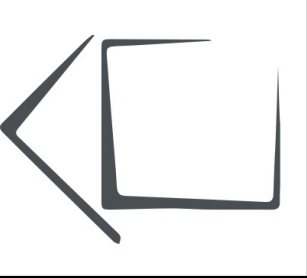
SHEET:

A-3



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL LEGEND	
	= EXTERIOR WALL
	= INTERIOR 6
	= INTERIOR 4
	= NEW WALL
	= DEMO WALL
	= GLASS TOP TILE BOTTOM PONY WALL
	= GLASS SHOWER WALL



Revision Number	Date	Description

SECOND FLOOR

CLIENT:
BARBONG
39 DEARBORN EXT
PORTSMOUTH, NH

CONTACT:
ABRIGO HOME
PO BOX 1564
PORTSMOUTH, NH 03801
201.345.6050

DATE:

4/13/2023

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SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-4

LINE LEGEND

- = EXISTING
- = PROPOSED

NOTE SCHEDULE

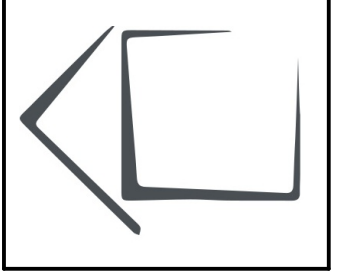
①	SIP PANEL ROOFLINE INSULATION & STRUCTURE (PREVIOUSLY APPROVED)
②	NATURAL CEDAR CLAPBOARDS
③	HISTORIC SILLS ON HOUSE & ADDITION
④	BRICK CHIMNEY
⑤	ASPHALT ROOFING
⑥	TRIM WORK: WINDOW, DOOR, ROOF RAKE AND SOFFIT: BORAL
⑦	NATURAL WOOD SHINGLES
⑧	MARVIN ELEVATE_6/1 DH
⑨	ENTRYWAY CANOPY W/ WOOD BRACKETS (CHAMFERED EDGE)
⑩	MARVIN, ELEVATE FRENCH DOOR_15-LITE
⑪	GRANITE LANDING & STAIR
⑫	AZEC TRIM PANELS
⑬	RELOCATED GAS METER



PROPOSED SOUTH ELEVATION

SCALE: 1/2" = 1'-0"

ELEVATION NOTE: REBUILD EXISTING ROOF TO MEET ENERGY CODE
SCALE: 1/2" = 1'-0"



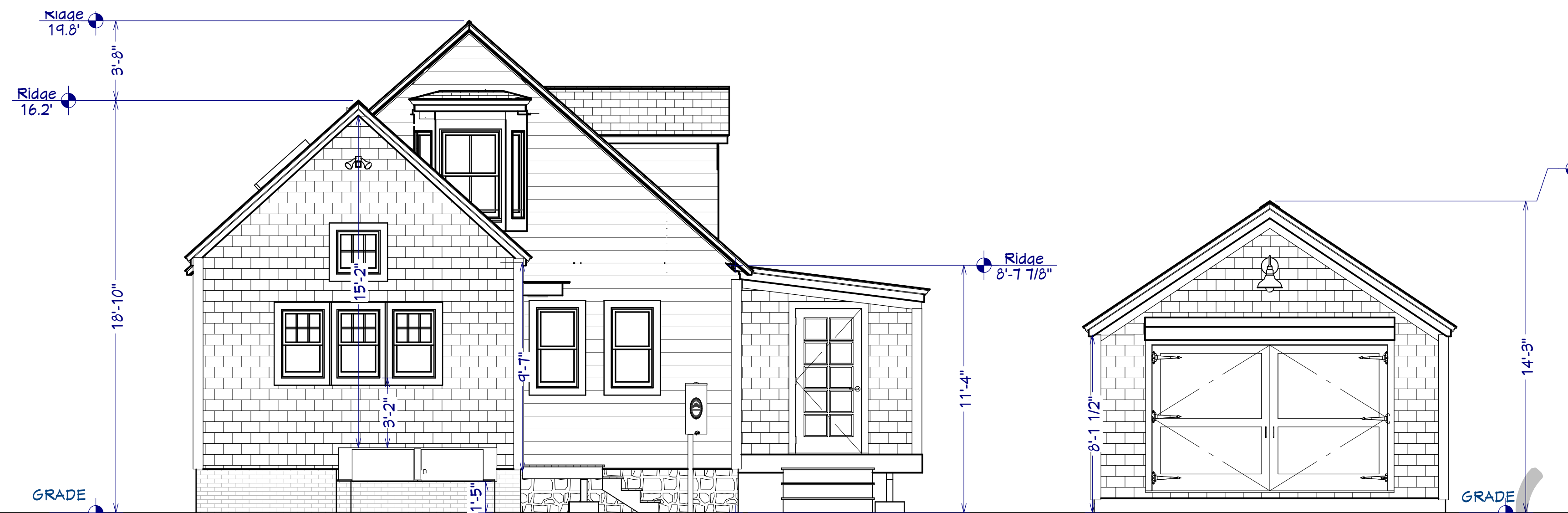
Revision Table	
Number	Date

ELEVATIONS

CLIENT:
 BARBONG
 39 DEARBORN EXT
 PORTSMOUTH, NH

CONTACT:
 ABRIGO HOME
 PO BOX 1564
 PORTSMOUTH, NH 03801
 207.345.6050

DATE:	4/13/2023
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SCALED FOR:	24" X 36"
SCALE:	
SEE SCALE ON DRAWINGS	
SHEET:	A-8



EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING VIEW FROM WATER



VERSION 7: CAPE WITH COLONIAL ADDITION

SCALE: 1/4" = 1'-0"

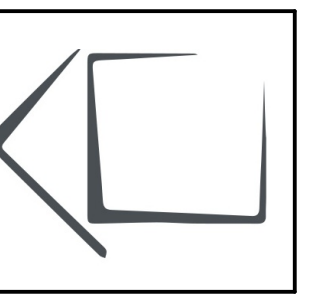
PROPOSED SOUTH ELEVATION | SIDE VIEW NOTE: REBUILD EXISTING ROOF TO MEET ENERGY CODE

