

THE HOTEL AT FOUNDRY PLACE, "LOT 3": 165 DEER STREET, ASSESSORS MAP 125 LOT 17, AND RELATED IMPROVEMENTS TO LOTS 2, 4 AND 5



ARCHITECTS
INTERIORS
PLANNERS

273 CORPORATE DRIVE
PORTSMOUTH, NH 03801
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GEOSIGHT, INC.
GEOTECH & CIVIL
MANCHESTER, NEW HAMPSHIRE

GREENMAN-PEDERSEN, INC.
LANDSCAPE ARCHITECT
PORTSMOUTH, NEW HAMPSHIRE

JSN ASSOCIATES, INC.
STRUCTURAL ENGINEER
PORTSMOUTH, NEW HAMPSHIRE

ENGINEERED SYSTEMS INC.
MPFP ENGINEER
WOBBURN, MASSACHUSETTS

ENGINEERED BUILDING SYSTEMS
ELECTRICAL ENGINEER
DERRY, NEW HAMPSHIRE

**THE HOTEL AT
FOUNDRY PLACE,
"LOT 3": 165 DEER
STREET, ASSESSORS
MAP 125 LOT 17,
AND RELATED
IMPROVEMENTS TO
LOTS 2, 4 AND 5**

PORTSMOUTH, NH 03801

OWNER:
Deer Street Associates

7 BANKS ROCK ROAD
YORK HARBOR, ME

A / E Seal:



Scale:
Date: **3/17/2017**
Project Number: **14837.02**

REVISIONS		
NO.	DESCRIPTION	DATE
1	TAC PUBLIC HEARING	3/17/2017
2	TAC PUBLIC HEARING	11/17/2017
3	TAC PUBLIC HEARING	12/19/2017

SITE PLAN REVIEW

COVER SHEET

T.01 T

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DESIGN TEAM

GEOTECH & CIVIL
GEOSIGHT, INC.
186 GRANITE STREET, 3RD FLOOR, SUITE A
MANCHESTER, NEW HAMPSHIRE
(603) 314-0820

LANDSCAPE ARCHITECT
GREENMAN-PEDERSEN, INC.
21 DANIEL STREET, SECOND FLOOR
PORTSMOUTH, NEW HAMPSHIRE
(603) 891-2213

STRUCTURAL ENGINEER
JSN ASSOCIATES, INC.
1 AUTUM STREET
PORTSMOUTH, NEW HAMPSHIRE
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MECHANICAL / PLUMBING AND FIRE PROTECTION ENGINEER
ENGINEERED SYSTEMS INC.
237 LEXINGTON STREET, SUITE 207
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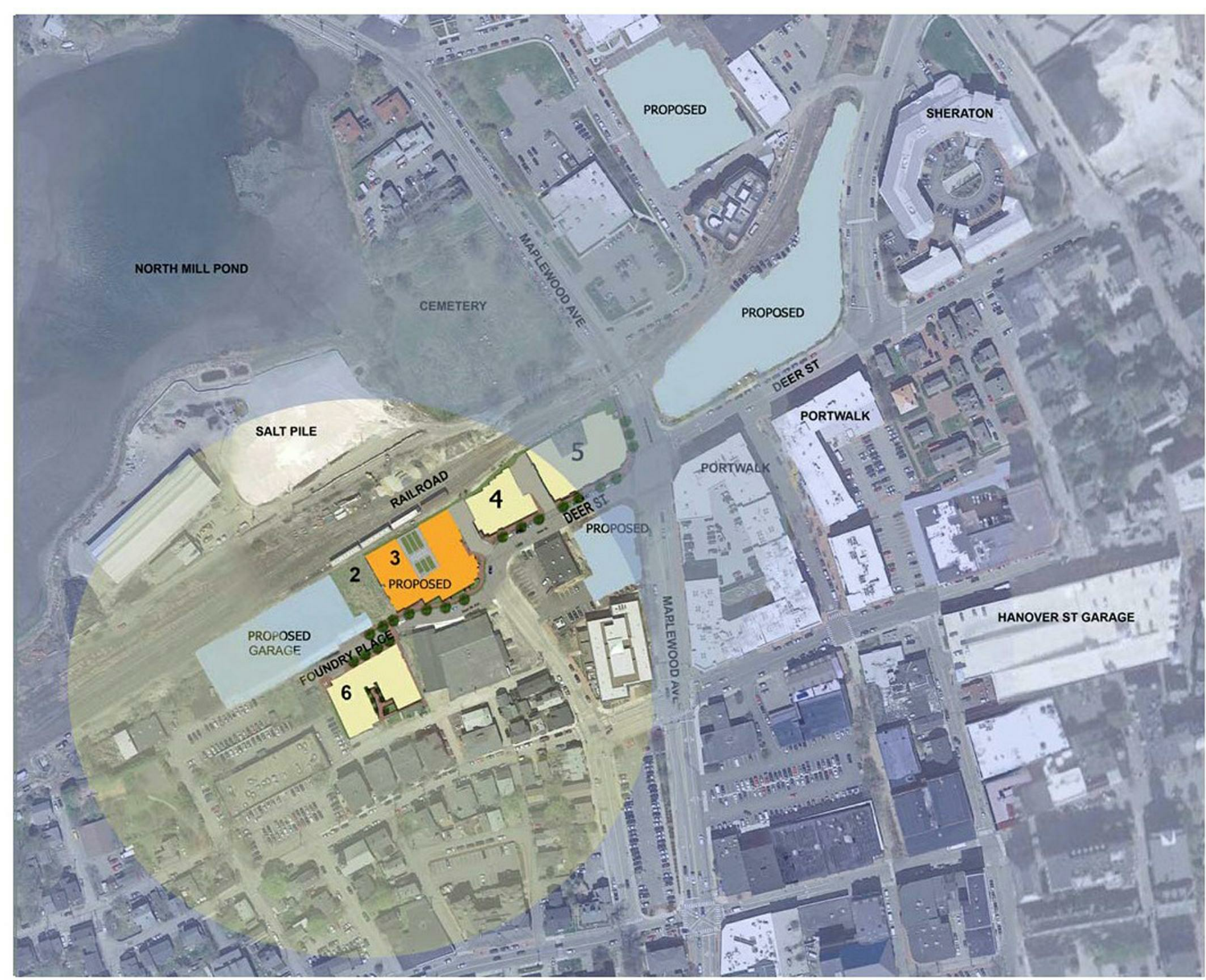
ELECTRICAL ENGINEER
ENGINEERED BUILDING SYSTEMS
22 MANCHESTER ROAD, #8A
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(603) 870-9009

CONSULTANTS

TRAFFIC
GORRILL PALMER
707 SABLE OAKS DRIVE, SUITE 30
SOUTH PORTLAND, MAINE
(207) 772-2515

SIGNAGE & WAYFINDING
CHARLES GIBSON DESIGN
318 BROOK HOLLOW
HANOVER, NEW HAMPSHIRE
(603) 643-3264

LIGHTING
J & M LIGHTING DESIGN, INC.
PO BOX 1959
KENNEBUNKPORT, MAINE
(207) 967-5223



DRAWING SHEET LIST				
SHEET NO.	NAME	3/17/2017	11/17/2017	12/19/2017
COVER SHEETS				
T.01 T	COVER SHEET	•	•	•
T.02 T	ZONING ORDINANCE REQUIREMENTS			
SURVEY				
X1	EXISTING CONDITIONS SITE PLAN - LOTS 1 THROUGH 6	•	•	•
X2	EXISTING CONDITIONS SITE PLAN - LOT 3 DETAIL	•	•	•
CIVIL				
C1.0	GENERAL NOTES 1 OF 2	•	•	•
C1.1	GENERAL NOTES 2 OF 2	•	•	•
C2.0	DEMOLITION PLAN	•	•	•
C3.0	SITE PLAN (SHEET 1 OF 3)	•	•	•
C3.1	SITE PLAN (SHEET 2 OF 3)	•	•	•
C3.2	SITE PLAN - LOT 3/GARAGE SITE RELATION (SHEET 3 OF 3)	•	•	•
C3.3	DEVELOPMENT INCENTIVES PLAN	•	•	•
C3.6	OPEN SPACE PLAN	•	•	•
C4.0	GRADING AND DRAINAGE PLAN	•	•	•
C4.1	GRADING - DETAIL	•	•	•
C4.2	GRADING - DETAIL LOT 2	•	•	•
C4.3	GRADING - DETAIL	•	•	•
C5.0	UTILITY PLAN - SANITARY SEWER	•	•	•
C5.1	UTILITY PLAN - WATER, GAS & ELECTRICAL	•	•	•
C5.2	UTILITY PLAN - ELECTRICAL FOR VFW AND CITY LIGHTS	•	•	•
C6.0	EROSION AND SEDIMENT CONTROL PLAN	•	•	•
C6.1	EROSION CONTROL DETAILS	•	•	•
C7.0	SANITARY SEWER AND DRAINAGE PROFILES	•	•	•
C8.0	SITE DETAILS	•	•	•
C8.1	TRAFFIC DETAILS	•	•	•
C8.2	DRAINAGE DETAILS	•	•	•
C8.3	UTILITY DETAILS 1 OF 2	•	•	•
C8.4	UTILITY DETAILS 2 OF 2	•	•	•
E1	EASEMENT PLAN LOT 2	•	•	•
E2	EASEMENT PLAN LOT 3	•	•	•
E3	EASEMENT PLAN LOT 4	•	•	•
SITE ELECTRIC				
SE1.1	BUILDING #3 ELECTRICAL & COMMUNICATIONS PLAN	•	•	•
SE1.2	BUILDING #3 LIGHTING PLAN	•	•	•
SE1.3	BUILDING #3 PHOTOMETRIC PLAN	•	•	•
SE2.1	SITE ELECTRICAL DETAILS	•	•	•
SE2.2	SITE ELECTRICAL DETAILS	•	•	•
SE2.3	SITE ELECTRICAL DETAILS	•	•	•
SE3.1	SITE ELECTRICAL PLAN	•	•	•
SE3.2	SITE COMMUNICATION PLAN	•	•	•
SED1.1	SITE ELECTRICAL DEMOLITION PLAN - EXISTING CONDITIONS	•	•	•
LANDSCAPE				
L1	MATERIALS PLAN	•	•	•
L2	PLANTING PLAN	•	•	•
L3	INTERIM LOT 4 ACCESS DRIVEWAY AND MATERIALS PLAN	•	•	•
L4	INTERIM LOT 4 ACCESS DRIVEWAY AND PLANTING PLAN	•	•	•
ARCHITECTURAL				
A1.01 T	FIRST FLOOR PLAN	•	•	•
A1.03 T	ROOF PLAN	•	•	•
A2.01 T	EXTERIOR ELEVATIONS	•	•	•
A2.02 T	EXTERIOR ELEVATIONS	•	•	•
A2.03 T	EXTERIOR ELEVATIONS	•	•	•
A3.00 T	3D VIEWS	•	•	•

NOTE:
1. ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.

CITY OF PORTSMOUTH PLANNING BOARD

CHAIRPERSON _____ DATE _____

SITE PLAN REVIEW DECEMBER 19, 2017

12/18/2017 4:33:26 PM C:_Revit Projects 2016\2016 - 837.02 - Deer St. Lot 3 Hotel - CENTRAL - CURRENT 2017-09-11_mpanma.rvt

The Hotel at Foundry Place - Area and Use Summary

November 7, 2017	
Building Name	Use

AREA ANALYSIS								
Floor (below grade) Area	1st Floor Area SF	2nd Floor Area SF	3rd Floor Area SF	4th Floor Area SF	5th Floor Area SF	Floor Area - to inside face of	Total Unit Count	

Building 3 (development incentive 10.5A47.10)	
	Parking Garage
	Multi-Family Dwelling
	Bar
	Balconies and Decks
	Café
	Hotel
	total area

Building 3								
	11,489							
					4,060			
		77	77	77	1,377			
	2,160							
	8,328	22,944	19,683	19,717	14,031		128	
	21,977	23,021	19,760	19,794	19,468	104,020	128	

The Hotel at Foundry Place - Parking Summary

November 7, 2017	
Building Name	Use

PARKING ANALYSIS									
Parking required - Downtown Overlay District 10.1115.20		Parking required - Development Incentive 10.5A47.10		Downtown overlay district - 10.1115.23	Total parking spaces required	Parking spaces provided on site	Parking spaces provided at Municipal Garage (see references below)	Total parking spaces provided	Surplus Parking Spaces
Spaces per residential unit	Quantity	Spaces per residential unit	Quantity	Reduction = 4 parking spaces	Quantity	Quantity	Quantity	Quantity	Quantity

Building 3 (development incentive 10.5A47.10)	
	Parking Garage
	Multi-Family Dwelling
	Bar
	Retail Sales
	Restaurant
	Hotel
	total area

Building 3									
-	-	-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-	-	-
0.75	96	0	0	0	0	0	0	0	0
-	96	-	-	(4.00)	92	78	33	111	19

New Municipal Foundry Place Parking Garage	
Reference City/DSA Post Closing Obligations Agreement & Parking Agreement documents dated 9/09/2016, and per Section 10.1113.111 Municipal Garage Spaces qualify as "off-street parking" as held by City Legal Department.	
DSA Parking Garage spaces - interior	58
DSA Flex Parking Spaces - exterior / interior	10
Total spaces	68

PORTSMOUTH CHARACTER ZONING - D5 - DEER STREET LOT 3 - HOTEL		
	PER CD5	PROPOSED
BUILDING PLACEMENT - PRINCIPAL BUILDING*		
MAXIMUM PRINCIPAL FRONT YARD	5 FT	> 5 FT
MAXIMUM SECONDARY FRONT YARD	5 FT	> 5 FT
SIDE YARD	NR	NR
MINIMUM REAR YARD	GREATER OF 5 FT FROM REAR LOT LINE OR 10 FT FROM CENTER LINE OF ALLEY	5 FT
* EXCEPT FOR ITEMS LISTED UNDER SECTION 10.5A42.12		
BUILDING AND LOT OCCUPATION		
MAXIMUM BUILDING BLOCK LENGTH	225 FT	174'-9"
MAXIMUM FAÇADE MODULATION LENGTH	100 FT	68'-8" FT
MAXIMUM ENTRANCE SPACING	50 FT	MAX <50 FT
MAXIMUM BUILDING COVERAGE	95%	83%
MAXIMUM BUILDING FOOTPRINT (INCLUDES INCREASED FOOTPRINT INCENTIVE)	30,000 SF	21,977
MINIMUM LOT AREA	NR	NR
MINIMUM LOT AREA PER DWELLING UNIT	NR	NR
MINIMUM OPEN SPACE	5%	10%
BUILDING FORM - PRINCIPAL BUILDING		
BUILDING HEIGHT (INCLUDES INCREASED HEIGHT INCENTIVE)	50 FT + 10 FT + 2 FT	49 FT-9" + 10 FT + 2 FT = 61 FT-9"
BUILDING STORIES (INCLUDES INCREASED HEIGHT INCENTIVE)	4 STORIES + 1 STORY	5 STORIES
MAXIMUM FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE	36 INCHES	< 36 INCHES
MINIMUM GROUND STORY HEIGHT	12 FT	15 FT
MINIMUM SECOND STORY HEIGHT	10 FT	13 FT
FAÇADE GLAZING		
SHOPFRONT FAÇADE	70% MIN.	72%
OTHER FAÇADE TYPES	20% MIN TO 50% MAX	38%
ROOF TYPE		
	FLAT, GABLE, HIP, GAMBREL, MANSARD	FLAT
ROOF PITCH, IF ANY		
	FLAT	FLAT

SUMMARY OF APPROVED VARIANCES BY LOT	
LOT 2 (APPROVED JULY 18, 2017)	1. A VARIANCE FROM SECTION 10.440 TO ALLOW A SURFACE PARKING LOT AS A PRINCIPAL USE WHERE SUCH USE IS NOT ALLOWED.
	2. A VARIANCE FROM SECTION 10.5A44 TO ALLOW A PARKING LOT THAT DOES NOT COMPLY WITH THE REQUIREMENTS OF THE ORDINANCE.
LOT 3 (APPROVED MAY 16, 2017)	1. A VARIANCE FROM SECTION 10.516.20 TO ALLOW A 5' +/- REAR YARD ADJOINING A RAILROAD RIGHT-OF-WAY WHERE 15' IS REQUIRED.
	2. A VARIANCE FROM SECTION 10.1114.21 TO ALLOW 62 PARKING SPACES UTILIZING A TWO-CAR LIFT SYSTEM IN EACH BAY THAT DOES NOT MEET THE REQUIRED DIMENSIONS FOR PARKING SPACES.
	3. A VARIANCE FROM SECTION 10.1114.32(a) TO ALLOW VEHICLES TO ENTER AND LEAVE PARKING SPACES BY PASSING OVER ANOTHER PARKING SPACE OR REQUIRING THE MOVING OF ANOTHER VEHICLE.
LOT 4 (APRIL 18, 2017)	1. A VARIANCE UNDER SECTION 10.440, USE #19.40 TO ALLOW A DRIVE-THROUGH FACILITY AS AN ACCESSORY USE.
	2. A VARIANCE FROM SECTION 10.516.20 TO ALLOW A 5' +/- REAR YARD ADJOINING A RAILROAD RIGHT-OF-WAY WHERE 15' IS REQUIRED.
	3. A VARIANCE FROM 10.5A41.10D TO ALLOW A FRONT LOT LINE BUILDOUT OF 66% +/- WHERE 80% IS REQUIRED.
	4. A VARIANCE FROM SECTION 10.835.31 TO ALLOW AN OUTDOOR SERVICE FACILITY (ATM) 49.7' +/- FROM THE REAR LOT LINE AND 48' +/- FROM THE FRONT LOT LINE WHERE 50' IS REQUIRED FOR EACH.
	5. A VARIANCE FROM SECTION 10.835.32 TO ALLOW A DRIVE-THROUGH BYPASS LANE 11.3' +/- FROM A LOT LINE WHERE 30' IS REQUIRED.



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DERRY, NEW HAMPSHIRE

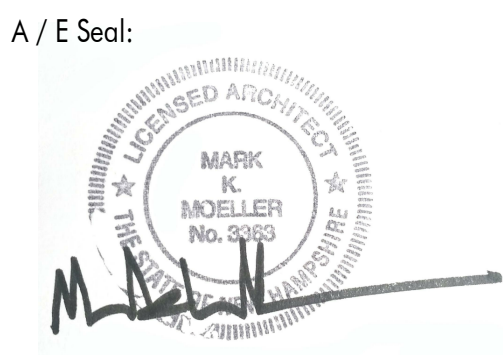
THE HOTEL AT FOUNDRY PLACE, "LOT 3": 165 DEER STREET, ASSESSORS MAP 125 LOT 17, AND RELATED IMPROVEMENTS TO LOTS 2, 4 AND 5

PORTSMOUTH, NH 03801

OWNER:

Deer Street Associates

7 BANKS ROCK ROAD
YORK HARBOR, ME



Scale:

Date: **3/17/2017**

Project Number: **14837.02**

REVISIONS		
NO.	DESCRIPTION	DATE
2	TAC PUBLIC HEARING	11/17/2017
3	TAC PUBLIC HEARING	12/19/2017

SITE PLAN REVIEW

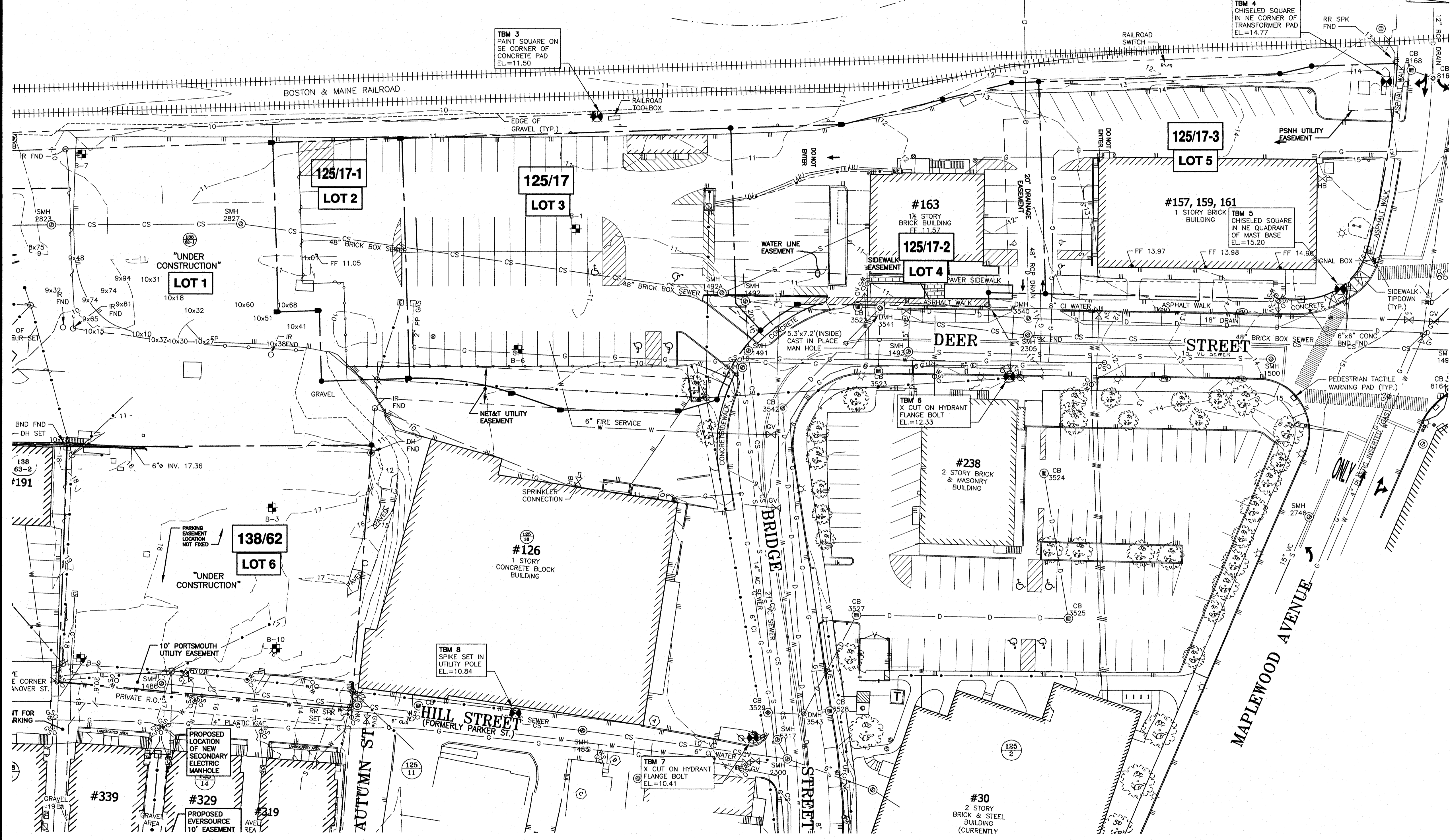
ZONING ORDINANCE REQUIREMENTS

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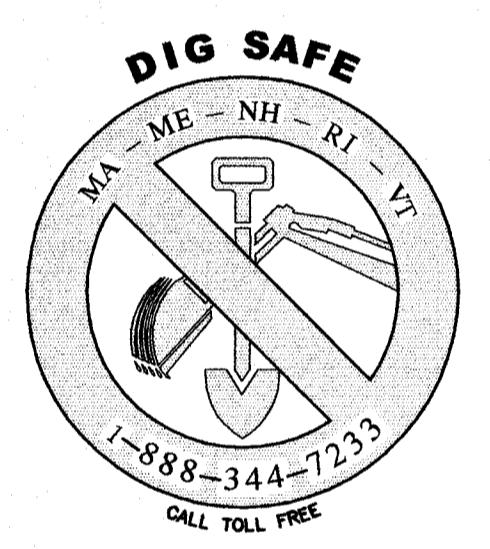
ABUTTERS LIST

- | | | | | | | |
|---|---|--|--|---|---|--|
| 125
1
N/F HANOVER APARTMENTS, LLC
c/o CATHARTIS PRIVATE INVESTMENTS
11 BEACON STREET, SUITE 1120
BOSTON, MA 02108
5387/2814 | 125
3
N/F EMERSON HOVEY
POST 168 VW
238 DEER STREET
PORTSMOUTH, N.H. 03801 | 125
14
N/F HILL HANOVER GROUP, LLC
c/o JPK PROPERTIES, LLC
1 NEW HAMPSHIRE AVENUE, #125
PORTSMOUTH, N.H. 03801
4356/10 | 125
21
N/F NORTH END
MASTER DEVELOPMENT L.P.
501 DANFORTH STREET
PORTLAND, ME 04102
5569/2553 | 138
60
N/F CITY OF PORTSMOUTH
P.O. BOX 628
PORTSMOUTH, N.H. 03802 | 138
63
N/F KEARSARGE MILL
CONDOMINIUM ASSOCIATION
191 HILL STREET
PORTSMOUTH, N.H. 03801
2596/1585
D-14855 | 164
4
N/F BOSTON & MAINE
CORPORATION
IRON HORSE PARK
HIGH STREET
NORTH BILLERICA, MA 01862 |
| 125
2
N/F THIRTY MAPLEWOOD, LLC
117 BOW STREET
PORTSMOUTH, N.H. 03801
5099/2424 | 125
11
N/F 136 HILL STREET
CONDOMINIUM ASSOCIATION
136 HILL STREET
PORTSMOUTH, N.H. 03801
4823/873
C-34853 | 125
16
N/F JOHN W. GRAY REVOCABLE TRUS
BRADFORD A. GRAY REVOCABLE TRUS
7 PATRIOTS WAY
RYE, N.H. 03870
3895/643 | 126
24
N/F GOWEN G. EDWARD, Jr.
REVOCABLE LIVING TRUST
GOWEN G. EDWARD, Jr., TRUSTEE
355 GREAT BAY ROAD
GREENLAND, N.H. 03840
4327/2531 | 138
61
N/F PETER HAPPNY
66 ROCK STREET
PORTSMOUTH, N.H. 03801
2302/1079
D-31107 | 138
64
N/F HANOVER PLACE
CONDOMINIUM ASSOCIATION
349 HANOVER STREET
PORTSMOUTH, N.H. 03801
4607/16
D-33379 | |



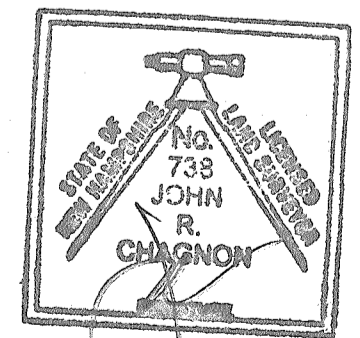
AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 438-2315

- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
 - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 3) SEE SHEETS X2 FOR LOT 3 PARCEL INFORMATION.
 - 4) THE PROPERTIES INCLUDE A RESTRICTIVE COVENANT GRANTED BY BOSTON & MAINE RAILROAD TO PRECLUDE CONSTRUCTION OF ANY PERMANENT OR TEMPORARY BUILDINGS WITHIN 10' OF THE NORTHERLY PROPERTY LINE OF LOTS 125/17 TO 17-3. SEE RCRD BOOK 5791 PAGE 2556 & RCRD D-39951.



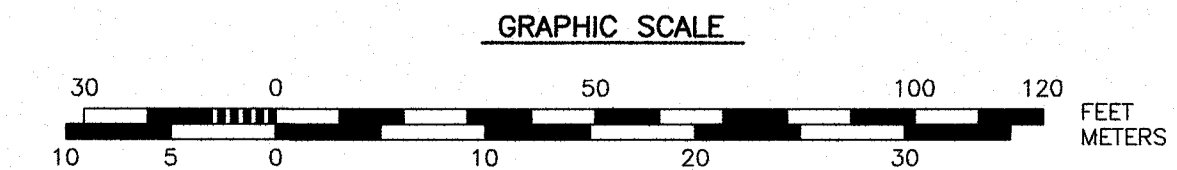
DEER STREET ASSOCIATES, INC.
SITE REDEVELOPMENT
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
2	REVISED FEATURES	12/19/17
1	NOTE 4	2/9/17
0	ISSUED FOR COMMENT	11/14/16



SCALE: 1" = 30' OCTOBER 2016

EXISTING CONDITIONS
SITE PLAN **X1**



Overlay Districts

- DOD Downtown Overlay District
- HD Historic District

Character Districts

- CD5 Character District 5
- CD4 Character District 4
- CD4-W Character District 4-W
- CD4-L1 Character District 4-L1
- CD4-L2 Character District 4-L2

Civic District

- CIVIC Civic District

Other Districts

- M Municipal District
- TC Transportation Corridor

Legend

Height requirement area

- 1 Story 20'
- 2 Stories 35'
- 2-3 Stories (short 3rd) 35'
- 2-3 Stories 40'
- 2-3 Stories (short 4th) 45'
- 2-4 Stories 50'
- 2-4 Stories (short 5th) 60'
- 2-5 Stories 60'

Maximum building height*

Incentive Overlay Districts

Within the Incentive Overlay Districts, certain specified development standards, including height, density and parking, may be modified pursuant to Section 10.5A47.

- North End Incentive Overlay District

Legend

Required Façade Types

- Shopfront façade type
- Step, stoop or recessed entry façade type
- Officefront façade type

EASEMENT AND RESTRICTION NOTES:

- SUBJECT PARCELS ARE SUBJECT TO ALL MATTERS SET FORTH IN R.C.R.D. 5751/1470 INCLUDING, BUT NOT LIMITED TO:
 - AN ACCESS EASEMENT ACROSS TAX MAP 138 LOT 62-1 BENEFITING TAX MAP 125 LOT 17 TAX AND MAP 125 LOT 17-1.
 - BENEFITING FROM AN ACCESS EASEMENT FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS TO AND FROM BRIDGE STREET, AS DESCRIBED IN R.C.R.D. 2602/564 AND AMENDED IN R.C.R.D. 5701/2460.
 - THE RIGHT TO RELOCATE ANY UNDERGROUND FACILITIES, DRAINAGE CULVERTS, WALLS, CROSSINGS AND/OR OTHER STRUCTURES ON THE SUBJECT PARCEL.
- RESTRICTIONS REGARDING CLAIMS AGAINST BOSTON AND MAINE CORPORATION FOR ENVIRONMENTAL ISSUES, SEE R.C.R.D. 5453/138.
- RIGHTS OF THE CITY AND PUBLIC IN AND TO EXISTING SEWER AND STORM WATER LINES.
- EASEMENT TO PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE, SEE R.C.R.D. 3017/615.
- ALL STATE OF FACTS AS APPEAR ON A PLAN ENTITLED "ALTA/NSPS LAND TITLE SURVEY, PORTION OF TAX MAP 138 LOT 62 & TAX MAP 125 LOT 17, OWNER OF RECORD: DEER STREET ASSOCIATES" DATED APRIL 2016, PREPARED BY AMBIT ENGINEERING, INC.
- ALL MATTERS NOTED, DESCRIBED, OR SHOWN ON R.C.R.D. PLAN D-39699.

- SEE ALSO RELEASE DEEDS FROM BOSTON AND MAINE CORPORATION TO DEER STREET ASSOCIATES, R.C.R.D. 5751/1440, 5757/1443, 5751/1449, 5757/1451, AND 5751/1455.
- SEE ALSO AMENDMENT TO LEASE AND NOTICE OF LEASE, R.C.R.D. 5751/1466.
- SUBJECT PARCEL 17-1 SUBJECT TO A PERMANENT CONSTRUCTION AND MAINTENANCE EASEMENT FOR THE BENEFIT OF TAX MAP 138 LOT 62-1. SEE R.C.R.D. 5751/1492.
- SEE ALSO R.C.R.D. 5751/1504 FOR AGREEMENT REGARDING RELOCATION OF UNDERGROUND UTILITIES.
- PARCELS ARE BEFITTED BY A DECLARATION OF RESTRICTIVE COVENANT RECORDED AT RCRD 5791/2556.

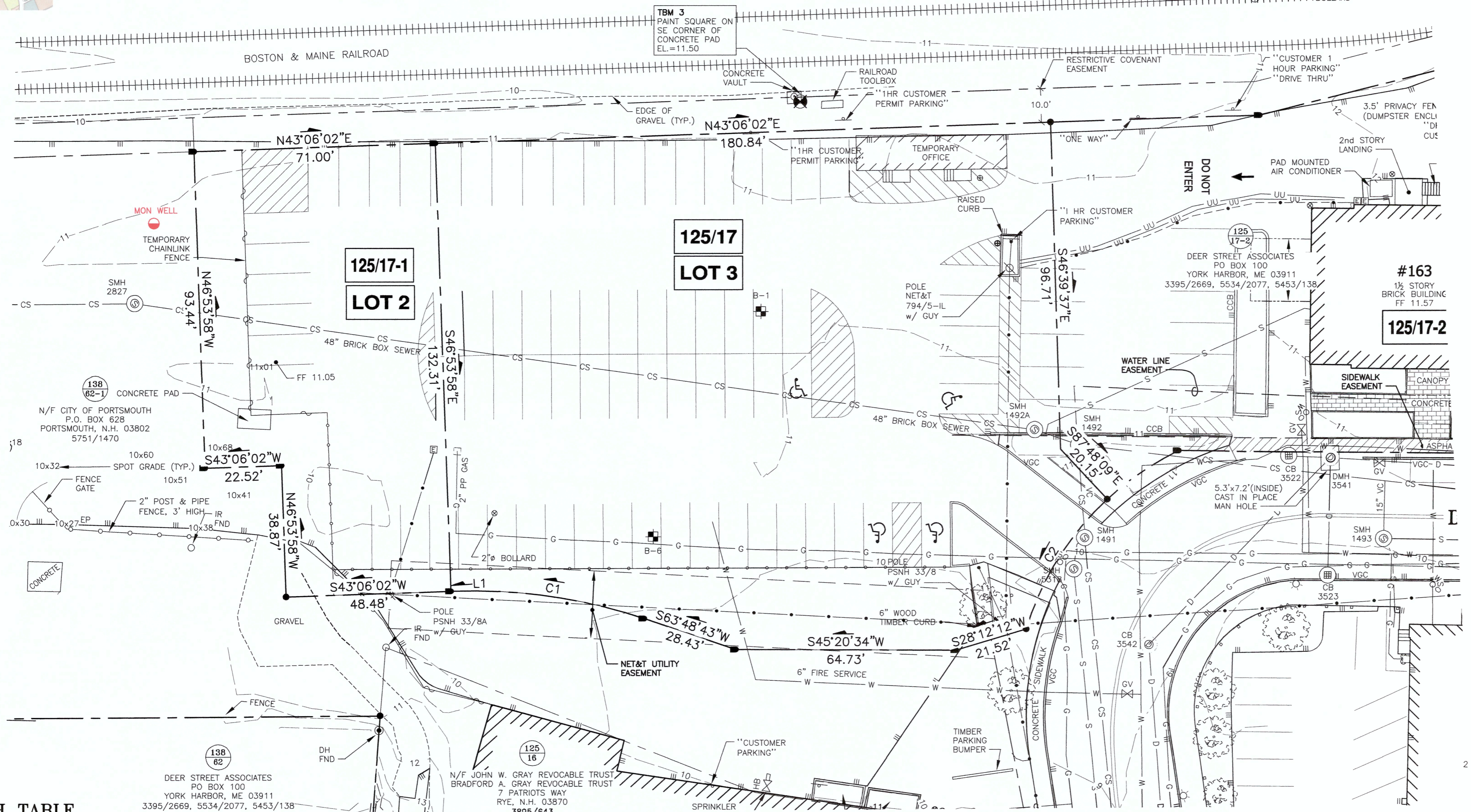
LEGEND:

N/F	NOW OR FORMERLY RECORD OF PROBATE	HYD	HYDRANT
RP	ROCKINGHAM COUNTY REGISTRY OF DEEDS	W/E	METER (GAS, WATER, ELECTRIC)
RCRD	MAP 11 / LOT 21	CB	CATCH BASIN
RR SPK FND	RAILROAD SPIKE FOUND/SET	DMH	TELEPHONE MANHOLE
IR FND	IRON ROD FOUND/SET	SMH	SEWER MANHOLE
IP FND	IRON PIPE FOUND/SET	DMH	DRAIN MANHOLE
DH FND	DRILL HOLE FOUND/SET	B-1	TEST BORING
CONC BND w/DH	CONCRETE BOUND w/ DRILL HOLE	AC	AIR CONDITIONER UNIT SIGNS
ST BND w/DH	STONE BOUND w/DRILL HOLE	CI	ASBESTOS CEMENT PIPE
FM	FORCE MAIN	DI	CAST IRON PIPE
S	SEWER LINE	DI	DUCTILE IRON PIPE
G	GAS LINE	PVC	POLYVINYL CHLORIDE PIPE
D	STORM DRAIN	RCP	REINFORCED CONCRETE PIPE
W	WATER LINE	VC	VITRIFIED CLAY PIPE
UNDERGROUND ELECTRIC OVERHEAD ELECTRIC/WIRES		PP	PLASTIC PIPE
CHAIN LINK FENCE		EL	ELEVATION
CONTOUR		EP	EDGE OF PAVEMENT
100	SPOT ELEVATION	FF	FINISHED FLOOR
97x3	EDGE OF PAVEMENT (EP)	INV	INVERT
U/P	UTILITY POLE (w/ GUY)	TBM	TEMPORARY BENCHMARK
SHUT OFF (GAS / WATER)		TYP.	TYPICAL
GATE VALVE		VGC/SGC	VERTICAL/SLOPED GRANITE CURB
		CCB	CAPE COD BERM
		AG	ABOVE GRADE

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Civil Engineers & Land Surveyors
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Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 125 AS LOTS 17-1 AND 17.
- OWNERS OF RECORD:
DEER STREET ASSOCIATES
PO BOX 100
YORK HARBOR, ME
3395/2669, 5534/2077, 5453/138
- PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 330150295E, EFFECTIVE DATE MAY 17, 2005.
- EXISTING LOT AREAS:
LOT 17:
26,503 S.F.
0.6084 ACRES
LOT 17-1:
8,519 S.F.
0.1956 ACRES
- PARCEL IS LOCATED IN THE CD5 CHARACTER BASED ZONING DISTRICT.
- DIMENSIONAL REQUIREMENTS:
SEE ZONING ORDINANCE
- THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON THE SUBJECT PARCELS.
- HORIZONTAL DATUM AND BASIS OF BEARING IS NEW HAMPSHIRE STATE PLANE NAD83(2011). BASIS OF HORIZONTAL DATUM IS RTK GPS OBSERVATIONS.
- VERTICAL DATUM IS MEAN SEA LEVEL-NAVD88. BASIS OF VERTICAL DATUM IS NGS PID 0C0290 - B 2 1923, ELEVATION 19.55.
- THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

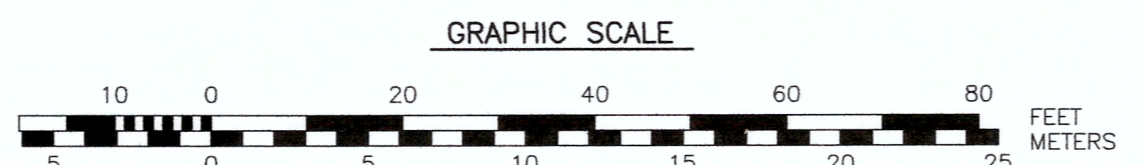


LENGTH TABLE

LINE	BEARING	DISTANCE
L1	S43°06'02"W	1.34'

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	155.00'	56.30'	55.99'	S53°24'20"W	20°48'45"
C2	86.00'	45.63'	45.10'	S13°00'13"E	30°24'08"



DEER STREET ASSOCIATES, INC. SITE REDEVELOPMENT PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	ISSUED FOR SUBMISSION	12/19/17
0	ISSUED FOR COMMENT	11/16/17

REVISIONS

DIG SAFE

MA - ME - NH - RI - VT

1-888-344-7233

CALL TOLL FREE

SCALE: 1" = 20' NOVEMBER 2017

EXISTING CONDITIONS SITE PLAN

X2

- THESE PLANS ARE BASED ON THE "EXISTING CONDITIONS SITE PLAN" PRODUCED BY AMBIT ENGINEERING, INC. WITH AN INITIAL ISSUED DATE OF 11/14/16 AND "FOUNDRY PLACE PARKING GARAGE" BY TIGHE AND BOND, INC WITH AN ISSUE DATE OF 07/28/2017. SEE THE EXISTING CONDITION SITE PLAN FOR BENCHMARK INFORMATION AND THE FOUNDRY PLACE PARKING GARAGE PLAN SET FOR FOUNDRY PLACE DETAILS.
- THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT IN RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS, AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSPECTIONS, BONDS, ETC., AND OTHER APPROVAL RELATED ITEMS. NO CONSTRUCTION SHALL COMMENCE UNTIL SUCH PERMITS HAVE BEEN SECURED.
- METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS FOR THIS PROJECT SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE NHDOT, STATE, AND CITY OF PORTSMOUTH REGULATIONS, SPECIFICATIONS, AND ORDINANCES, UTILITY EASEMENTS, AND APPLICABLE CODES.
- CONTRACTOR TO CONFIRM AND VERIFY THE VALIDITY, LOCATION, MATERIAL, AND AVAILABILITY TO USE EXISTING UTILITIES ON OR NEAR THE PROJECT SITE PROPERTY. CONTRACTOR TO LOCATE EXISTING UTILITIES AND CONFIRM SAID UTILITIES WITH ALL APPLICABLE MUNICIPALITIES AND UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION. ONCE UTILITIES HAVE BEEN CONFIRMED IN THE FIELD BY CONTRACTOR AND VERIFIED BY APPLICABLE MUNICIPALITY AND UTILITY COMPANY AND CONNECTION HAS BEEN APPROVED BY ENTITY, ONLY THEN SHALL THE CONTRACTOR CONSTRUCT AND UTILIZE THESE UTILITIES. CONTRACTOR TO IMMEDIATELY INFORM THE ENGINEER OF RECORD OF ANY DEVIATIONS TO PLANS.
- THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF NECESSARY. THE EXISTENCE AND/OR LOCATION OF UTILITIES SHOWN ON THESE PLANS MAY BE ONLY APPROXIMATELY CORRECT AND THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN HEREIN AND ANY OTHER EXISTING UTILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST THREE WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS, PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION. ALL WATER, SEWER, ELECTRIC, AND OTHER UTILITIES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- RELOCATION OF ANY UTILITIES SHALL BE AT THE CONTRACTOR'S EXPENSE AND COMPLETED WITH THE UTILITY WORK. THE OWNER AND ENGINEER SHALL BE NOTIFIED IN WRITING AS TO THE RELOCATIONS REQUIRED AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, WITH MATCHING MATERIALS, ANY PAVEMENT, WALKS, CURBS, ETC., THAT MUST BE CUT OR THAT ARE DAMAGED DURING CONSTRUCTION.
- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE DOCUMENTS AND SUBSEQUENT ISSUED PLAN REVISIONS. ANY DEVIATIONS FROM THESE DOCUMENTS SHALL REQUIRE NOTIFICATION TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTING ANY CHANGE. THE CONTRACTOR WILL OTHERWISE BE WORKING AT THEIR OWN RISK.
- ALL WATER, DRAIN, AND SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF PORTSMOUTH RULES, SPECIFICATIONS, AND REGULATIONS.
- GROUNDWATER SHALL BE TEMPORARILY LOWERED TO A MINIMUM OF 2' BELOW EXCAVATIONS. CONTRACTOR SHALL REPAIR ADVERSE IMPACTS FROM REMOVAL OF SOIL AT ITS OWN EXPENSE.
- DISCHARGE FROM DEWATERING ACTIVITIES SHALL BE INFILTRATED ONSITE. IF DISCHARGE IS UNABLE TO BE INFILTRATED THEN CONTRACTOR SHALL OBTAIN A DEWATERING PERMIT FROM THE CITY TO DISCHARGE INTO THE CITY'S STORM DRAIN OR SEWER, OR PROPERLY TRANSPORT AND DISPOSE OF OFFSITE PER FEDERAL, STATE AND LOCAL REGULATIONS.
- THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS UTILITY SERVICE AND ACCESS TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. IF A TEMPORARY DISCONNECT OF UTILITIES OR ACCESS IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER, THE OWNER, AND THE PLACE OF BUSINESS OR HOME OWNER 3 DAYS PRIOR TO THE DAY OF THE DISCONNECTION.
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS, LATEST REVISIONS.

- THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY, AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS WITH ALL UPDATED INFORMATION ON THE PROJECT SITE AND INPUT INFORMATION TO A DIGITAL/ ELECTRONIC FORMAT AT LEAST MONTHLY. AS-BUILT INFORMATION MUST BE FORWARDED TO THE OWNER AND ENGINEER MONTHLY FOR APPROVAL, AND BE USED TO PREPARE A FINISHED SET OF PLANS.

D I M O L I T O T O T O

- THE DEMOLITION PLAN OR THE EXISTING CONDITIONS SITE PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THE TIME OF DEMOLITION INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET ROW, OR ON ABUTTING LOTS.
- THE CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES. REQUEST FOR MARKINGS CAN BE MADE BY CALLING DIG-SAFE AT 1-888-344-7233, AND THE CITY OF PORTSMOUTH DPW AT 603-427-1530 AT LEAST 72 HOURS PRIOR TO EXCAVATION. STREET OPENING PERMITS SHOULD ALSO BE FILED AT THAT TIME.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE NOT GUARANTEED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL PERMIT APPROVALS.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
- ALL EXISTING UTILITY SERVICE CONNECTIONS TO BUILDING BEING REMOVED SHALL BE ABANDONED UNLESS NOTED OTHERWISE. THE WATER AND SEWER SERVICES SHALL BE CUT AND CAPPED AT THE MAIN IN THE STREET BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY OF PORTSMOUTH STANDARDS. THE EXISTING GAS, ELECTRIC AND/OR CATV INSTALLATION AND ABANDONMENT OF EXISTING CONNECTIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE COMPANIES.
- ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED BY THE OWNER. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES, AND CODES.
- FINAL DEMARCATION POINTS FOR GAS, ELECTRIC, TELEPHONE, AND COMMUNICATION SERVICE ENTRANCES ARE SUBJECT TO APPROVALS OF EACH PROVIDER.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER REGARDING ANY COURTESY ABUTTER NOTIFICATIONS THAT MAY BE WARRANTED.
- THE CONTRACTOR SHALL SAWCUT AND REMOVE PAVEMENT FOR UTILITY CONSTRUCTION OR REMOVAL AND CONSTUCT TRENCH PATCH AFTER INSTALLATION.
- NO TRENCHES ARE ALLOWED TO REMAIN OPEN OVERNIGHT. ALL TRENCHES SHALL BE BACKFILLED AT THE END OF THE WORK DAY OR COVERED WITH STEEL PLATES PER STATE AND LOCAL REGULATIONS AND SPECIFICATIONS. IF STEEL PLATES ARE USED, THE TOTAL LENGTH OF PLATES IN THE TRAVELED WAY SHALL BE LIMITED TO 50'.
- PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDERGROUND PIPING, POLES, SIGNS, FENCES,RAMPS, WALLS, BOLLARDS, TREES AND LANDSCAPING AS MAY BE APPLICABLE.
- REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL EMPLOY A LICENSED SURVEYOR TO REPLACE ANY DISTURBED MONUMENTATION.

- COORDINATE WORK WITH OTHER CONTRACTORS AS MAY BE APPLICABLE. ALSO COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
 - WATER & SEWER: CITY OF PORTSMOUTH
CONTACT: DAVE DESFOSSES
PHONE: (603) 427-1530
 - ELECTRIC: EVERSOURCE ENERGY
CONTACT: NICK KOSKO
PHONE: (603) 332-4227 EXT. 5555334
 - TELEPHONE/DATA: FAIRPOINT COMMUNICATIONS
CONTACT: JOSEPH CONSIDINE
PHONE: (603) 427-5525
 - CABLE/DATA: COMCAST
CONTACT: MIKE COLLINS
PHONE: (603) 679-5695 EXT. 1037
 - GAS: UNITIL
CONTACT: DAVID BEAULIEU
PHONE: (603) 294-5144
- PROPOSED GAS LINE, AND ELECTRIC, TELEPHONE, AND CABLE (ETC) CONDUIT LOCATIONS AND CONFIGURATIONS ARE APPROXIMATE. PRIOR TO CONSTRUCTION CONTRACTOR TO COORDINATE FINAL LOCATION, MATERIALS AND SPECIFICATIONS WITH INDIVIDUAL UTILITY COMPANIES.
- WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHENEVER IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND THE SEWER MAIN SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
- ALL EXISTING UTILITY SERVICES LOCATED WITHIN THE WORK AREA ARE TO BE CUT, CAPPED AND ABANDONED AT THE MAIN (OR SOURCE) OR AS DIRECTED BY THE DEPARTMENT OF PUBLIC WORKS OR APPLICABLE UTILITY PROVIDER.
- ALL UTILITIES SHOWN ON THIS SITE ARE TO THE EXTERIOR OF THE BUILDING FOUNDATION ONLY. UTILITIES THROUGH THE FOUNDATION, ABOVE FINISH GRADE AND CONNECTED TO THE BUILDING, AND INSIDE THE BUILDING ARE THE RESPONSIBILITY OF THE MECHANICAL AND/ OR PLUMBING ENGINEER AS SHOWN ON THE BUILDING AND/OR ARCHITECTURAL PLANS.
- ALL UTILITY WORK PERFORMED WITHIN RIGHT-OF-WAY SHALL BE PERFORMED BY A CONTRACTOR LICENSED BY THE CITY OF PORTSMOUTH AND WHO HAS OBTAINED A PERMIT FOR SUCH WORK FROM THE DPW, IF REQUIRED.
- ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS, AND NOT BE ALLOWED TO ACCUMULATE FOR MORE THAN THREE CONSECUTIVE DAYS. SITE SHALL BE KEPT FREE AND CLEAR OF ALL DEBRIS AND TRASH AT ALL TIMES. ALL DEBRIS SHALL BE STORED IN SEGREGATED RECYCLING TOTES/ BINS/ CONTAINERS AND TRANSPORTED TO AN APPROPRIATE RECYCLING CENTER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL UTILITIES AS SHOWN ON THESE PLANS IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS AND STANDARDS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFICATIONS OF MATERIALS AND INSTALLATION PROCEDURES AND INSTALL IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE TO CONTACT AND DETERMINE, COORDINATE AND SCHEDULE ALL NECESSARY INSPECTIONS AND MONITORING WITH ALL APPROPRIATE UTILITY COMPANIES.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO PERFORM THE WORK.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE PROJECT BENCHMARK AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE RESTORATION AND CLEAN UP UPON COMPLETION OF ITS WORK.

- WATER AND SEWER TESTING TO CONFORM TO CITY OF PORTSMOUTH REGULATIONS, REQUIREMENTS, AND SPECIFICATIONS. COORDINATE TESTING OF SEWER AND WATER LINE CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- ALL MECHANICAL JOINTS TO BE MEGALUG SERIES 1100 INSTALLED IN ACCORDING WITH MANUFACTURER RECOMMENDATIONS OR APPROVED EQUAL.
- ALL SEWER AND WATER PIPE MATERIALS, STRUCTURES, APPURTENANCES AND INSTALLATION SHALL BE IN ACCORDANCE TO THE CITY OF PORTSMOUTH CONSTRUCTION SPECIFICATIONS AND REQUIREMENTS.
- ALL GRAVITY SEWER PIPE SHALL BE PVC (SDR35) AND BE GREEN IN COLOR, UNLESS PLANS STATE OTHERWISE.
- ALL WATER MAIN AND SERVICE PIPE SHALL BE DUCTILE IRON CEMENT LINED (DICL) CLASS 52.
- ALL HYDRANTS, VALVES, AND FITTINGS SHALL MEET CITY OF PORTSMOUTH SPECIFICATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, COVERS, PLATES, ANCILLARY MATERIALS AND HARDWARE, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION COMPLETE AND OPERATIONAL AND ACCEPTABLE TO THE CITY OF PORTSMOUTH AND PRIVATE UTILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION SHALL BE FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- TRENCH AREAS FOR THE CONSTRUCTION OF THE UNDERGROUND UTILITIES ARE TO BE REPATCHED WITH SAME MATERIAL AT THE SAME DEPTH AS THE EXISTING MATERIAL (SEE UTILITY TRENCH DETAILS). THE AREAS OF TRENCHING SHALL BE NEATLY SAW-CUT AND THE NEW REPATCHING MATERIAL SHALL BE PROPERLY SEALED IN ACCORDANCE WITH THE PLAN DETAILS AND THE CITY OF PORTSMOUTH SPECIFICATIONS AND REQUIREMENTS.
- DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED AND PROTECTED AGAINST CAVE-IN.
- SEE ELECTRICAL AND PLUMBING PLANS FOR ADDITIONAL UTILITY NOTES.
- CONTRACTOR SHALL COORDINATE ALL FINAL APPROVALS ASSOCIATED WITH GAS, ELECTRIC, TELEPHONE, AND CABLE WITH APPROPRIATE UTILITY PROVIDER.

R O O T R O L O T O

SEE SHEET C6.1 FOR GENERAL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS.



273 CORPORATE DRIVE
PORTSMOUTH, NH 03801
T 603.436.2551
F 603.436.6973
www.jsainc.com

GEONSIGHT, INC.
GEOTECH & CIVIL
MANCHESTER, NEW HAMPSHIRE

GREENMAN-PEDERSEN, INC.
LANDSCAPE ARCHITECT
PORTSMOUTH, NEW HAMPSHIRE

JSN ASSOCIATES, INC.
STRUCTURAL ENGINEER
PORTSMOUTH, NEW HAMPSHIRE

ENGINEERED SYSTEMS INC.
MPPF ENGINEER
WOBURN, MASSACHUSETTS

ENGINEERED BUILDING SYSTEMS
ELECTRICAL ENGINEER
DERRY, NEW HAMPSHIRE

THE HOTEL AT
FOUNDRY PLACE,
"LOT 3": 165 DEER
STREET, ASSESSORS
MAP 125 LOT 17,
AND RELATED
IMPROVEMENTS TO
LOTS 2, 4 AND 5

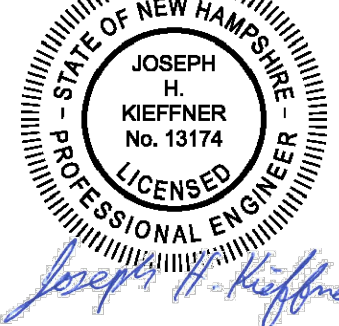
PORTSMOUTH, NH 03801

OWNER:

Deer Street Associates

7 BANKS ROCK ROAD
YORK HARBOR, ME

A / E Seal:



NA

Scale:

Date: 3/17/2017

Project Number: 14837.02

REVISIONS		
NO.	DESCRIPTION	DATE
1	TAC PUBLIC HEARING	3/17/2017
2	TAC PUBLIC HEARING	11/17/2017
3	TAC PUBLIC HEARING	12/19/2017

SITE PLAN REVIEW

G O O R L
O T O
1 O 2

1.

RODOT

- PROPERTY LOCATION: 165 HILL STREET
PORTSMOUTH, NH 03801
- ASSESSORS MAP: MAP 125, LOT 17
- ZONE: CHARACTER DISTRICT 5
- USE: OFFICE, RESIDENTIAL, RETAIL
- OWNER/APPLICANT: DEER STREET ASSOCIATES
7 BANKS ROCK ROAD
YORK HARBOR, ME 03911
TEL: (207) 363-3540
- CIVIL & GEOTECH: GEOINSIGHT, INC.
186 GRANITE STREET, 3RD FLOOR SUITE A
MANCHESTER, NH 03101
TEL: (603) 314-0820
- ARCHITECT: JSA INC.
273 CORPORATE DRIVE, SUITE 100
PORTSMOUTH, NH 03801
TEL: (603) 436-2551
- LANDSCAPE ARCHITECT GREENMAN - PEDERSEN, INC.
21 DANIELS STREET
PORTSMOUTH, NH 03801
TEL: (802) 359-4070
- STRUCTURAL: JSN ASSOCIATES, INC.
1 AUTUMN STREET
PORTSMOUTH, NH 03801
TEL: (603) 433-8639
- MPFP ENGINEER ENGINEERED SYSTEMS, INC.
237 LEXINGTON STREET, SUITE 207
WOBURN, MA 01801
TEL: (781) 569-6520
- ELECTRICAL ENGINEER: ENGINEERED BUILDING SYSTEMS, INC.
22 MANCHESTER RD, SUITE 8-A
DERRY, NH 03038
TEL: (603) 870-9009
- LAND SURVEYOR: AMBIT ENGINEERING, INC.
200 GRIFFIN RD, UNIT 3
PORTSMOUTH, NH 03801
TEL: (603) 430-9282
- ELEVATIONS ARE BASED ON THE MEAN SEA LEVEL, NORTH AMERICAN VERTICAL DATUM (NAVD-88).
- FOR BENCHMARK INFORMATION SEE "EXISTING CONDITIONS SITE PLAN" BY AMBIT ENGINEERING, INC. WITH DATE OF NOVEMBER 14, 2016.
- PARCELS ARE NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259E. MAY 17, 2005.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXECUTE THE NPDES CONSTRUCTION GENERAL PERMIT, NOI, AND SWPPP AND PROVIDE A COPY TO THE CITY OF PORTSMOUTH.
- UPON COMPLETION OF CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL PREPARE AND SUBMIT AS-BUILT MYLARS AND DIGITAL FORMAT (.DWG FILE) TO THE ENGINEER FOR REVIEW. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER AND CONFORM TO THE CITY OF PORTSMOUTH STANDARDS.
- ALL WATER AND SEWER CONSTRUCTION ACTIVITIES MUST BE PERFORMED BY A LICENSED CITY DRAIN LAYER. ALL TESTING RESULTS FOR THE UTILITIES AND SERVICE TIE CARDS ARE REQUIRED TO BE SUBMITTED TO THE CITY OF PORTSMOUTH DPW.
- ANY DAMAGES BY THE CONTRACTOR TO ANY CITY OR ABUTTING PROPERTIES SHALL BE REPAIRED BY THE CONTRACTOR. COSTS SHALL BE ABSORBED BY THE CONTRACTOR WITH NO COST TO THE OWNER. REPAIRS TO CITY FACILITIES SHALL BE COORDINATED WITH THE CITY AND PERFORMED TO CITY SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE TO OBTAIN THE FOLLOWING LOCAL PERMITS FROM THE CITY PRIOR TO CONSTRUCTION ACTIVITIES:

CITY OF PORTSMOUTH

- SEWER CONNECTION PERMIT
- WATER CONNECTION PERMIT
- STORMWATER PERMIT
- DRIVEWAY PERMIT
- TEMPORARY DEWATERING PERMIT (AS REQ'D)

NHDES

SEWER CONNECTION PERMIT

USEPA

NPDES CONSTRUCTION GENERAL PERMIT (CGP)

- THE CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH THE FOLLOWING DOCUMENTS PROVIDED BY THE OWNER:
 - GEOTECHNICAL AND ENVIRONMENTAL REPORT BY GEOINSIGHT TITLED, *GEOTECHNICAL ENGINEERING AND LIMITED ENVIRONMENTAL ASSESSMENT FOR THE PROPOSED DEER STREET DEVELOPMENT WITH A DATE OF MARCH 30, 2017.*

GRDGD DRMG OT

- A DUST EMISSION CONTROL PLAN SHALL BE DEVELOPED AND IMPLEMENTED BY THE CONTRACTOR IF CONDITIONS WARRANT. ALL STORM DRAIN PIPES SHALL BE ADS HP STORM UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS, AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" OF LOAM WITH SEED, FERTILIZER AND MULCH.
- ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NHDOT'S STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
- SEE GEOTECHNICAL REPORT PREPARED BY GEOINSIGHT, INC. FOR SOIL FILL MATERIAL AND COMPACTION REQUIREMENTS.
- ALL DRAIN PIPE SHALL MEET THE FOLLOWING SPECIFICATIONS.
 - ALL ROOF DRAINS SHALL BE PVC (SDR 35) UP TO BUILDING CONNECTION. SEE BUILDING PLUMBING PLANS (BY OTHERS) FOR CONTINUATION UNDER BUILDING.
 - ALL CATCH BASIN DRAINS SHALL BE 12" DIA. OR LARGER AND SHALL BE ADS HP STORM. IF THE COVER IN TRAFFIC AREAS IS LESS THAN 2-FEET, CLASS V RCP SHALL BE USED. ALL MANHOLES, CATCH BASINS, VALVE BOXES, CURB BOXES, ETC WITHIN THE LIMIT OF WORK SHALL BE ADJUSTED TO FINISH GRADE.
- CONTRACTOR SHALL VERIFY EXISTING INVERT ELEVATIONS IN FIELD PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE OWNER'S CONSTRUCTION REPRESENTATIVE IF ELEVATIONS DIFFER FROM PLAN.
- ANY GROUNDWATER DISCHARGES PROPOSED FOR THE FINAL STORMWATER SYSTEM DESIGN SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL OF CAPACITY.

TDOT

- EXTERIOR PAVEMENT MARKINGS SHALL BE INSTALLED AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ACCESSIBLE SYMBOLS, PAINTED ISLANDS, FIRE LANES, AND CENTERLINES. ALL MARKINGS SHALL BE WHITE UNLESS NOTED OTHERWISE. ALL THERMOPLASTIC PAVEMENT MARKINGS INCLUDING LEGENDS, ARROWS, CROSSWALKS, AND STOP BARS SHALL MEET THE AASHTO M249 REQUIREMENTS. ALL PAINTED PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F".
- ALL PAVEMENT MARKINGS, ROADWAY SIGNAGE SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", THE AMERICANS WITH DISABILITIES ACT, AND "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", LATEST EDITIONS.
- STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE, WHITE THERMOPLASTIC AND CONFORM TO CURRENT MUTCD STANDARDS.
- EDGE, LANE, AND CENTERLINES SHALL BE FOUR (4) INCH WIDE LINES.
- EDGE AND LANE DEMARICATION LINES SHALL BE PAINTED WHITE.
- LANE DEMARICATION MARKINGS SEPARATING OPPOSING TRAFFIC DIRECTIONS SHALL BE PAINTED YELLOW.
- PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
- THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED ENGINEER/SURVEYOR TO DETERMINE ALL LINES AND GRADES.
- ALL WORK SHALL CONFORM THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS.
- CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED.
- ANY DAMAGES BY THE APPLICANT TO ANY PUBLIC ROADWAY, CURBING, OR SIDEWALK DURING CONSTRUCTION SHALL BE REPAIRED BY THE APPLICANT PER CITY SPECIFICATIONS.

LLBBROT

- | | |
|----------------------|--|
| ADD APPROX. BIT CONC | ADDITIONAL INFORMATION APPROXIMATE BITUMINOUS CONCRETE |
| BC | BOTTOM OF CURB |
| BH | BORING HOLE |
| BLDG | BUILDING |
| BOW | BOTTOM OF WALL |
| BOT | BOTTOM |
| DPW | CITY DEPARTMENT OF PUBLIC WORKS |
| CI | CAST IRON |
| CO | CLEAN OUT |
| COMM | COMMUNICATIONS |
| CONC | CONCRETE |
| COORD | COORDINATE |
| CY | CUBIC YARD |
| DICL | DUCTILE IRON CEMENT LINED PIPE |
| DSYL | DOUBLE SOLID YELLOW CENTER LINE |
| ECB | EXISTING CATCH BASIN |
| EDMH | EXISTING DRAIN MANHOLE |
| ELE | ELEVATION |
| EOP | EDGE OF PAVEMENT |
| ESMH | EXISTING SEWER MANHOLE |
| ETC | ELECTRIC TELEPHONE CABLE |
| EX | EXISTING |
| FE | FLANGED END |
| FT | FEET |
| GFA | GROSS FLOOR AREA |
| GV | GATE VALVE |
| HBP | HOT BITUMINOUS PAVEMENT |
| HDPE | HIGH DENSITY POLYETHYLENE |
| HP | HIGH POINT |
| HYD | HYDRANT |
| INV | INVERT |
| LOC. | LOCATION |
| LOW | LIMIT OF WORK |
| LP | LIGHT POLE |
| MJ | MECHANICAL JOINT |
| N/F | NOW OR FORMERLY |
| OHW | OVER HEAD WIRE |
| PC | POINT OF CURVATURE |
| PCB | PROPOSED CATCH BASIN |
| PDMH | PROPOSED DRAIN MANHOLE |
| PFES | PROPOSED FLARED END SECTION |
| PGT | PROPOSED GREASE TRAP |
| PHW | PROPOSED HEADWALL |
| POS | PROPOSED OUTLET STRUCTURE |
| PSMH | PROPOSED SEWER MANHOLE |
| PROP | PROPOSED |
| PT | POINT OF TANGENCY |
| PVC | PIPE POLYVINYL CHLORIDE PIPE |
| R | RADIUS |
| RCP | REINFORCED CONCRETE PIPE |
| RET | RETAINING |
| ROW | RIGHT OF WAY |
| SC | STORM CEPTOR |
| SF | SQUARE FEET |
| SGC | SLOPED GRANITE CURB |
| STA | STATION |
| SSWL | SINGLE SOLID WHITE LINE |
| SSYL | SINGLE SOLID YELLOW LINE |
| SDWL | SINGLE DASHED WHITE LINE |
| SDYL | SINGLE DASHED YELLOW LINE |
| SYL | SOLID YELLOW LINE |
| SY | SQUARE YARD |
| TBM | TEMPORARY BENCH MARK |
| TC | TOP OF CURB |
| TOW | TOP OF WALL |
| TP | TEST PIT |
| TYP | TYPICAL |
| UGE | UNDER GROUND ELECTRIC |
| UP | UTILITY POLE |
| VGC | VERTICAL GRANITE CURB |
| W/ | WITH |

LGOD

- | | |
|--|--------------------------------------|
| | PROPERTY LINE |
| | SETBACK LINE |
| | ABUTTING PROPERTY LINE |
| | PROPOSED BUILDING |
| | CURB |
| | RETAINING WALL |
| | TRAFFIC ARROWS |
| | PASSENGER PARKING COUNT |
| | PROPOSED DRAIN MANHOLE |
| | PROPOSED CATCH BASIN |
| | PROPOSED STORM DRAIN |
| | PROP. SPOT GRADE |
| | PROPOSED SEWER MANHOLE |
| | PROPOSED SANITARY SEWER LINE |
| | PROPOSED WATER MAIN |
| | PROPOSED WATER VALVE |
| | PROPOSED HYDRANT |
| | PROPOSED GAS LINE |
| | PROPOSED GAS VALVE |
| | PROPOSED UNDERGROUND POWER |
| | PROPOSED UNDERGROUND COMMUNICATIONS |
| | PROPOSED TRANSFORMER |
| | EXISTING GRADE |
| | PROPOSED GRADE |
| | PROPOSED ELECTRICAL HANDHOLE |
| | PROPOSED COMMUNICATION MANHOLE |
| | CITY PROPOSED WATER LINE |
| | CITY PROPOSED GAS LINE |
| | CITY PROPOSED UNDERGROUND ELEC. LINE |
| | CITY PROPOSED COMMUNICATION LINE |

SEE EXISTING CONDITIONS SITE PLAN FOR EXISTING CONDITION SYMBOLS AND LEGEND



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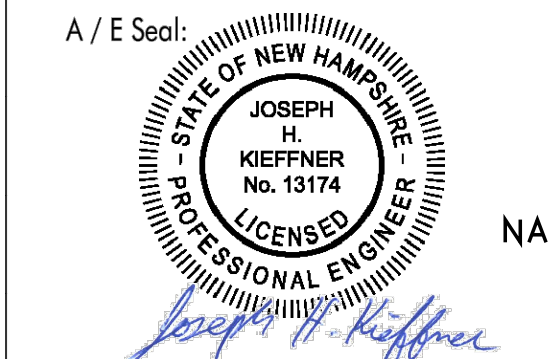
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**THE HOTEL AT
FOUNDRY PLACE,
"LOT 3": 165 DEER
STREET, ASSESSORS
MAP 125 LOT 17,
AND RELATED
IMPROVEMENTS TO
LOTS 2, 4 AND 5**

PORTSMOUTH, NH 03801

OWNER:
Deer Street Associates

7 BANKS ROCK ROAD
YORK HARBOR, ME



Scale:
Date: **3/17/2017**
Project Number: **14837.02**

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NO.	DESCRIPTION	DATE
1	TAC PUBLIC HEARING	3/17/2017
2	TAC PUBLIC HEARING	11/17/2017
3	TAC PUBLIC HEARING	12/19/2017

SITE PLAN REVIEW

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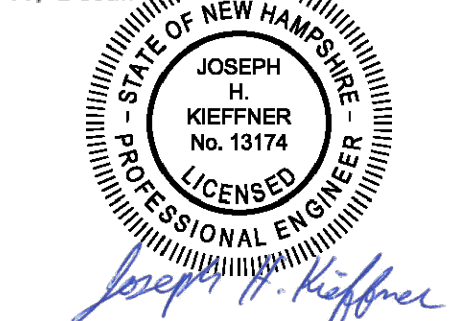
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OWNER:

Deer Street Associates

7 BANKS ROCK ROAD
YORK HARBOR, ME

A / E Seal:



Scale:

Date: **3/17/2017**

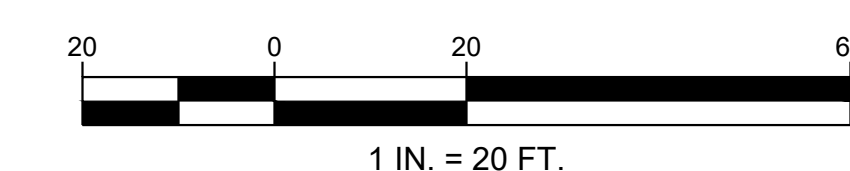
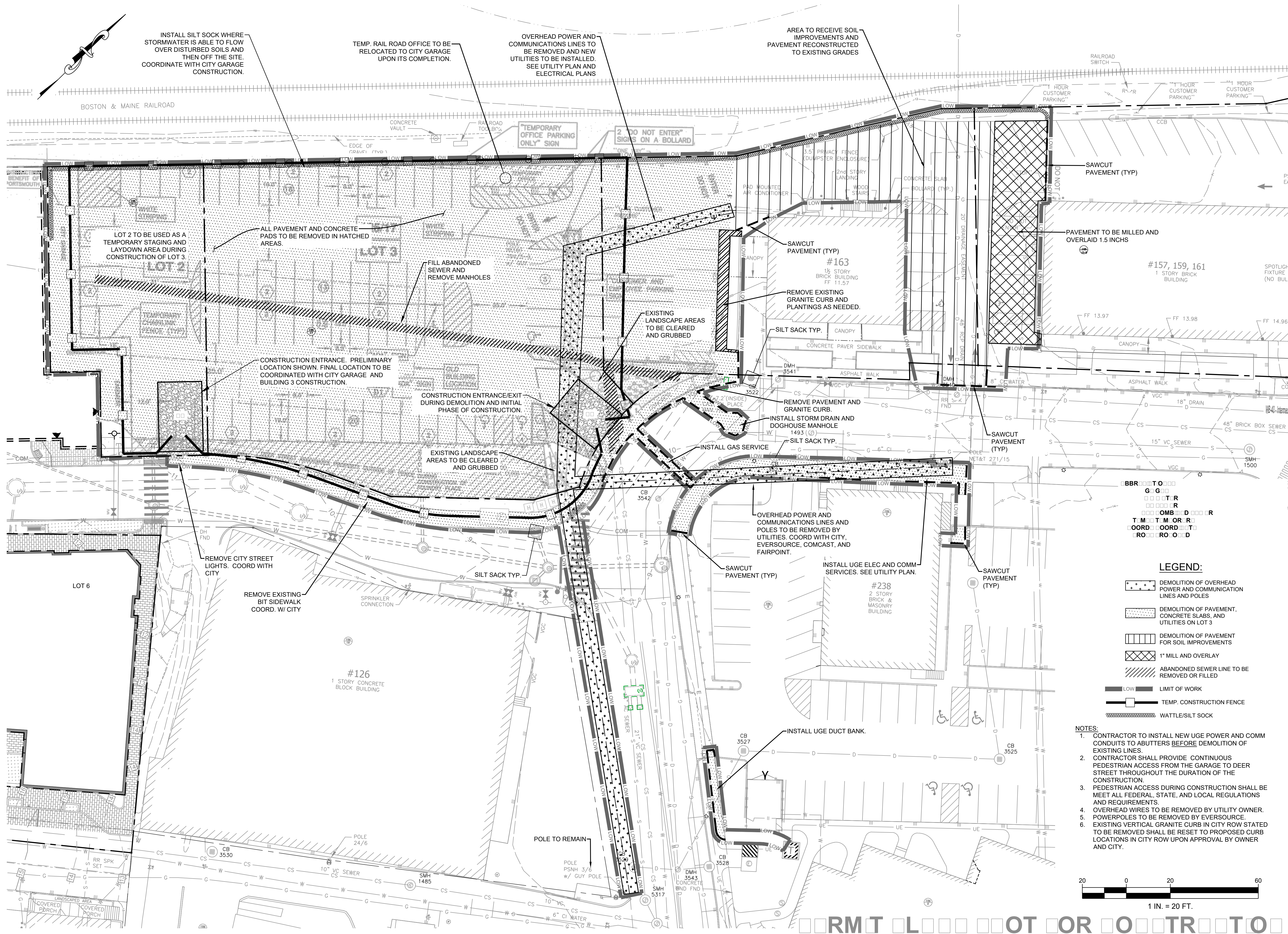
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3	TAC PUBLIC HEARING	12/19/2017

SITE PLAN REVIEW

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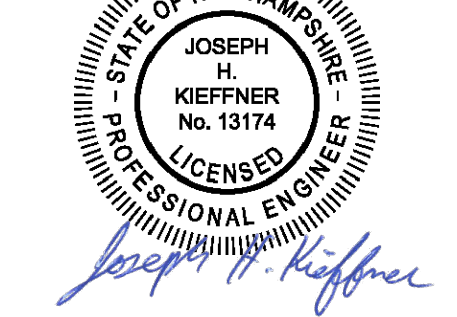
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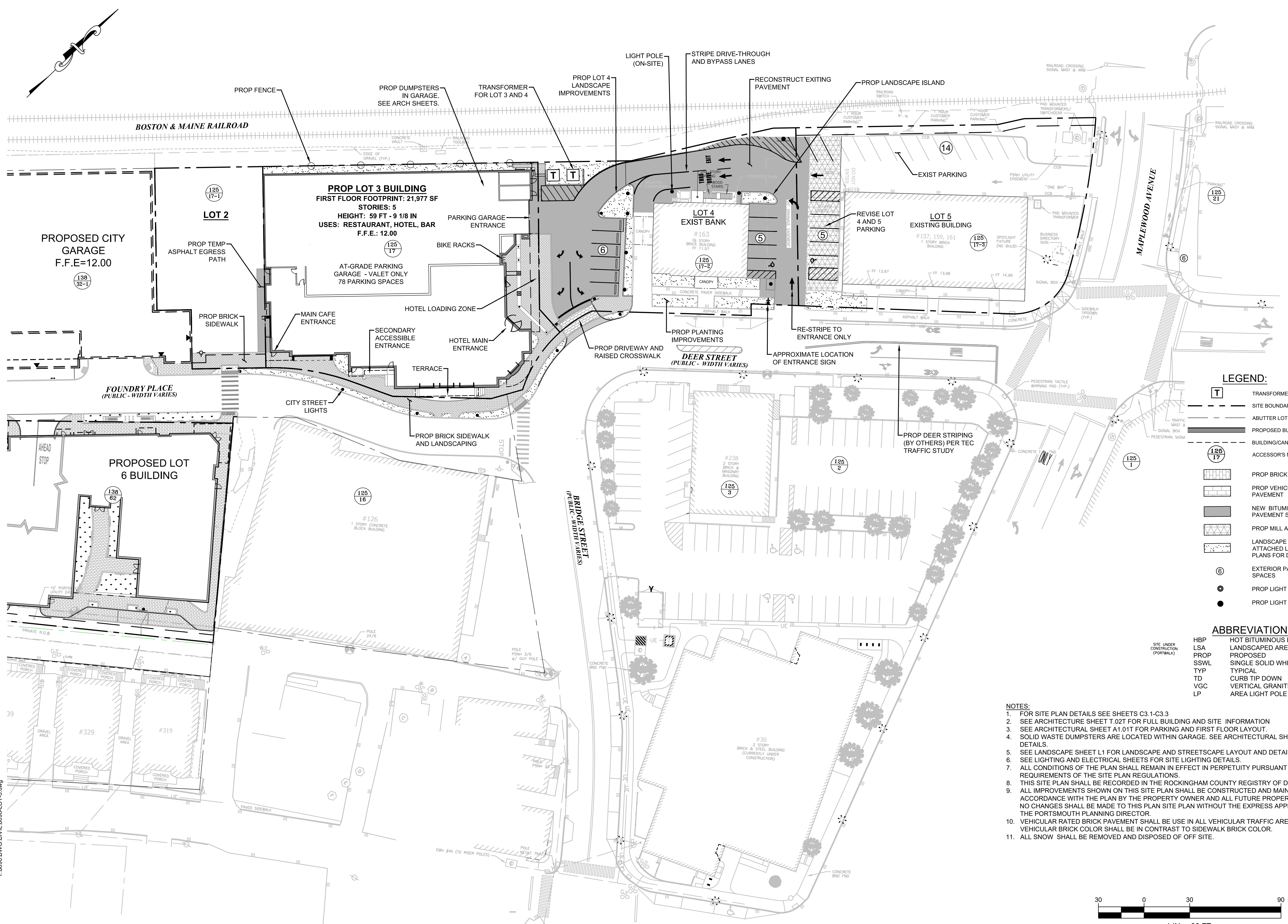
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SITE PLAN REVIEW

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3.



LEGEND:

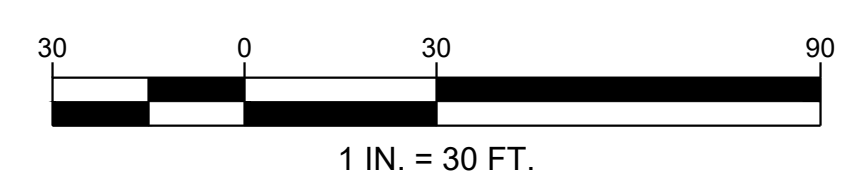
- TRANSFORMER
- SITE BOUNDARY LINE
- ABUTTER LOT LINE
- PROPOSED BUILDING
- BUILDING/CANOPY OVERHANG
- ACCESSOR'S MAP/ LOT#
- PROP BRICK SIDEWALK
- PROP VEHICULAR BRICK PAVEMENT
- NEW BITUMINOUS PAVEMENT SECTION (HBP)
- PROP MILL AND OVERLAY
- LANDSCAPE (SEE ATTACHED LANDSCAPE PLANS FOR DETAILS)
- EXTERIOR PARKING SPACES
- PROP LIGHT POLE (CITY)
- PROP LIGHT POLE (ON-SITE)

ABBREVIATIONS:

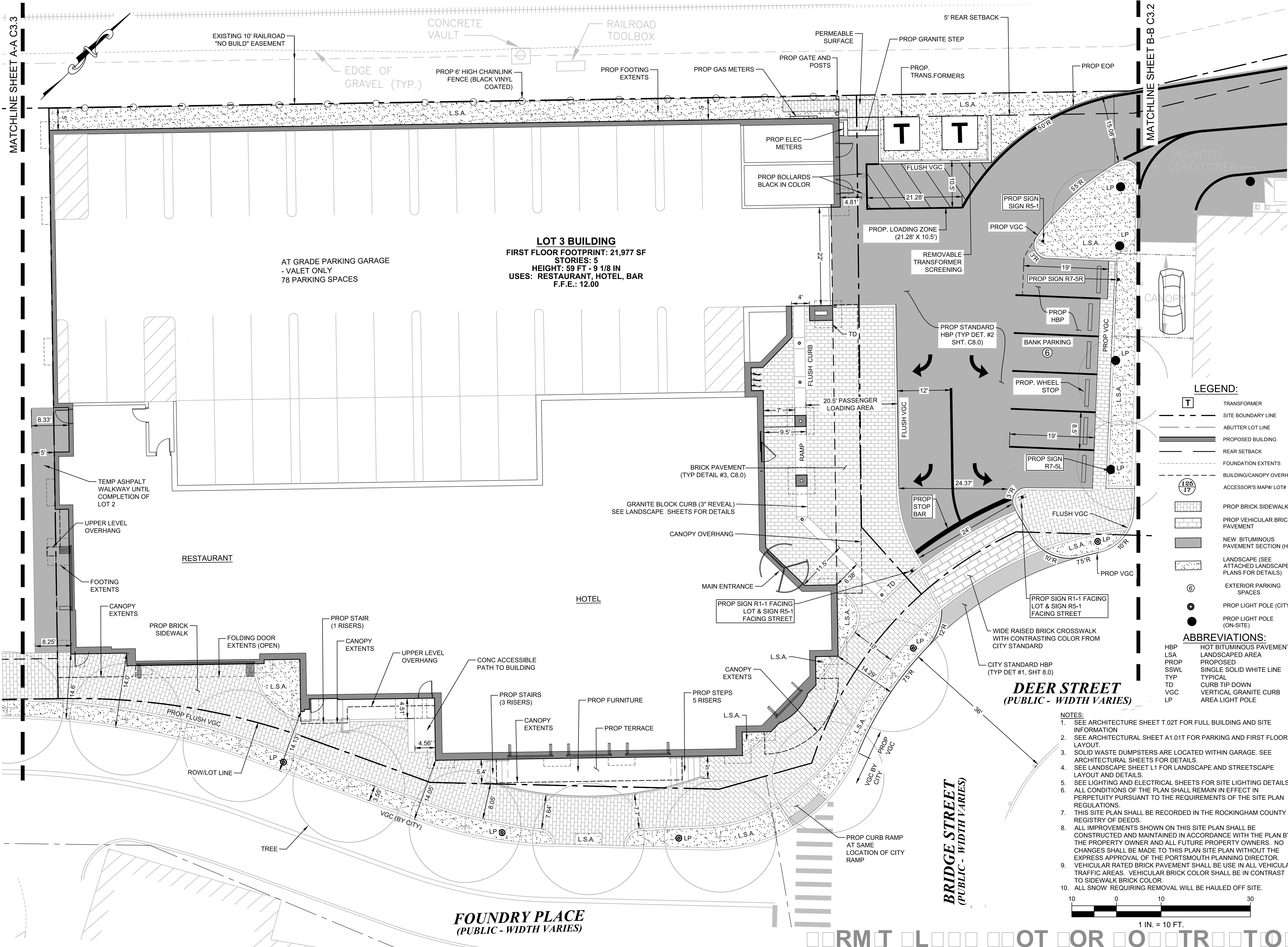
- HBP HOT BITUMINOUS PAVEMENT
- LSA LANDSCAPED AREA
- PROP PROPOSED
- SSWL SINGLE SOLID WHITE LINE
- TYP TYPICAL
- TD CURB TIP DOWN
- VGC VERTICAL GRANITE CURB
- LP AREA LIGHT POLE

NOTES:

1. FOR SITE PLAN DETAILS SEE SHEETS C3.1-C3.3
2. SEE ARCHITECTURE SHEET T.02T FOR FULL BUILDING AND SITE INFORMATION
3. SEE ARCHITECTURAL SHEET A1.01T FOR PARKING AND FIRST FLOOR LAYOUT.
4. SOLID WASTE DUMPSTERS ARE LOCATED WITHIN GARAGE. SEE ARCHITECTURAL SHEETS FOR DETAILS.
5. SEE LANDSCAPE SHEET L1 FOR LANDSCAPE AND STREETScape LAYOUT AND DETAILS.
6. SEE LIGHTING AND ELECTRICAL SHEETS FOR SITE LIGHTING DETAILS.
7. ALL CONDITIONS OF THE PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REGULATIONS.
8. THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
9. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS PLAN SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
10. VEHICULAR RATED BRICK PAVEMENT SHALL BE USED IN ALL VEHICULAR TRAFFIC AREAS. VEHICULAR BRICK COLOR SHALL BE IN CONTRAST TO SIDEWALK BRICK COLOR.
11. ALL SNOW SHALL BE REMOVED AND DISPOSED OF OFF SITE.



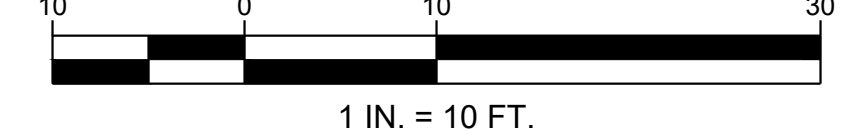
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LEGEND:

- TRANSFORMER
 - SITE BOUNDARY LINE
 - ABUTTER LOT LINE
 - PROPOSED BUILDING
 - REAR SETBACK
 - FOUNDATION EXTENTS
 - BUILDING/CANOPY OVERHANG
 - ACCESSOR'S MAP/ LOT#
 - PROP BRICK SIDEWALK
 - PROP VEHICULAR BRICK PAVEMENT
 - NEW BITUMINOUS PAVEMENT SECTION (HBP)
 - LANDSCAPE (SEE ATTACHED LANDSCAPE PLANS FOR DETAILS)
 - EXTERIOR PARKING SPACES
 - PROP LIGHT POLE (CITY)
 - PROP LIGHT POLE (ON-SITE)
- ABBREVIATIONS:**
- HBP HOT BITUMINOUS PAVEMENT
 - L.S.A. LANDSCAPED AREA
 - PROP PROPOSED
 - SSWL SINGLE SOLID WHITE LINE
 - TYP TYPICAL
 - TD CURB TIP DOWN
 - VGC VERTICAL GRANITE CURB
 - LP AREA LIGHT POLE

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 - VEHICULAR RATED BRICK PAVEMENT SHALL BE USED IN ALL VEHICULAR TRAFFIC AREAS. VEHICULAR BRICK COLOR SHALL BE IN CONTRAST TO SIDEWALK BRICK COLOR.
 - ALL SNOW REQUIRING REMOVAL WILL BE HAULED OFF SITE.



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 MPPF ENGINEER
 WOBURN, MASSACHUSETTS

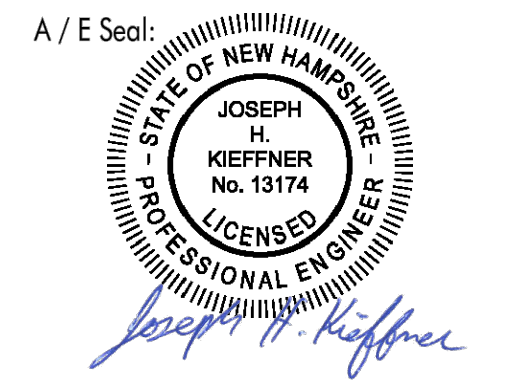
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 FOUNDRY PLACE,
 "LOT 3": 165 DEER
 STREET, ASSESSORS
 MAP 125 LOT 17,
 AND RELATED
 IMPROVEMENTS TO
 LOTS 2, 4 AND 5**

PORTSMOUTH, NH 03801

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7 BANKS ROCK ROAD
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3	TAC PUBLIC HEARING	12/19/2017

SITE PLAN REVIEW

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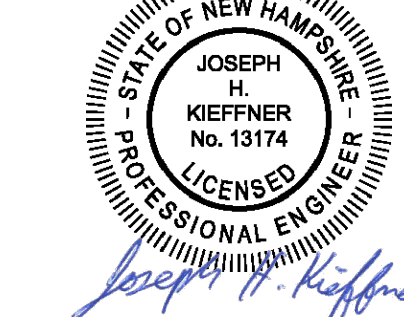
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YORK HARBOR, ME

A / E Seal:



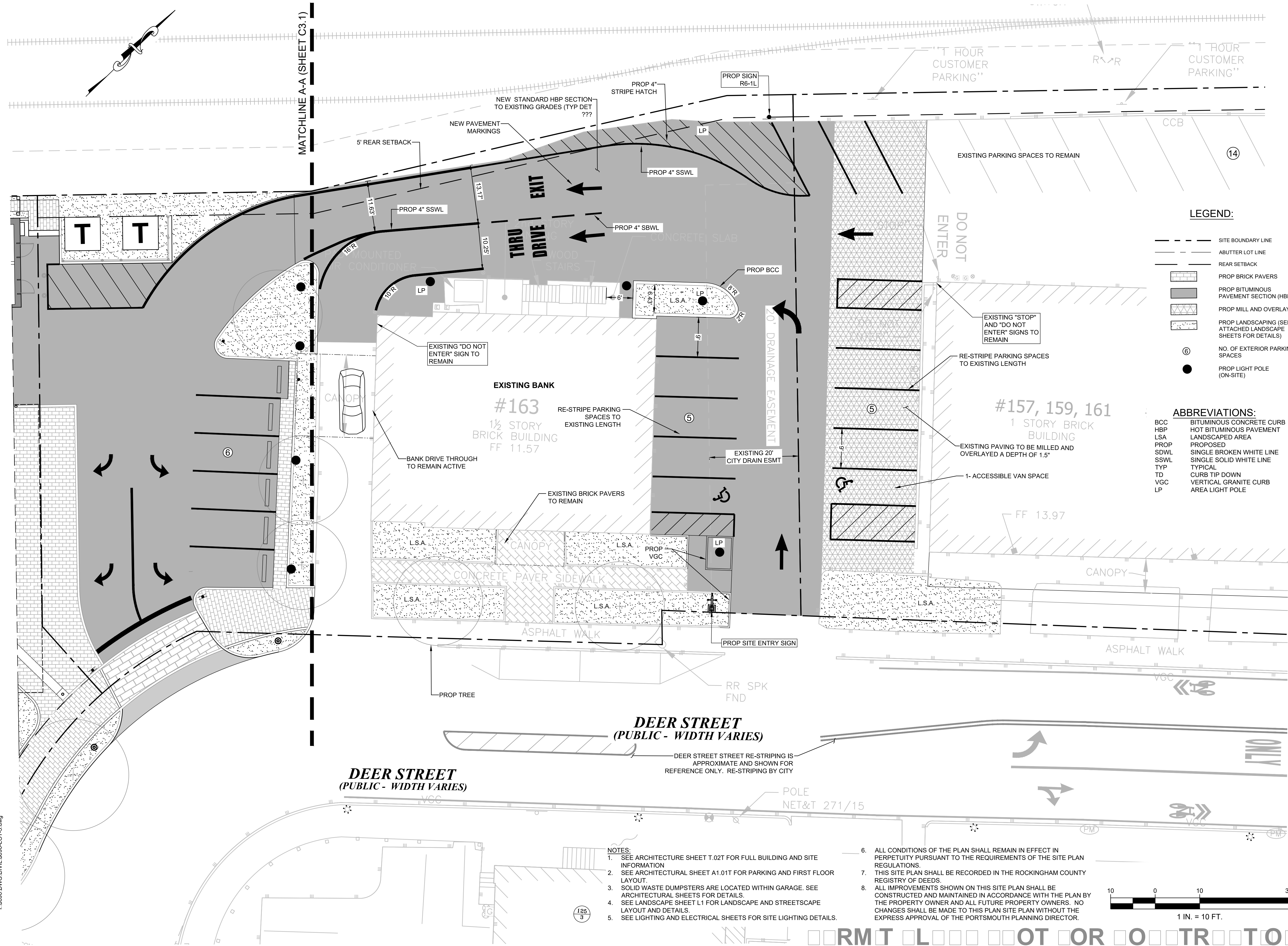
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SITE PLAN REVIEW

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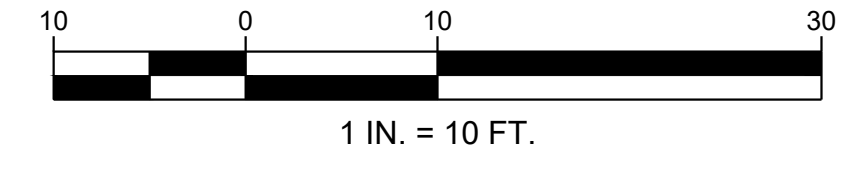
LEGEND:

- SITE BOUNDARY LINE
- - - ABUTTER LOT LINE
- - - REAR SETBACK
- [Pattern] PROP BRICK PAVERS
- [Pattern] PROP BITUMINOUS PAVEMENT SECTION (HBP)
- [Pattern] PROP MILL AND OVERLAY
- [Pattern] PROP LANDSCAPING (SEE ATTACHED LANDSCAPE SHEETS FOR DETAILS)
- ⊙ NO. OF EXTERIOR PARKING SPACES
- PROP LIGHT POLE (ON-SITE)

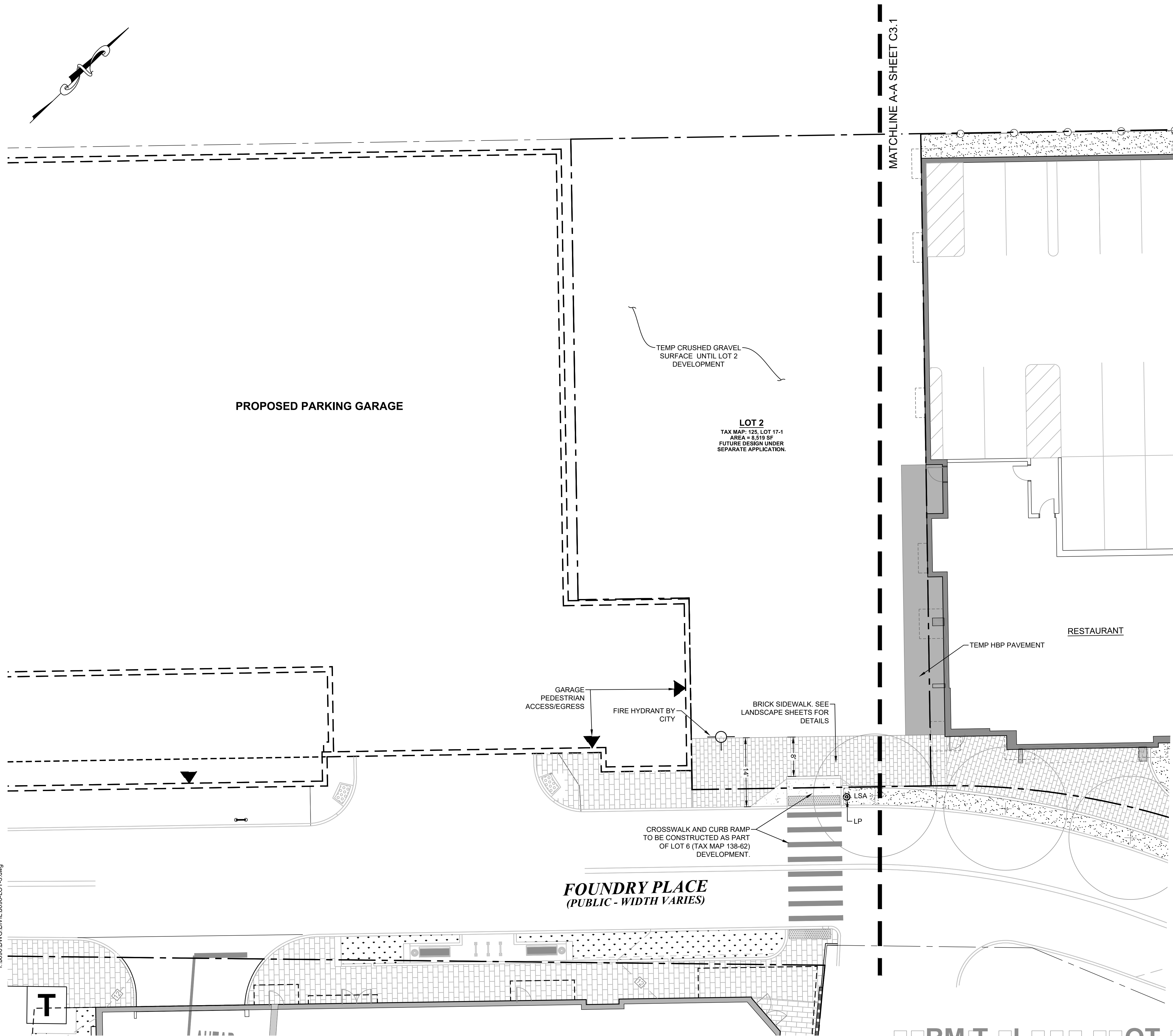
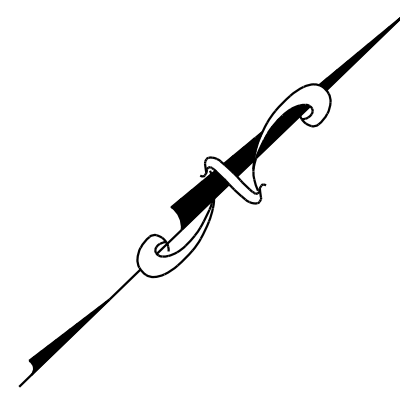
ABBREVIATIONS:

- BCC BITUMINOUS CONCRETE CURB
- HBP HOT BITUMINOUS PAVEMENT
- LSA LANDSCAPED AREA
- PROP PROPOSED
- SDWL SINGLE BROKEN WHITE LINE
- SSWL SINGLE SOLID WHITE LINE
- TYP TYPICAL
- TD CURB TIP DOWN
- VGC VERTICAL GRANITE CURB
- LP AREA LIGHT POLE

- NOTES:**
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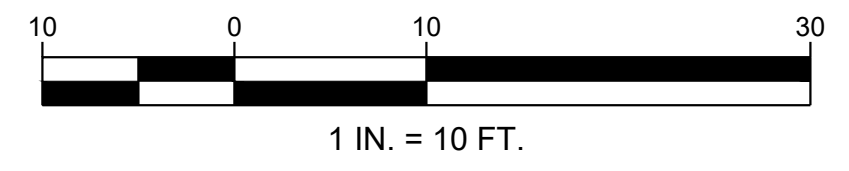
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- - - ABUTTER LOT LINE
- REAR SETBACK
- [Pattern] PROP BRICK SIDEWALK
- [Pattern] PROP BITUMINOUS PAVEMENT SECTION (HBP)
- [Pattern] PROP LANDSCAPING (SEE ATTACHED LANDSCAPE SHEETS FOR DETAILS)
- PROP LIGHT POLE (CITY)

ABBREVIATIONS:

- HBP HOT BITUMINOUS PAVEMENT
- LSA LANDSCAPED AREA
- PROP PROPOSED
- TEMP TEMPORARY
- TYP TYPICAL

NOTES:

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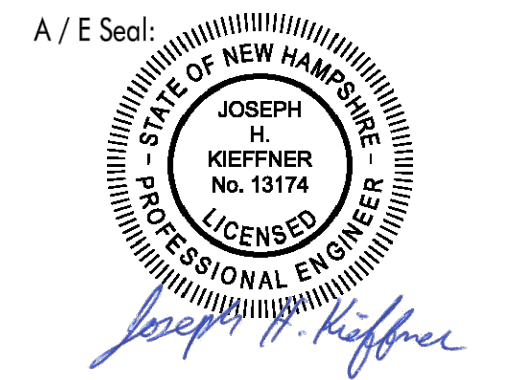
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SITE PLAN REVIEW

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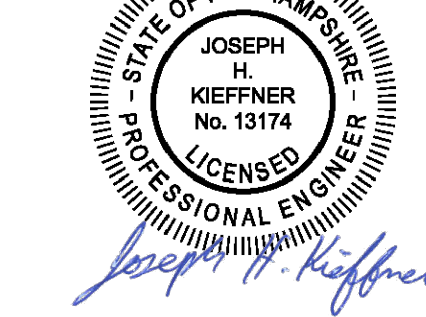
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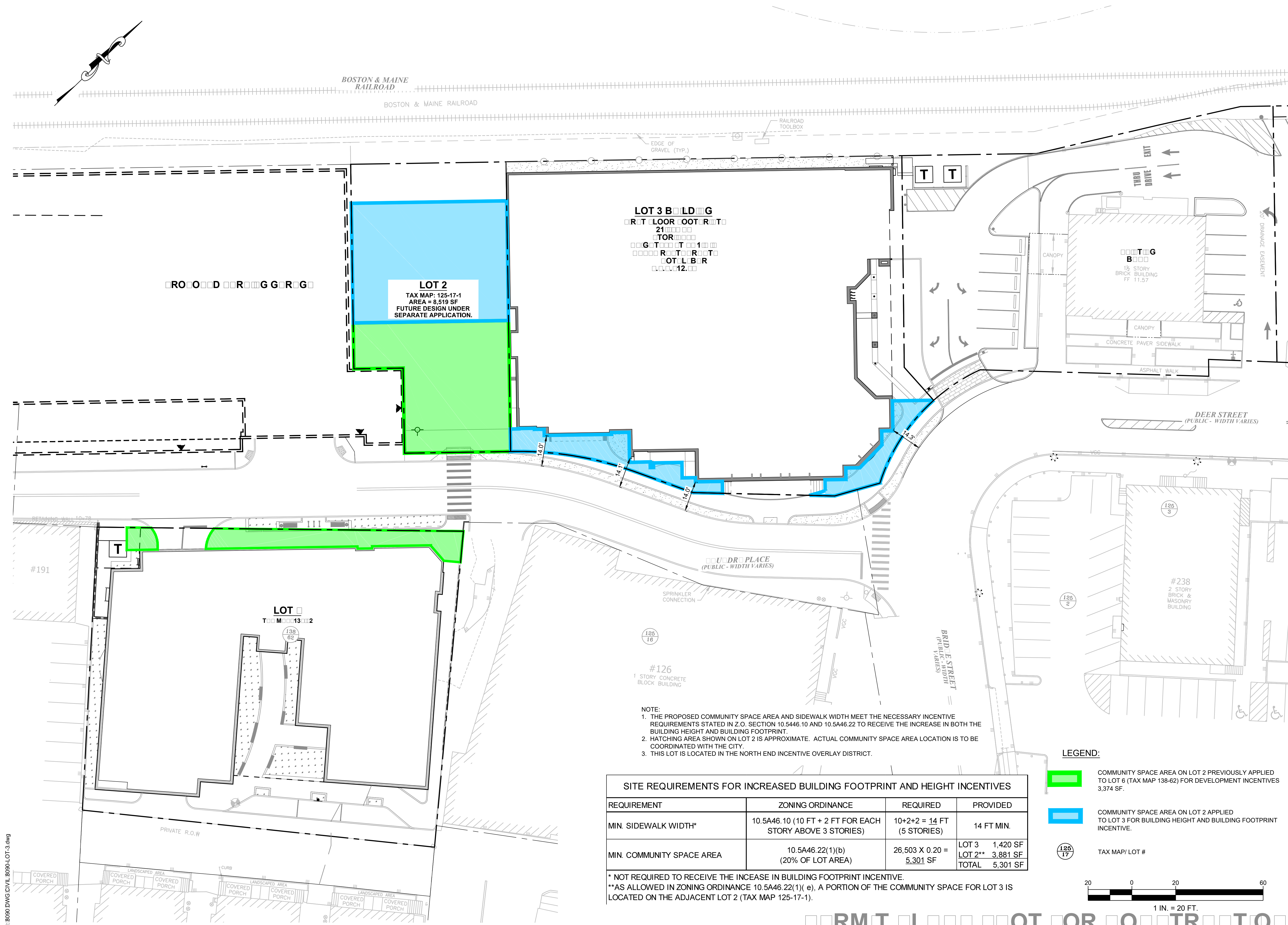
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1	TAC PUBLIC HEARING	3/17/2017
2	TAC PUBLIC HEARING	11/17/2017
3	TAC PUBLIC HEARING	12/19/2017

SITE PLAN REVIEW

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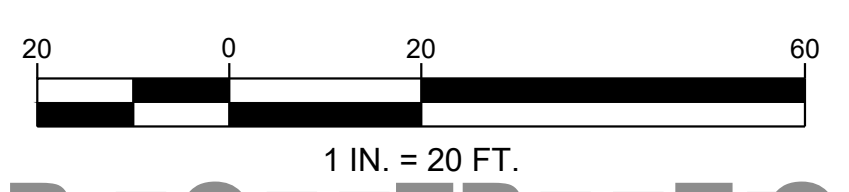


SITE REQUIREMENTS FOR INCREASED BUILDING FOOTPRINT AND HEIGHT INCENTIVES			
REQUIREMENT	ZONING ORDINANCE	REQUIRED	PROVIDED
MIN. SIDEWALK WIDTH*	10.5A46.10 (10 FT + 2 FT FOR EACH STORY ABOVE 3 STORIES)	10+2+2 = 14 FT (5 STORIES)	14 FT MIN.
MIN. COMMUNITY SPACE AREA	10.5A46.22(1)(b) (20% OF LOT AREA)	26,503 X 0.20 = 5,301 SF	LOT 3 1,420 SF LOT 2** 3,881 SF TOTAL 5,301 SF

* NOT REQUIRED TO RECEIVE THE INCREASE IN BUILDING FOOTPRINT INCENTIVE.
**AS ALLOWED IN ZONING ORDINANCE 10.5A46.22(1)(e), A PORTION OF THE COMMUNITY SPACE FOR LOT 3 IS LOCATED ON THE ADJACENT LOT 2 (TAX MAP 125-17-1).