SCALE: 1/4" = 1'-0"

NOTE SCHEDULE	
①	SIP PANEL ROOFLINE INSULATION & STRUCTURE (PREVIOUSLY APPROVED)
②	NATURAL CEDAR CLAPBOARDS
③	HISTORIC SILLS ON HOUSE & ADDITION
④	BRICK CHIMNEY
⑤	ASPHALT ROOFING
⑥	TRIM WORK: WINDOW, DOOR, ROOF RAKE AND SOFFIT: BORAL
⑦	NATURAL WOOD SHINGLES
⑧	MARVIN ELEVATE 6/1 DH
⑨	ENTRYWAY CANOPY W/ WOOD BRACKETS (CHAMFERED EDGE)
⑩	MARVIN, ELEVATE FRENCH DOOR 15 - LITE
⑪	GRANITE LANDING & STAIR
⑫	AZEG TRIM PANELS
⑬	RELOCATED GAS METER



EXAMPLE OF A CONNECTOR - ST. JOHN'S CHURCH



Number	Date	Description

ELEVATIONS

CLIENT:
 ABRIGO HOME BARBONG
 39 DEARBORN EXT
 PORTSMOUTH, NH

CONTACT:
 ABRIGO HOME
 PO BOX 1564
 PORTSMOUTH, NH 03801
 207.345.6050

DATE:

4/13/2023

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SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-9



EXISTING SOUTH ELEVATION | FRONT VIEW
SCALE: 1/8" = 1'-0"