LEGEND:

- COMMUNITY SPACE AREA ON LOT 2 PREVIOUSLY APPLIED TO LOT 6 (TAX MAP 138-62) FOR DEVELOPMENT INCENTIVES 3,374 SF.
- COMMUNITY SPACE AREA ON LOT 2 APPLIED TO LOT 3 FOR BUILDING HEIGHT AND BUILDING FOOTPRINT INCENTIVE.
- TAX MAP/ LOT #



ROOM LOT OR OUTR TO



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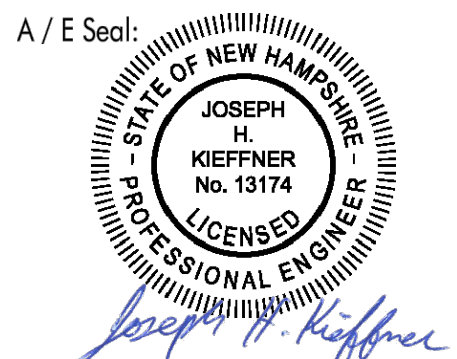
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DERRY, NEW HAMPSHIRE

**THE HOTEL AT
FOUNDRY PLACE,
"LOT 3": 165 DEER
STREET, ASSESSORS
MAP 125 LOT 17,
AND RELATED
IMPROVEMENTS TO
LOTS 2, 4 AND 5**

PORTSMOUTH, NH 03801

OWNER:
Deer Street Associates

7 BANKS ROCK ROAD
YORK HARBOR, ME



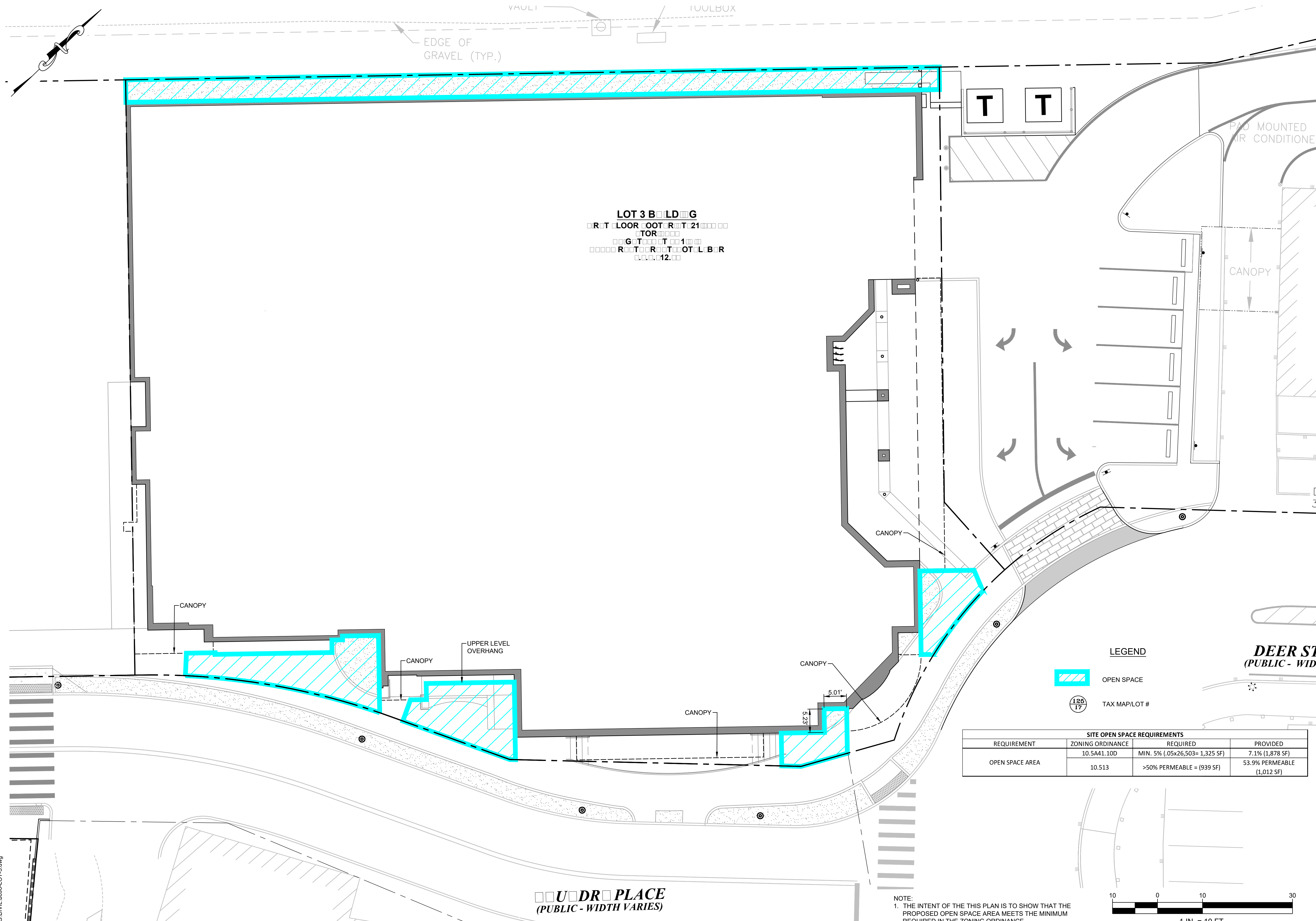
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Date: **3/17/2017**
Project Number: **14837.02**

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SITE PLAN REVIEW

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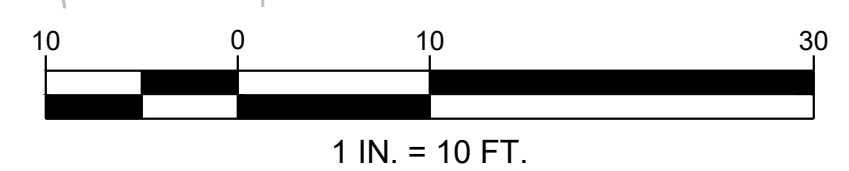
LOT 3 BUILDING
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12

LEGEND

- OPEN SPACE
- TAX MAP/LOT #

SITE OPEN SPACE REQUIREMENTS			
REQUIREMENT	ZONING ORDINANCE	REQUIRED	PROVIDED
	10.5A41.10D	MIN. 5% (0.5x26,503= 1,325 SF)	7.1% (1,878 SF)
OPEN SPACE AREA	10.513	>50% PERMEABLE = (939 SF)	53.9% PERMEABLE (1,012 SF)

NOTE:
1. THE INTENT OF THIS PLAN IS TO SHOW THAT THE PROPOSED OPEN SPACE AREA MEETS THE MINIMUM REQUIRED IN THE ZONING ORDINANCE.



FOUNDRY PLACE
(PUBLIC - WIDTH VARIES)

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**THE HOTEL AT
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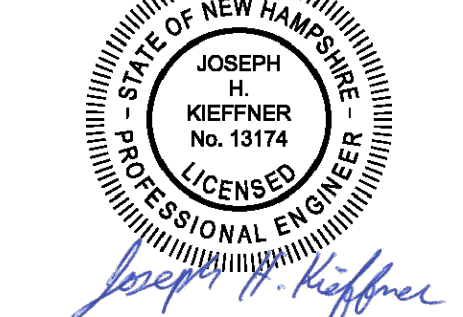
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YORK HARBOR, ME

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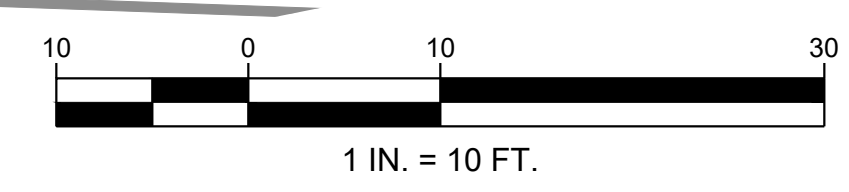
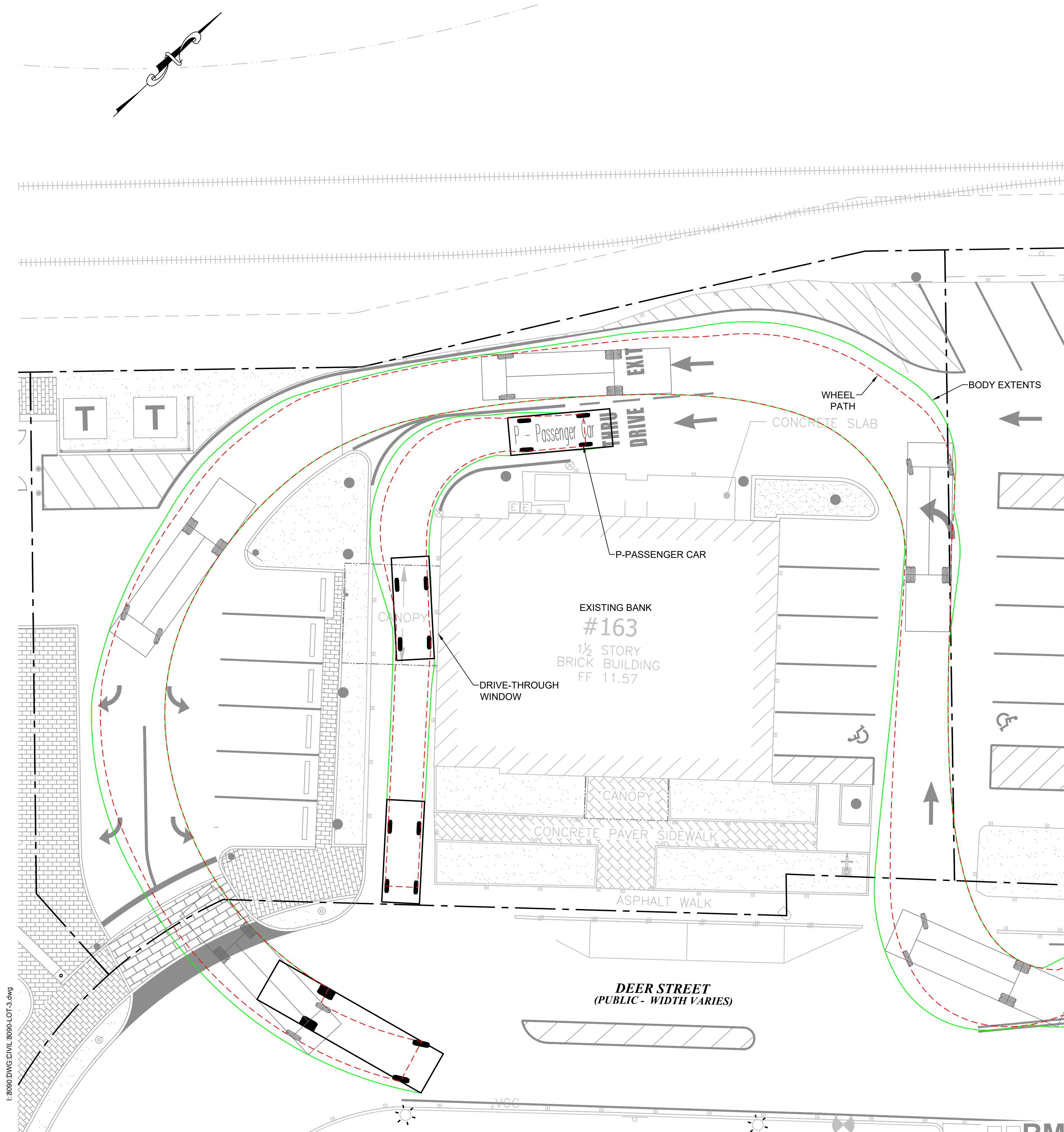
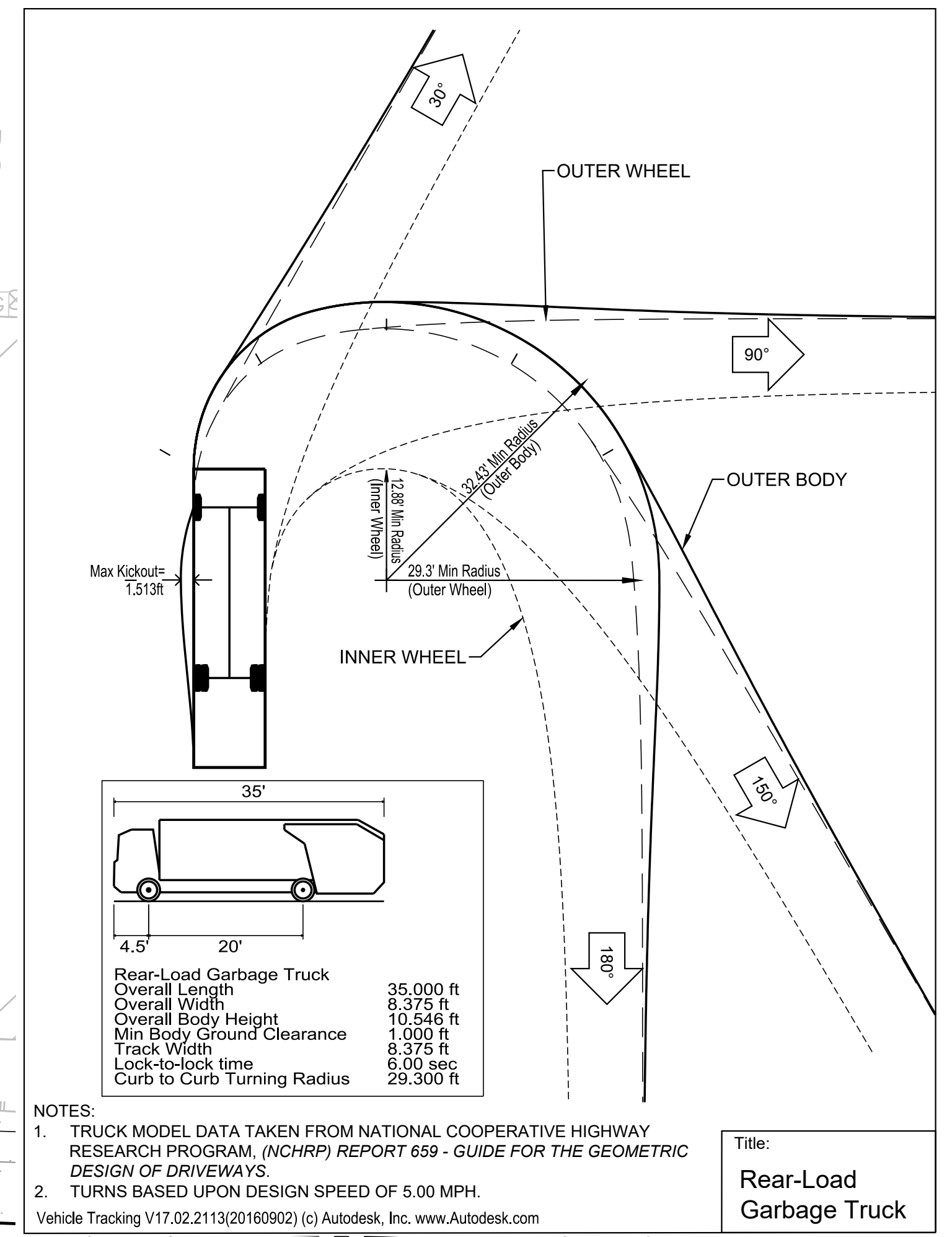
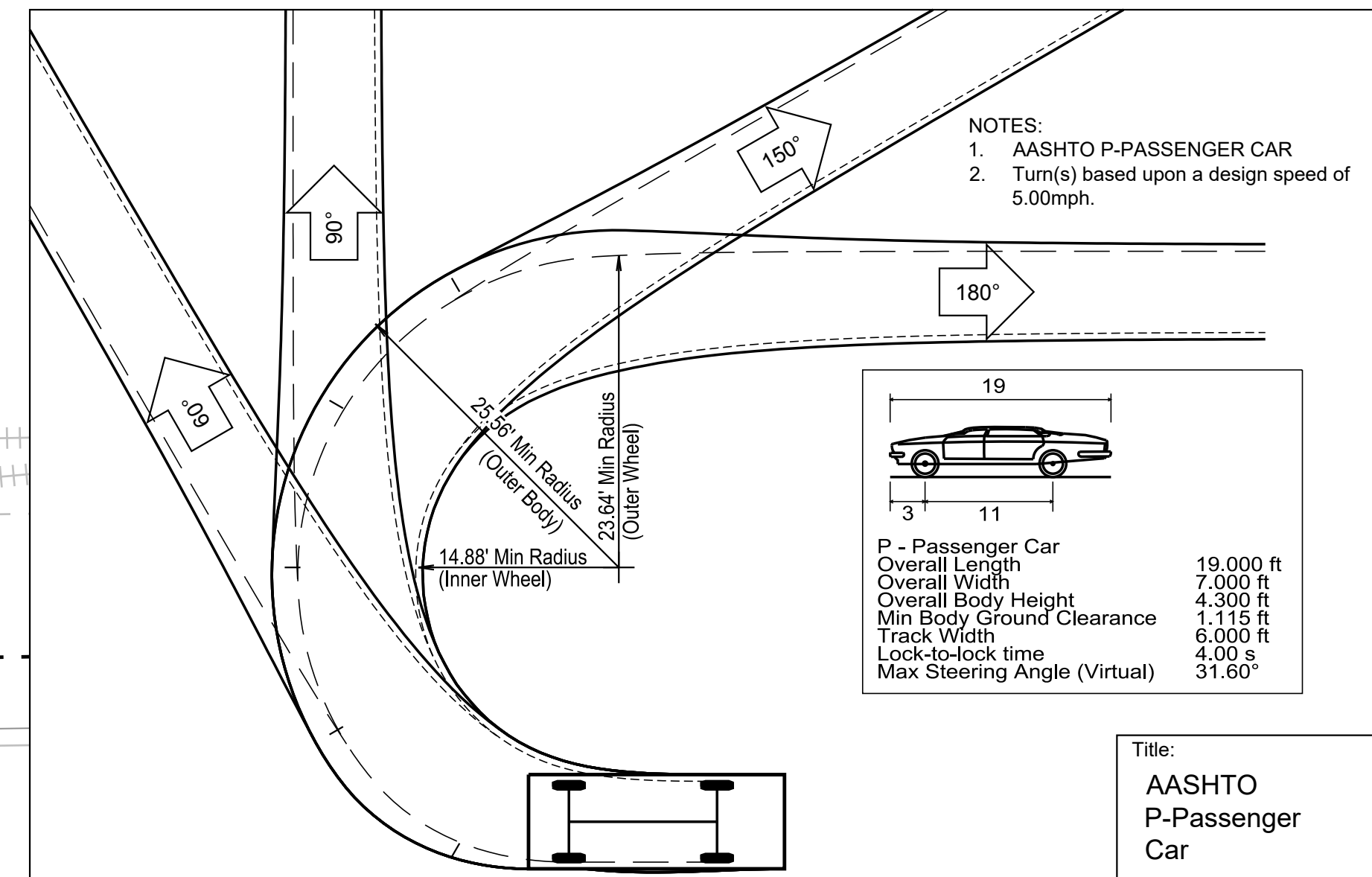
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SITE PLAN REVIEW

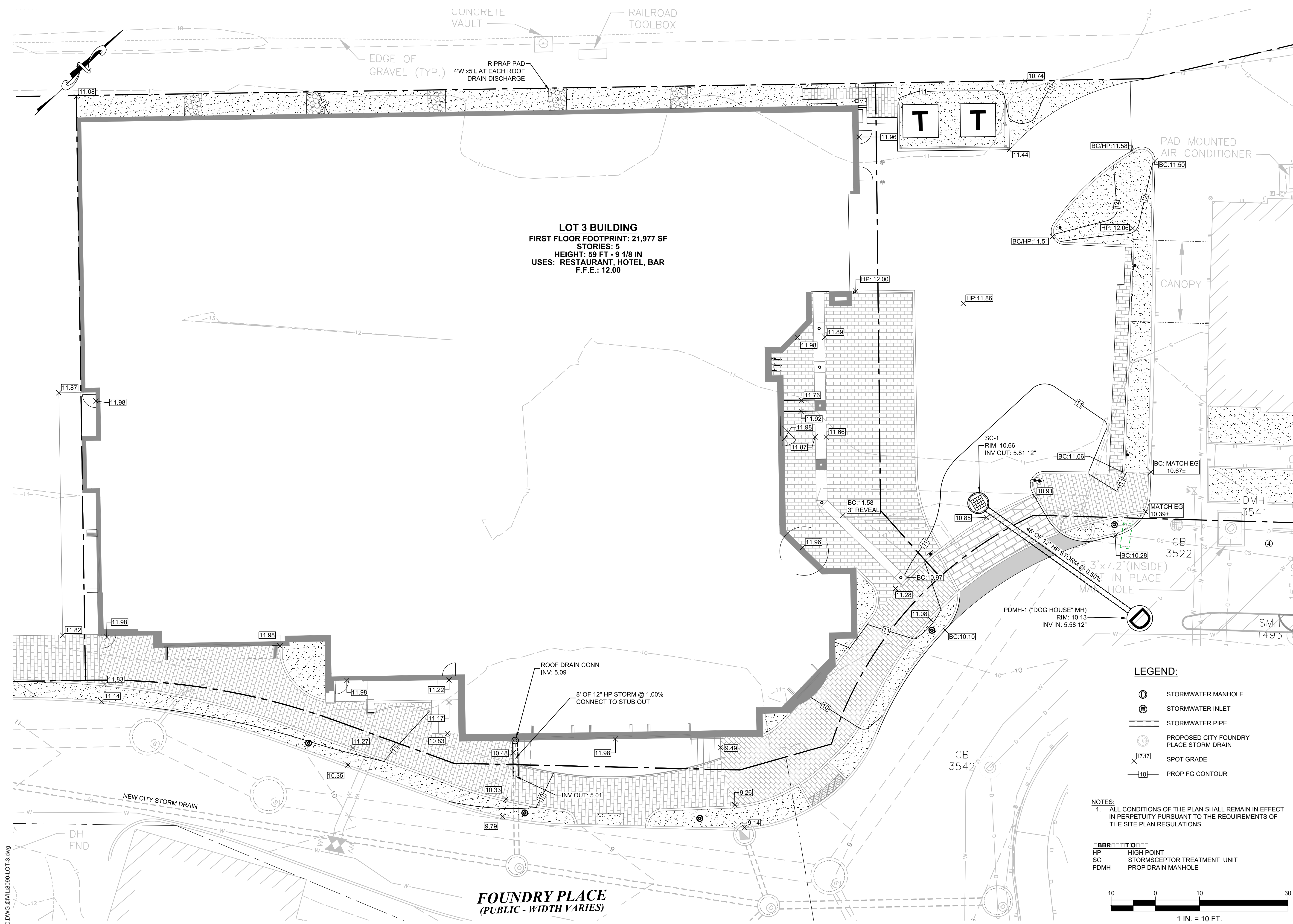
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LOT 3 BUILDING
 FIRST FLOOR FOOTPRINT: 21,977 SF
 STORIES: 5
 HEIGHT: 59 FT - 9 1/8 IN
 USES: RESTAURANT, HOTEL, BAR
 F.F.E.: 12.00

FOUNDRY PLACE
 (PUBLIC - WIDTH VARIES)

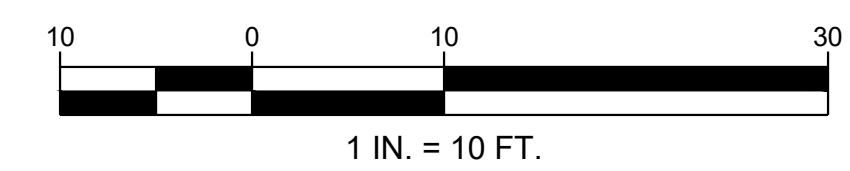
LEGEND:

- STORMWATER MANHOLE
- STORMWATER INLET
- STORMWATER PIPE
- PROPOSED CITY FOUNDRY PLACE STORM DRAIN
- SPOT GRADE
- PROP FG CONTOUR

NOTES:

1. ALL CONDITIONS OF THE PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REGULATIONS.

- BBR TO
- HP HIGH POINT
- SC STORMSEPTOR TREATMENT UNIT
- PDMH PROP DRAIN MANHOLE



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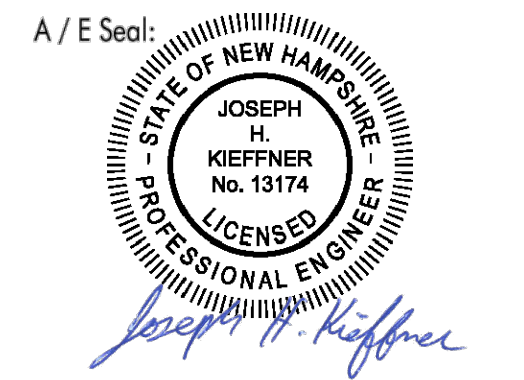
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THE HOTEL AT FOUNDRY PLACE, "LOT 3": 165 DEER STREET, ASSESSORS MAP 125 LOT 17, AND RELATED IMPROVEMENTS TO LOTS 2, 4 AND 5

PORTSMOUTH, NH 03801

OWNER:
 Deer Street Associates

7 BANKS ROCK ROAD
 YORK HARBOR, ME



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SITE PLAN REVIEW

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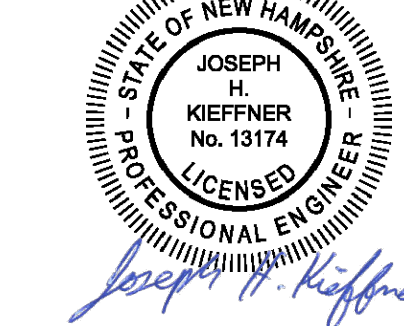
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A / E Seal:



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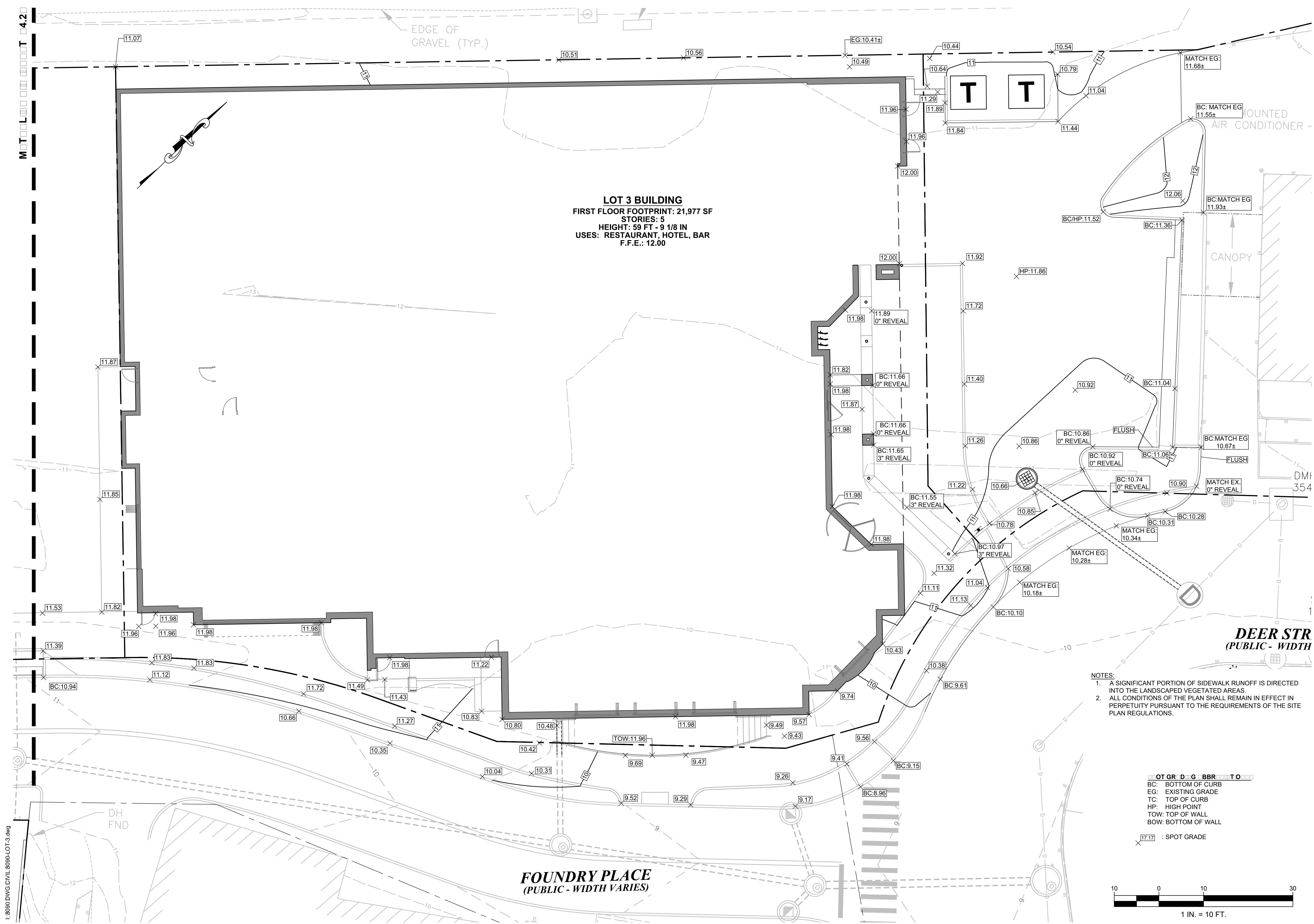
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SITE PLAN REVIEW

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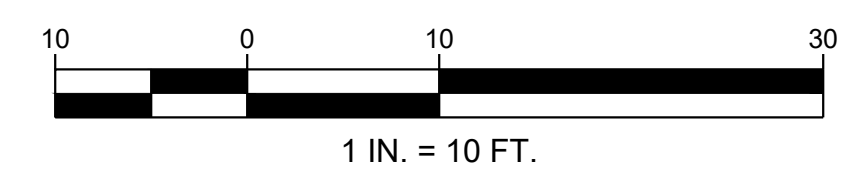
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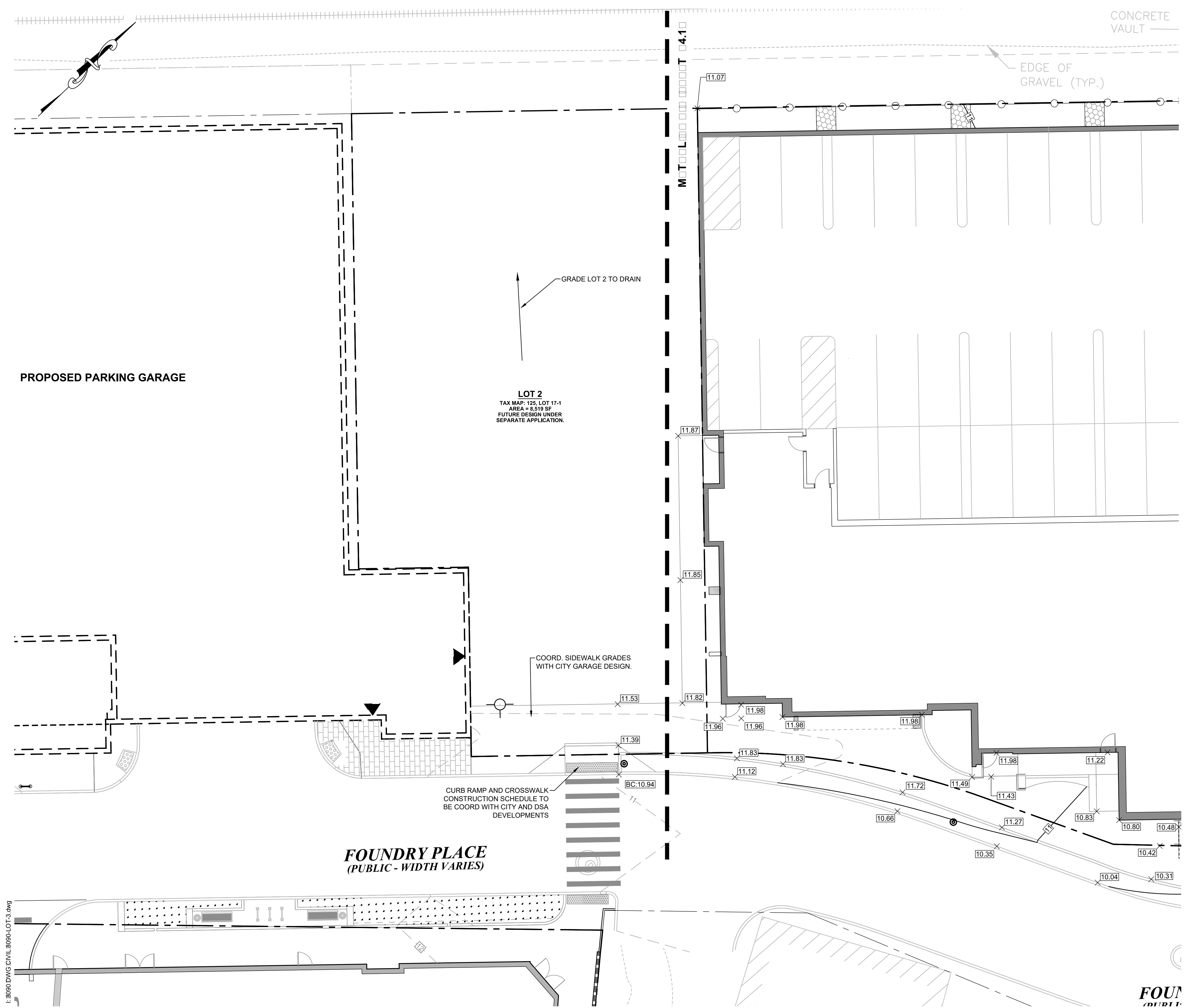
- NOTES:
1. A SIGNIFICANT PORTION OF SIDEWALK RUNOFF IS DIRECTED INTO THE LANDSCAPED VEGETATED AREAS.
 2. ALL CONDITIONS OF THE PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REGULATIONS.

OT GR D G BBR T O
 BC: BOTTOM OF CURB
 EG: EXISTING GRADE
 TC: TOP OF CURB
 HP: HIGH POINT
 TOW: TOP OF WALL
 BOW: BOTTOM OF WALL
 X 17.17 : SPOT GRADE



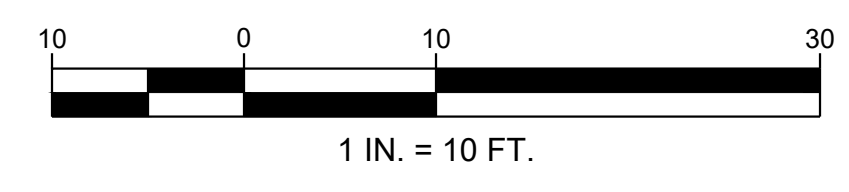
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RM T L O O T O R O O T R T O



- NOTES:
1. THE GARAGE FLOOR PITCHES INTO THE BUILDING FROM THE ENTRANCE. WATER WITHIN THE GARAGE WILL BE COLLECTED WITHIN AN EVAPORATIVE TRENCH DRAIN.
 2. A SIGNIFICANT PORTION OF SIDEWALK RUNOFF IS DIRECTED INTO THE LANDSCAPED VEGETATED AREAS.
 3. ALL CONDITIONS OF THE PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REGULATIONS.

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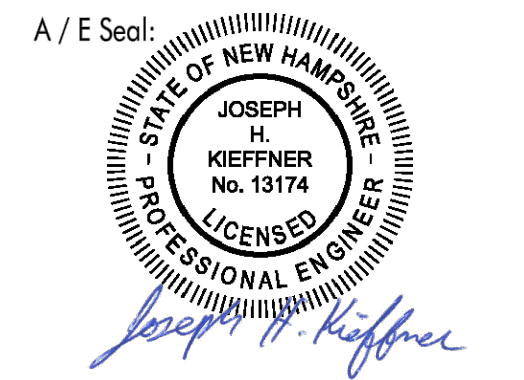
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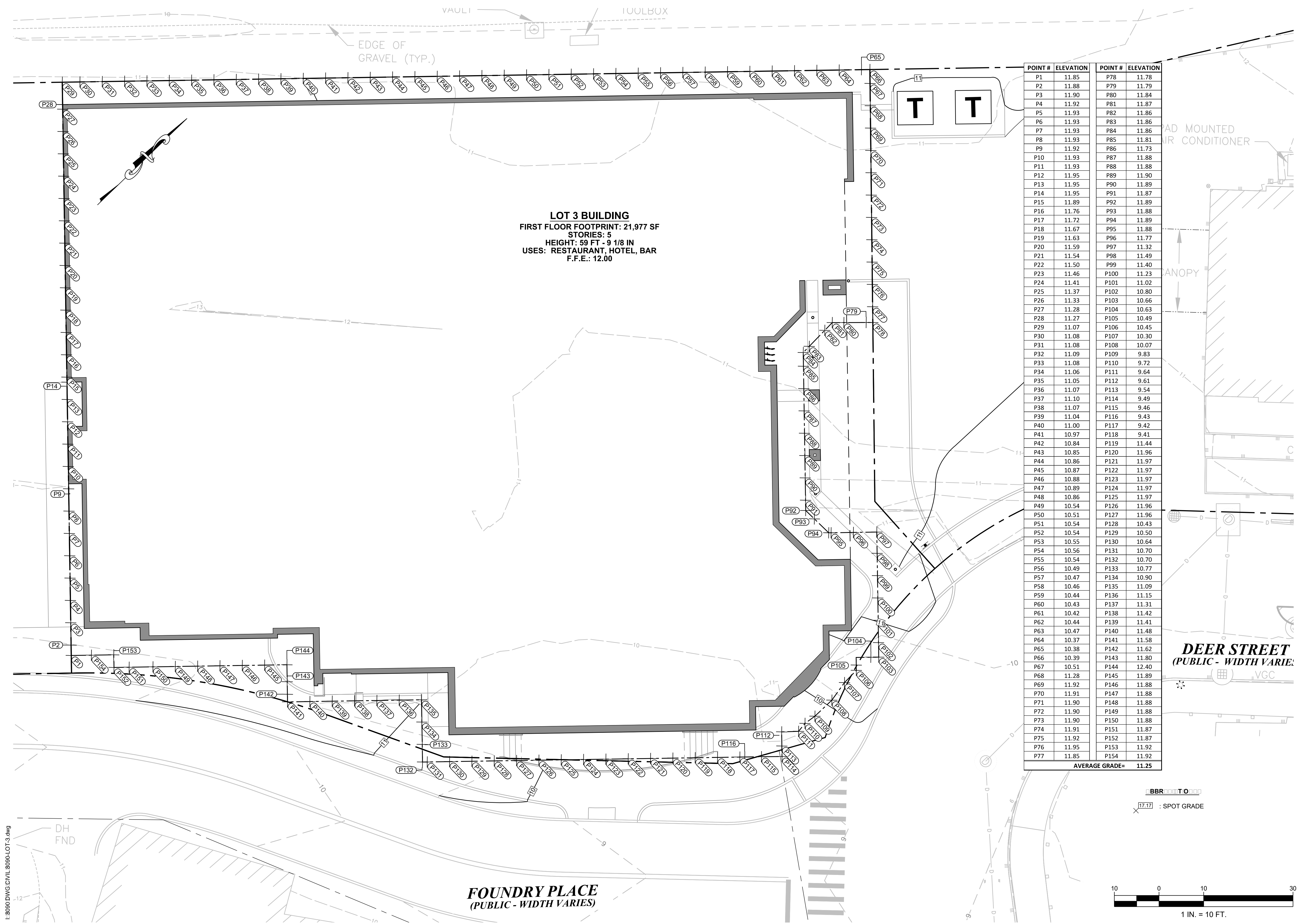
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SITE PLAN REVIEW

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LOT 2

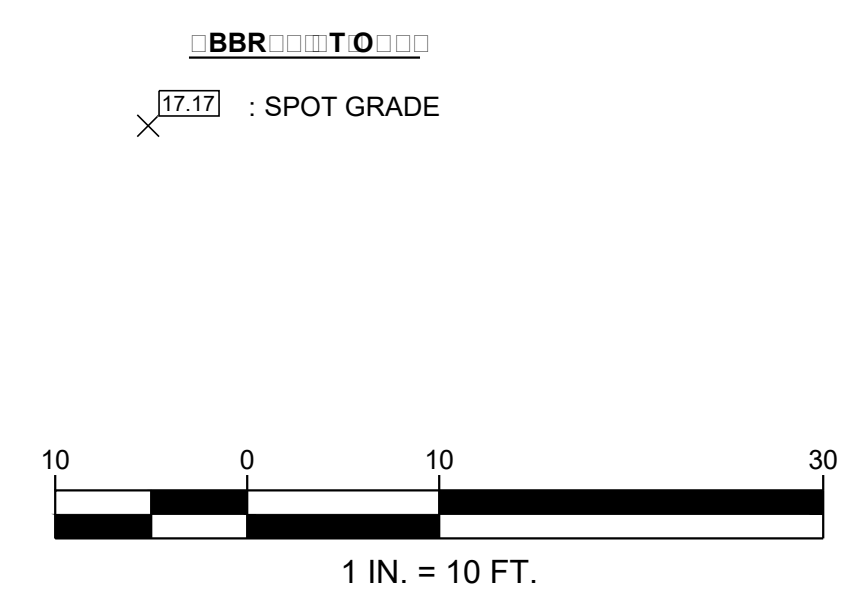
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LOT 3 BUILDING
 FIRST FLOOR FOOTPRINT: 21,977 SF
 STORIES: 5
 HEIGHT: 59 FT - 9 1/8 IN
 USES: RESTAURANT, HOTEL, BAR
 F.F.E.: 12.00

POINT #	ELEVATION	POINT #	ELEVATION
P1	11.85	P78	11.78
P2	11.88	P79	11.79
P3	11.90	P80	11.84
P4	11.92	P81	11.87
P5	11.93	P82	11.86
P6	11.93	P83	11.86
P7	11.93	P84	11.86
P8	11.93	P85	11.81
P9	11.92	P86	11.73
P10	11.93	P87	11.88
P11	11.93	P88	11.88
P12	11.95	P89	11.90
P13	11.95	P90	11.89
P14	11.95	P91	11.87
P15	11.89	P92	11.89
P16	11.76	P93	11.88
P17	11.72	P94	11.89
P18	11.67	P95	11.88
P19	11.63	P96	11.77
P20	11.59	P97	11.32
P21	11.54	P98	11.49
P22	11.50	P99	11.40
P23	11.46	P100	11.23
P24	11.41	P101	11.02
P25	11.37	P102	10.80
P26	11.33	P103	10.66
P27	11.28	P104	10.63
P28	11.27	P105	10.49
P29	11.07	P106	10.45
P30	11.08	P107	10.30
P31	11.08	P108	10.07
P32	11.09	P109	9.83
P33	11.08	P110	9.72
P34	11.06	P111	9.64
P35	11.05	P112	9.61
P36	11.07	P113	9.54
P37	11.10	P114	9.49
P38	11.07	P115	9.46
P39	11.04	P116	9.43
P40	11.00	P117	9.42
P41	10.97	P118	9.41
P42	10.84	P119	11.44
P43	10.85	P120	11.96
P44	10.86	P121	11.97
P45	10.87	P122	11.97
P46	10.88	P123	11.97
P47	10.89	P124	11.97
P48	10.86	P125	11.97
P49	10.54	P126	11.96
P50	10.51	P127	11.96
P51	10.54	P128	10.43
P52	10.54	P129	10.50
P53	10.55	P130	10.64
P54	10.56	P131	10.70
P55	10.54	P132	10.70
P56	10.49	P133	10.77
P57	10.47	P134	10.90
P58	10.46	P135	11.09
P59	10.44	P136	11.15
P60	10.43	P137	11.31
P61	10.42	P138	11.42
P62	10.44	P139	11.41
P63	10.47	P140	11.48
P64	10.37	P141	11.58
P65	10.38	P142	11.62
P66	10.39	P143	11.80
P67	10.51	P144	12.40
P68	11.28	P145	11.89
P69	11.92	P146	11.88
P70	11.91	P147	11.88
P71	11.90	P148	11.88
P72	11.90	P149	11.88
P73	11.90	P150	11.88
P74	11.91	P151	11.87
P75	11.92	P152	11.87
P76	11.95	P153	11.92
P77	11.85	P154	11.92

AVERAGE GRADE= 11.25



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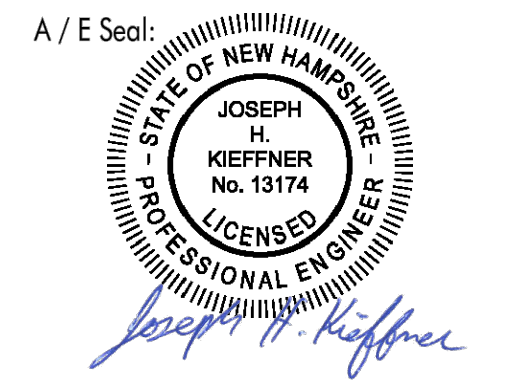
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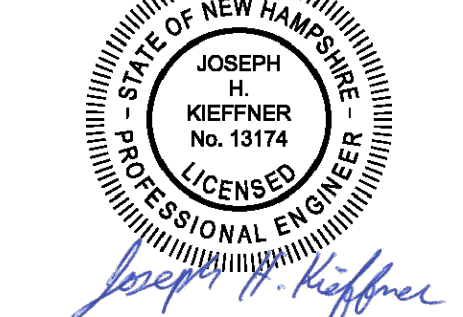
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A / E Seal:

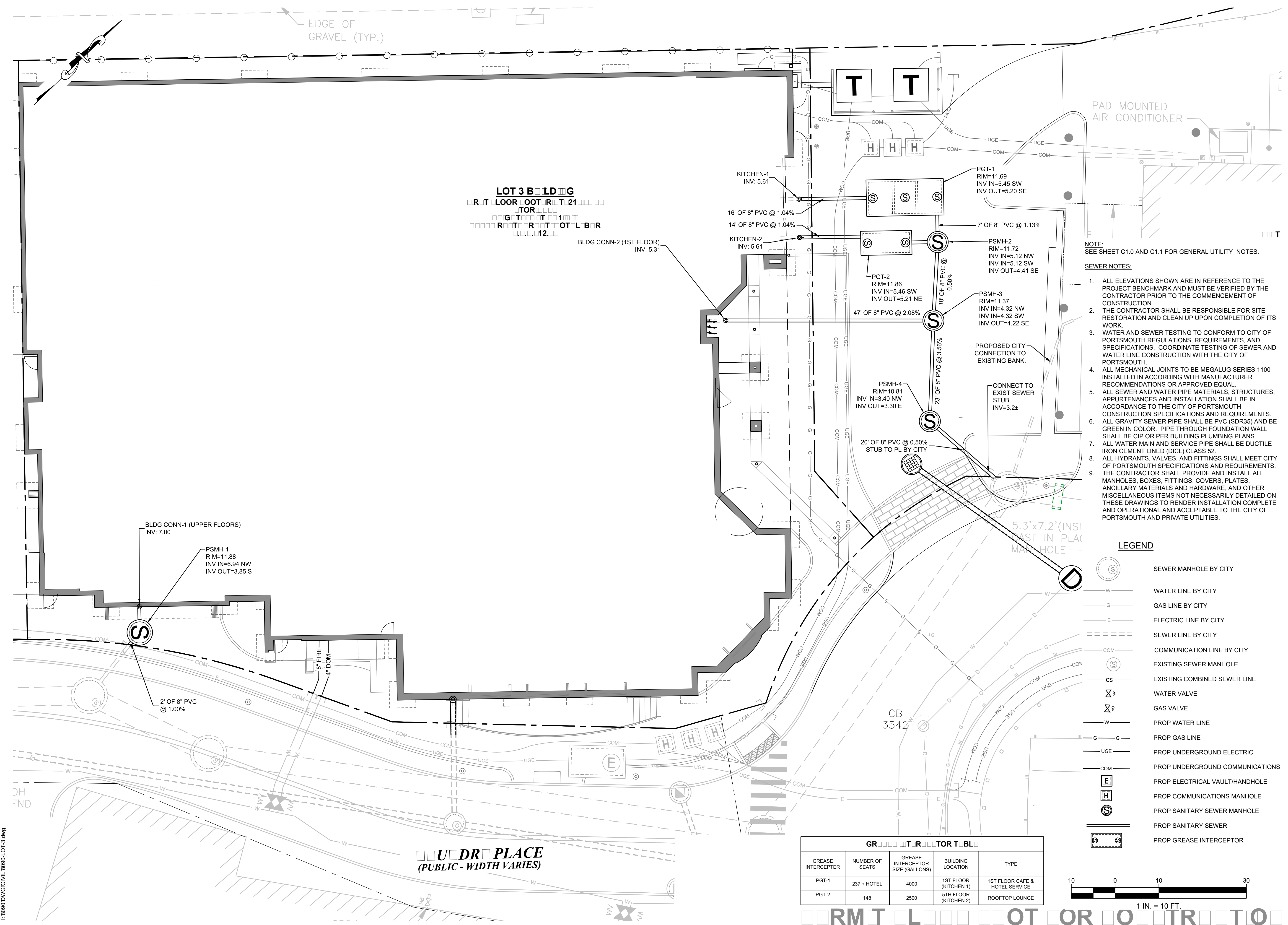


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SITE PLAN REVIEW

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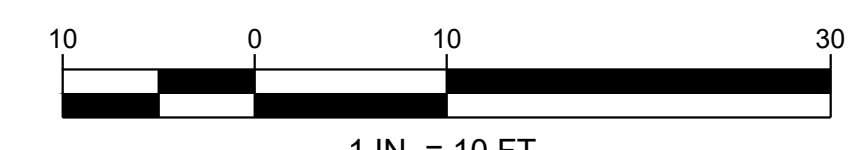
NOTE:
SEE SHEET C1.0 AND C1.1 FOR GENERAL UTILITY NOTES.

- SEWER NOTES:**
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE PROJECT BENCHMARK AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE RESTORATION AND CLEAN UP UPON COMPLETION OF ITS WORK.
 - WATER AND SEWER TESTING TO CONFORM TO CITY OF PORTSMOUTH REGULATIONS, REQUIREMENTS, AND SPECIFICATIONS. COORDINATE TESTING OF SEWER AND WATER LINE CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
 - ALL MECHANICAL JOINTS TO BE MEGALUG SERIES 1100 INSTALLED IN ACCORDING WITH MANUFACTURER RECOMMENDATIONS OR APPROVED EQUAL.
 - ALL SEWER AND WATER PIPE MATERIALS, STRUCTURES, APPURTENANCES AND INSTALLATION SHALL BE IN ACCORDANCE TO THE CITY OF PORTSMOUTH CONSTRUCTION SPECIFICATIONS AND REQUIREMENTS.
 - ALL GRAVITY SEWER PIPE SHALL BE PVC (SDR35) AND BE GREEN IN COLOR. PIPE THROUGH FOUNDATION WALL SHALL BE CIP OR PER BUILDING PLUMBING PLANS.
 - ALL WATER MAIN AND SERVICE PIPE SHALL BE DUCTILE IRON CEMENT LINED (DICTL) CLASS 52.
 - ALL HYDRANTS, VALVES, AND FITTINGS SHALL MEET CITY OF PORTSMOUTH SPECIFICATIONS AND REQUIREMENTS.
 - THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, COVERS, PLATES, ANCILLARY MATERIALS AND HARDWARE, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION COMPLETE AND OPERATIONAL AND ACCEPTABLE TO THE CITY OF PORTSMOUTH AND PRIVATE UTILITIES.

LEGEND

- SEWER MANHOLE BY CITY
- WATER LINE BY CITY
- GAS LINE BY CITY
- ELECTRIC LINE BY CITY
- SEWER LINE BY CITY
- EXISTING SEWER MANHOLE
- EXISTING COMBINED SEWER LINE
- WATER VALVE
- GAS VALVE
- PROP WATER LINE
- PROP GAS LINE
- PROP UNDERGROUND ELECTRIC
- PROP UNDERGROUND COMMUNICATIONS
- PROP ELECTRICAL VAULT/HANDHOLE
- PROP COMMUNICATIONS MANHOLE
- PROP SANITARY SEWER MANHOLE
- PROP SANITARY SEWER
- PROP GREASE INTERCEPTOR

GREASE INTERCEPTOR				
GREASE INTERCEPTOR	NUMBER OF SEATS	GREASE INTERCEPTOR SIZE (GALLONS)	BUILDING LOCATION	TYPE
PGT-1	237 + HOTEL	4000	1ST FLOOR (KITCHEN 1)	1ST FLOOR CAFE & HOTEL SERVICE
PGT-2	148	2500	5TH FLOOR (KITCHEN 2)	ROOFTOP LOUNGE



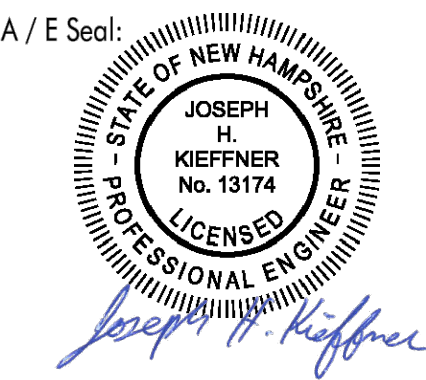
**THE HOTEL AT
FOUNDRY PLACE,
"LOT 3": 165 DEER
STREET, ASSESSORS
MAP 125 LOT 17,
AND RELATED
IMPROVEMENTS TO
LOTS 2, 4 AND 5**

PORTSMOUTH, NH 03801

OWNER:

Deer Street Associates

7 BANKS ROCK ROAD
YORK HARBOR, ME

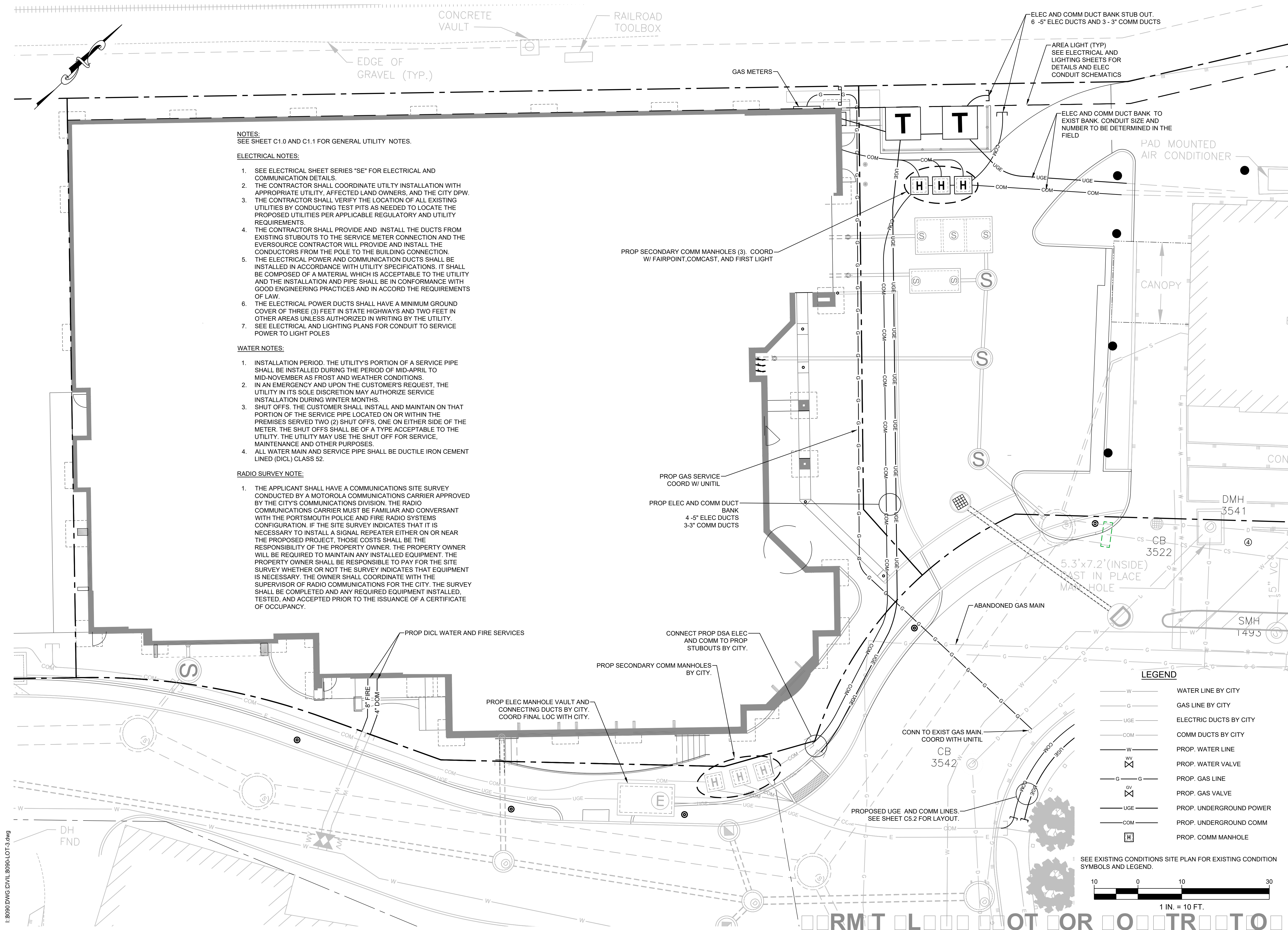


Scale:
Date: **3/17/2017**
Project Number: **14837.02**

REVISIONS		
NO.	DESCRIPTION	DATE
1	TAC PUBLIC HEARING	3/17/2017
2	TAC PUBLIC HEARING	11/17/2017
3	TAC PUBLIC HEARING	12/19/2017

SITE PLAN REVIEW

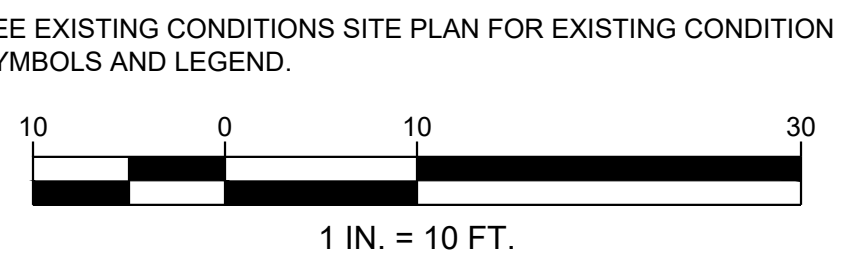
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T R G L L L L L
L L L L L L L L



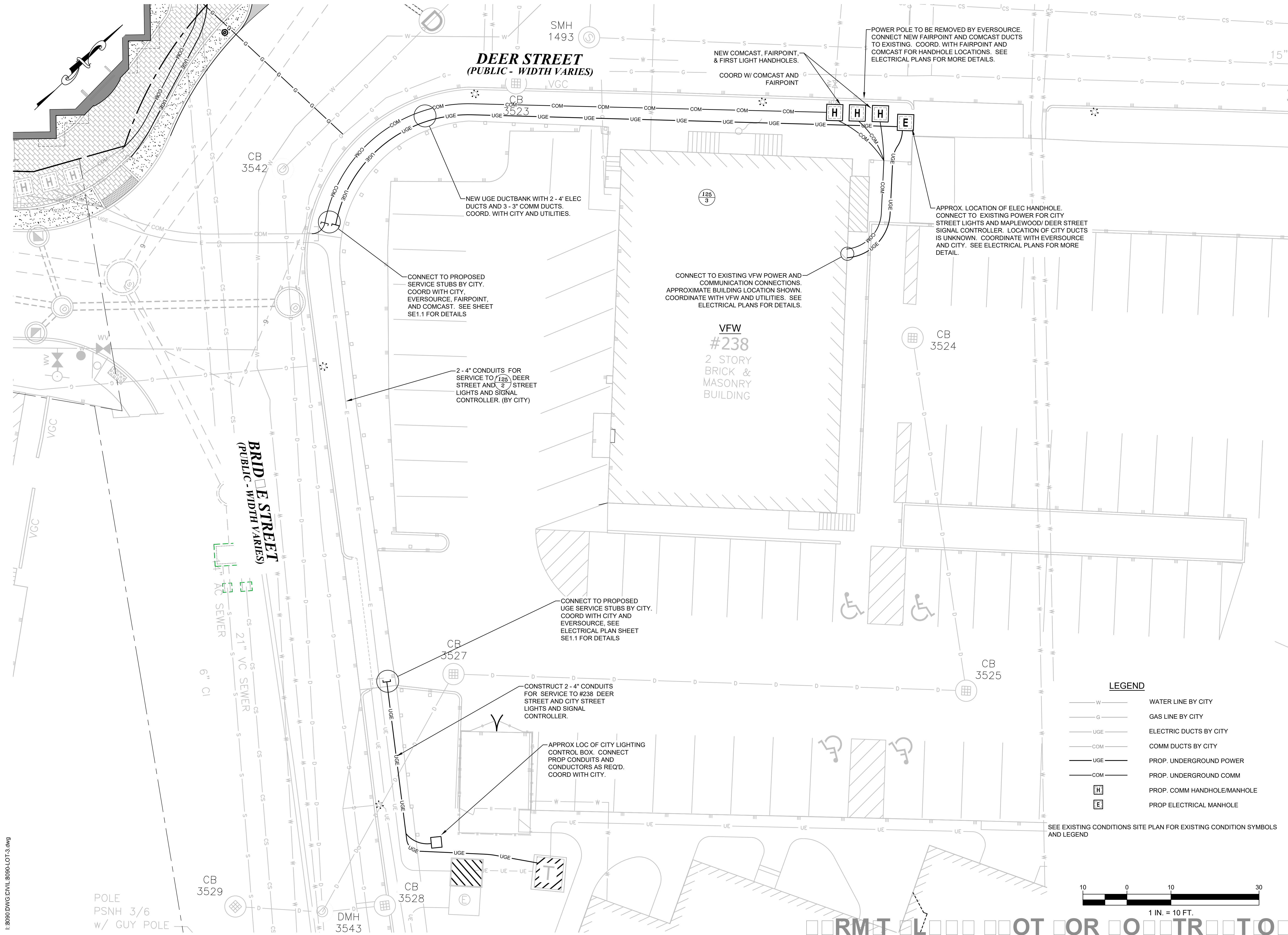
- NOTES:**
SEE SHEET C1.0 AND C1.1 FOR GENERAL UTILITY NOTES.
- ELECTRICAL NOTES:**
- SEE ELECTRICAL SHEET SERIES "SE" FOR ELECTRICAL AND COMMUNICATION DETAILS.
 - THE CONTRACTOR SHALL COORDINATE UTILITY INSTALLATION WITH APPROPRIATE UTILITY, AFFECTED LAND OWNERS, AND THE CITY DPW.
 - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BY CONDUCTING TEST PITS AS NEEDED TO LOCATE THE PROPOSED UTILITIES PER APPLICABLE REGULATORY AND UTILITY REQUIREMENTS.
 - THE CONTRACTOR SHALL PROVIDE AND INSTALL THE DUCTS FROM EXISTING STUBOUTS TO THE SERVICE METER CONNECTION AND THE EVERSOURCE CONTRACTOR WILL PROVIDE AND INSTALL THE CONDUCTORS FROM THE POLE TO THE BUILDING CONNECTION.
 - THE ELECTRICAL POWER AND COMMUNICATION DUCTS SHALL BE INSTALLED IN ACCORDANCE WITH UTILITY SPECIFICATIONS. IT SHALL BE COMPOSED OF A MATERIAL WHICH IS ACCEPTABLE TO THE UTILITY AND THE INSTALLATION AND PIPE SHALL BE IN CONFORMANCE WITH GOOD ENGINEERING PRACTICES AND IN ACCORD THE REQUIREMENTS OF LAW.
 - THE ELECTRICAL POWER DUCTS SHALL HAVE A MINIMUM GROUND COVER OF THREE (3) FEET IN STATE HIGHWAYS AND TWO FEET IN OTHER AREAS UNLESS AUTHORIZED IN WRITING BY THE UTILITY.
 - SEE ELECTRICAL AND LIGHTING PLANS FOR CONDUIT TO SERVICE POWER TO LIGHT POLES
- WATER NOTES:**
- INSTALLATION PERIOD. THE UTILITY'S PORTION OF A SERVICE PIPE SHALL BE INSTALLED DURING THE PERIOD OF MID-APRIL TO MID-NOVEMBER AS FROST AND WEATHER CONDITIONS.
 - IN AN EMERGENCY AND UPON THE CUSTOMER'S REQUEST, THE UTILITY IN ITS SOLE DISCRETION MAY AUTHORIZE SERVICE INSTALLATION DURING WINTER MONTHS.
 - SHUT OFFS. THE CUSTOMER SHALL INSTALL AND MAINTAIN ON THAT PORTION OF THE SERVICE PIPE LOCATED ON OR WITHIN THE PREMISES SERVED TWO (2) SHUT OFFS, ONE ON EITHER SIDE OF THE METER. THE SHUT OFFS SHALL BE OF A TYPE ACCEPTABLE TO THE UTILITY. THE UTILITY MAY USE THE SHUT OFF FOR SERVICE, MAINTENANCE AND OTHER PURPOSES.
 - ALL WATER MAIN AND SERVICE PIPE SHALL BE DUCTILE IRON CEMENT LINED (DICTL) CLASS 52.
- RADIO SURVEY NOTE:**
- THE APPLICANT SHALL HAVE A COMMUNICATIONS SITE SURVEY CONDUCTED BY A MOTOROLA COMMUNICATIONS CARRIER APPROVED BY THE CITY'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE PORTSMOUTH POLICE AND FIRE RADIO SYSTEMS CONFIGURATION. IF THE SITE SURVEY INDICATES THAT IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER WILL BE REQUIRED TO MAINTAIN ANY INSTALLED EQUIPMENT. THE PROPERTY OWNER SHALL BE RESPONSIBLE TO PAY FOR THE SITE SURVEY WHETHER OR NOT THE SURVEY INDICATES THAT EQUIPMENT IS NECESSARY. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR THE CITY. THE SURVEY SHALL BE COMPLETED AND ANY REQUIRED EQUIPMENT INSTALLED, TESTED, AND ACCEPTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

LEGEND

— W —	WATER LINE BY CITY
— G —	GAS LINE BY CITY
— UGE —	ELECTRIC DUCTS BY CITY
— COM —	COMM DUCTS BY CITY
— W —	PROP. WATER LINE
⊗	PROP. WATER VALVE
— G —	PROP. GAS LINE
⊗	PROP. GAS VALVE
— UGE —	PROP. UNDERGROUND POWER
— COM —	PROP. UNDERGROUND COMM
⊠	PROP. COMM MANHOLE

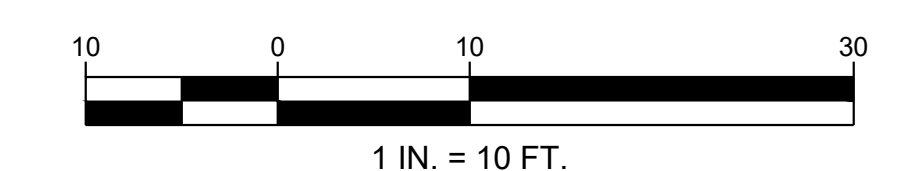


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POLE
PSNH 3/6
w/ GUY POLE



LEGEND

- W — WATER LINE BY CITY
- G — GAS LINE BY CITY
- UGE — ELECTRIC DUCTS BY CITY
- COM — COMM DUCTS BY CITY
- UGE — PROP. UNDERGROUND POWER
- COM — PROP. UNDERGROUND COMM
- [H] PROP. COMM HANDHOLE/MANHOLE
- [E] PROP ELECTRICAL MANHOLE

SEE EXISTING CONDITIONS SITE PLAN FOR EXISTING CONDITION SYMBOLS AND LEGEND



273 CORPORATE DRIVE
PORTSMOUTH, NH 03801
T 603.436.2551
F 603.436.6973
www.jsainc.com

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GEOTECH & CIVIL
MANCHESTER, NEW HAMPSHIRE

GREENMAN-PEDERSEN, INC.
LANDSCAPE ARCHITECT
PORTSMOUTH, NEW HAMPSHIRE

JSN ASSOCIATES, INC.
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PORTSMOUTH, NEW HAMPSHIRE

ENGINEERED SYSTEMS INC.
MPPF ENGINEER
WOBURN, MASSACHUSETTS

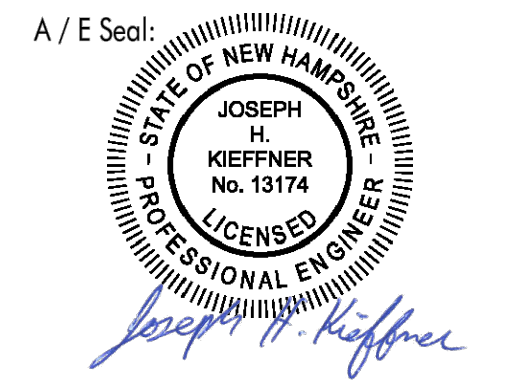
ENGINEERED BUILDING SYSTEMS
ELECTRICAL ENGINEER
DERRY, NEW HAMPSHIRE

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STREET, ASSESSORS
MAP 125 LOT 17,
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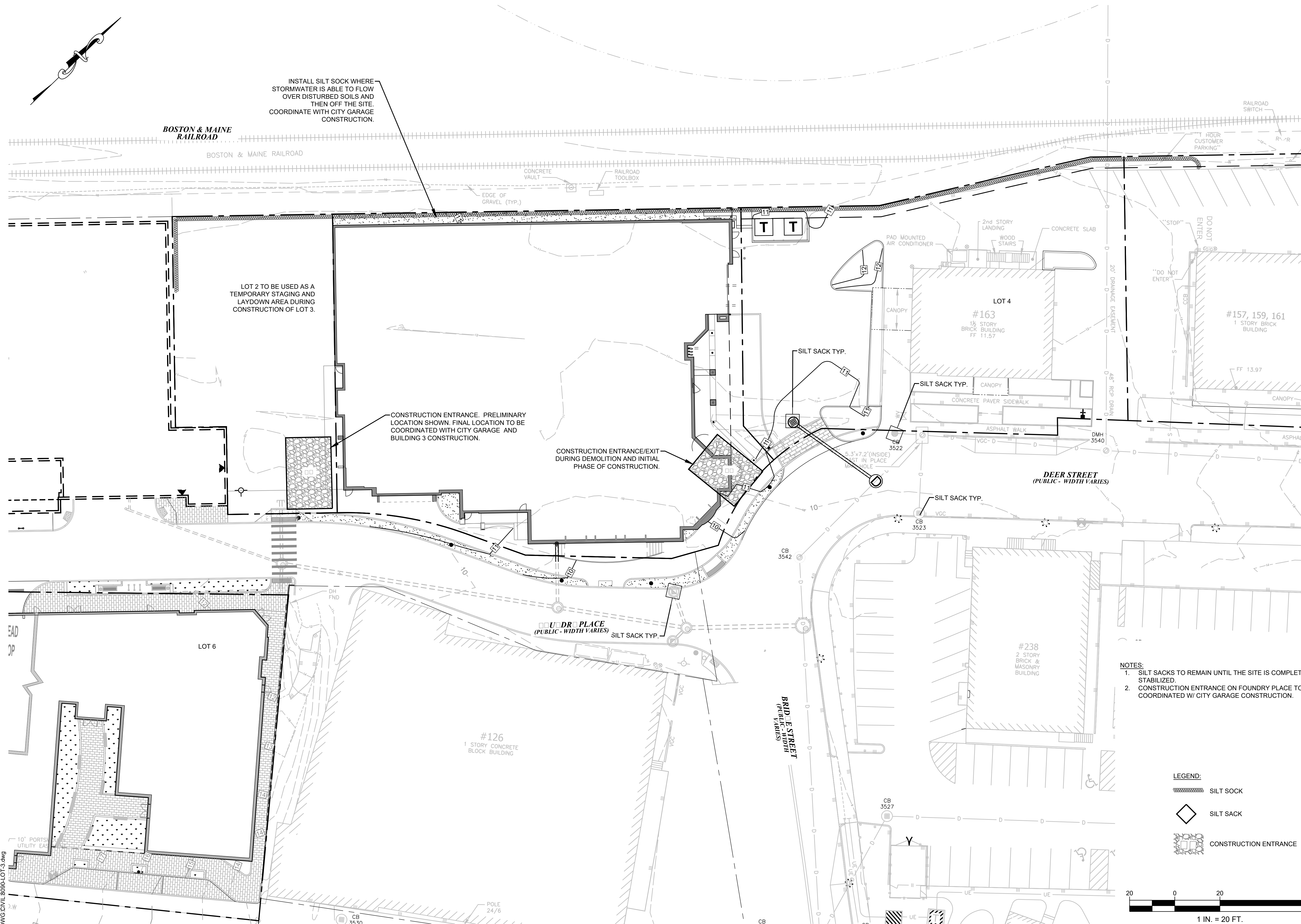
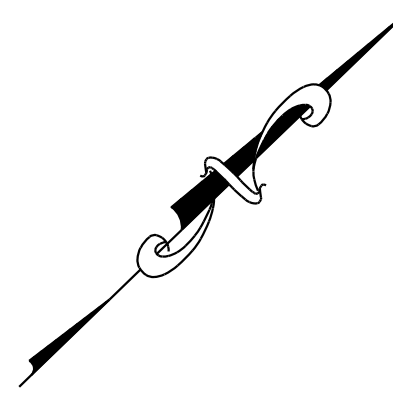
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3	TAC PUBLIC HEARING	12/19/2017

SITE PLAN REVIEW

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INSTALL SILT SOCK WHERE STORMWATER IS ABLE TO FLOW OVER DISTURBED SOILS AND THEN OFF THE SITE. COORDINATE WITH CITY GARAGE CONSTRUCTION.

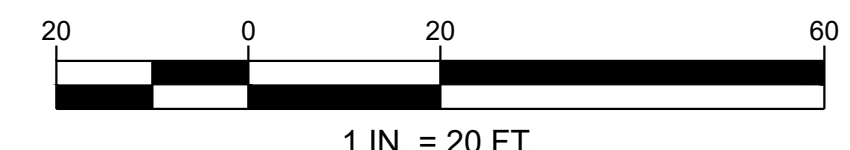
LOT 2 TO BE USED AS A TEMPORARY STAGING AND LAYDOWN AREA DURING CONSTRUCTION OF LOT 3.

CONSTRUCTION ENTRANCE. PRELIMINARY LOCATION SHOWN. FINAL LOCATION TO BE COORDINATED WITH CITY GARAGE AND BUILDING 3 CONSTRUCTION.

CONSTRUCTION ENTRANCE/EXIT DURING DEMOLITION AND INITIAL PHASE OF CONSTRUCTION.

- NOTES:**
1. SILT SOCKS TO REMAIN UNTIL THE SITE IS COMPLETE STABILIZED.
 2. CONSTRUCTION ENTRANCE ON FOUNDRY PLACE TO BE COORDINATED W/ CITY GARAGE CONSTRUCTION.

- LEGEND:**
- SILT SOCK
 - SILT SACK
 - CONSTRUCTION ENTRANCE



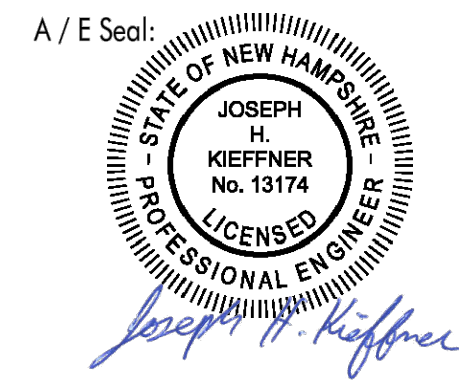
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SITE PLAN REVIEW

R O
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 L

- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE PLAN. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE TERMS AND CONDITIONS OF THE CONSTRUCTION GENERAL PERMIT ISSUED BY THE EPA AND THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SUBMITTED WITH THE PERMIT DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE TIMELY INSPECTION, MAINTENANCE, AND/OR REPLACEMENT OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES TO ENSURE PROPER OPERATION THROUGHOUT THE LIFE OF THE CONSTRUCTION PROJECT OR UNTIL IT IS ACCEPTED BY THE OWNER. THE OWNER IS RESPONSIBLE THEREAFTER.
- NO DUST WILL BE ALLOWED ON OR OFF THE WORK SITE. CONTRACTOR MUST CONDUCT CONTINUOUS EFFORTS TO CONTROL DUST. LACK OF SUFFICIENT DUST CONTROL COULD CAUSE THE PROJECT TO BE STOPPED UNTIL ISSUES ARE RESOLVED.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN ROADS, CONTROL DUST, AND TAKE ALL NECESSARY MEASURES TO ENSURE THAT THE SITE AND ALL ADJACENT ROADS BE MAINTAINED IN A MUD AND DUST-FREE CONDITION AT ALL TIMES THROUGHOUT THE LIFE OF THE CONTRACT. DUST CONTROL SHALL INCLUDE, BUT IS NOT LIMITED TO, CAREFUL USE OF WATER, CALCIUM CHLORIDE, AND/OR CRUSHED STONE OR COARSE GRAVEL AS CONTROL BMPs.
- ALL PROPOSED CONSTRUCTION ENTRANCES SHALL BE CONSTRUCTED AS SHOWN ON THE PLANS AND DETAILS. ALL VEHICLE TRAFFIC ENTERING OR EXITING THE WORK AREA SHALL PASS OVER THE CONSTRUCTION ENTRANCES TO REDUCE THE TRACKING OR FLOWING OF SEDIMENT ONTO THE SURROUNDING ROADWAYS UNTIL THE SITE IS STABILIZED.
- THE CONTRACTOR SHALL INSTALL ALL PERIMETER SEDIMENT CONTROL BARRIERS AS SHOWN ON THE EROSION CONTROL PLAN. SILT FENCE OR SILT SOCK SHALL ALSO BE INSTALLED AROUND ANY SOIL STOCKPILE AREAS. THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS AS QUICKLY AS PRACTICABLE. AREAS DAMAGED DURING CONSTRUCTION SHALL BE RESEDED, RESEEDING, OR OTHERWISE STABILIZED OR RESTORED TO THEIR ORIGINAL STATE. TREES AND OTHER EXISTING VEGETATION SHALL BE RETAINED WHEREVER FEASIBLE.
- THE CONTRACTOR MAY USE TEMPORARY SEDIMENTATION AND/OR INFILTRATION BASINS ON THE SITE DURING CONSTRUCTION. THESE STRUCTURES SHOULD BE STRATEGICALLY LOCATED AND SIZED COMMENSURATE WITH THE PHASE OF CONSTRUCTION. THE CONTRACTOR SHALL REMOVE AND STABILIZE THESE STRUCTURES WHEN NO LONGER REQUIRED.
- TEMPORARY COVERINGS OR OTHER APPROVED STABILIZATION METHOD SHALL BE APPLIED TO ANY DISTURBED AREAS (INCLUDING SOIL STOCKPILE AREAS) THAT HAVE NOT YET REACHED FINISHED GRADE AS SOON AS POSSIBLE, BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY CEASED, UNLESS THE ACTIVITY IS TO RESUME WITHIN TWENTY-ONE (21) DAYS.
- PERMANENT VEGETATIVE COVER SHALL BE APPLIED TO ALL DISTURBED SOIL AREAS THAT HAVE REACHED FINISHED LANDSCAPE GRADE AS SOON AS POSSIBLE, BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS PERMANENTLY CEASED. THE RECOMMENDED PERMANENT SEEDING DATES ARE APRIL 1 TO JUNE 15 AND AUGUST 15 TO OCTOBER 1. WHERE AREAS HAVE REACHED FINISHED GRADE AND ARE NOT INTENDED TO BE VEGETATED, TEMPORARY TARPS OR OTHER STABILIZING COVERS MAY BE PLACED.
- AREAS WHICH HAVE BEEN TEMPORARILY OR PERMANENTLY SEEDED SHOULD BE MULCHED IMMEDIATELY FOLLOWING SEEDING IN ADDITION TO AREAS WHICH CANNOT BE SEEDED WITHIN THE RECOMMENDED SEEDING DATES AND ANY SOIL STOCKPILE AREAS. TEMPORARY MULCHING SHOULD BE PERFORMED AS SOON AS POSSIBLE, BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY CEASED UNLESS THE ACTIVITY IS TO RESUME WITHIN TWENTY-ONE (21) DAYS. STRAW OR HAY MULCH, WOOD FIBER MULCH, AND HYDROMULCH ARE RECOMMENDED MULCHES.
- IF SEEDING CANNOT BE COMPLETED IMMEDIATELY OR WITHIN THE RECOMMENDED SEEDING DATES, USE THE TEMPORARY MULCHING MEASURE TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- WHERE TEMPORARY COVERS ARE USED OVER STOCKPILES AND/OR DISTURBED SOIL AREAS, THE COVERS SHALL BE SUFFICIENTLY ANCHORED AGAINST WIND. THE CONTRACTOR MUST ANTICIPATE AND MANAGE RUNOFF FROM SUCH COVERINGS.
- ANY EXISTING OR PROPOSED CATCH BASINS THAT MAY BE SUBJECT TO SEDIMENTATION PROCESSES SHALL HAVE SILT SACKS INSTALLED TO PREVENT SEDIMENT FROM ENTERING THE PROPOSED STORM DRAINAGE SYSTEM PRIOR TO PERMANENT STABILIZATION OF THE DISTURBED SITE. THE PROPER INLET PROTECTION DEVICES SHALL BE INSTALLED WHERE STORM DRAIN INLETS ARE TO BE MADE OPERATIONAL BEFORE PERMANENT STABILIZATION OF ANY DISTURBED DRAINAGE AREA.
- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE NHDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGES AND THE NEW HAMPSHIRE STORM WATER MANAGEMENT HANDBOOK.
- WASTE DISPOSAL: MATERIALS WHICH COULD BE A POTENTIAL SOURCE OF STORM WATER POLLUTION SUCH AS GASOLINE, DIESEL FUEL, HYDRAULIC

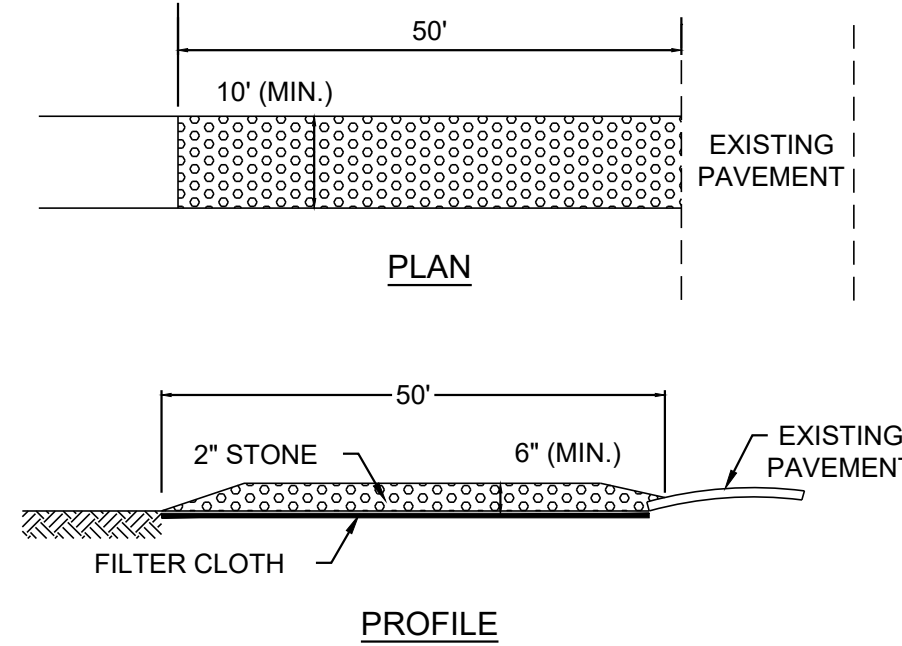
OIL, ETC., SHALL BE STORED AT THE END OF EACH DAY IN A STORAGE TRAILER OR COVERED LOCATION AND TAKEN OFF-SITE AND PROPERLY DISPOSED OF. ALL TYPES OF WASTE GENERATED AT THIS SITE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH STATE LAW AND/OR REGULATIONS.

- GOOD HOUSEKEEPING: THE PROJECT SITE SHALL PROVIDE FOR THE MINIMIZATION OF EXPOSURE OF CONSTRUCTION DEBRIS (INCLUDING, BUT NOT LIMITED TO, INSULATION, WIRING, PAINTS AND PAINT CANS, SOLVENTS, WALL BOARD, ETC.) TO PRECIPITATION BY MEANS OF DISPOSAL AND/OR PROPER SHELTER OR COVER. IN ADDITION, CONSTRUCTION WASTE MUST BE PROPERLY DISPOSED OF IN ORDER TO AVOID EXPOSURE TO PRECIPITATION AT THE END OF EACH WORKING DAY.
- REPAIRS OR REPLACEMENT OF DRAINAGE STRUCTURES, SWALES, OR OTHER DRAINAGE ELEMENTS SHOULD BE DONE WITHIN 14 DAYS OF DEFICIENCY REPORTS. IF AN EMERGENCY SITUATION IS IMMINENT THEN REPAIR/REPLACEMENT MUST BE DONE IMMEDIATELY TO AVERT FAILURE OR IMPACT TO NEARBY RESIDENTS.
- IMMEDIATELY PRIOR TO THE END OF CONSTRUCTION OR ACCEPTANCE BY THE OWNER, THE CONTRACTOR SHALL INSPECT ALL ON-SITE STORMWATER MANAGEMENT FACILITIES AND CLEAN AND FLUSH AS NECESSARY.
- THE CONTRACTOR OR NOMINEE WILL BE THE PARTY RESPONSIBLE FOR THE INSPECTION, MAINTENANCE, AND REQUIRED DOCUMENTATION OF ALL STORMWATER STRUCTURES UNTIL FORMAL PROJECT COMPLETION.

ROBERT O'CONNOR

DESCRIBED BELOW ARE THE MAJOR CONSTRUCTION ACTIVITIES ANTICIPATED. THEY ARE PRESENTED IN THE ORDER (OR SEQUENCE) THEY ARE EXPECTED TO BEGIN, BUT EACH ACTIVITY WILL NOT NECESSARILY BE COMPLETED BEFORE THE NEXT BEGINS. ALSO, THESE ACTIVITIES COULD OCCUR IN A DIFFERENT ORDER IF NECESSARY TO MAINTAIN ADEQUATE EROSION AND SEDIMENTATION CONTROL. ALL ACTIVITIES AND THE TIMEFRAME (BEGINNING AND ENDING DATES) SHALL BE RECORDED BY THE CONTRACTOR:

- CONTRACTOR TO REVIEW ALL APPLICABLE LOCAL, STATE AND FEDERAL PERMITS.
- REVIEW AND CERTIFY THE STORMWATER POLLUTION PREVENTION PLAN.
- INSTALL TEMPORARY CONSTRUCTION FENCING.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE
- INSTALL EROSION CONTROL MEASURES PRIOR TO EARTH MOVING OPERATIONS.
- DECOMMISSION AND DEMOLISH EXISTING STRUCTURES AND UTILITIES AFTER UTILITY APPROVAL.
- BEGIN ROUGH GRADING, TEMPORARY EARTH SUPPORT, AND EARTHWORK OPERATIONS FOR FOUNDATION AND UTILITY CONSTRUCTION.
- CONSTRUCT BUILDING FOUNDATION AND EXTERIOR WALLS TO ABOVE PROPOSED GRADES.
- CONSTRUCT CONCRETE BOX DETENTION AND DRAINAGE FACILITIES.
- CONSTRUCT SANITARY SEWER STRUCTURES AND CONNECTING FACILITIES.
- FINISH BUILDING STRUCTURE CONSTRUCTION.
- SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER GRADING. ALL DISTURBED AREAS SHALL BE STABILIZED NO LATER THAN 72-HOURS AFTER CONSTRUCTION ACTIVITIES CEASE. IF EARTHWORK TEMPORARILY CEASES ON A PORTION OF OR ON THE ENTIRE SITE, AND WILL NOT RESUME WITHIN 21-DAYS, THE AREA SHALL BE STABILIZED. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED OR
 - EROSION CONTROL BLANKETS OR TEMPORARY TARPING HAVE BEEN PROPERLY INSTALLED.
- INSTALL AND CONNECT ALL UNDERGROUND UTILITIES.
- CONSTRUCT ROADWAYS AND DRIVEWAYS ACCORDING TO THE PLAN. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
- SURFACE TREATMENT OF ALL DISTURBED AREAS NOT BUILT UPON, PAVED OR OTHERWISE LANDSCAPED SHALL BE TREATED WITH 4" OF LOAM AND SEED.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL MEASURES CONSISTENT WITH THE PROCEDURE AND SCHEDULE OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING, AND OTHER SURFACE STABILIZATION.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER ALL AREAS ARE STABILIZED WITH A SUITABLE STAND OF GRASS, PAVEMENT COMPACTED GRAVELS, OR OTHER INTENDED FINAL COVERINGS.

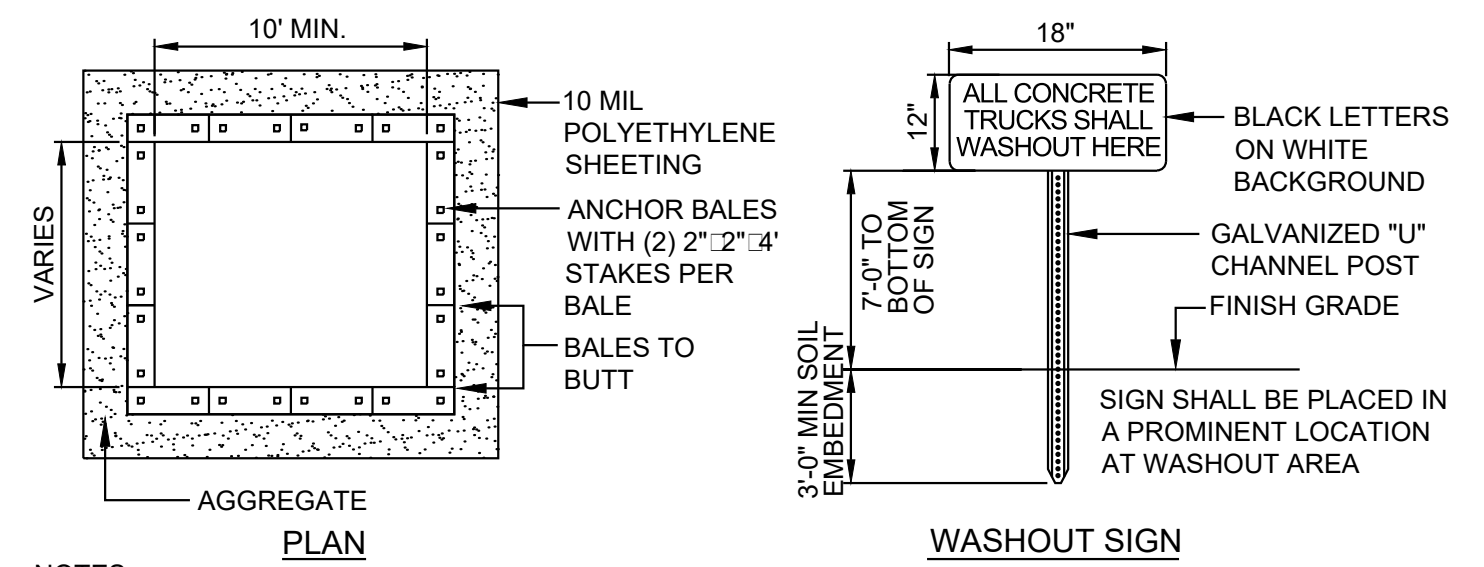


CONSTRUCTION SPECIFICATIONS:

- USE 2" DIAMETER STONE OR RECLAIMED/RECYCLED CONCRETE EQUIVALENT.
- RECOMMENDED LENGTH GREATER THAN 50 FEET WHERE PRACTICAL.
- THICKNESS NOT LESS THAN 6 INCHES.
- 10 FOOT MINIMUM WIDTH, BUT NOT LESS THAN FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCUR.
- FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WILL BE PERMITTED.
- ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED BY THE CONTRACTOR.
- REMOVE STABILIZED CONSTRUCTION ENTRANCE PRIOR TO PLACEMENT OF BITUMINOUS CONCRETE PAVEMENT.

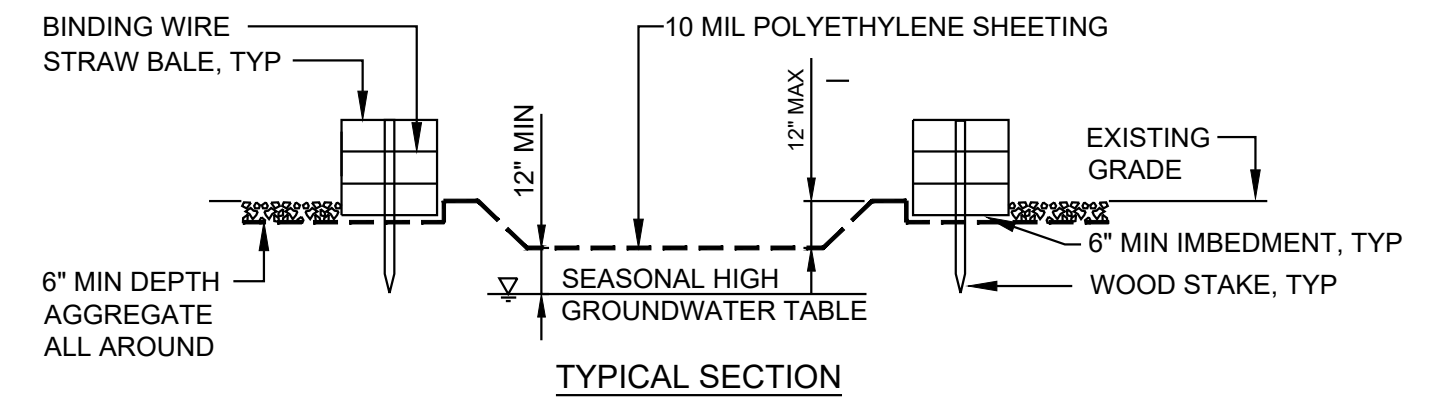
STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



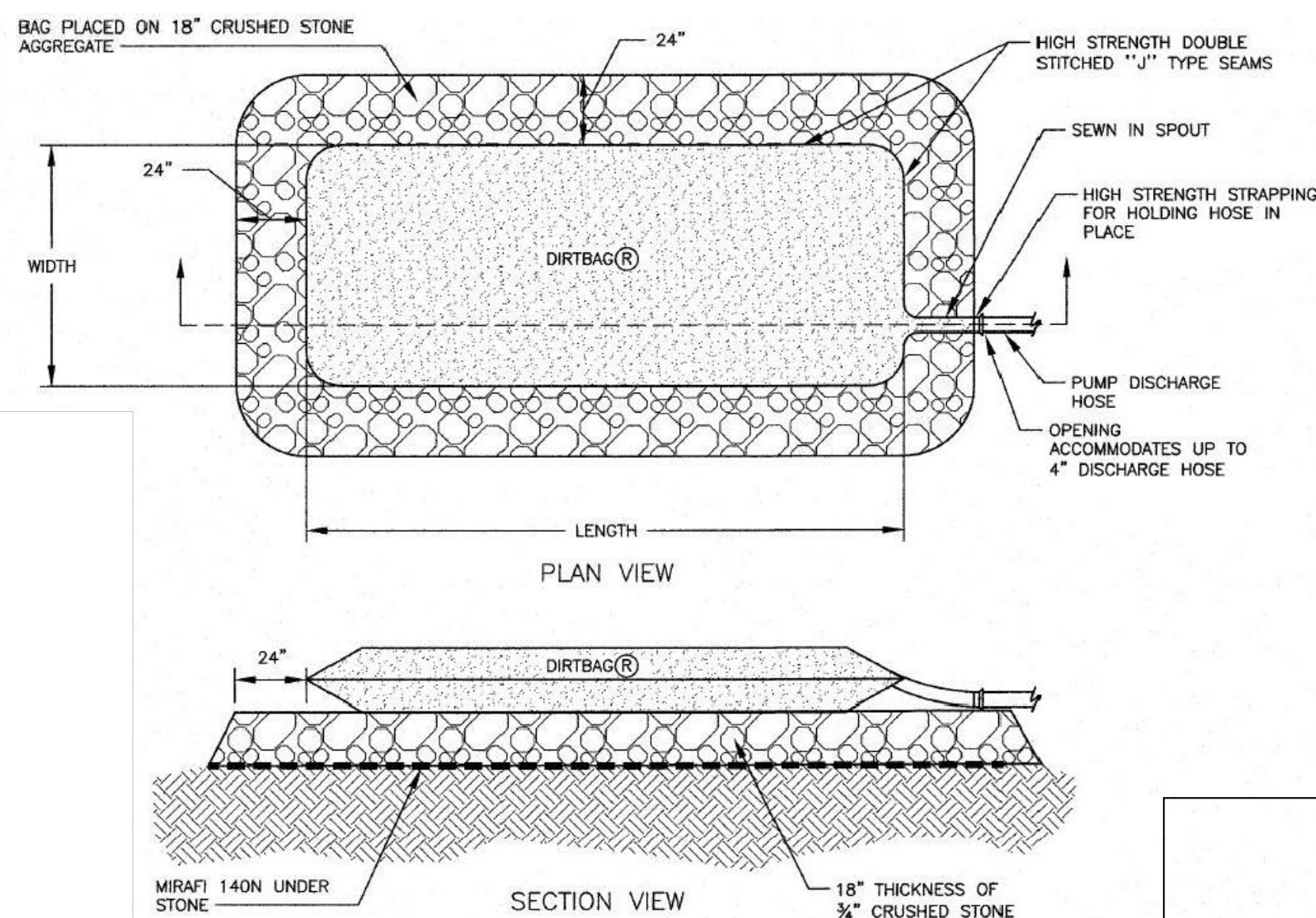
NOTES:

- CONTAINMENT MUST BE STRUCTURALLY SOUND AND LEAK FREE AND CONTAIN ALL LIQUID WASTES.
- CONTAINMENT DEVICES MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED.
- WASHOUT MUST BE CLEANED OR NEW FACILITIES CONSTRUCTED AND READY TO USE ONCE WASHOUT IS 75% FULL.
- WASHOUT AREA(S) SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS.
- ONE OR MORE AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
- AT LEAST WEEKLY REMOVE ACCUMULATION OF SAND AND AGGREGATE AND DISPOSE OF PROPERLY.



CONCRETE WASHOUT AREA

NOT TO SCALE



SILT BAG INSTALLATION DETAIL

NOT TO SCALE

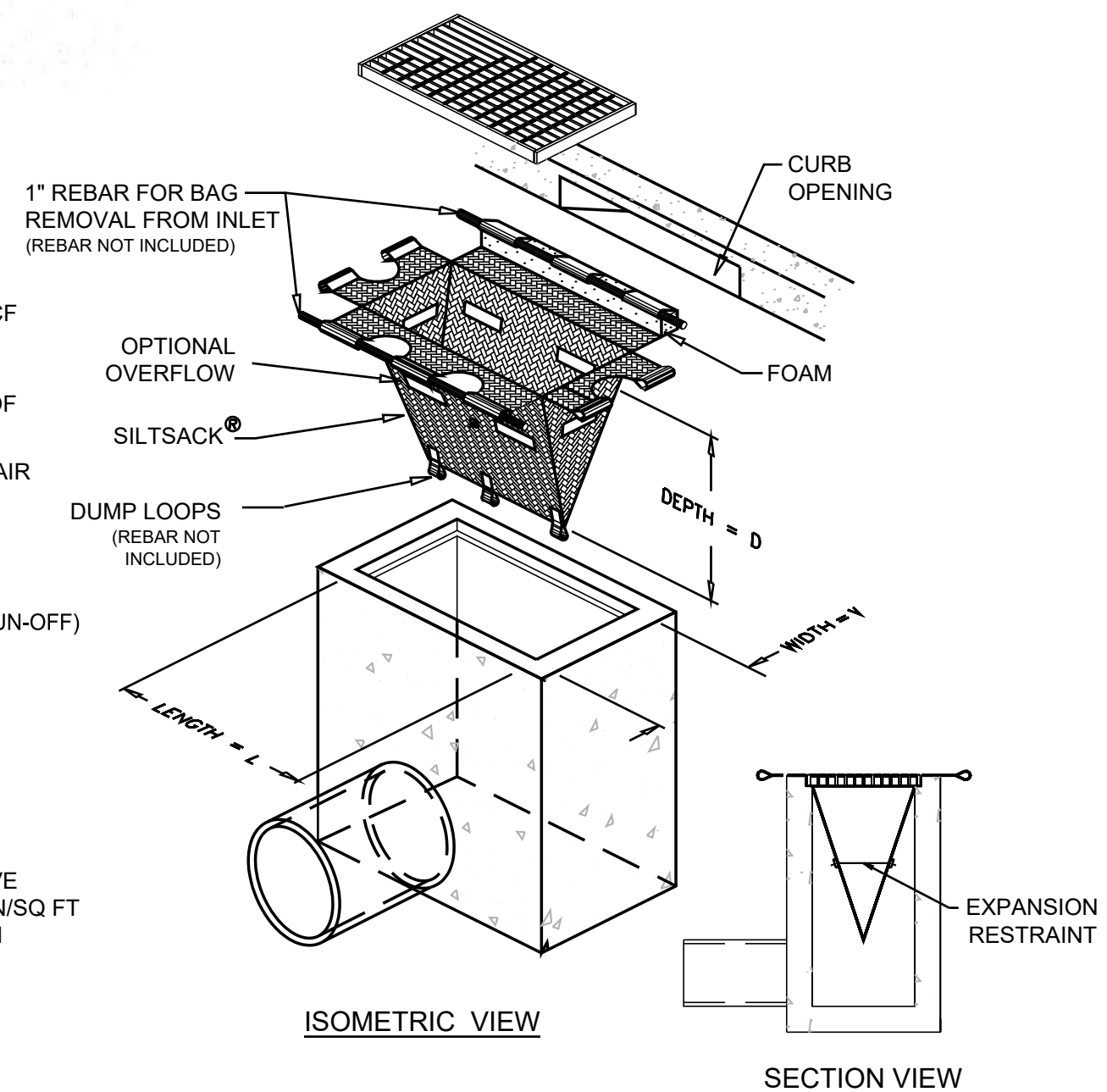
SILTSACK NOTES:

- CATCH BASIN PROTECTION TO BE "SILTSACK" (BY ACF ENVIRONMENTAL) OR "STREAM GUARD" (BY FOSS ENVIRONMENTAL SERVICES) OR EQUAL.
- INSERT TO BE EMPTIED AND PROPERLY DISPOSED OF WHEN IT IS 1/2 FULL OF SEDIMENT.
- INSPECT INSERT AFTER ALL RAINFALL EVENTS, REPAIR AND MAINTAIN AS REQUIRED.

REGULAR FLOW SILTSACK

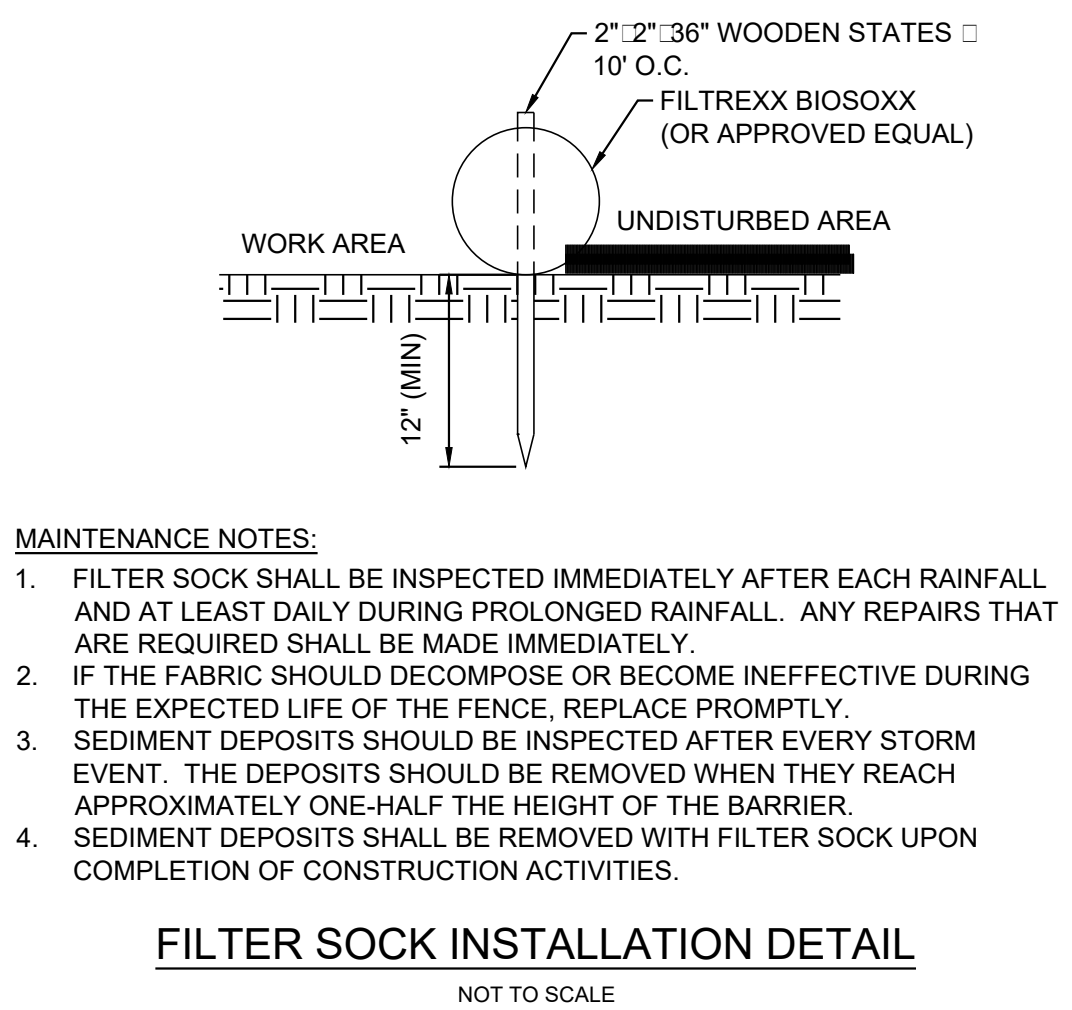
(FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC -1



SILT SACK INSTALLATION DETAIL

NOT TO SCALE



FILTER SOCK INSTALLATION DETAIL

NOT TO SCALE

MAINTENANCE NOTES:

- FILTER SOCK SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, REPLACE PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS SHALL BE REMOVED WITH FILTER SOCK UPON COMPLETION OF CONSTRUCTION ACTIVITIES.



273 CORPORATE DRIVE
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ELECTRICAL ENGINEER
DERRY, NEW HAMPSHIRE

**THE HOTEL AT
FOUNDRY PLACE,
"LOT 3": 165 DEER
STREET, ASSESSORS
MAP 125 LOT 17,
AND RELATED
IMPROVEMENTS TO
LOTS 2, 4 AND 5**

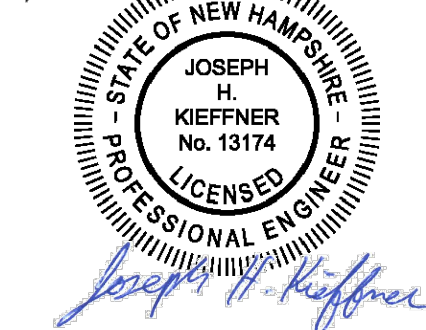
PORTSMOUTH, NH 03801

OWNER:

Deer Street Associates

7 YORKS ROCK ROAD
YORK HARBOR, ME

A / E Seal:



Scale:
Date: **3/17/2017**
Project Number: **14837.02**

REVISIONS		
NO.	DESCRIPTION	DATE
1	TAC PUBLIC HEARING	3/17/2017
2	TAC PUBLIC HEARING	11/17/2017
3	TAC PUBLIC HEARING	12/19/2017

SITE PLAN REVIEW

ROBERT O'CONNOR

1

**THE HOTEL AT
FOUNDRY PLACE,
"LOT 3": 165 DEER
STREET, ASSESSORS
MAP 125 LOT 17,
AND RELATED
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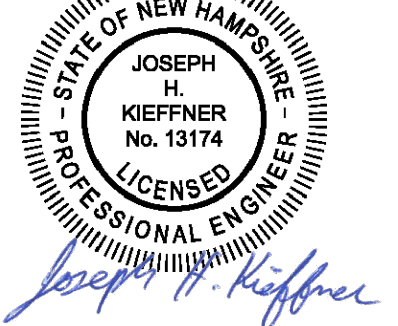
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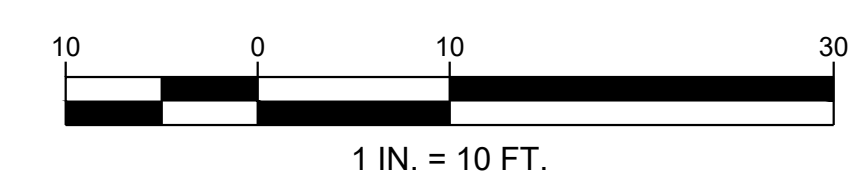
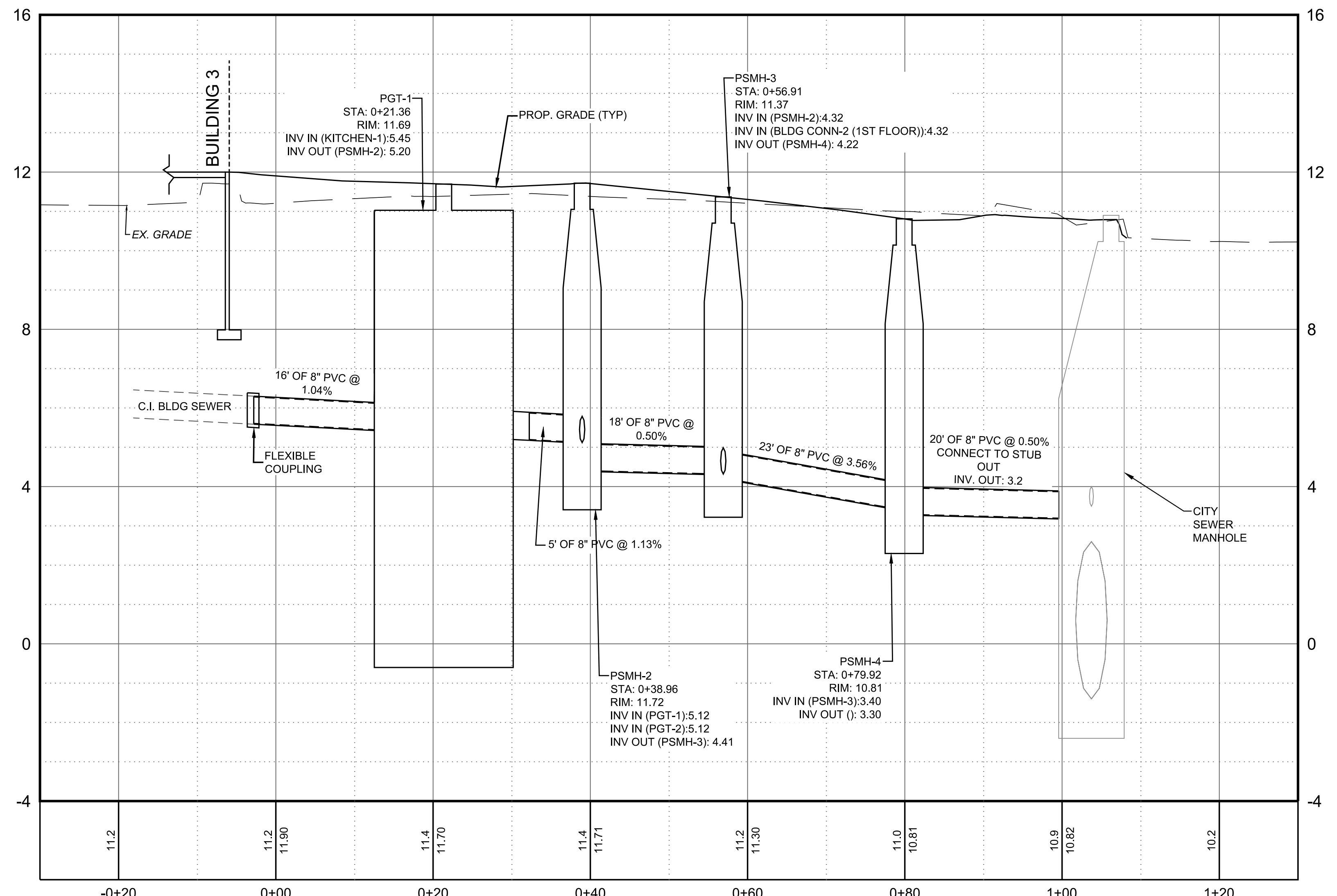
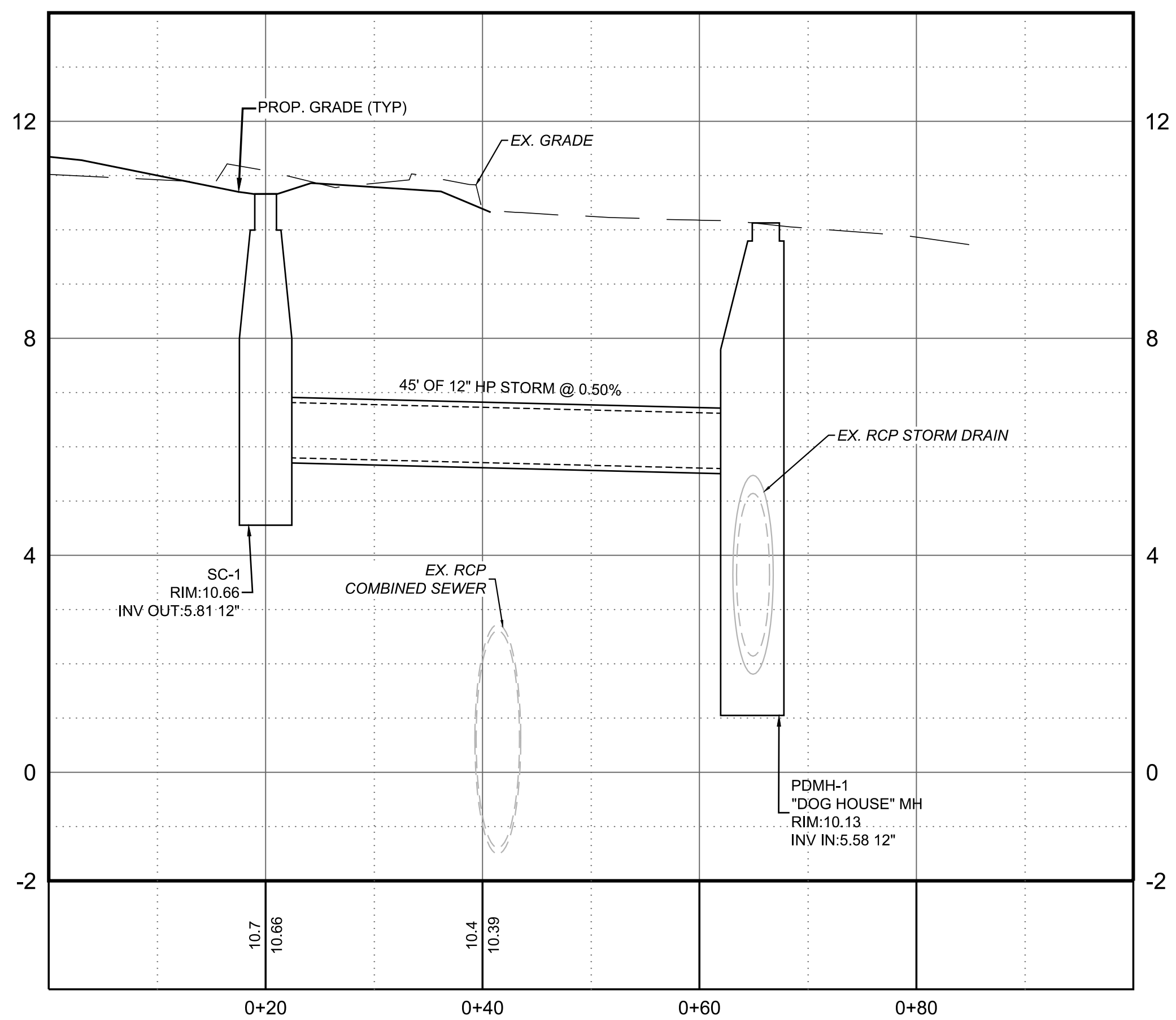
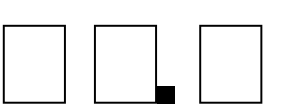


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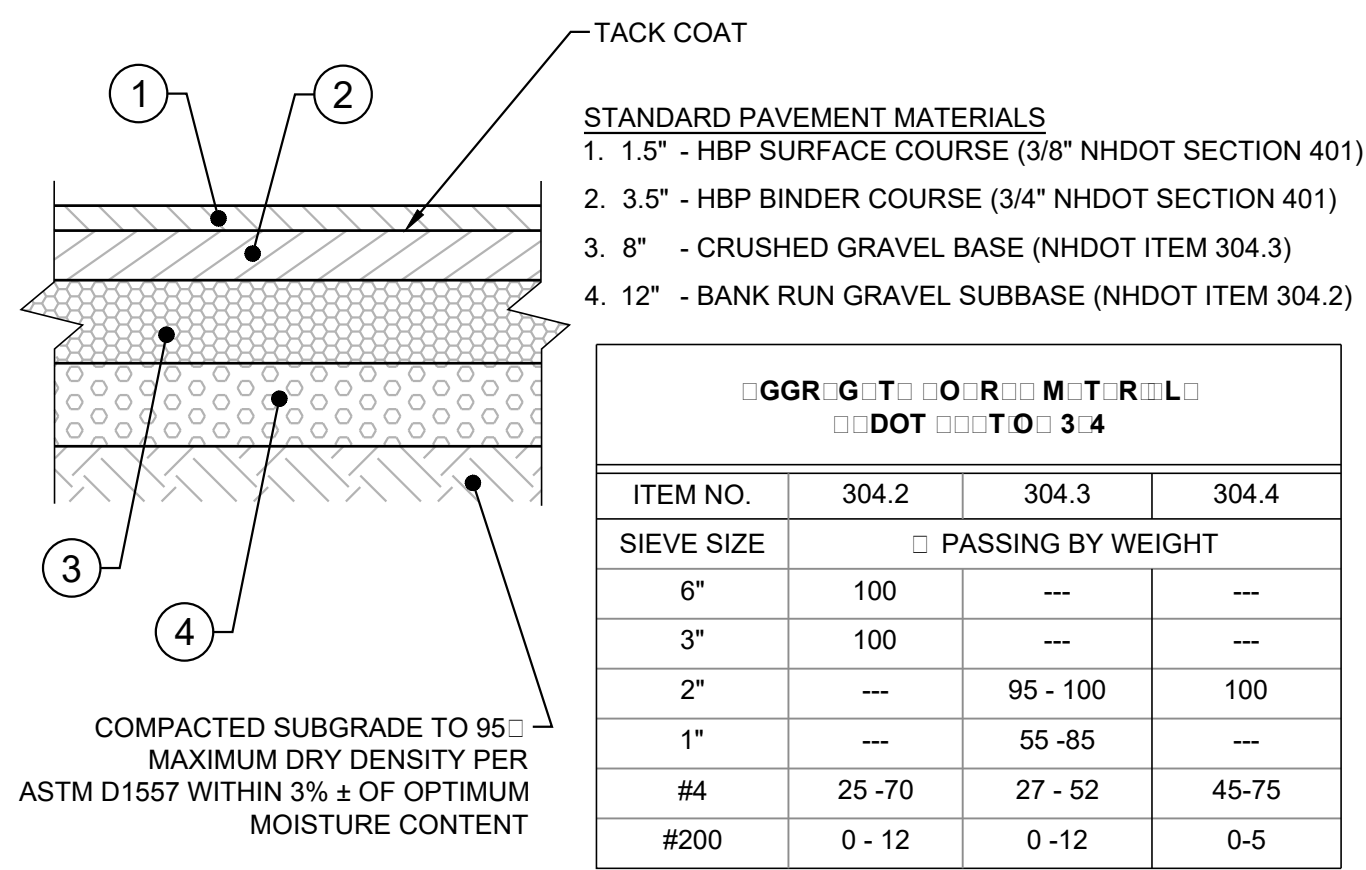
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SITE PLAN REVIEW

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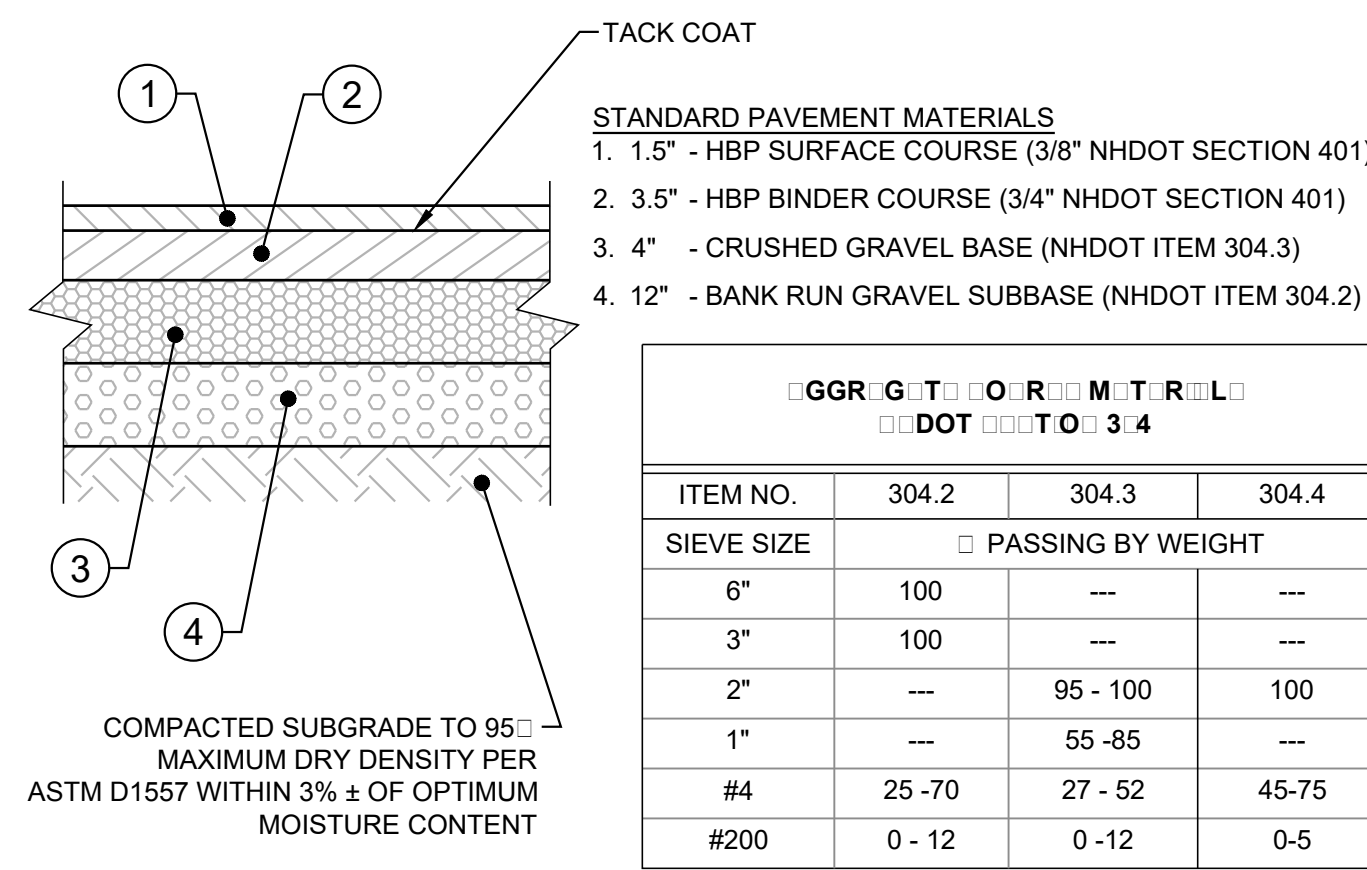


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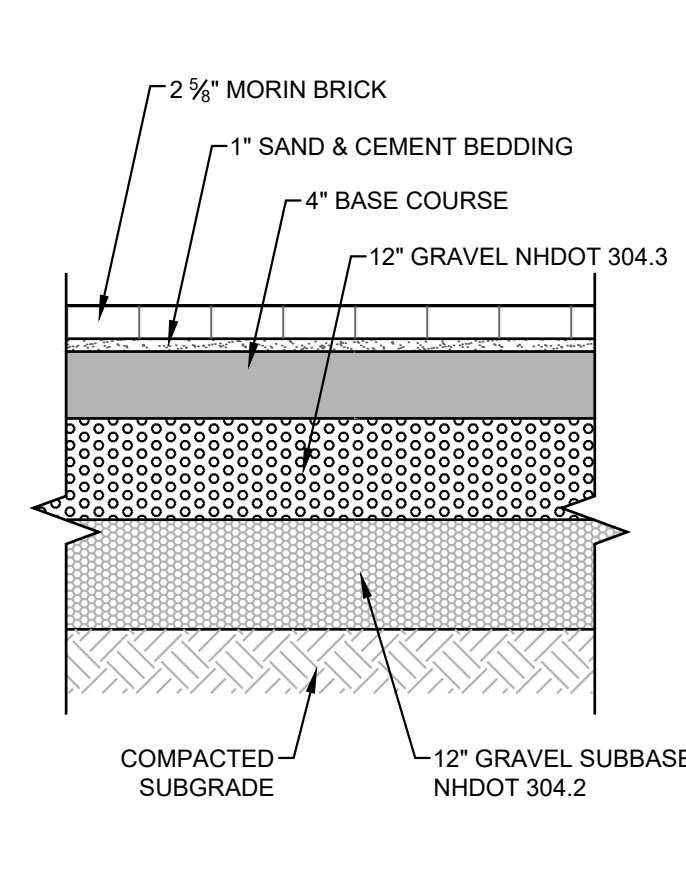
- NOTES:
 1. SEE SITE PLANS FOR PROPOSED PAVEMENT LOCATIONS.
 2. SEE GRADING AND DRAINAGE PLAN FOR PAVEMENT GRADES.
 3. REFER TO CITY SPECIFICATIONS FOR ASPHALT MIX DESIGN.
4. CONSTRUCTION REQUIREMENTS SHALL BE IN ACCORDANCE WITH SECTION 401 OF THE NHDOT STANDARD SPECIFICATIONS AND PORTSMOUTH SPECIFICATIONS.
 5. A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE PRIOR TO PLACING WEARING COURSE.
 6. HBP - HOT BITUMINOUS PAVEMENT

1 CITY BITUMINOUS PAVEMENT SECTION
 N.T.S.



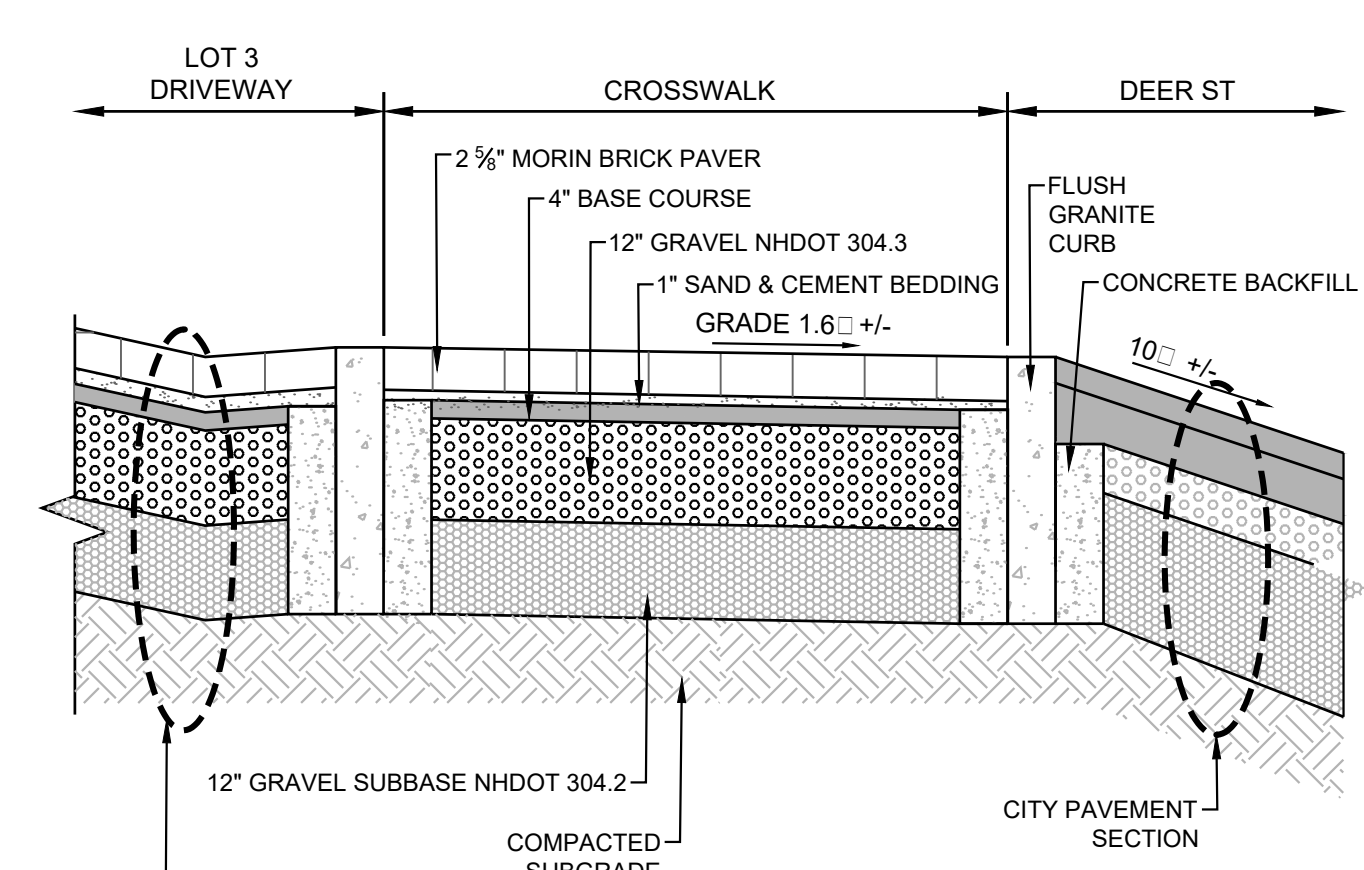
- NOTES:
 1. SEE SITE PLANS FOR PROPOSED PAVEMENT LOCATIONS.
 2. SEE GRADING AND DRAINAGE PLAN FOR PAVEMENT GRADES.
 3. REFER TO CITY SPECIFICATIONS FOR ASPHALT MIX DESIGN.
4. CONSTRUCTION REQUIREMENTS SHALL BE IN ACCORDANCE WITH SECTION 401 OF THE NHDOT STANDARD SPECIFICATIONS AND PORTSMOUTH SPECIFICATIONS.
 5. A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE PRIOR TO PLACING WEARING COURSE.
 6. HBP - HOT BITUMINOUS PAVEMENT

2 STANDARD BITUMINOUS PAVEMENT SECTION
 N.T.S.



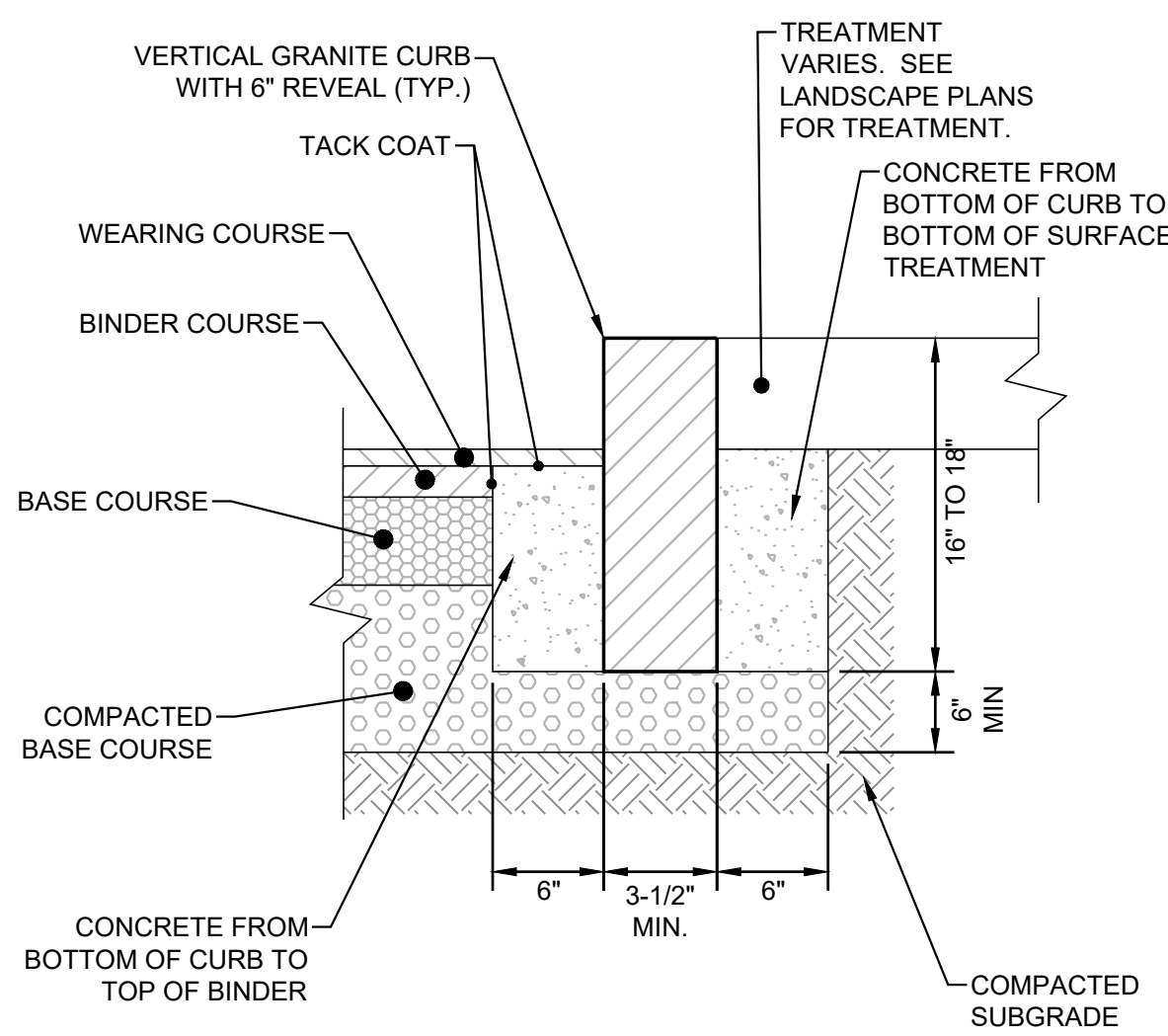
- NOTES:
 • PAVERS SHALL CONFORM TO ASTM C902 "PEDESTRIAN AND LIGHT TRAFFIC BRICK"
 • PAVERS SHALL BE TYPE 1, CLASS SX

3 HOTEL DROP-OFF AREA VEHICULAR PAVER SECTION
 N.T.S.



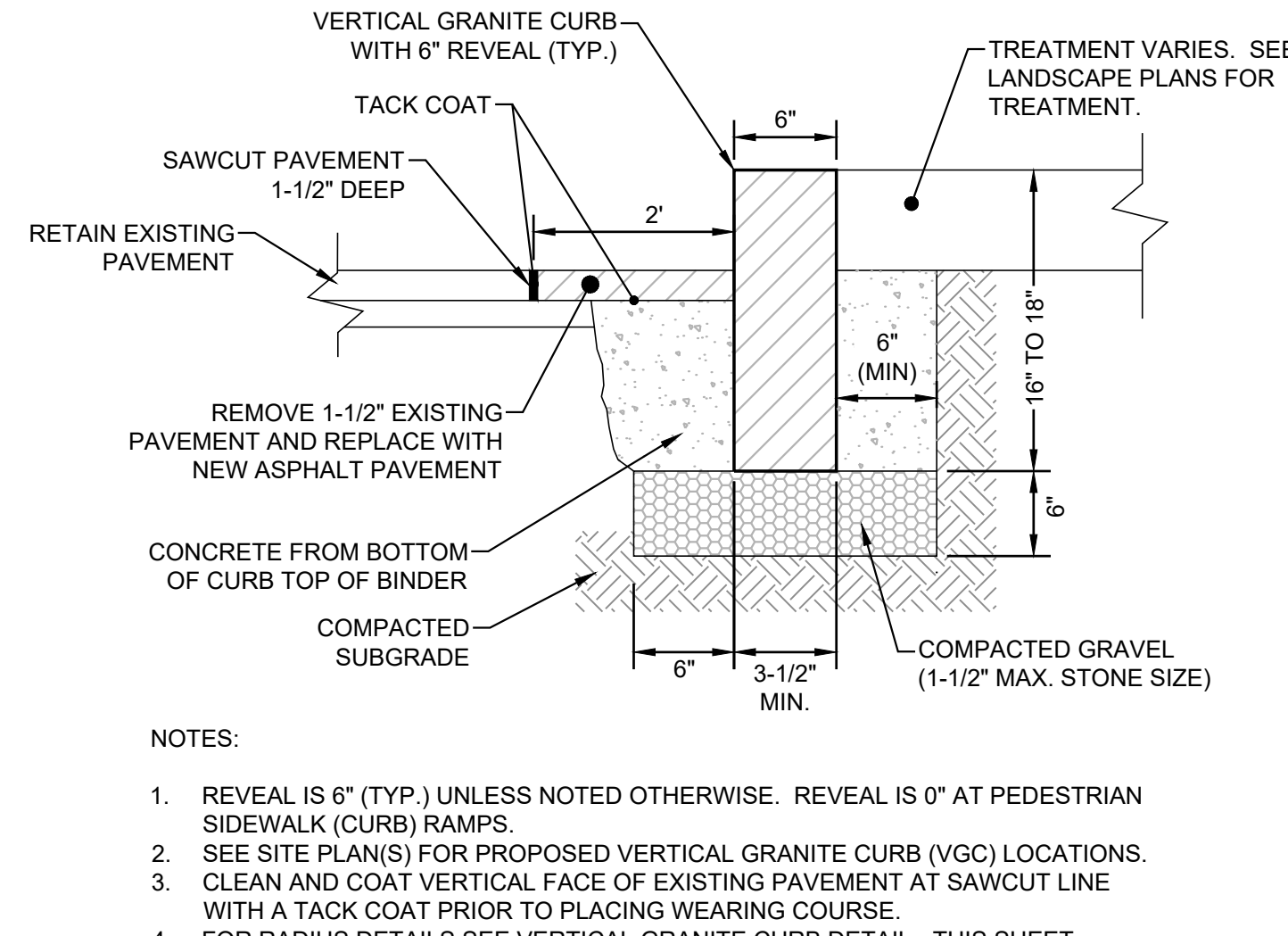
- NOTES:
 • PAVERS SHALL CONFORM TO ASTM C902 "PEDESTRIAN AND LIGHT TRAFFIC BRICK"
 • PAVERS SHALL BE TYPE 1, CLASS SX
 • SEE LANDSCAPE PLANS FOR COLOR.

4 BRICK PAVER CROSSWALK PAVEMENT SECTION
 N.T.S.



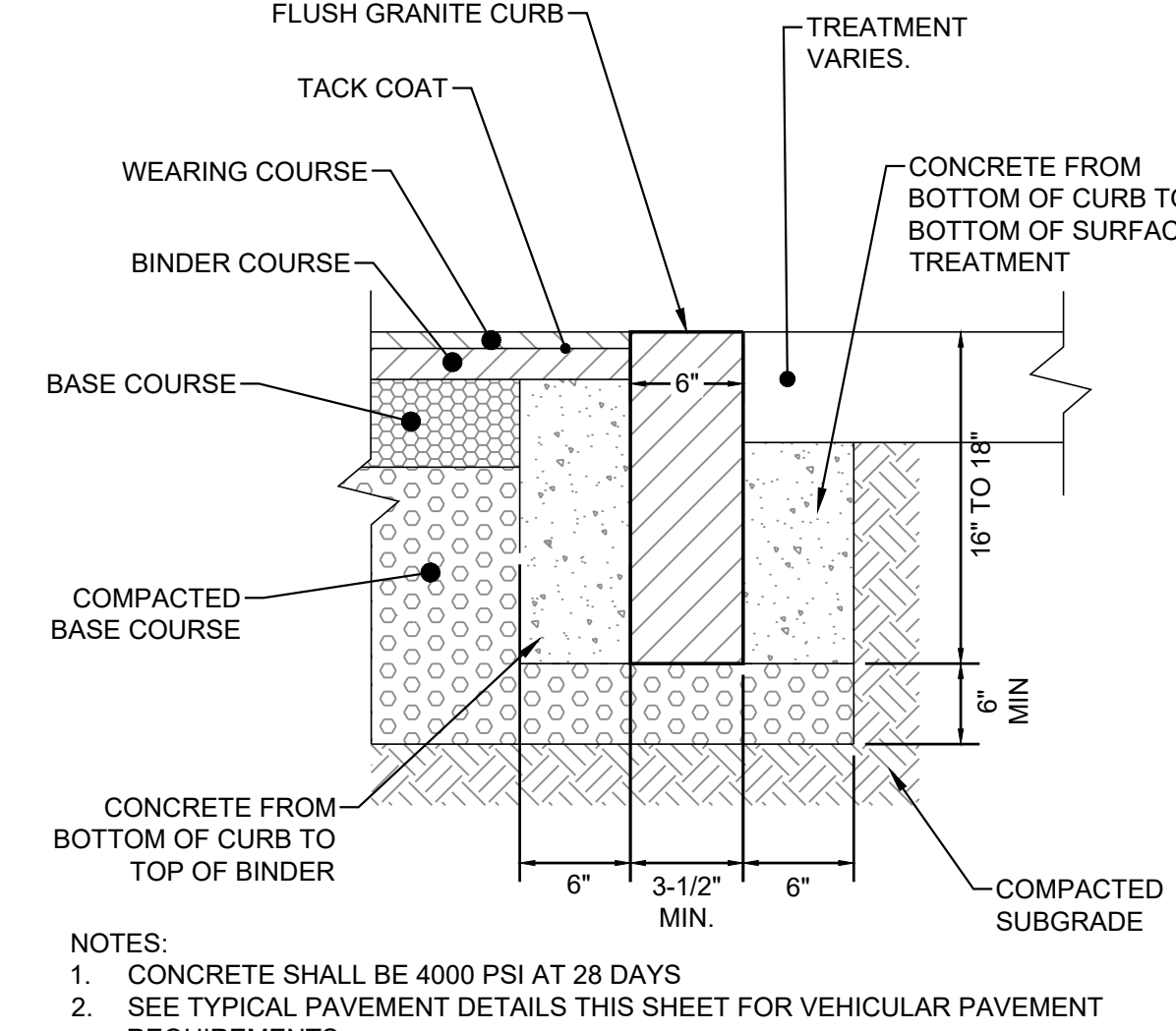
- NOTES:
 1. REVEAL IS 6" UNLESS NOTED OTHERWISE. REVEAL IS 0" AT PEDESTRIAN SIDEWALK (CURB) RAMPS.
 2. SEE SITE PLAN(S) FOR PROPOSED VERTICAL GRANITE CURB (VGC) LOCATIONS
 3. CONCRETE SHALL BE 4000 PSI AT 28 DAYS
 4. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH
 5. MINIMUM LENGTH OF STRAIGHT CURB STONES - 3'
 6. MAXIMUM LENGTH OF STRAIGHT CURB STONES - 10'
 7. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART
 8. ALL RADII LESS THAN 21' SHALL HAVE CURVED SECTIONS
 9. SEE TYPICAL PAVEMENT DETAIL THIS SHEET FOR PAVEMENT REQUIREMENTS.

5 VERTICAL GRANITE CURB
 N.T.S.



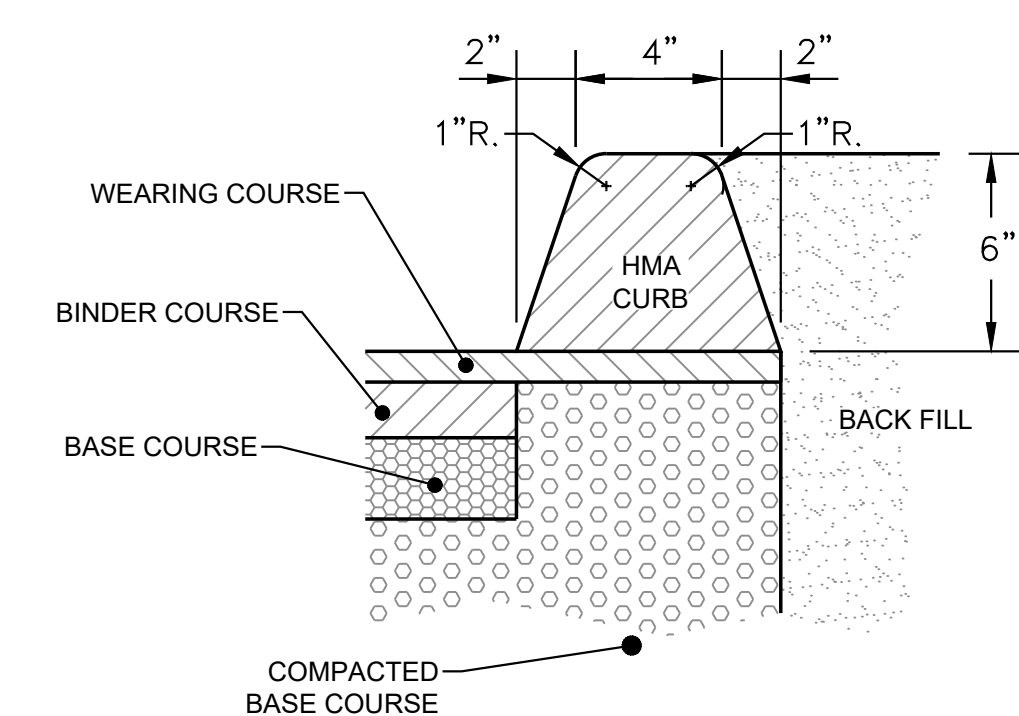
- NOTES:
 1. REVEAL IS 6" (TYP.) UNLESS NOTED OTHERWISE. REVEAL IS 0" AT PEDESTRIAN SIDEWALK (CURB) RAMPS.
 2. SEE SITE PLAN(S) FOR PROPOSED VERTICAL GRANITE CURB (VGC) LOCATIONS.
 3. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH A TACK COAT PRIOR TO PLACING WEARING COURSE.
 4. FOR RADIUS DETAILS SEE VERTICAL GRANITE CURB DETAIL - THIS SHEET.

6 VERTICAL GRANITE CURB IN EXISTING PAVEMENT
 N.T.S.

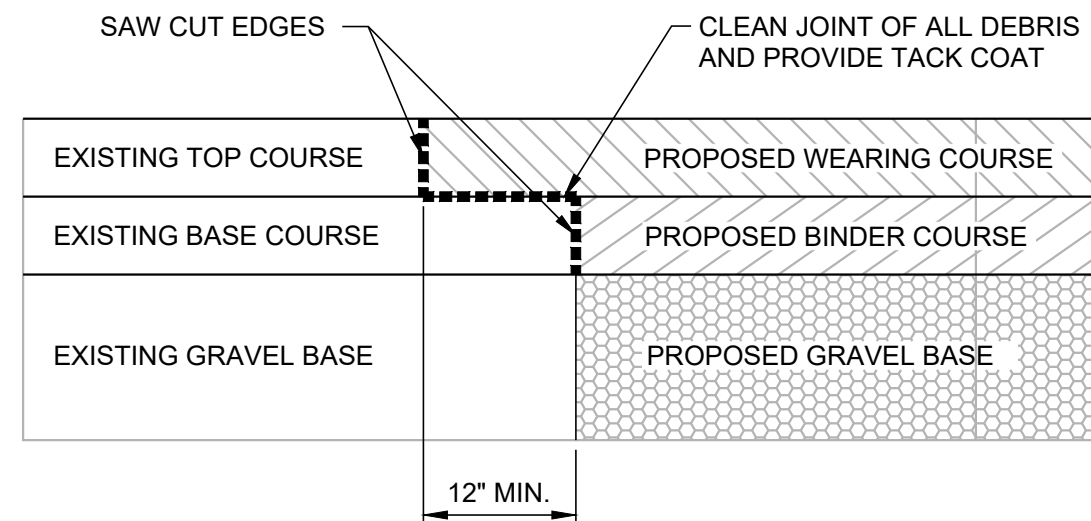


- NOTES:
 1. CONCRETE SHALL BE 4000 PSI AT 28 DAYS
 2. SEE TYPICAL PAVEMENT DETAILS THIS SHEET FOR VEHICULAR PAVEMENT REQUIREMENTS.
 3. FOR SIDEWALK SURFACE TREATMENTS SEE LANDSCAPE SHEETS

7 FLUSH GRANITE CURB
 N.T.S.

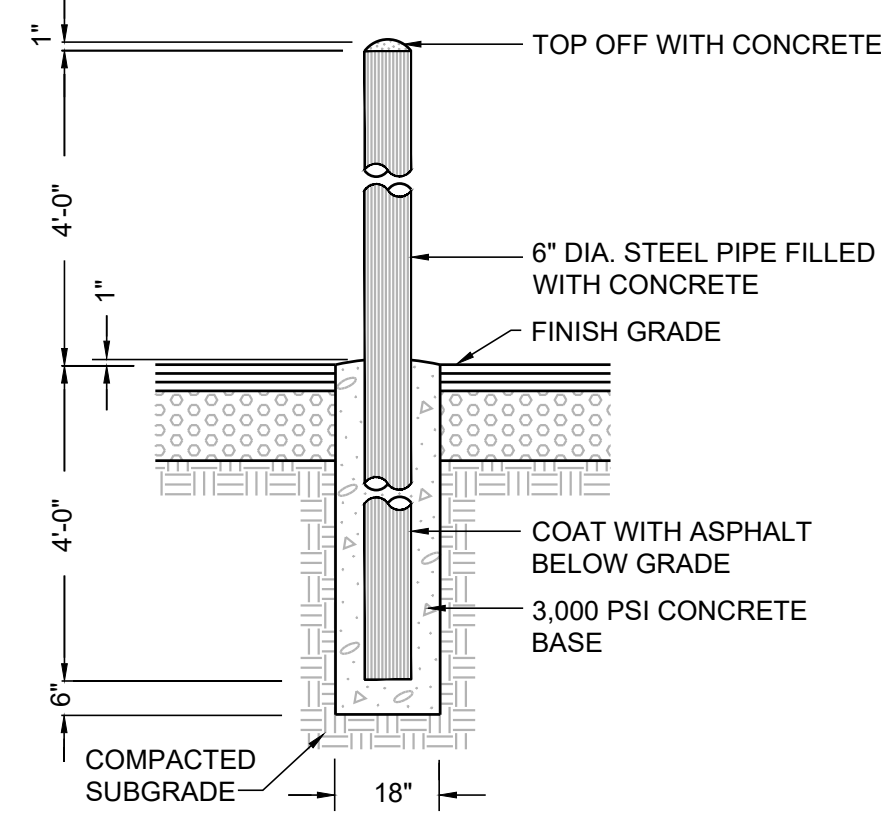


8 TYPE 3 BITUMINOUS CURB
 N.T.S.



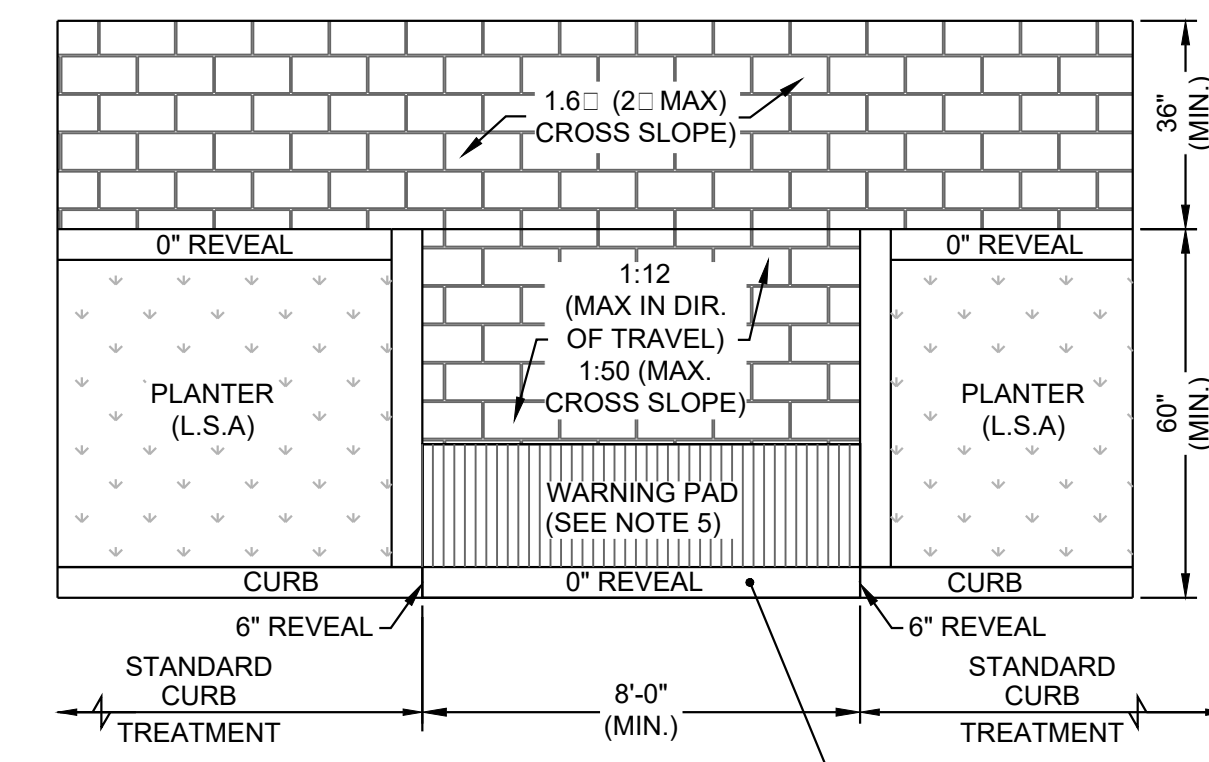
- NOTE:
 TACK COAT - PROVIDE EMULSIFIED ASPHALT WHICH CONFORMS TO THE REQUIREMENTS OF THE STATE SPECIFICATIONS, DILUTED WITH ONE PART WATER TO ONE PART ASPHALT FOLLOWING AASHTO M140/ASTM D997, OR AASHTO M208/ASTM D2397, SS-1H, CSS-1, OR CSS-1H.

9 PAVEMENT CUT KEY DETAIL
 N.T.S.



- NOTE:
 BOLLARD TO BE PAINTED BLACK

10 TYPICAL 6" PIPE BOLLARD DETAIL
 N.T.S.



- ACCESSIBLE CURB RAMP NOTES:
 1. RAMPS SHALL BE IN CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND STATE AND LOCAL REQUIREMENTS.
 2. FOR ROADWAY CURB MATERIALS AND INSTALLATION DETAILS, SEE THIS SHEET.
 3. FOR SIDEWALK DETAILS, SEE LANDSCAPE SHEETS.
 4. DETECTABLE WARNING PANELS SHALL BE THE FULL WIDTH OF THE LANDING, BLENDED TRANSITION, OR CURB RAMP.
 5. THE ROWS OF TRUNCATED DOMES SHALL BE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP, BLENDED TRANSITION, OR LANDING AND THE STREET.
 6. WARNING PAD SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS.

11 TYPICAL ACCESSIBLE CURB RAMP
 N.T.S.

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 MAP 125 LOT 17,
 AND RELATED
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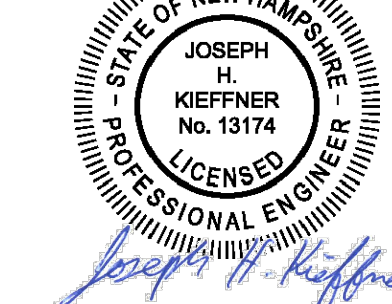
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OWNER:

Deer Street Associates

7 BANKS ROCK ROAD
 YORK HARBOR, ME

A / E Seal:



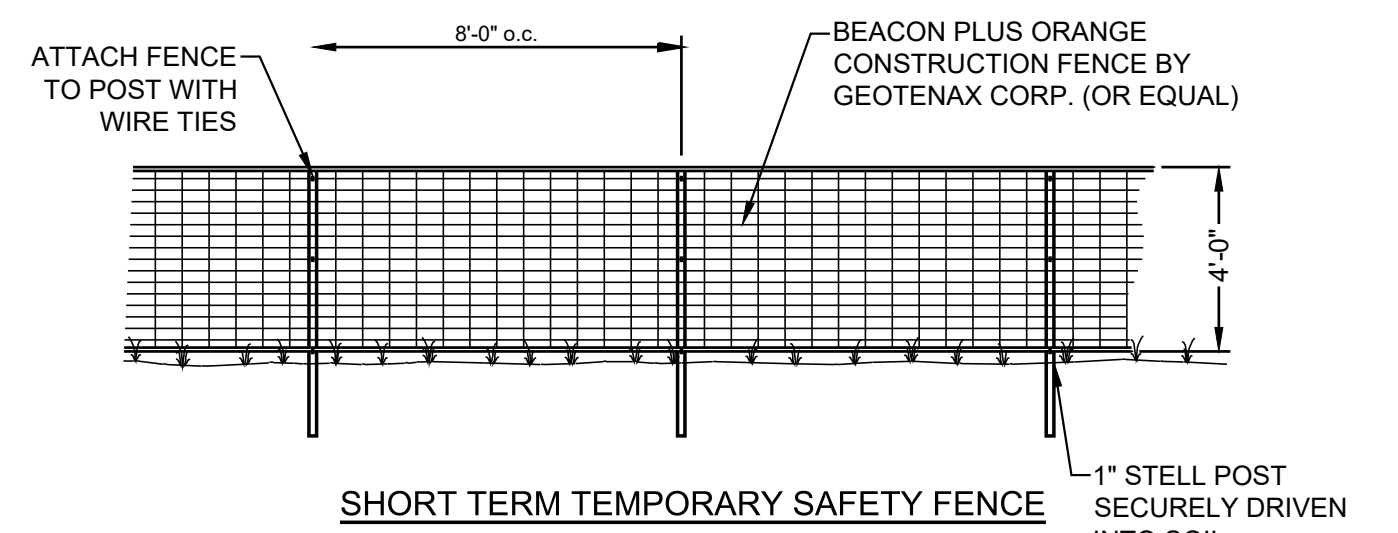
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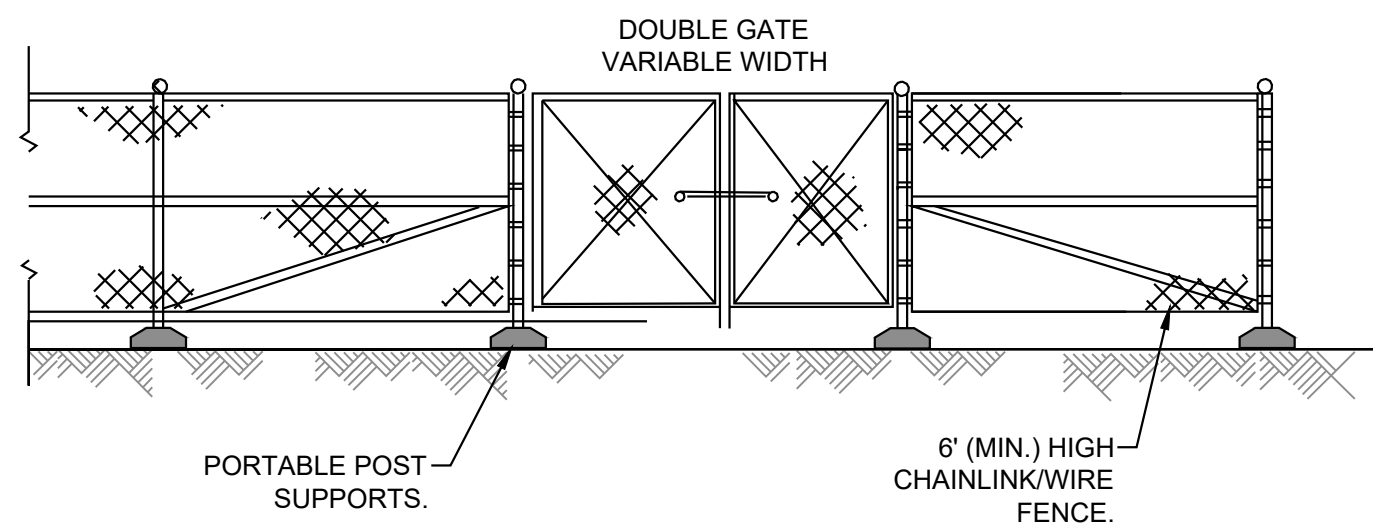
SITE PLAN REVIEW

DOTL

DOTL



SHORT TERM TEMPORARY SAFETY FENCE



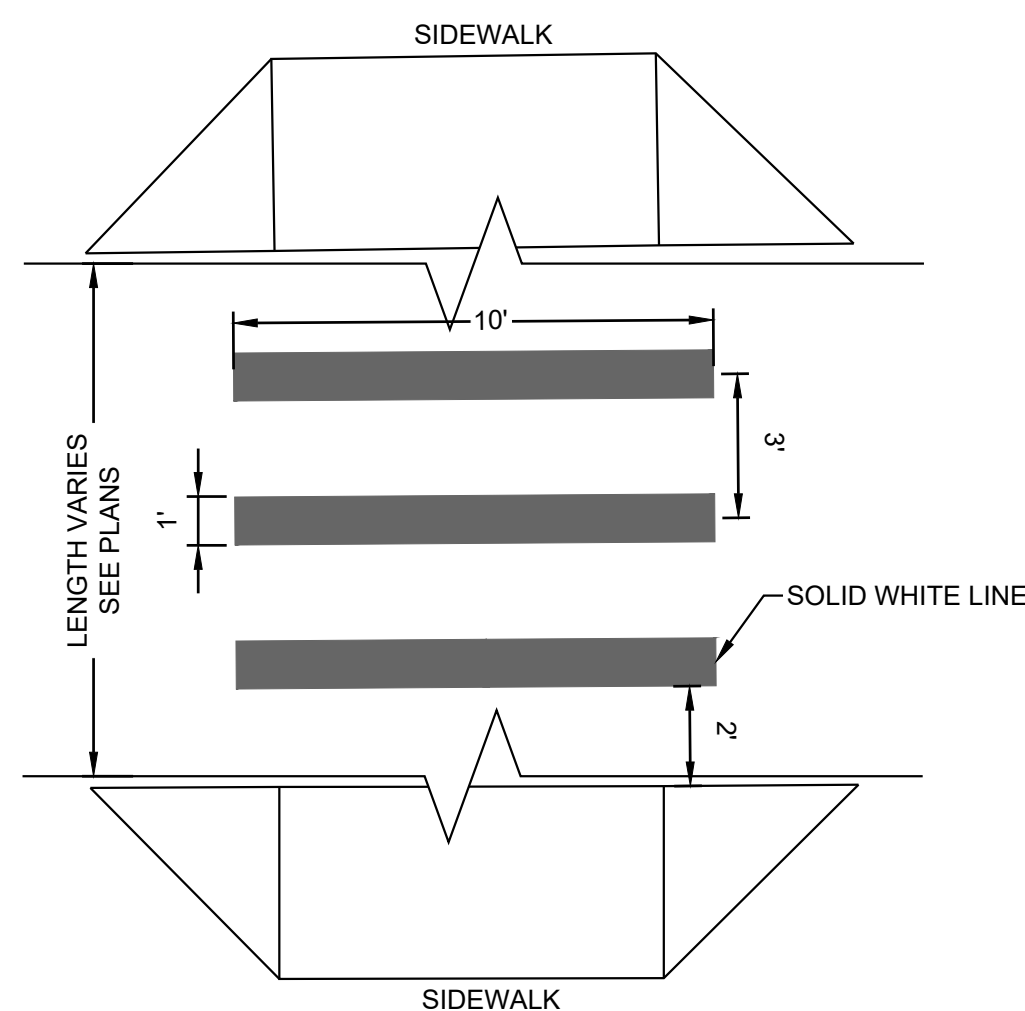
NOTES:

1. CONTRACTOR MAY USE CAST-IN-PLACE SUPPORTS IF DESIRED.
2. FENCE LAYOUT AND DESIGN TO BE PROVIDED BY CONTRACTOR.

LONG TERM TEMPORARY CONSTRUCTION FENCE

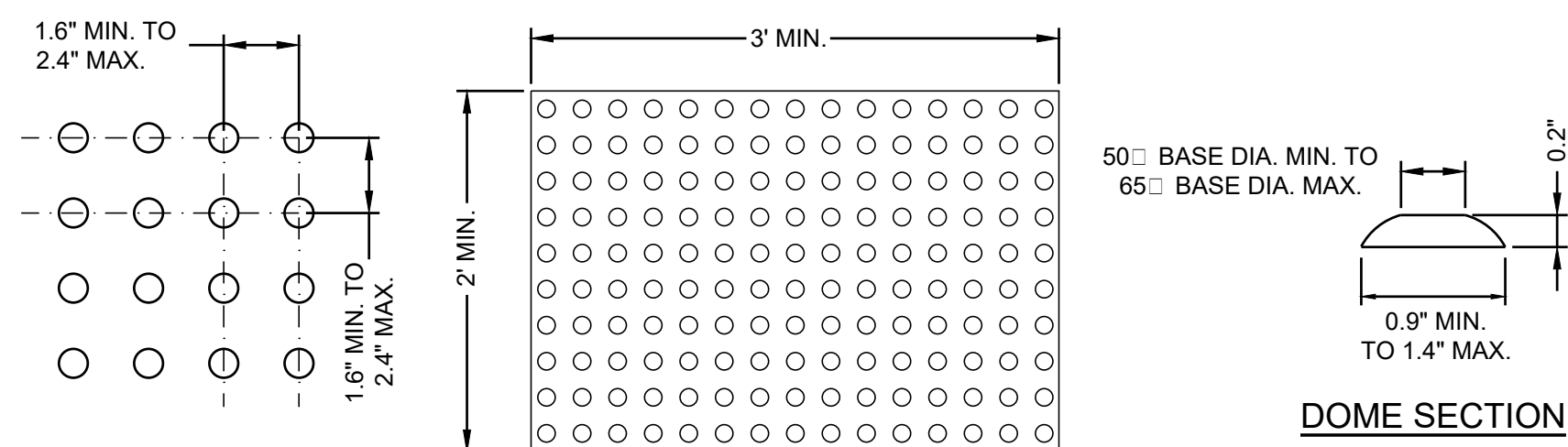
12 ORANGE TEMPORARY CONSTRUCTION FENCE

N.T.S.



7 CROSSWALK STRIPING DETAILS

N.T.S.

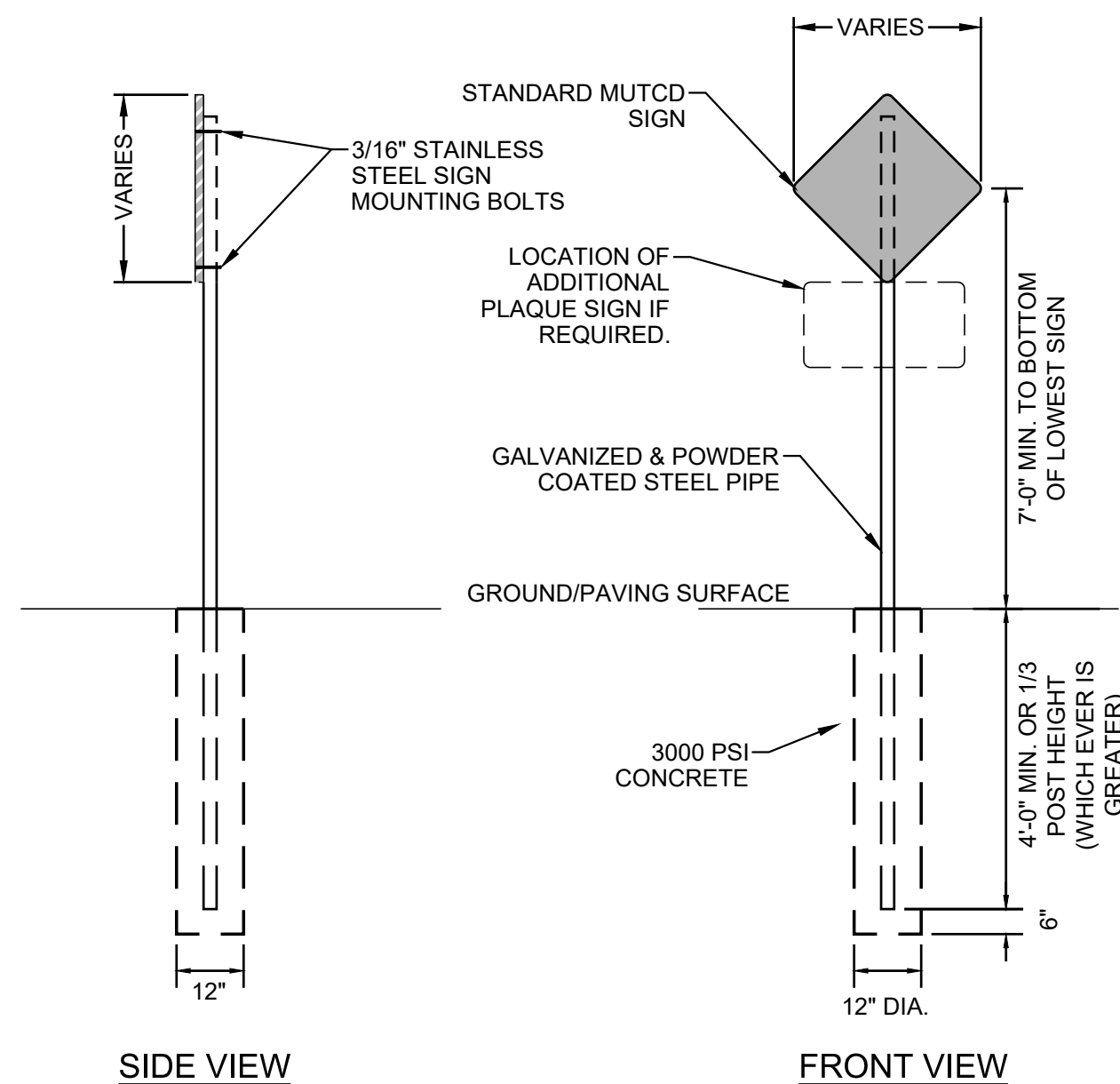


NOTES:

1. DETECTABLE WARNING PANELS SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND STATE AND LOCAL REQUIREMENTS.

17 CAST IRON DETECTABLE WARNING SURFACE

N.T.S.



SIDE VIEW

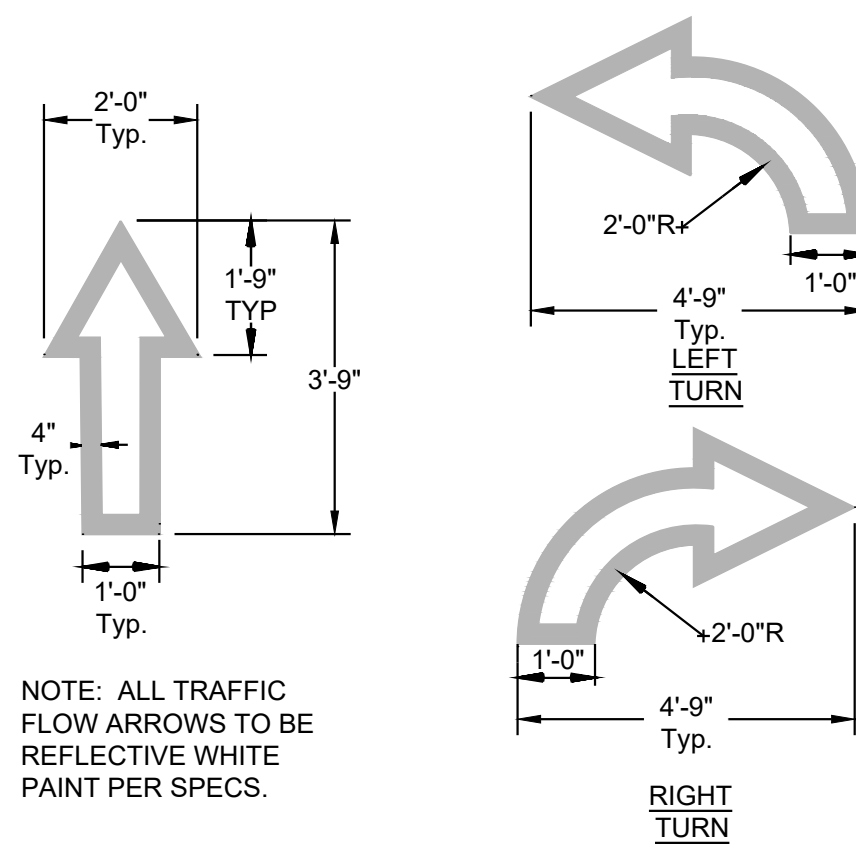
FRONT VIEW

SIGN POST NOTES:

1. ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED.
2. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. SIGN MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH NHDOT STANDARD SPECIFICATIONS AND LOCAL REQUIREMENTS.
4. STEEL POSTS
 - STEEL POST SHALL BE SCHEDULE 40 WITH O.D. OF 2.375"
 - STEEL POSTS SHALL CONFORM TO ASTM A-499, GRADE 60) OR ASTM A 576, GRADE 1070-1080.
 - COATINGS SHALL BE IN ACCORDANCE TO NHDOT STANDARD SPECIFICATION SECTION 708, DUPLEX COATINGS - POWDER COATING OVER GALVANIZING
 - GALVANIZED SURFACE SHALL BE PREPARED FOR POWDER COATING PER ASTM D7803
 - WEIGHT BE 2.5LBS/FT MINIMUM.
 - 3/8" HOLES SHALL BE DRILLED OR PUNCHED BEFORE COATINGS ARE APPLIED. HOLES SHALL BEGIN 1" FROM TOP OF POSTS AND CONTINUE AT 1" CENTERS FOR THE ENTIRE LENGTH OF POSTS.
 - POST SHALL BE POWDER COATED GLOSS BLACK.

13 SIGN POST DETAILS

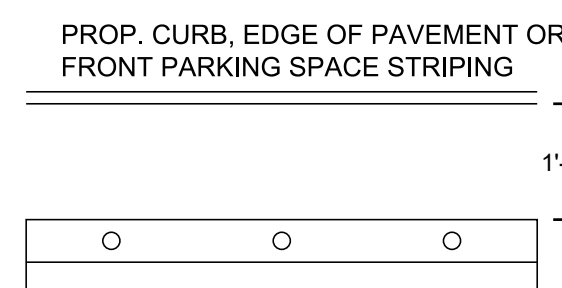
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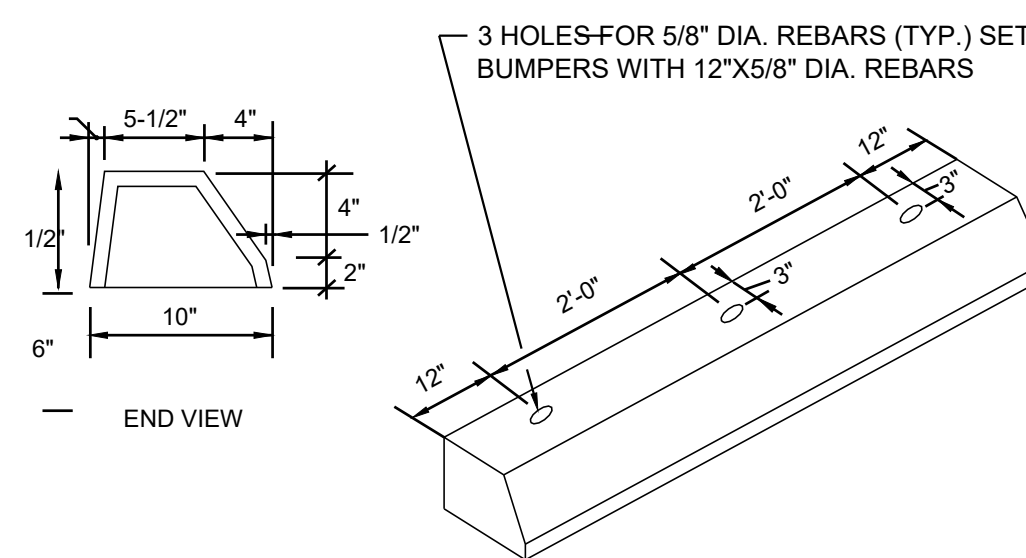
NOTE: ALL TRAFFIC FLOW ARROWS TO BE REFLECTIVE WHITE PAINT PER SPECS.

18 TRAFFIC ARROW DETAIL

N.T.S.



TOP VIEW

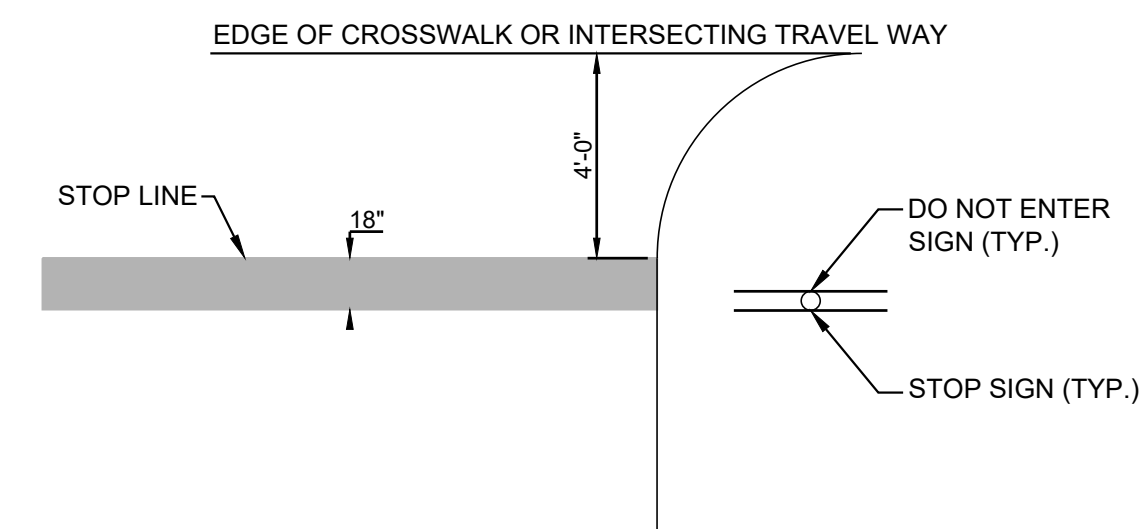


NOTES:

- ALL STOPS SHOULD BE COATED WITH A CLEAR SEALER EACH FALL TO PROTECT FROM ROAD SALT DAMAGE. CHECK WITH MANUFACTURER FOR APPROPRIATE TYPE.
- CONCRETE SHALL BE 4000 PSI AT 28 DAYS.
- REINFORCED WITH TWO #4 REBARS.

14 PRECAST CONCRETE WHEEL STOP

N.T.S.

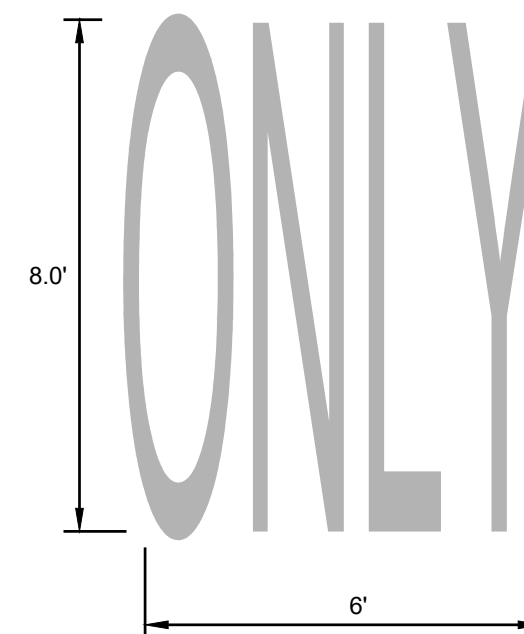


15 STOP BAR DETAIL

N.T.S.