EXISTING FRONT HOUSE

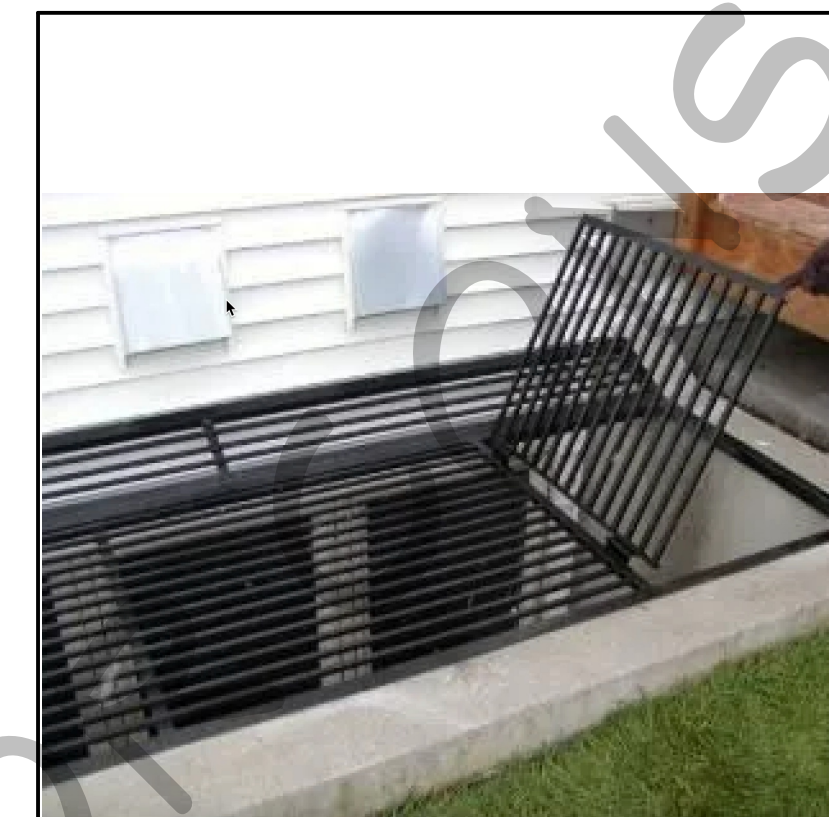


EXISTING VIEW OF ENTRY AND MUDROOM AREA

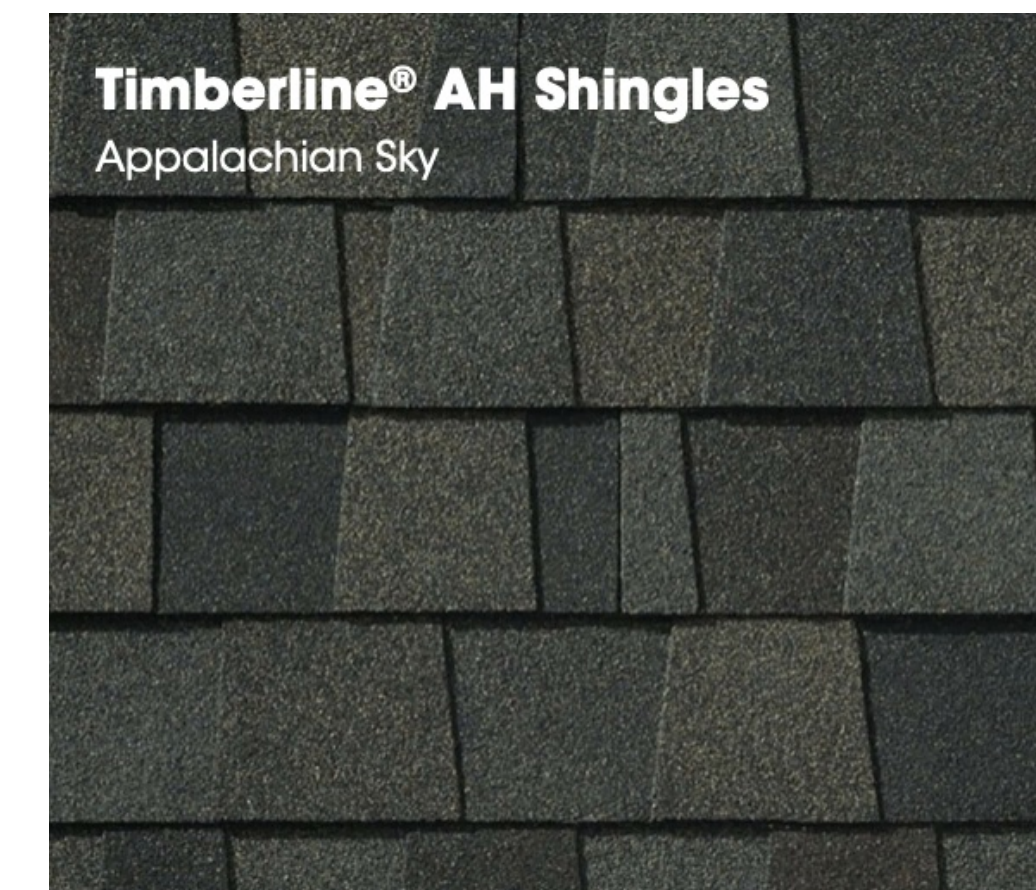


VERSION 7: CAPE WITH COLONIAL ADDITION (FRONT)
SCALE: 1/4" = 1'-0"

PROPOSED EAST ELEVATION | FRONT VIEW NOTE: REBUILD EXISTING ROOF TO MEET ENERGY CODE
SCALE: 1/4" = 1'-0"



WINDOW WELL
BASEMENT EGRESS



Timberline® AH Shingles
Appalachian Sky

ASPHALT ROOF
GAF TIMBERLINE



WINDOW & DOOR TRIM
TO MATCH EXISTING HISTORIC TRIM PACKAGE



EXISTING FRONT DOOR



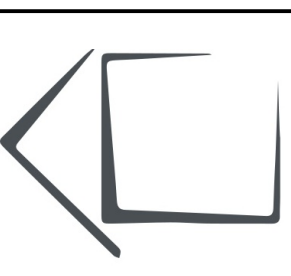
EXISTING 15-LITE FRENCH DOOR

PROPOSED 15 LITE DOOR TO MATCH IN PRIMARY
PROPOSED TRANSOM INSTALLED OVER THIS RELOCATED 15-LITE DOOR



INCANDESCENT BULB_40W

NIGHT SKY COMPLIANT
BRONZE FINISH



Revision Number	Date	Description

ELEVATIONS

CLIENT:
ABRIGO HOME
39 DEARBORN EXT
PORTSMOUTH, NH

CONTACT:
ABRIGO HOME
PO BOX 1564
PORTSMOUTH, NH 03801
207.345.6050

DATE:

4/13/2023

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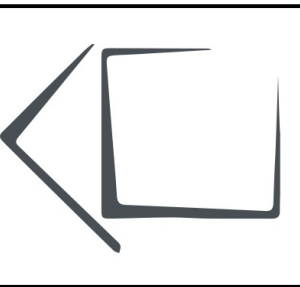
SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-10
ELEVATIONS