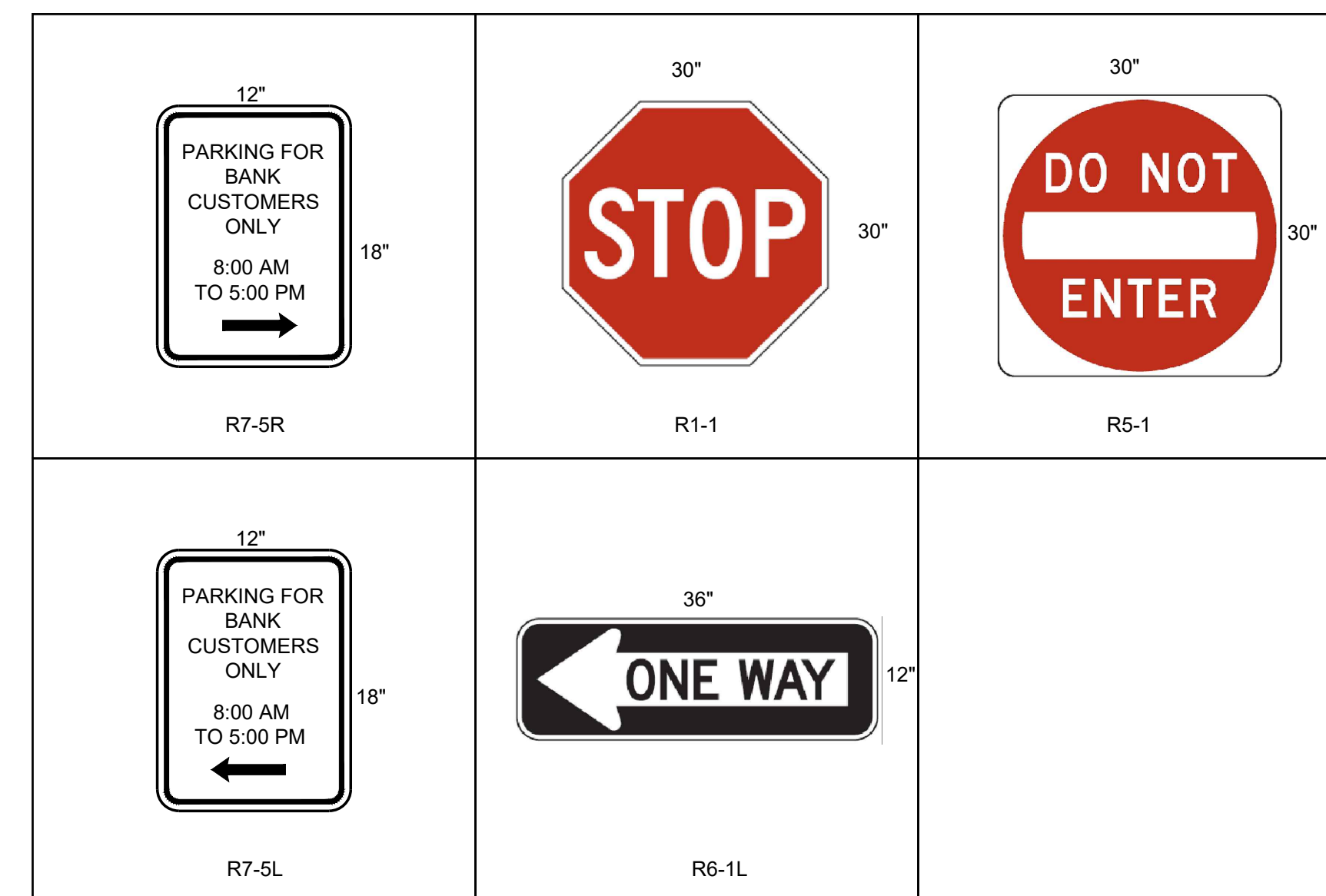
NOTES:

1. WORDS AND LINES SHALL BE APPLIED IN ACCORDANCE WITH SECTIONS 3B.16 AND 3B.20 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
2. WORDS AND BARS ARE TO BE PAINTED RETROREFLECTIVE WHITE.



16 PAVEMENT LETTERING DETAIL

N.T.S.



19 TRAFFIC SIGNAGE DETAILS

N.T.S.

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ARCHITECTS
INTERIORS
PLANNERS

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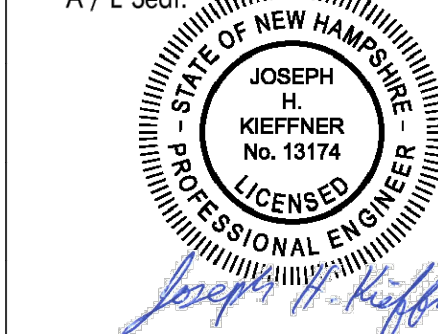
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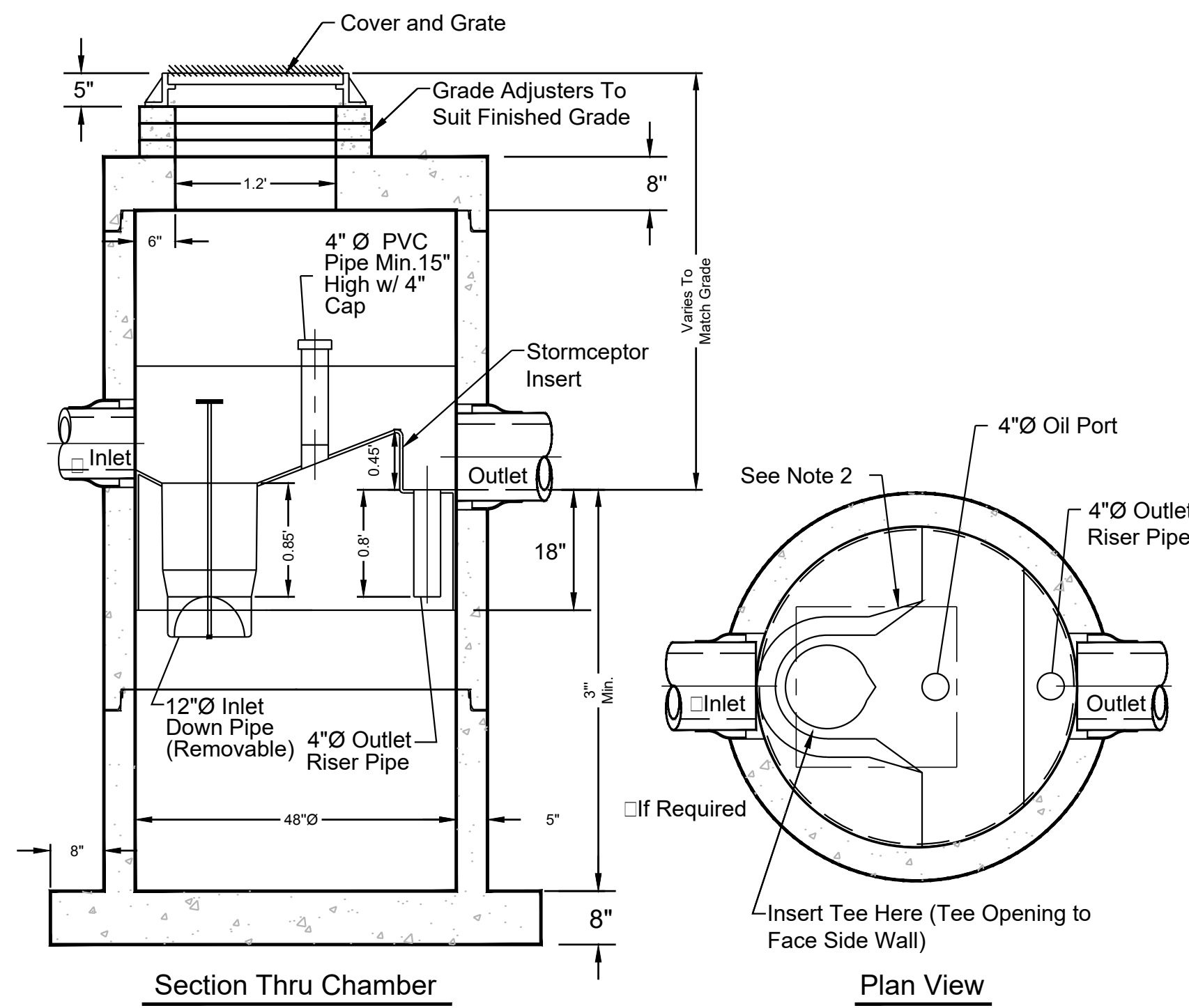
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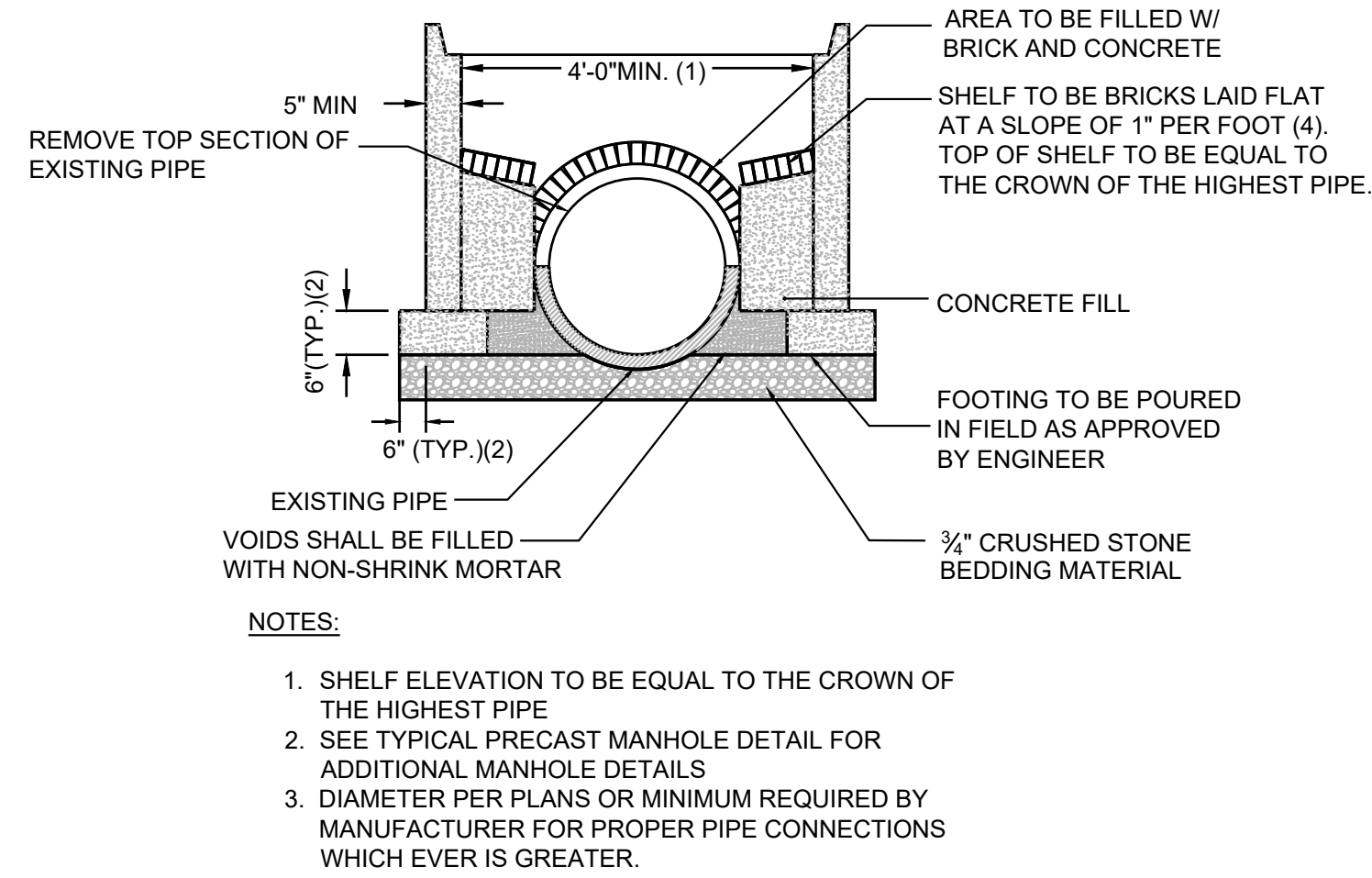
SITE PLAN REVIEW

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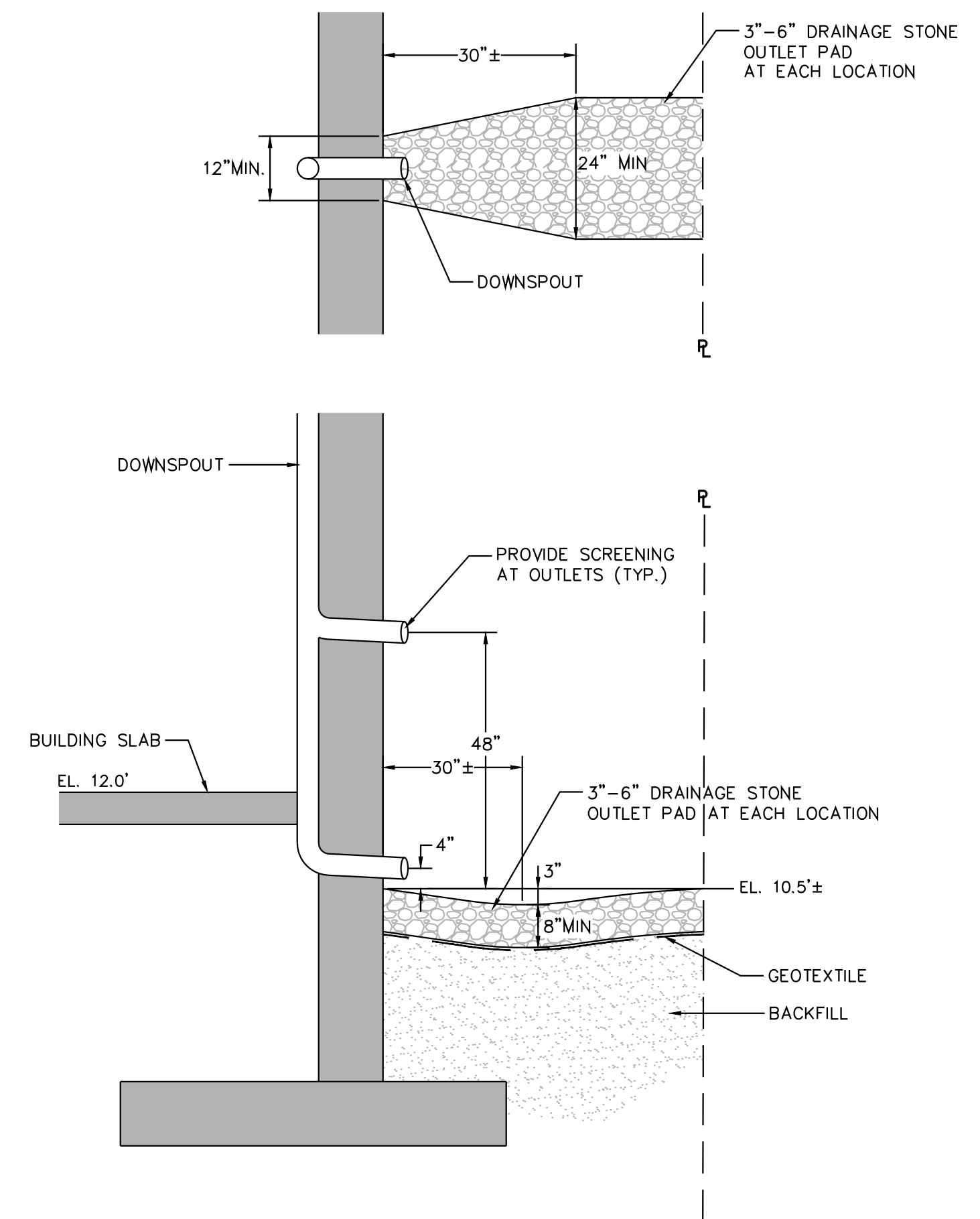
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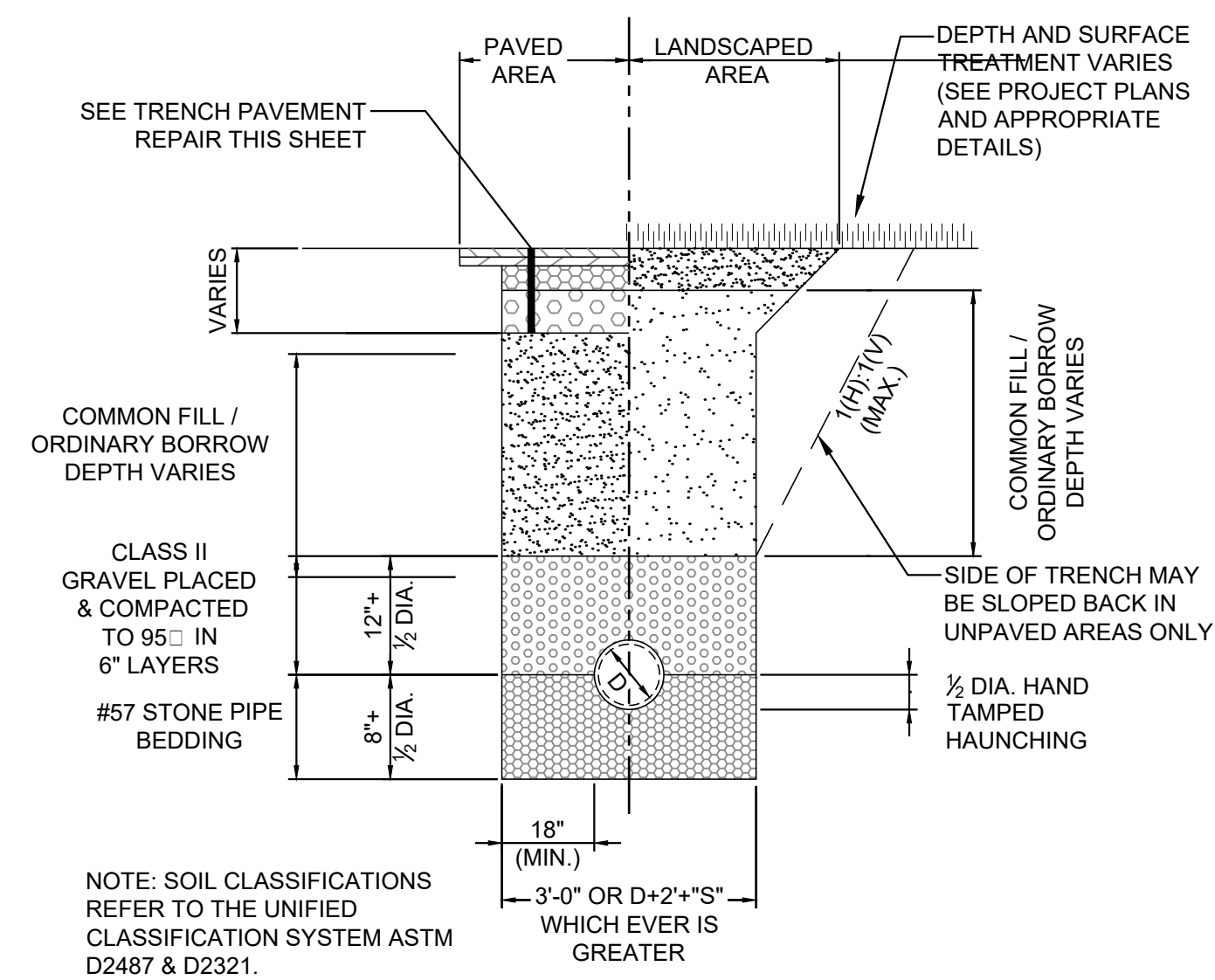
20 STC 450i PRECAST CONCRETE STORMCEPTOR
N.T.S.



21 'DOG HOUSE' MANHOLE BASE DETAIL
N.T.S.



22 ROOF DRAIN DETAIL AT REAR OF BUILDING
N.T.S.



23 TYPICAL STORM DRAIN TRENCH DETAIL
N.T.S.

**THE HOTEL AT
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STREET, ASSESSORS
MAP 125 LOT 17,
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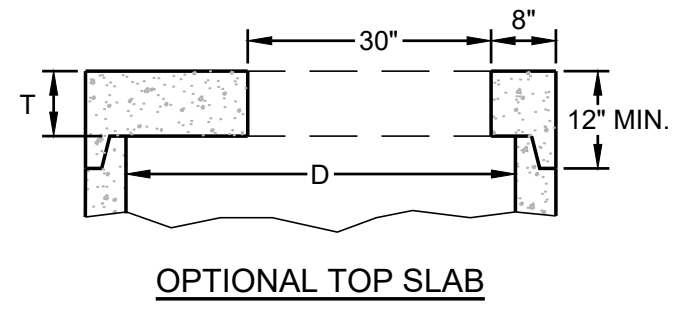


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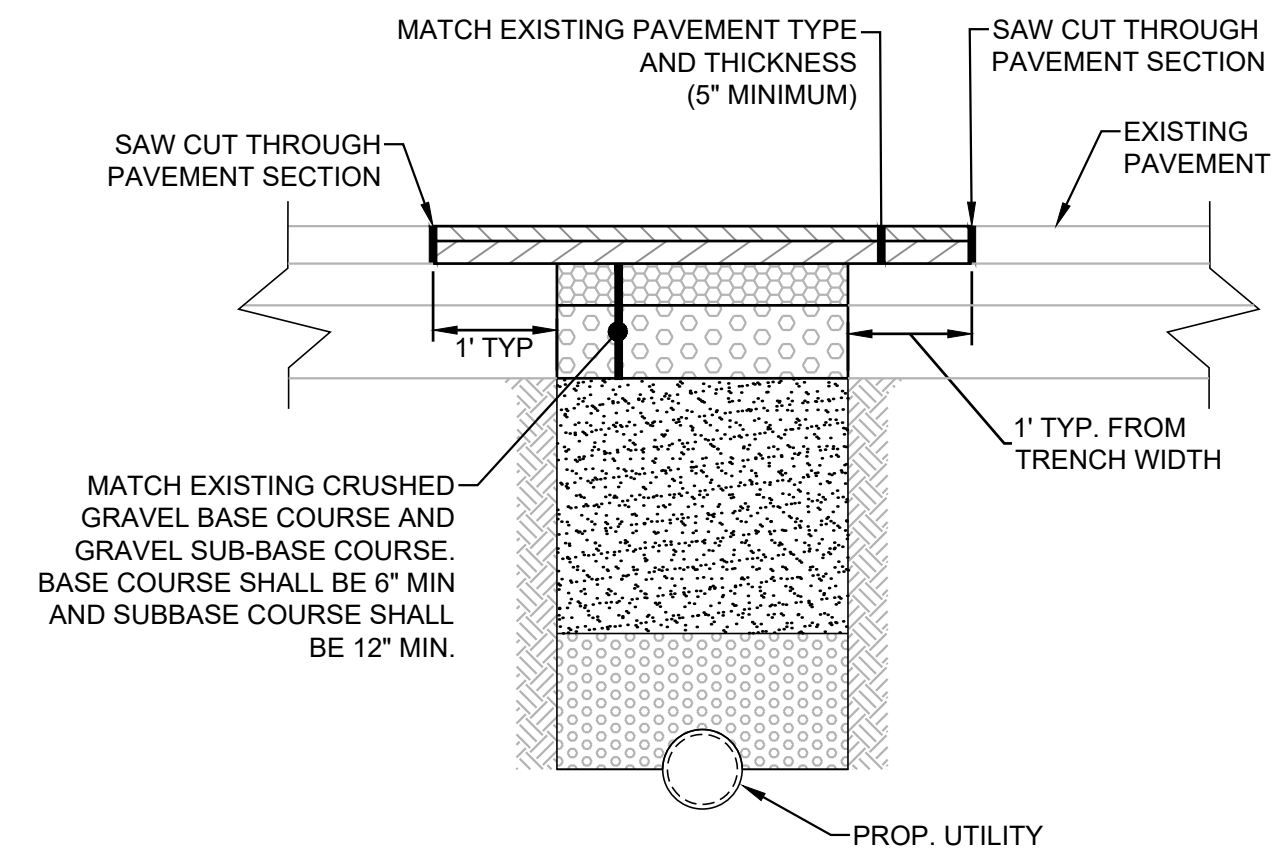
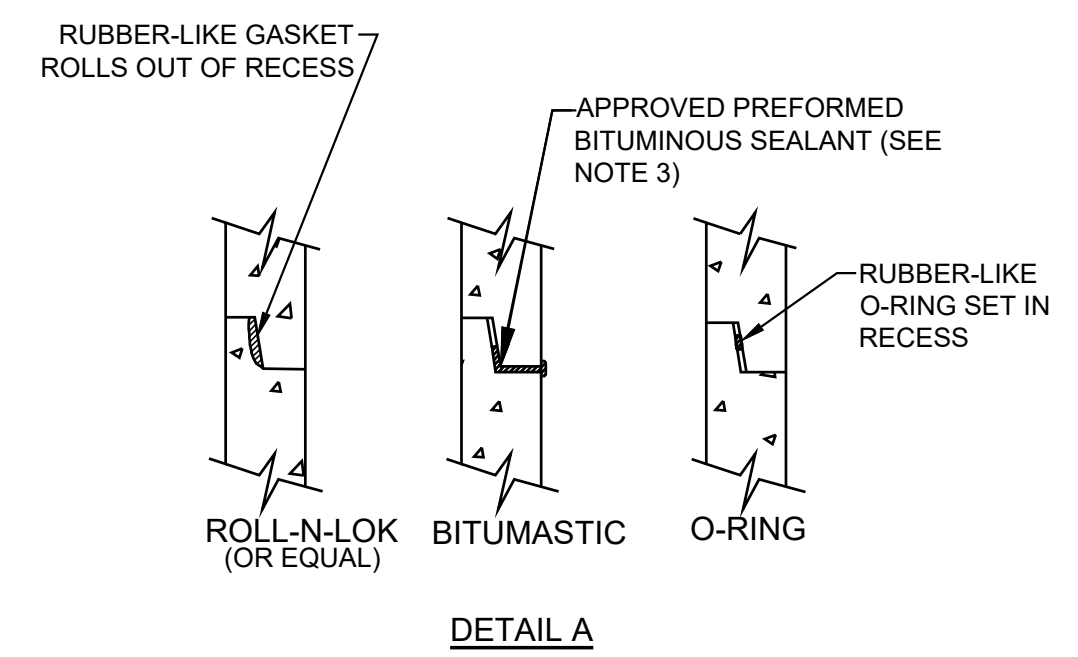
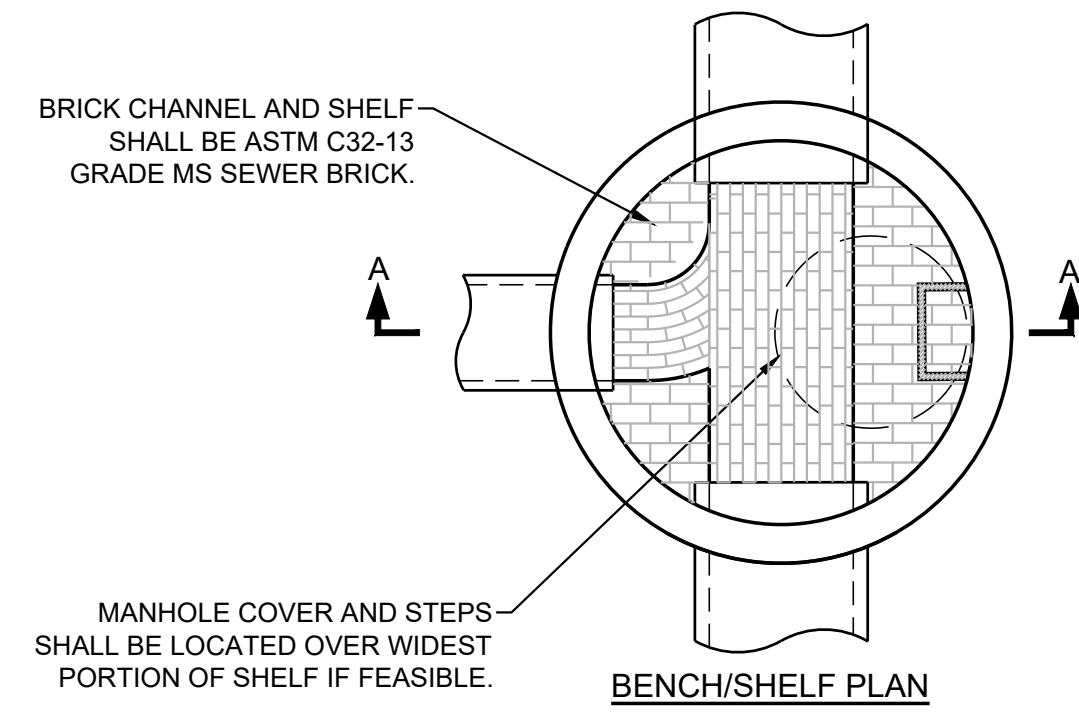
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SITE PLAN REVIEW

DR G
D T L



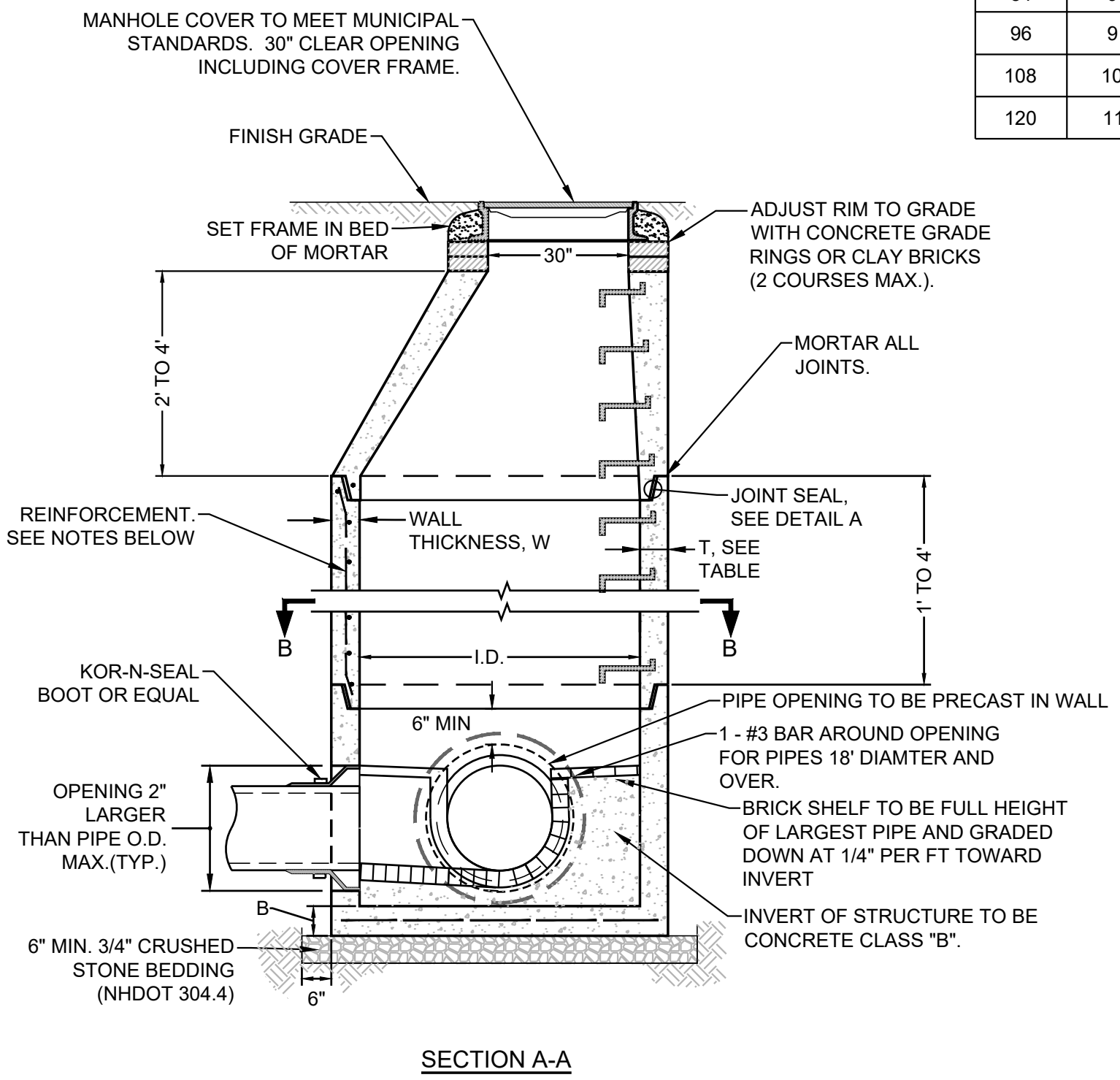
I.D. (IN)	W (IN)	B (IN)	T (IN)
48	5	6	8
60	6	8	8
72	7	8	8
84	9	10	10
96	9	10	12
108	10	10	12
120	11	10	12



- NOTES:
- REFER TO MUNICIPAL SPECIFICATIONS FOR ASPHALT MIX DESIGN.
 - CONSTRUCTION REQUIREMENTS SHALL BE IN ACCORDANCE WITH SECTION 401 OF THE NHDOT STANDARD SPECIFICATIONS AND MUNICIPAL SPECIFICATIONS.
 - A TACK COAT SHALL BE PLACED ON CLEANED AND STRAIGHT VERTICAL SAWCUT SURFACE PRIOR TO PLACING BINDER AND WEARING COURSE.
 - TAC COAT SHALL BE RS-1 EMULSION PER NHDOT AND MUNICIPAL SPECIFICATIONS.
 - A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE OF PRIOR TO PLACING WEARING COURSE.

TYPICAL UTILITY TRENCH PERMANENT PAVEMENT REPAIR DETAIL

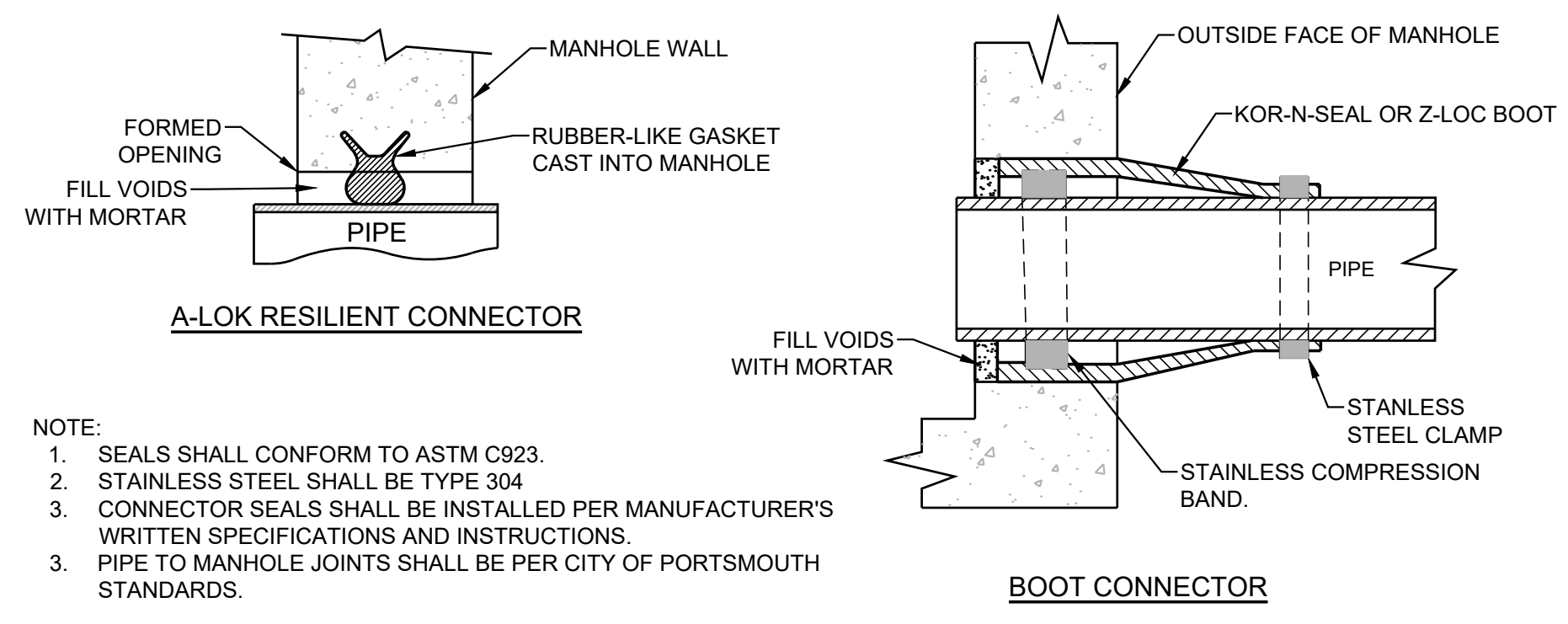
24 N.T.S.



- NOTES:
- MANHOLE I.D. SHALL BE 48" UNLESS STATED OTHERWISE ON PLANS.
 - THESE MANHOLE DETAILS TO BE USED FOR BOTH SANITARY SEWER AND STORM DRAIN MANHOLES.
 - PRECAST MANHOLES SHALL CONFORM TO AASHTO M199/ ASTM C478 SPECIFICATIONS.
 - REINFORCEMENT:
 - DEFORMED BARS SHALL CONFORM TO ASTM A-615 GRADE 60.
 - WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185
 - ALL SECTIONS SHALL BE 4,000 PSI CONCRETE.
 - REIN. STEEL SHALL HAVE 1" MINIMUM COVER.
 - THE TONGUE AND THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FOOT.
 - THE STRUCTURES SHALL BE DESIGNED FOR HS 20-44 LOADING.
 - CRUSHED STONE BEDDING SHALL CONFORM TO NHDOT 304.4.
 - PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.
 - OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE.
 - ALL STRUCTURES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES, NO MORE THAN 75% OF A HORIZONTAL CROSS SECTION SHALL BE HOLES, AND NO HOLES CLOSER THAN 6" TO JOINTS.
 - SANITARY SEWER MANHOLES SHALL HAVE AN EXTERIOR ASPHALTIC WATER PROOF COATING APPLIED (2 COATS MIN.).
 - BASE SHALL BE A SINGLE POUR MONOLITHIC SECTION TO A MINIMUM OF 6" PIPE OPENING
 - INVERTS AND SHELVES:
 - BRICK SHALL BE ASTM C32-13 GRADE MS SEWER BRICK.
 - BRICK SHELVES SHALL BE CONSTRUCTED TO CONFORM TO THE SIZE OF THE PIPE AND FLOW.
 - AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO WALL OF THE PIPE.
 - SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPED TO DRAIN TOWARD THE CHANNEL
 - INVERTS AND SHELVES SHALL ONLY BE PLACED AFTER LEAKAGE TESTS ARE PERFORMED.
 - FRAMES AND COVERS:
 - FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN
 - (MINIMUM) HEIGHT LETTERS SHALL BE USED FOR COVER LETTERS. SEWERS SHALL HAVE "SEWER" AND STORM DRAIN COVERS SHALL HAVE "DRAIN" CAST INTO THE CENTER OF EACH COVER.
 - LEAKAGE TEST SHALL CONFORM TO MUNICIPAL SPECIFICATIONS.
 - ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND SPECIFICATIONS.

TYPICAL PRECAST CONCRETE JUNCTION MANHOLE

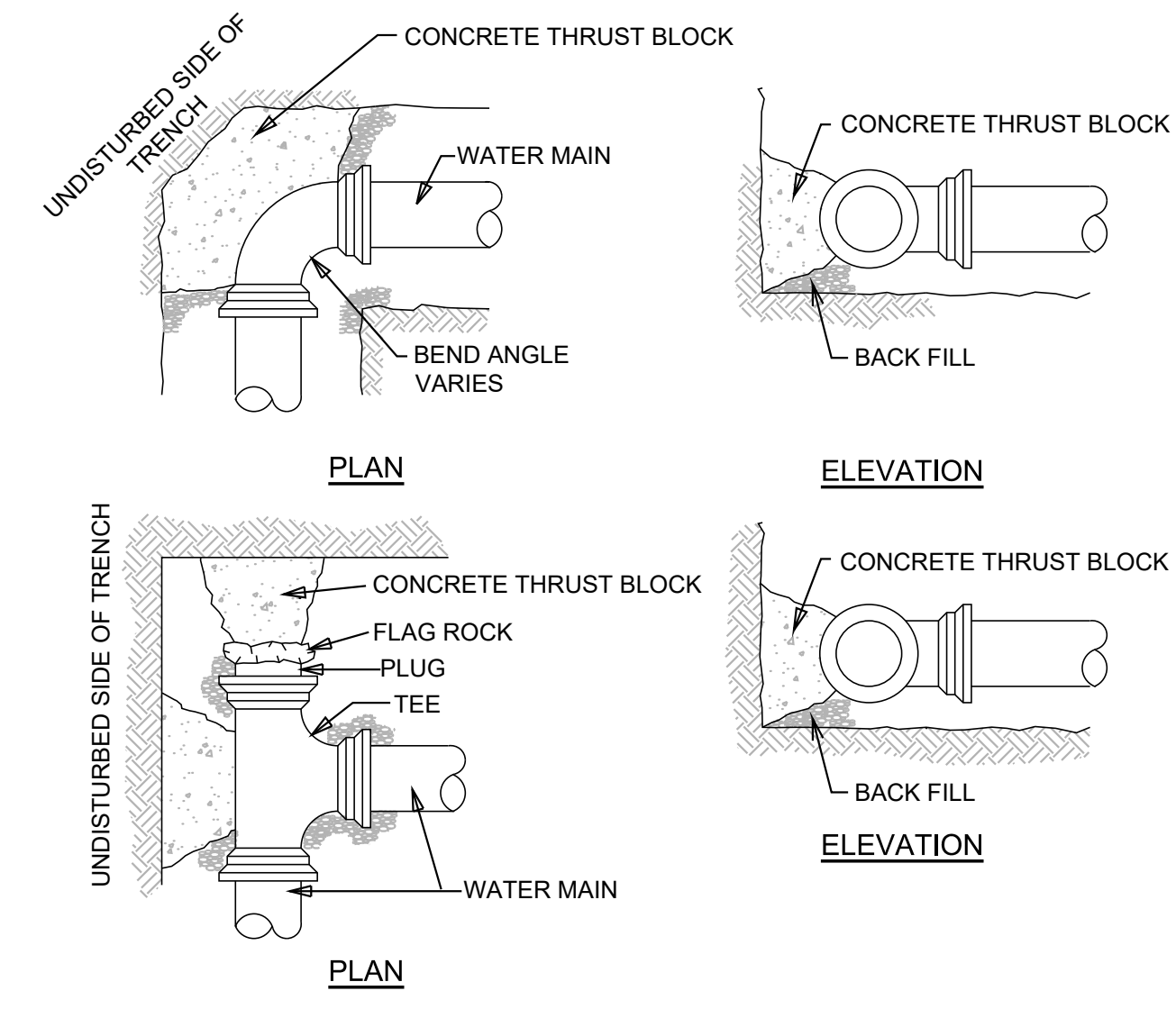
25 N.T.S.



- NOTE:
- SEALS SHALL CONFORM TO ASTM C923.
 - STAINLESS STEEL SHALL BE TYPE 304
 - CONNECTOR SEALS SHALL BE INSTALLED PER MANUFACTURER'S WRITTEN SPECIFICATIONS AND INSTRUCTIONS.
 - PIPE TO MANHOLE JOINTS SHALL BE PER CITY OF PORTSMOUTH STANDARDS.

PIPE CONNECTION TO PRECAST MANHOLE STRUCTURES

26 N.T.S.



- NOTES:
- ALL WATER MAIN FITTINGS, BENDS, TEES, PLUGS ETC. SHALL BE RESTRAINED W/ THRUST BLOCKS EXCEPT WHERE NOTED.
 - ALL THRUST BLOCKS & COLLARS SHALL BE INSTALLED SO THAT THEY BEAR AGAINST UNDISTURBED EARTH.
 - SIZE OF CONCRETE THRUST BLOCKS SHALL BE AS NOTED BELOW.
 - MINIMUM COMPRESSIVE STRENGTH OF THRUST BLOCK CONCRETE SHALL BE 3,000 P.S.I.
 - KEEP CONCRETE CLEAR OF MECHANICAL JOINTS.
 - THE BELOW PRECATED ON A WATER PRESSURE OF 225 PSI AND A SOIL RESISTANCE OF 2000 PSF (TILL). FOR OTHER SOILS THE VALUES IN THE BELOW TABLE SHALL BE MULTIPLIED BY:

SOFT CLAY	4
SAND	2
SAND & GRAVEL	1.33
SHALE	0.4

PIPE DIAMETER	90° BEND (SQ. FT.)	45° BEND (SQ. FT.)	22.5° BEND (SQ. FT.)	TEES, PLUGS, CAPS & HYDRANTS (SQ. FT.)
6"	5	3	2	4
8"	8	5	3	6
10"	13	7	4	9
12"	18	10	5	13

TYPICAL THRUST BLOCK DETAIL

27 N.T.S.



273 CORPORATE DRIVE
PORTSMOUTH, NH 03801
T 603.436.2551
F 603.436.6973
www.jsainc.com

GEOSIGHT, INC.
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MANCHESTER, NEW HAMPSHIRE

GREENMAN-PEDERSEN, INC.
LANDSCAPE ARCHITECT
PORTSMOUTH, NEW HAMPSHIRE

JSN ASSOCIATES, INC.
STRUCTURAL ENGINEER
PORTSMOUTH, NEW HAMPSHIRE

ENGINEERED SYSTEMS INC.
MPPF ENGINEER
WOBURN, MASSACHUSETTS

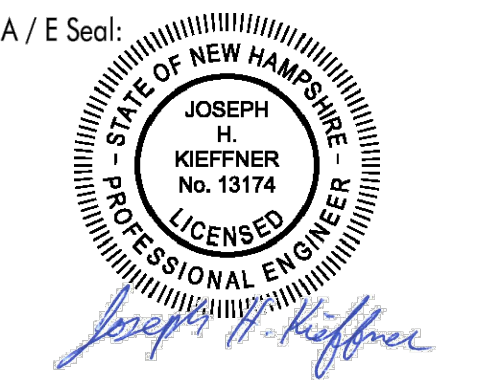
ENGINEERED BUILDING SYSTEMS
ELECTRICAL ENGINEER
DERRY, NEW HAMPSHIRE

**THE HOTEL AT
FOUNDRY PLACE,
"LOT 3": 165 DEER
STREET, ASSESSORS
MAP 125 LOT 17,
AND RELATED
IMPROVEMENTS TO
LOTS 2, 4 AND 5**

PORTSMOUTH, NH 03801

OWNER:
Deer Street Associates

7 BANKS ROCK ROAD
YORK HARBOR, ME



Scale:
Date: **3/17/2017**
Project Number: **14837.02**

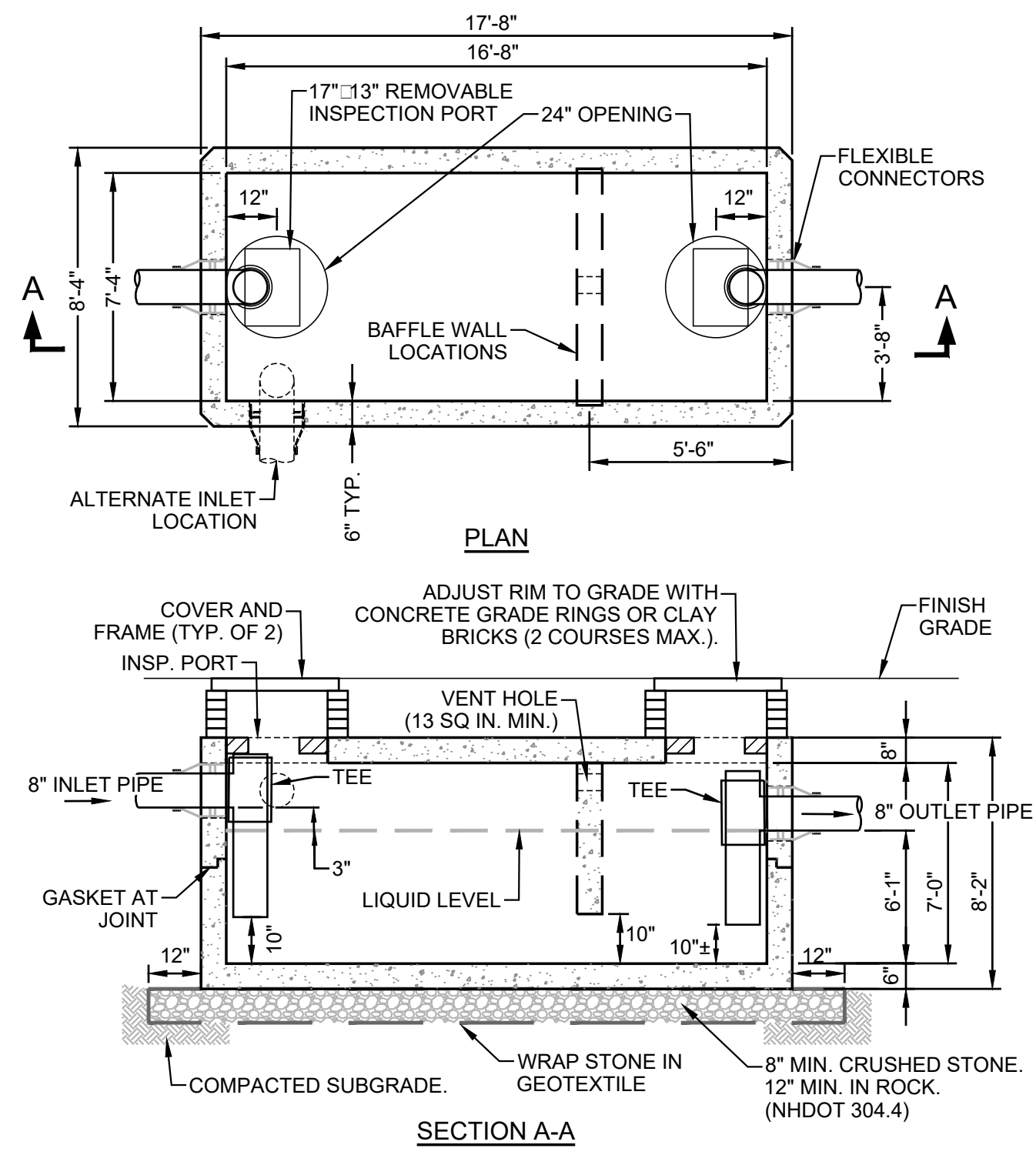
NO.	DESCRIPTION	DATE
1	TAC PUBLIC HEARING	3/17/2017
2	TAC PUBLIC HEARING	11/17/2017
3	TAC PUBLIC HEARING	12/19/2017

SITE PLAN REVIEW

□ T L T □
D T L L □
1 0 □ 2

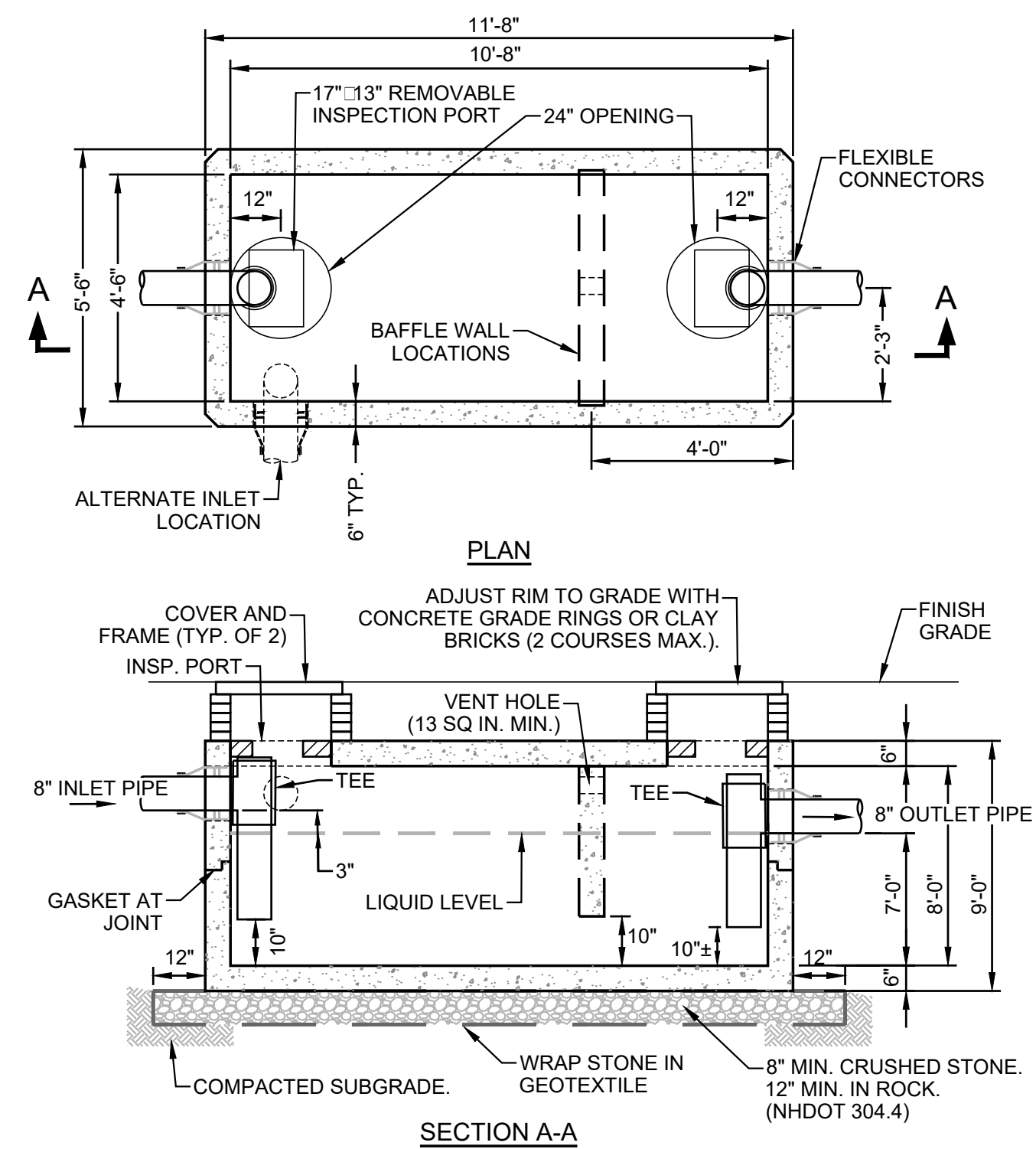
□ □ 3

□ □ R M T □ L □ □ □ □ O T □ O R □ O □ □ T R □ □ T □ O □



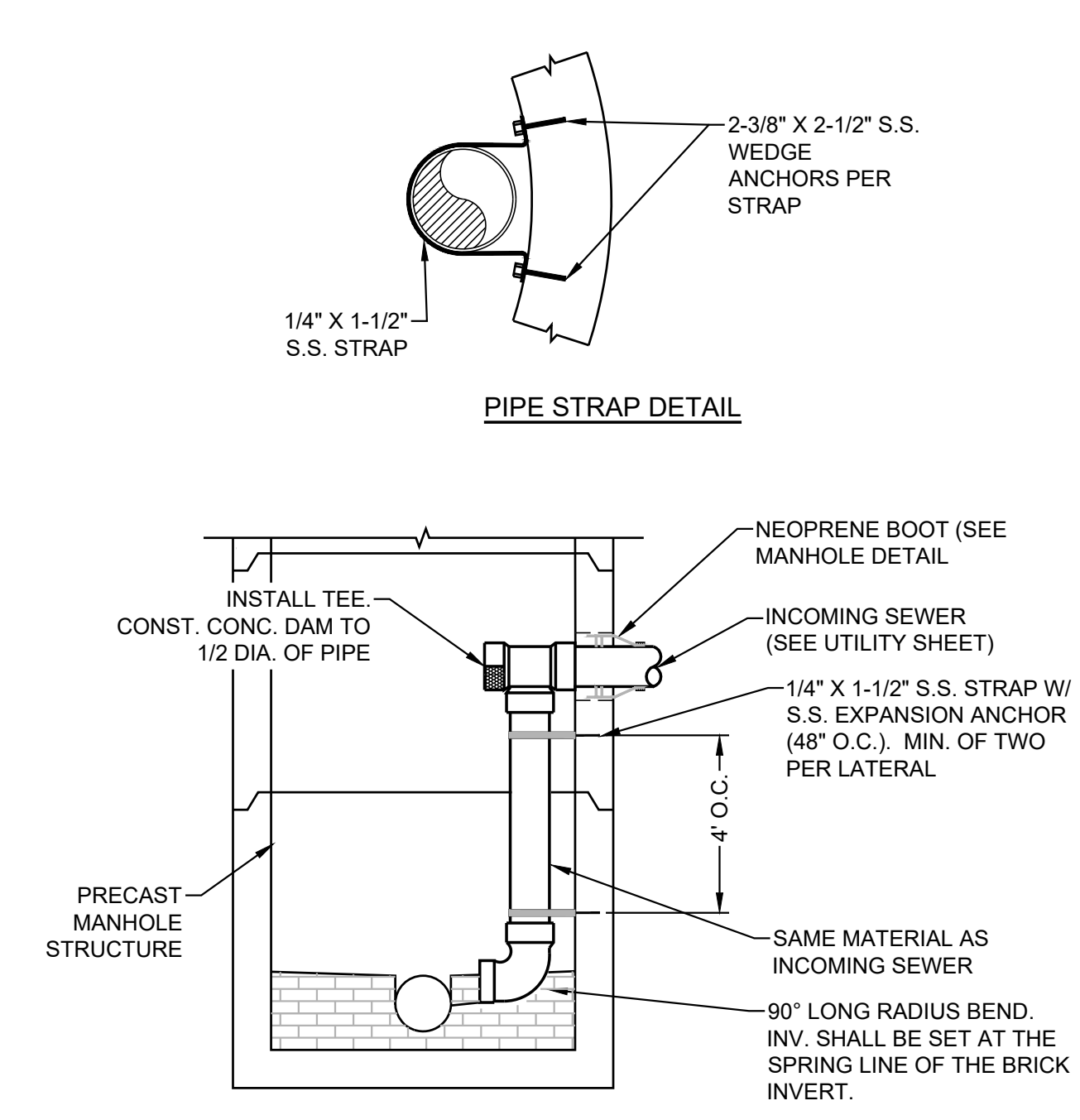
- GREASE INTERCEPTOR NOTES**
- GREASE TRAP SHALL BE HS20-44 LOAD RATED.
 - INTERCEPTOR DESIGN SHALL CONFORM TO ASTM C1613, NHDES, AND CITY OF PORTSMOUTH REQUIREMENTS AND SPECIFICATIONS.
 - GREASE TRAP SHALL HAVE A MIN. OF 2 INTERIOR BAFFLES OR TEES OR COMBINATION THEREOF.
 - REINFORCEMENT: AS REQUIRED FOR WATER, SOIL, TRAFFIC, AND HYDRAULIC PRESSURE LOADING.
 - GREASE TRAP BY CONCRETE SYSTEMS, INC. (CSI) OR EQUAL.
 - COVER AND FRAME TO MEET MUNICIPAL STANDARD FOR SANITARY SEWER.
 - GEOTEXTILE SHALL BE MIRAFI 600X.
 - TANK PIPING AND TEE DIAMETERS SHALL MATCH CONNECTING PIPES. MATERIAL SHALL BE PVC SDR 35.
 - PIPING RISERS SHALL BE BRACED WITH A MINIMUM OF TWO 1/4" X 1-1/2" S.S. STRAP W/ S.S. EXPANSION ANCHORS.
 - INSPECTION PORTS SHALL BE REMOVABLE AND MATERIAL SHALL BE S.S. OR 6061 ALUMINUM.

29 4,000 GAL PRECAST GREASE INTERCEPTOR
N.T.S.



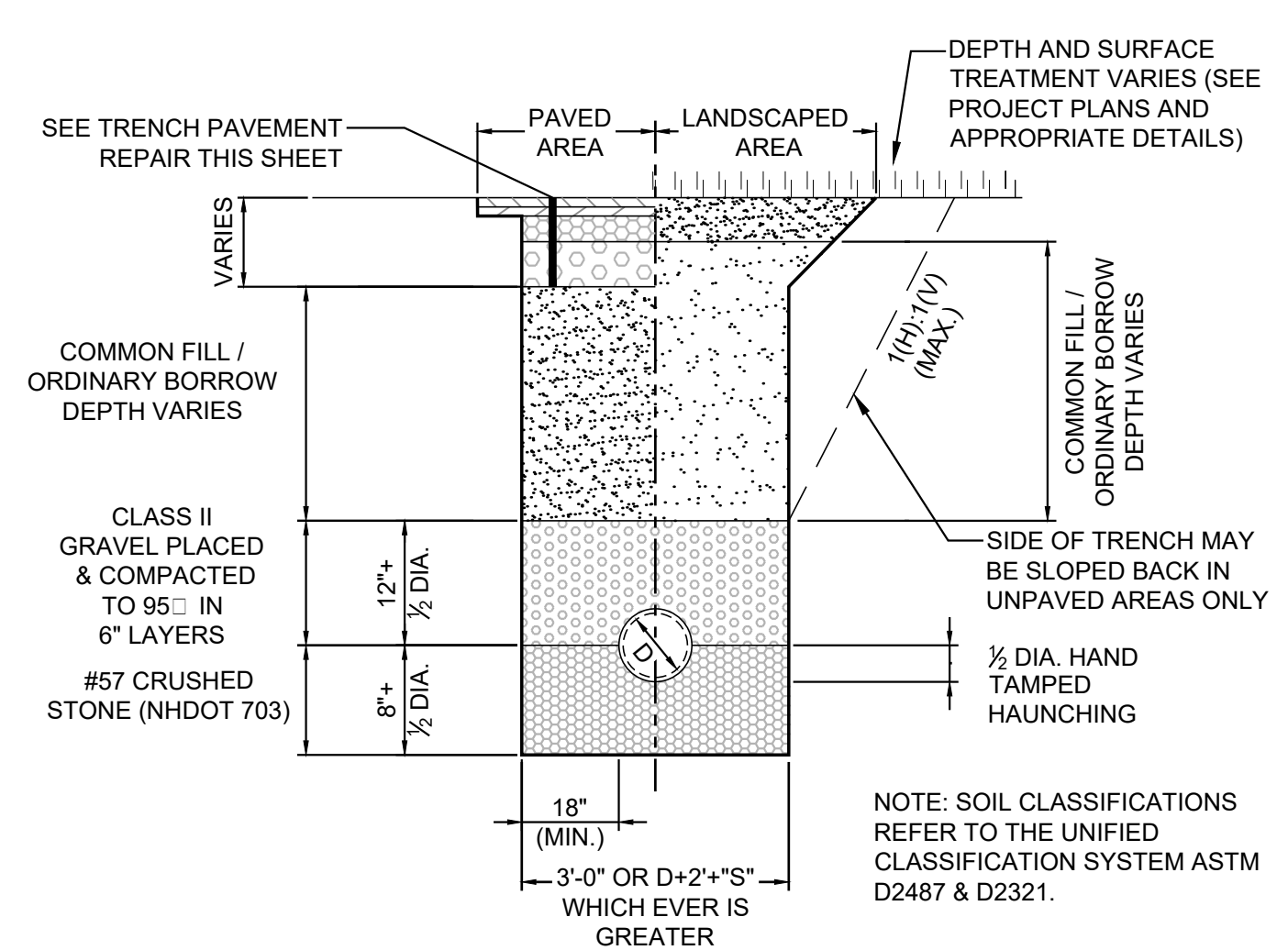
- GREASE INTERCEPTOR NOTES**
- GREASE TRAP SHALL BE HS20-44 LOAD RATED.
 - INTERCEPTOR DESIGN SHALL CONFORM TO ASTM C1613, NHDES, AND CITY OF PORTSMOUTH REQUIREMENTS AND SPECIFICATIONS.
 - GREASE TRAP SHALL HAVE A MIN. OF 2 INTERIOR BAFFLES OR TEES OR COMBINATION THEREOF.
 - REINFORCEMENT: AS REQUIRED FOR WATER, SOIL, TRAFFIC, AND HYDRAULIC PRESSURE LOADING.
 - GREASE TRAP BY CONCRETE SYSTEMS, INC. (CSI) OR EQUAL.
 - COVER AND FRAME TO MEET MUNICIPAL STANDARD FOR SANITARY SEWER.
 - GEOTEXTILE SHALL BE MIRAFI 600X.
 - TANK PIPING AND TEE DIAMETERS SHALL MATCH CONNECTING PIPES. MATERIAL SHALL BE PVC SDR 35.
 - PIPING RISERS SHALL BE BRACED WITH A MINIMUM OF TWO 1/4" X 1-1/2" S.S. STRAP W/ S.S. EXPANSION ANCHORS.
 - INSPECTION PORTS SHALL BE REMOVABLE AND MATERIAL SHALL BE S.S. OR 6061 ALUMINUM.

29 2,500 GAL PRECAST GREASE INTERCEPTOR
N.T.S.



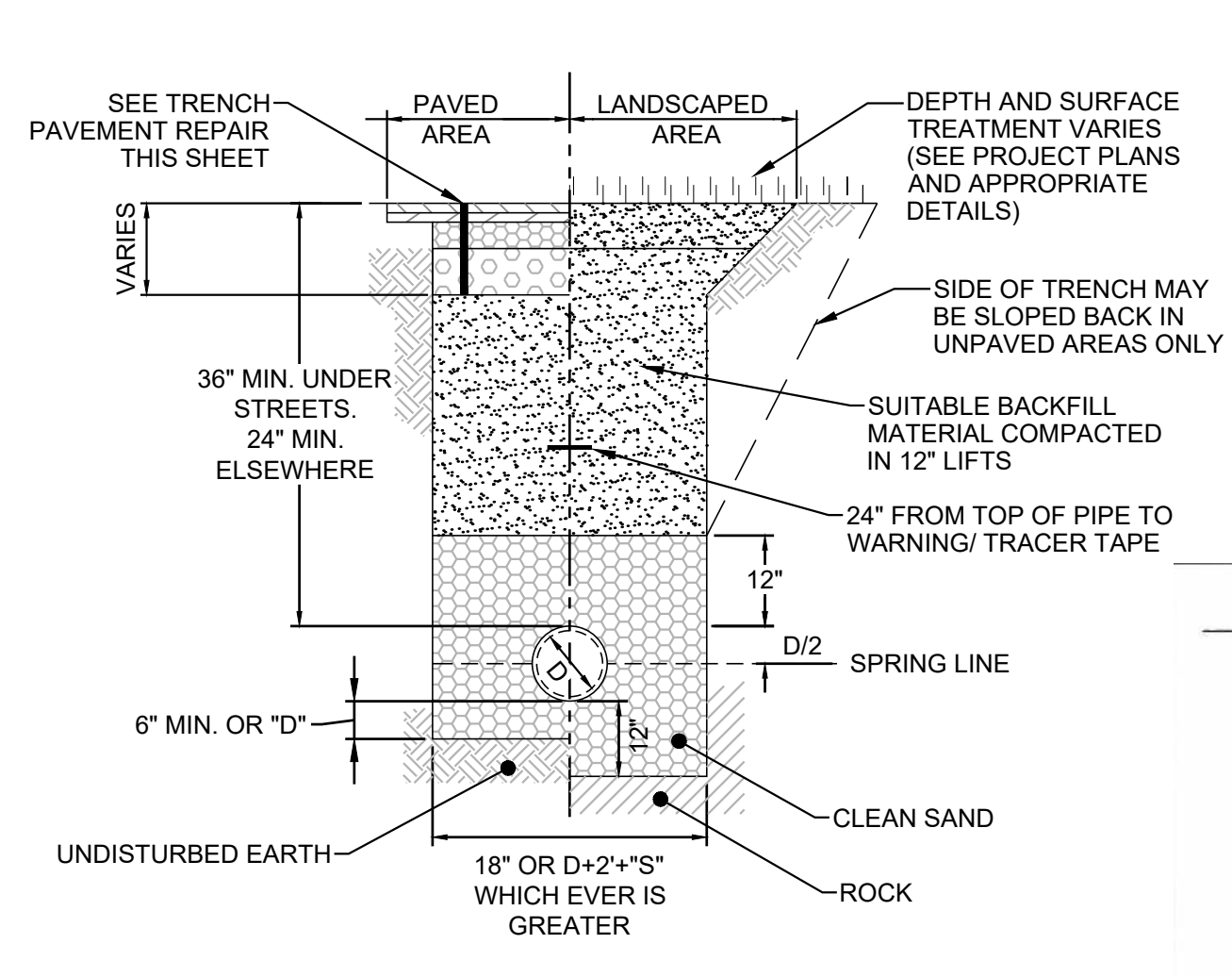
- NOTES:**
- INTERIOR MANHOLE DROP SHALL ONLY BE INSTALLED IN 5' DIA. OR LARGER MANHOLES.
 - DROP CONNECTION SHALL BE USED WHERE THE INCOMING PIPE INVERT IS 24" HIGHER THAN BRICK OUTLET PIPE INVERT.
 - DROP PIPE AND FITTINGS SHALL BE THE SAME MATERIAL AND DIAMETER OF INCOMING PIPE.
 - ALL HARDWARE SHALL BE STAINLESS STEEL (S.S.).
 - STAINLESS STEEL SHALL BE TYPE 304 FOR STORM WATER STRUCTURES AND TYPE 316 FOR SANITARY SEWER STRUCTURES.
 - DROP PIPE INVERT ELEVATIONS:
 - WHEN DROP PIPE DIA. IS EQUAL TO THE MANHOLE OUTLET PIPE THEN THE DROP INVERT SHALL BE 0.1' ABOVE OUTLET INVERT.
 - WHEN DROP PIPE DIA. IS LESS THAN OUTLET PIPE DIA. THEN DROP INVERT SHALL BE SET AT THE MID POINT OF THE BRICK SHELF.
 - SEE TYPICAL MANHOLE DETAIL FOR MANHOLE CONSTRUCTION.

30 TYPICAL MANHOLE INTERIOR DROP CONNECTION
N.T.S.



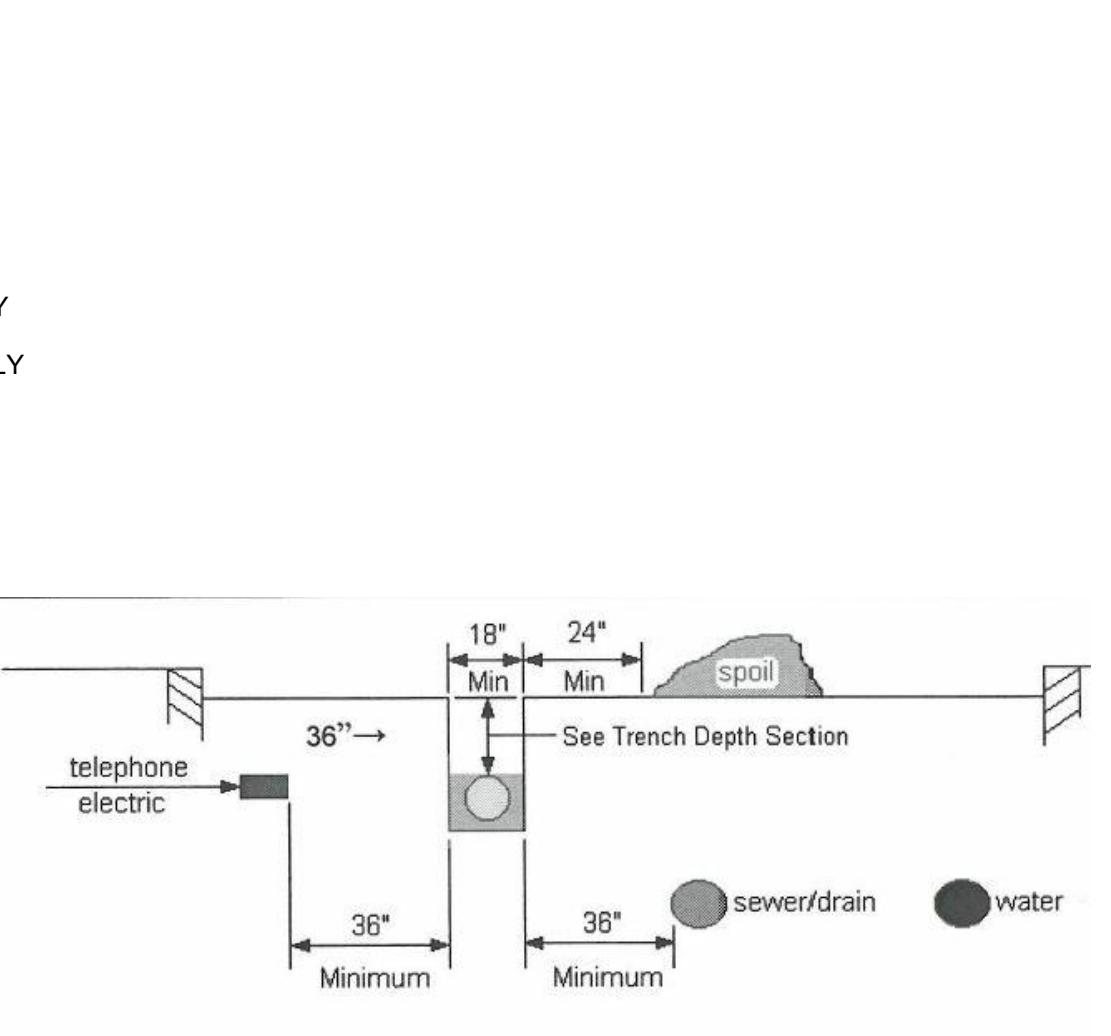
- NOTES:**
- SEWER MAIN SHALL BE INSTALLED PER THE MUNICIPAL STANDARDS AND SPECIFICATIONS.
 - TRENCH PROTECTION SHALL BE PROVIDED TO MEET APPLICABLE STATE AND O.S.H.A. SAFETY STANDARDS. ALL SUCH PROTECTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - "S" = TRENCH PROTECTION WALL WIDTH

31 TYPICAL SANITARY SEWER TRENCH DETAIL
N.T.S.



- NOTES:**
- GAS PIPE SHALL BE INSTALLED PER UTILITY AND STANDARDS AND SPECIFICATIONS.
 - COORDINATE ALL INSTALLATIONS WITH UNIL AND CITY OR PORTSMOUTH.
 - TRENCH PROTECTION SHALL BE PROVIDED TO MEET APPLICABLE STATE AND O.S.H.A. SAFETY STANDARDS. ALL SUCH PROTECTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - "S" = TRENCH PROTECTION WALL WIDTH

32 TYPICAL GAS SERVICE TRENCH DETAIL
N.T.S.



- NOTES:**
- WATER MAIN SHALL BE INSTALLED PER THE MUNICIPAL STANDARDS AND SPECIFICATIONS.
 - DOMESTIC WATER SERVICE AND FIRE SERVICE MAIN MAY BE PLACED IN A SINGLE TRENCH WITH 3' CENTER TO CENTER SEPARATION OR A MIN. OF 2' CLEAR SPACE BETWEEN PIPES WHICH EVER IS GREATER.
 - TRENCH PROTECTION SHALL BE PROVIDED TO MEET APPLICABLE STATE AND O.S.H.A. SAFETY STANDARDS. ALL SUCH PROTECTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - "S" = TRENCH PROTECTION WALL WIDTH

33 TYPICAL DI WATER MAIN TRENCH DETAIL
N.T.S.

273 CORPORATE DRIVE
PORTSMOUTH, NH 03801
T 603.436.2551
F 603.436.6973
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GEONISIGHT, INC.
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JSN ASSOCIATES, INC.
STRUCTURAL ENGINEER
PORTSMOUTH, NEW HAMPSHIRE

ENGINEERED SYSTEMS INC.
MFPF ENGINEER
WOBBURN, MASSACHUSETTS

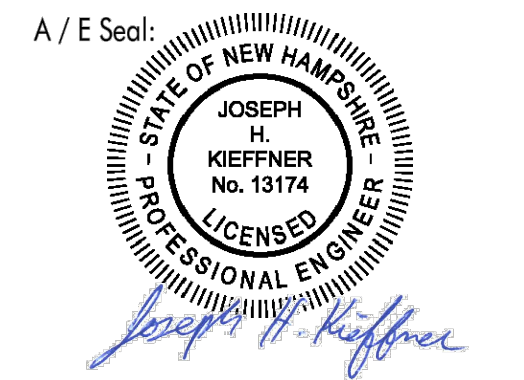
ENGINEERED BUILDING SYSTEMS
ELECTRICAL ENGINEER
DERRY, NEW HAMPSHIRE

**THE HOTEL AT
FOUNDRY PLACE,
"LOT 3": 165 DEER
STREET, ASSESSORS
MAP 125 LOT 17,
AND RELATED
IMPROVEMENTS TO
LOTS 2, 4 AND 5**

PORTSMOUTH, NH 03801

OWNER:
Deer Street Associates

7 BANKS ROCK ROAD
YORK HARBOR, ME



Scale:
Date: **3/17/2017**
Project Number: **14837.02**

REVISIONS		
NO.	DESCRIPTION	DATE
1	TAC PUBLIC HEARING	3/17/2017
2	TAC PUBLIC HEARING	11/17/2017
3	TAC PUBLIC HEARING	12/19/2017

SITE PLAN REVIEW

TILT
DOT L
202

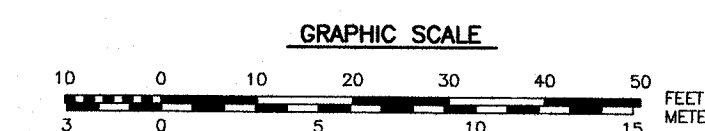
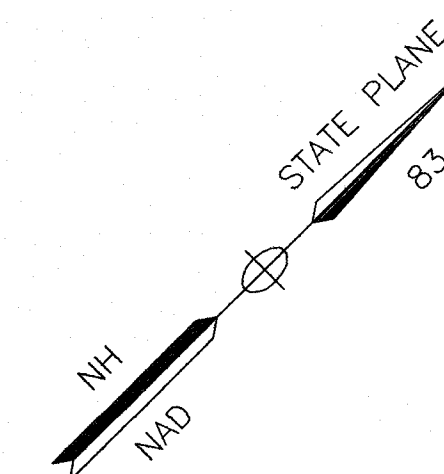
4



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

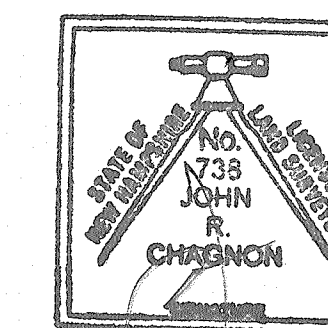
NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAPS AS MAP 125 LOT 17-1.
- 2) **OWNER:**
DEER STREET ASSOCIATES
PO BOX 100
YORK HARBOR, ME 03911
3395/2669, 5534/2077, & 5453/138
D-39699
- 3) THE PURPOSE OF THIS PLAN IS TO SHOW PROPOSED EASEMENTS FOR REVIEW AND APPROVAL FOR TAX MAP 125-17-1 (SUBDIVISION LOT 2).



**DEER STREET ASSOCIATES
FOUNDRY PLACE
PORTSMOUTH, NH**

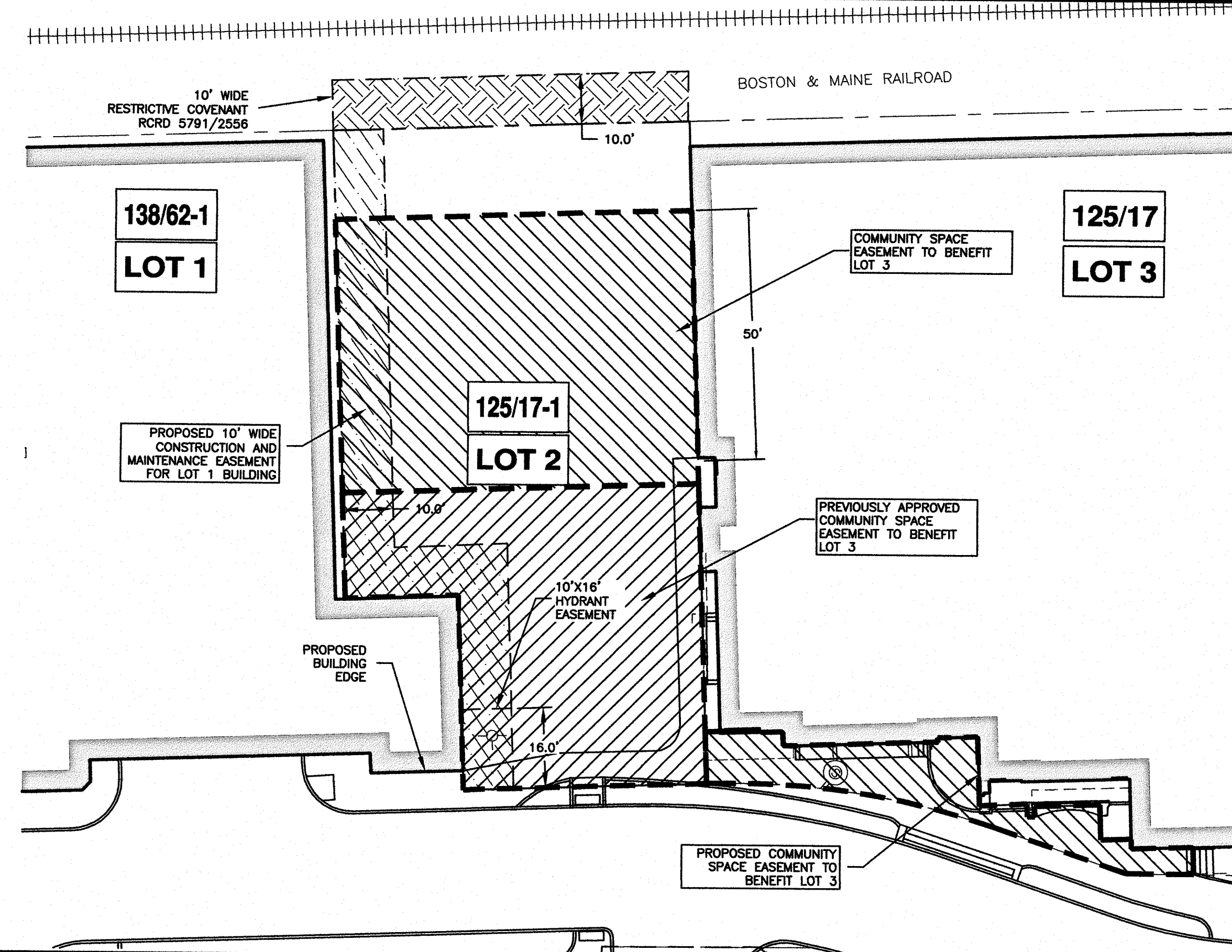
NO.	DESCRIPTION	DATE
1	ISSUED FOR SUBMISSION	12/19/17
0	ISSUED FOR COMMENT	11/16/17



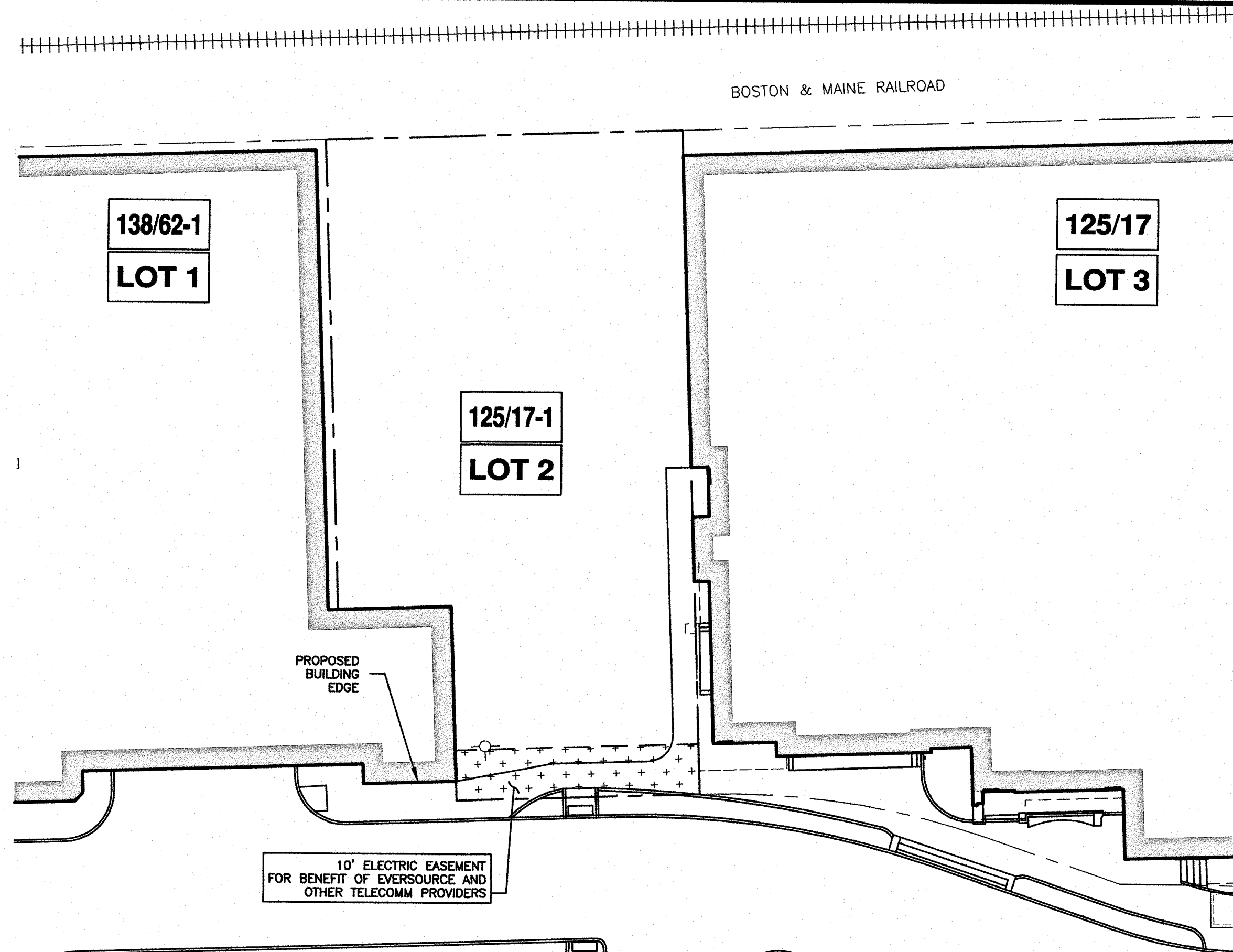
SCALE: 1"=20' NOVEMBER 2017

**EASEMENT PLAN
TAX MAP 125 LOT 17-1
SUBDIVISION LOT 2**

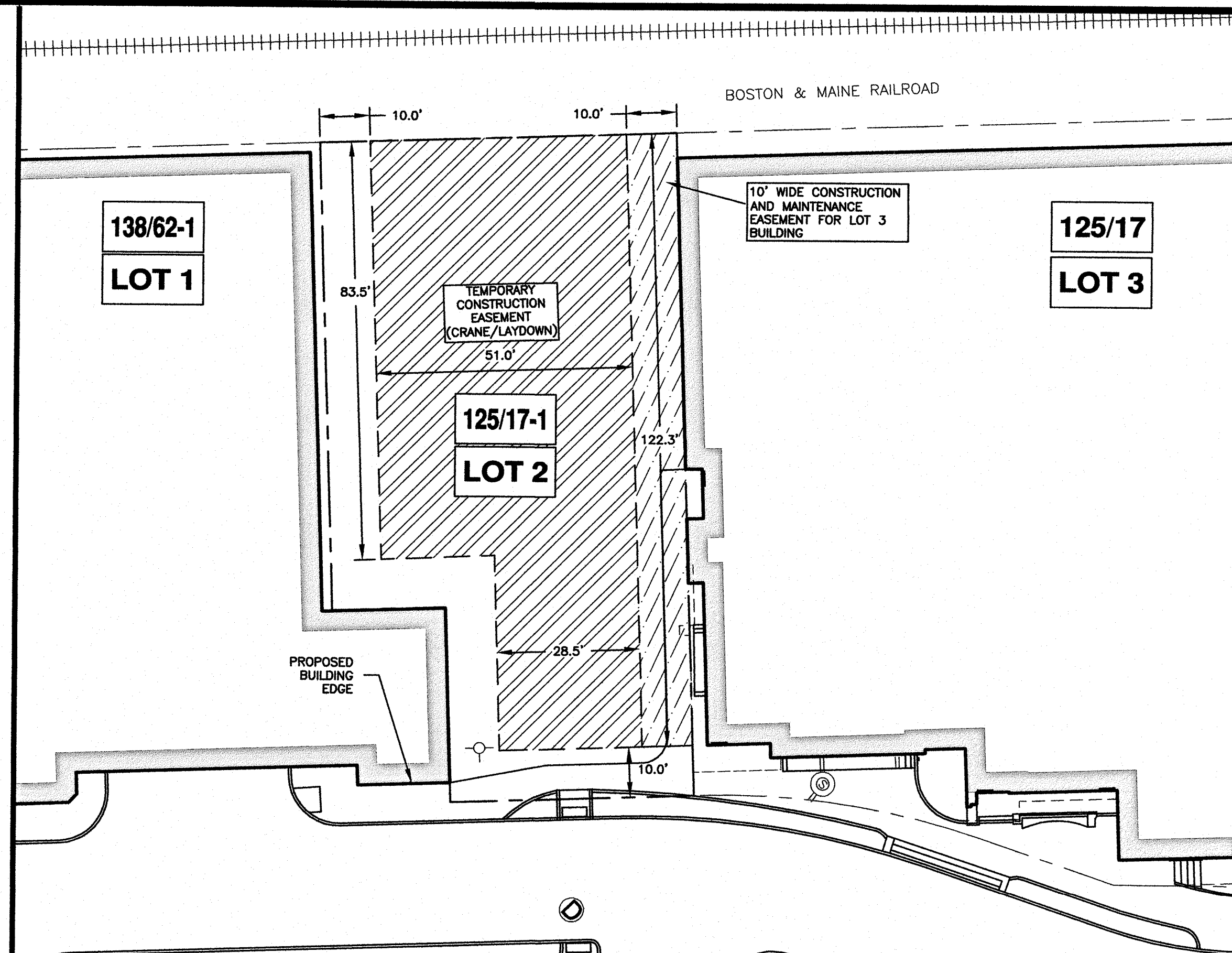
E1



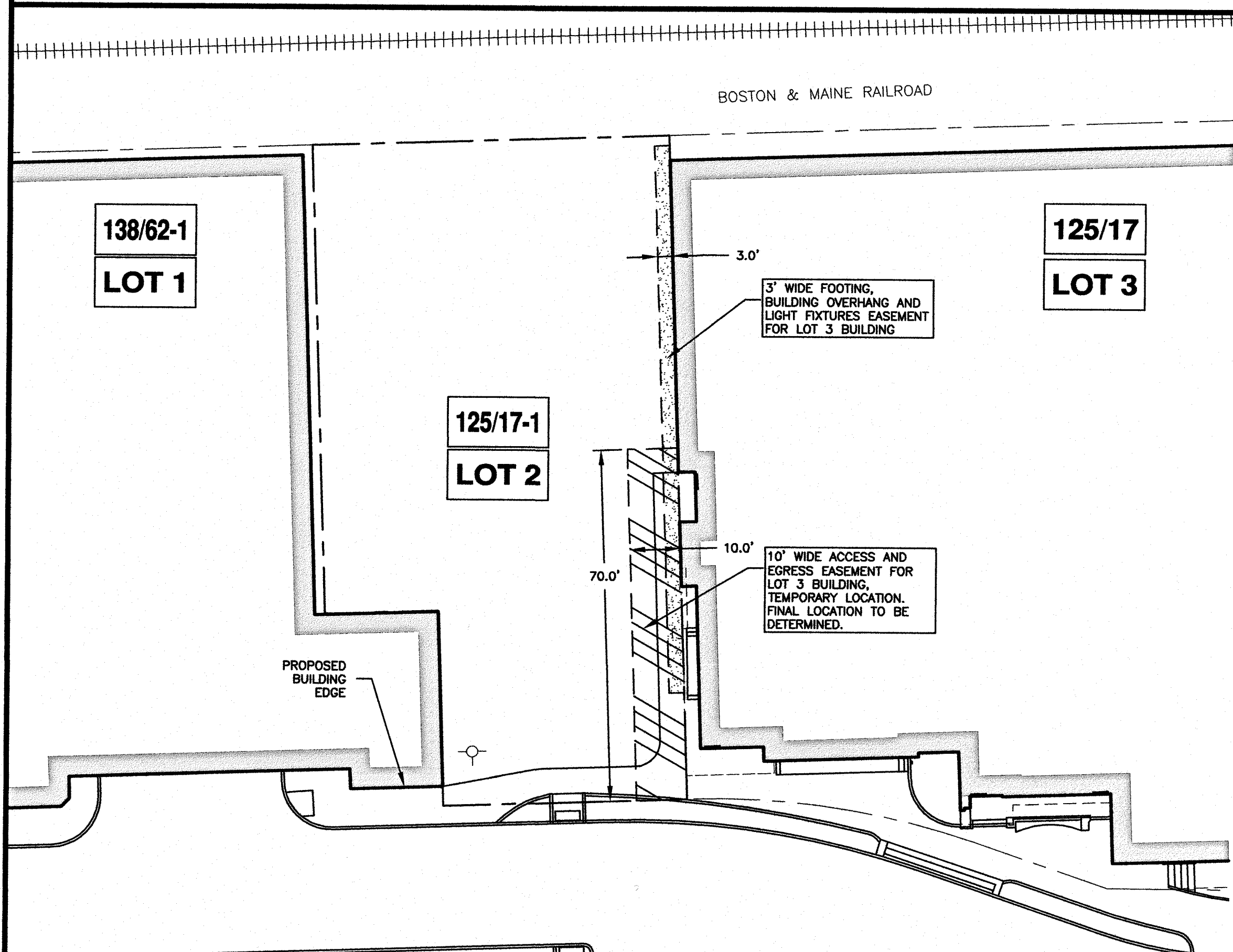
EASEMENT TO THE CITY OF PORTSMOUTH



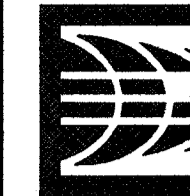
EASEMENT TO EVERSOURCE AND TELECOMM



CONSTRUCTION AND MAINTENANCE EASEMENT



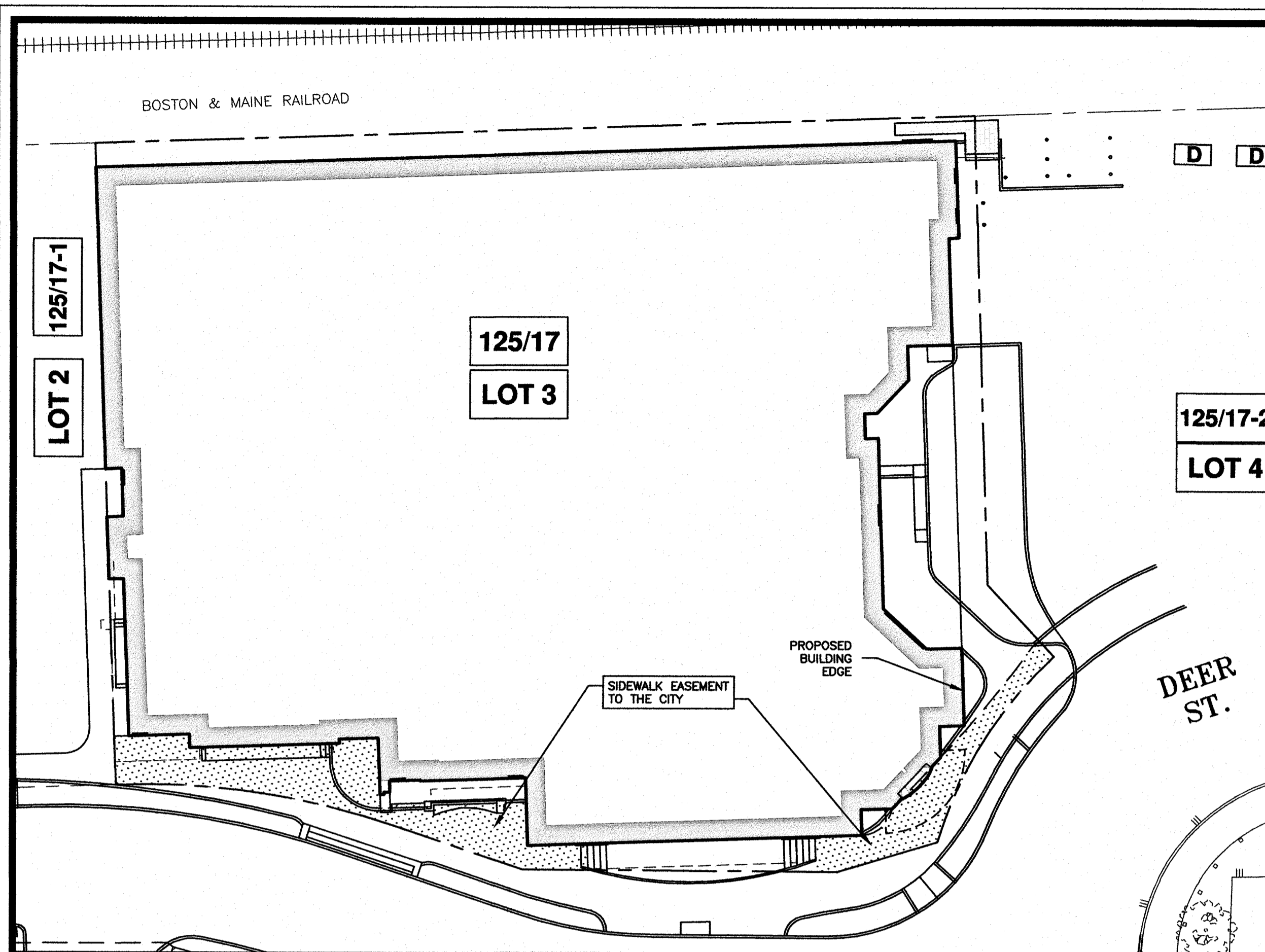
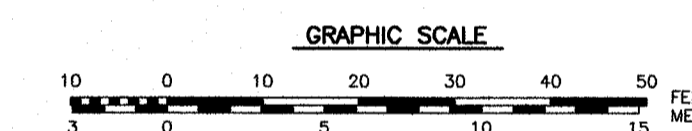
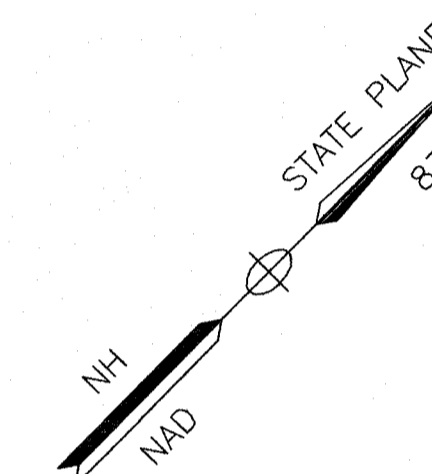
ACCESS AND FOOTING EASEMENT



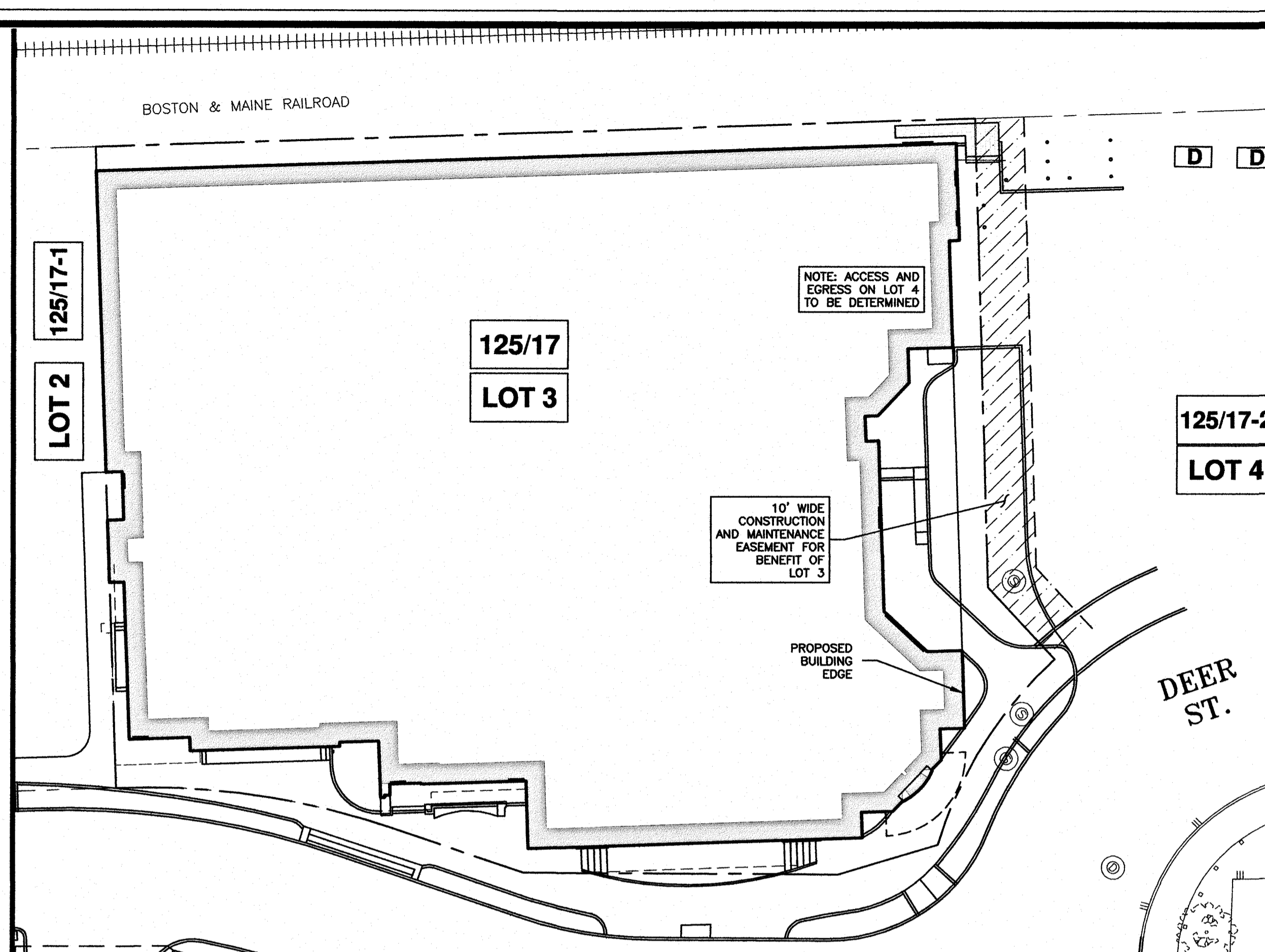
AMBIT ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 200 Griffin Road - Unit 3
 Portsmouth, N.H. 03801-7114
 Tel (603) 430-9282
 Fax (603) 430-2315

NOTES:

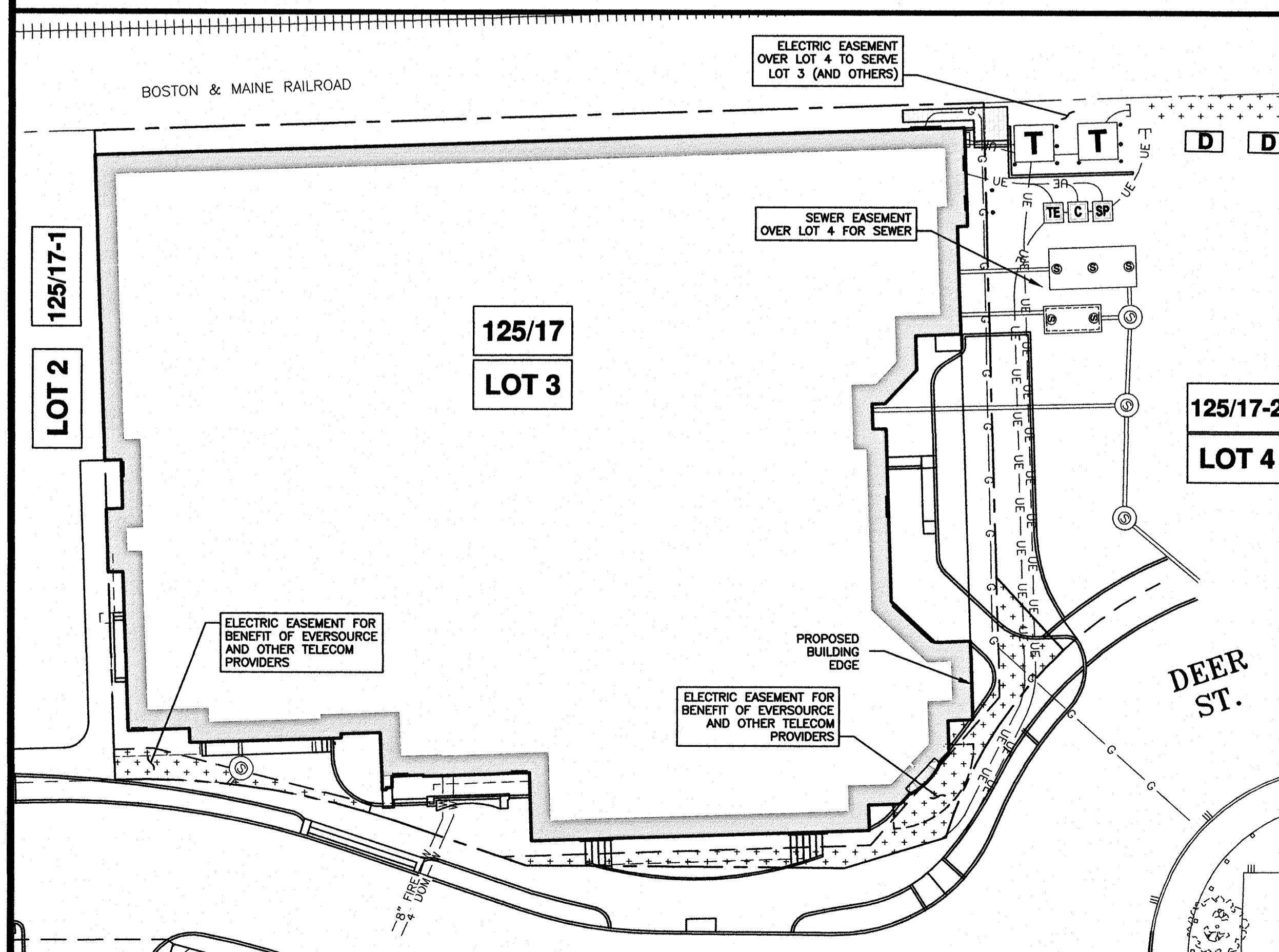
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAPS AS MAP 125 LOT 17.
- 2) OWNER:
 DEER STREET ASSOCIATES
 PO BOX 100
 YORK HARBOR, ME 03911
 3395/2669, 5534/2077, & 5453/138
 D-39699
- 3) THE PURPOSE OF THIS PLAN IS TO SHOW PROPOSED EASEMENTS FOR REVIEW AND APPROVAL FOR TAX MAP 125-17 (SUBDIVISION LOT 3).