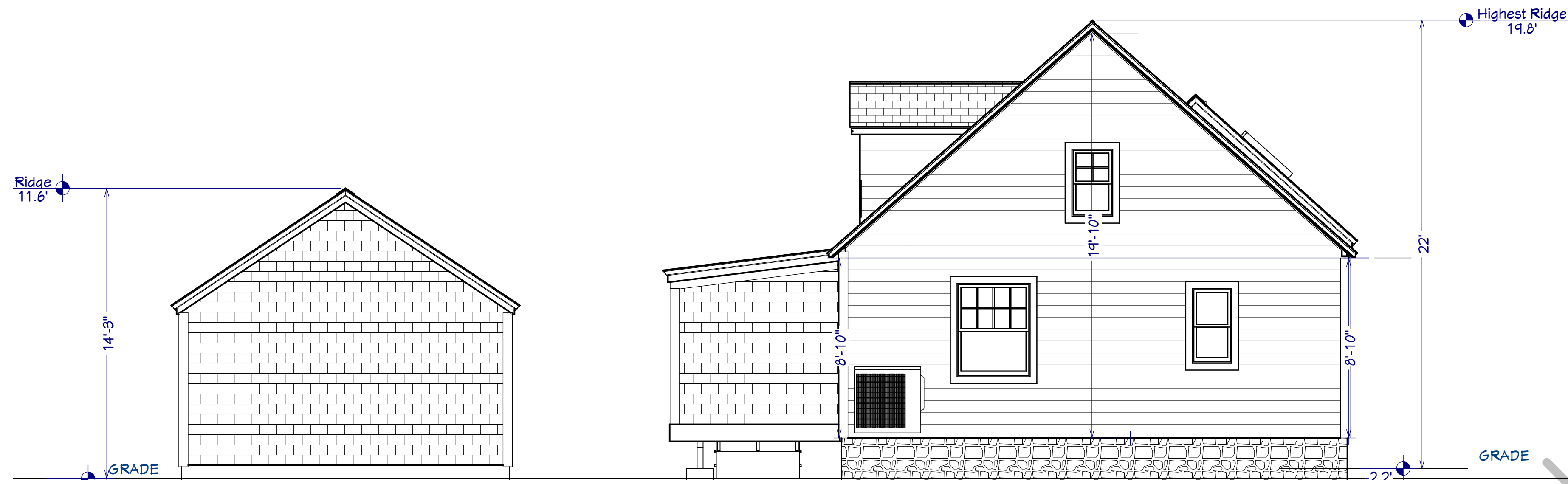


EXISTING PHOTOS



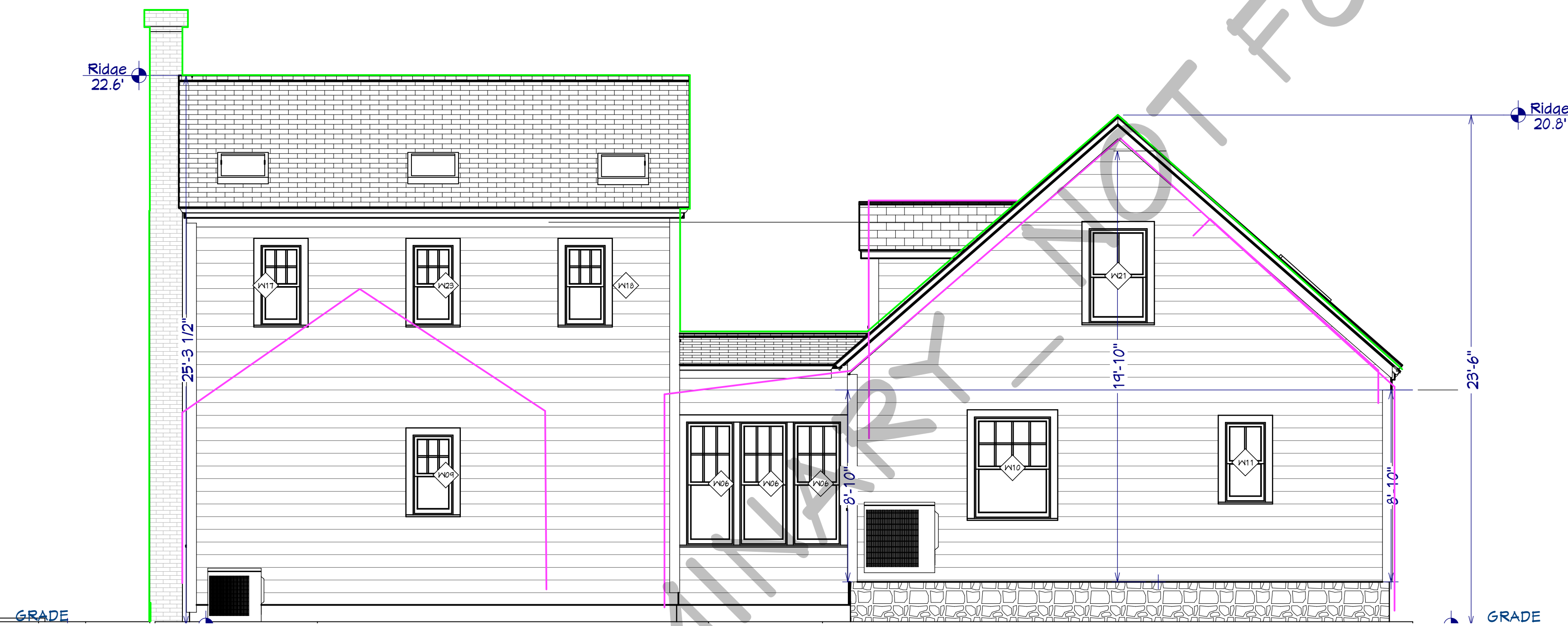
SOUTH SIDE VIEW

REAR VIEW



EXISTING NORTH ELEVATION

SCALE: 1/8" = 1'-0"



VERSION 7: CAPE WITH COLONIAL ADDITION

SCALE: 1/4" = 1'-0"

PROPOSED NORTH ELEVATION | SIDE VIEW NOTE: REBUILD EXISTING ROOF TO MEET ENERGY CODE

SCALE: 1/4" = 1'-0"

Revision Table

Number	Date	Description

ELEVATIONS

CLIENT:
ABRIGO HOME
39 DEARBORN EXT
PORTSMOUTH, NH

CONTACT:
ABRIGO HOME
PO BOX 1564
PORTSMOUTH, NH 03801
201.345.6050

DATE:

4/13/2023

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SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-11

LINE LEGEND

- = EXISTING
- = PROPOSED



EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"

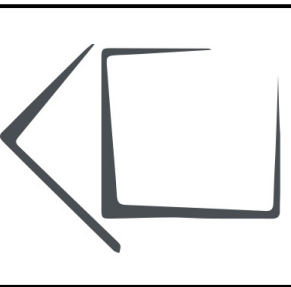


EXISTING PHOTO
SCALE: NTS



VERSION 7: CAPE WITH COLONIAL ADDITION (BACK)
SCALE: 1/4" = 1'-0"

PROPOSED WEST ELEVATION | REAR VIEW NOTE: REBUILD EXISTING ROOF TO MEET ENERGY CODE
SCALE: 1/4" = 1'-0"



Revision Table	
Number	Date

ELEVATIONS

CLIENT:
BARBONG
39 DEARBORN EXT
PORTSMOUTH, NH

CONTACT:
ABRIGO HOME
PO BOX 1564
PORTSMOUTH, NH 03801
207.345.6050

DATE:

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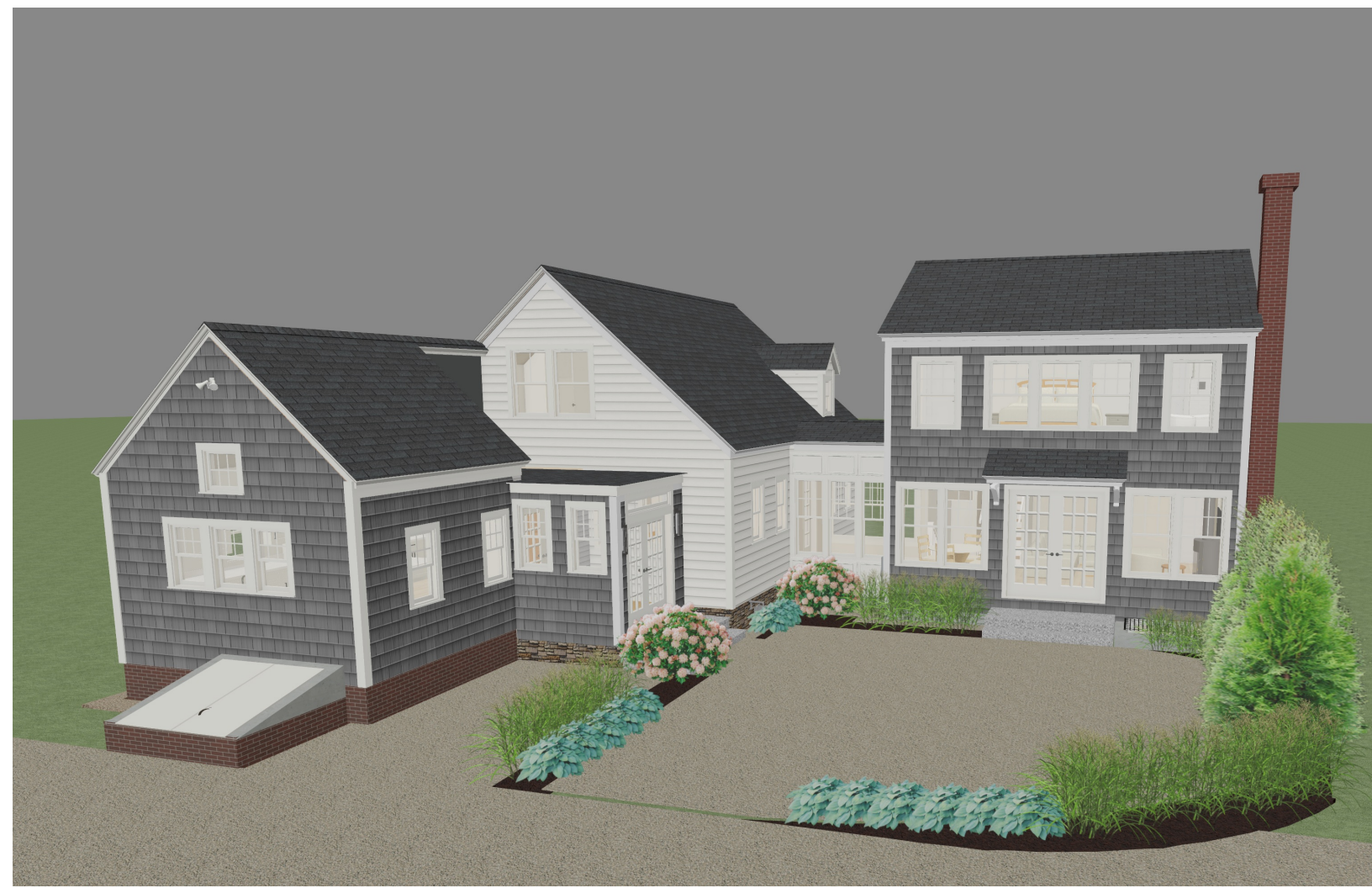
SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS





SHEET:

A-12
ELEVATIONS



LANDSCAPING PERSPECTIVE

PLANT SCHEDULE:

PLANT SCHEDULE					
3D ELEVATION	NUMBER	QTY	COMMON NAMES	SCIENTIFIC NAME	
	F01	3	RHODODENDRON	RHODODENDRON	
	F02	14	PLANTAIN LILY	HOSTA	
	F03	4	EASTERN ARBORVITAE, AMERICAN ARBORVITAE, NORTHERN WHITE CEDAR	THUJA OCCIDENTALIS	
	F04	18	FORCUPINE GRASS	MISCANTHUS SINENSIS	

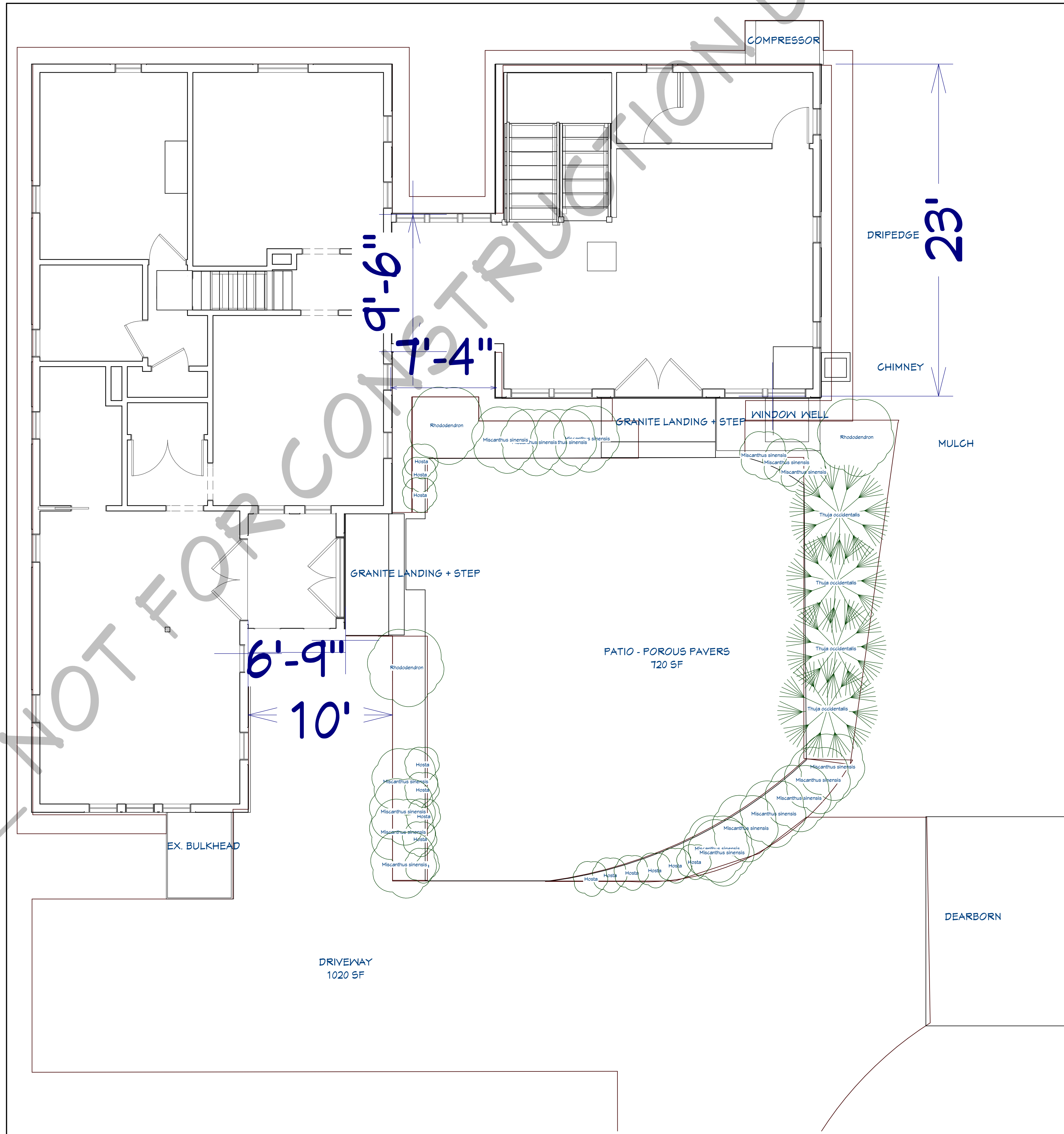


DRIVEWAY PAVERS
GRANITE SQUARE POROUS 1/4" GRASS INSTALL

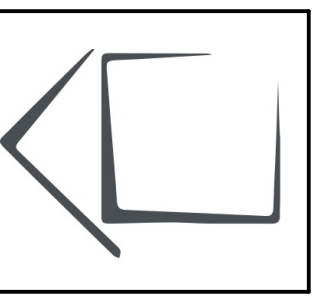


COURTYARD PAVERS
GRANITE SQUARE POROUS INSTALLATION

LANDSCAPE PLAN
SCALE: 1/4" = 1'-0"



NOTE: COURTYARD CREATED WITH PAVERS INSTALLED ACCORDING TO CONSERVATION COMMISSION



Revision Table	
Number	Date

LANDSCAPE PLAN

CLIENT:
BARBORG
39 DEARBORN EXT
PORTSMOUTH, NH

CONTACT:
ABRIGO HOME
PO BOX 1564
PORTSMOUTH, NH 03801
201.345.6050

DATE:

4/13/2023

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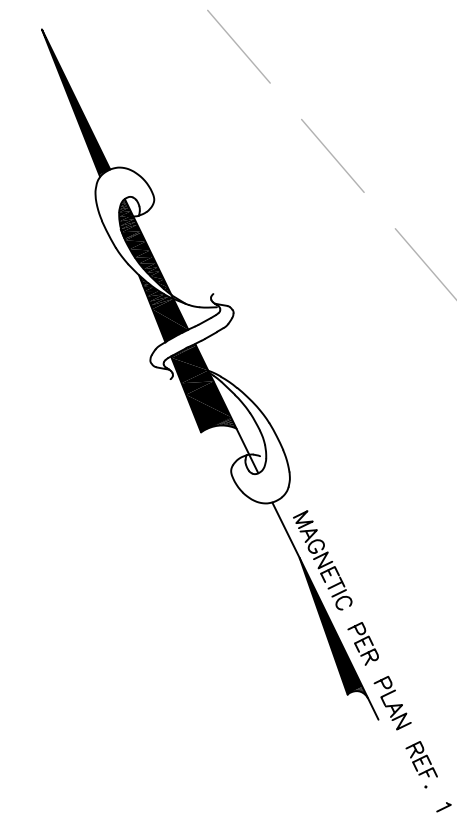
SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

L-1



LEGEND

- — IRON PIPE/ROD FOUND
- ⊙ — DRILL HOLE SET
- ◆ — CORNER - NOTHING FOUND/SET
- — IRON ROD SET WITH IDENTIFICATION CAP "LLS 961" UNLESS OTHERWISE NOTED ON PLAN
- ⊕ — UTILITY POLE
- — BOUNDARY LINE
- - - BUILDING SETBACK LINE
- - - ABUTTER LINE
- — OVERHEAD WIRES
- - - RIGHT-OF-WAY
- — STONE WALL
- - - EDGE OF GRAVEL
- - - FLOOD ZONE BOUNDARY (SEE NOTE 7)
- - - EDGE OF WATER
- - - WETLAND BOUNDARY
- - - VIEW EASEMENT

TAX MAP 140 LOT 8
S. CHRISTOPHER ANCTIL
P.O. BOX 14
PORTSMOUTH, NH 03802
R.C.R.D. BOOK 5218 PAGE 753
(PLAN REFERENCE 1)

TAX MAP 140 LOT 9
JOHN E. & CYNTHIA S. BENSLEY
28 DENNETT STREET
PORTSMOUTH, NH 03801
R.C.R.D. BOOK 6348 PAGE 85
(PLAN REFERENCE 1)

BUILDING FOOTPRINT AREAS			
STRUCTURE	EXISTING AREA (SF)	PROPOSED AREA (SF)	NOTES
EXISTING HOUSE	1,232.5		
EXISTING SHED	221.8		
MUDROOM AND LANDING (PROPOSED)	36.4	72.5	PROPOSED AREA EXCLUDES EXISTING LANDING AND STEPS
FAMILY ROOM (PROPOSED)		359.0	PROPOSED AREA EXCLUDES EXISTING SHED. INCLUDES CHIMNEY, LANDING, WINDOW WELL, AND CONDENSOR PAD
TOTALS	1,490.7	431.5	

LOT COVERAGE	
LOT AREA (SF)	11,236.0
TOTAL PROPOSED BUILDING AREA (SF)	1,937.0
PROPOSED BUILDING COVERAGE	17.2%
ALLOWABLE BUILDING COVERAGE	25%