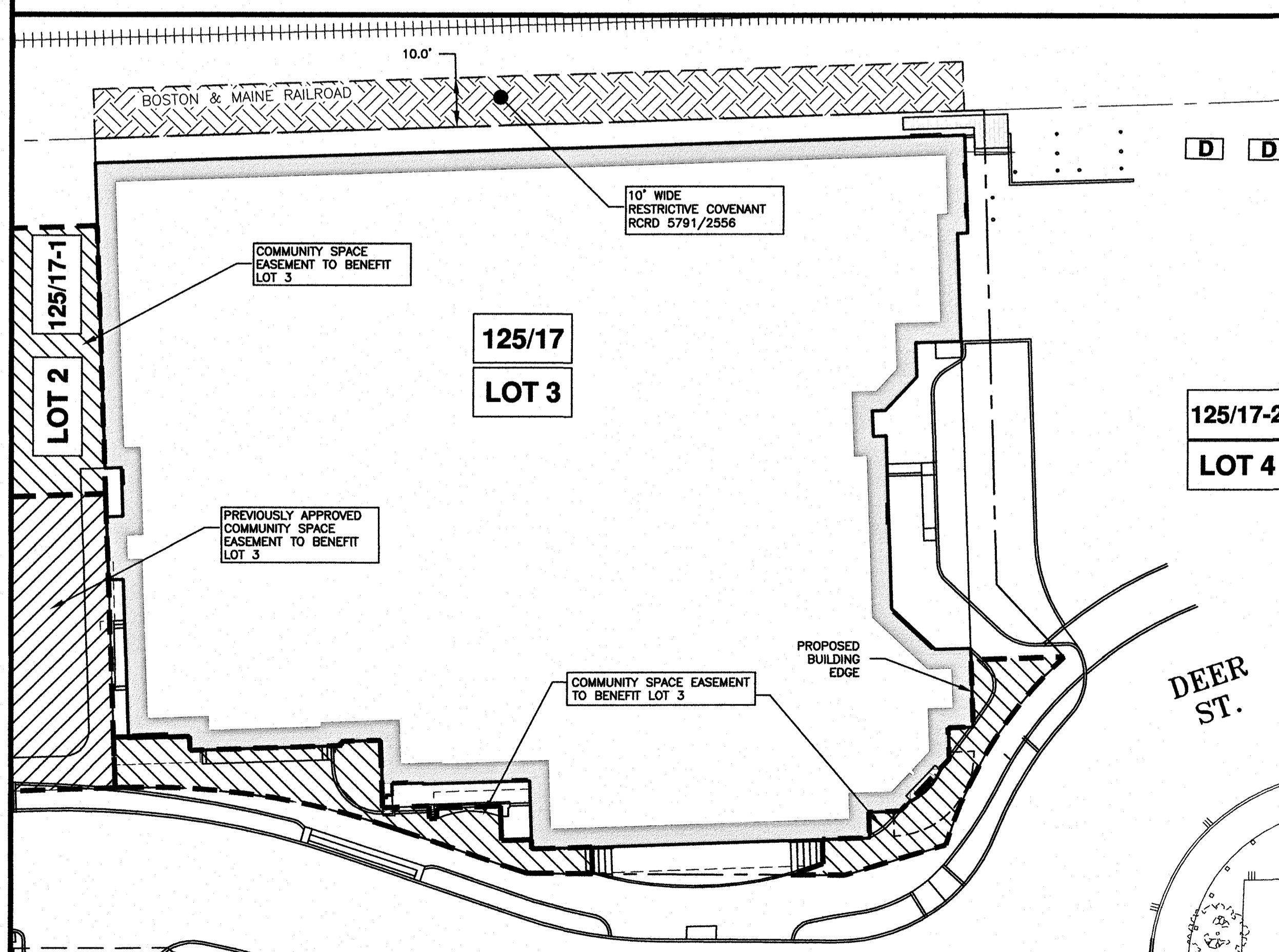
EASEMENTS TO THE CITY OF PORTSMOUTH



ACCESS, CONSTRUCTION AND MAINTENANCE EASEMENT



EASEMENT TO EVERSOURCE AND TELECOMM



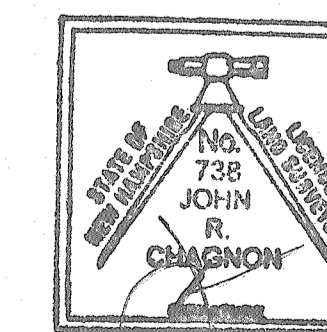
COMMUNITY SPACE EASEMENTS AND BUILDING RIGHTS (BENEFIT)

**DEER STREET ASSOCIATES
 FOUNDRY PLACE
 PORTSMOUTH, NH**

125/17-2
 LOT 4

NO.	DESCRIPTION	DATE
1	ISSUED FOR SUBMISSION	12/19/17
0	ISSUED FOR COMMENT	11/16/17

REVISIONS



SCALE: 1"=20' NOVEMBER 2017

**EASEMENT PLAN
 TAX MAP 125 LOT 17
 SUBDIVISION LOT 3**

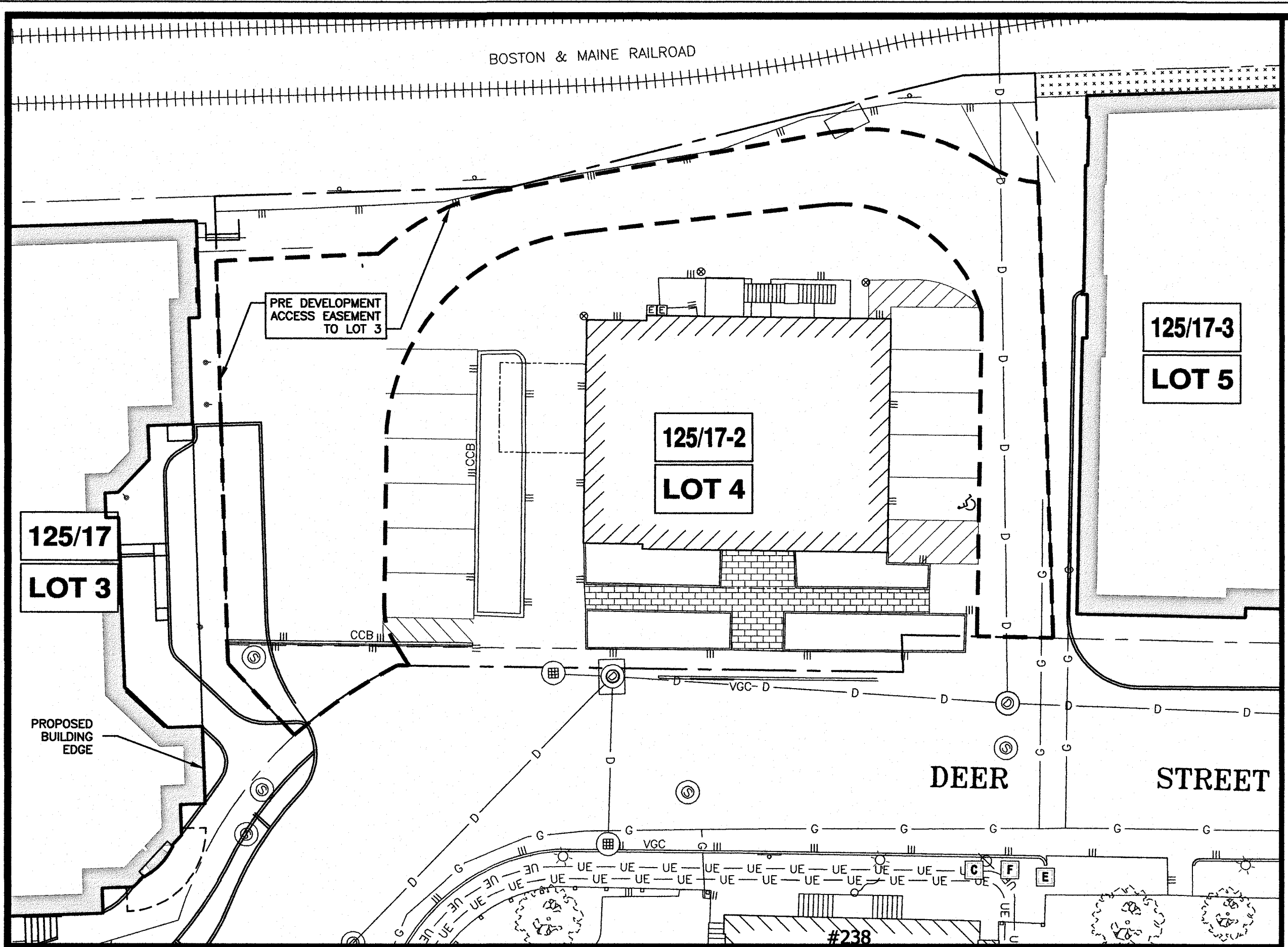
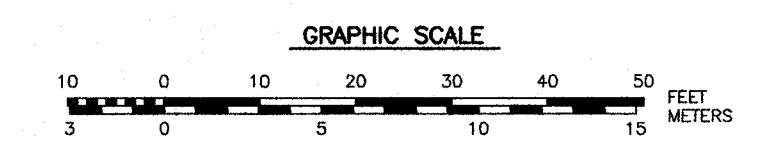
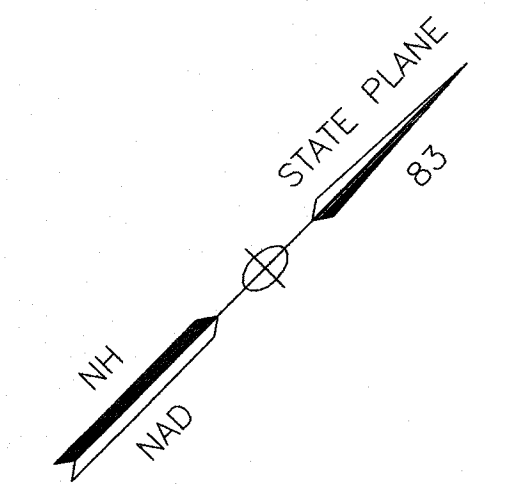
E2



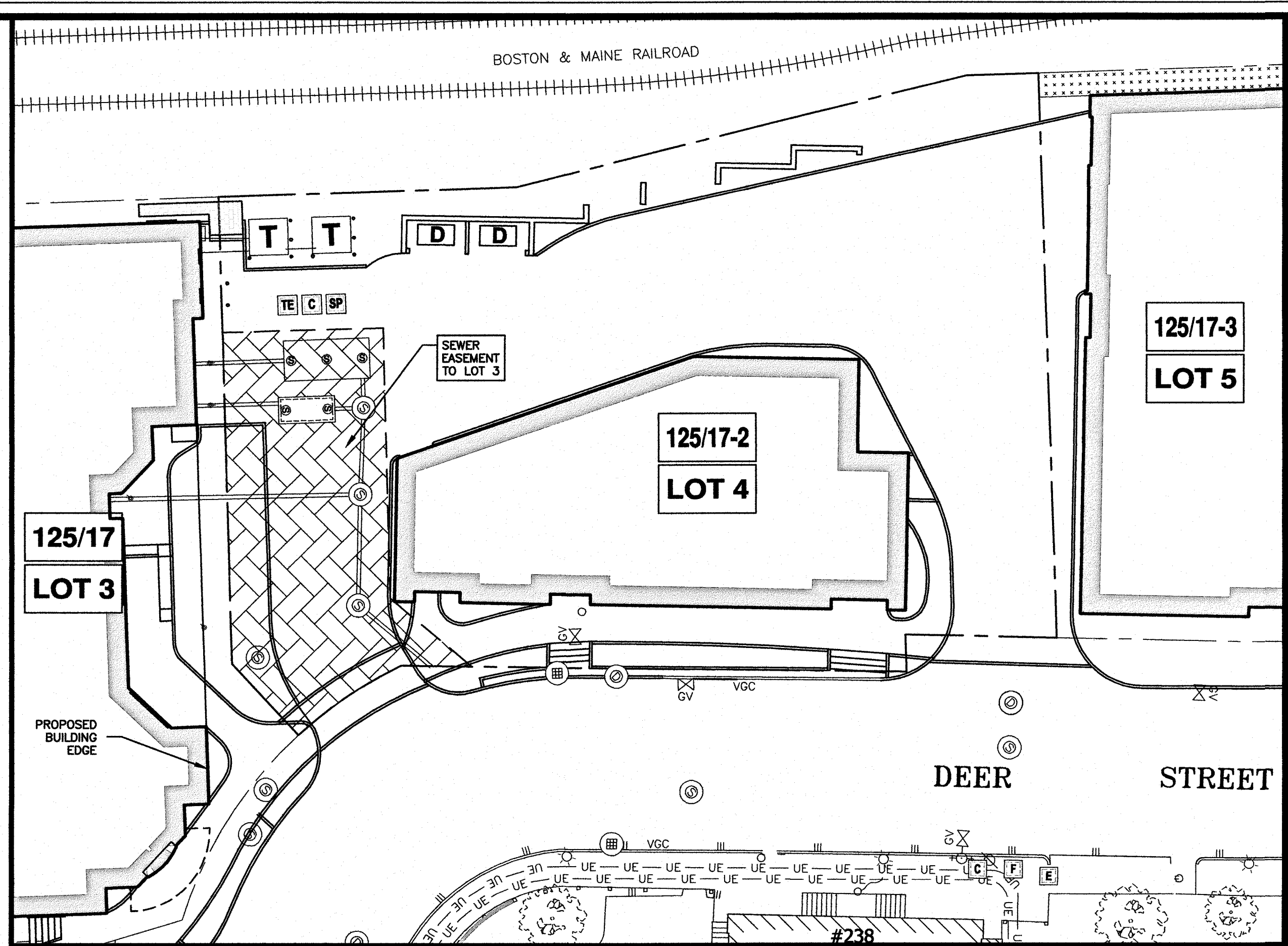
AMBIT ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 200 Griffin Road - Unit 3
 Portsmouth, N.H. 03801-7114
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NOTES:

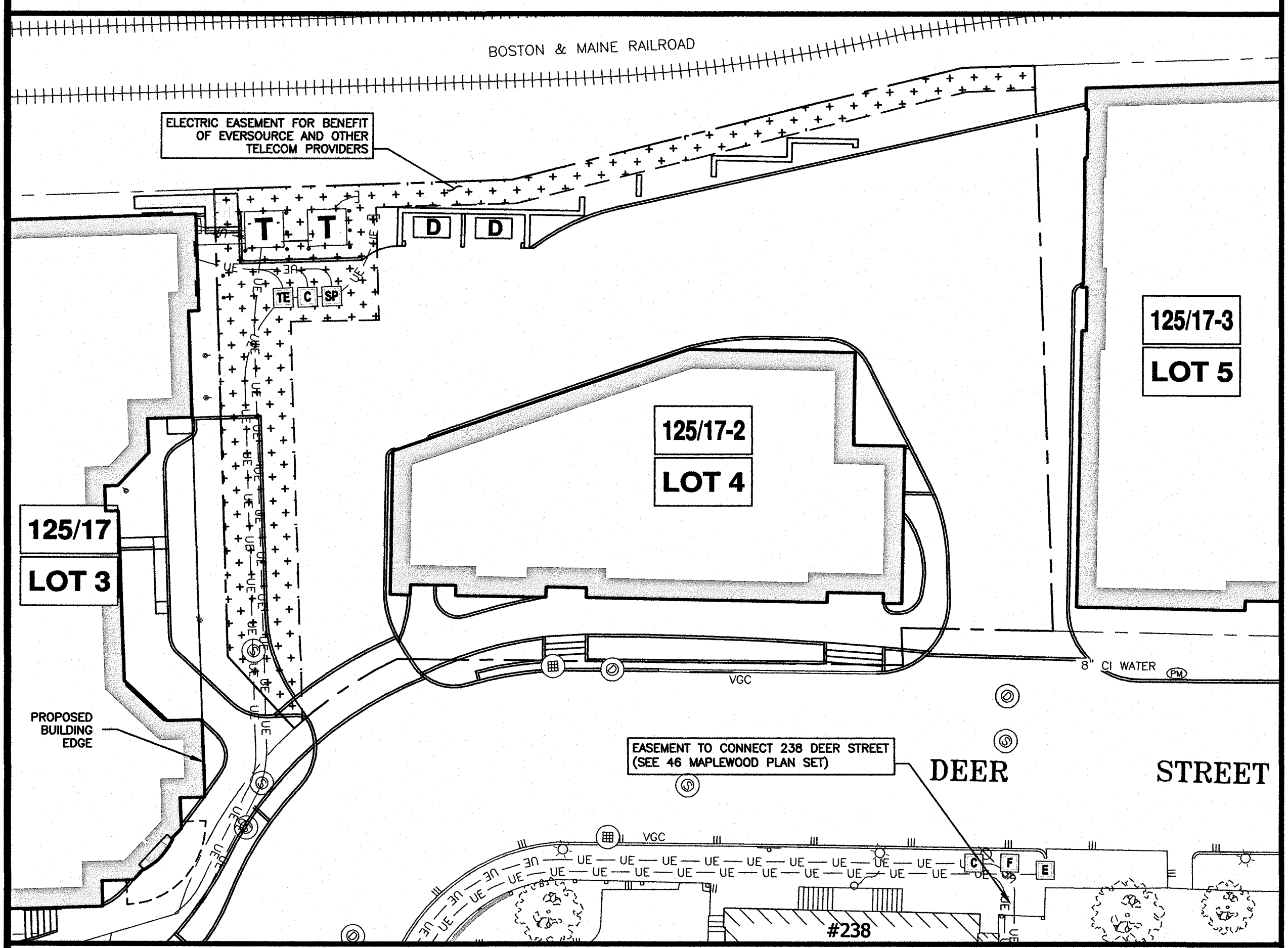
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAPS AS MAP 125 LOT 17-2.
- 2) OWNER:
 DEER STREET ASSOCIATES
 PO BOX 100
 YORK HARBOR, ME 03911
 3395/2669, 5534/2077, & 5453/138
 D-39699
- 3) THE PURPOSE OF THIS PLAN IS TO SHOW PROPOSED EASEMENTS FOR REVIEW AND APPROVAL FOR TAX MAP 125-17-2 (SUBDIVISION LOT 4).



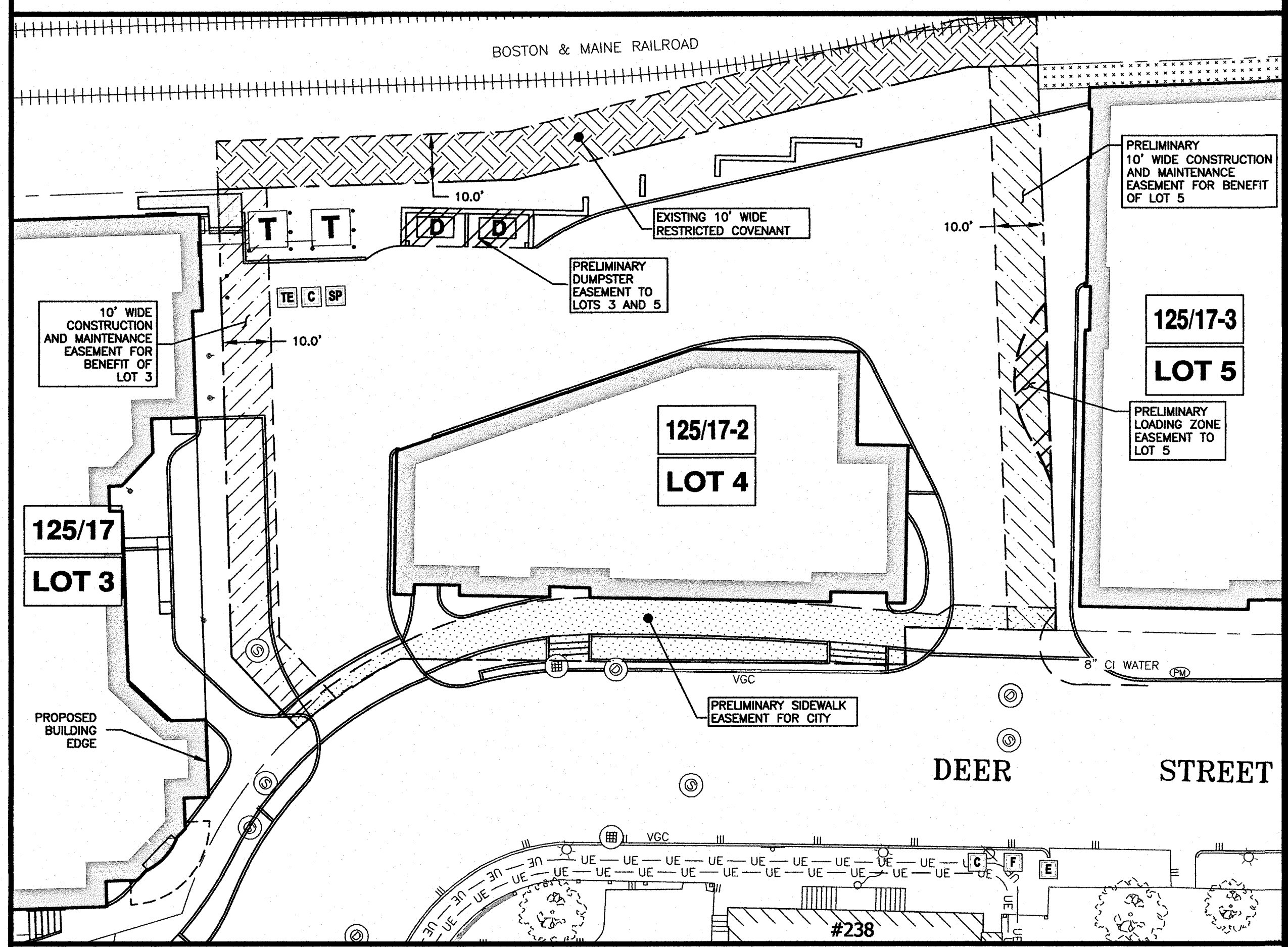
PRE DEVELOPMENT ACCESS EASEMENT TO LOT 3



SEWER EASEMENT TO LOT 3 AND LOT 5



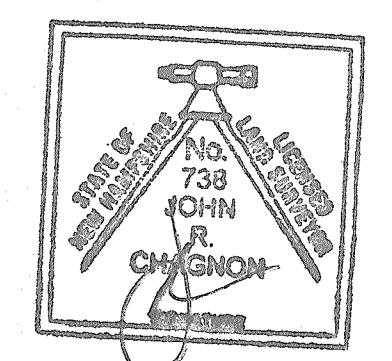
EASEMENT TO EVERSOURCE AND TELECOMM



CONSTRUCTION AND SIDEWALK EASEMENTS

**DEER STREET ASSOCIATES
 FOUNDRY PLACE
 PORTSMOUTH, NH**

NO.	DESCRIPTION	DATE
1	REVISED FOR LOT 3 SUBMISSION	12/19/17
0	ISSUED FOR COMMENT	5/26/17
REVISIONS		



SCALE: 1"=20' MAY 2017

EASEMENT PLAN
 TAX MAP 125 LOT 17-2
 SUBDIVISION LOT 4

E3

- (1) METER FOR HOTEL
- (1) METER FOR ROOFTOP RESTAURANT
- (1) METER FOR HOUSE LOADS
- (1) METER FOR 1ST FLOOR BISTRO
- (1) METER FOR PV SYSTEM

NOTE: THE ELECTRICAL CONTRACTOR SHALL PROVIDE AN EMERGENCY RESPONDER RAPID REPEATER SYSTEM FOR THE BUILDING IN ACCORDANCE WITH THE REQUIREMENTS OF 2009 INTERNATIONAL BUILDING CODE, SECTION 915 IF DEEMED NECESSARY BY THE PORTSMOUTH FIRE DEPARTMENT.

NATURAL GAS FIRED ROOFTOP STANDBY/EMERGENCY GENERATOR

GEN

NEW PAD MOUNTED EVERSOURCE TRANSFORMER FOR BUILDING 3

NEW PAD MOUNTED EVERSOURCE TRANSFORMER FOR BUILDING 4

STUB FOR FUTURE USE FOR BUILDING 5

EXISTING BUILDING 4 ELEC. METER

CONNECT EXISTING BUILDING 4 POWER TO BUILDING 3 TRANSFORMER

BUILDING #3

BUILDING #

NEW 60A 120/208V 1Ø 3W SERVICE FOR EXISTING TRAFFIC CONTROLLER POWER CONNECTION

COUPLE TO PRIMARY, CATV, AND VOICE UNDERGROUND PROVIDED BY OTHERS UNDER A SEPARATE CONTRACT

NEW CONDUIT FOR FUTURE CITY STREET LIGHTING. CUT IN AND SWEEP TO NEW BASES BY OTHERS



ARCHITECTS
INTERIORS
PLANNERS

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www.jsainc.com

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STRUCTURAL ENGINEER
PORTSMOUTH, NEW HAMPSHIRE

MPFP ENGINEER
WOBURN, MASSACHUSETTS

ELECTRICAL ENGINEER
DERRY, NEW HAMPSHIRE

THE HOTEL AT
FOUNDRY PLACE,
"LOT 3": 165 DEER
STREET, ASSESSORS
MAP 125 LOT 17,
AND RELATED
IMPROVEMENTS TO
LOTS 2, 4 AND 5
PORTSMOUTH, NH 03801

OWNER:

Deer Street Associates



Scale: 1"=10'
Date: 3/17/2017
Project Number: 14837.03

REVISIONS

NO.	DESCRIPTION	DATE
1	TAC PUBLIC HEARING	6/15/2017
2	TAC PUBLIC HEARING	11/17/2017
3	TAC PUBLIC HEARING	12/19/2017

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**BUILDING #3
ELECTRICAL &
COMMUNICATIONS
PLAN**

SE1.1

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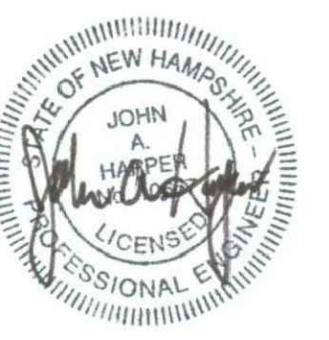
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THE HOTEL AT
FOUNDRY PLACE,
"LOT 3": 165 DEER
STREET, ASSESSORS
MAP 125 LOT 17,
AND RELATED
IMPROVEMENTS TO
LOTS 2, 4 AND 5

PORTSMOUTH, NH 03801

OWNER:

Deer Street Associates



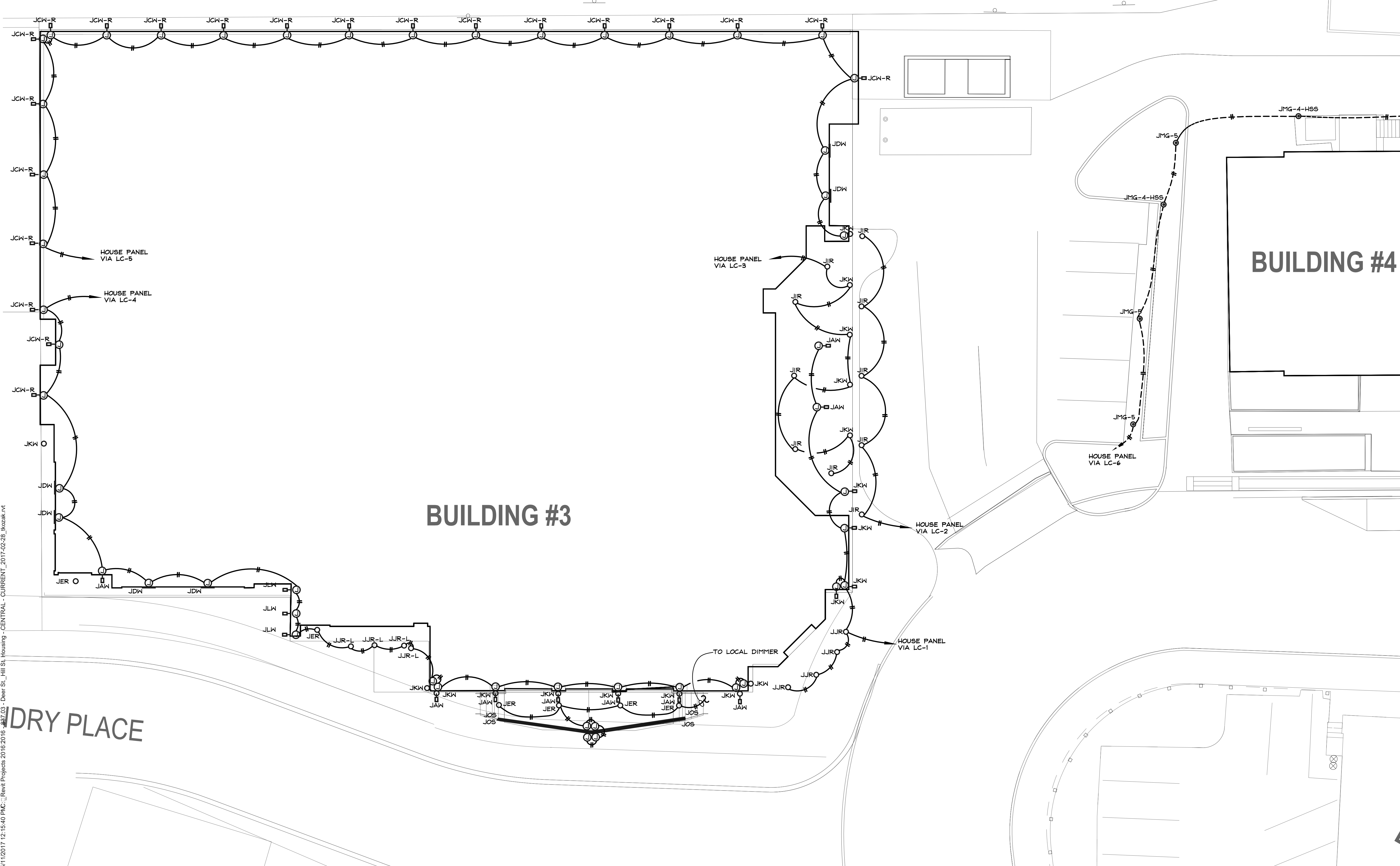
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Date: 3/17/2017
Project Number: 14837.03

REVISIONS		
NO.	DESCRIPTION	DATE
1	TAC PUBLIC HEARING	6/15/2017
2	TAC PUBLIC HEARING	11/17/2017
3	TAC PUBLIC HEARING	12/19/2017

T L R

**BUILDING #3
LIGHTING
PLAN**

SE1.2



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REGISTERED MECHANICAL ENGINEER
WOBURN, MASSACHUSETTS

REGISTERED ELECTRICAL ENGINEER
DERRY, NEW HAMPSHIRE

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OWNER:
Deer Street Associates



Scale: 1"=10'
Date: 3/17/2017
Project Number: 14837.03

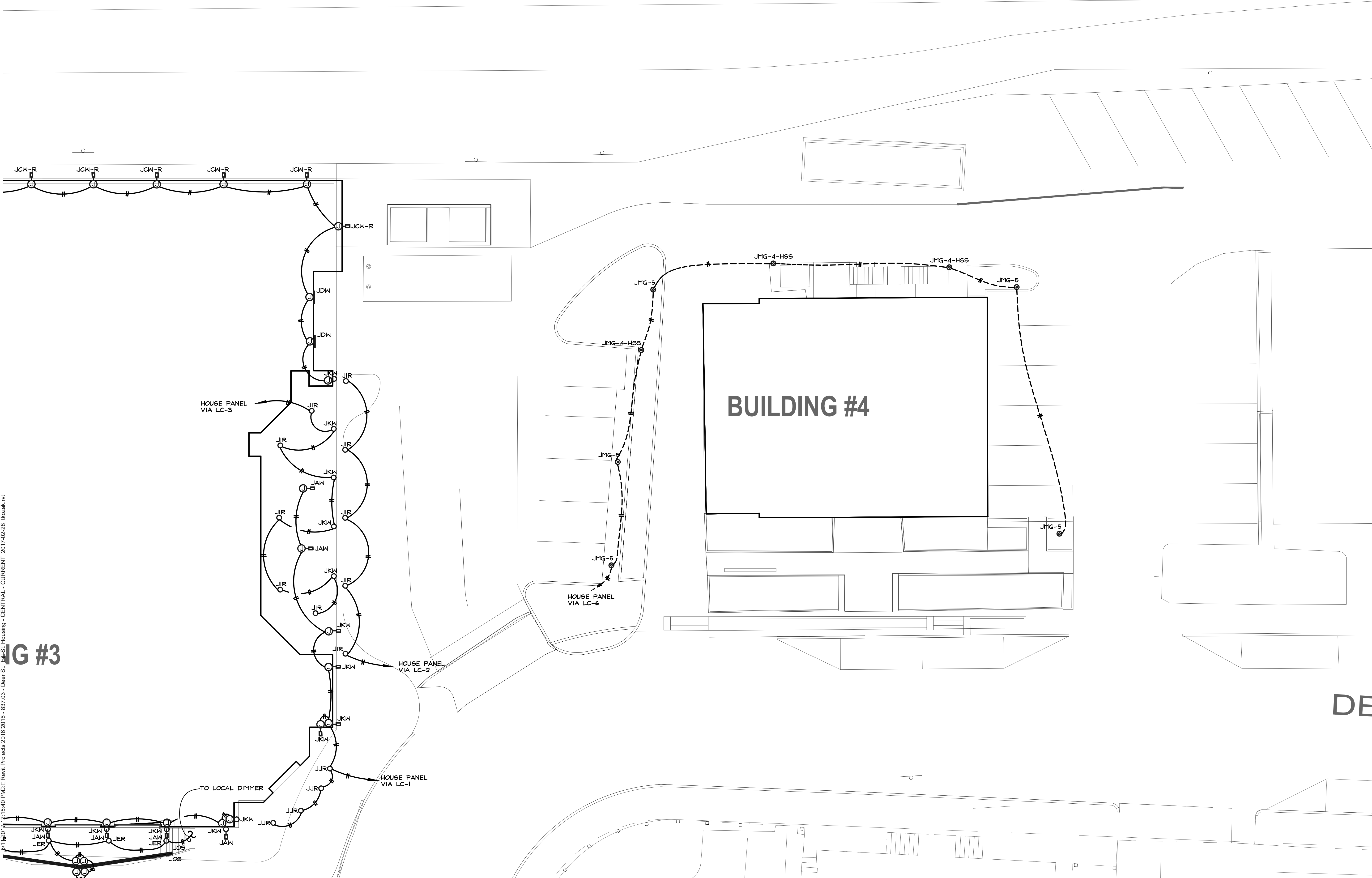
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NO.	DESCRIPTION	DATE
1	TAC PUBLIC HEARING	6/15/2017
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3	TAC PUBLIC HEARING	12/19/2017

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INTERIM LOT 4 LIGHTING PLAN

SE1.2b

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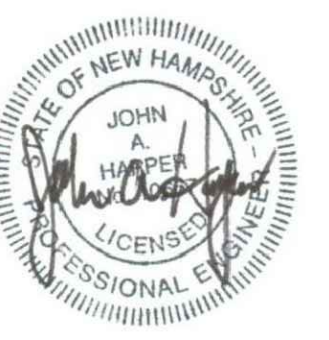
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MPPF ENGINEER
WOBURN, MASSACHUSETTS

ELECTRICAL ENGINEER
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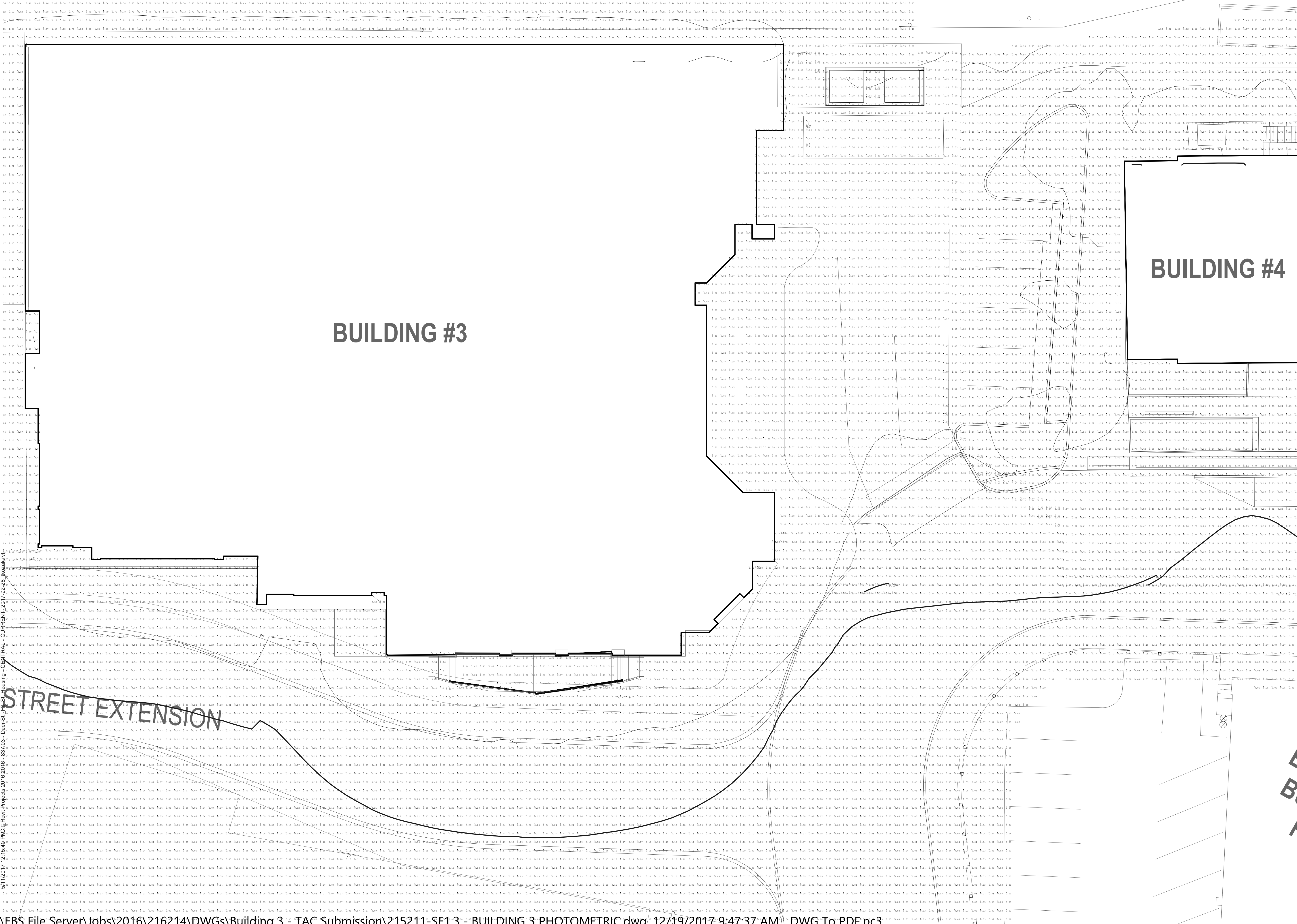
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ITLR

BUILDING #3
PHOTOMETRIC
PLAN

SE1.3a

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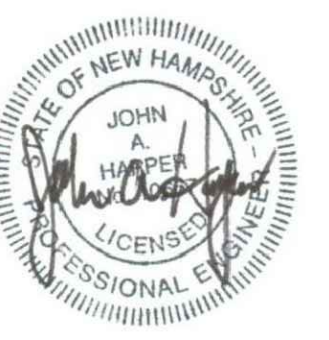
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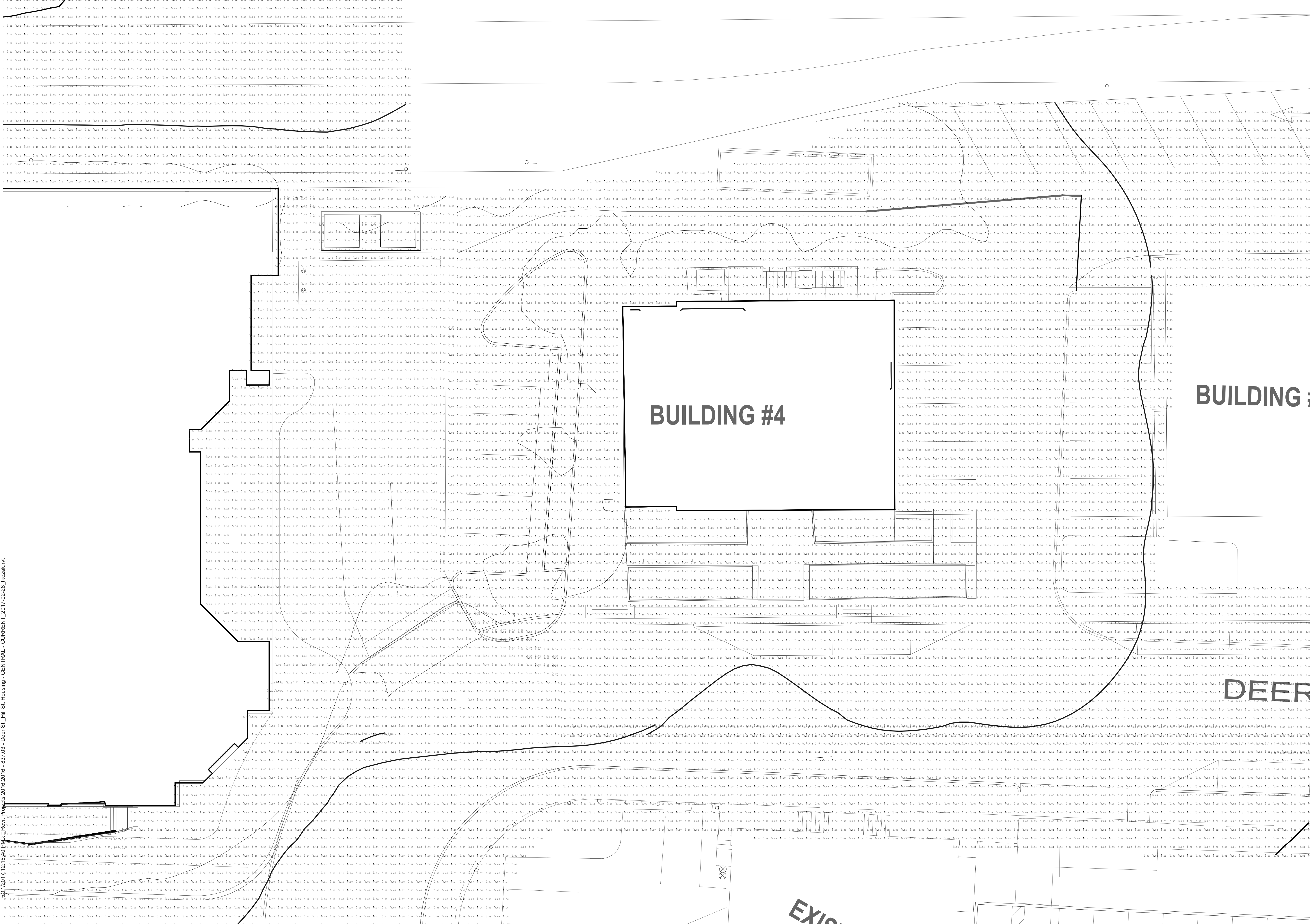
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INTERIM LOT

4
PHOTOMETRIC
PLAN

SE1.3b

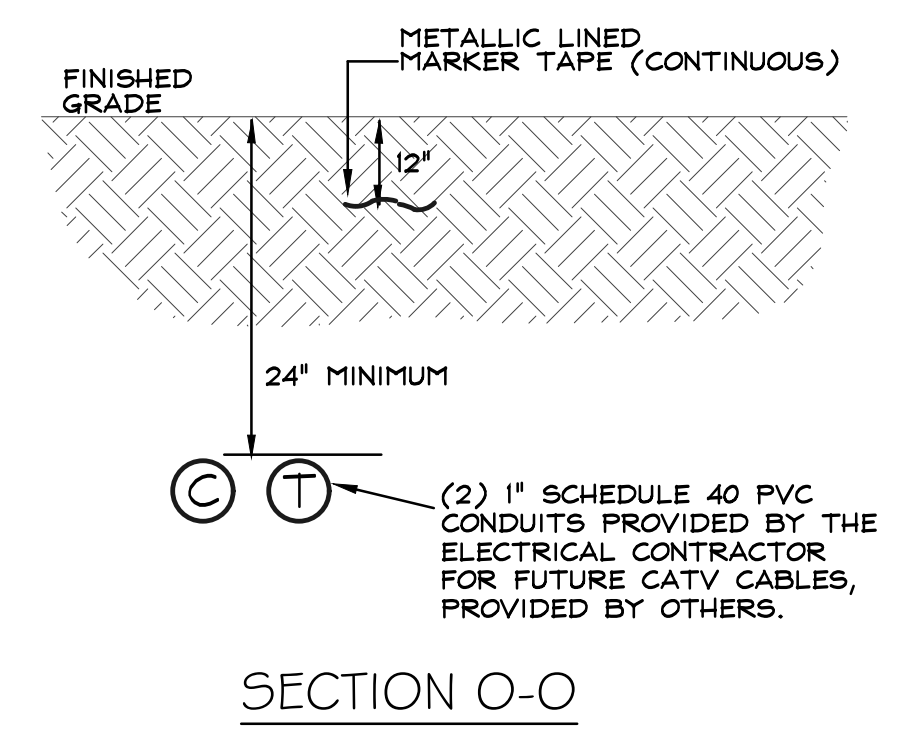
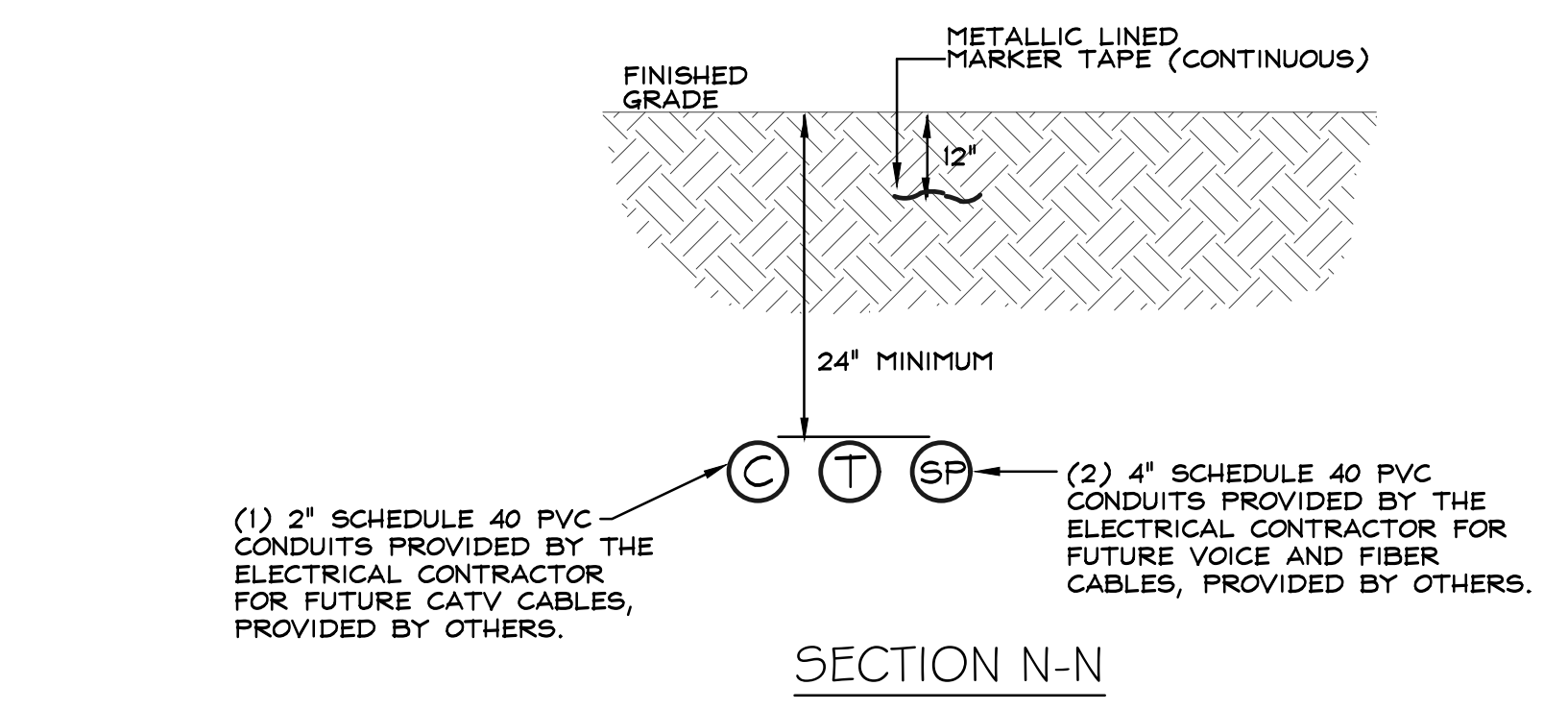
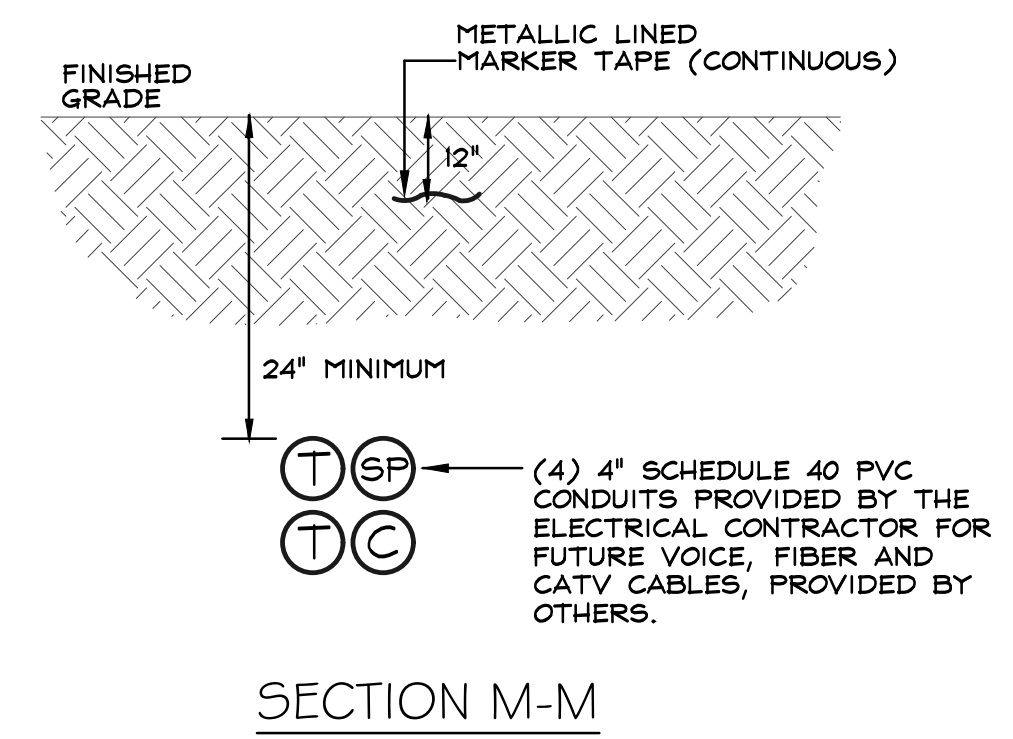
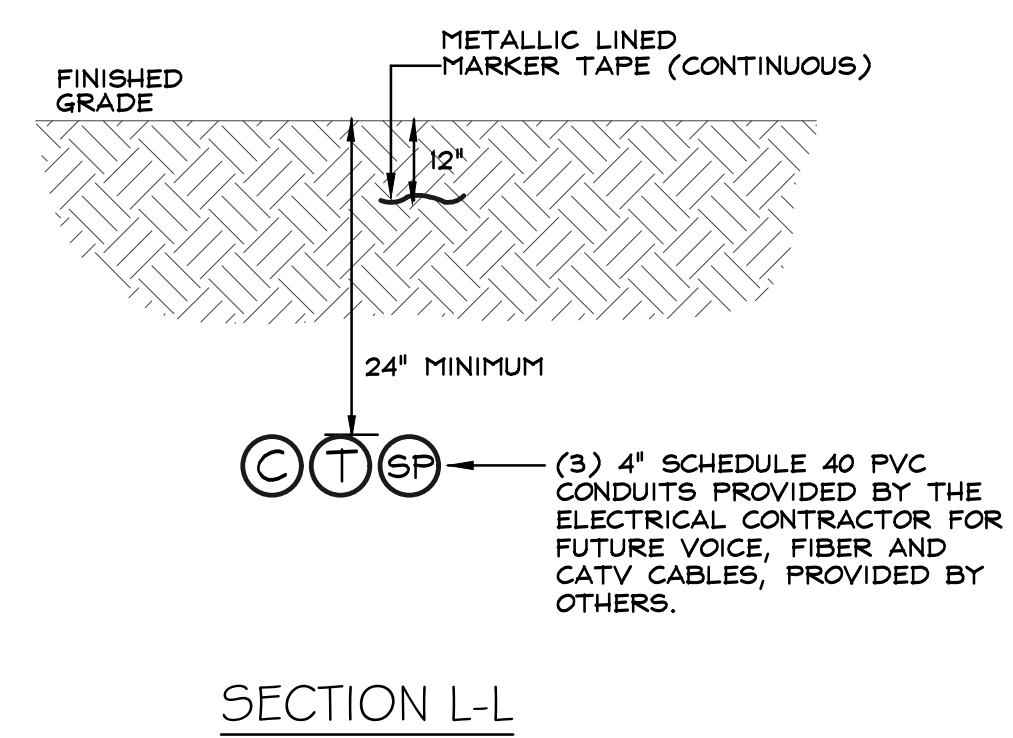
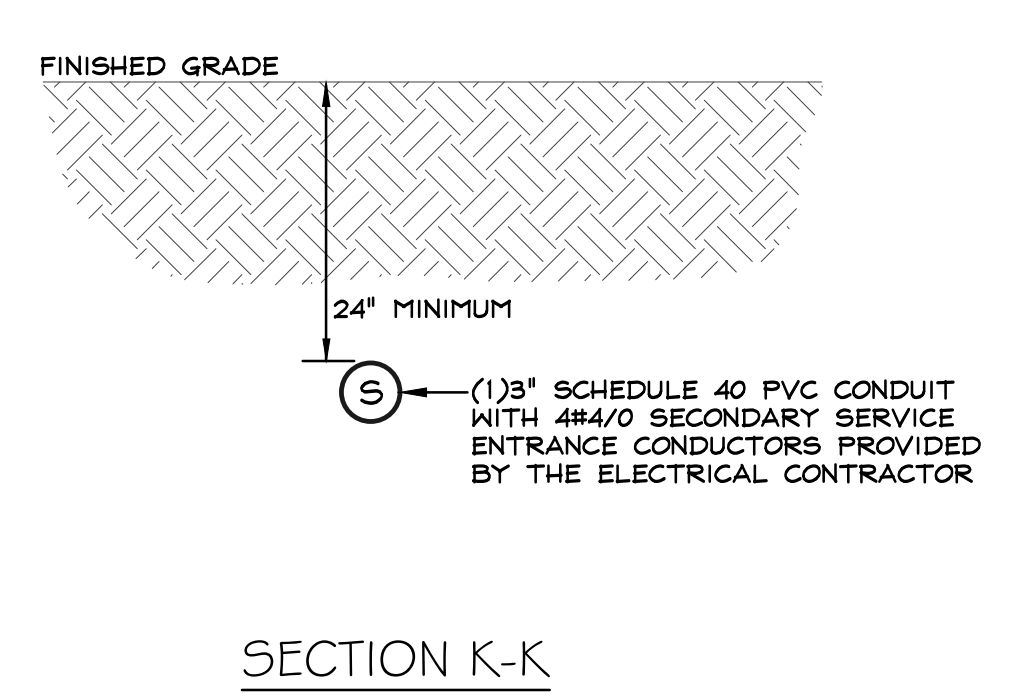
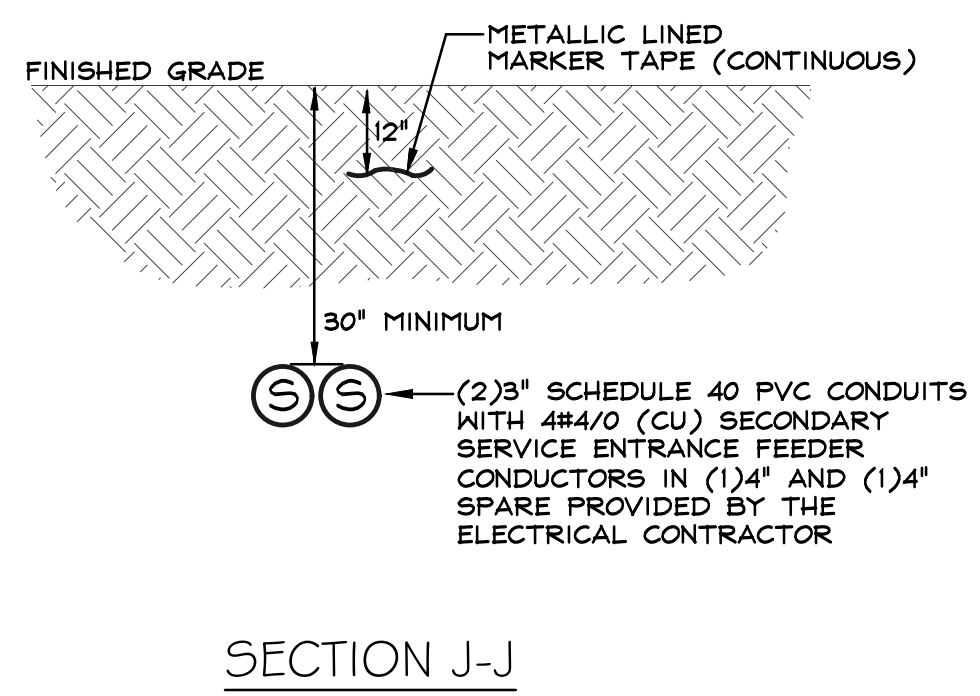
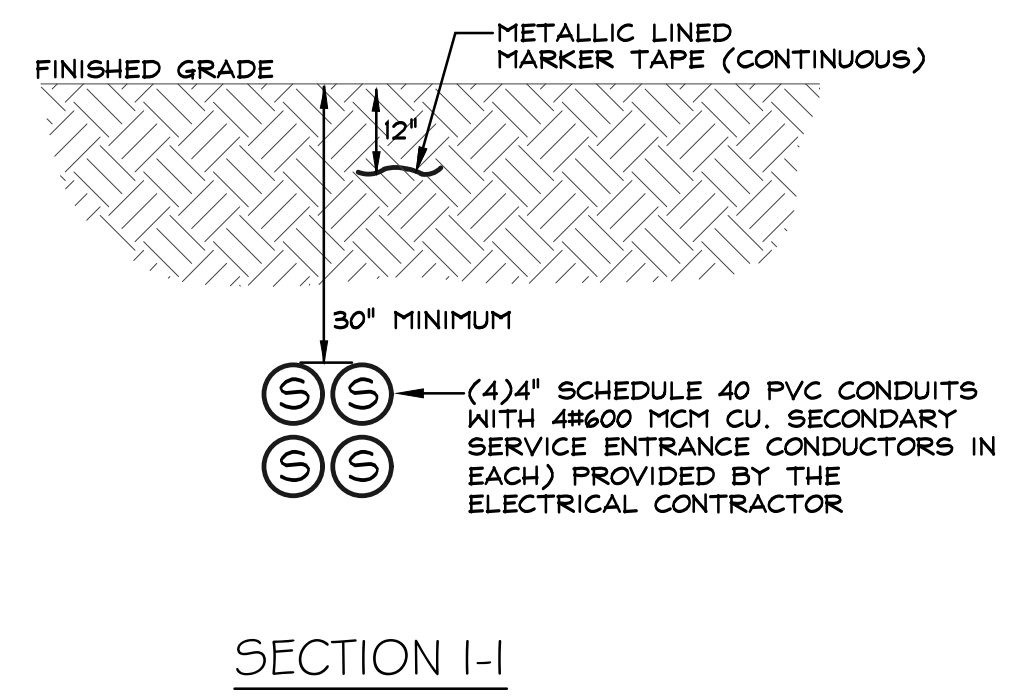
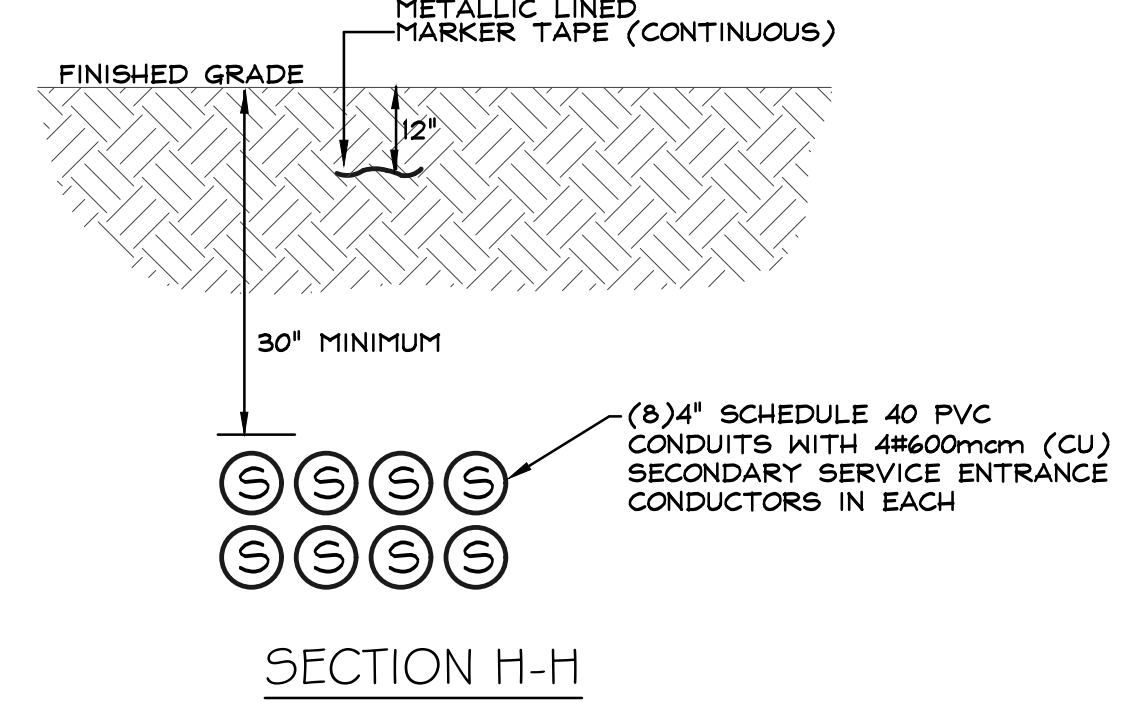
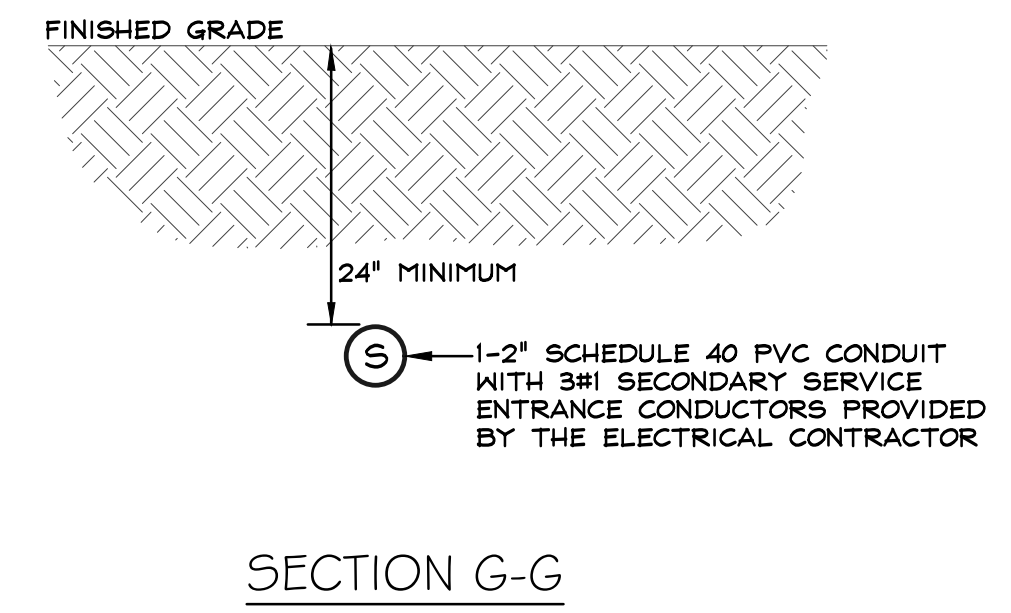
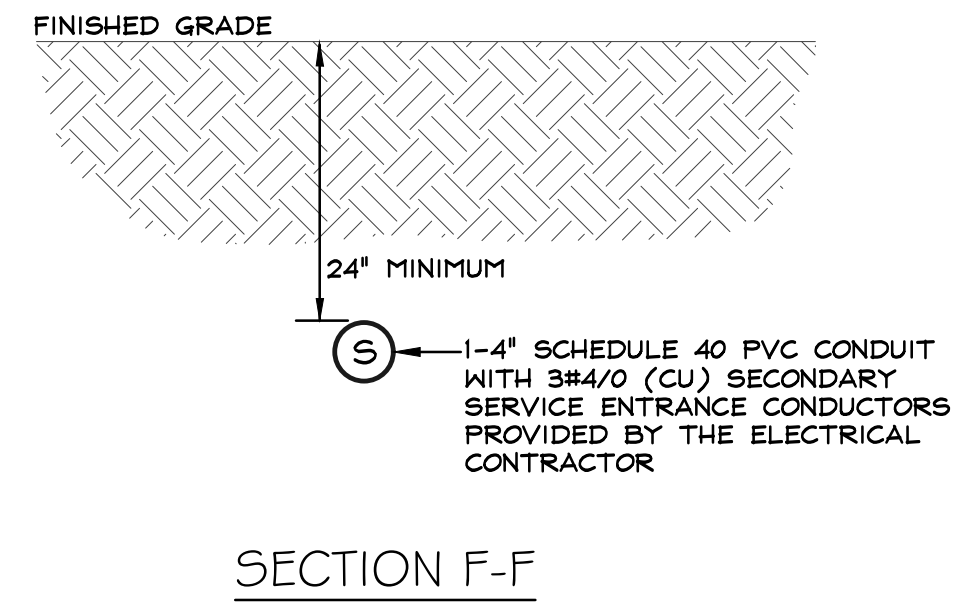
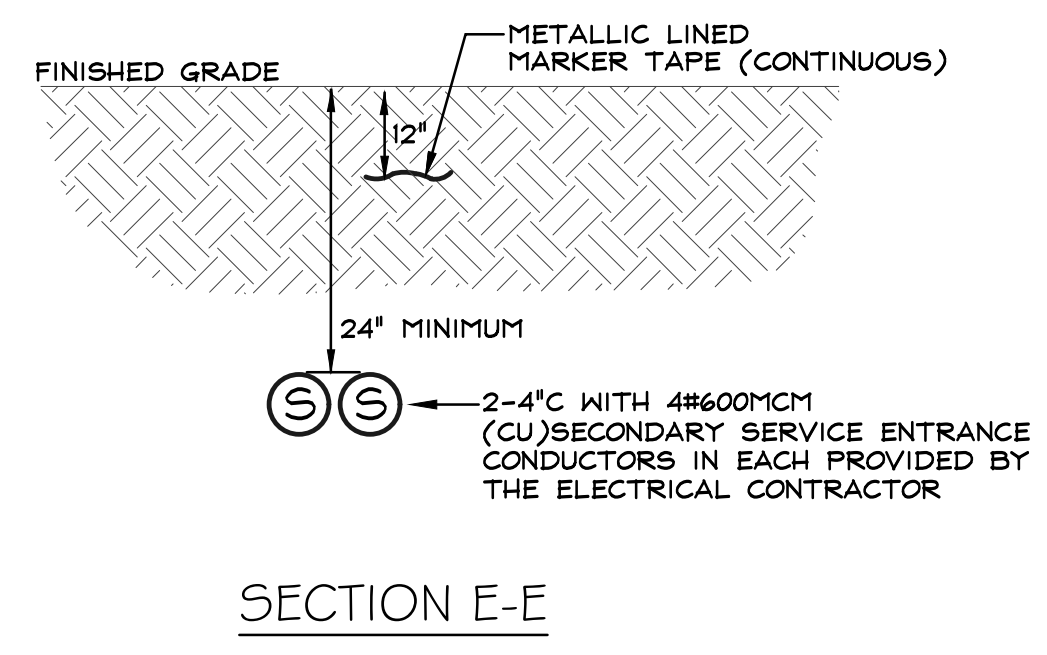
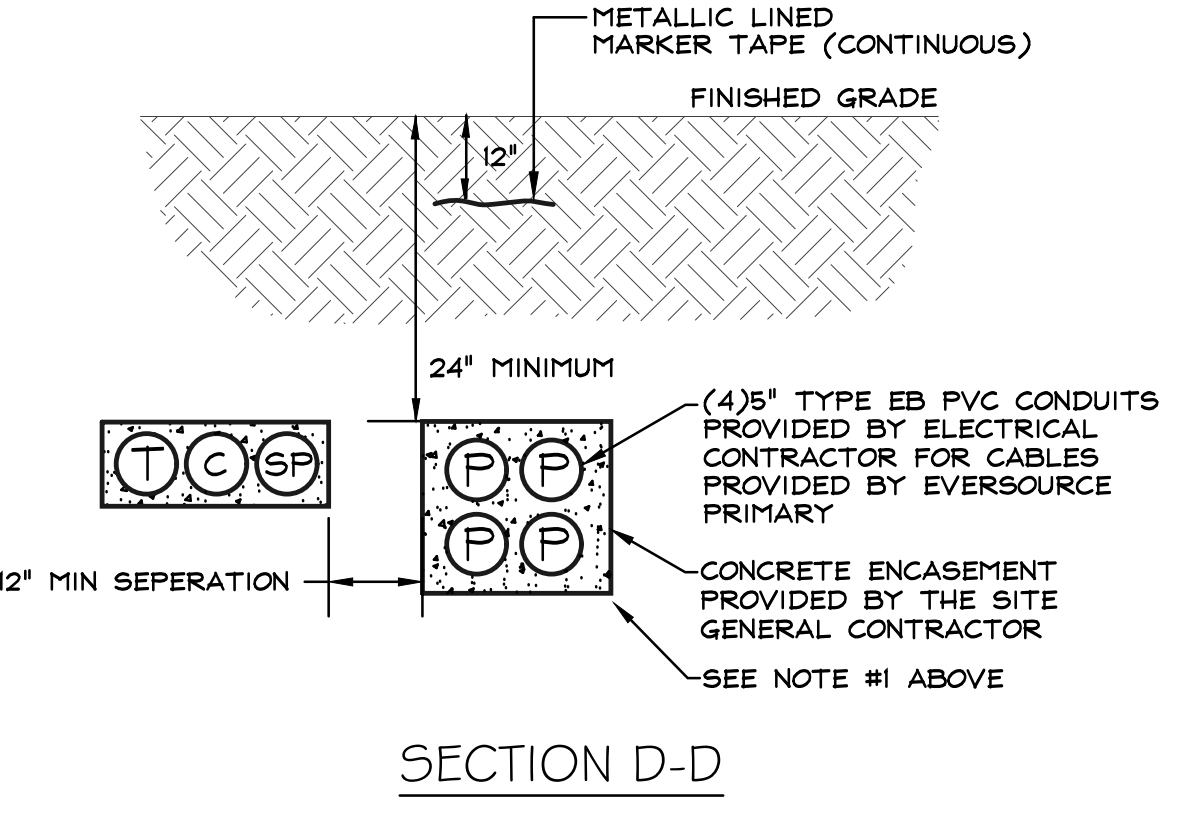
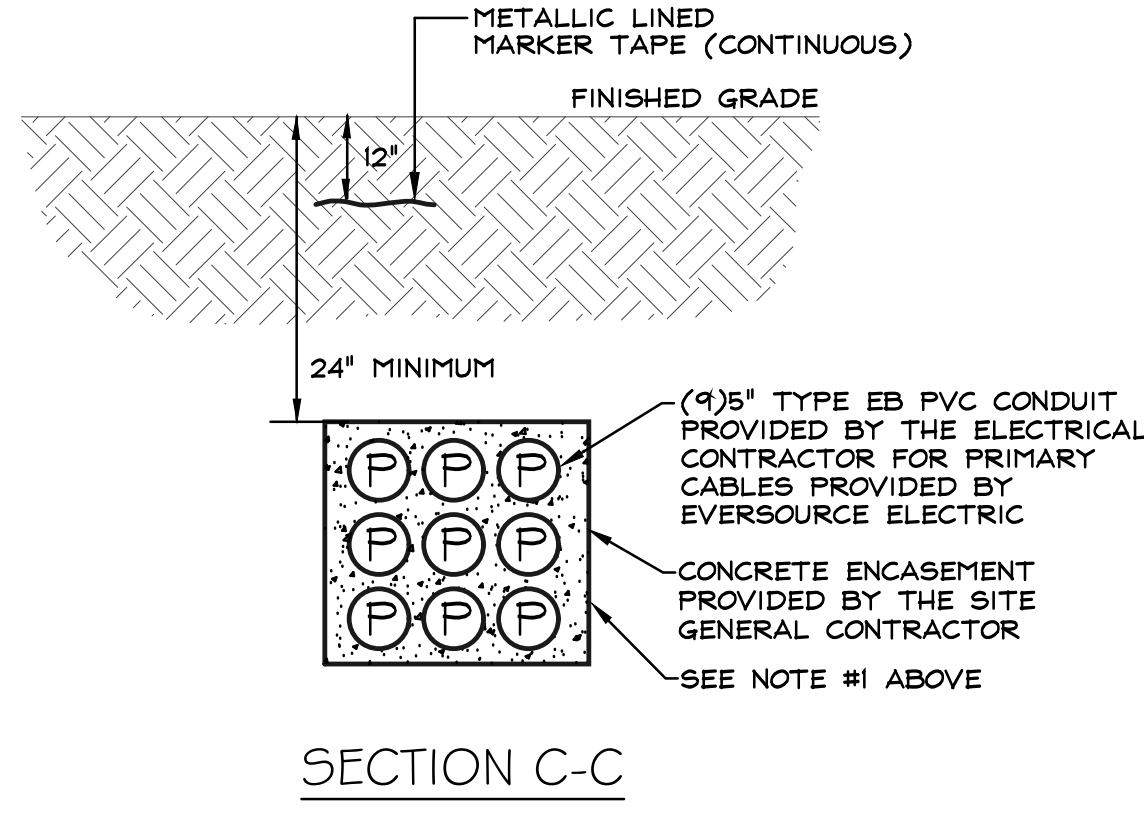
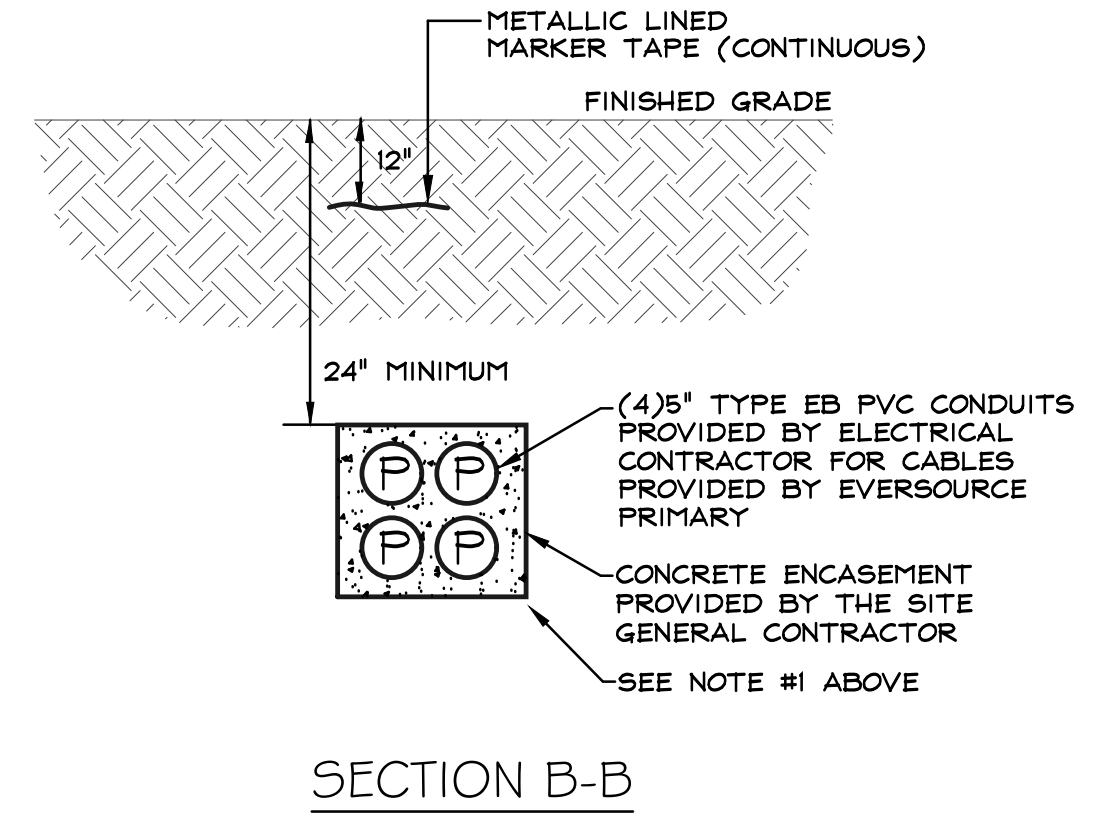
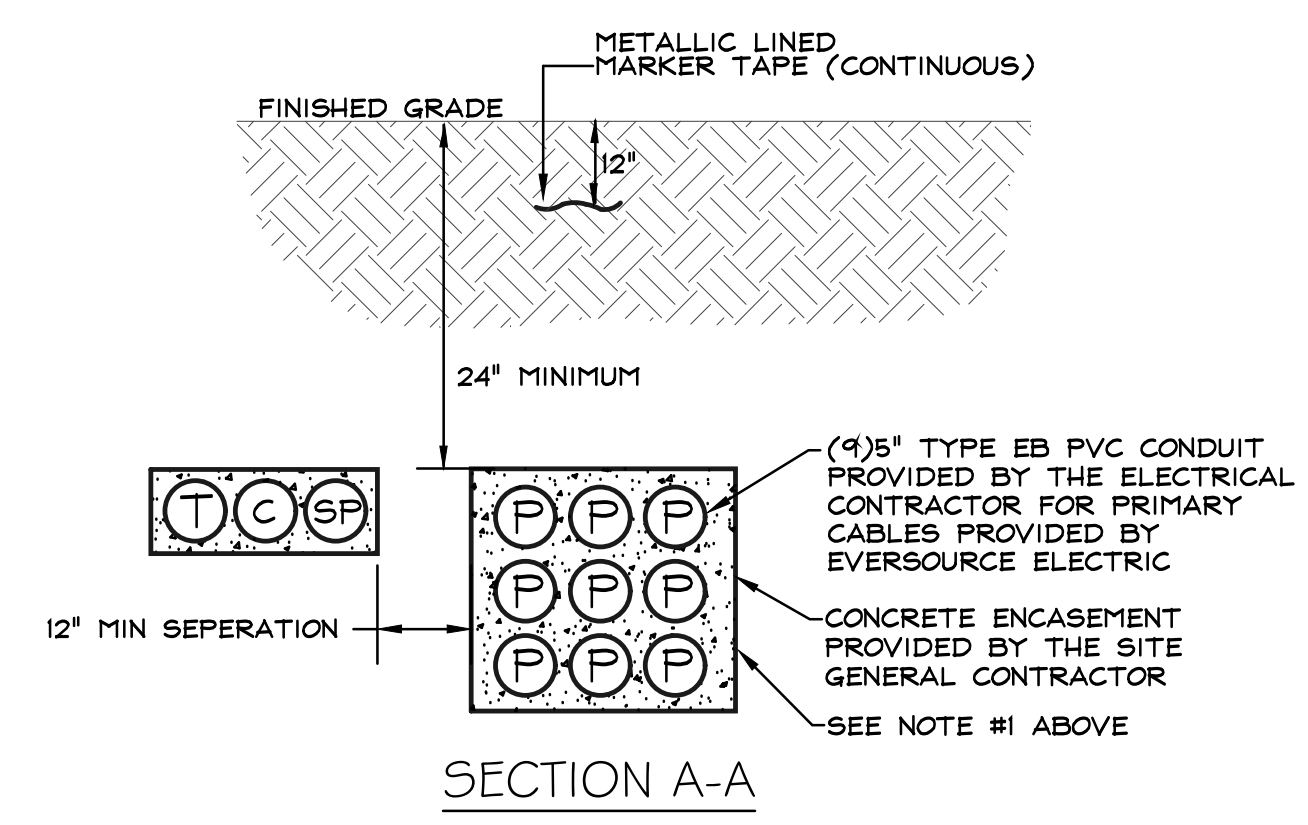
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UNDERGROUND CONDUIT BANK DETAILS

NOTES:
 1. CONCRETE ENCASUREMENT OF UNDERGROUND DUCT BANKS SHALL BE PROVIDED BY THE SITE OR GENERAL CONTRACTOR IN ACCORDANCE WITH LOCAL UTILITY COMPANY STANDARDS.
 2. ALL SCHEDULE 40 PVC RACEWAYS UTILIZED SHALL BE UL LISTED ELECTRICAL CONDUITS.
 3. ALL UNDERGROUND CONDUIT BANKS AND CABLING SHALL COMPLY WITH EVERSOURCE, FAIRPOINT, COMCAST AND BAYRING RULES, REGULATIONS AND DESIGN STANDARDS.



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R D T M
 MPPF ENGINEER
 WOBURN, MASSACHUSETTS

R B L D G T M
 ELECTRICAL ENGINEER
 DERRY, NEW HAMPSHIRE

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 OWNER:
 Deer Street Associates



Scale:
 Date: 3/17/2017
 Project Number: 14837.03

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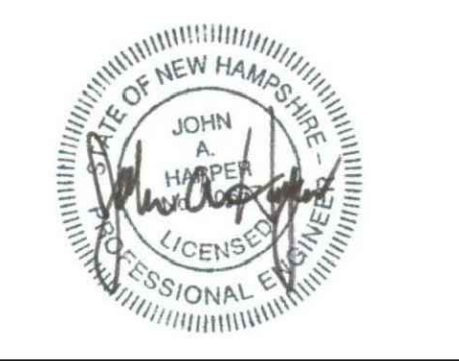
T L R
 SITE
 ELECTRICAL
 DETAILS

SE2.1

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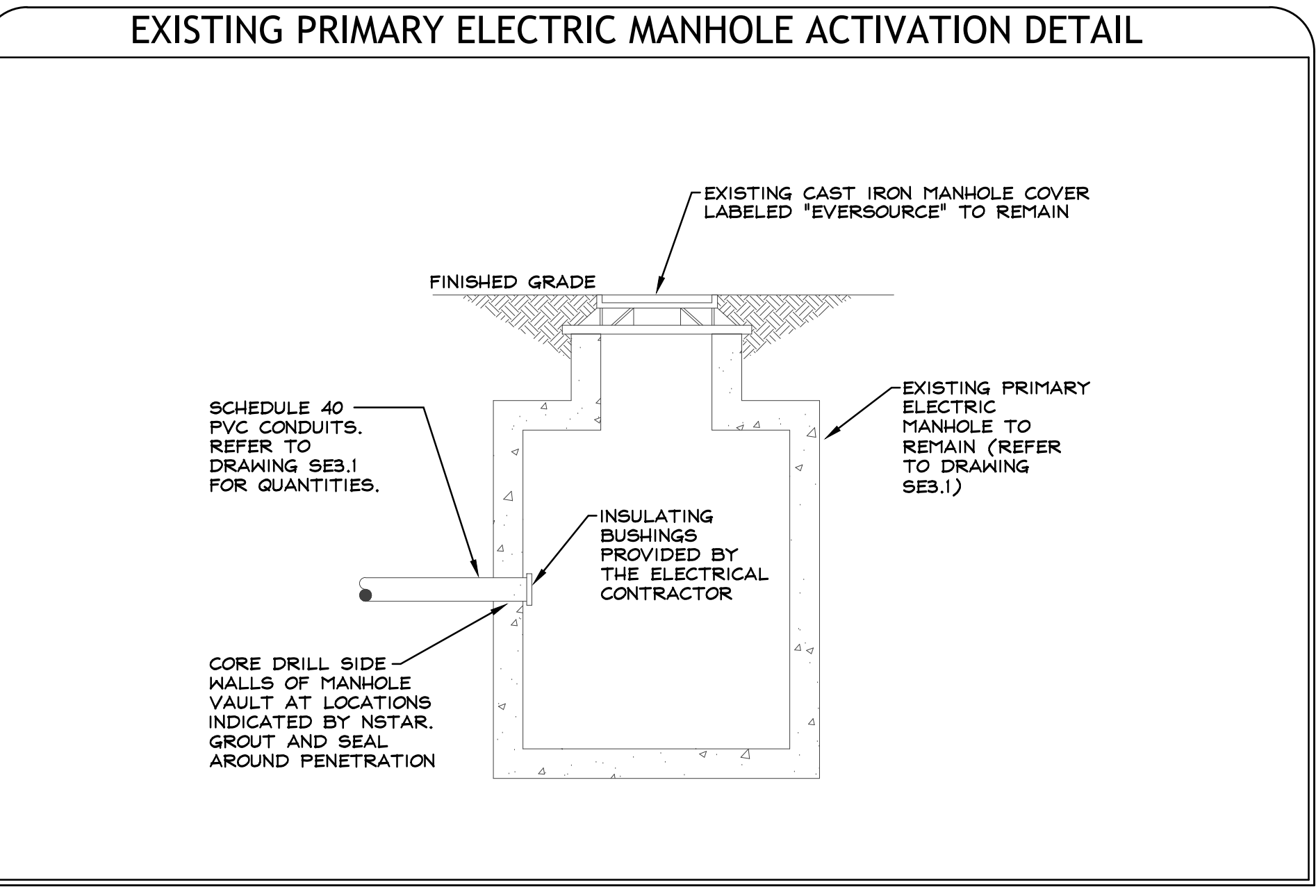
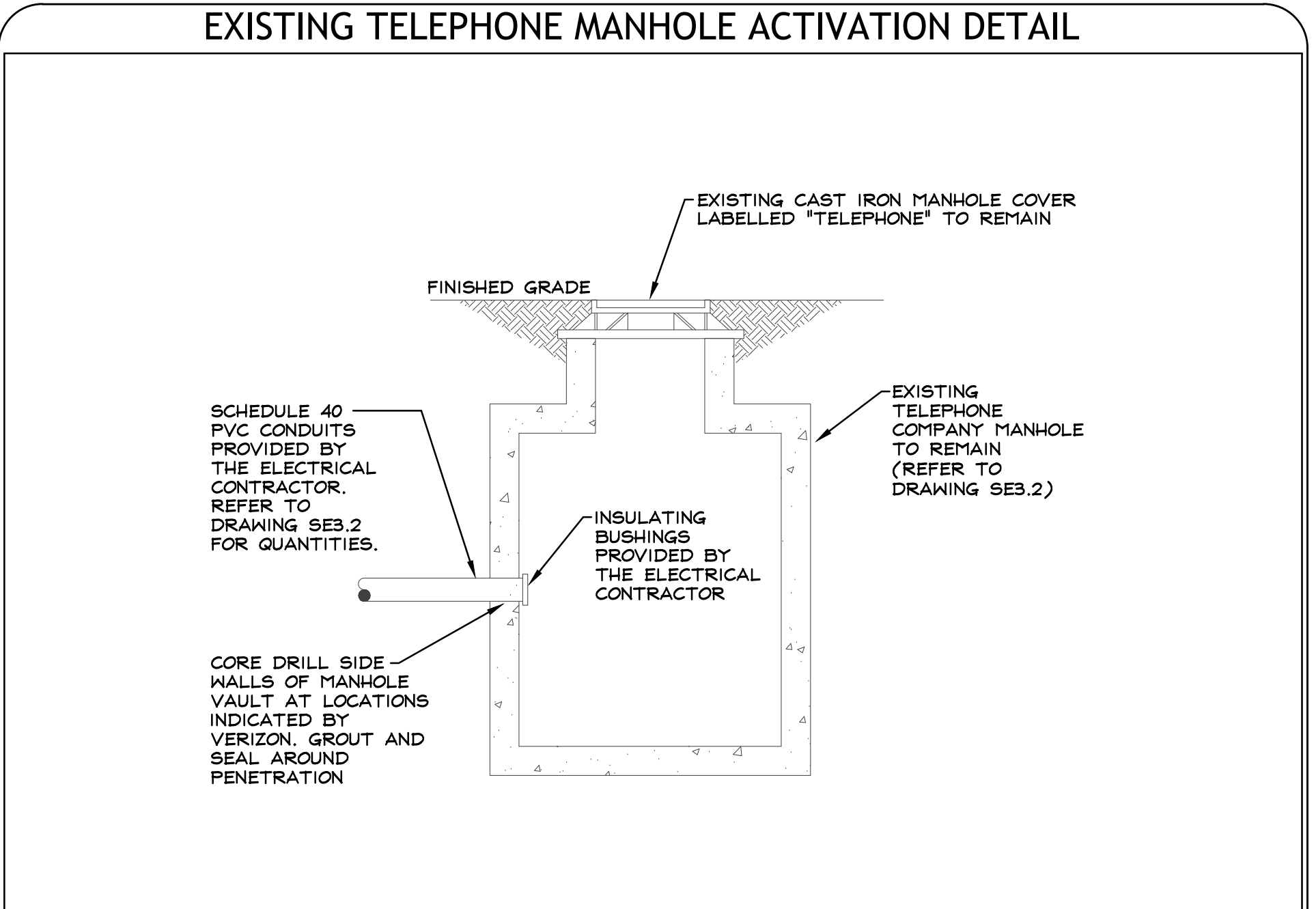
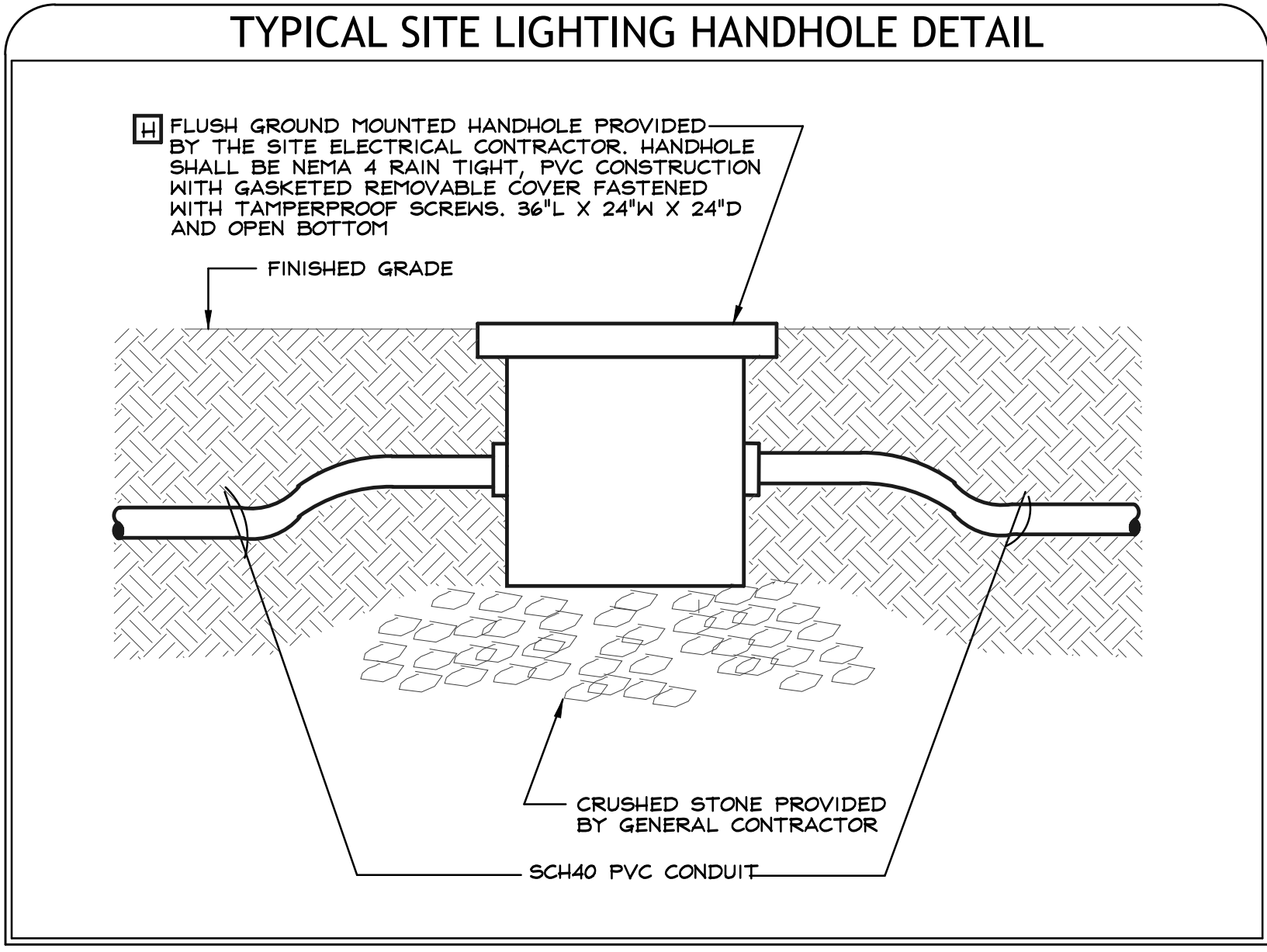
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**SITE
 ELECTRICAL
 DETAILS**

SE2.2

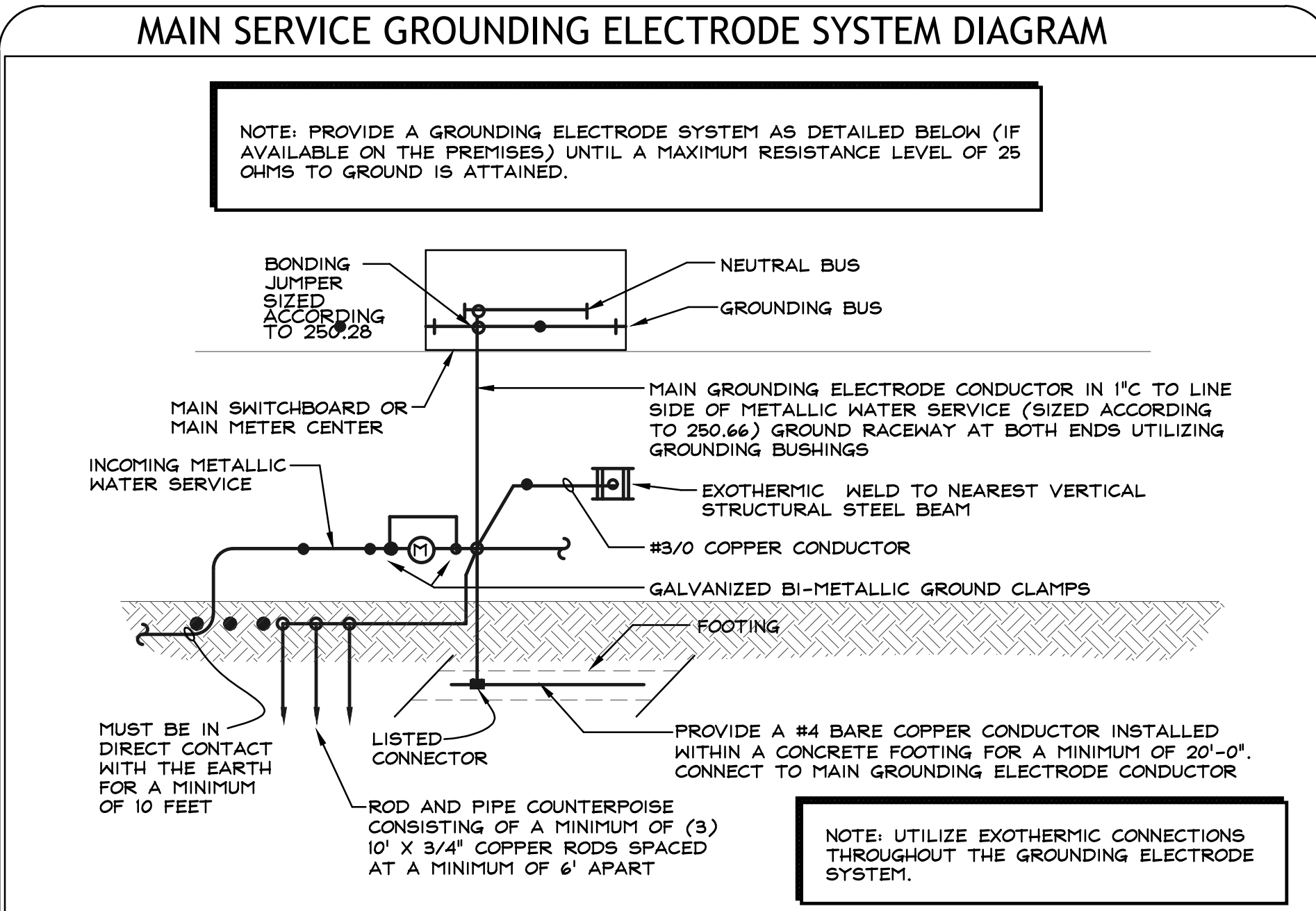
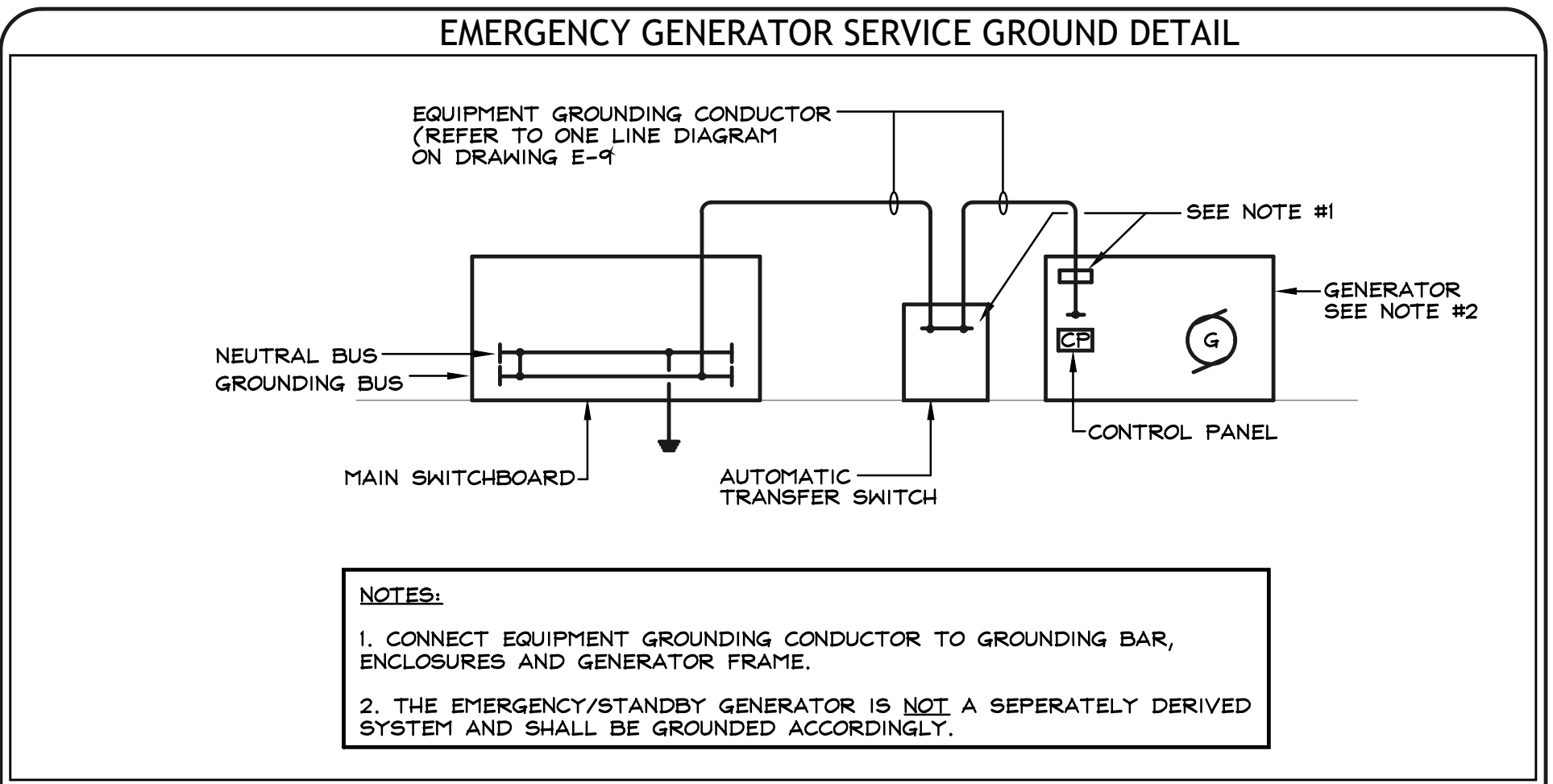
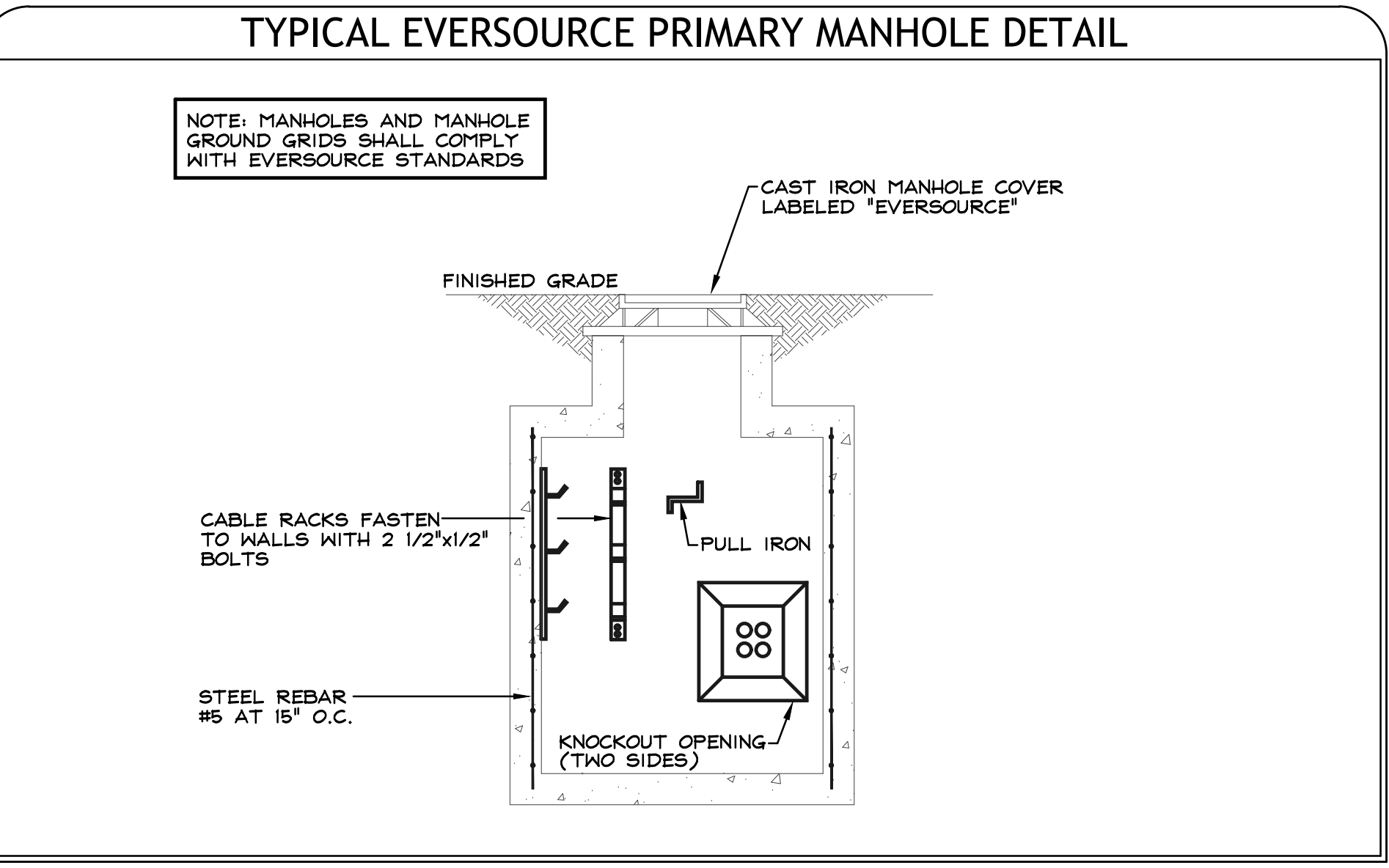
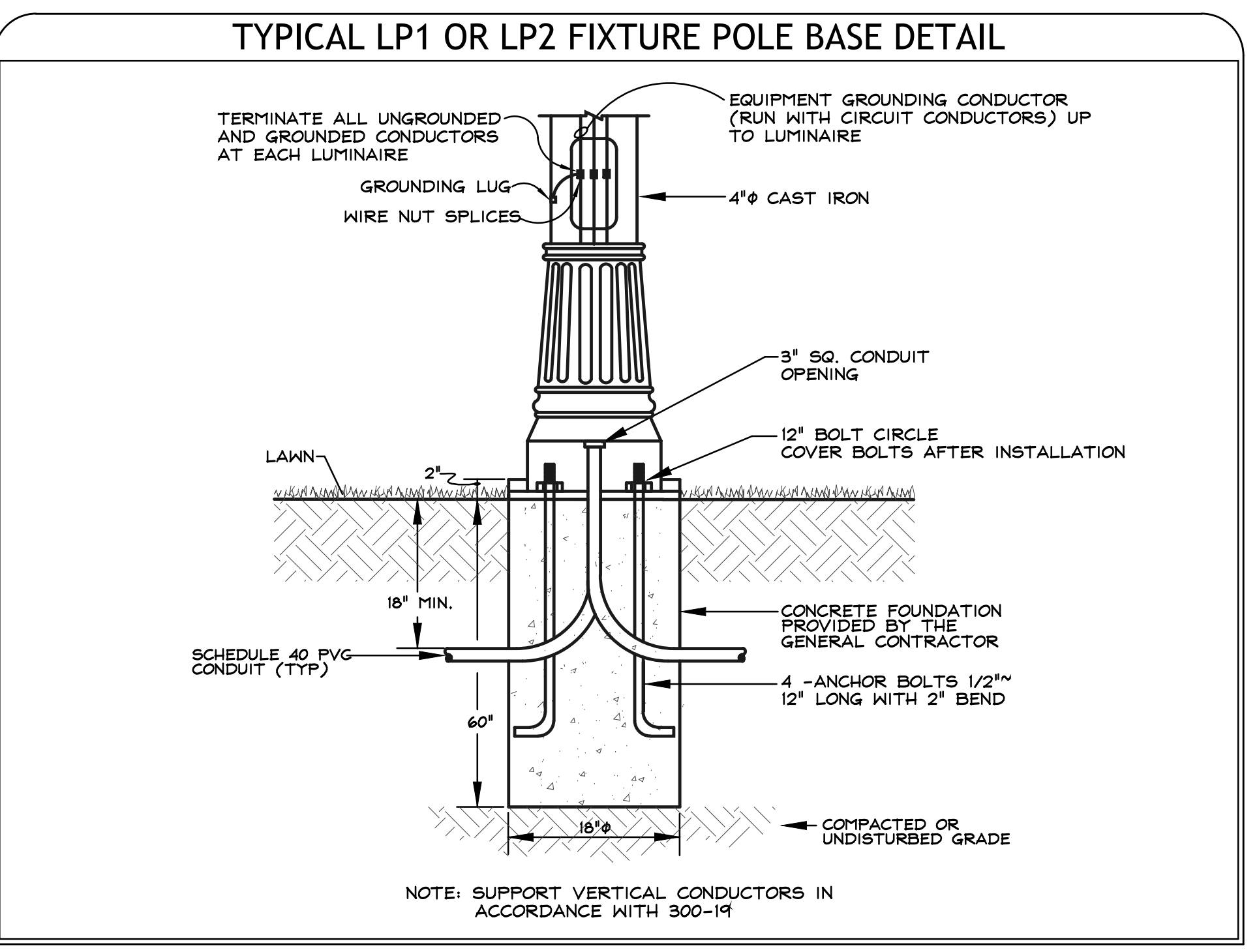


BUILDING 6 - ELECTRICAL LOAD CALCULATIONS

Engineered Building Systems, Inc.
 Consulting Engineers

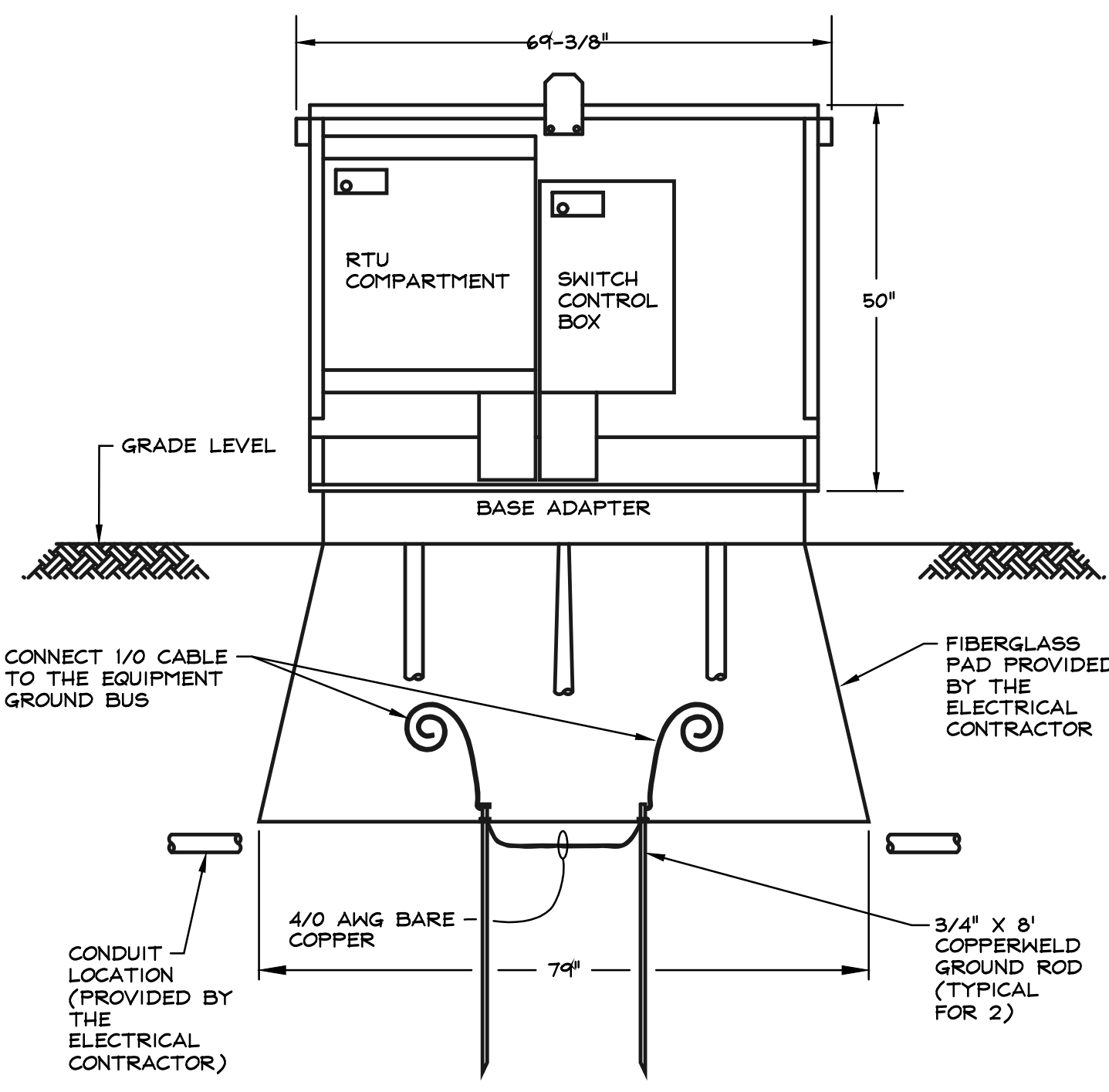
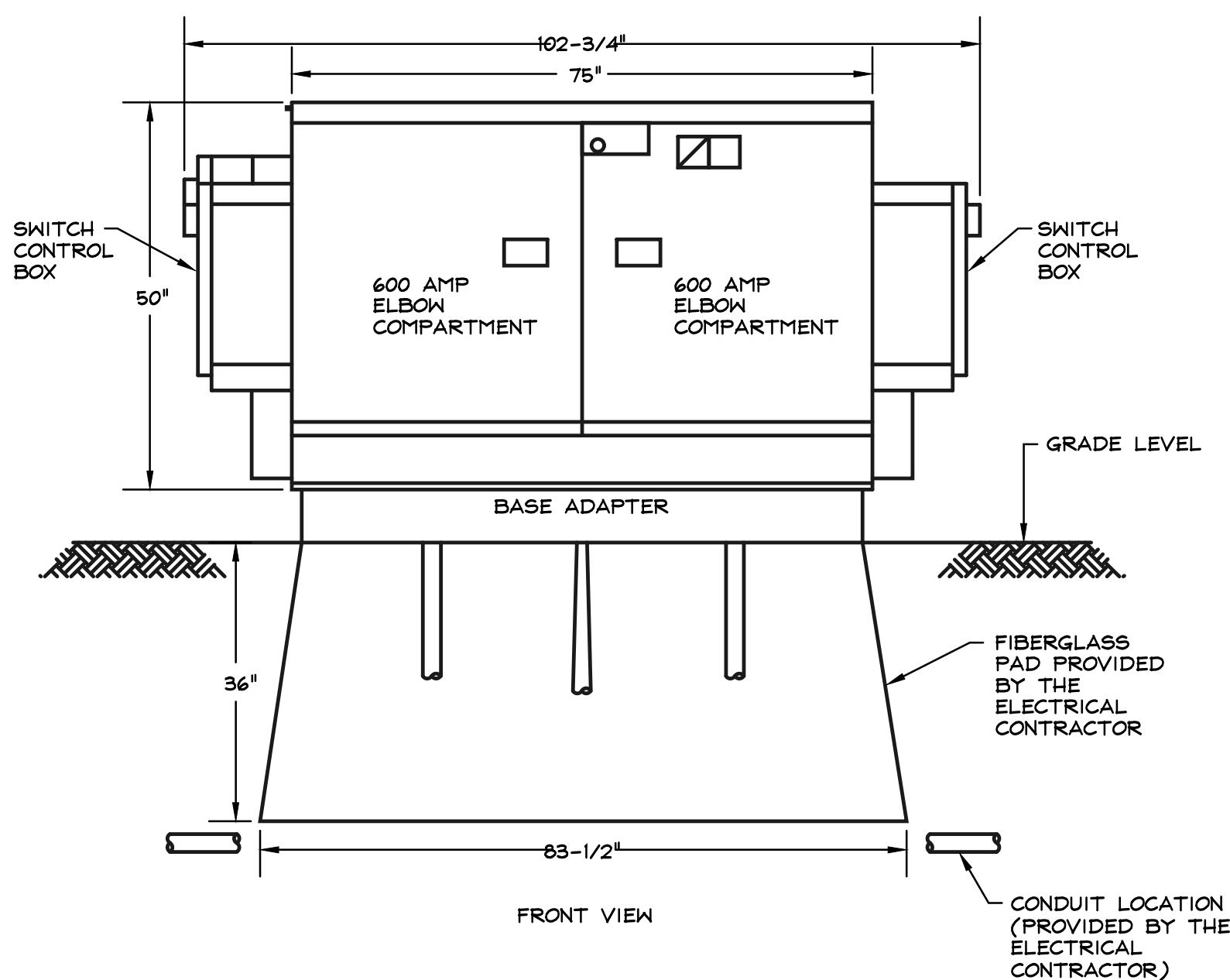
DEER STREET DEVELOPMENT - B6
 43 UNITS + RETAIL + OFFICE
 PRELIMINARY TOTAL BUILDING CALCULATIONS
 USING OPTIONAL CALCULATION METHOD 220.84

DWELLING UNIT LOADS	DEMAND KW
General Lighting load (220-12) = 2.7 KW unit x 43 Units = 116.1	116.1
Small Appliance 220-52(a)(b) = 3.0 KW unit x 43 Units = 129.0	129.0
Fixed Appliance Load (220-53) = 2.7 KW x 43 Units = 116.1	116.1
Clothes Dryer (Common) (220-54) = 5.0 KW x 43 Units = 215.0	215.0
Range/Cooktop (Electric) (220-55) = 8.0 KW x 43 Units = 344.0	328.0
Heating System (Electric) (220.60) = -0 KW unit x 43 Units = -0	-0
Air Conditioning Load (Electric) = 4.0 KW x 43 Units = 172.0	172.0
Hot Water (Gas Central) = -0 KW x 43 Units = 0.0	-0
Ventilation Systems = 0.5 KW x 43 Units = 21.5	21.5
Subtotal Dwelling Electrical Load =	1113.7
1113.7 KW x 27% =	300.7
NON-DWELLING UNIT LOADS	DEMAND KW
Exterior Lighting 3.0 KW @ 100% =	3.0
Lighting 16.0 KW @ 100% =	16.0
1 Elevator 40.0 KW @ 100% =	40.0
Miscellaneous 10.0 KW @ 100% =	10.0
Ventilation Systems 8.0 KW @ 100% =	8.0
Heat Load -0 KW @ 0% =	-0
Fire Pump Load -0 KW @ 0% =	-0
A/C Load 20 Tons x 1.5 KW =	30.0
Laundry Load 0.0 KW @ 0% =	-0
Subtotal Non-Dwelling Unit Electrical Load	107.0
OFFICE ELECTRICAL LOADS	DEMAND KW
3,000 SQ. FT. x 12w/sq. ft.	36.0
RETAIL ELECTRICAL LOADS	DEMAND KW
1,800 SQ. FT. x 20w/sq. ft.	36.0
Total Building Demand Load	480.7
479.7 KW @ 208 Volts, 3 Phase = 1331 AMPS	
Recommend Minimum 1600 Ampere Service @ 120/208 Volts, 3 Phase, 4 Wire	



EVERSOURCE PRIMARY SWITCH BOX DETAIL

NOTE: PRIMARY SWITCH IS FURNISHED AND INSTALLED BY NSTAR, ELECTRIC GROUNDING GRID PROVIDED BY THE ELECTRICAL CONTRACTOR

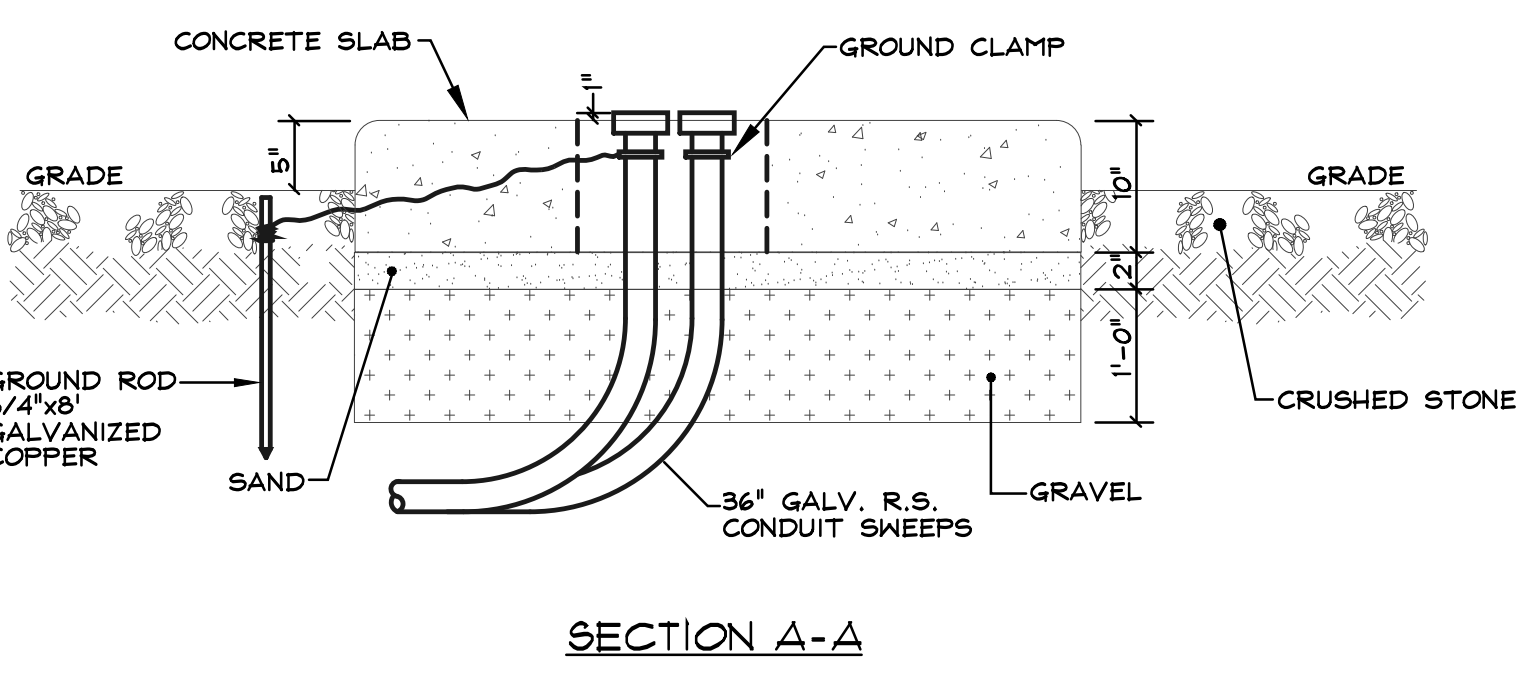
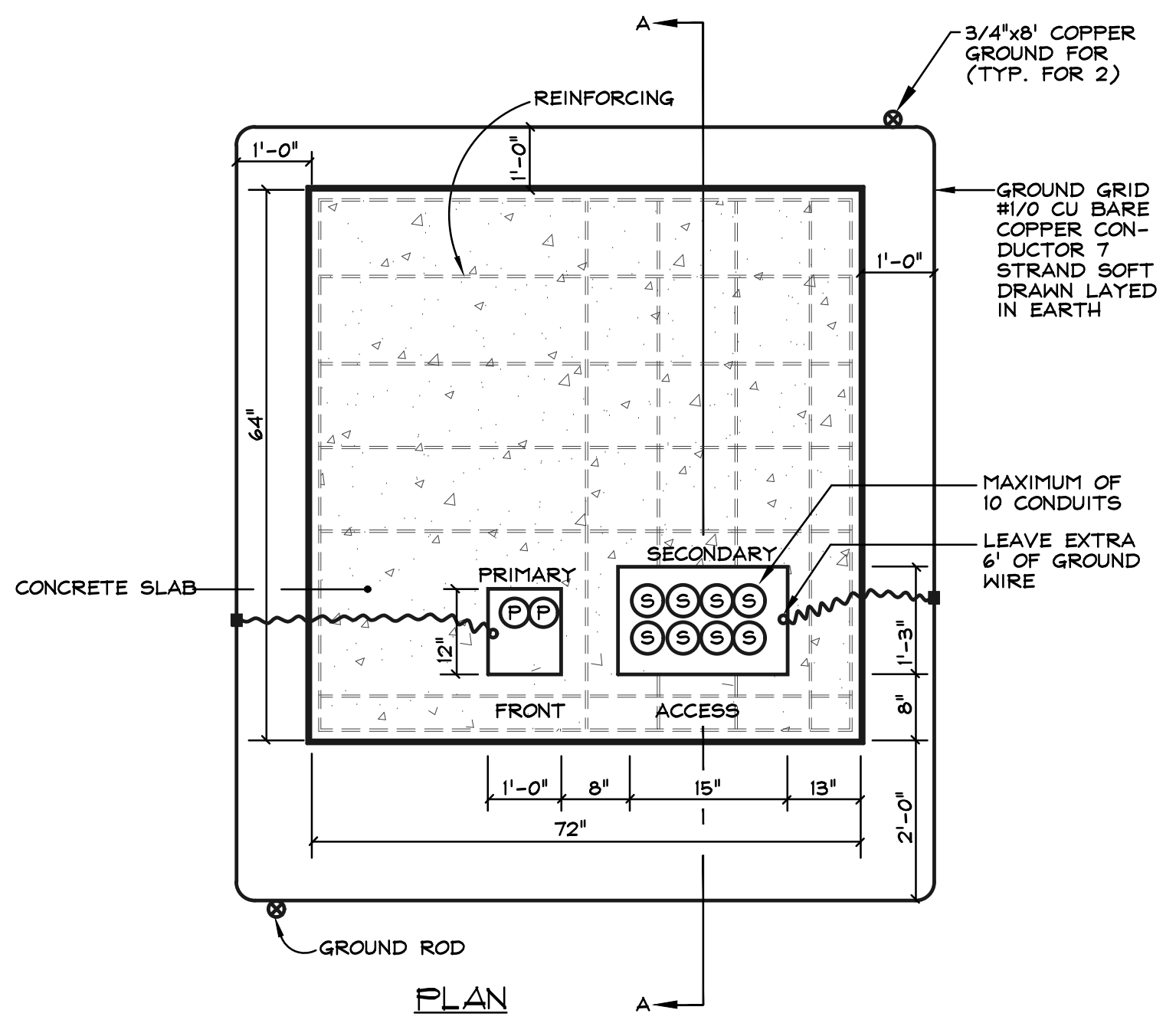


EVERSOURCE DISTRIBUTION TRANSFORMER PAD DETAIL

PAD CONSTRUCTION NOTES

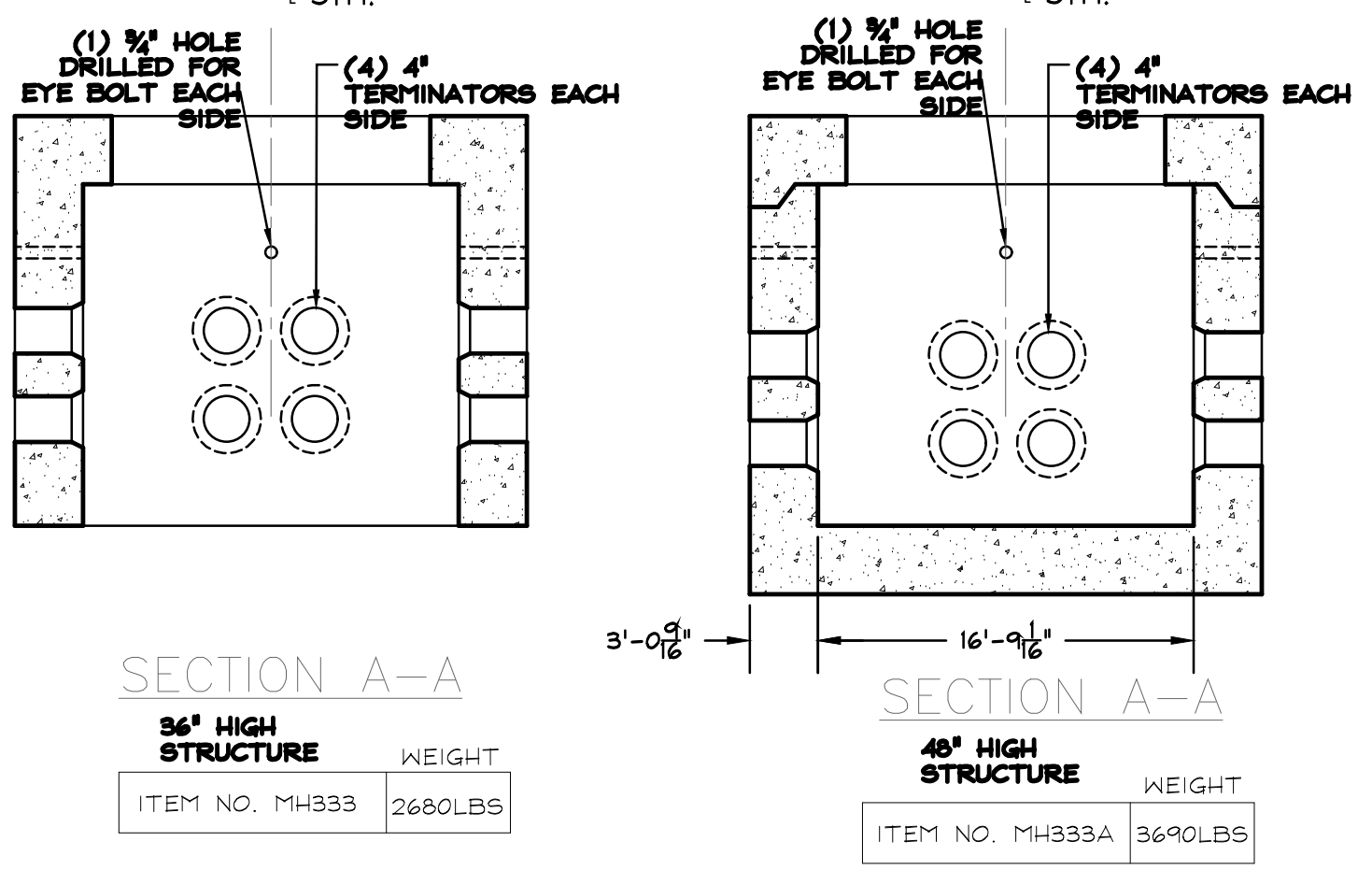
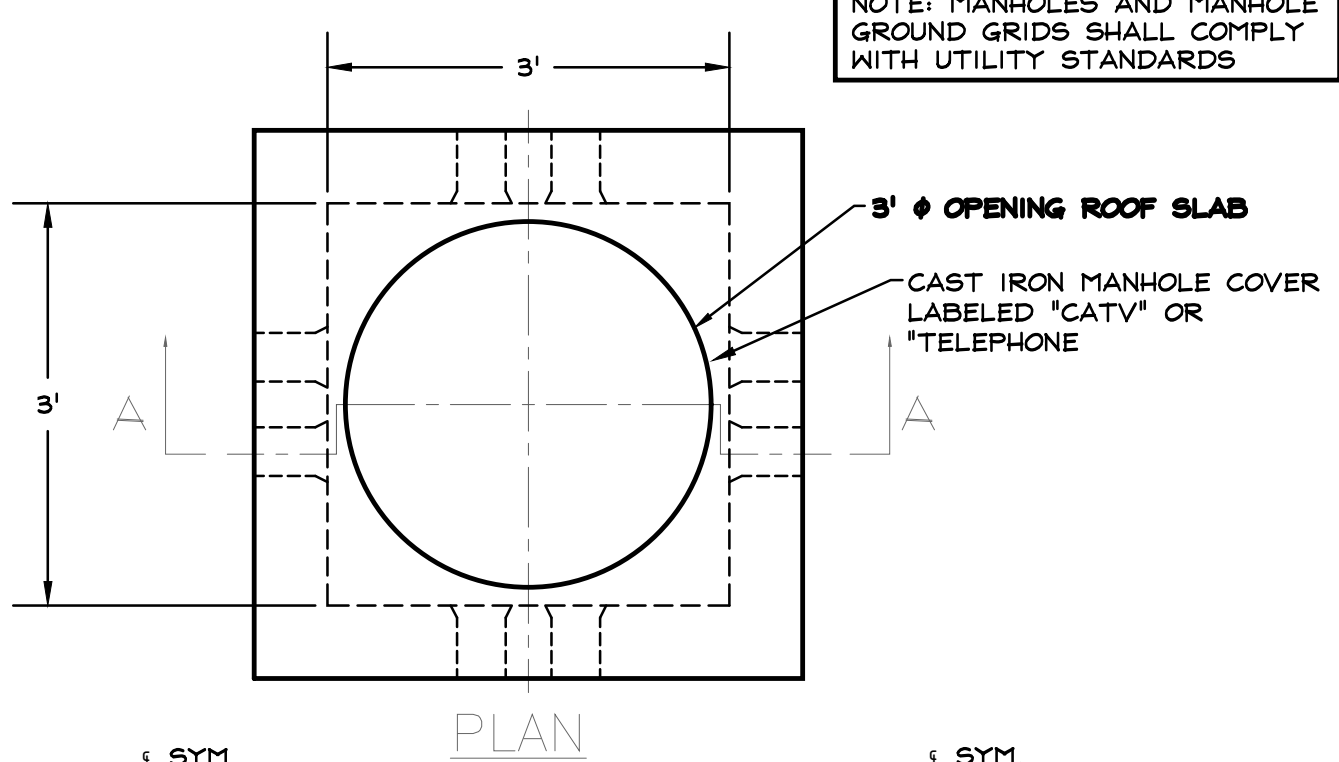
1. NO ABOVE GROUND STRUCTURES, SHRUBS, ETC. SHALL BE INSTALLED WITHIN 4 FEET OF PAD AND WITHIN 6 FEET OF TRANSFORMER DOORS.
2. PRIMARY CONDUIT SWEEPS TO BE 5" STEEL PIPES T.&C.
3. FOR PAD MOUNTED TRANSFORMERS LARGER THAN 1000 KVA, INCREASE THE WIDTH OF THE PAD FROM 7'-2" TO 10' AND THE DEPTH FROM 6'-5" TO 9'.
4. THE GENERAL CONTRACTOR MUST CALL EVERSOURCE ENERGY PRIOR TO POURING PAD.
5. TRANSFORMER PAD MUST BE LOCATED 15' FROM EGRESS DOORS OR OPERABLE WINDOWS.

PAD MATERIAL:
CONCRETE, 4000 PSI MIX, NOT MORE THAN 5 1/2 GALLONS OF WATER PER BAG OF CEMENT.



TYPICAL CATV AND TELEPHONE HANDHOLE DETAIL

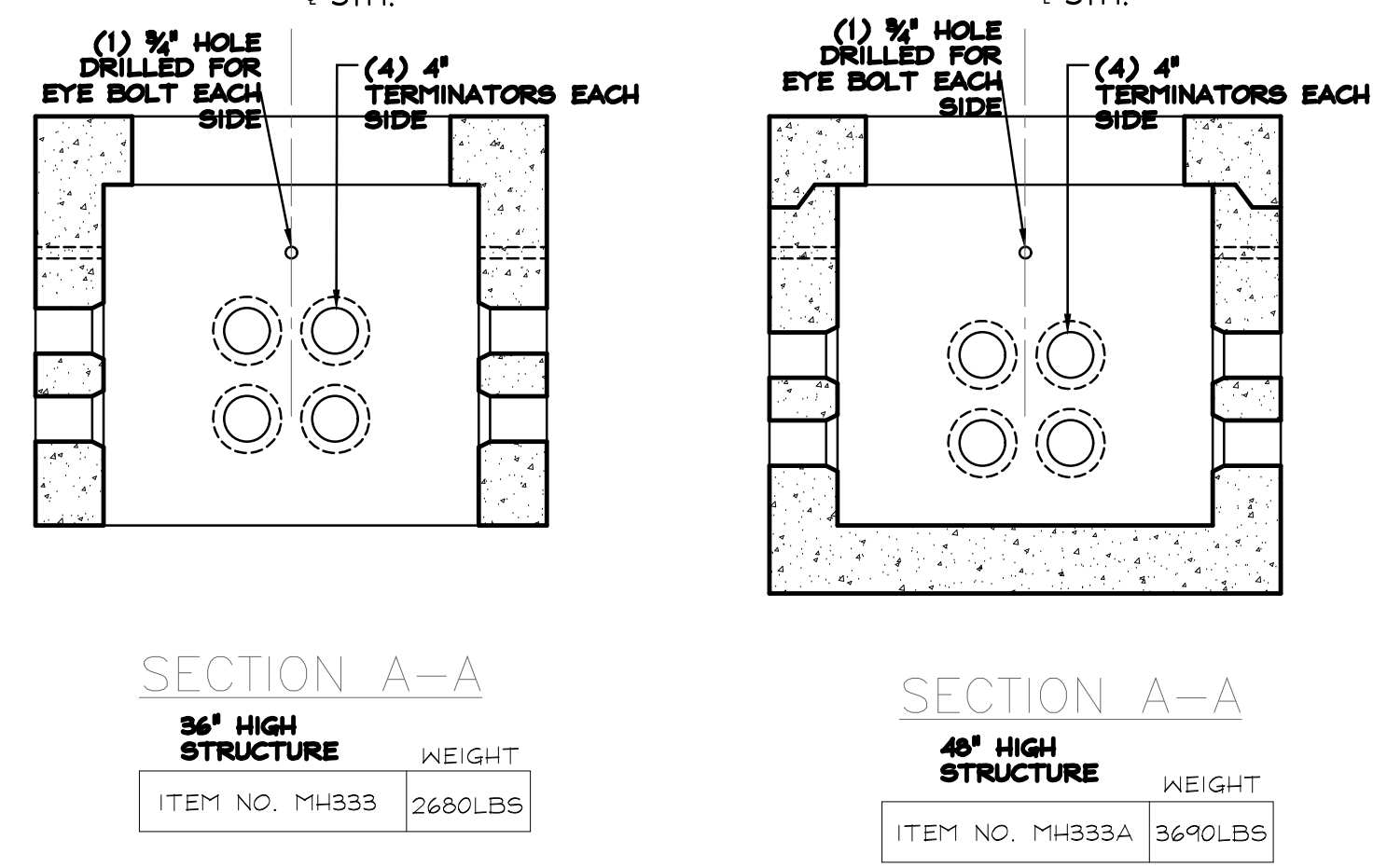
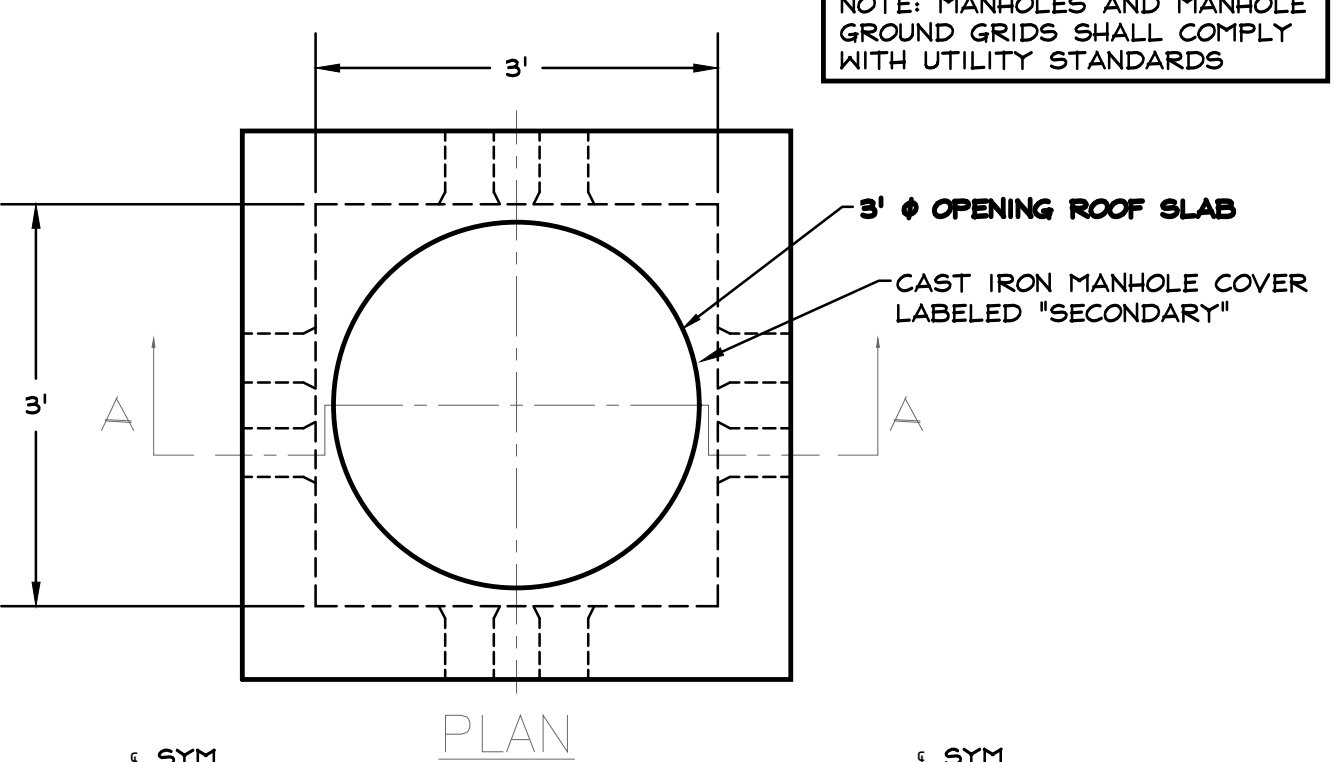
NOTE: MANHOLES AND MANHOLE GROUND GRIDS SHALL COMPLY WITH UTILITY STANDARDS



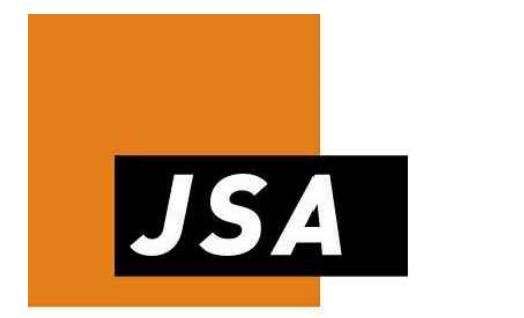
- NOTES:
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
 2. STEEL REINFORCEMENT CONFORMS TO ASTM A615, GRADE 60. MINIMUM STEEL COVER 1".
 3. DESIGN LOADING: AASHTO H20-44, 0 TO 5 FEET COVER.
 4. OPTIONAL OPENINGS AVAILABLE BY SPECIAL ORDER.

TYPICAL SECONDARY HANDHOLE DETAIL

NOTE: MANHOLES AND MANHOLE GROUND GRIDS SHALL COMPLY WITH UTILITY STANDARDS



- NOTES:
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
 2. STEEL REINFORCEMENT CONFORMS TO ASTM A615, GRADE 60. MINIMUM STEEL COVER 1".
 3. DESIGN LOADING: AASHTO H20-44, 0 TO 5 FEET COVER.
 4. OPTIONAL OPENINGS AVAILABLE BY SPECIAL ORDER.



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IT L R

SITE
ELECTRICAL
DETAILS

SE2.3

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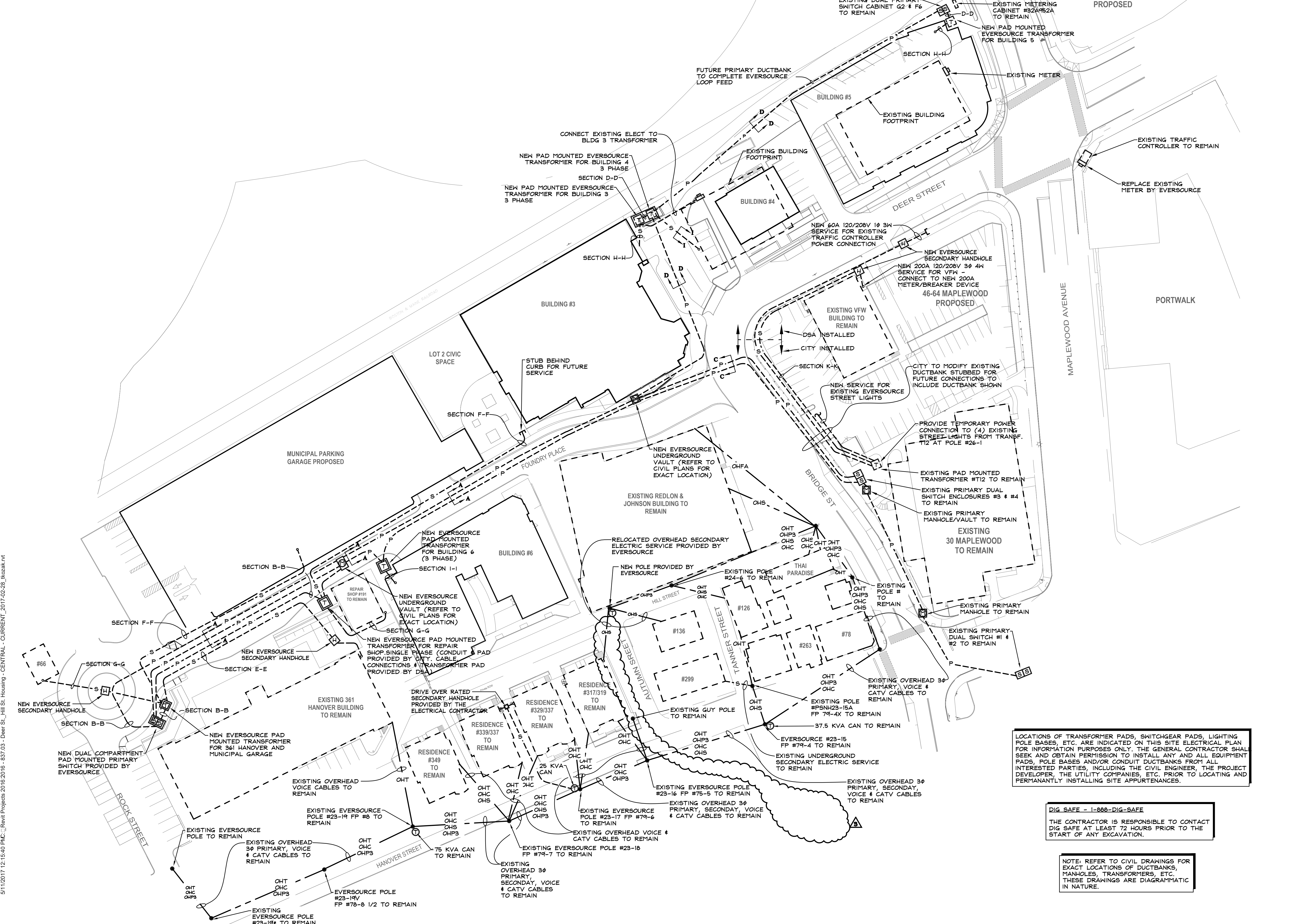
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TO LOR

SITE ELECTRICAL PLAN

SE3.1

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LOCATIONS OF TRANSFORMER PADS, SWITCHGEAR PADS, LIGHTING POLE BASES, ETC. ARE INDICATED ON THIS SITE ELECTRICAL PLAN FOR INFORMATION PURPOSES ONLY. THE GENERAL CONTRACTOR SHALL SEEK AND OBTAIN PERMISSION TO INSTALL ANY AND ALL EQUIPMENT PADS, POLE BASES AND/OR CONDUIT DUCTBANKS FROM ALL INTERESTED PARTIES, INCLUDING THE CIVIL ENGINEER, THE PROJECT DEVELOPER, THE UTILITY COMPANIES, ETC. PRIOR TO LOCATING AND PERMANENTLY INSTALLING SITE APPURTENANCES.

DIG SAFE - 1-888-DIG-SAFE
THE CONTRACTOR IS RESPONSIBLE TO CONTACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF ANY EXCAVATION.

NOTE: REFER TO CIVIL DRAWINGS FOR EXACT LOCATIONS OF DUCTBANKS, MANHOLES, TRANSFORMERS, ETC. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE.

5/11/2017 12:15:40 PM; C:\Revit\Projects\2016\216214\DWGs\Building 3 - TAC Submission\216214-SE3.1 - SITE ELECTRIC.dwg, 12/19/2017 9:48:16 AM, _DWG To PDF.pc3



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PORTSMOUTH, NEW HAMPSHIRE

MPPF ENGINEER
WOBURN, MASSACHUSETTS

ELECTRICAL ENGINEER
DERRY, NEW HAMPSHIRE

THE HOTEL AT
FOUNDRY PLACE,
"LOT 3": 165 DEER
STREET, ASSESSORS
MAP 125 LOT 17,
AND RELATED
IMPROVEMENTS TO
LOTS 2, 4 AND 5
PORTSMOUTH, NH 03801

OWNER:
Deer Street Associates



Scale: 1"=40'
Date: 3/17/2017
Project Number: 14837.03

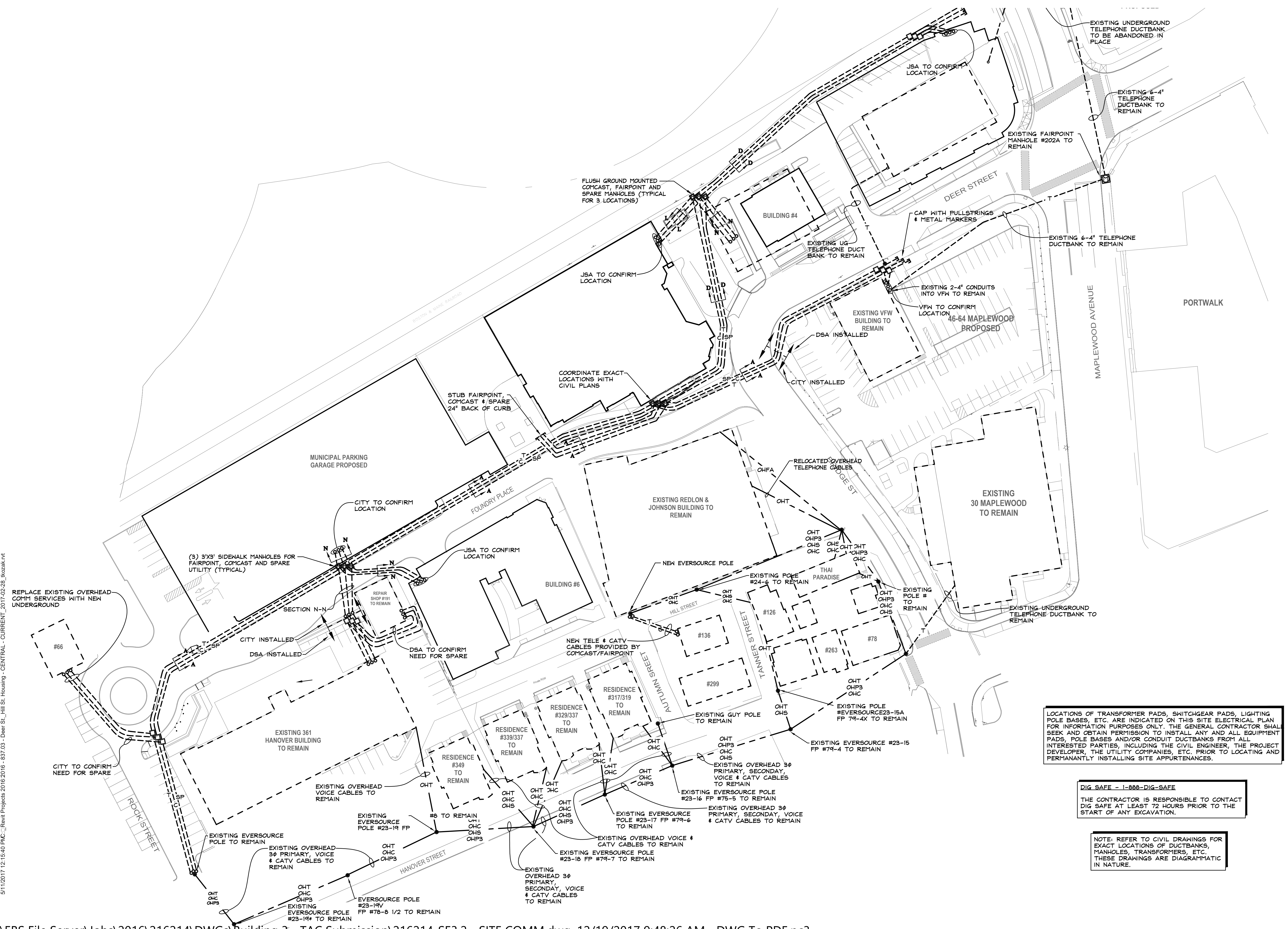
REVISIONS		
NO.	DESCRIPTION	DATE
1	TAC PUBLIC HEARING	6/15/2017
2	TAC PUBLIC HEARING	11/17/2017
3	TAC PUBLIC HEARING	12/19/2017

IT L R

SITE
COMMUNICATION
PLAN

SE3.2

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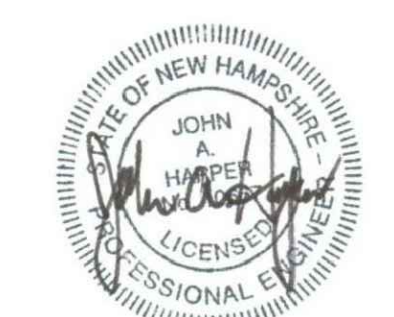
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IT L R

SITE ELECTRICAL
DEMOITION PLAN
- EXISTING
CONDITIONS

SED1.1

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2	TAC PUBLIC HEARING	11/17/2017
3	TAC PUBLIC HEARING	12/19/2017

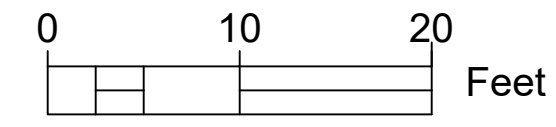
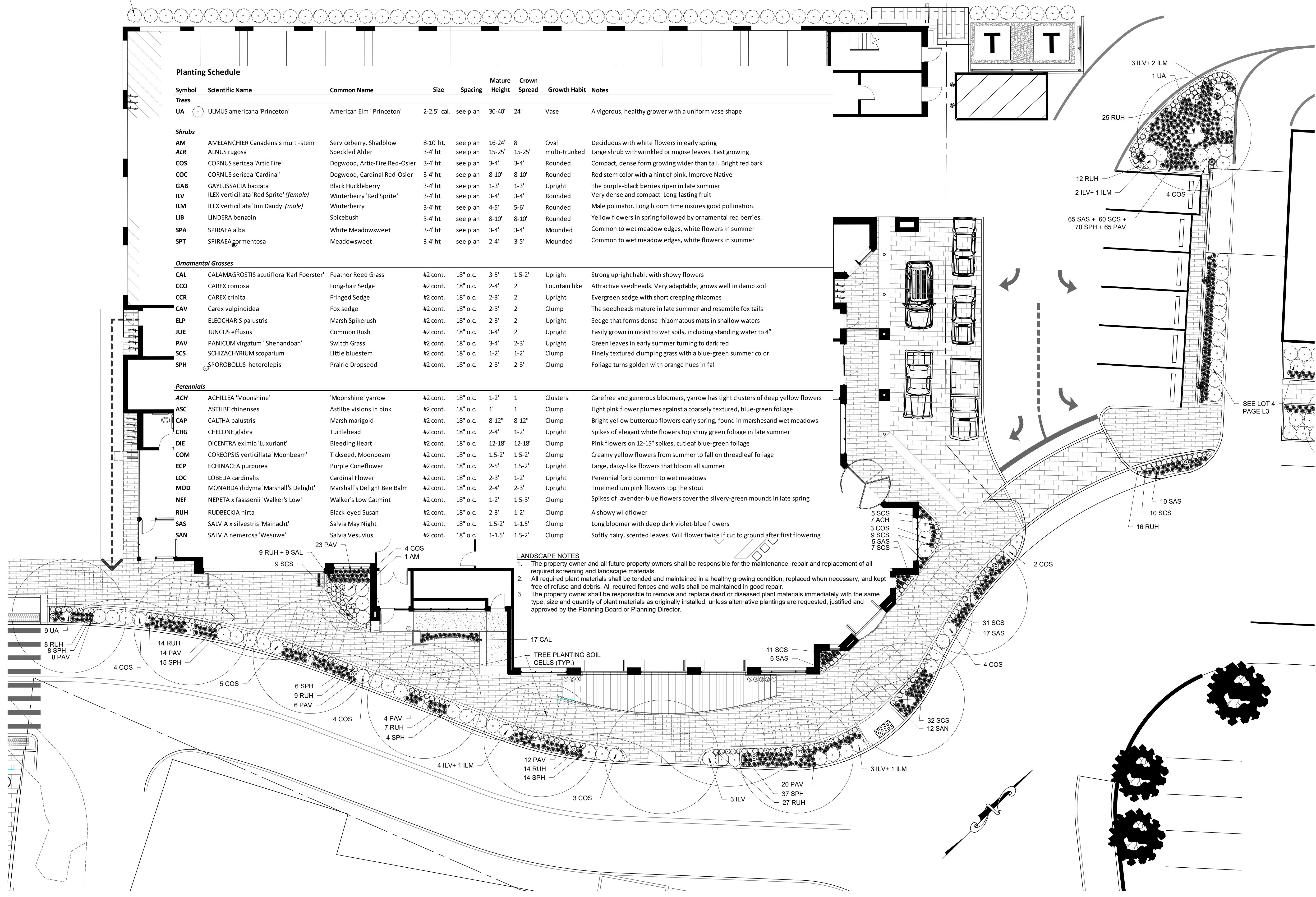
Planting Schedule

Symbol	Scientific Name	Common Name	Size	Spacing	Mature Height	Crown Spread	Growth Habit	Notes
Trees								
UA	ULMUS americana 'Princeton'	American Elm 'Princeton'	2-2.5" cal.	see plan	30-40'	24'	Vase	A vigorous, healthy grower with a uniform vase shape
Shrubs								
AM	AMELANCHIER Canadensis multi-stem	Serviceberry, Shadblow	8-10' ht.	see plan	16-24'	8'	Oval	Deciduous with white flowers in early spring
ALR	ALNUS rugosa	Speckled Alder	3-4' ht	see plan	15-25'	15-25'	multi-trunked	Large shrub with wrinkled or rugose leaves. Fast growing
COS	CORNUS sericea 'Artic Fire'	Dogwood, Artic-Fire Red-Osier	3-4' ht	see plan	3-4'	3-4'	Rounded	Compact, dense form growing wider than tall. Bright red bark
COC	CORNUS sericea 'Cardinal'	Dogwood, Cardinal Red-Osier	3-4' ht	see plan	8-10'	8-10'	Rounded	Red stem color with a hint of pink. Improve Native
GAB	GAYLUSSACIA baccata	Black Huckleberry	3-4' ht	see plan	1-3'	1-3'	Upright	The purple-black berries ripen in late summer
ILV	ILEX verticillata 'Red Sprite' (female)	Winterberry 'Red Sprite'	3-4' ht	see plan	3-4'	3-4'	Rounded	Very dense and compact. Long-lasting fruit
ILM	ILEX verticillata 'Jim Dandy' (male)	Winterberry	3-4' ht	see plan	4-5'	5-6'	Rounded	Male pollinator. Long bloom time insures good pollination.
LIB	LINDERA benzoin	Spicebush	3-4' ht	see plan	8-10'	8-10'	Rounded	Yellow flowers in spring followed by ornamental red berries.
SPA	SPIRAEA alba	White Meadowsweet	3-4' ht	see plan	3-4'	3-4'	Mounded	Common to wet meadow edges, white flowers in summer
SPT	SPIRAEA tomentososa	Meadowsweet	3-4' ht	see plan	2-4'	3-5'	Mounded	Common to wet meadow edges, white flowers in summer
Ornamental Grasses								
CAL	CALAMAGROSTIS acutiflora 'Karl Foerster'	Feather Reed Grass	#2 cont.	18" o.c.	3-5'	1.5-2'	Upright	Strong upright habit with showy flowers
CCO	CAREX comosa	Long-hair Sedge	#2 cont.	18" o.c.	2-4'	2'	Fountain like	Attractive seedheads. Very adaptable, grows well in damp soil
CCR	CAREX crinita	Fringed Sedge	#2 cont.	18" o.c.	2-3'	2'	Upright	Evergreen sedge with short creeping rhizomes
CAV	Carex vulpinoidea	Fox sedge	#2 cont.	18" o.c.	2-3'	2'	Clump	The seedheads mature in late summer and resemble fox tails
ELP	ELEOCHARIS palustris	Marsh Spikerush	#2 cont.	18" o.c.	2-3'	2'	Upright	Sedge that forms dense rhizomatous mats in shallow waters
JUE	JUNCUS effusus	Common Rush	#2 cont.	18" o.c.	3-4'	2'	Upright	Easily grown in moist to wet soils, including standing water to 4"
PAV	PANICUM virgatum 'Shenandoah'	Switch Grass	#2 cont.	18" o.c.	3-4'	2-3'	Upright	Green leaves in early summer turning to dark red
SCS	SCHIZACHYRIUM scoparium	Little bluestem	#2 cont.	18" o.c.	1-2'	1-2'	Clump	Finely textured clumping grass with a blue-green summer color
SPH	SPOROBOLUS heterolepis	Prairie Dropseed	#2 cont.	18" o.c.	2-3'	2-3'	Clump	Foliage turns golden with orange hues in fall
Perennials								
ACH	ACHILLEA 'Moonshine'	'Moonshine' yarrow	#2 cont.	18" o.c.	1-2'	1'	Clusters	Carefree and generous bloomers, yarrow has tight clusters of deep yellow flowers
ASC	ASTILBE chinenses	Astilbe visions in pink	#2 cont.	18" o.c.	1'	1'	Clump	Light pink flower plumes against a coarsely textured, blue-green foliage
CAP	CALTHA palustris	Marsh marigold	#2 cont.	18" o.c.	8-12"	8-12"	Clump	Bright yellow buttercup flowers early spring, found in marshes and wet meadows
CHG	CHELONE glabra	Turtlehead	#2 cont.	18" o.c.	2-4'	1-2'	Upright	Spikes of elegant white flowers top shiny green foliage in late summer
DIE	DICENTRA eximia 'Luxuriant'	Bleeding Heart	#2 cont.	18" o.c.	12-18"	12-18"	Clump	Pink flowers on 12-15" spikes, cutleaf blue-green foliage
COM	COREOPSIS verticillata 'Moonbeam'	Tickseed, Moonbeam	#2 cont.	18" o.c.	1.5-2'	1.5-2'	Clump	Creamy yellow flowers from summer to fall on threadleaf foliage
ECP	ECHINACEA purpurea	Purple Coneflower	#2 cont.	18" o.c.	2-5'	1.5-2'	Upright	Large, daisy-like flowers that bloom all summer
LOC	LOBELIA cardinalis	Cardinal Flower	#2 cont.	18" o.c.	2-3'	1-2'	Upright	Perennial forb common to wet meadows
MOD	MONARDA didyma 'Marshall's Delight'	Marshall's Delight Bee Balm	#2 cont.	18" o.c.	2-4'	2-3'	Upright	True medium pink flowers top the stout
NEF	NEPETA x faassenii 'Walker's Low'	Walker's Low Catmint	#2 cont.	18" o.c.	1-2'	1.5-3'	Clump	Spikes of lavender-blue flowers cover the silvery-green mounds in late spring
RUH	RUDBECKIA hirta	Black-eyed Susan	#2 cont.	18" o.c.	2-3'	1-2'	Clump	A showy wildflower
SAS	SALVIA x silvestris 'Mainacht'	Salvia May Night	#2 cont.	18" o.c.	1.5-2'	1-1.5'	Clump	Long bloomer with deep dark violet-blue flowers
SAN	SALVIA nemerosa 'Wesuwe'	Salvia Vesuvius	#2 cont.	18" o.c.	1-1.5'	1.5-2'	Clump	Softly hairy, scented leaves. Will flower twice if cut to ground after first flowering

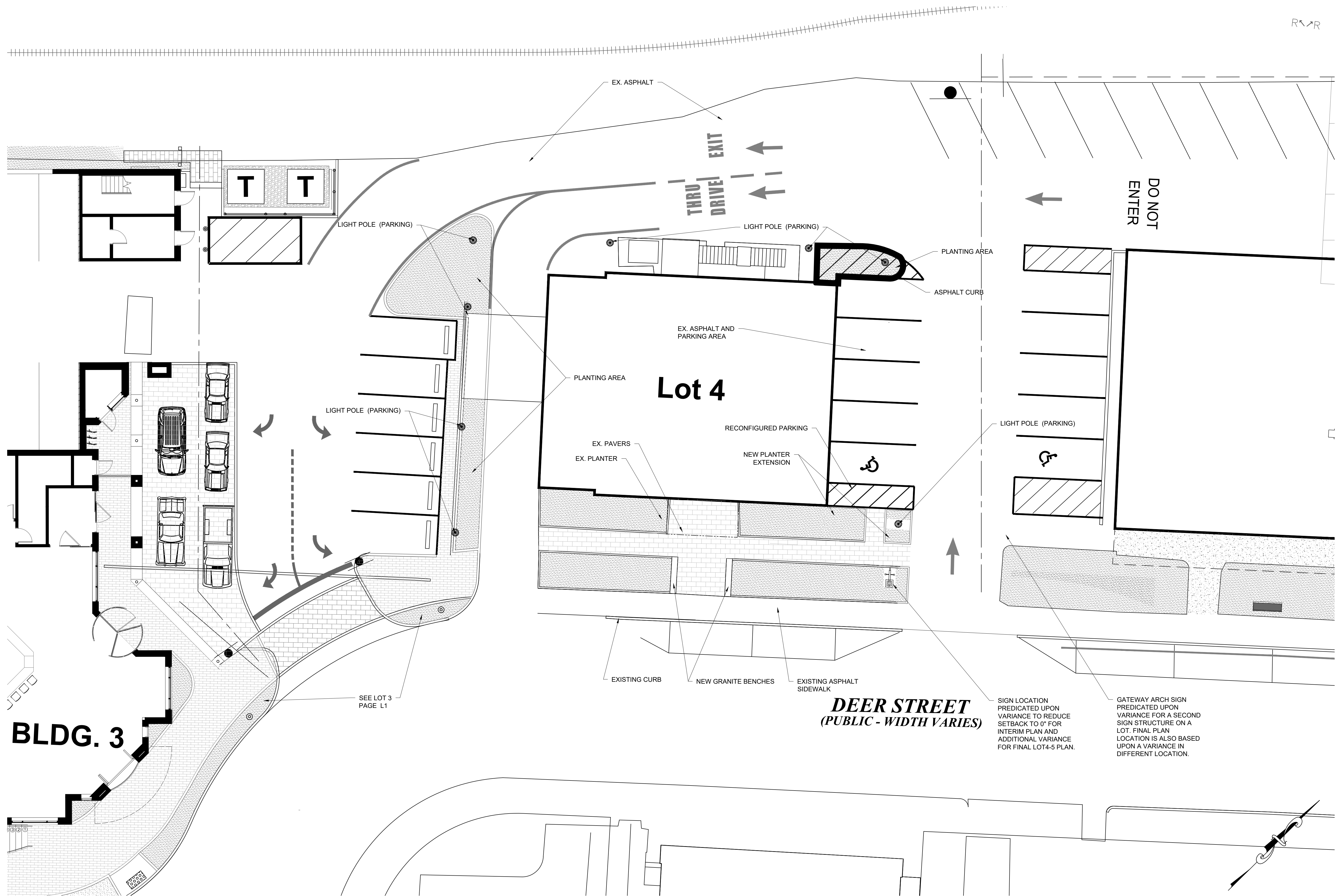
LANDSCAPE NOTES

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- All required plant materials shall be tended and maintained in a healthy growing condition, replaced when necessary, and kept free of refuse and debris. All required fences and walls shall be maintained in good repair.
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TREE PLANTING SOIL CELLS (TYP.)



SCALE: 1" = 10'



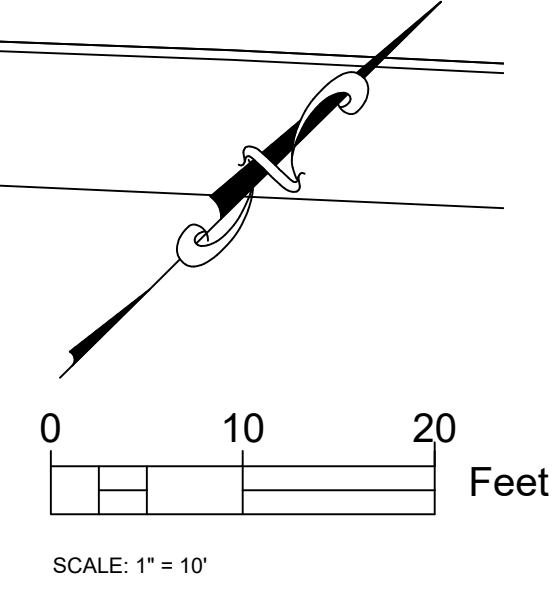
BLDG. 3

Lot 4

DEER STREET
(PUBLIC - WIDTH VARIES)

SIGN LOCATION
PREDICATED UPON
VARIANCE TO REDUCE
SETBACK TO 0" FOR
INTERIM PLAN AND
ADDITIONAL VARIANCE
FOR FINAL LOT4-5 PLAN.

GATEWAY ARCH SIGN
PREDICATED UPON
VARIANCE FOR A SECOND
SIGN STRUCTURE ON A
LOT. FINAL PLAN
LOCATION IS ALSO BASED
UPON A VARIANCE IN
DIFFERENT LOCATION.



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OWNER:
Deer Street Associates

7 BANKS ROCK ROAD
YORK HARBOR, ME



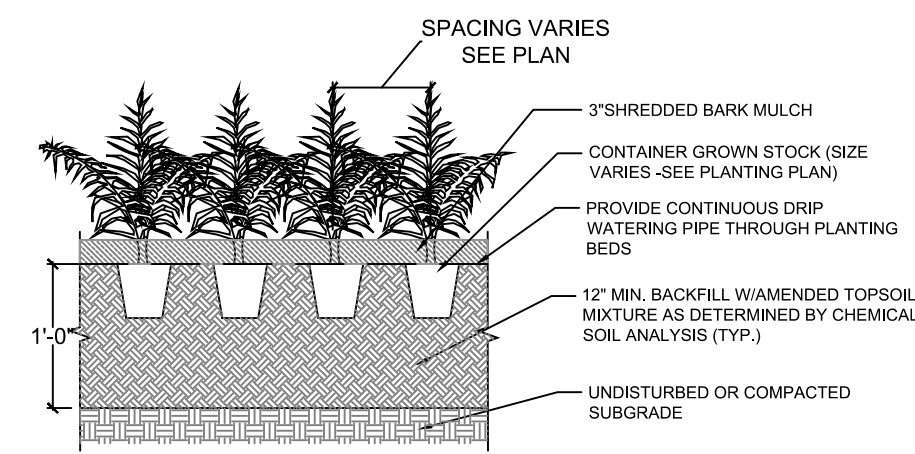
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Project Number: 14837.02

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3	TAC PUBLIC HEARING	12/19/2017

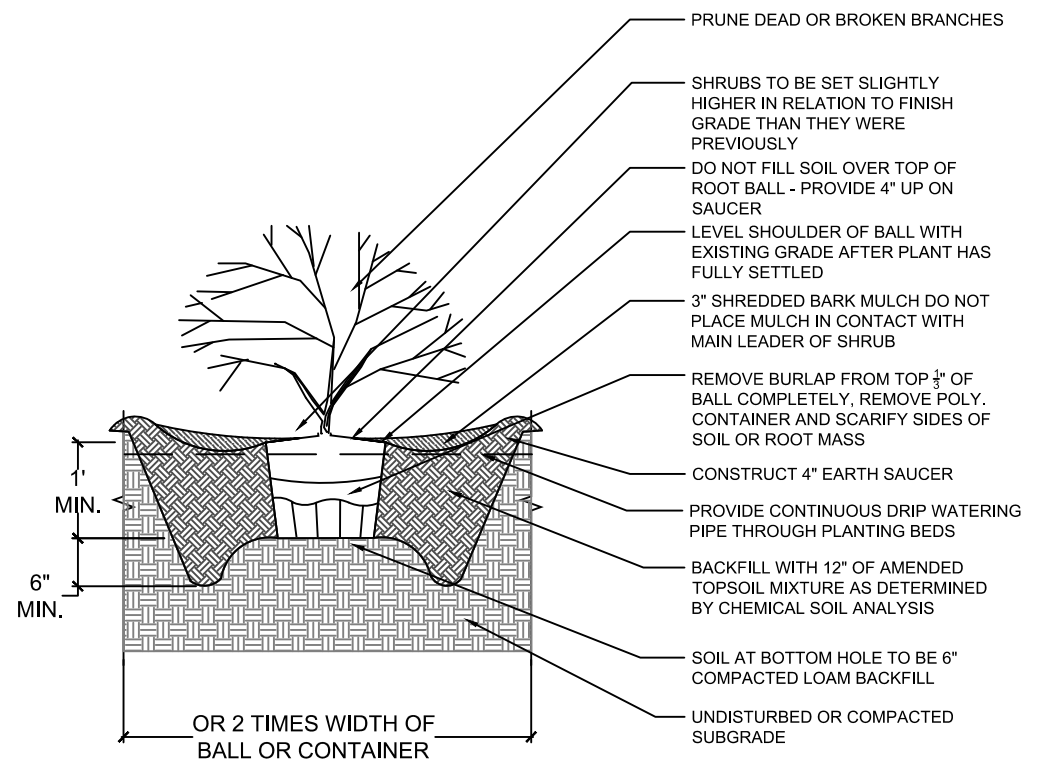
SITE PLAN REVIEW

**INTERIM LOT 4
ACCESS
DRIVEWAY AND
MATERIALS PLAN**

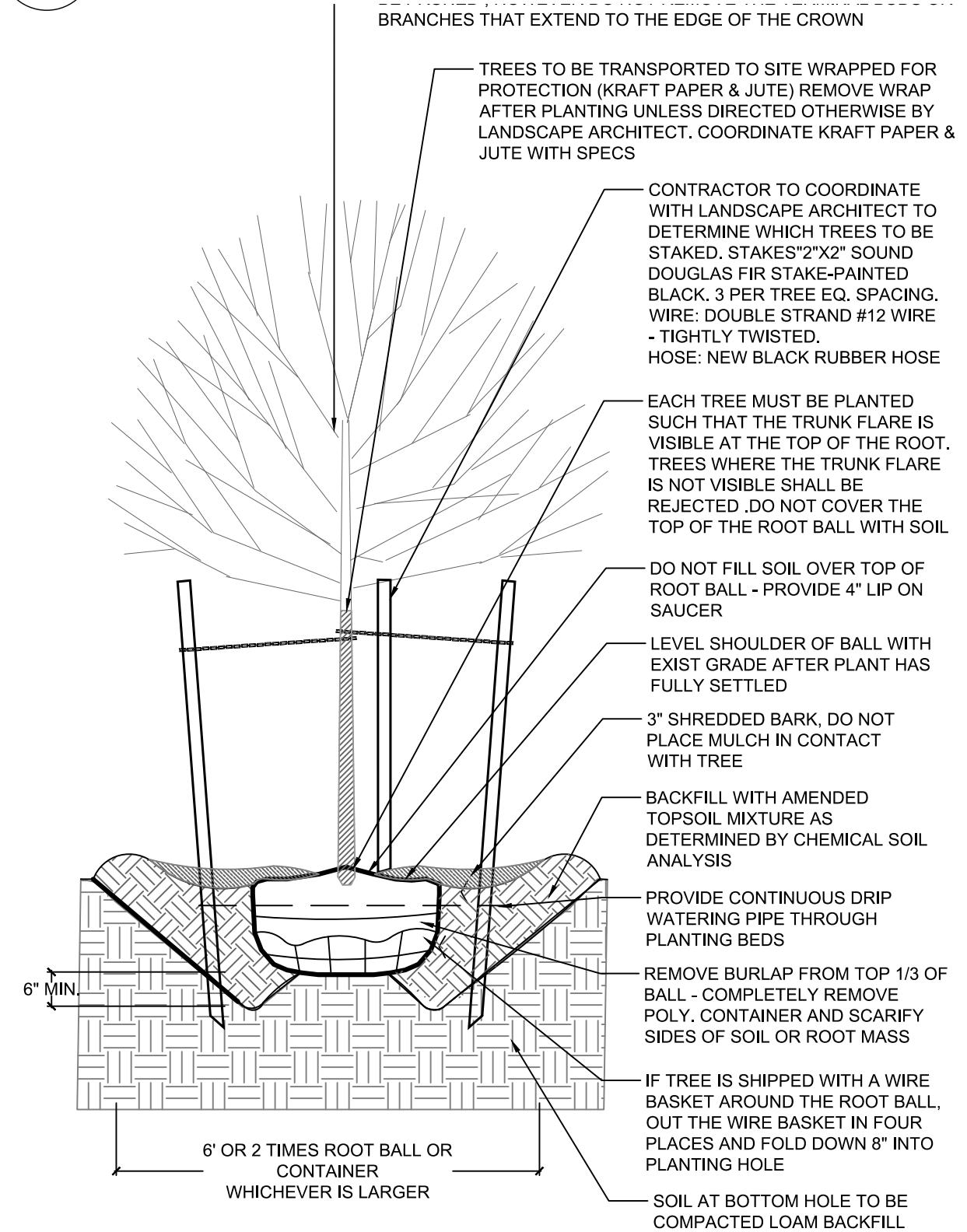
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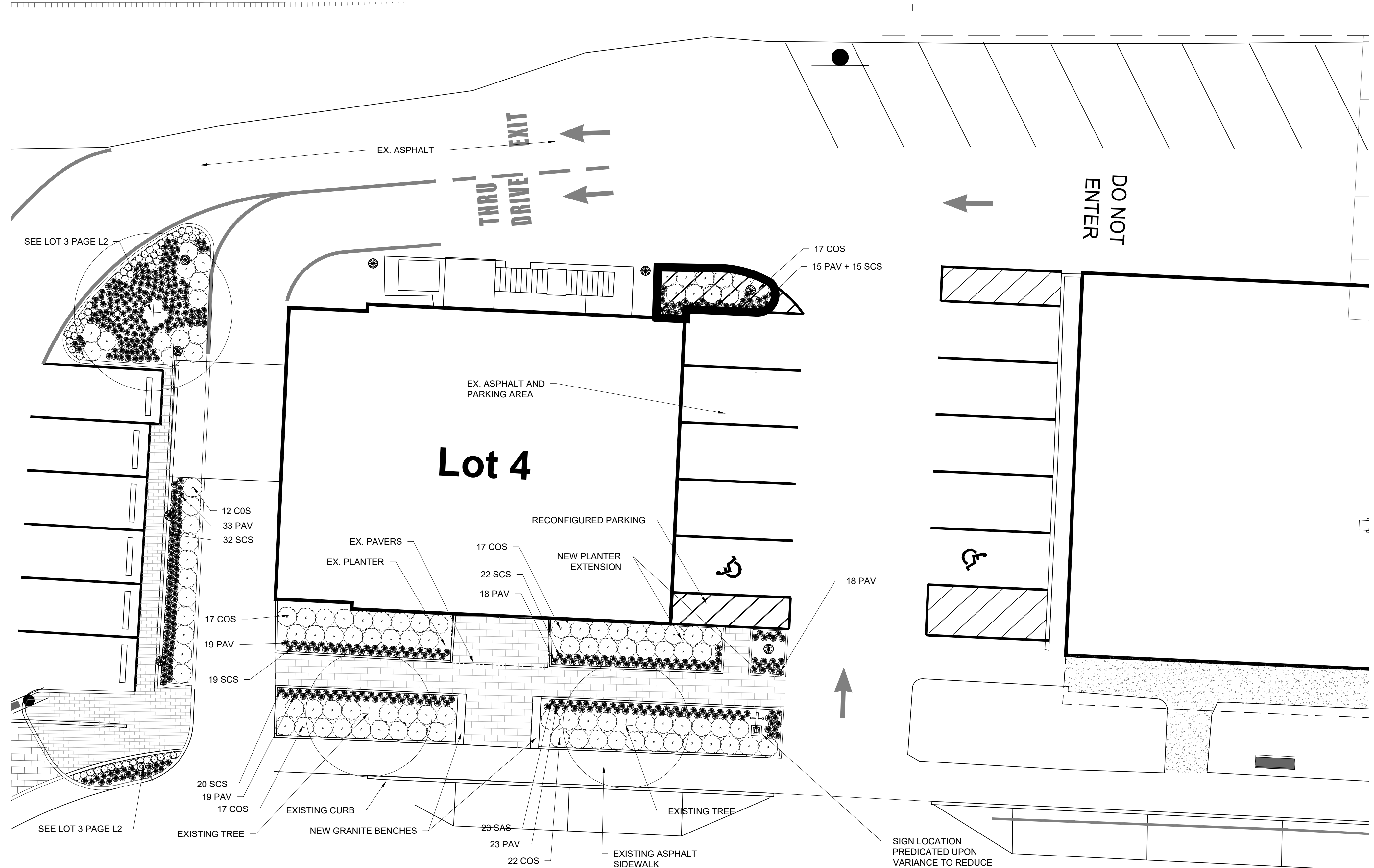
1 Perennial Planting Detail
nts



2 Shrub Planting Detail
nts



3 Tree Planting Detail
nts

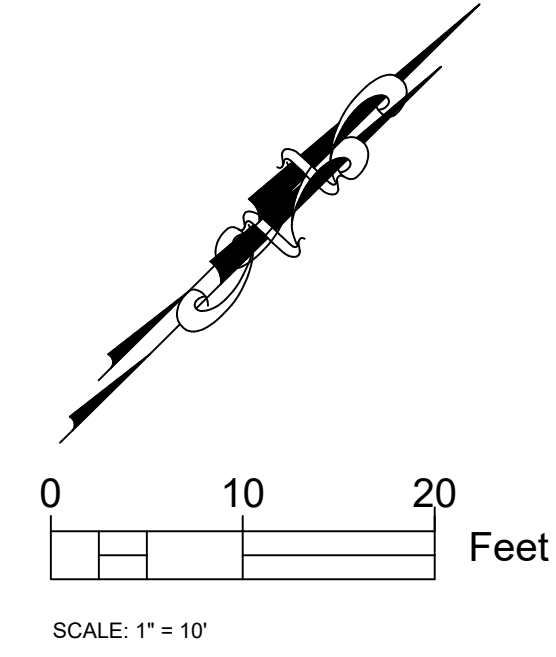


DEER STREET
(PUBLIC - WIDTH VARIES)

SIGN LOCATION PREDICATED UPON VARIANCE TO REDUCE SETBACK TO 0" FOR INTERIM PLAN AND ADDITIONAL VARIANCE FOR FINAL LOT4-5 PLAN.