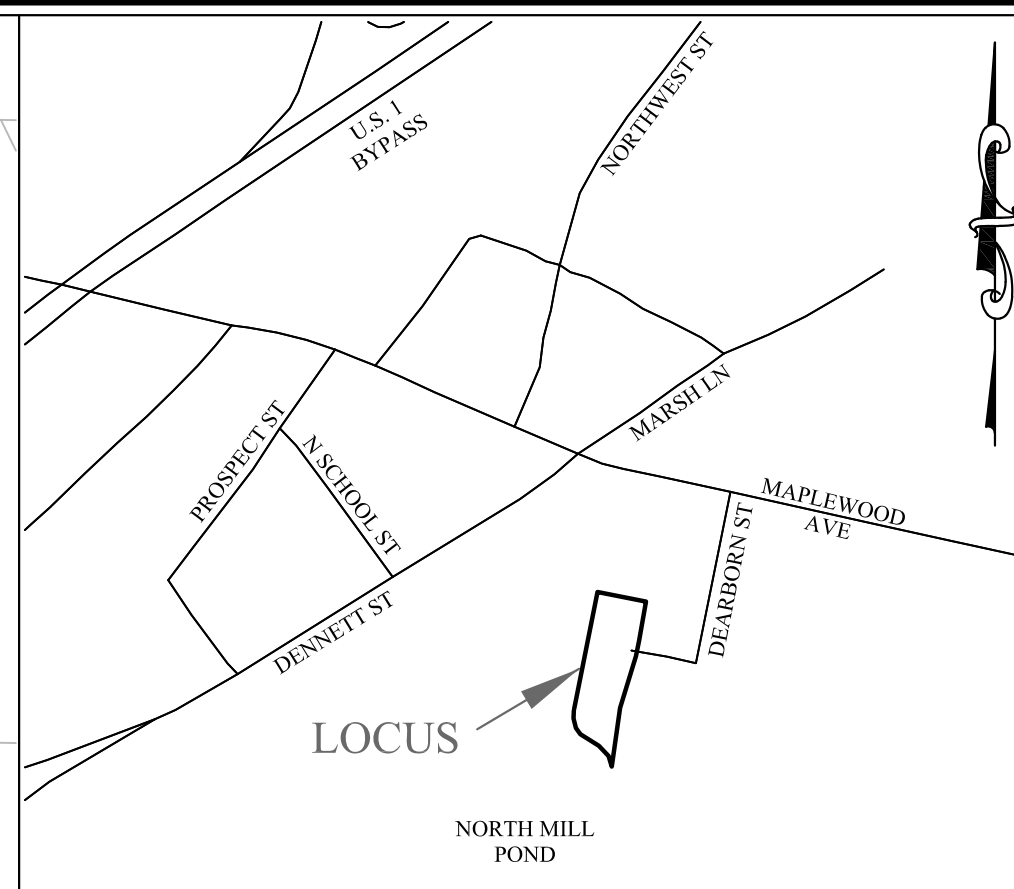
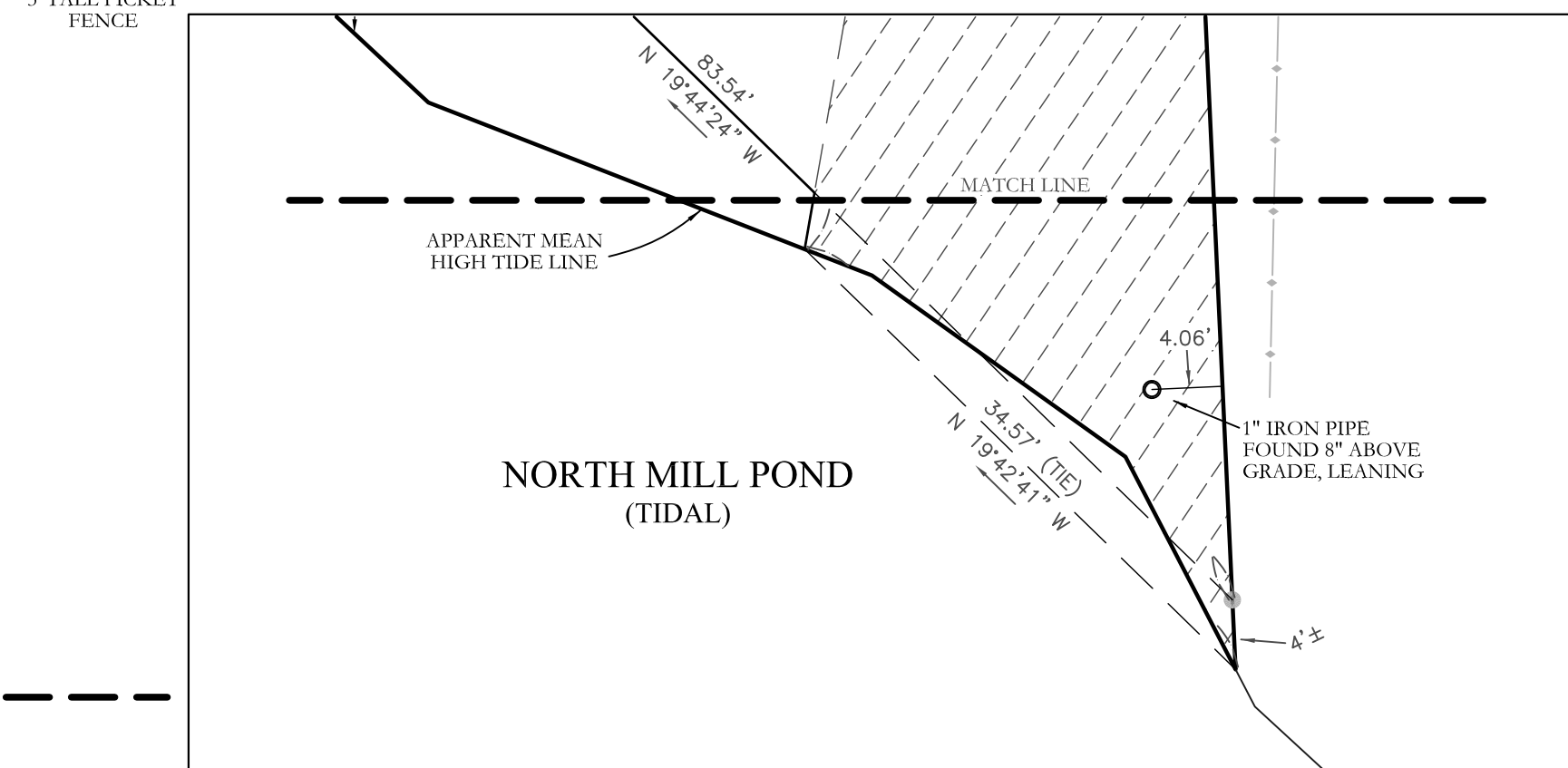
LOT SIZE
11,236± SQ. FT.
0.25± ACRES