Planting Schedule									
Symbol	Scientific Name	Common Name	Size	Spacing	Mature Height	Crown Spread	Growth Habit	Notes	
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Ornamental Grasses									
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LOTS 2, 4 AND 5

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OWNER:

Deer Street Associates

7 BANKS ROCK ROAD
YORK HARBOR, ME

A / E
Seal:



Scale: AS INDICATED
Date: 03/17/2017
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SITE PLAN REVIEW

**INTERIM LOT 4
ACCESS
DRIVEWAY AND
PLANTING PLAN**

L4

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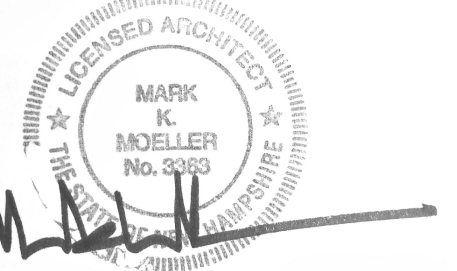
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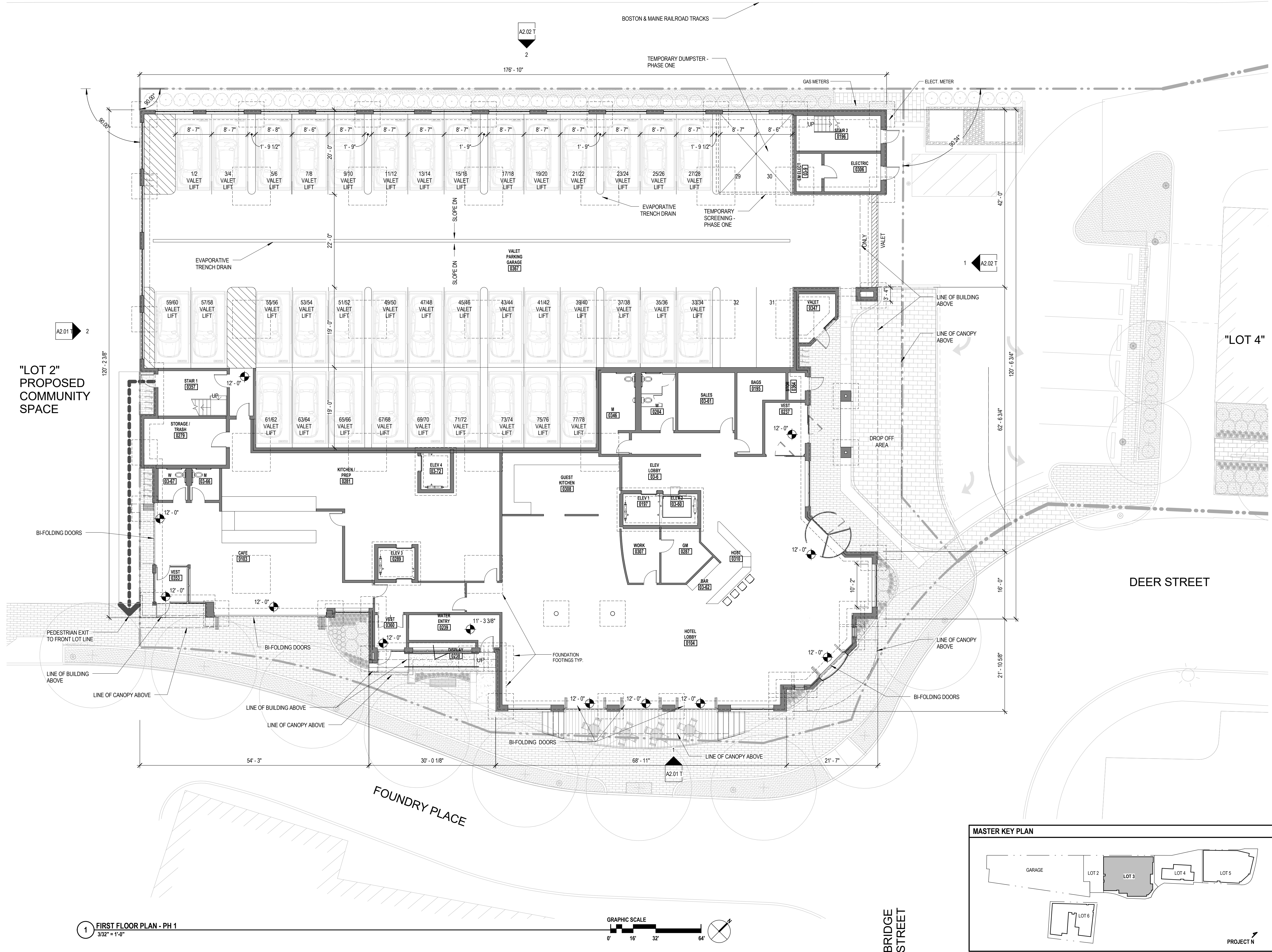


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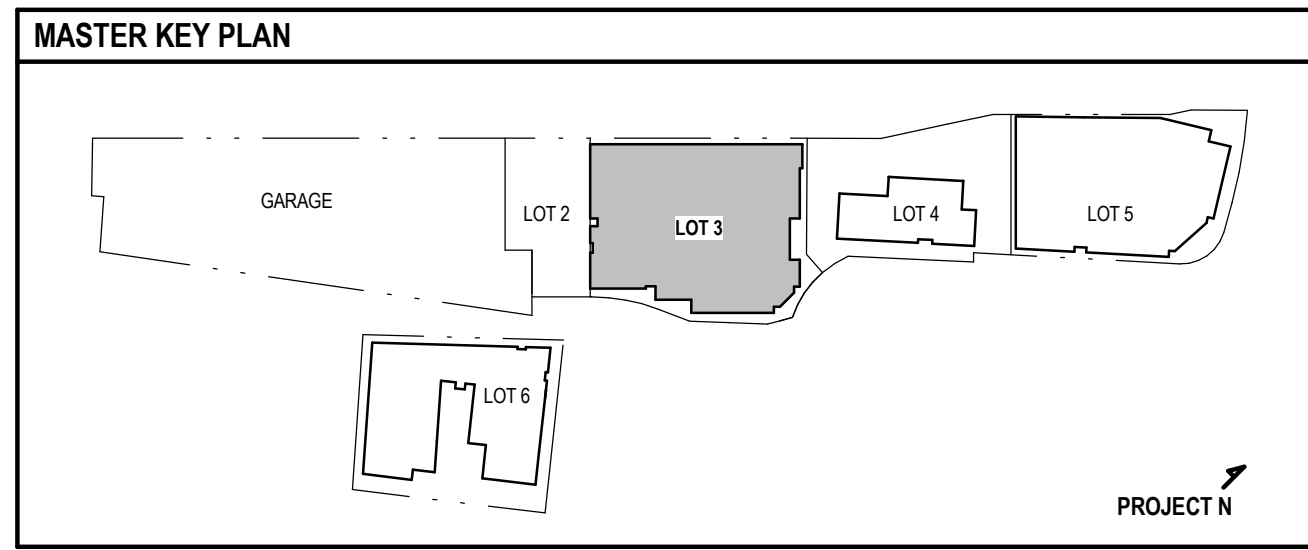
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**SITE PLAN REVIEW
FIRST FLOOR
PLAN**

A1.01 T



1 FIRST FLOOR PLAN - PH 1
3/32" = 1'-0"



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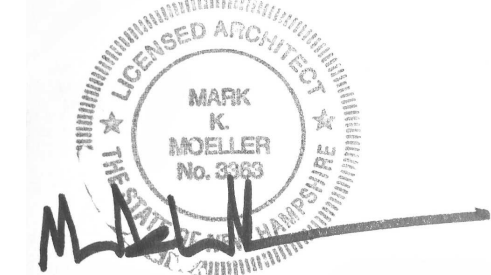
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YORK HARBOR, ME

A / E Seal:



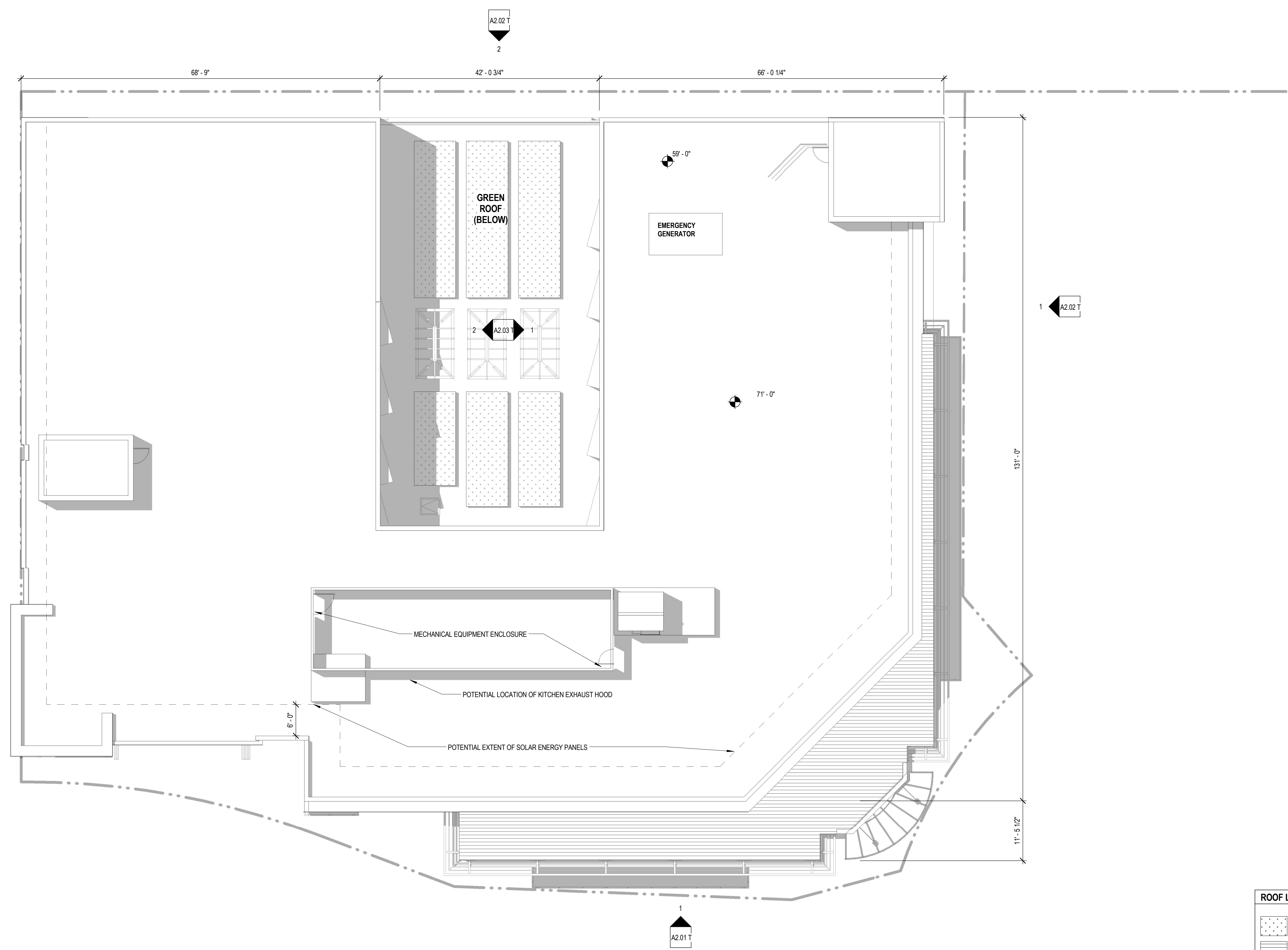
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SITE PLAN REVIEW

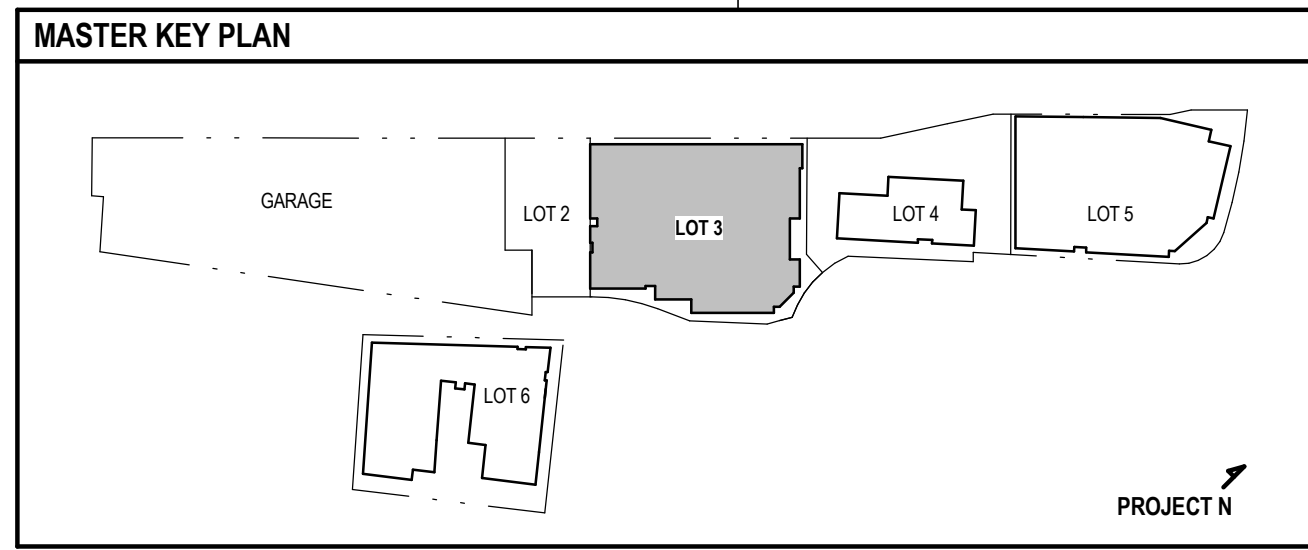
ROOF PLAN

A1.03 T

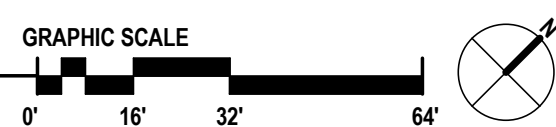


ROOF LEGEND

- AREA OF PROPOSED GREEN ROOF PLANTINGS
- AREA OF ROOF TERRACES



1 ROOF PLAN
3/32" = 1'-0"



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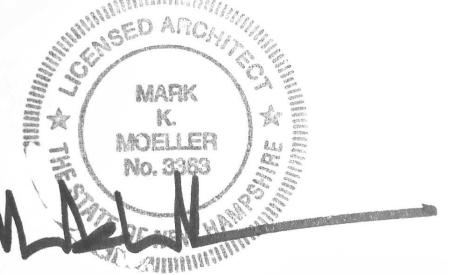
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YORK HARBOR, ME

A / E Seal:



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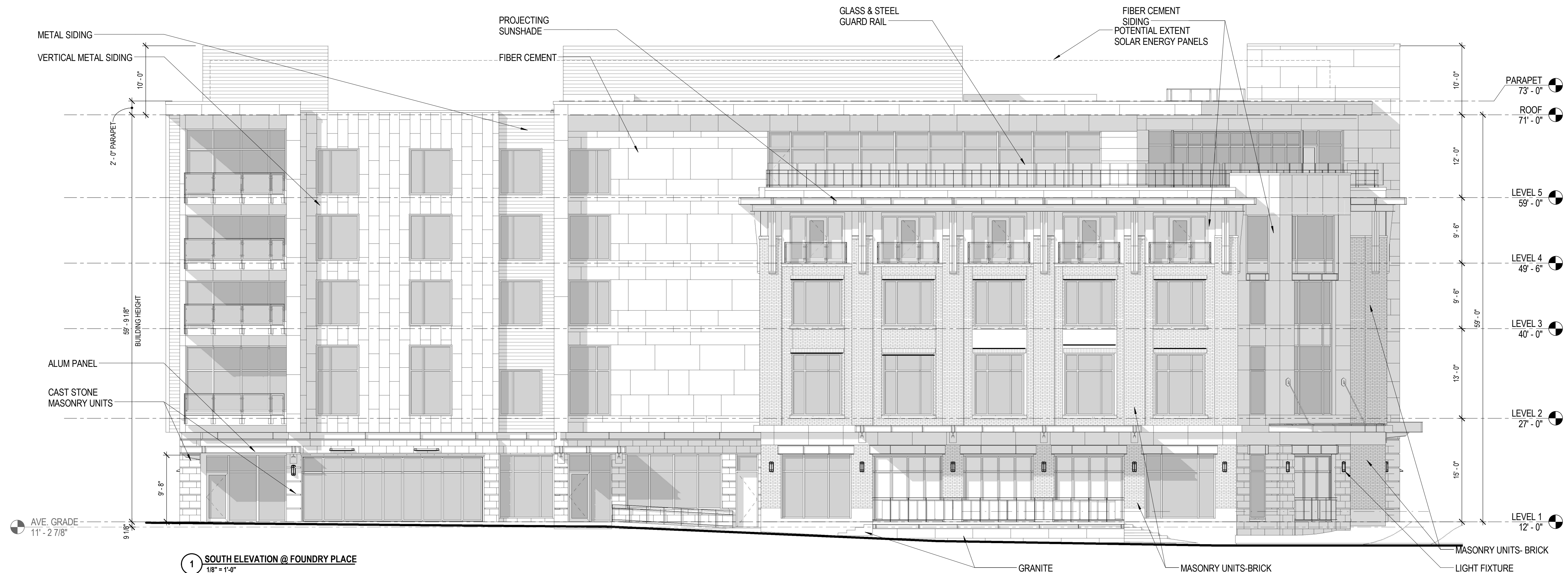
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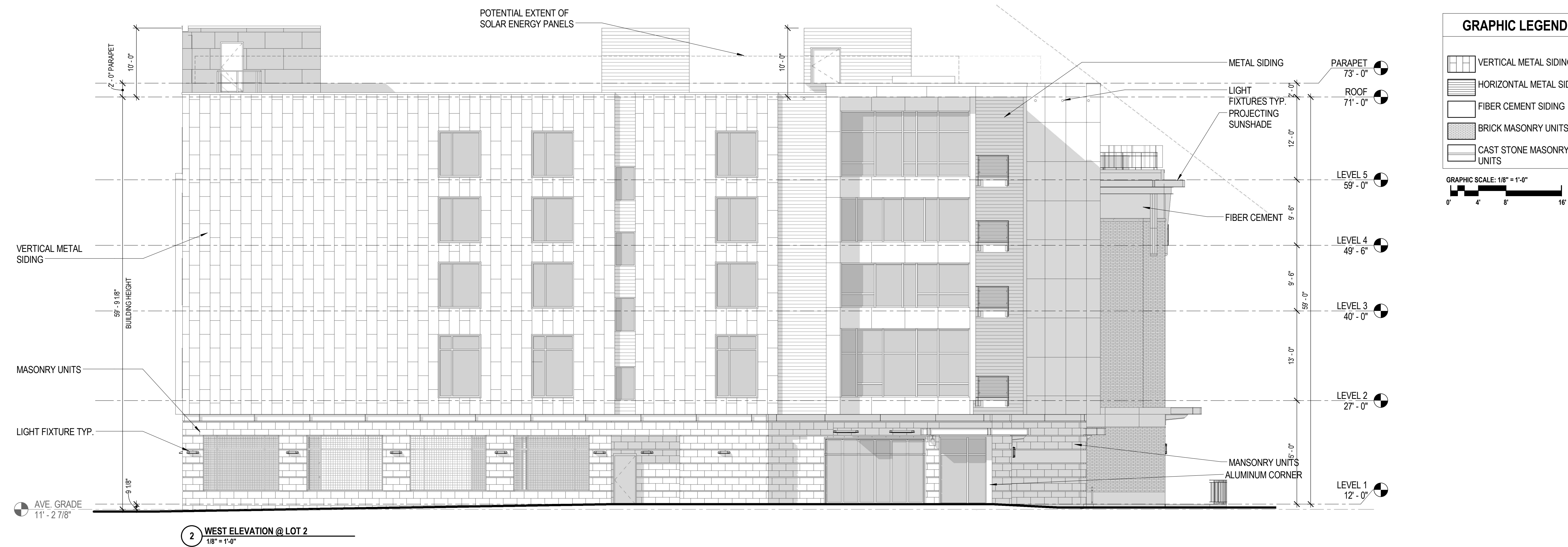
SITE PLAN REVIEW

**EXTERIOR
ELEVATIONS**

A2.01 T



1 SOUTH ELEVATION @ FOUNDRY PLACE
1/8" = 1'-0"



2 WEST ELEVATION @ LOT 2
1/8" = 1'-0"

GRAPHIC LEGEND

- VERTICAL METAL SIDING
- HORIZONTAL METAL SIDING
- FIBER CEMENT SIDING
- BRICK MASONRY UNITS
- CAST STONE MASONRY UNITS

GRAPHIC SCALE: 1/8" = 1'-0"

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IMPROVEMENTS TO
LOTS 2, 4 AND 5**

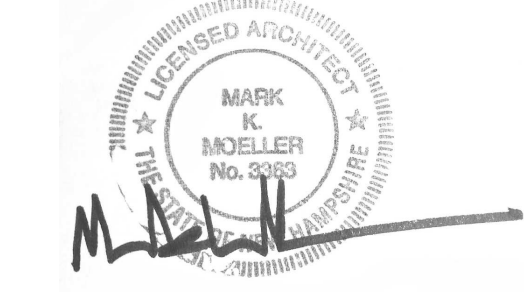
PORTSMOUTH, NH 03801

OWNER:

Deer Street Associates

7 BANKS ROCK ROAD
YORK HARBOR, ME

A / E Seal:



Scale: **As indicated**

Date: **3/17/2017**

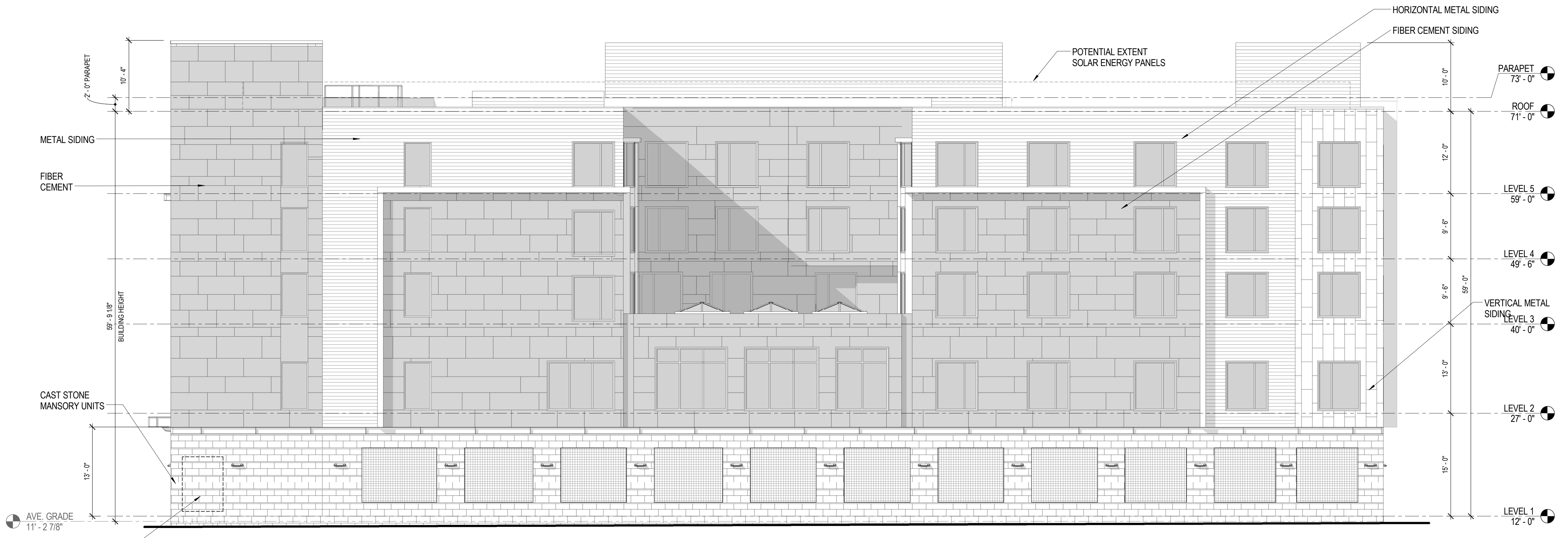
Project Number: **14837.02**

REVISIONS		
NO.	DESCRIPTION	DATE
1	TAC PUBLIC HEARING	3/17/2017
2	TAC PUBLIC HEARING	11/17/2017
3	TAC PUBLIC HEARING	12/19/2017

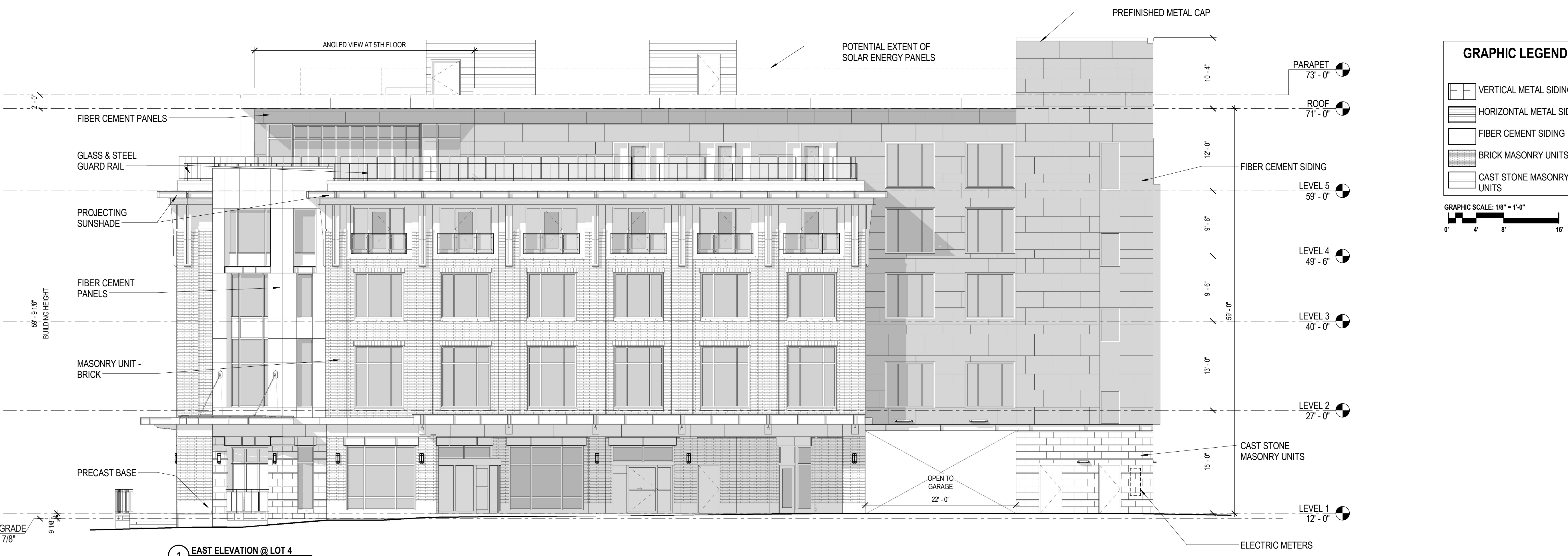
SITE PLAN REVIEW

**EXTERIOR
ELEVATIONS**

A2.02 T



2 NORTH ELEVATION @ R.R.
1/8" = 1'-0"



1 EAST ELEVATION @ LOT 4
1/8" = 1'-0"

GRAPHIC LEGEND

- VERTICAL METAL SIDING
- HORIZONTAL METAL SIDING
- FIBER CEMENT SIDING
- BRICK MASONRY UNITS
- CAST STONE MASONRY UNITS

GRAPHIC SCALE: 1/8" = 1'-0"
0' 4' 8' 16'

12/16/2017 2:20:48 PM C:\Revit Projects 2016\2016 - 837.02 - Deer St. Lot 3 Hotel - CENTRAL - CURRENT - 12/16/2017 - 09:11_mparmar.rvt

**THE HOTEL AT
FOUNDRY PLACE,
"LOT 3": 165 DEER
STREET, ASSESSORS
MAP 125 LOT 17,
AND RELATED
IMPROVEMENTS TO
LOTS 2, 4 AND 5**

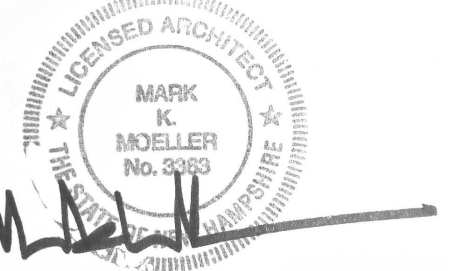
PORTSMOUTH, NH 03801

OWNER:

Deer Street Associates

7 BANKS ROCK ROAD
YORK HARBOR, ME

A / E Seal:



Scale: **As indicated**

Date: **3/17/2017**

Project Number: **14837.02**

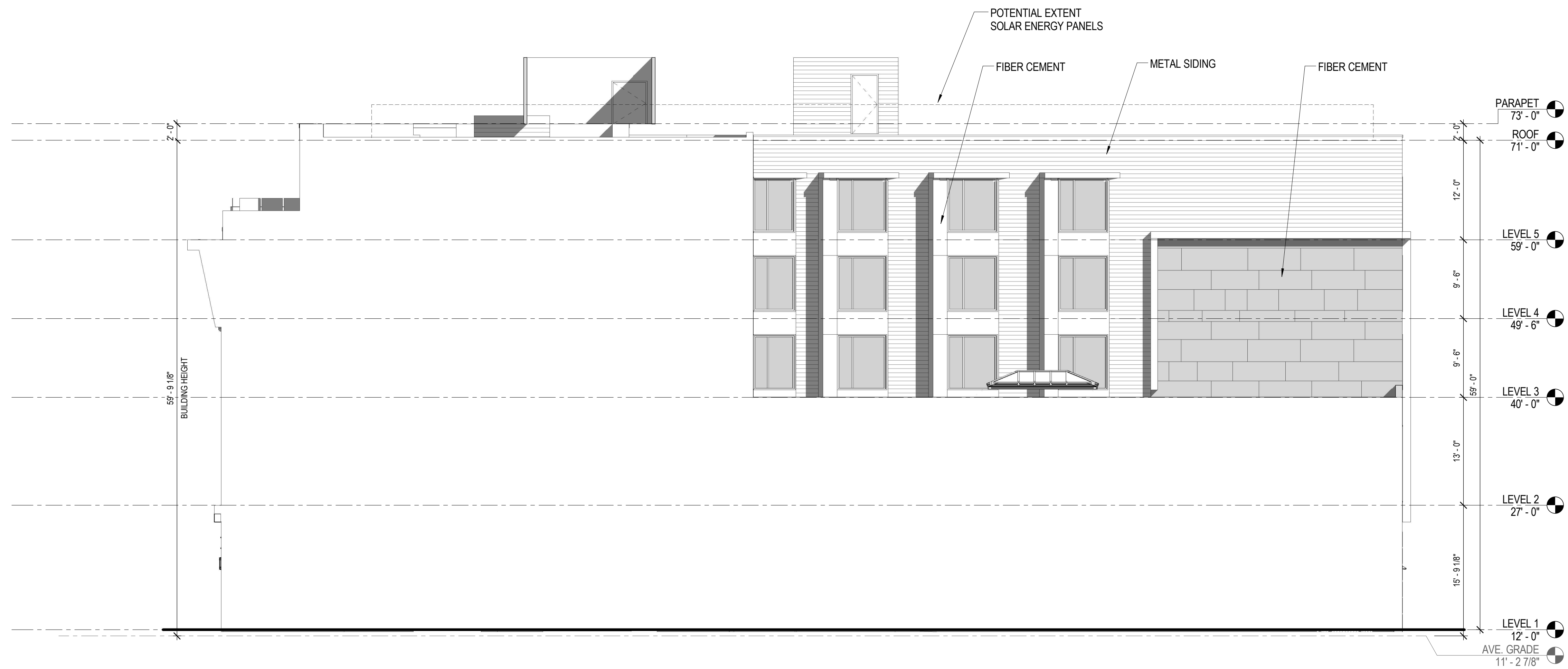
REVISIONS

NO.	DESCRIPTION	DATE
1	TAC PUBLIC HEARING	3/17/2017
2	TAC PUBLIC HEARING	11/17/2017
3	TAC PUBLIC HEARING	12/19/2017

SITE PLAN REVIEW

**EXTERIOR
ELEVATIONS**

A2.03 T



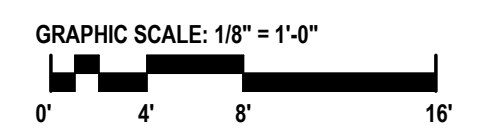
2 COURTYARD ELEVATION 2
1/8" = 1'-0"



1 COURTYARD ELEVATION 1
1/8" = 1'-0"

GRAPHIC LEGEND

- VERTICAL METAL SIDING
- HORIZONTAL METAL SIDING
- FIBER CEMENT SIDING
- BRICK MASONRY UNITS
- CAST STONE MASONRY UNITS





VIEW OF EAST FACADE FROM BRIDGE AND DEER STREETS



VIEW OF WEST FACADE, FROM FOUNDRY PLACE



ARCHITECTS
INTERIORS
PLANNERS

273 CORPORATE DRIVE
PORTSMOUTH, NH 03801
T 603.436.2551
F 603.436.6973
www.jsainc.com

GEOSIGHT, INC.
GEOTECH & CIVIL
MANCHESTER, NEW HAMPSHIRE

GREENMAN-PEDERSEN, INC.
LANDSCAPE DESIGN
PORTSMOUTH, NEW HAMPSHIRE

JSN ASSOCIATES, INC.
STRUCTURAL ENGINEER
PORTSMOUTH, NEW HAMPSHIRE

ENGINEERED SYSTEMS INC.
MPFP ENGINEER
WOBURN, MASSACHUSETTS

ENGINEERED BUILDING SYSTEMS
ELECTRICAL ENGINEER
DERRY, NEW HAMPSHIRE

**THE HOTEL AT
FOUNDRY PLACE,
"LOT 3": 165 DEER
STREET, ASSESSORS
MAP 125 LOT 17,
AND RELATED
IMPROVEMENTS TO
LOTS 2, 4 AND 5**

PORTSMOUTH, NH 03801

OWNER:

Deer Street Associates

7 BANKS ROCK ROAD
YORK HARBOR, ME

A / E Seal:



Scale:
Date: **3/17/2017**
Project Number: **14837.02**

REVISIONS		
NO.	DESCRIPTION	DATE
1	TAC PUBLIC HEARING	3/17/2017
2	TAC PUBLIC HEARING	11/17/2017
3	TAC PUBLIC HEARING	12/19/2017

SITE PLAN REVIEW

3D VIEWS

A3.00 T

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12/19/2017 2:00:01 PM C:\Revit Projects 2016\2016 - 837.02 - Deer St. Lot 3 Hotel - CENTRAL - CURRENT - 2017-09-11_mparmar.rvt



**THE HOTEL AT FOUNDRY PLACE, "LOT 3":
 165 DEER STREET, ASSESSORS MAP 125
 LOT 17, AND RELATED IMPROVEMENTS
 TO LOTS 2, 4 AND 5**

SITE PLAN REVIEW

REVISIONS		
No.	Description	DATE
1	4/5/17 TAC Hearing Comments and Other Updates	11/17/17
2	12/5/17 TAC Hearing Comments and other Updates	12/18/17

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LANDSCAPING PLAN SET

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Foundry Place LLC and Deer Street Associates**

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Updated Stormwater Management Report

ATTACHMENT D

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ATTACHMENT E

Utility Will Serve Letters

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Draft Landscape Maintenance Agreement

ATTACHMENT G

Lighting Calculations, Site Regulations and Zoning Analysis

CITY OF PORTSMOUTH NEW HAMPSHIRE

SITE REVIEW APPLICATION

Building Permit Application Number _____

Case Number _____

Application includes multiple Lots: Refer to Attached Summary Sheet

Fee _____

Application includes multiple
Lots: Refer to Attached
Summary Sheet

Map _____ Lot _____ Zone CD5 Wetlands: Inland _____ Coastal _____ Lot Area _____

Date of Approvals (Indicate if Pending)			Refer to Attached Summary of Variances
Conservation Commission _____	Conditional Use _____	Board of Adjustment _____	
Historic District Commission <u>Pending</u>	Subdivision _____	Other _____	

Street Address Application includes multiple Lots: Refer to Attached Summary Sheet

Description of Project including all use(s) New Mixed Use Building on Lot 3 to include first story parking, cafe, and hotel lobby; hotel rooms on the second, third, and fourth floors; and hotel rooms, a bar, and a restaurant on the fifth floor. Proposed development will affect three additional lots (i.e., Lot 2, Lot 4, and Lot 5), where various improvements are planned for the benefit of Lot 3.

Building(s) Footprint 22,073 Gross Floor Area 104,020 #of Stories 5

92 (78 on Lot 3 and 33 reserved in City Garage)

of Dwelling Units 128 Hotel Rooms Number of Parking Spaces: Existing NA Proposed _____

Print Information Below

Property Owner's Name Foundry Place, LLC (Lot 2 and Lot 3) and Deer Street Associates (Lot 4 and Lot 5)

Street Address PO Box 100 City/Town York State ME Zip 03911

207.363.3540 Telephone # _____ Cell Phone # _____ Fax # _____ Email Address ania@glogrogers.com

Print Information Below

Applicant's / Developer's Name Foundry Place, LLC (Lot 2 and Lot 3) and Deer Street Associates (Lot 4 and Lot 5)

Street Address PO Box 100 City/Town York State ME Zip 03911

207.363.3540 Telephone # _____ Cell Phone # _____ Fax # _____ Email Address ania@glogrogers.com

Print Information Below (Include Additional Contact Information on Next Page)

Check One: Owner's Attorney Applicant's Attorney Engineer Surveyor Other If other, state relationship Architect

Representative's Name Tracy Kozak, JSA, Inc.

Street Address 273 Corporate Drive City/Town Portsmouth State NH Zip 03801

603.436.2551 Telephone # _____ Cell Phone # _____ Fax # _____ Email Address tkozak@jsainc.com

I hereby apply for Site Review and acknowledge that I will comply with all the ordinances and any stipulations of the Site Review Committee of the City of Portsmouth in the development and construction of this project.

Owner's Signature _____ **Kim Rogers, Foundry Place LLC and Deer Street Associates** 12/18/17
Print Owner's Name Date

Applicant's/Developer's Signature _____ **Kim Rogers, Foundry Place LLC and Deer Street Associates** 12/18/17
Print Applicant's/Developer's Name Date

Print Information Below

Check One: Owner's Attorney Applicant's Attorney Engineer Surveyor Other If other, state relationship _____

Representative's Name Michael Penney, GeoInsight, Inc.

Street Address 186 Granite Street, 3rd Fl, Ste A City/Town Manchester State NH Zip 03101

603.314.0820 mcpenney@geoinc.com

Telephone # Cell Phone # Fax # Email Address

Print Information Below

Check One: Owner's Attorney Applicant's Attorney Engineer Surveyor Other If other, state relationship _____

Representative's Name _____

Street Address _____ City/Town _____ State _____ Zip _____

Telephone # Cell Phone # Fax # Email Address

Print Information Below

Check One: Owner's Attorney Applicant's Attorney Engineer Surveyor Other If other, state relationship _____

Representative's Name _____

Street Address _____ City/Town _____ State _____ Zip _____

Telephone # Cell Phone # Fax # Email Address

Attachments

The following materials must be submitted to the Planning Department along with the completed Application Form:

- Site Plan Application Checklist
- Ten (10) stamped and folded copies of the site plan – four (4) full-size (22" x 34") and six (6) reduced (11" x 17")
- Digital copy of any plans and/or exhibits (in PDF format)
- Application Fee (already paid)
- Any required State or Federal Permits NA

SUMMARY OF LOT INFORMATION

**FOUNDRY PLACE, LLC AND DEER STREET ASSOCIATES
DEVELOPMENT DESIGN APPROVAL PACKAGE
LOT 3 (165 DEER STREET) / MAP 125 LOT 17
AND ACCOMPANYING RELATED IMPROVEMENTS TO
LOT 2 / MAP 125 LOT 17-1
LOT 4 (163 DEER STREET) / MAP 125 LOT 17-2
LOT 5 (157-161 DEER STREET) / MAP 125 LOT 17-3**

SITE PLAN REVIEW

PRIMARY LOT:

ADDRESS	MAP	LOT	REFERENCE	AREA	OWNER
165 Deer Street	125	17	Lot 3	26,503 sf	Foundry Place, LLC

RELATED LOTS:

ADDRESS	MAP	LOT	REFERENCE	AREA	OWNER
Off Bridge Street	125	17-1	Lot 2	8,519 sf	Foundry Place, LLC
163 Deer Street	125	17-2	Lot 4	18,347 sf	Deer Street Associates
157-161 Deer Street	125	17-3	Lot 5	22,667 sf	Deer Street Associates

SUMMARY OF VARIANCES SOUGHT AND APPROVED

THE HOTEL AT FOUNDRY PLACE, "LOT 3": 165 DEER STREET, ASSESSORS MAP 125 LOT 17, AND RELATED IMPROVEMENTS TO LOTS 2, 4 AND 5 SITE PLAN REVIEW

For Lot 2:

1. A Variance from Section 10.440 to allow a surface parking lot as a principal use where such use is not allowed.
2. A Variance from Section 10.5A44 to allow a parking lot that does not comply with the requirements of the ordinance.

Approved July 18, 2017.

For Lot 3:

1. A Variance from Section 10.516.20 to allow 5'+- rear yard adjoining a railroad right-of-way where 15' is required.
2. A Variance from Section 10.1114.21 to allow 62 parking spaces utilizing a two-car lift system in each bay that does not meet the required dimensions for parking spaces.
3. A Variance from Section 10.1114.32(a) to allow vehicles to enter and leave parking spaces by passing over another parking space or requiring the moving of another vehicle.

Approved May 16, 2017.

For Lot 4

1. A Variance under Section 10.440, Use #19.40 to allow a drive-through facility as an accessory use.
2. A Variance from Section 10.516.20 to allow a 5'± rear yard adjoining a railroad right-of-way where 15' is required.
3. A Variance from 10.5A41.10D to allow a front lot line buildout of 66%± where 80% is required.
4. A Variance from Section 10.835.31 to allow an outdoor service facility (ATM) 49.7'± from the rear lot line and 48'± from the front lot line where 50' is required for each.
5. A Variance from Section 10.835.32 to allow a drive-through bypass lane 11.3'± from a lot line where 30' is required.

Approved April 18, 2017



City of Portsmouth, New Hampshire

Site Plan Application Checklist

This site plan application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan review regulations for full details.

Applicant Responsibilities (Section 2.5.2): Applicable fees are due upon application submittal along with required attachments. The application shall be complete as submitted and provide adequate information for evaluation of the proposed site development. Waiver requests must be submitted in writing with appropriate justification.

Name of Owner/Applicant: Foundry Place LLC and Deer Street Associates Date Submitted: 12/18/17

Phone Number: 207.363.3540 E-mail: ania@glrogers.com

Site Address: 165 Deer Street and Related Properties - See Attached Property Summary Sheet Map: See Attached Property Summary Sheet Lot: See Attached Property Summary Sheet

Project: Hotel At Foundry Place Zoning District: CD5 Lot area: See Attached Property Summary Sheet sq. ft.

Application Requirements			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Fully executed and signed Application form. (2.5.2.3)	Attached	N/A
<input checked="" type="checkbox"/>	All application documents, plans, supporting documentation and other materials provided in digital Portable Document Format (PDF) on compact disc, DVD or flash drive. (2.5.2.8)	Attached	N/A

Site Plan Review Application Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Statement that lists and describes "green" building components and systems. (2.5.3.1A)	Refer to Attachment J of the 12/5/17 TAC submittal package	
<input checked="" type="checkbox"/>	Gross floor area and dimensions of all buildings and statement of uses and floor area for each floor. (2.5.3.1B)	Sheet T.02T	
<input checked="" type="checkbox"/>	Tax map and lot number, and current zoning of all parcels under Site Plan Review. (2.5.3.1C)	Zoning on Sheets T.02T, X1 and X2, and Map and Lot numbers are in Title Blocks	
<input checked="" type="checkbox"/>	Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. (2.5.3.1D)	On Application	

Site Plan Review Application Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property. (2.5.3.1E)	Refer to Existing Conditions Plans X1 and X2	
<input checked="" type="checkbox"/>	Names, addresses and telephone numbers of all professionals involved in the site plan design. (2.5.3.1F)	Refer to Cover Sheet of Design Plan Set	
<input checked="" type="checkbox"/>	List of reference plans. (2.5.3.1G)	Refer to Cover Sheet of Design Plan	
<input checked="" type="checkbox"/>	List of names and contact information of all public or private utilities servicing the site. (2.5.3.1H)	Refer to Attachment K of package submitted for 12/5/17 TAC Hearing	

Site Plan Specifications

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director. Submittals shall be a minimum of 11 inches by 17 inches as specified by Planning Dept. staff. (2.5.4.1A)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans. (2.5.4.1B)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. (2.5.4.1C)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Plans shall be drawn to scale. (2.5.4.1D)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Plans shall be prepared and stamped by a NH licensed civil engineer. (2.5.4.1D)	Required on all plan sheets	N/A
<input type="checkbox"/>	Wetlands shall be delineated by a NH certified wetlands scientist. (2.5.4.1E)	Not Applicable	N/A
<input type="checkbox"/>	Wetland delineations shall be stamped by a NH certified wetlands scientist. (2.5.4.1E)	Not Applicable	N/A
<input checked="" type="checkbox"/>	Title (name of development project), north point, scale, legend. (2.5.4.2A)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Date plans first submitted, date and explanation of revisions. (2.5.4.2B)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Individual plan sheet title that clearly describes the information that is displayed.	Required on all plan sheets	N/A

Site Plan Specifications

☑	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
	(2.5.4.2C)		
☑	Source and date of data displayed on the plan. (2.5.4.2D)	Required on all plan sheets	N/A
☑	A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations." (2.5.4.2E)	Required on all plan sheets	N/A
☑	Plan sheets submitted for recording shall include the following notes: <ul style="list-style-type: none"> a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds." b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director." (2.13.3)	Included on Sheets C3.0 to C3.4	N/A
☑	Plan sheets showing landscaping and screening shall also include the following additional notes: <ul style="list-style-type: none"> a. "The property owner and all future property owners shall be responsible for the maintenance, repair and replacement of all required screening and landscape materials." b. "All required plant materials shall be tended and maintained in a healthy growing condition, replaced when necessary, and kept free of refuse and debris. All required fences and walls shall be maintained in good repair." c. "The property owner shall be responsible to remove and replace dead or diseased plant materials immediately with the same type, size and quantity of plant materials as originally installed, unless alternative plantings are requested, justified and approved by the Planning Board or Planning Director." (2.13.4)	Sheet L2, and Draft Landscape Maintenance Agreement provided for review and comment by City	N/A

Site Plan Specifications – Required Exhibits and Data

<input checked="" type="checkbox"/>	1. Existing Conditions: (2.5.4.3A)	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	a. Surveyed plan of site showing existing natural and built features;		
<input type="checkbox"/>	b. Zoning boundaries;		
<input checked="" type="checkbox"/>	c. Dimensional Regulations;	Sheet T.02T	
<input type="checkbox"/>	d. Wetland delineation, wetland function and value assessment;	Not Applicable	
<input type="checkbox"/>	e. SFHA, 100-year flood elevation line and BFE data.	Not Applicable	
	2. Buildings and Structures: (2.5.4.3B)		
<input checked="" type="checkbox"/>	a. Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation;	Sheet C3.1	
<input checked="" type="checkbox"/>	b. Elevations: Height, massing, placement, materials, lighting, façade treatments;	Sheets A2.01T thru A2.03T	
<input checked="" type="checkbox"/>	c. Total Floor Area;	Sheet T.02T	
<input checked="" type="checkbox"/>	d. Number of Usable Floors;	Sheet T.02T	
<input checked="" type="checkbox"/>	e. Gross floor area by floor and use.	Sheet T.02T	
	3. Access and Circulation: (2.5.4.3C)		
<input checked="" type="checkbox"/>	a. Location/width of access ways within site;	Sheets C3.0 to C3.3	
<input checked="" type="checkbox"/>	b. Location of curbing, right of ways, edge of pavement and sidewalks;	Sheets C3.0 to C3.3	
<input checked="" type="checkbox"/>	c. Location, type, size and design of traffic signing (pavement markings);	Sheets C3.0 to C3.3	
<input checked="" type="checkbox"/>	d. Names/layout of existing abutting streets;	Sheet C3.0	
<input checked="" type="checkbox"/>	e. Driveway curb cuts for abutting prop. and public roads;	Sheets C3.0 to C3.3	
<input type="checkbox"/>	f. If subdivision; Names of all roads, right of way lines and easements noted;	Not Applicable	
<input checked="" type="checkbox"/>	g. AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC).	Sheet C3.6	
	4. Parking and Loading: (2.5.4.3D)		
<input checked="" type="checkbox"/>	a. Location of off street parking/loading areas, landscaped areas/buffers;	Sheets C3.0 to C3.3	
<input checked="" type="checkbox"/>	b. Parking Calculations (# required and the # provided).	Sheet T.02T	
	5. Water Infrastructure: (2.5.4.3E)		
<input checked="" type="checkbox"/>	a. Size, type and location of water mains, shut-offs, hydrants & Engineering data;	Sheets C5.1, C8.3 and C8.4 and Attachment D	
<input type="checkbox"/>	b. Location of wells and monitoring wells (include protective radii).	Not Applicable	
	6. Sewer Infrastructure: (2.5.4.3F)		
<input checked="" type="checkbox"/>	a. Size, type and location of sanitary sewage facilities & Engineering data.	Sheets C5.0, C7.0, C8.3 and C8.4, and Attachment D	
	7. Utilities: (2.5.4.3G)		
<input checked="" type="checkbox"/>	a. The size, type and location of all above & below ground utilities;	Sheets C5.0, C5.1, and C5.2	
<input checked="" type="checkbox"/>	b. Size type and location of generator pads, transformers and other fixtures.	Sheets C5.1 and C5.2	
<input type="checkbox"/>	8. Solid Waste Facilities: (2.5.4.3H)		
<input checked="" type="checkbox"/>	a. The size, type and location of solid waste facilities.	Sheets C3.1 (notes) and Sheet A101T	
	9. Storm water Management: (2.5.4.3I)	Item Location	Waiver Requested

<input type="checkbox"/>	a. The location, elevation and layout of all storm-water drainage.		
	10. Outdoor Lighting: (2.5.4.3J)		
<input checked="" type="checkbox"/>	a. Type and placement of all lighting (exterior of building, parking lot and any other areas of the site) and; b. photometric plan.	Refer to Attachment G of the submittal package and Sheets A2.01T TO A2.03T	
<input checked="" type="checkbox"/>	11. Indicate where dark sky friendly lighting measures have been implemented. (10.1)	Refer to Attachment G of the submittal package	
	12. Landscaping: (2.5.4.3K)		
<input type="checkbox"/>	a. Identify all undisturbed area, existing vegetation and that which is to be retained;	Not Applicable	
<input checked="" type="checkbox"/>	b. Location of any irrigation system and water source.	Municipal water to be used for all landscaped areas	
	13. Contours and Elevation: (2.5.4.3L)		
<input checked="" type="checkbox"/>	a. Existing/Proposed contours (2 foot minimum) and finished grade elevations.	Sheets X1 and X2 and Sheets C4.1, C4.2 and C4.3	
	14. Open Space: (2.5.4.3M)		
<input checked="" type="checkbox"/>	a. Type, extent and location of all existing/proposed open space.	Sheet C3.6	
<input checked="" type="checkbox"/>	15. All easements, deed restrictions and non-public rights of ways. (2.5.4.3N)	Sheets E1, E2 and E3, and Attachment B	
<input type="checkbox"/>	16. Location of snow storage areas and/or off-site snow removal. (2.5.4.3O)	Refer to note on Sheet C3.1	
<input checked="" type="checkbox"/>	17. Character/Civic District (All following information shall be included): (2.5.4.3Q)		
	a. Applicable Building Height (10.5A21.20 & 10.5A43.30);	Sheet T.02T	
	b. Applicable Special Requirements (10.5A21.30);	Sheet T.02T	
	c. Proposed building form/type (10.5A43);	Sheets T.02T, A2.02T and A2.03T	
	d. Proposed community space (10.5A46).	Sheet C3.4	

Other Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Traffic Impact Study or Trip Generation Report, as required. <i>(Four (4) hardcopies of the full study/report and Six (6) summaries to be submitted with the Site Plan Application) (3.2.1-2)</i>	Refer to Attachment C of the 12/5/17 TAC submittal package	
<input checked="" type="checkbox"/>	Indicate where Low Impact Development Design practices have been incorporated. (7.1)	Refer to the Stormwater Report In Attachment C	
<input type="checkbox"/>	Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. (7.3.1)	Not Applicable	
<input checked="" type="checkbox"/>	Indicate where measures to minimize impervious surfaces have been implemented. (7.4.3)	Refer to the Stormwater Report In Attachment C	
<input checked="" type="checkbox"/>	Calculation of the maximum effective impervious surface as a percentage of the site. (7.4.3.2)	Refer to the Stormwater Report In Attachment C	
<input checked="" type="checkbox"/>	Stormwater Management and Erosion Control Plan. <i>(Four (4) hardcopies of the full plan/report and Six (6) summaries to be submitted with the Site Plan Application) (7.4.4.1)</i>	Sheets C6.0 and C6.1	

Final Site Plan Approval Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	All local approvals, permits, easements and licenses required, including but not limited to: <ol style="list-style-type: none"> Waivers; Driveway permits; Special exceptions; Variances granted; Easements; Licenses. (2.5.3.2A)	Refer to Sheets E1, E2, and E3, and Attachment B for a summary of Easements, and Sheet T.02T for a summary of variances	
<input checked="" type="checkbox"/>	Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: <ol style="list-style-type: none"> Calculations relating to stormwater runoff; Information on composition and quantity of water demand and wastewater generated; Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls; Estimates of traffic generation and counts pre- and post-construction; Estimates of noise generation; A Stormwater Management and Erosion Control Plan; Endangered species and archaeological / historical studies; Wetland and water body (coastal and inland) delineations; Environmental impact studies. (2.5.3.2B)	<ol style="list-style-type: none"> Refer to Attachment C for the Stormwater Report; Refer to Attachment D for the Building Load Calculations; Refer to Attachment K of the 12/5/17 TAC submittal for Sustainable Strategies; Refer to Attachment C of the 12/5/17 TAC submittal; Refer to Attachment C and Sheets 6.0 and 6.1; Refer to Attachment I of the 12/5/17 TAC submittal; and e., h., and i.: Not requested or N/A 	
<input checked="" type="checkbox"/>	A document from each of the required private utility service providers indicating approval of the proposed site plan and indicating an ability to provide all required private utilities to the site. (2.5.3.2D)	Refer to Attachment E for evidence of utility commitments.	
<input type="checkbox"/>	A list of any required state and federal permit applications required for the project and the status of same. (2.5.3.2E)	NA	

Applicant's Signature: _____ **Date:** _____

Reviewed by: _____ **Date Reviewed:** _____



GeoInsight®

Environmental Strategy & Engineering
Practical in Nature

December 18, 2017

GeoInsight Project 8090-000

Ms. Juliet T. H. Walker
Planning Director (Chair)
City of Portsmouth Technical Advisory Committee
City Hall, 3rd Floor
1 Junkins Avenue
Portsmouth, NH 03801

RE: January 2, 2018 TAC Hearing Site Plan Review Submittal
The Hotel At Foundry Place, "Lot 3"
165 Deer Street, Assessors Map 125 Lot 17
And Related Improvements To Lots 2, 4 And 5
Foundry Place LLC and Deer Street Associates
Portsmouth, NH 03801

Ms. Walker and TAC Members:

On behalf of Foundry Place LLC and Deer Street Associates (Foundry Place/DSA, the owners), GeoInsight, Inc. (GeoInsight) prepared this letter and attachments for the City of Portsmouth (the City) Technical Advisory Committee (TAC) for the January 2, 2018 Public Hearing. As requested by the City, this submittal seeks approval of the proposed redevelopment of Lot 3 and also approval of proposed improvements to two adjacent properties and one nearby by property; the proposed off-site improvements are required for the proposed development of Lot 3. The design package was reformatted to include a single submittal for the proposed changes to each of the affected lots.

In addition, a change of ownership became effective on December 13, 2017, and now Foundry Place, LLC owns Lots 2 and 3, and Deer Street Associates owns Lots 4 and 5. Given the timing of the transition, both owners are named in some of the submittal materials, but not all of the information contained within the attached submittal package was able to be updated in time for the December 19, 2017 submittal date. We do anticipate updating the relevant information for the Planning Board submittal.

Revisions and additions to the Lot 3 design, and the improvements to Lots 2, 4, and 5, are based upon a written list of topics and comments provided by TAC on December 5, 2017 for the Lot 3 design, and also discussions and comments received during the December 5, 2017 TAC Hearing. These comments from TAC formed the basis of our response submittal that accompanies this cover letter. Included with this letter is a Comment Response Matrix (Table 1) prepared to track the

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200 Court Street, 2nd Floor
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GeoInsight, Inc.
4 Market Place Drive, 2nd Floor
York, ME 03909
Tel (207) 606-1043



individual issues identified by the City regarding the December 5, 2017 design submittal package, and the subsequent response from the Foundry Place/DSA team. As indicated on the table, most of the comments provided by TAC have been addressed. We anticipate that the items listed in Table A that are highlighted in yellow, as well as new changes made to the design, will form the basis of the January 2, 2018 TAC hearing discussions.

Also included with this cover letter are an updated Site Review Application Form and a Site Plan Application Checklist. Each of these two documents were formatted to address both the Lot 3 design and the improvements proposed for Lots 2, 4, and 5.

Additional updated or new information for consideration as part of the overall design package is included on the design plans and in the submittal Attachments. The following is a generalized summary of the changes in the design package.

1. Revised Vision Statement

The Vision Statement for the development of Lots 2 through 6 was updated to remove the “symbiotic” reference and removed Historic District zoning references, and is included at Attachment A.

2. Easement Modifications

The proposed easement plans related to Lot 3 were revised to include Lots 2, and 4. There are not easements needed for Lot 5 that are related to Lot 3. Easement Plans were updated along with the Easement Summary Table (Attachment B) to provide improved consistency.

3. Revised Stormwater Report

The Lot 3 stormwater report was updated to reflect the minor changes in grading and drainage design, and also additional information regarding the impracticality of infiltrating stormwater on or off the property. Also, as discussed during the December 5, 2017 TAC Hearing, the stormwater management approach being used for Lot 3 does take into account future stormwater management requirements for Lots 4 and 5, as preliminary evaluations for those other lots were initiated concurrently with the evaluation for Lot 3. The revised Stormwater Report is included in Attachment C.

4. Building Load Information

The water and sewer requirement calculations for the Lot 3 hotel building were updated for this submittal, as were the calculations for the grease traps. This information is included in Attachment D.

5. Utility Will Serve Letters and Confirmation of Utility Information

Based upon comments from TAC, utility providers were asked to provide a more definitive commitment with regard to their ability to service the proposed Lot 3 development. GeoInsight provide copies of proposed utility plans to the providers and has requested revised letters that specifically reference the proposed designs. Information received as of the date of this letter is included in Attachment E. Confirmation not included is anticipated to be provided by hand at the January 2, 2018 TAC Hearing.



6. Landscape Maintenance Agreement

Based upon the proposed use of vegetated strips within the City sidewalk right-of-way, TAC requested that a formal agreement be developed that would define the owner's responsibilities with regard to the plantings and the planting areas. Therefore, a Draft Landscape Maintenance Agreement (Attachment F) was prepared that includes spaces for City input and also suggested language. We request that the City review and comment on the document.

Evaluation of the Impact of Lot 3-Related Construction on Future Lot 4 Utilities


Numerous modifications to the Lot 4 property are planned for the benefit of the proposed Lot 3 development. These include gas, electric, communications, sewer, stormwater drainage, egress, signs, lighting, and other easements (refer to Attachment B). Despite these features occupying the southwest portion of Lot 4, the future development of Lot 4 is not expected to be significantly impacted by the Lot 3-related improvements because: the drive-around will remain for Lot 4 and future Lot 5 use; water, sewer, and gas are expected to connect directly to infrastructure in Deer Street; stormwater will be managed by the infrastructure already installed for Lot 3 and by being discharged to the City drainage infrastructure in Deer street; and electrical and communications services will be able to connect to the new infrastructure installed for Lot 3. Therefore, the proposed Lot 3 development and its reliance on a portion of Lot 4 for easements, is not expected to have an adverse influence on the future formal design for Lot 4.

Lot 2 Unencumbered Space

Geolinsight's previous and current drawing (Sheet C3.4) that addresses Community Space identifies what areas of the Foundry Place, LLC Lot 2 property were utilized by DSA for Lot 6 and will be utilized by Foundry Place, LLC for Lot 3. Because Lot 3 and Lot 6 will be counting some of the Lot 2 space toward development incentives, a formal arrangement is necessary to keep the Lot 2 area as Community Space in the future. With regard to the remaining space on Lot 2 that has not yet been appropriated for other future incentives, Foundry Place expects to reserve the right to use the space for future incentives or assign that right to DSA. However, the entirety of Lot 2 is still planned to be transferred to the City by Foundry Place, LLC at the end of the development process, whether there is unencumbered space remaining on Lot 2 at the time of the transfer or not.

The Foundry Place/DSA team appreciates the opportunity to work with the TAC and interested members of the public on this project. If you have questions about the information in this cover letter or attached materials, please contact us at (603) 314-0820.

Sincerely,
GEOINSIGHT, INC.


Michael C. Penney, P.E.
Senior Engineer/Senior Associate

Enc.

TABLE 1
RESOLUTION SUMMARY of DECEMBER 5, 2017 165 DEER STREET (DSA LOT 3) TAC HEARING COMMENTS

Comment #	Comment	Status	Response
1	Complete the Site Plan Review Checklist	Addressed	Site Plan Review Checklists completed for Lots 2, 3, and 4.
2	The driveway crossing area near the hotel drop-off should be asphalt, not brick.	Open Item	The crossing is still shown to be brick in the interest of engaging TAC in further discussion on this issue.
3	The dashed line shown in the drive-around should be solid.	Resolved	See Sheets C3.1 to C3.3
4	Dashed line leading to drive-thru can begin where arrows are located	Resolved	See Sheet C3.1 to C3.3
5	Stairs leading to Foundry Place from front sidewalk not preferred; need to deter pedestrians from crossing except at crosswalk.	Resolved	Use of vegetated strips in the sidewalk expanded along the Foundry Place to discourage leaving the sidewalk.
6	End of sidewalk nearest to City Garage is narrow. Will this be sufficient for pedestrian passage?	Addressed	The minimum sidewalk width at the southwest end of Lot 3 sidewalk is 8 feet, which is the same width as several other narrow locations in front of Lot 3 where the building projects out into the sidewalk. The width <u>meets</u> minimum criteria.
7	Due to improvements on adjacent Lots for the benefit of Lot 3, a joint application should be provided.	Resolved	A revised format was provided to allow the City to approve the proposed modifications to Lot 2, 4, and 5 for the purposes of developing Lot 3.
8	Impacts to Lot 4 including all easements, utilities, etc. to support adjacent developments (Lot 3, Lot 5) need to be clearly identified. Also, identify impacts to development/construction of Lot 4 building, utilities, etc. as a result.	Addressed	A response to this comment was provided at the December 5, 2017 Hearing and is also included in the Cover Letter for the January 2, 2018 Hearing.
9	Note #11 on the Site Notes (C1.1) should reference any public roadway, curbing, and sidewalks (not just Foundry Place).	Resolved	Note modified on Sheet C1.1.
10	Please confirm that your open space areas identified on sheet 3.6 conform with the zoning section 10.515.20 of the zoning ordinance.	Resolved - No Change Needed	Open space provided is 10% of Lot 3, where 5% is required, and 29% of the open space is pervious, where 20% is required.
11	Anywhere you reference a detail (TYP.) please refer to the specific detail sheet # and reference # in the plan set.	Resolved	Edits were made to Civil Sheets to include references to specific details on detail sheets, were applicable.
12	A removable screen is proposed around the transformer pad. We're not sure this complies with the site plan review requirements for screening in Section 6.9, we will need to discuss.	Unresolved	Further discussion with TAC is desired by the Lot 3 team.
13	Project Vision (Attachment A). City staff do not agree with your statement that this project and the parking garage "are being developed in collaboration and are symbiotic in nature."	Addressed	The Vision Plan (Attachment A) was revised to acknowledge the separate nature of designs being pursued by the City and Foundry Place, LLC and DSA, and clarifying what was intended to be meant by collaboration.
14	Stormwater Management Study needs to go out for third party review in respect to drainage and stormwater management, and should be considered in the context of other future DSA development projects in the vicinity.	Addressed	GeoInsight revised its Stormwater Management Report, and Foundry Place, LLC agreed to support City's need for third party review but requests expedited process.
15	3 rd party review of Traffic Report and proposed traffic pattern on Lot 4 / Lot 3 requested.	Addressed	Gorrill Palmer will issue a revised traffic memo specific to the proposed traffic patterns on Lots 3 and 4 , and their relation to Deer Street, and Foundry Place, LLC and DSA agreed to support City's need for third party review but requests expedited process.
16	A Construction Mitigation and Management Plan shall be required for this project once it receives Site Plan approval.	Acknowledged	A Construction Mitigation and Management Plan will be provided after the project receives Site Plan approval.

**TABLE 1
RESOLUTION SUMMARY of DECEMBER 5, 2017 165 DEER STREET (DSA LOT 3) TAC HEARING COMMENTS**

17	Final utility plan needs to be signed off (in writing, reference plan version) by Unutil, Eversource, Fairpoint, First Light, Comcast.	In Progress	In addition to Will Serve letters, Foundry Place, LLC and DSA expect to receive utility sign-offs on design plans in time for the January 2 Hearing.
18	No loading will be allowed on Foundry Place, therefore the walkways on that side shall be designed not to encourage that use.	Addressed	Refer to response to Comment #5.
19	Please provide drafts of proposed landscaping maintenance agreements for review by the City.	Addressed	A Draft Landscape Maintenance Agreement was included with the submittal package.
20	Explain sewer/water use calculations in Attachment F. Values appear inconsistent.	Addressed	Sewer and water use calculations were updated and included in Attachment D of the submittal package.
21	Calculations for grease trap sizing will need to be provided. Interior grease traps might be required in addition to exterior units per plumbing code requirements. Engineer to verify.	Addressed	Grease trap sizing calculations updated and included in Attachment D of the submittal package.
22	Update the Easement Table and Easement Figures to match; make sure it includes the electric easement on Lot 4 for Lot 3.	Resolved	Sheets E1, E2, and E3, and the Easement Summary Tables included in Attachment B were edited to be consistent and are included in the submittal.
23	City wants to control the ability to light the sidewalk, therefore they want decorative City street lights installed. Resolve light provided/guaranteed by building with City lights.	Addressed	Sidewalk lights are shown on Sheet L2. Updated building lighting information is included in Attachment G.
24	Update the zoning compliance table to include required dimensional information. Update square footage.	Addressed	Zoning compliance table updated. Dates of approvals for variances sought also included (Sheet T.02T).
25	Revisit Community Space calculation if outside tables are going to be used on sidewalks.	Addressed	Community Space calculations and illustrations (Sheet C3.3) was revised to exclude terrace area in front of hotel and is included.
26	Revise colors and locations of Open Space and Community Space sheets.	Addressed	Community Space and Open Space illustrations (Sheets C3.3 and C3.4) were updated for clarity.
27	Define how "unclaimed" portion of Community Space will be assigned.	Addressed	Addressed in cover letter. Area will be banked for future use as Community Space by DSA if possible, but will be turned over to the City with the remainder of the lot area.
28	City asked for Lot 2 frontage "surety."	Unresolved	Issue to be discussed further with City at the January 2, 2018 Hearing.
28	Define whether benches and other streetscape features are consistent with City specifications.	Addressed	Benches and other streetscape features will be consistent with City specifications.
29	Because City cannot access railroad side of building, the High-Rise provisions of the Code become effective which will mean pressurized sprinklers in stairwells and sprinklers may be required for lifts.	Pending	If required by Code, the required sprinklers will be provided.
30	Use non-flammable mulch at rear of building, if mulch is used at all.	Addressed	Mulch used on the property, if any, will be a non-combustible material. Stone will be used at the rear of the building.
31	Confirm gas company can supply the required volume and rate of gas to support hotel needs.	Pending	Communications were initiated with Unutil, but still awaiting a formal reply.
32	DPW requested additional information on comparison of DSA proposed street alignment and that proposed by Tighe and Bond.	Resolved	GeoInsight prepared an overlay plan showing both alignments.

Geo

ATTACHMENT A

**Summary of Overall Redevelopment Vision
Foundry Place LLC and Deer Street Associates**

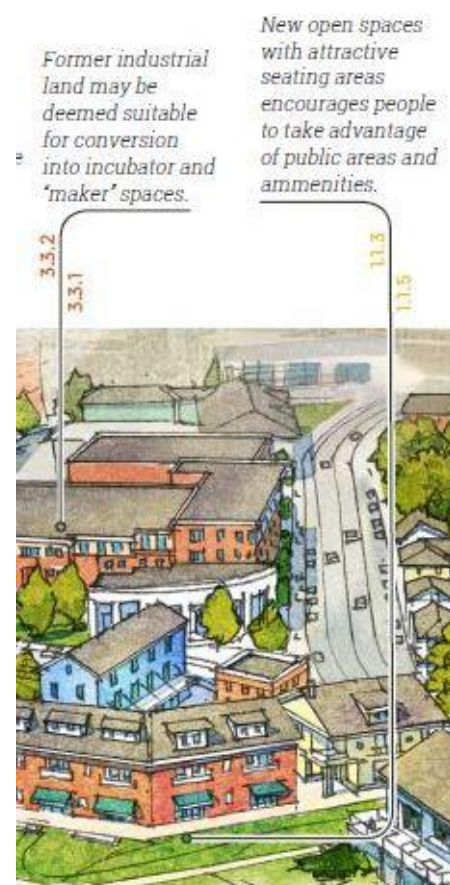
Project Vision

The vision for this project is to create a vibrant and pedestrian friendly neighborhood experience. The proposed Lot 3 development by Foundry Place LLC, and the City's new municipal parking garage are being developed and coordinated concurrently. The project goal is to create a harmonious Portsmouth experience throughout this neighborhood area for residents and visitors to enjoy. With these ideas in mind, special consideration is given to support *Zoning Ordinance Section 10.121 "General Purpose and Intent: The Ordinance is intended to implement the goals and objectives of the Master Plan..."*.



Objectives

- **Welcoming, vibrant & pedestrian friendly atmosphere**
 - Activated street level -- Mixed use with restaurants & retail
 - Human scale – façade massings, modulations, details & textures
 - Enhanced streetscape – wide sidewalks, enhanced hardscapes, plantings, lighting and furnishings
- **Sense of place** – a destination with distinctive and historically compatible character
 - Historic legacy -- Train Station, Steam Factory, machine shops, tannery and foundry
 - Edge boundary of Historic District, transition zone
 - Arrival into city –a balanced contextual entranceway
 - Spatial relationships between two types of surroundings:
 - Urban open space (streets, sidewalks) as a city “rooms” defined by deliberate building edges.
 - Rural open space (pond, cemetery), reduced massing & scale with setbacks and courtyards.
- **Fulfill goals of City Master Plan and North End Vision Plan**
 - **Connectivity** - Enhanced visual and pedestrian connections within and between neighborhoods (*Master Plan 1.1.2, 1.1.3, 2.2.1*)
 - Open Civic Space – extra wide sidewalks, and community space plazas
 - Maintain views along entrance into city by creating larger gaps between buildings with smaller footprints. A variance is required for Lot 4, for building frontage less than minimum required in CD5.
 - **Building design**
 - “...an opportunity for more contemporary building design, styles and materials to help define the North End as a separate district.”
 - “...the North End as a unique entity while complementing and contrasting with historic character of the larger downtown.” (*Master Plan, pg. 108-110; Northend Vision Plan Pg.1*)
 - **Human scale**; a rich urban experience; scaled to fit surroundings, per Character-Based Zoning
 - **Land use** (*Master Plan 3.2.2 & 3.3; ZO Incentive 10.5A46.20*) Diversity; mixed-income housing with both workforce and market rate housing at Lot 5
 - **Vibrancy**, support for the Arts -- Extra high ceilings and open floor plans at Lot 4 office space, for flexible, creative usage options such as “incubator and maker spaces” (*Master Plan 3.3.2*)



- **Sustainability** (*Master Plan 5.4*).
 - Improve and exceed code minimums for energy performance by 50%, for reduced carbon footprint.
 - Locally sourced and durable materials.
 - Innovative construction methods and materials technologies for long lasting, enduring buildings.

- **Coastal Resiliency** (*Master Plan 5.1*) Raised floor heights for flood events and water mitigation strategies for below grade parking.

ATTACHMENT B

Summary of Easements/Agreements

Lot 2	Type	From	To	Purpose	Description
Lot 2	Easement	Foundry Place, LLC Lot 2	Eversource	Permanent ROW	Buried Utility Access
Lot 2	Easement	Foundry Place, LLC Lot 2	Verizon/AT&T	Permanent ROW	Buried Utility Access
Lot 2	Easement	Foundry Place, LLC Lot 2	Comcast/Fairpoint	Permanent ROW	Buried Utility Access
Lot 2	Easement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	No-Build Zone	No structures within 30' of Lot 3 Property Line
Lot 2	Easement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	Construction and Maintenance	Equipment Operation, Materials Laydown, Temporary Disturbance and Exterior Cleaning & Repair
Lot 2	Easement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	Encroachment	Building Features and Projections Beyond Property Line
Lot 2	Easement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	Community Space	Count Lot 2 Space Toward Lot 3
Lot 2	Easement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	Encroachment	Light Spillage
Lot 2	Agreement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	Temporary Parking	During Construction
Lot 2	Easement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	Permanent Access	Side Door Egress
Lot 2	Easement	Foundry Place, LLC Lot 2	City of Portsmouth	Sewer	Buried Utility Access
Lot 2	Easement	Foundry Place, LLC Lot 2	City of Portsmouth	Water	Hydrant Easement
Lot 2	Easement	Foundry Place, LLC Lot 2	City of Portsmouth	Construction and Maintenance	Equipment Operation, Materials Laydown, Temporary Disturbance and Exterior Cleaning & Repair
Lot 2	Easement	B&M Railroad	Foundry Place, LLC Lot 2	No-Build Zone	No structures within 10' of Rear Property Line
Lot 2	Easement	Foundry Place, LLC Lot 2	DSA Lot 6	Community Space	Count Lot 2 Space Toward Lot 6

Lot 3	Type	From	To	Purpose	Description
Lot 3	Easement	Foundry Place, LLC Lot 3	Eversource	Permanent ROW	Buried Utility Access
Lot 3	Easement	Foundry Place, LLC Lot 3	Verizon/AT&T	Permanent ROW	Buried Utility Access
Lot 3	Easement	Foundry Place, LLC Lot 3	Comcast/Fairpoint	Permanent ROW	Buried Utility Access
Lot 3	Easement	Foundry Place, LLC Lot 3	City of Portsmouth	Right of Use	Community Space
Lot 3	Easement	Foundry Place, LLC Lot 3	City of Portsmouth	Right of Use	Public Use of Sidewalk
Lot 3	Easement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	Construction and Maintenance Easement	Equipment Operation, Materials Laydown, Temporary Disturbance and Exterior Cleaning & Repair
Lot 3	Easement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	Encroachment	Building Features and Projections Beyond Property Line
Lot 3	Easement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	Community Space	Count Lot 2 Space Toward Lot 3
Lot 3	Easement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	Encroachment	Light Spillage
Lot 3	Agreement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	Temporary Parking	During Construction
Lot 3	Easement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	Permanent Access	Side Door Egress
Lot 3	Easement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	No-Build Zone	No structures within 30' of Lot 3 Property Line
Lot 3	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Construction and Maintenance	Equipment Operation, Materials Laydown, Temporary Disturbance and Exterior Cleaning & Repair
Lot 3	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Service	Eversource Transformer?
Lot 3	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Service	Unitil Gas
Lot 3	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Service	Eversource
Lot 3	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Service	Verizon/AT&T
Lot 3	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Service	Comcast/Fairpoint
Lot 3	Agreement	DSA Lot 4	Foundry Place, LLC Lot 3	Temporary Parking	During Construction
Lot 3	Agreement	DSA Lot 3	DSA Lot 4	Designated Parking	Accommodate Displaced Bank Parking
Lot 3	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Temporary Lighting	Drive Around Area
Lot 3	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Signs	Wayfinding
Lot 3	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Access and Egress	Use of Lot 4 Driveway and Loading Zone
Lot 3	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Sanitary Sewer	Grease Traps/Sewer Lines
Lot 3	Easement	PanAm RR	Foundry Place, LLC Lot 3	No-Build Zone	No structures within 10' of Rear Property Line
Lot 3	Agreement	PanAm RR	Foundry Place, LLC Lot 3	Permanent Maintenance	Exterior Cleaning & Repair

Lot 4	Type	From	To	Purpose	Description
Lot 4	Easement	DSA Lot 4	Eversource	Permanent ROW	Lot 4 Buried Utility Access
Lot 4	Easement	DSA Lot 4	Verizon/AT&T	Permanent ROW	Lot 4 Buried Utility Access
Lot 4	Easement	DSA Lot 4	Comcast/Fairpoint	Permanent ROW	Lot 4 Buried Utility Access
Lot 4	Easement	DSA Lot 4	Unitil Gas	Permanent ROW	Lot 4 Buried Utility Access
Lot 4	Easement	DSA Lot 4	City of Portsmouth	Sanitary Sewer	For Sewer Main Portion
Lot 4	Easement	DSA Lot 4	City of Portsmouth	Right of Use	Public Use of Sidewalk
Lot 4	Easement	DSA Lot 4	City of Portsmouth	Storm Sewer	20' Wide, Buried Utility Access
Lot 4	Easement	B&M Railroad	DSA 4	No-Build Zone	No structures within 10' of Rear Property Line
Lot 4	Agreement	DSA Lot 4	Foundry Place, LLC Lot 3	Temporary Lighting	Drive Around Area
Lot 4	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Signs	Wayfinding
Lot 4	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Construction and Maintenance	Equipment Operation, Materials Laydown, Temporary Disturbance and Exterior Cleaning & Repair
Lot 4	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Service	Eversource
Lot 4	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Service	Unitil Gas
Lot 4	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Service	Eversource
Lot 4	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Service	Verizon/AT&T
Lot 4	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Service	Comcast/Fairpoint
Lot 4	Agreement	DSA Lot 4	Foundry Place, LLC Lot 3	Temporary Parking	During Construction
Lot 4	Agreement	Foundry Place, LLC Lot 3	DSA Lot 4	Designated Parking	Accommodate Displaced Bank Parking
Lot 4	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Access and Egress	Use of Lot 4 Driveway and Loading Zone
Lot 4	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Sanitary Sewer	Grease Traps/Sewer Lines
Lot 4	Easement	DSA Lot 4	DSA Lot 5		
Lot 4	Easement	DSA Lot 4	DSA Lot 5	Construction and Maintenance	Equipment Operation, Materials Laydown, Temporary Disturbance and Exterior Cleaning & Repair
Lot 4	Easement	DSA Lot 5	DSA Lot 5	Access and Egress	Use of Lot 4 Driveway and Loading Zone

ATTACHMENT D

Updated Building Utility Load Information

Hydrant Flow Test Report

Test Date 7/28/2014

Test Time 10:30

Location

Deer Street in front of VFW

Tested by

Atlantic Design Resources Ltd

Notes

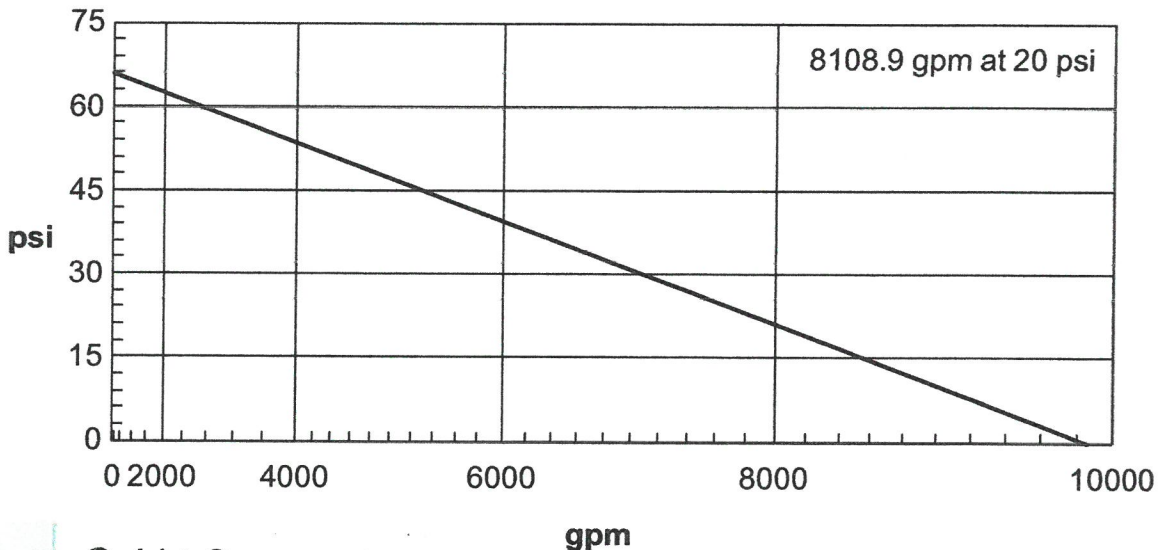
Read Hydrant

66 psi static pressure
64 psi residual pressure
3 ft hydrant elevation

Flow Hydrant(s)

Outlet	Elev	Size	C	Pitot Pressure	Flow
#1	3	4	.9	12	1489 gpm

Flow Graph



Gobbi Corporation

Joseph R. Gobbi, Jr.

Owner

P.O. Box 457

Greenland, NH 03840

P: 603-235-7842

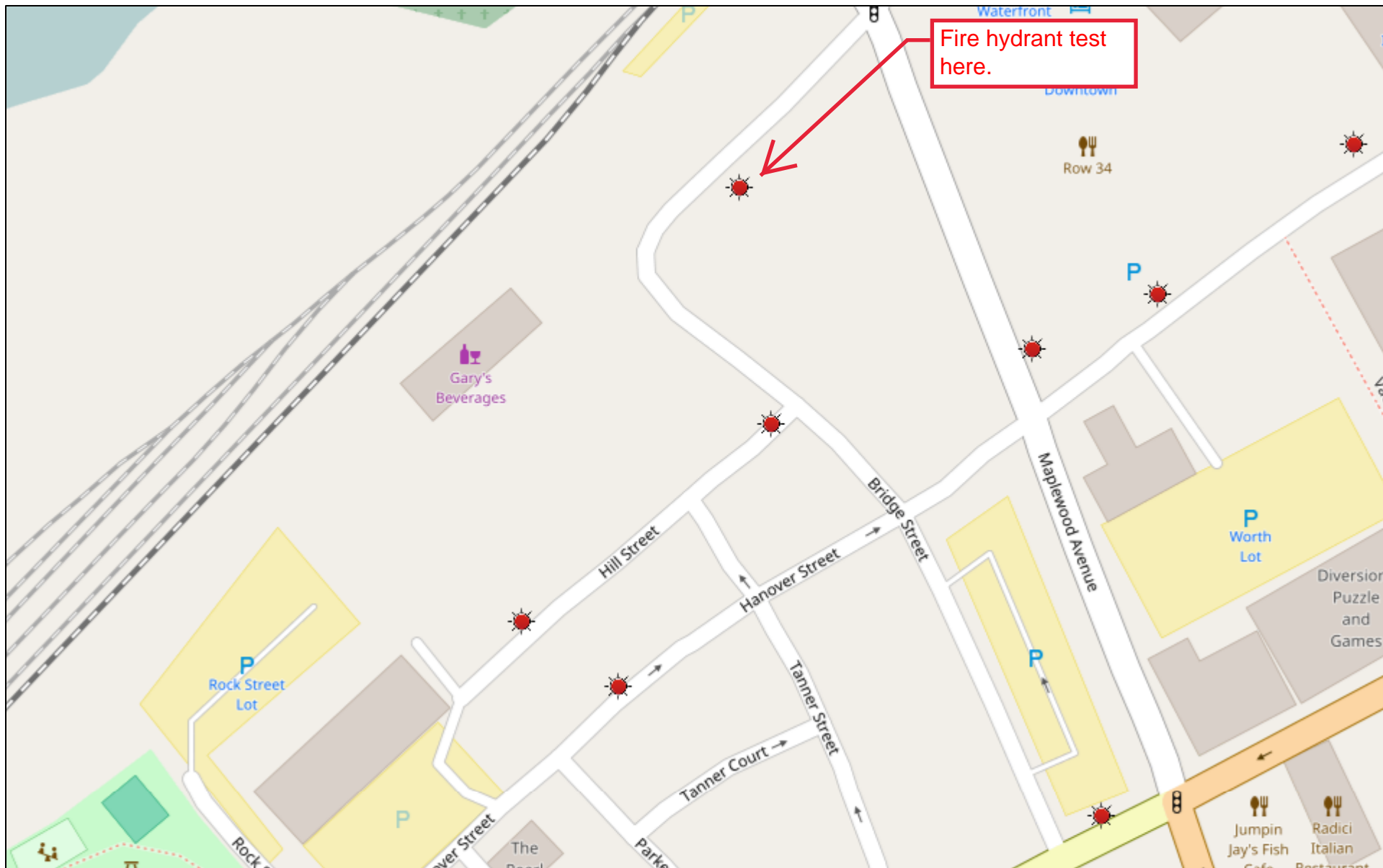
F: 603-427-1685

joegobbi@gmail.com

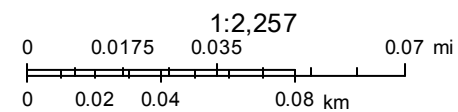
hydrant flow test program from www.igneusinc.com



Deer St_Hill St Fire Hydrants



October 23, 2016



Map data © OpenStreetMap contributors, CC-BY-SA

December 8, 2017

RE: JSA
Deer Street Associates
Building Concept
Utility Flow Rates

Lot 3 Building Concept: Mixed Use – (Business, Hotel)

Water flow rate: (Based on AWWA Table 5) 50 GPD per Bath 128 = 6,400 GPD
1ST & 5th Floor Restaurant water flow rates – 12 GPD Assume 700 patrons = 8400 GPD
Sewer flow rates: (Based on Type of Establishments)
Hotel @ 45 GPD per bedroom, 128 bedrooms = 5,760 GPD
Restaurants & Offices = 2,490 GPD
Storm Runoff: (Based on Roof Area) = 0.538 CF/S
Gas Load: (Based on 25 BTU/SF) = 2,678,300 BTU/Hr

Lot 4 Building Concept: (Restaurants/Office)

Water flow rate: (Based on AWWA Table 5) 12 GPD per patron (2-restaurants/Office) 350 = 4,200 GPD
Sewer flow rates: (Based on Type of Establishments)
Restaurant @ 8 GPD per patron, 300 patron = 2,400 GPD
Office @ 15 GPD per employee, 50 employees = 750 GPD
Storm Runoff: (Based on Roof Area) = 0.485 CF/S
Gas Load: (Based on 25 BTU/SF) = 803,825 BTU/Hr

Lot 5 Building Concept: (Mixed Use – parking Garage/Retail/Apartments)

Water flow rate: (Based on AWWA Table 5) 50 GPD per Bath 63 = 3,150 GPD
Sewer flow rates: (Based on Type of Establishments)
Apartment @ 110 GPD per bedroom unit, 47 bedrooms = 5,170 GPD
Retail @ 50 GPD per 1,000 SF = 550 GPD
Storm Runoff: (Based on Roof Area) = 1.06 CF/S
Gas Load: (Based on 25 BTU/SF) = 1,934,950 BTU/Hr

Lot 6 Building Concept: (Apartments)

Water flow rate: (Based on AWWA Table 5) 50 GPD per Bath 63 = 3,150 GPD
Sewer flow rates: (Based on Type of Establishments)
Apartment units @ 110 GPD per bedroom unit, 43 bedrooms = 4,730 GPD
Retail @ 50 GPD per 1,000 SF = 90 GPD
Storm Runoff: (Based on Roof Area) = 0.97 CF/S
Gas Load: (Based on 25 BTU/SF) = 1,493,270 BTU/Hr

WATER USAGE CALCULATIONS

DEER STREET- PORTSMOUTH, NH - -Water/Drainage Calculation					
Building #3					
Restaurant : Ground Floor Café -(250 seats) 600 commuters - 12-16 Hrs/Day					
Restaurant : Rooftop Lounge (100 seats) - 12 Hrs/Day					
Hotel Rooms: 128					
This calculation indicate flow rates per user group					
(note: Estimates are based on US standards for water usage and sewage strength.)					
Assumption: Restaurant - 2 meals/seat/day at least 30 Employees					
TYPE OF ESTABLISHMENT	QUANTITY	UNIT	GALLONS/DAY	MINIMUM ALLOWABLE GPD FOR SYSTEM DESIGN	
Restaurant - Gr. Flr.	500	per meal	3	1500	1500
Rooftop Bar/Restaurant	200	per meal	3	600	600
Hotel	128	per guest	45	45	5760
Office, Restaurants	30	per employee	13	13	390
Sub Total gal /day					8250
Sub Total gal/year					3011250
Sub Total CF/year					402574
Domestic Water Service - Ductile Iron Cement Lined		4" Diameter (DICI)			
Fire Water Service - Ductile Iron Cement Lined		8" Diameter (DICI) @ 750 GPM Standpipe Demand			
Storm Drain - Cast Iron		12" Diameter (C.I.)			
Sanitary Sewer - Cast Iron					

Uniform Plumbing Code Appendix H Interceptor Sizing

Sizing criteria for restaurant grease interceptor:

- (a) Parameters - The parameters for sizing a grease interceptor are hydraulic loading and grease storage capacity, for one or more fixtures.
- (b) Sizing Formula - The size of the interceptor shall be determined by the following formula:

Number of meals per <u>peak</u> hour (1)	X	Waste Flow Rate (2)	X	Retention Time (3)	X	Storage Factor (4)	=	Interceptor Size (liquid capacity in gallons)
237	X	6	X	2.5	X	1	=	3,555

(1) Number of meals served per peak hour - or maximum seating capacity

(2) Waste Flow Rate - per device

- a. With dishwashing machine connected to interceptor (not normally allowed) 6 gallon flow
- b. Without dishwashing machine connected to interceptor 5 gallon flow
- c. Single Service Kitchen (paper plates and utensils only) 2 gallon flow
- d. Food waste disposer 1 gallon flow

(3) Retention Time

- a. Commercial Kitchens 2.5 hours
- b. Single Service Kitchen 1.5 hours

(4) Storage Factors

Fully equipped commercial kitchen

- a. 8 hour operation 1
- b. 16 hour operation 2
- c. 24 hour operation 3

Single Service Kitchen (normal hours) 1.5

Engineer recommended size to install: 4,000

Facility Name: LOT #3 1st Floor Restaurant

Facility Address: _____

Property TMK: _____

Date: _____

Engineer: _____

Engineers Stamp
License Expiration Date _____

Uniform Plumbing Code Appendix H Interceptor Sizing

Sizing criteria for restaurant grease interceptor:

- (a) Parameters - The parameters for sizing a grease interceptor are hydraulic loading and grease storage capacity, for one or more fixtures.
- (b) Sizing Formula - The size of the interceptor shall be determined by the following formula:

Number of meals per <u>peak</u> hour (1)	X	Waste Flow Rate (2)	X	Retention Time (3)	X	Storage Factor (4)	=	Interceptor Size (liquid capacity in gallons)
148	X	6	X	2.5	X	1	=	2,220

(1) Number of meals served per peak hour - or maximum seating capacity

(2) Waste Flow Rate - per device

- a. With dishwashing machine connected to interceptor (not normally allowed) 6 gallon flow
- b. Without dishwashing machine connected to interceptor 5 gallon flow
- c. Single Service Kitchen (paper plates and utensils only) 2 gallon flow
- d. Food waste disposer 1 gallon flow

(3) Retention Time

- a. Commercial Kitchens 2.5 hours
- b. Single Service Kitchen 1.5 hours

(4) Storage Factors

Fully equipped commercial kitchen

- a. 8 hour operation 1
- b. 16 hour operation 2
- c. 24 hour operation 3

Single Service Kitchen (normal hours) 1.5

Engineer recommended size to install: 2,500

Facility Name: LOT #3 5th Floor Restaurant Lounge

Facility Address: _____

Property TMK: _____

Date: _____

Engineer: _____

Engineers Stamp
License Expiration Date _____

ATTACHMENT E

Utility Will Serve Letters

Michael C. Penney

From: Wholey, James <James_Wholey@comcast.com>
Sent: Monday, December 18, 2017 11:56 AM
To: Joseph H. Kieffner
Cc: Collins, Mike - Epping, NH
Subject: RE: DSA Lot 3

Hi Joe,

We have reviewed sheets C5.1 and C5.2 of the Site Plan title The Hotel at Foundry Place, "Lot 3", 165 Deer Street, Assessors Map 125 Lot 17 plan set with revision date of 11/17/2017. Comcast gives preliminary approval of the conduit layout and will serve the property upon request.

Thanks,

Jim

Jim Wholey
180 Greenleaf Ave Portsmouth NH 03801
Commercial Market Development
Comcast Business-Greater Boston Region
Phone: (617)279-5840 Fax: (866)709-7324

COMCAST **B4B** BUILT FOR
BUSINESS BUSINESS



Geolnsight, Inc.

186 Granite Street, 3rd Floor, Suite A
Manchester, NH 03101-2643

FirstLight has reviewed sheets C5.1 and C5.2 of the Site Plan title *The Hotel at Foundry Place, "Lot 3", 165 Deer Street, Assessors Map 125 Lot 17* plan set with revision date of 11/17/2017. FirstLight gives preliminary approval of the conduit layout and will serve the property upon request.

Jeff Tougas

Sales Engineer

FirstLight

359 Corporate Dr. | Portsmouth, NH 03801
Office 603-766-1669
24x7 NOC 1-855-229-7464
jtougas@firstlight.net | www.firstlight.net

ATTACHMENT F

Draft Landscape Maintenance Agreement

DEER STREET/FOUNDRY PLACE RIGHT OF WAY
LANDSCAPING INSTALLATION AND MAINTENANCE AGREEMENT

THIS LANDSCAPING MAINTENANCE AGREEMENT (the "Agreement") is made as of the ____ day of _____, 2017 by and between the CITY OF PORTSMOUTH, a New Hampshire municipality (hereinafter, the "City"), and DEER STREET ASSOCIATES, a New Hampshire limited partnership (hereinafter "DSA").

WITNESSETH THAT

WHEREAS, the City proposes to construct a public roadway connecting Deer Street and Rock Street to be known as Foundry Place ("Foundry Place")(formerly known and sometimes shown as Deer Street Extension).

WHEREAS, DSA proposes to develop certain property located on Foundry Place and a portion of Deer Street, known as Lot 3, and further identified as City Tax Map 125, Lot 17, having a current street address of 165 Deer Street ("Lot 3").