AREA OF LOT WITHIN WETLAND BUFFER
11,166± SQ. FT. (99.4% OF TOTAL LOT)

HIGHWATER LINE (REFERENCE LINE - SEE NOTE 9)

REFERENCE POINT "C"

1/2" GALVANIZED PIPE FOUND 8" ABOVE GRADE (HELD)



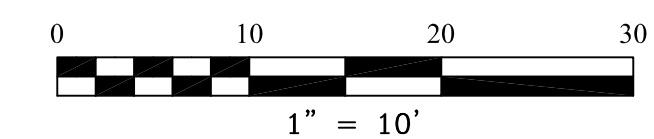
LOCATION MAP
SCALE: 1" = 400'

NOTES:

- REFERENCE: TAX MAP 140 LOT 3 R.C.R.D. BOOK 6450 PAGE 552 R.C.R.D. PLAN D-37444
- TOTAL PARCEL AREA: 11,236 SQ. FT. OR 0.25 AC.
- OWNER OF RECORD: SHAWN & MICHIO BARDONG 39 DEARBORN STREET PORTSMOUTH, NH 03801
- ZONE: GRA - GENERAL RESIDENCE A DIMENSIONAL REQUIREMENTS:
MINIMUM LOT AREA 7,500 SQ. FT.
MINIMUM FRONTAGE 100 R.
MINIMUM FRONT SETBACK 15 R.
MINIMUM SIDE SETBACK 10 R.
MINIMUM REAR SETBACK 20 R.
MAXIMUM STRUCTURE HEIGHT 35 R.
- FIELD SURVEY PERFORMED BY S.D.B. ON 12/1/2022 USING A SPECTRA FOCUS 35 ROBOTIC TOTAL STATION. TRAVERSE ADJUSTMENT IS BASED ON THE COMPASS RULE METHOD OF ADJUSTMENT.
- HORIZONTAL DATUM IS MAGNETIC BASED ON PLAN REFERENCE 1.
- A PORTION OF THIS LOT FALLS WITHIN FLOOD ZONE AE AND ZONE X AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM MAP NUMBER 33015C0259F, EFFECTIVE DATE JANUARY 29, 2021.
- VIEW EASEMENT FOR THE BENEFIT OF TAX MAP 140 LOT 4, TO REMAIN FREE OF ALL TEMPORARY OR PERMANENT STRUCTURES INCLUDING BUT NOT LIMITED TO SHEDS, BUILDINGS, EQUIPMENT, VEHICLE STORAGE OR PARKING, OR OTHER SIMILAR OBSTRUCTIONS OF THE VIEW CORRIDOR.
- TIDAL WETLANDS AND HIGHWATER REFERENCE LINE WERE DELINEATED BY PATRICK D. SEEKAMP, P.W.S., C.W.S. OF SEEKAMP ENVIRONMENTAL CONSULTING.
- THE INTENT OF THIS PLAN IS TO SHOW A BUILDING ADDITION IN REFERENCE TO THE BOUNDARY OF RECORD.

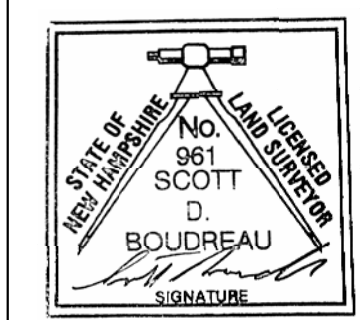
PLAN REFERENCES:

- PLAN TITLED "LOT LINE RELOCATION PLAN FOR JOHN J. & CATHERINE PAUSON AND HAROLD C. & ASTRID LOUISE PASSER, 12-28 DENNETT STREET" DATED NOVEMBER 30, 1983, PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES, R.C.R.D. PLAN D-12123.
- PLAN TITLED "BOUNDARY LINE ADJUSTMENT FOR MICHAEL J. & DIANE REGAN, MAPLEWOOD AVENUE, PORTSMOUTH, NH" DATED SEPT. 1997, PREPARED BY EMERY ENGINEERING, R.C.R.D. PLAN C-27772.
- PLAN TITLED "PLAN OF LAND PREPARED FOR MICHAEL BRANDZEL & HELEN LONG" DATED OCTOBER 1, 2012, PREPARED BY THIS OFFICE, R.C.R.D. PLAN D-37444.



SITE PLAN
LAND OF
SHAWN & MICHIO BARDONG
(TAX MAP 140 LOT 3)
39 DEARBORN STREET
PORTSMOUTH, NH

DRAWN BY: SDB DATE: APRIL 13, 2023
CHECKED BY: ARB DRAWING NAME: 22039BS
JOB NAME: 22039 SHEET: C1



Boudreau Land Surveying, L.L.C.
SCOTT D. BOUDREAU, L.L.S. #961
2 BEATRICE LANE
NEWMARKET, NH 03857
(603) 659-3468