WHEREAS, upon completion of the development of Lot 3 by DSA, DSA will be responsible for the installation and maintenance of plantings and other landscaping in the City rights of way for those portions of Foundry Place and Deer Street rights of way adjacent to Building/Lot 3.

WHEREAS, it is recognized by the City and DSA that it is desirable to determine and agree on the responsibilities of the parties with respect to such installation and maintenance of landscaping in the Lot 3 ROW.

NOW THEREFORE, in consideration of the mutual covenants, agreements and promises contained herein and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the City and DSA agree as follows:

AGREEMENT

1. Permitted Activities: The City hereby grants a license to DSA during the term of this Agreement to enter onto the Foundry Place and Deer Street rights of way abutting Lot 3 (the "Lot 3 ROW") and engage in such activities as are consistent with those set forth in Section 3(a)(1) of this Agreement.
2. Term: The term of this Agreement shall be ____ (__) years, starting the date of issuance of a building permit for the construction of the building on Lot 3 (the "Commencement Date") and proceeding for a period of ____ (__) years thereafter (the Termination Date"). The Term may be extended by DSA for __ (__) term(s) of ____ (__) years each upon the delivery of written notice by DSA to the City of DSA's intention to renew. This Agreement can be terminated sooner if one or more of the following occurs:
 - a. The City and DSA mutually agree to terminate this Agreement on a date certain, and on terms mutually agreeable; or
 - b. The City determines that public necessity requires termination of this Agreement, and provides written notice of the same to DSA at least six (6) months prior to the effective date of termination; or

- c. DSA terminates this Agreement on written notice to the City served at least six (6) months prior to the effective date of termination.

Upon termination of this Agreement for any reason, DSA shall have no obligations hereunder from and after the date of such termination, unless expressly stated otherwise in this Agreement.

3. Maintenance of the Lot 3 ROW:

- a. Maintenance shall be divided between the parties as follows:
 - i. DSA shall be responsible to prepare all planting beds, plant vegetation and other landscaping and to maintain and replace such plantings and other landscaping, as needed (collectively as "Landscaping"). The Landscaping will be in accordance with the landscaping plan(s) approved by the City Planning Board pursuant to its site plan review for Lot 3. DSA may complete its Landscaping responsibilities by use of its own personnel or through contracts with third parties.
 - ii. The City shall be responsible for all maintenance of all roadways, pavements, crosswalks, sidewalks and any other hardscapes in the Lot 3 ROW, including but not limited to paving, installation, repairs, street sweeping, snow plowing, and, removal of debris. In the event that the activities described in this section by the City, or their agents, result in damage to the Landscaping, then the City shall repair the Landscaping.
- b. Subject to the provisions described in this Agreement, the City may choose to maintain the Landscaping in the event DSA fails to do so; provided that the City shall first give DSA written notice of and a reasonable opportunity to cure any such purported failure.
- c. DSA shall bear the cost and expense of all obligations required under subsection 3.a.i hereof. The City shall bear the cost and expense of all obligations required under subsection 3.a.ii and 3.b hereof.

4. Personal Liability: No trustee, director, officer, shareholder, member, manager, agent or employee of DSA shall have any personal liability hereunder.

5. Assignment; Successors: This Agreement shall be binding upon and shall inure to the benefit of DSA's successors and assigns and DSA shall have no obligations hereunder from and after the date of such transfer, but only if DSA delivers to the City (i) written notice of the transfer of all of its rights and obligations under this Agreement within five (5) business days of any such transfer, and (ii) a true and complete copy of a final executed "Assignment and Assumption" instrument, which instrument shall provide that the entity comprising DSA's successor or assign agrees to perform and observe all of the terms, covenants, and conditions of this Agreement imposed on the assignor or predecessor from and after the date of transfer. The rights and obligations of DSA pursuant to this Agreement may be collaterally assigned or otherwise transferred as security to any lender which holds a mortgage with respect to Lot 3, and neither the grant of such security nor the exercise of lender's rights and remedies pursuant to the security instruments evidencing the same shall be subject to the requirements of this paragraph.

6. Notice: Any notice required to be given under this Agreement shall be in writing, sent by hand, by certified mail, return receipt requested, or by commercial overnight delivery, and addressed as follows:

If to the City: City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801
Attn: Legal Department

If to DSA: Deer Street Associates
P.O. Box 100
York Harbor, ME 03911
Attn:

with copy to: R. Timothy Phoenix
Hoefle, Phoenix, Gormley & Roberts, PA
127 Parrott Avenue
Portsmouth, NH 03801

or such other substitute addresses as subsequently provided by either party to the other pursuant to this paragraph.

7. Governing Law; Counterparts; Integration; Amendments: This Agreement shall be governed and construed in accordance with the laws of the State of New Hampshire, as amended from time to time, without regard to principles of conflicts of laws. This Agreement may be executed in counterparts, which together, shall constitute but one original. This Agreement contains the entire agreement between the parties relating to the subject matter hereof and supercedes all oral statements and prior writing with respect thereto and may not be terminated or amended except as provided herein. This Agreement may be amended only in a writing executed by the parties.
8. Successors and Assigns: The term "City" shall be interpreted to include the City's successors and/or assigns. The term "DSA" shall be interpreted to include DSA's successors and/or assigns in accordance with paragraph 5 above.
9. Signage. DSA shall be permitted to place signage within the Lot 3 ROW to acknowledge that it is maintaining the Landscaping. Any signs shall be consistent with City regulations and shall be subject to the City's reasonable written objection.
10. Waiver. The failure by a party at any time to require performance of any provision of this Agreement shall not constitute a waiver of such provision and shall not affect the right of such party to require performance at a later time.

[remainder of page intentionally left blank]

IN WITNESS WHEREOF, the parties have executed this Agreement as of the day and year first above written.

CITY OF PORTSMOUTH

Witness

By: _____

Its duly authorized _____

DEER STREET ASSOCIATES

Witness

By: _____

Its duly authorized _____

ATTACHMENT G

Lighting Calculations, Site Regulations and Zoning Analysis

DEER STREET DEVELOPMENT
THE HOTEL AT FOUNDRY PLACE - LOT #3
165 DEER STREET, ASSESSOR'S MAP 125 LOT 17
LIGHTING PHOTOMETRRIC LAYOUT SUPPORT DOCUMENTS
REVISED TO ILLUSTRATE ILLUMINATION LEVELS ON THE SOUTH SIDEWALK AFTER HOURS
AND
REVISED LOT #4 POLE LOCATIONS
12-18-2017

J & M LIGHTING DESIGN, INC
207-967-5223
jmlight2@roadrunner.com
NOV. 17, 2017

Luminaire Definition(s)

JAW

CL-ADA-XL-LED15-4K-EBU-SGR - ECLIPSE

Filename	102063649CHI-031.ies
Lumens Per Lamp	N.A.
Number of Lamps	1
Total Lamp Lumens	N.A.
Arrangement Lamp Lumens	N.A.
Arrangement Luminaire Lumens	2094
Luminaire Lumens	2094
Luminaire Efficiency (%)	N.A.
Total Light Loss Factor	0.900
Luminaire Watts	19.3
Arrangement Watts	19.3
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	Type IV, Very Short, N.A. (deprecated)
Upward Waste Light Ratio	0.50

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	51.5	N.A.	2.5
LCS-FM	307.5	N.A.	14.7
LCS-FH	361.4	N.A.	17.3
LCS-FVH	203.4	N.A.	9.7
LCS-BL	13.4	N.A.	0.6
LCS-BM	43.7	N.A.	2.1
LCS-BH	40.6	N.A.	1.9
LCS-BVH	22.0	N.A.	1.1
LCS-UL	225.7	N.A.	10.8
LCS-UH	824.4	N.A.	39.4
Total	2093.6	N.A.	100.0
BUG Rating	B0-U4-G2		
Indoor Classification	General Diffuse		
LER	108		

JAW-5

CL-ADA-XL-LED15-4K-EBU-SGR - ECLIPSE

Filename	102063649CHI-031.ies
Lumens Per Lamp	N.A.
Number of Lamps	1
Total Lamp Lumens	N.A.
Arrangement Lamp Lumens	N.A.
Arrangement Luminaire Lumens	2094
Luminaire Lumens	2094
Luminaire Efficiency (%)	N.A.
Total Light Loss Factor	0.500
Luminaire Watts	19.3
Arrangement Watts	19.3
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	Type IV, Very Short, N.A. (deprecated)
Upward Waste Light Ratio	0.50

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	51.5	N.A.	2.5
LCS-FM	307.5	N.A.	14.7

Luminaire Definition(s) - Cont.

LCS-FH	361.4	N.A.	17.3
LCS-FVH	203.4	N.A.	9.7
LCS-BL	13.4	N.A.	0.6
LCS-BM	43.7	N.A.	2.1
LCS-BH	40.6	N.A.	1.9
LCS-BVH	22.0	N.A.	1.1
LCS-UL	225.7	N.A.	10.8
LCS-UH	824.4	N.A.	39.4
Total	2093.6	N.A.	100.0
BUG Rating	B0-U4-G2		
Indoor Classification	General Diffuse		
LER	108		

JBW

WL-LED300-C-WT

Filename	WL-LED300-C-WT.IES		
Lumens Per Lamp	271		
Number of Lamps	1		
Total Lamp Lumens	271		
Arrangement Lamp Lumens	271		
Arrangement Luminaire Lumens	74		
Luminaire Lumens	74		
Luminaire Efficiency (%)	27		
Total Light Loss Factor	0.800		
Luminaire Watts	3.9		
Arrangement Watts	3.9		
Arrangement	SINGLE		
Arm Length	0		
Offset	0		
Road Classification	N.A., N.A., Full Cutoff (deprecated)		
Upward Waste Light Ratio	0.00		

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	9.7	3.6	13.1
LCS-FM	23.3	8.6	31.5
LCS-FH	4.6	1.7	6.3
LCS-FVH	0.3	0.1	0.4
LCS-BL	9.4	3.5	12.7
LCS-BM	21.8	8.1	29.5
LCS-BH	4.5	1.7	6.1
LCS-BVH	0.4	0.1	0.5
LCS-UL	0.0	0.0	0.0
LCS-UH	0.0	0.0	0.0
Total	74.0	27.4	100.0
BUG Rating	B0-U0-G0		
Indoor Classification	Direct		
LER	19		

JCW-R

AEL12-7W 4000K - LUMINAIRE

Filename	AEL12-10W-4000K.ies		
Lumens Per Lamp	N.A.		
Number of Lamps	28		
Total Lamp Lumens	N.A.		
Arrangement Lamp Lumens	N.A.		
Arrangement Luminaire Lumens	726		

Luminaire Definition(s) - Cont.

Luminaire Lumens	726
Luminaire Efficiency (%)	N.A.
Total Light Loss Factor	0.560
Luminaire Watts	10.8
Arrangement Watts	10.8
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	Type III, Very Short, N.A. (deprecated)
Upward Waste Light Ratio	0.00

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	133.9	N.A.	18.4
LCS-FM	398.4	N.A.	54.9
LCS-FH	117.9	N.A.	16.2
LCS-FVH	4.5	N.A.	0.6
LCS-BL	19.0	N.A.	2.6
LCS-BM	33.5	N.A.	4.6
LCS-BH	17.0	N.A.	2.3
LCS-BVH	1.7	N.A.	0.2
LCS-UL	0.0	N.A.	0.0
LCS-UH	0.0	N.A.	0.0
Total	725.9	N.A.	100.0
BUG Rating	B0-U0-G0		
Indoor Classification	Direct		
LER	67		

JDW

1403201050-001 MOD# AEL36-14W 4000K - LUMINAIRE

Filename	AEL36-15W-4000K.IES
Lumens Per Lamp	N.A.
Number of Lamps	1
Total Lamp Lumens	N.A.
Arrangement Lamp Lumens	N.A.
Arrangement Luminaire Lumens	1213
Luminaire Lumens	1213
Luminaire Efficiency (%)	N.A.
Total Light Loss Factor	0.800
Luminaire Watts	14.1
Arrangement Watts	14.1
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	Type II, Very Short, N.A. (deprecated)
Upward Waste Light Ratio	0.00

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	271.9	N.A.	22.4
LCS-FM	568.7	N.A.	46.9
LCS-FH	117.9	N.A.	9.7
LCS-FVH	6.3	N.A.	0.5
LCS-BL	108.6	N.A.	9.0
LCS-BM	114.2	N.A.	9.4
LCS-BH	24.4	N.A.	2.0
LCS-BVH	1.1	N.A.	0.1
LCS-UL	< 0.05	N.A.	0.0
LCS-UH	< 0.05	N.A.	0.0
Total	1213.1	N.A.	100.0

Luminaire Definition(s) - Cont.

BUG Rating B0-U1-G0
Indoor Classification Direct
LER 86

JER

1020-B1-S-10-LRTD4-9020-M2-30KS-80-NCSM - USAI

Filename 1020-B1-S-10-LRTD4-9020-M2-30KS-80.IES
Lumens Per Lamp N.A.
Number of Lamps 1
Total Lamp Lumens N.A.
Arrangement Lamp Lumens N.A.
Arrangement Luminaire Lumens 1037
Luminaire Lumens 1037
Luminaire Efficiency (%) N.A.
Total Light Loss Factor 0.800
Luminaire Watts 21.1
Arrangement Watts 21.1
Arrangement SINGLE
Arm Length 0
Offset 0
Road Classification Type V, Very Short, N.A. (deprecated)
Upward Waste Light Ratio 0.00

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	192.5	N.A.	18.6
LCS-FM	287.3	N.A.	27.7
LCS-FH	36.7	N.A.	3.5
LCS-FVH	1.9	N.A.	0.2
LCS-BL	192.5	N.A.	18.6
LCS-BM	287.3	N.A.	27.7
LCS-BH	36.7	N.A.	3.5
LCS-BVH	1.9	N.A.	0.2
LCS-UL	0.0	N.A.	0.0
LCS-UH	0.0	N.A.	0.0
Total	1036.8	N.A.	100.0

BUG Rating B1-U0-G0
Indoor Classification Direct
LER 49

JER-off

1020-B1-S-10-LRTD4-9020-M2-30KS-80-NCSM - USAI

Filename 1020-B1-S-10-LRTD4-9020-M2-30KS-80.IES
Lumens Per Lamp N.A.
Number of Lamps 1
Total Lamp Lumens N.A.
Arrangement Lamp Lumens N.A.
Arrangement Luminaire Lumens 1037
Luminaire Lumens 1037
Luminaire Efficiency (%) N.A.
Total Light Loss Factor 0.010
Luminaire Watts 21.1
Arrangement Watts 21.1
Arrangement SINGLE
Arm Length 0
Offset 0
Road Classification Type V, Very Short, N.A. (deprecated)

Luminaire Definition(s) - Cont.

Upward Waste Light Ratio	0.00		
Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	192.5	N.A.	18.6
LCS-FM	287.3	N.A.	27.7
LCS-FH	36.7	N.A.	3.5
LCS-FVH	1.9	N.A.	0.2
LCS-BL	192.5	N.A.	18.6
LCS-BM	287.3	N.A.	27.7
LCS-BH	36.7	N.A.	3.5
LCS-BVH	1.9	N.A.	0.2
LCS-UL	0.0	N.A.	0.0
LCS-UH	0.0	N.A.	0.0
Total	1036.8	N.A.	100.0
BUG Rating	B1-U0-G0		
Indoor Classification	Direct		
LER	49		

JIR

3021-B1-S-10-LRTD4-9033-C3-30KS-90-NC-120V -USAI

Filename	3021-B1-S-10-LRTD4-9033-C3-30KS-90.ies
Lumens Per Lamp	N.A.
Number of Lamps	1
Total Lamp Lumens	N.A.
Arrangement Lamp Lumens	N.A.
Arrangement Luminaire Lumens	1868
Luminaire Lumens	1868
Luminaire Efficiency (%)	N.A.
Total Light Loss Factor	0.800
Luminaire Watts	33.87
Arrangement Watts	33.87
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	Type V, Very Short, N.A. (deprecated)
Upward Waste Light Ratio	0.00

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	366.4	N.A.	19.6
LCS-FM	503.6	N.A.	27.0
LCS-FH	60.8	N.A.	3.3
LCS-FVH	3.2	N.A.	0.2
LCS-BL	366.4	N.A.	19.6
LCS-BM	503.6	N.A.	27.0
LCS-BH	60.8	N.A.	3.3
LCS-BVH	3.2	N.A.	0.2
LCS-UL	0.0	N.A.	0.0
LCS-UH	0.0	N.A.	0.0
Total	1868.0	N.A.	100.0
BUG Rating	B1-U0-G0		
Indoor Classification	Direct		
LER	55		

JJR

ReflLens-MedRefl-LpodXL-6_9W-XL50-direct -KLIKUSA

Filename	LPODXL50F-ReflLens-direct-MedRefl-LpodXL-6.9W-XL50-45
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Luminaire Definition(s) - Cont.

Lumens Per Lamp	653
Number of Lamps	1
Total Lamp Lumens	653
Arrangement Lamp Lumens	653
Arrangement Luminaire Lumens	578
Luminaire Lumens	578
Luminaire Efficiency (%)	89
Total Light Loss Factor	0.800
Luminaire Watts	8
Arrangement Watts	8
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	Type VS, Very Short, Full Cutoff (deprecated)
Upward Waste Light Ratio	0.00

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	200.1	30.6	34.6
LCS-FM	87.7	13.4	15.2
LCS-FH	0.0	0.0	0.0
LCS-FVH	0.0	0.0	0.0
LCS-BL	201.7	30.9	34.9
LCS-BM	88.9	13.6	15.4
LCS-BH	< 0.05	0.0	0.0
LCS-BVH	0.0	0.0	0.0
LCS-UL	0.0	0.0	0.0
LCS-UH	0.0	0.0	0.0
Total	578.4	88.5	100.0
BUG Rating	B1-U0-G0		
Indoor Classification	Direct		
LER	72		

JJR-L

ReflLens-XWideRefl-LpodXL-1_9W-XL50-direct

Filename	LPODXL50F-ReflLens-direct-XWideRefl-LpodXL-1.9W-XL50-
Lumens Per Lamp	215
Number of Lamps	1
Total Lamp Lumens	215
Arrangement Lamp Lumens	215
Arrangement Luminaire Lumens	190
Luminaire Lumens	190
Luminaire Efficiency (%)	88
Total Light Loss Factor	0.800
Luminaire Watts	2
Arrangement Watts	2
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	Type VS, Very Short, Full Cutoff (deprecated)
Upward Waste Light Ratio	0.00

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	57.2	26.6	30.2
LCS-FM	39.0	18.1	20.6
LCS-FH	< 0.05	0.0	0.0
LCS-FVH	0.0	0.0	0.0
LCS-BL	55.9	26.0	29.5
LCS-BM	37.5	17.4	19.8

Luminaire Definition(s) - Cont.

LCS-BH	< 0.05	0.0	0.0
LCS-BVH	0.0	0.0	0.0
LCS-UL	0.0	0.0	0.0
LCS-UH	0.0	0.0	0.0
Total	189.6	88.1	100.0
BUG Rating	B0-U0-G0		
Indoor Classification	Direct		
LER	95		

JKW

5SP_15W_40K_30_SMS-INT-1

Filename	5SP-15W-40K-30-SMS-INT-1.ies
Lumens Per Lamp	N.A.
Number of Lamps	1
Total Lamp Lumens	N.A.
Arrangement Lamp Lumens	N.A.
Arrangement Luminaire Lumens	814
Luminaire Lumens	814
Luminaire Efficiency (%)	N.A.
Total Light Loss Factor	0.800
Luminaire Watts	36.5
Arrangement Watts	36.5
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	N.A., N.A., N.A. (deprecated)
Indoor Classification	N.A.
LER	22
Flood NEMA Type	3H x 4V

JKW-30

5SP_15W_40K_30_SMS-INT-1

Filename	5SP-15W-40K-30-SMS-INT-1.ies
Lumens Per Lamp	N.A.
Number of Lamps	1
Total Lamp Lumens	N.A.
Arrangement Lamp Lumens	N.A.
Arrangement Luminaire Lumens	814
Luminaire Lumens	814
Luminaire Efficiency (%)	N.A.
Total Light Loss Factor	0.300
Luminaire Watts	36.5
Arrangement Watts	36.5
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	N.A., N.A., N.A. (deprecated)
Indoor Classification	N.A.
LER	22
Flood NEMA Type	3H x 4V

JLW

5SP_15W_40K_30_SMS-INT-1

Luminaire Definition(s) - Cont.

Filename	5SP-15W-40K-30-SMS-INT-1.ies
Lumens Per Lamp	N.A.
Number of Lamps	1
Total Lamp Lumens	N.A.
Arrangement Lamp Lumens	N.A.
Arrangement Luminaire Lumens	814
Luminaire Lumens	814
Luminaire Efficiency (%)	N.A.
Total Light Loss Factor	0.800
Luminaire Watts	36.5
Arrangement Watts	36.5
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	N.A., N.A., N.A. (deprecated)
Indoor Classification	N.A.
LER	22
Flood NEMA Type	3H x 4V

JMG-4-HSS

UCM-ANG-T4-32LED-3K-450-AWT-HSS

Filename	UCM-ANG-T4-32LED-3K-450-HSS.ies
Lumens Per Lamp	N.A.
Number of Lamps	1
Total Lamp Lumens	N.A.
Arrangement Lamp Lumens	N.A.
Arrangement Luminaire Lumens	3327
Luminaire Lumens	3327
Luminaire Efficiency (%)	N.A.
Total Light Loss Factor	0.800
Luminaire Watts	47.5
Arrangement Watts	47.5
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	Type IV, Very Short, N.A. (deprecated)
Upward Waste Light Ratio	0.00

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	43.2	N.A.	1.3
LCS-FM	1379.4	N.A.	41.5
LCS-FH	1706.0	N.A.	51.3
LCS-FVH	55.3	N.A.	1.7
LCS-BL	7.3	N.A.	0.2
LCS-BM	62.7	N.A.	1.9
LCS-BH	68.3	N.A.	2.1
LCS-BVH	5.1	N.A.	0.2
LCS-UL	0.0	N.A.	0.0
LCS-UH	0.0	N.A.	0.0
Total	3327.3	N.A.	100.0
BUG Rating	B0-U0-G1		
Indoor Classification	Direct		
LER	70		

JMG-5

UCM-ANG-T4-32LED-5K-450

Luminaire Definition(s) - Cont.

Filename	UCM-ANG-T5-32LED-3K-450.ies
Lumens Per Lamp	N.A.
Number of Lamps	1
Total Lamp Lumens	N.A.
Arrangement Lamp Lumens	N.A.
Arrangement Luminaire Lumens	4603
Luminaire Lumens	4603
Luminaire Efficiency (%)	N.A.
Total Light Loss Factor	0.800
Luminaire Watts	48
Arrangement Watts	48
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	Type VS, Short, N.A. (deprecated)
Upward Waste Light Ratio	0.00

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	95.3	N.A.	2.1
LCS-FM	1061.5	N.A.	23.1
LCS-FH	1051.8	N.A.	22.9
LCS-FVH	87.4	N.A.	1.9
LCS-BL	95.3	N.A.	2.1
LCS-BM	1061.5	N.A.	23.1
LCS-BH	1051.8	N.A.	22.9
LCS-BVH	87.4	N.A.	1.9
LCS-UL	5.8	N.A.	0.1
LCS-UH	4.8	N.A.	0.1
Total	4602.6	N.A.	100.0
BUG Rating	B3-U1-G1		
Indoor Classification	Direct		
LER	96		

JNS-PATTERN

iQ67-30-35-90-1_6-FOOT_0

Filename	iQ67-30-35-90-1.6-FOOT_0.ies
Lumens Per Lamp	N.A.
Number of Lamps	1
Total Lamp Lumens	N.A.
Arrangement Lamp Lumens	N.A.
Arrangement Luminaire Lumens	129
Luminaire Lumens	129
Luminaire Efficiency (%)	N.A.
Lamp Lumen Depreciation (LLD)	0.800
Luminaire Dirt Depreciation (LDD)	1.000
Ballast Factor (BF)	1.000
Total Light Loss Factor	0.800
Luminaire Watts	1.61
Arrangement Watts	1.61
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	Type VS, Very Short, N.A. (deprecated)
Upward Waste Light Ratio	0.03

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	16.9	N.A.	13.1
LCS-FM	33.0	N.A.	25.5

Luminaire Definition(s) - Cont.

LCS-FH	11.3	N.A.	8.8
LCS-FVH	1.4	N.A.	1.1
LCS-BL	16.9	N.A.	13.1
LCS-BM	33.1	N.A.	25.6
LCS-BH	11.2	N.A.	8.7
LCS-BVH	1.4	N.A.	1.1
LCS-UL	1.0	N.A.	0.8
LCS-UH	3.0	N.A.	2.3
Total	129.2	N.A.	100.0
BUG Rating	B0-U1-G0		
Indoor Classification	Direct		
LER	80		

JOS

iQ67-30-35-90-1_6-FOOT_0

Filename	iQ67-30-35-90-1.6-FOOT_0.ies		
Lumens Per Lamp	N.A.		
Number of Lamps	1		
Total Lamp Lumens	N.A.		
Arrangement Lamp Lumens	N.A.		
Arrangement Luminaire Lumens	129		
Luminaire Lumens	129		
Luminaire Efficiency (%)	N.A.		
Total Light Loss Factor	0.800		
Luminaire Watts	1.61		
Arrangement Watts	1.61		
Arrangement	SINGLE		
Arm Length	0		
Offset	0		
Road Classification	Type VS, Very Short, N.A. (deprecated)		
Upward Waste Light Ratio	0.03		

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	16.9	N.A.	13.1
LCS-FM	33.0	N.A.	25.5
LCS-FH	11.3	N.A.	8.8
LCS-FVH	1.4	N.A.	1.1
LCS-BL	16.9	N.A.	13.1
LCS-BM	33.1	N.A.	25.6
LCS-BH	11.2	N.A.	8.7
LCS-BVH	1.4	N.A.	1.1
LCS-UL	1.0	N.A.	0.8
LCS-UH	3.0	N.A.	2.3
Total	129.2	N.A.	100.0
BUG Rating	B0-U1-G0		
Indoor Classification	Direct		
LER	80		

JOS-off

iQ67-30-35-90-1_6-FOOT_0

Filename	iQ67-30-35-90-1.6-FOOT_0.ies		
Lumens Per Lamp	N.A.		
Number of Lamps	1		
Total Lamp Lumens	N.A.		
Arrangement Lamp Lumens	N.A.		
Arrangement Luminaire Lumens	129		

Luminaire Definition(s) - Cont.

Luminaire Lumens	129
Luminaire Efficiency (%)	N.A.
Total Light Loss Factor	0.001
Luminaire Watts	1.61
Arrangement Watts	1.61
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	Type VS, Very Short, N.A. (deprecated)
Upward Waste Light Ratio	0.03

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	16.9	N.A.	13.1
LCS-FM	33.0	N.A.	25.5
LCS-FH	11.3	N.A.	8.8
LCS-FVH	1.4	N.A.	1.1
LCS-BL	16.9	N.A.	13.1
LCS-BM	33.1	N.A.	25.6
LCS-BH	11.2	N.A.	8.7
LCS-BVH	1.4	N.A.	1.1
LCS-UL	1.0	N.A.	0.8
LCS-UH	3.0	N.A.	2.3
Total	129.2	N.A.	100.0
BUG Rating	B0-U1-G0		
Indoor Classification	Direct		
LER	80		

Luminaire Location(s)

Luminaire Locations

Project Name : Project_1

Coordinates in Feet

Lum. No.	Label	Aiming Point										
		X	Y	Z	Orient	Tilt	Roll	Spin	X	Y	Z	Status
17	JAW	152.948	34.616	11.52	270	0	0	0	152.948	34.616	11.52	On
18	JKW	152.938	34.642	39	270	0	0	0	152.938	34.642	39	On
23	JKW	218.743	34.642	39	270	0	0	0	218.743	34.642	39	On
24	JAW	218.743	34.642	11.52	270	0	0	0	218.743	34.642	11.52	On
25	JKW	151.277	35.565	39	180	0	0	0	151.277	35.565	39	On
26	JJR	229.083	35.884	15.56	0	0	0	0	229.083	35.884	15.56	On
27	JKW	220.881	36.603	39	0	0	0	0	220.881	36.603	39	On
28	JJR	235.202	38.517	15.56	0	0	0	0	235.202	38.517	15.56	On
29	JJR	239.694	43.435	15.56	0	0	0	0	239.694	43.435	15.56	On
30	JJR-L	147.549	44.294	3.5	0	0	0	0	147.549	44.294	3.5	On
31	JJR-L	134.608	44.696	6.92	0	0	0	0	134.608	44.696	6.92	On
32	JJR-L	146.07	44.851	3.5	0	0	0	0	146.07	44.851	3.5	On
33	JJR-L	139.681	44.928	5	0	0	0	0	139.681	44.928	5	On
35	JJR	241.591	47.811	15.56	0	0	0	0	241.591	47.811	15.56	On
36	JER	127.316	48.219	14.95	0	0	0	0	127.316	48.219	14.95	On
39	JKW	241.386	56.541	39	270	0	0	0	241.386	56.541	39	On
40	JDW	90.912	57.321	13.5	270	0	0	0	90.912	57.321	13.5	On
41	JDW	103.651	57.346	13.5	270	0	0	0	103.651	57.346	13.5	On
42	JKW	242.592	57.656	39	0	0	0	0	242.592	57.656	39	On
43	JER	75.126	58.785	16.5	0	0	0	0	75.126	58.785	16.5	On
44	JAW	80.815	59.49	11.52	270	0	0	0	80.815	59.49	11.52	On
45	JKW	242.592	70.324	39	0	0	0	0	242.592	70.324	39	On
46	JDW	70.495	72.628	13.5	180	0	0	0	70.495	72.628	13.5	On
47	JIR	245	73.146	16.5	0	0	0	0	245	73.146	16.5	On
48	JDW	70.552	78.978	13.5	180	0	0	0	70.552	78.978	13.5	On
49	JKW	242.592	79.182	39	0	0	0	0	242.592	79.182	39	On
51	JIR	238.462	82.072	16.5	0	0	0	0	238.462	82.072	16.5	On
52	JIR	230.68	87.311	16.5	0	0	0	0	230.68	87.311	16.5	On
53	JIR	245	88.146	16.5	0	0	0	0	245	88.146	16.5	On
54	JKW	242.592	90.262	39	0	0	0	0	242.592	90.262	39	On
55	JCW-R	67.053	99.13	10.84	180	0	0	0	67.053	99.13	10.84	On
56	JMG-5	300.194	98.891	23	176.634	0	0	0	300.194	98.891	23	On
57	JMG-5	402.489	99.63	23	0	0	0	0	402.489	99.63	23	On
58	JKW	242.592	101.228	39	0	0	0	0	242.592	101.228	39	On
59	JIR	230.444	103.148	16.5	0	0	0	0	230.444	103.148	16.5	On
60	JIR	245	103.146	16.5	0	0	0	0	245	103.146	16.5	On
61	JCW-R	70.46	110.011	10.84	180	0	0	0	70.46	110.011	10.84	On
62	JKW	242.592	112.018	39	0	0	0	0	242.592	112.018	39	On
63	JCW-R	67.035	117.458	10.84	180	0	0	0	67.035	117.458	10.84	On
64	JIR	245	118.146	16.5	0	0	0	0	245	118.146	16.5	On
65	JIR	230.68	119.1	16.5	0	0	0	0	230.68	119.1	16.5	On
66	JMG-5	301.613	121.699	23	176.634	0	0	0	301.613	121.699	23	On
67	JKW	242.592	122.744	39	0	0	0	0	242.592	122.744	39	On
68	JIR	237.613	126.742	16.5	0	0	0	0	237.613	126.742	16.5	On
69	JCW-R	67.002	131.821	10.84	180	0	0	0	67.002	131.821	10.84	On
70	JIR	245	133.146	16.5	0	0	0	0	245	133.146	16.5	On
71	JKW	242.592	133.78	39	0	0	0	0	242.592	133.78	39	On
72	JDW	238.321	142.017	15.54	0	0	0	0	238.321	142.017	15.54	On
73	JMG-4-HSS	303.148	145.71	23	177.955	0	0	0	303.148	145.71	23	On
74	JCW-R	67.025	146.652	10.84	180	0	0	0	67.025	146.652	10.84	On
75	JDW	238.155	151.764	15.54	0	0	0	0	238.155	151.764	15.54	On
78	JCW-R	67.254	161.936	10.84	180	0	0	0	67.254	161.936	10.84	On
79	JCW-R	244.628	167.452	14.53	0	0	0	0	244.628	167.452	14.53	On

Luminaire Location(s) - Cont.

80	JCW-R	67.254	175.915	10.84	180	0	0	0	67.254	175.915	10.84	On
81	JCW-R	69.674	177.716	10.84	90	0	0	0	69.674	177.716	10.84	On
82	JCW-R	81.851	177.716	10.84	90	0	0	0	81.851	177.716	10.84	On
83	JCW-R	93.574	177.716	10.84	90	0	0	0	93.574	177.716	10.84	On
84	JCW-R	107.071	177.716	10.84	90	0	0	0	107.071	177.716	10.84	On
85	JCW-R	120.798	177.716	10.84	90	0	0	0	120.798	177.716	10.84	On
86	JCW-R	134.231	177.716	10.84	90	0	0	0	134.231	177.716	10.84	On
87	JCW-R	148.008	177.716	10.84	90	0	0	0	148.008	177.716	10.84	On
88	JCW-R	161.614	177.716	10.84	90	0	0	0	161.614	177.716	10.84	On
89	JCW-R	175.744	177.716	10.84	90	0	0	0	175.744	177.716	10.84	On
90	JCW-R	189.442	177.716	10.84	90	0	0	0	189.442	177.716	10.84	On
91	JCW-R	203.415	177.716	10.84	90	0	0	0	203.415	177.716	10.84	On
92	JCW-R	218.179	177.716	10.84	90	0	0	0	218.179	177.716	10.84	On
93	JCW-R	236.495	177.716	10.84	90	0	0	0	236.495	177.716	10.84	On
104	JAW	236.828	96.316	11.52	0	0	0	0	236.828	96.316	11.52	On
105	JAW	237.206	109.628	11.52	0	0	0	0	237.206	109.628	11.52	On
258	JKW	68.031	88.45	39	180	0	0	0	68.031	88.45	39	On
259	JLW	121.421	45.71	60.34	180	0	0	0	121.421	45.71	60.34	On
260	JLW	121.576	50.357	60.34	180	0	0	0	121.576	50.357	60.34	On
261	JLW	121.421	55.391	60.34	180	0	0	0	121.421	55.391	60.34	On
96	JMG-4-HSS	378.506	162.55	23	90	0	0	0	378.506	162.55	23	On
13	JER-off	179.554	31.969	16.5	0	0	0	0	179.554	31.969	16.5	On
14	JER-off	166.581	32.008	16.5	0	0	0	0	166.581	32.008	16.5	On
15	JER-off	192.797	31.969	16.5	0	0	0	0	192.797	31.969	16.5	On
16	JER-off	205.499	31.969	16.5	0	0	0	0	205.499	31.969	16.5	On
19	JKW-30	165.834	34.642	39	270	0	0	0	165.834	34.642	39	On
20	JKW-30	179.442	34.642	39	270	0	0	0	179.442	34.642	39	On
21	JKW-30	205.626	34.602	39	270	0	0	0	205.626	34.602	39	On
22	JKW-30	192.39	34.642	39	270	0	0	0	192.39	34.642	39	On
100	JAW-5	192.682	34.41	11.52	270	0	0	0	192.682	34.41	11.52	On
101	JAW-5	179.458	34.449	11.52	270	0	0	0	179.458	34.449	11.52	On
102	JAW-5	205.79	34.158	11.52	270	0	0	0	205.79	34.158	11.52	On
103	JAW-5	165.76	34.449	11.52	270	0	0	0	165.76	34.449	11.52	On
94	JMG-5	310.417	159.574	23	90	0	0	0	310.417	159.574	23	On
95	JMG-4-HSS	339.736	163.376	23	90	0	0	0	339.736	163.376	23	On
76	JMG-5	396.638	158.769	23	55.407	0	0	0	396.638	158.769	23	On

Summary By Label

Project Name : Project_1

Label	On	Off	Total
JAW	5	0	5
JAW-5	4	0	4
JBW	0	0	0
JCW-R	21	0	21
JDW	6	0	6
JER	2	0	2
JER-off	4	0	4
JIR	10	0	10
JJR	4	0	4
JJR-L	4	0	4
JKW	14	0	14
JKW-30	4	0	4
JLW	3	0	3
JMG-4-HSS	3	0	3
JMG-5	5	0	5
JNS-PATTERN #	0	0	0
JOS	0	0	0
JOS-off	0	0	0

Luminaire Location(s) - Cont.

Luminaire Locations

Project Name : jmlld -Combined GPI 2017-10-20 -- 2017-Oct-25 17h-10m-57s

Coordinates in Feet

Lum. No.	Label	Aiming Point										Status
		X	Y	Z	Orient	Tilt	Roll	Spin	X	Y	Z	
98	JNS-PATTERN #	-84.746	87.301	3	272.125	0	0	0	-84.746	87.301	3	On
99	JBW	-79.841	105.188	2	0	0	0	0	-79.841	105.188	2	On
219	JOS	169.814	28.614	3.52	260.557	0	0	0	169.814	28.614	3.52	On
241	JOS	176.074	28.042	3.52	260.557	0	0	0	176.074	28.042	3.52	On
193	JOS	186.097	26.288	3.52	260.557	0	0	0	186.097	26.288	3.52	On
253	JOS-off	169.005	29.084	3.52	260.557	0	0	0	169.005	29.084	3.52	On
236	JOS-off	180.158	27.507	7.01	260.557	0	0	0	180.158	27.507	7.01	On
235	JOS-off	179.014	27.667	7.01	260.557	0	0	0	179.014	27.667	7.01	On
225	JOS-off	186.115	26.704	3.52	260.557	0	0	0	186.115	26.704	3.52	On
226	JOS-off	185.119	26.851	7.01	260.557	0	0	0	185.119	26.851	7.01	On
229	JOS-off	184.095	26.983	7.01	260.557	0	0	0	184.095	26.983	7.01	On
232	JOS-off	183.124	27.13	7.01	260.557	0	0	0	183.124	27.13	7.01	On
230	JOS-off	182.131	27.288	7.01	260.557	0	0	0	182.131	27.288	7.01	On
231	JOS-off	181.137	27.399	7.01	260.557	0	0	0	181.137	27.399	7.01	On
195	JOS	185.115	26.433	3.52	260.557	0	0	0	185.115	26.433	3.52	On
197	JOS	184.116	26.6	3.52	260.557	0	0	0	184.116	26.6	3.52	On
200	JOS	183.138	26.761	3.52	260.557	0	0	0	183.138	26.761	3.52	On
199	JOS	182.127	26.884	3.52	260.557	0	0	0	182.127	26.884	3.52	On
204	JOS	181.128	27.039	3.52	260.557	0	0	0	181.128	27.039	3.52	On
202	JOS	180.111	27.194	3.52	260.557	0	0	0	180.111	27.194	3.52	On
205	JOS	179.098	27.321	3.52	260.557	0	0	0	179.098	27.321	3.52	On
208	JOS	178.084	27.468	3.52	260.557	0	0	0	178.084	27.468	3.52	On
207	JOS	177.027	27.612	3.52	260.557	0	0	0	177.027	27.612	3.52	On
240	JOS	178.042	27.825	7.01	260.557	0	0	0	178.042	27.825	7.01	On
238	JOS-off	177.098	27.945	7.01	260.557	0	0	0	177.098	27.945	7.01	On
242	JOS-off	175.058	28.209	3.52	260.557	0	0	0	175.058	28.209	3.52	On
209	JOS	176.056	27.77	3.52	260.557	0	0	0	176.056	27.77	3.52	On
212	JOS	175.04	27.939	3.52	260.557	0	0	0	175.04	27.939	3.52	On
210	JOS	174.04	28.105	3.52	260.557	0	0	0	174.04	28.105	3.52	On
245	JOS-off	174.075	28.374	7.01	260.557	0	0	0	174.075	28.374	7.01	On
250	JOS-off	170.024	28.912	7.01	260.557	0	0	0	170.024	28.912	7.01	On
249	JOS-off	171.032	28.749	7.01	260.557	0	0	0	171.032	28.749	7.01	On
246	JOS-off	172.038	28.61	3.52	260.557	0	0	0	172.038	28.61	3.52	On
248	JOS	173.062	28.463	3.52	260.557	0	0	0	173.062	28.463	3.52	On
215	JOS	170.896	28.5	3.52	260.557	0	0	0	170.896	28.5	3.52	On
214	JOS	171.934	28.36	3.52	260.557	0	0	0	171.934	28.36	3.52	On
216	JOS	173.005	28.213	3.52	260.557	0	0	0	173.005	28.213	3.52	On
221	JOS	168.814	28.766	3.52	260.557	0	0	0	168.814	28.766	3.52	On
254	JOS-off	168.032	29.232	7.01	260.557	0	0	0	168.032	29.232	7.01	On
222	JOS	167.807	28.913	3.52	260.557	0	0	0	167.807	28.913	3.52	On
223	JOS	166.799	29.071	3.52	260.557	0	0	0	166.799	29.071	3.52	On
255	JOS-off	167.031	29.386	7.01	260.557	0	0	0	167.031	29.386	7.01	On
156	JOS	187.094	26.174	3.52	277.517	0	0	0	187.094	26.174	3.52	On
181	JOS-off	193.197	27.518	7.02	277.517	0	0	0	193.197	27.518	7.02	On
179	JOS-off	194.189	27.652	7.02	277.517	0	0	0	194.189	27.652	7.02	On
183	JOS-off	192.207	27.389	7.02	277.517	0	0	0	192.207	27.389	7.02	On
184	JOS-off	191.212	27.266	7.02	277.517	0	0	0	191.212	27.266	7.02	On
186	JOS-off	190.213	27.124	3.52	277.517	0	0	0	190.213	27.124	3.52	On
187	JOS-off	189.21	26.975	7.02	277.517	0	0	0	189.21	26.975	7.02	On
188	JOS-off	188.207	26.837	7.02	277.517	0	0	0	188.207	26.837	7.02	On
191	JOS-off	187.203	26.699	7.02	277.517	0	0	0	187.203	26.699	7.02	On
176	JOS-off	196.17	27.977	7.02	277.517	0	0	0	196.17	27.977	7.02	On
178	JOS-off	195.196	27.824	7.02	277.517	0	0	0	195.196	27.824	7.02	On

Luminaire Location(s) - Cont.

174	JOS-off	197.203	28.135	7.02	277.517	0	0	197.203	28.135	7.02	On
172	JOS-off	198.194	28.265	7.02	277.517	0	0	198.194	28.265	7.02	On
169	JOS-off	200.271	28.615	7.02	277.517	0	0	200.271	28.615	7.02	On
171	JOS-off	199.272	28.452	7.02	277.517	0	0	199.272	28.452	7.02	On
165	JOS-off	203.209	29.084	7.02	277.517	0	0	203.209	29.084	7.02	On
167	JOS-off	202.197	28.929	7.02	277.517	0	0	202.197	28.929	7.02	On
168	JOS-off	201.218	28.79	7.02	277.517	0	0	201.218	28.79	7.02	On
159	JOS-off	206.291	29.548	7.02	277.517	0	0	206.291	29.548	7.02	On
161	JOS-off	205.287	29.407	7.02	277.517	0	0	205.287	29.407	7.02	On
163	JOS-off	204.251	29.245	7.02	277.517	0	0	204.251	29.245	7.02	On
106	JOS	206.453	28.934	3.52	277.517	0	0	206.453	28.934	3.52	On
107	JOS	205.476	28.81	3.52	277.517	0	0	205.476	28.81	3.52	On
108	JOS	204.479	28.68	3.52	277.517	0	0	204.479	28.68	3.52	On
126	JOS	203.448	28.555	3.52	277.517	0	0	203.448	28.555	3.52	On
128	JOS	202.411	28.43	3.52	277.517	0	0	202.411	28.43	3.52	On
127	JOS	201.407	28.295	3.52	277.517	0	0	201.407	28.295	3.52	On
129	JOS	200.405	28.185	3.52	277.517	0	0	200.405	28.185	3.52	On
131	JOS	199.391	28.052	3.52	277.517	0	0	199.391	28.052	3.52	On
132	JOS	198.322	27.876	3.52	277.517	0	0	198.322	27.876	3.52	On
133	JOS	197.284	27.737	3.52	277.517	0	0	197.284	27.737	3.52	On
144	JOS	196.247	27.599	3.52	277.517	0	0	196.247	27.599	3.52	On
145	JOS	195.264	27.474	3.52	277.517	0	0	195.264	27.474	3.52	On
146	JOS	194.262	27.319	3.52	277.517	0	0	194.262	27.319	3.52	On
147	JOS	193.189	27.154	3.52	277.517	0	0	193.189	27.154	3.52	On
148	JOS	192.114	27.016	3.52	277.517	0	0	192.114	27.016	3.52	On
149	JOS	191.06	26.847	3.52	277.517	0	0	191.06	26.847	3.52	On
150	JOS	190.058	26.688	3.52	277.517	0	0	190.058	26.688	3.52	On
152	JOS	189.037	26.542	3.52	277.517	0	0	189.037	26.542	3.52	On
154	JOS	188.005	26.407	3.52	277.517	0	0	188.005	26.407	3.52	On

Summary By Label

Project Name : jmlld -Combined GPI 2017-10-20 -- 2017-Oct-25 17h-10m-57s

Label	On	Off	Total
JAW	0	0	0
JAW-5	0	0	0
JBW	1	0	1
JCW-R	0	0	0
JDW	0	0	0
JER	0	0	0
JER-off	0	0	0
JIR	0	0	0
JJR	0	0	0
JJR-L	0	0	0
JKW	0	0	0
JKW-30	0	0	0
JLW	0	0	0
JMG-4-HSS	0	0	0
JMG-5	0	0	0
JNS-PATTERN #	1	0	1
JOS	43	0	43
JOS-off	37	0	37

Calculation Summary

BALCONY SE

Project: Project_1
2 Pt. Grid
Coordinates in Feet

Point Spacing L-R	2
Point Spacing T-B	2
Grid Orient	0
Grid Tilt	0
Meter Type	Horizontal

Illuminance (Fc)	
Average	2.56
Maximum	3.14
Minimum	1.93
Avg/Min	1.33
Max/Min	1.63

DECK OFF LOBBY

Project: Project_1
2 Pt. Grid
Coordinates in Feet

Point Spacing L-R	2
Point Spacing T-B	2
Grid Orient	0
Grid Tilt	0
Meter Type	Horizontal

Illuminance (Fc)	
Average	2.10
Maximum	8.23
Minimum	1.01
Avg/Min	2.08
Max/Min	8.15

drop-off

Project: Project_1
2 Pt. Grid
Coordinates in Feet

Point Spacing L-R	2
Point Spacing T-B	2
Grid Orient	0
Grid Tilt	0
Meter Type	Horizontal

Illuminance (Fc)	
Average	3.34
Maximum	10.63
Minimum	0.18
Avg/Min	18.56
Max/Min	59.06

Calculation Summary - Cont.

ground

Project: Project_1
2 Pt. Grid
Coordinates in Feet

Point Spacing L-R	2
Point Spacing T-B	2
Grid Orient	0
Grid Tilt	0
Meter Type	Horizontal

Illuminance (Fc)	
Average	0.49
Maximum	7.17
Minimum	0.00
Avg/Min	N.A.
Max/Min	N.A.

ground_1

Project: Project_1
2 Pt. Grid
Coordinates in Feet

Point Spacing L-R	2
Point Spacing T-B	2
Grid Orient	0
Grid Tilt	0
Meter Type	Horizontal

Illuminance (Fc)	
Average	0.46
Maximum	19.08
Minimum	0.00
Avg/Min	N.A.
Max/Min	N.A.

ramp

Project: Project_1
3 Pt. Grid
Coordinates in Feet

Point Spacing L-R	2
Point Spacing T-B	2
Grid Orient	91.05
Grid Tilt	0
Meter Type	Normal to grid

Illuminance (Fc)	
Average	3.45
Maximum	20.11
Minimum	0.39
Avg/Min	8.85
Max/Min	51.56

Calculation Summary - Cont.

stoop

Project: Project_1
2 Pt. Grid
Coordinates in Feet

Point Spacing L-R	2
Point Spacing T-B	2
Grid Orient	0
Grid Tilt	0
Meter Type	Horizontal

Illuminance (Fc)	
Average	2.72
Maximum	2.91
Minimum	2.55
Avg/Min	1.07
Max/Min	1.14

DROP OFF

Project: jmlld -Combined GPI 2017-10-20 -- 2017-Oct-25 17h-10m-57s
Illuminance (Fc)

Average =	6.90
Maximum =	10.6
Minimum =	1.3
Avg/Min =	5.31
Max/Min =	8.15

Lot #3-#4 Driveway Loading

Project: jmlld -Combined GPI 2017-10-20 -- 2017-Oct-25 17h-10m-57s
Illuminance (Fc)

Average =	2.06
Maximum =	8.7
Minimum =	0.5
Avg/Min =	4.12
Max/Min =	17.40

Lot #4 Parking and Driveway

Project: jmlld -Combined GPI 2017-10-20 -- 2017-Oct-25 17h-10m-57s
Illuminance (Fc)

Average =	1.00
Maximum =	2.4
Minimum =	0.1
Avg/Min =	10.00
Max/Min =	24.00

Lot #4 Parking Lighting

Calculation Summary - Cont.

Project: jmlld -Combined GPI 2017-10-20 -- 2017-Oct-25 17h-10m-57s
Illuminance (Fc)

Average = 1.60
Maximum = 2.4
Minimum = 0.8
Avg/Min = 2.00
Max/Min = 3.00

North Side Security

Project: jmlld -Combined GPI 2017-10-20 -- 2017-Oct-25 17h-10m-57s
Illuminance (Fc)

Average = 1.93
Maximum = 3.1
Minimum = 0.6
Avg/Min = 3.22
Max/Min = 5.17

South Side hotel deck

Project: jmlld -Combined GPI 2017-10-20 -- 2017-Oct-25 17h-10m-57s
Illuminance (Fc)

Average = 2.06
Maximum = 8.2
Minimum = 1.0
Avg/Min = 2.06
Max/Min = 8.20

South Side walkway

Project: jmlld -Combined GPI 2017-10-20 -- 2017-Oct-25 17h-10m-57s
Illuminance (Fc)

Average = 3.17
Maximum = 14.6
Minimum = 0.5
Avg/Min = 6.34
Max/Min = 29.20

DEER STREET DEVELOPMENT
THE HOTEL AT FOUNDRY PLACE - LOT #3
165 DEER STREET, ASSESSORS MAP 125, LOT 17
LIGHTING COMPLIANCE TO ZONING ORDINANCE
OUTDOOR LIGHTING
11-17-2017
REVISED 12-18-2017

SUBMITTED BY J & M LIGHTING DESIGN, INC
207-967-5223
jmlight2@roadrunner.com

CITY OF PORTSMOUTH, NEW HAMPSHIRE

ZONING ORDINANCE



Adopted by Portsmouth City Council: December 21, 2009
Effective Date: January 1, 2010

As Amended Through: January 9, 2017

Table of Articles and Sections

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Section 10.1140 Outdoor Lighting

10.1141 Purpose

The purpose of this section is to enhance public safety and welfare by providing for adequate and appropriate outdoor lighting, providing for lighting that will complement the character of the City, reduce glare, minimize light trespass, reduce the cost and waste of unnecessary energy consumption, and prevent the degradation of the night sky.

10.1142 General Requirement and Applicability

10.1142.10 All public and private new or replacement outdoor lighting installed in the City of Portsmouth shall be in conformance with the requirements established by this Ordinance.

DESIGNER COMMENTS 11-17-2017: Project shall follow all provisions of the ordinance. Illumination values calculated on photometric plots are maximum levels with all lights energized. Hotel operator shall have options to turn on and off groups of lights and change the intensity level of the lights. Dimmers shall be used to pre-set lower lighting levels for groups of lights used dusk to dawn.

DESIGNERS COMMENTS 12-18-2017 – Photometric plan illustrates reduced light levels on the south side of the building. Revised placement of luminaires on lot #4.

10.1142.20 Any luminaire that does not conform to the standards of this Ordinance but was lawfully in place prior to the adoption of these standards shall be permitted to remain. However, any luminaire that replaces a nonconforming luminaire, or any nonconforming luminaire that is moved, must meet the standards of this Ordinance.

DESIGNER COMMENTS 11-17-2017: No existing luminaires are on this project.

10.1142.30 The following types of lighting are exempt from the requirements of this section:

- 10.1142.31 All temporary lighting required for construction projects related to road construction and repair, installation of sewer and water facilities, and other public infrastructure.
- 10.1142.32 All temporary emergency lighting needed by the police or fire departments or other emergency services, as well as all vehicular luminaires.
- 10.1142.33 State or Federal regulated lighting such as airports, towers requiring lighting, highway signage and traffic signals, etc.
- 10.1142.34 Low wattage or low voltage temporary decorative lighting used for holidays, festivals and special events, provided they do not pose a safety or nuisance problem due to light trespass or glare.

DESIGNER COMMENTS 11-17-2017:
 Items 10.1142.31, 10.1142.32, 10.142.33 are exempt from this submittal. 10.1142.34 shall be on the project at some-time but not designed or submitted as part of this submission.

10.1143 Total Outdoor Light Output Allowance

- 10.1143.10 Total outdoor light output for a parcel shall not exceed the lumen limits given in the following table. Values in this table are upper limits and not design goals; design goals should be the lowest levels that meet requirements of the task.

Zoning Districts	Maximum Mean Lumens Per Net Acre
Airport District (AIR)	Exempt
All Business Districts, except within the Historic District All Industrial Districts Airport Industrial, Pease Industrial, Airport Business Commercial	300,000
All Residential Districts All Mixed Residential Districts All Conservation Districts Historic District	55,000

- 10.1143.20 The total lumens shall be 100 percent of the lumens from outdoor light fixtures installed on grade, on poles, and on the top or sides of buildings or other structures.

DESIGNER’S COMMENTS 11-17-2017:
 LOT #3 Project is in the Business District (CD5-District) allowing 300,000 mean lumens.

LOT #4 Project is in the Historic District allowing 55,000 mean

lumens.

Lighting in the indoor garages are not part of the defined outdoor light fixtures per 10.1143.40b.

- 10.1143.30 “Net acres” shall mean the total parcel area excluding the area of (a) proposed and existing streets within the parcel, and (b) sports playing fields exempted from the lumens per acre cap under Section 10.1143.50.

DESIGNER’S COMMENTS 11-17-2017:

Net acres for LOT #3 is 0.61 acres x 300,000 lumens allowance = 183,000 allowed lumens.

Net acres for LOT #4 is 0.42 acres x 55,000 lumens allowance = 23,100 allowed lumens.

There are no sport playing fields on this project.

Our LOT #3 net lumens equal 94,151.25 lumens of non-cut-off luminaires or 88,848.75 lumens under the allotted value, we are in compliance. (See 10.1143.40 for calculations)

Our LOT #4 net lumens equal 23,100 lumens under the allotted value, we are in compliance since all fixtures are “Full cut-off”

Lighting in the indoor garages are not part of the “Net Acres” lumen count per 10.1143.40b

- 10.1143.40 Outdoor lighting fixtures meeting one of the following conditions shall not be counted in determining the total light output:

- (a) Full cut-off fixtures installed under canopies, building overhangs, or roof eaves.

DESIGNER’S COMMENTS 11-17-2017:

LOT #3

Full-cut-off is a deprecated term. The Illuminating Engineering Society (IES) has replaced the designation by the “BUG” rating. All luminaires used have upward component of above U = “0”

LOT #3

The following fixtures are included in net lumen acre lumens values DUE TO NOT BEING A CUT-OFF CLASSIFICATION.

Type JAW	at	2094 x 9 =	18,846
Type JKW	at	814 x 18 =	14,652
Type JLW	at	814 x 3 =	2,442
Type JNS PATTERN #1	at	12,577 x 1 =	12,577
Type JNS PATTERN #2	at	14,673.7 x 1 =	14,673.7
Type JNS PATTERN #3	at	10,449 x 1 =	10,449
Type JNS-PATTERN #4	at	3,354 x 1 =	3,354
Type JOS	at	17,157 x 1 =	17,157

lumens

LOT #3

The following luminaires are NOT included due to a BUG rating of U-0 [Full cut-off].

Type JBW

Type JCW-R

Type JDW

Type JER

Type JIR

Type JJR

LOT #4

Type JMG-4-HSS

Type JMG-5

- (b) Light fixtures shielded by the canopy, building overhang, or roof eaves in such a manner that no lamp or vertical element of a lens or diffuser is visible from off-site.

DESIGNER'S COMMENTS 11-17-2017:

LOT #3

Light fixtures TYPE JNS-PATTERN #1, #2, are shielded by soffit above

Light fixtures TYPE JNS-PATTERN #3, #4- are directed towards the outdoor bar area.

Light Fixtures TYPE JOS shielded by railing design

- 10.1143.50 Sports venue lighting is exempt from any lumens per acre standard for the playing field only.

DESIGNER'S COMMENTS 11-17-2017: There are no sports venue lighting on this project.

10.1144 Luminaire Design and Height

- 10.1144.10 Any luminaire with a lamp or lamps rated at a total of more than 1,800 lumens (and any flood or spot luminaires of more than 900 lumens) shall be a full-cutoff fixture and shall not emit any direct light above a horizontal plane passing through the lowest part of the light-emitting luminaire

DESIGNER'S COMMENTS 11-17-2017: The following luminaires used on this project have a lumen output of under 1,800 lumens or 900 lumens.

Type JAW

Type JBW

Type JCW-R

Type JDR

Type JER

Type JJR

Type JJR-L
Type JKW (flood under 900 lumens)
Type JLW (flood under 900 lumens)

Luminaires that have a BUG rating of “U0” [full-cut-off classification] and a lumen output of over 1,800 lumens

Type JIR at 1,868 lumens
Type JNS-PATTERN #1 at 13,455 lumens over 97.5’
Type JNS-PATTERN #2 at 15,697.50 lumens over 113.75’
Type JNS-PATTERN #3 at 11,178 lumens over 81’
Type JNS-PATTERN #4 at 3,588 lumens over 26’
Type JOS – 17,157 lumens over 129’

- 10.1144.20 Any luminaire, regardless of lumen rating, shall be equipped with whatever additional shielding, lenses, or cutoff devices are required to prevent light trespass onto any residential property that adjoins or is directly across a street, highway or stream from the lot on which the luminaire is located, and to prevent glare perceptible to persons on such residential property.

DESIGNER’S COMMENTS 11-17-2017: TYPE JAW shall be visible from off site. Due to the commercial nature of the property there shall be illumination on the ground beyond the property line on the North and west sides.

- 10.1144.30 Building façades may be illuminated with low intensity lighting as follows:

- 10.1144.21 The light source for the building façade illumination shall be concealed.

DESIGNER’S COMMENTS 11-17-2017: Building facades shall be illuminated down-ward by the shielded luminaires (TYPE JKW & TYPE JLW) mounted to the building.

- 10.1144.22 Building entrances may be illuminated using recessed lighting in overhangs and soffits, or by use of spotlighting focused on the building entrances with the light source concealed (e.g., in landscaped areas).

DESIGNER’S COMMENTS 11-17-2017: On the East side of the building commercial entrances use recess luminaires. TYPE JIR On the south side over the deck recess luminaires are used. TYPE JER

- 10.1144.23 Direct lighting of limited exterior building areas is permitted when necessary for security purposes.

DESIGNER’S COMMENTS 11-17-2017: TYPE JCW-R used on the northside of the building shall be for security. Luminaires shall be

pre-set dimmed to an acceptable level.

10.1144.40 Increased lighting interrupts or changes the natural duration of night light and can prevent some trees from going into dormancy, thereby making them more susceptible to winter weather and can decrease their effectiveness in tolerating pollution.

10.1144.41 Wherever possible, placement of lighting should be done in such a way as to direct light away from trees.

DESIGNER'S COMMENTS 11-17-2017:

Trees and light placement are being coordinated by the responsible design disciplines.

10.1144.42 When lighting will be directed at trees, high pressure sodium lamps and any incandescent lamps are not allowed.

DESIGNER'S COMMENTS 11-17-2017: Ground light shall not be directed at the trees. Trees shall be illuminated from the lighting placed on the building. All lighting shall follow the ordinance by the use of LED 3,000 k, with a CRI of over 80 to be in compliance with the provisions of the section.

10.1144.43 When planting trees where supplemental lighting already exists, trees shall be selected that have low sensitivity to light.

DESIGNER'S COMMENTS 11-17-2017: SEE NARRATIVE ON LANDSCAPE PLAN.

10.1144.50 A flood or spot luminaire with a lamp or lamps rated at 900 lumens or less may be used without restriction to light distribution, provided that it is aimed, directed, or focused so as not to cause direct light from the luminaire to be directed toward any residential property that adjoins or is directly across a street, highway or stream from the lot on which the luminaire is located, or to create glare perceptible to persons operating motor vehicles on public ways.

DESIGNER'S COMMENTS 11-17-2017:

TYPE JKW & JLW shall be directed toward the project building and not focused off property.

10.1144.60 The maximum mounting height of a luminaire shall be 20 feet above grade except as follows:

10.1144.61 Flood or spot luminaires with a lamp or lamps rated at 900 lumens or less, and other luminaires with a lamp or lamps rated at a total of 1800 lumens or less, may be used without restriction to mounting height.

DESIGNER'S COMMENTS 11-17-2017:

LOT #3

We have luminaires installed above 20'-0" on the balconies and decks, but they have a lumen output of 74 lumens (TYPE JBW).

Project has 17 TYPE JKW mounted at 35'-8-3/4" but is in compliance with a lumen output of 814 under the 900 lumens requirement.

Project has a three fixture TYPE JLW mounted at 58'-0" but is in compliance with a lumen output of 814 lumens under the 900 lumens requirement.

LOT #4

TYPE JMG-4-HSS & TYPE JMG-5 bottom of light emitting surface shall be 20'-0" off the ground in compliance with this requirement

- 10.1144.62 Luminaires used for public-roadway illumination may be installed at a maximum height of 25 feet and may be positioned at that height up to the edge of any bordering property.

DESIGNER'S COMMENTS 11-17-2017: There are no luminaires used for public roadway illumination. In compliance.

- 10.1144.63 Luminaires used primarily for sign illumination may be mounted at any height to a maximum of 25 feet, regardless of lumen rating.

DESIGNER'S COMMENTS 11-17-2017: Sign Lighting is not part of this submission.

- 10.1144.64 Luminaires used for athletic fields are exempt from the height limitations.

DESIGNER'S COMMENTS 11-17-2017: There are no athletic fields on this project. In compliance

10.1145 Hours of Operation

- 10.1145.10 Outdoor lighting shall not be illuminated between 11:00 p.m. and 6:00 a.m. with the following exceptions:

- 10.1145.11 If the use is being operated, such as a business open to customers, or where employees are working or where an institution or place of public assembly is conducting an activity, normal illumination shall be allowed during the activity and for not more than one hour after the activity ceases.

DESIGNER'S COMMENTS 11-17-2017: This project is a hospitality business functioning 24 hours per day.

- 10.1145.12 Low level lighting sufficient for the security of persons or

property on the lot may be in operation between 11:00 p.m. and 6:00 am, provided the average illumination on the ground or on any vertical surface is not greater than 0.5 foot-Candles

DESIGNER'S COMMENTS 11-17-2017: See photometric plan for foot-candle illustrating compliance.

10.1146 Recreational Facilities

- 10.1146.10 Any light source permitted by this Ordinance may be used for lighting of outdoor recreational facilities (public or private), such as, but not limited to, football fields, soccer fields, baseball fields, softball fields, tennis courts, or show areas, provided all of the following conditions are met:
- 10.1146.11 All fixtures used for lighting recreational fields and facilities shall be full-cutoff fixtures.
- 10.1146.12 All lighting installations shall be designed to achieve no greater than the minimal illuminance levels for the activity as recommended by the Illuminating Engineering Society of North America (IESNA).
- 10.1146.13 All events shall be scheduled so as to complete all activity before or as near to 11:00 pm as practical, but under no circumstances shall any illumination of the playing field, court, or track be permitted after 11:00 pm except to conclude a scheduled event that was in progress before 11:00 pm and circumstances prevented concluding before 11:00 pm.

DESIGNER'S COMMENTS 11-17-2017: Does not apply. There are no outdoor recreational facilities on this project.

10.1147 Outdoor Display Lots

- 10.1147.10 Any light source permitted by this Ordinance may be used for lighting of outdoor display lots as defined by this Ordinance, provided that both of the following conditions are met:
- 10.1147.11 All fixtures used for lighting the display lots shall be full-cutoff fixtures.
- 10.1147.12 All lighting installations shall be designed to achieve no greater than the minimal illuminance levels for the activity as recommended by the Illuminating Engineering Society of North America (IESNA).

DESIGNER'S COMMENTS 11-17-2017: Does not apply. There are no Outdoor Display Lots on this project.

10.1148 Temporary Outdoor Lighting

10.1148.10 Any temporary outdoor lighting that conforms to the requirements of this Ordinance shall be allowed. Nonconforming temporary outdoor lighting may be permitted by the Board of Adjustment after considering:

- (a) the public and/or private benefits that will result from the temporary lighting;
- (b) any annoyance or safety problems that may result from the use of the temporary lighting; and
- (c) the duration of the temporary nonconforming lighting.

10.1148.20 The applicant shall submit a detailed description of the proposed temporary nonconforming lighting to the Board of Adjustment and shall comply with all procedures for special exceptions as stated in Article 2.

DESIGNER'S COMMENTS 11-17-2017: Project does not anticipate temporary lighting at this submission except for lighting for the holiday season.

10.1149 Prohibitions

The following uses and types of lighting are prohibited:

- 10.1149.10 The use of laser source light or any similar high intensity light for outdoor advertising or entertainment, when projected above the horizontal.
- 10.1149.20 The operation of searchlights except by civil authorities for public safety.
- 10.1149.30 The nighttime use of white or white strobe lighting on communication towers unless written proof of FAA requirement is provided.

DESIGNER'S COMMENTS 11-17-2017: Project shall be in conformance with section.

DEER STREET DEVELOPMENT
THE HOTEL AT FOUNDRY PLACE, LOT #3
165 DEER STREET, ASSESSORS MAP 125, LOT 62
LIGHTING COMPLIANCE TO SITE PLAN REVIEW
REGULATIONS
11-17-2017
REVISED 12-18-2017

SUBMITTED BY J & M LIGHTING DESIGN, INC
207-967-5223
jmlight2@roadrunner.com

CITY OF PORTSMOUTH, NEW HAMPSHIRE

SITE PLAN REVIEW REGULATIONS



Adopted by Planning Board: December 17, 2009
Amended: February 18, 2016

SITE PLAN REVIEW REGULATIONS

ARTICLE 10 OUTDOOR LIGHTING	51
SECTION 10.1 GENERAL PROVISIONS.....	51
SECTION 10.2 COMPLIANCE WITH ZONING ORDINANCE	51
SECTION 10.3 LIGHTING PLAN.....	51
SECTION 10.4 LAMPS.....	52

Article 10 Outdoor Lighting

Section 10.1 General Provisions

All projects submitted for Site Plan Review shall provide dark sky friendly outdoor lighting according to these regulations in order to:

- (a) Permit reasonable uses of outdoor lighting for night-time safety, utility, security, productivity, enjoyment and commerce;
- (b) Minimize glare, obtrusive light, and artificial sky glow by limiting outdoor lighting that is misdirected, excessive, or unnecessary;
- (c) Conserve energy and resources to the greatest extent possible.

DESIGNER’S COMMENTS 11-17-2017: Project follows the above provisions.

Section 10.2 Compliance with Zoning Ordinance

All projects shall comply with the outdoor lighting dark sky friendly standards provided in the Zoning Ordinance.

DESIGNER’S COMMENTS 11-17-2017: Project is not completely in compliance. Light levels illustrated do not take into consideration the actual sloping contours of the site.

Section 10.3 Lighting Plan

1. When a proposed project includes outdoor lighting, the Site Plan shall include a lighting plan which shall show:
 - (a) The location on the site where outdoor lighting fixtures (both pole and mounted) will be installed.

DESIGNER'S COMMENTS 11-17-2017: See all architectural elevations for the building mounted luminaires. Those luminaires that are on balconies (Southwest corner) or on the 5th floor or above are not included in the ground calculations.

- (b) Scaled plans indicating the location of outdoor lighting fixtures on the site, the height of each fixture, the types of outdoor lighting proposed, and the level of wattage and initial lumens for all light sources.

DESIGNER'S COMMENTS 11-17-2017: See attached schedule for compliance verification. "Delivered lumens" values have been used for the calculations.

- (c) A description of the outdoor lighting fixtures including but not limited to manufacturer's catalog descriptions and drawings. The required plans and descriptions shall be sufficiently complete to enable the Planning Board to readily determine compliance with the requirements of this regulation.

DESIGNER'S COMMENTS 11-17-2017: See attached catalog pages, photometric report and in some cases photometric template for all fixtures specified

- (d) A photometric (iso-lux) plan indicating levels of illumination, in foot candles, at ground level.

DESIGNER'S COMMENTS 11-17-2017: See attached plots for illumination levels Calculation values are presented on 5'-0" centers and carried out to 2 decimal places. These values are initial foot-candles. Iso-lux contours have been provided to illustrate various light levels:

Light of a full moon 0.01 foot-candles with no atmospheric particulates

Light at 0.20 foot-candles a value usually used for minimum security lighting

Light level of 1.00 foot-candles an arbitrary level

- 2. The maintained horizontal illuminance standards set by the Illuminating Engineering Society of North America (IESNA) shall be observed.

DESIGNER'S COMMENTS 11-17-2017:

The following publications were used as references for the design

RP-33-2014 "Lighting for Exterior Environments"

RP-08-2014 "Roadway Lighting"

RP-20-2014 revised "Lighting for Parking Facilities"

IES 10th Edition Handbook.

3. Should any outdoor light fixture, or the type of light source therein, be changed after the building permit has been issued an amended site plan approval shall be required.

Section 10.4 Lamps

1. Lamp types shall be selected for optimum color rendering as measured by their color rendering index (CRI), as listed by the lamp manufacturer.

DESIGNER'S COMMENTS 11-17-2017: All lamps used have a CRI of 80 or above.

2. Lamps with a color rendering index lower than 50 are not permitted. This requirement shall not apply to decorative lighting which may include colored lamps, such as holiday lighting.

DESIGNER'S COMMENTS 11-17-2017: Project is in compliance with this criteria with all lamps having a CRI above 80.

3. Commercial lighting shall meet minimum IESNA illumination levels while not exceeding IESNA uniformity ratios and average illuminance recommendations.

East side sidewalk under canopy and Drop-off during business hours dusk till dawn.

Illumination levels shall be:

- 7.04 Average foot-candles
- 10.80 Maximum foot-candles
- 1.7 Minimum foot-candles
- 4.14:1 Average/minimum
- 6.35:1 Maximum/minimum

East side Lot #4 parking for hotel lighting; dusk to dawn.

Illumination levels shall be:

- 1.95 Average foot-candles
- 2.90 Maximum foot-candles
- 1.4 Minimum foot-candles
- 1.39:1 Average/minimum
- 2.07:1 Maximum/minimum

East side Lot #4 parking and Driveway lighting; dusk to dawn.

- 1.31 Average foot-candles
- 3.3 Maximum foot-candles
- 0.3 Minimum foot-candles
- 4.37:1 Average/minimum
- 11.00:1 Maximum/Minimum

East side Lot #3-#4 Driveway, Loading Zone and entrance to garage

2.47 Average foot-candles
8.8 Maximum foot-candles
0.6 Minimum foot-candles
4.12:1 Average/minimum
14.67:1 Maximum/Minimum

South side sidewalk Dusk till Dawn Public Sidewalk

4.11 Average foot-candles
19.7 Maximum foot-candles
0.5 Minimum foot-candles
8.22:1 Average/minimum
39.40:1 Maximum/Minimum

North side security lighting to property line; Dusk till Dawn

1.94 Average foot-candles
3.1 Maximum foot-candles
0.6 Minimum foot-candles
3.23:1 Average/minimum
5.17:1 Maximum/Minimum

At 11:00 P.M. automatic pre-set control shall allow reduction in illumination levels to under 0.50 average foot-candles.

South side hotel deck TYPE JAR, JER, JOS are dimmable, levels are maximum, separate dimmable circuits.

13.44 Average foot-candles
25.6 Maximum foot-candles
6.5 Minimum foot-candles
2.07:1 Average/minimum
3.94:1 Maximum/Minimum

REVISED LIGHT LEVELS 12-18-2017 SUBMISSION

East side sidewalk under canopy and Drop-off during business hours dusk till dawn.

Illumination levels shall be:

6.90 Average foot-candles
10.60 Maximum foot-candles
1.3 Minimum foot-candles
5.31:1 Average/minimum
8.15:1 Maximum/minimum

East side Lot #4 parking for hotel lighting; dusk to dawn.

Illumination levels shall be:

1.60 Average foot-candles
2.40 Maximum foot-candles
0.8 Minimum foot-candles
2.00:1 Average/minimum
3.00:1 Maximum/minimum

East side Lot #4 parking and Driveway lighting; dusk to dawn.

1.0 Average foot-candles
2.4 Maximum foot-candles
0.1 Minimum foot-candles
10.00:1 Average/minimum
24.00:1 Maximum/Minimum

East side Lot #3-#4 Driveway, Loading Zone and entrance to garage

2.06 Average foot-candles
8.7 Maximum foot-candles
0.5 Minimum foot-candles
4.12:1 Average/minimum
17.40:1 Maximum/Minimum

South side sidewalk Dusk till Dawn Public Sidewalk

3.17 Average foot-candles
14.6 Maximum foot-candles
0.5 Minimum foot-candles
6.34:1 Average/minimum
29.20:1 Maximum/Minimum

South side hotel deck TYPE JAR at 50%, JER & JOS are off, separate dimmable circuits.

2.06 Average foot-candles
8.2 Maximum foot-candles
1.0 Minimum foot-candles
2.06:1 Average/minimum
8.01:1 Maximum/Minimum



GeoInsight®

Environmental Strategy & Engineering
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January 15, 2018

GeoInsight Project 8090-000

Ms. Juliet T. H. Walker
Planning Director (Chair)
City of Portsmouth Technical Advisory Committee
City Hall, 3rd Floor
1 Junkins Avenue
Portsmouth, NH 03801

RE: January 30, 2018 TAC Hearing Site Plan Review Submittal
The Hotel At Foundry Place, "Lot 3"
165 Deer Street, Assessors Map 125 Lot 17
And Related Improvements To Lots 2, 4 And 5
Foundry Place LLC and Deer Street Associates
Portsmouth, NH 03801

Ms. Walker and TAC Members:

On behalf of Foundry Place LLC and Deer Street Associates (Foundry Place/DSA, the owners), GeoInsight, Inc. (GeoInsight) prepared this letter and attachments for the City of Portsmouth (the City) Technical Advisory Committee (TAC) for the January 30, 2018 Public Hearing. As requested by the City and as presented in the January 2, 2018 meeting, this submittal seeks approval of the proposed redevelopment of Lot 3 and proposed improvements to two adjacent properties and one nearby by property (Lots 2, 4, and 5); the proposed off-site improvements are required for the proposed development of Lot 3. The design package includes a single submittal for the proposed changes to each of the affected lots.

Revisions and additions to the Lot 3 design, and the improvements to Lots 2, 4, and 5, are based upon a written list of topics and comments provided by TAC on January 2, 2018 for the Lot 3 design, and discussions and comments received during the January 2, 2018 TAC Hearing. These comments from TAC formed the basis of our response submittal that accompanies this cover letter. Included with this letter is a Comment Response Matrix (Table 1) prepared to track the individual issues identified by the City regarding the January 2, 2018 design submittal package, and the subsequent response from the Foundry Place/DSA team. As indicated on the table, most of the comments provided by TAC have been addressed. We anticipate that the items listed in Table A that are highlighted in yellow will form the basis of the January 30, 2018 TAC hearing discussions.

GeoInsight, Inc.
186 Granite Street, 3rd Floor, Suite A
Manchester, NH 03101-2643
Tel (603) 314-0820
Fax (603) 314-0821

GeoInsight, Inc.
One Monarch Drive, Suite 201
Littleton, MA 01460-1440
Tel (978) 679-1600
Fax (978) 679-1601

GeoInsight, Inc.
200 Court Street, 2nd Floor
Middletown, CT 06457-3341
Tel (860) 894-1022
Fax (860) 894-1023

GeoInsight, Inc.
4 Market Place Drive, 2nd Floor
York, ME 03909
Tel (207) 606-1043



Updated or new information that was requested to be incorporated into the Lot 3 design package and was of a minor nature is included in the electronic version of the entire package submittal. These include:

- notes added to the plans regarding Fire Department comments for sprinklers;
- references to Morin pavers removed from plans;
- plan set cover sheet updated to address all plans in the set;
- Community Space labeling between C3.4 and E1 corrected;
- reference to sidewalk easement for Lot 4 removed; and
- zoning boundaries now shown on civil plans.

Other changes for consideration as part of the overall design package are included as focused details presented in a hard copy fashion on 11 x 17-inch pages attached to this letter, and include:

- revised streetscape to eliminate breaks in vegetative strip;
- details of the proposed screen around the transformer pads;
- details for the landscaping to be installed along the Lot 3 rear property line along the fence;
- a revised drain manhole detail identifying the shelf to be composed entirely of brick;
- a revised drain manhole layout; and
- Hotel entrance sign detail.

The Foundry Place/DSA team appreciates the opportunity to work with the TAC and interested members of the public on this project. If you have questions about the information in this cover letter or attached materials, please contact us at (603) 314-0820.

Sincerely,
GEOINSIGHT, INC.

A handwritten signature in blue ink that reads "Michael C. Penney".

Michael C. Penney, P.E.
Senior Engineer/Principal

Enc.

**TABLE 1
LOT 3 - TAC COMMENT MATRIX**

	Item	Status	Comment
1	Brick crosswalk	Resolved	City to provide DSA with agreement for continued maintenance of crosswalk
2	Removable screen at transformer	Resolved	Screen detail to be shown on landscape plans provided (refer to attached submittal)
3	Stormwater peer review	Pending	Geolnsight to address peer review comments when received
4	Traffic peer review	Pending	GP to address peer review comments when received
5	Gas Will Serve letter	Resolved	Letter from Unitil attached
6	Lot 2 Surety	Resolved	DSA to provide standard surety for Lot 2 work in addition to Lot 3; this will be a condition of the construction permit
7	Pressurized stairwells	Resolved	Note added to plan to address Fire Dept. comment
8	Sprinklers at lifts	Resolved	Note added to plan to address Fire Dept. comment
9	Cost sharing for Deer St. water main replacement	Pending	DSA/Foundry Place team members to meet with City to discuss mitigation package
10	Traffic impacts mitigation	Pending	DSA/Foundry Place team members to meet with City to discuss mitigation
11	“Drop off” area on Foundry Place	Resolved	Landscape island extended to remove two “gaps” along Foundry Place (refer to attached submittal)
12	PDMH1	Resolved	Structure eliminated, connect into DMH 3541 (refer to attached submittal)
13	Area Stormwater Study	Pending	City requested contribution to area-wide stormwater study; City to provide estimated cost to DSA
14	Paver details	Resolved	All references to Morin pavers removed
15	Brick manhole shelves	Resolved	Details revised to show brick shelves to be made entirely of brick (refer to attached submittal)
16	Gateway Arch Sign	Resolved	Reference to Gateway Arch sign removed from plans
17	Entrance Sign	Resolved	Entrance sign detail on provided on plans (refer to attached submittal)
18	Sheet numbers	Resolved	Cover sheet of plan set updated to include all plans in the set
19	Sheet T.02T	Resolved	Note added that project is vested per date of design review meeting
20	Incentive Overlay district	Resolved	Section corrected to reference 10.5A46.10
21	Community space labeling	Resolved	Labeling coordinated to be consistent on sheets C3.4 and E1
22	Sidewalk easement Lot 4	Resolved	Note regarding sidewalk easement on Lot 4 for Lot 3 removed; this easement will be required for Lot 4 permitting
23	Show Zoning Boundary	Resolved	Zoning boundaries shown on plans
24	Building height	Resolved	Sheets C4.3, C4.0 revised to reflect 62 ft height listed on Sheet T.02T
25	License Agreement	Resolved	Note added to C3.1 regarding license agreement required from City Council to allow outdoor dining area
26	Railroad Planting Detail	Resolved	Details provided on plans (refer to attached submittal)

ATTACHMENTS



1/04/17

Deer Street Associates
c/o GL Rogers & Sons, Inc.
P.O. Box 100
York Harbor, ME 03911

Re: Approval of the proposed gas layout as shown on Sheet C5.1 of *The Hotel at Foundry Place, "Lot 3"...* plan set with revision date of 11/17/2017

Unitil's natural gas division has reviewed the requested sites for natural gas service.

Unitil hereby confirms natural gas service will be available from Bridge Street and Deer Street and can be provided to *Lot 3-6, Portsmouth, NH*. Installation of new gas services pending authorized installation agreement, & road opening permit from the City of Portsmouth.

Approval of the gas loads as stated on the utility load sheet titled "RE: JSA Deer Street Associates Building Concept Utility Flow Rates" by Engineering Systems with date of December 8, 2017

Please contact me with any questions at 603-294-5144.

Sincerely,

A handwritten signature in black ink, appearing to read "D Beaulieu".

David Beaulieu
Business Development Representative
Unitil Natural Gas
325 West Road
Portsmouth, NH 03801

CUSTOMER ENERGY SOLUTIONS
325 West Road
Portsmouth, NH 03801

Michael C. Penney

From: Joseph H. Kieffner
Sent: Tuesday, January 16, 2018 10:17 AM
To: Michael C. Penney
Subject: Fwd: DSA Lot 3 Service Letter

Sent from my iPhone

Begin forwarded message:

From: "Beaulieu, David" <beaulieu@unitil.com>
Date: January 4, 2018 at 5:45:15 PM EST
To: "Joseph H. Kieffner" <jhkieffner@geoinc.com>
Cc: Gregg Mikolaities <Gregg@augustpllc.com>, "Michael C. Penney" <MCPenney@geoinc.com>
Subject: RE: DSA Lot 3 Service Letter

Yes, the existing gas main, without the extension to Foundry Place is sufficient to connect the new services to. Lot 6 will have to connect to Hill Street from behind.

Dave

David Beaulieu
Sr. Business Development Representative
Unitil | 325 West Road | Portsmouth NH
o: 603.294.5144 f: 603.294.5244
Beaulieu@unitil.com | www.unitil.com

From: Joseph H. Kieffner [<mailto:jhkieffner@geoinc.com>]
Sent: Thursday, January 04, 2018 5:42 PM
To: Beaulieu, David
Cc: Gregg Mikolaities; Michael C. Penney
Subject: RE: DSA Lot 3 Service Letter

David,

Does this mean the existing mains will supply the loads?

Thanks,

Joseph H. Kieffner, P.E.
Project Engineer
GeoInsight, Inc.
186 Granite Street, 3rd Floor, Suite A
Manchester, NH 03101-2643
Tel: (603) 314-0820 ext. 210
Fax: (603) 314-0821
www.geoinsight.com

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From: Beaulieu, David [<mailto:beaulieu@unitil.com>]
Sent: Thursday, January 04, 2018 5:39 PM
To: Joseph H. Kieffner <jhkieffner@geoinc.com>
Cc: Gregg Mikolaities <Gregg@augustpllc.com>; Michael C. Penney <MCPenney@geoinc.com>
Subject: RE: DSA Lot 3 Service Letter

Hi Joseph,

All set. Hopefully the top address is still correct from the previous letter.

Dave

David Beaulieu
Sr. Business Development Representative
Unitil | 325 West Road | Portsmouth NH
o: 603.294.5144 f: 603.294.5244
Beaulieu@unitil.com | www.unitil.com

From: Joseph H. Kieffner [<mailto:jhkieffner@geoinc.com>]
Sent: Thursday, January 04, 2018 2:28 PM
To: Beaulieu, David
Cc: Gregg Mikolaities; Michael C. Penney
Subject: Re: DSA Lot 3 Service Letter

David,

Have you heard anything back from your engineering department regarding DSA's proposed gas loads?

Thanks,
-Joseph

Sent from my iPhone

On Dec 19, 2017, at 1:19 PM, Beaulieu, David <beaulieu@unitil.com> wrote:

Hi Joseph,

Sorry for the delay. The cold weather shifts everyone into crazy busy mode.

I'll have our engineering department review for approval so I can get a letter out to you.

Dave

David Beaulieu
Sr. Business Development Representative

From: Joseph H. Kieffner [<mailto:jhkieffner@geoinc.com>]
Sent: Tuesday, December 12, 2017 12:57 PM
To: Beaulieu, David
Cc: Gregg Mikolaities; Michael C. Penney
Subject: RE: DSA Lot 3 Service Letter

David,

The City is wanting a letter stating that the current gas infrastructure is able to supply all of DSA's properties. I've attached the load letter for the 4 DSA properties and the Lot 3 utility plan sheet for your review.

Please include the following in your letter:

- Approval of the proposed gas layout as shown on 'Sheet C5.1 of *The Hotel at Foundry Place, "Lot 3"...* plan set with revision date of 11/17/2017'
- Approval of the gas loads as stated on the 'utility load sheet titled "RE: JSA Deer Street Associates Building Concept Utility Flow Rates" by Engineering Systems with date of December 8, 2017'

I will perform a follow up call around 1:45

Thanks,

Kind Regards,

Joseph H. Kieffner, P.E.
Project Engineer
GeoInsight, Inc.
186 Granite Street, 3rd Floor, Suite A
Manchester, NH 03101-2643
Tel: (603) 314-0820 ext. 210
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From: Beaulieu, David [<mailto:beaulieu@unitil.com>]
Sent: Thursday, November 16, 2017 12:55 PM
To: Joseph H. Kieffner <jhkieffner@geoinc.com>
Cc: Gregg Mikolaities <Gregg@augustpllc.com>; Michael C. Penney <MCPenney@geoinc.com>
Subject: RE: DSA Lot 3 Service Letter

Hi Joe,

Attached is the requested Will Serve Document for Lot 3.

Dave

David Beaulieu
Sr. Business Development Representative
Unitil | 325 West Road | Portsmouth NH
o: 603.294.5144 f: 603.294.5244
Beaulieu@unitil.com | www.unitil.com

From: Joseph H. Kieffner [<mailto:jhkieffner@geoinc.com>]
Sent: Friday, November 10, 2017 11:59 AM
To: Beaulieu, David
Cc: Gregg Mikolaities; Michael C. Penney
Subject: DSA Lot 3 Service Letter

David,

Please find the attached Utility Plan for the DSA Lot 3 Development for your review and approval. Also attached is the "will serve" letter sent out for Lot 6 with requested changes for Lot 3.

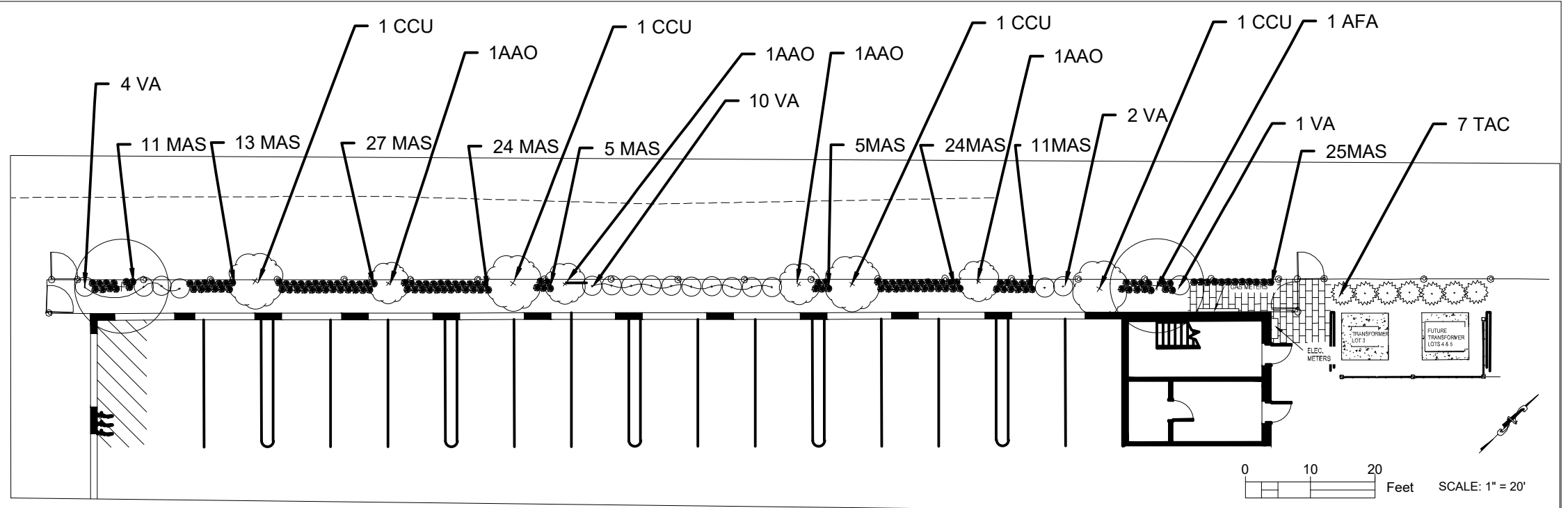
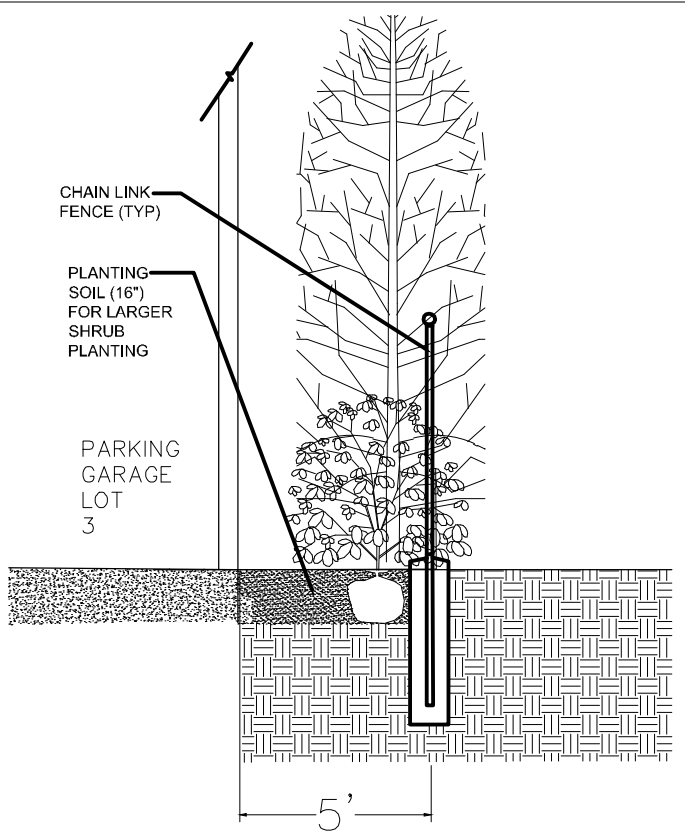
Please call if you have any questions.

Kind Regards,

Joseph H. Kieffner, P.E.
Project Engineer
GeoInsight, Inc.
186 Granite Street, 3rd Floor, Suite A
Manchester, NH 03101-2643
Tel: (603) 314-0820 ext. 210
Fax: (603) 314-0821
www.geoinsight.com

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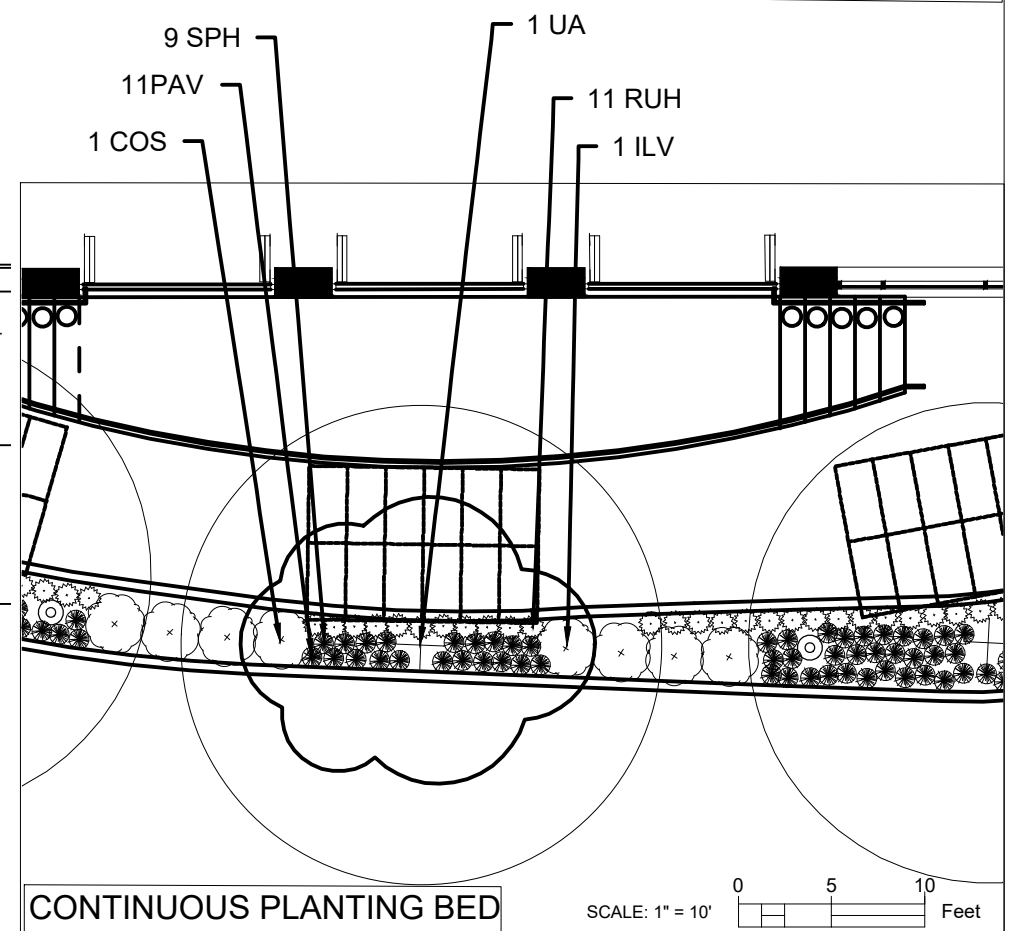
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LOT 3 EDITS

Symbol	Scientific Name	Common Name	Size	Spacing	Mature Height	Crown Spread	Growth Habit	Notes
Trees								
AFA	ACER Freeman 'Armstrong'	Freeman maple	2-2.5" cal.	see plan	50' -70'	10' - 15'	Tall & Narrow	Tall with a very narrow shape, good fall color under good conditions
AAO	AMELANCHIER alnifolia 'Obelisk'	Standing Ovation™ Serviceberry	#2 cont.	see plan	15'	4'	Narrow	Three-season interest, its upright, perfectly oval form is attractive even during winter
CCU	CARPINUS caroliniana 'J.N. Upright'	Firespire™ American hornbeam	#2 cont.	see plan	20'	10'	narrow	A narrow, upright cultivar with improved red-orange fall color
UA	ULMUS americana 'Princeton'	American Elm 'Princeton'	2-2.5" cal.	see plan	30-40'	24'	Vase	A vigorous, healthy grower with a uniform vase shape
Shrubs								
COS	CORNUS sericea 'Artic Fire'	Dogwood, Artic-Fire Red-Osier	3-4' ht	see plan	3-4'	3-4'	Rounded	Compact, dense form growing wider than tall. Bright red bark
ILV	ILEX verticillata 'Red Sprite' (female)	Winterberry 'Red Sprite'	3-4' ht	see plan	3-4'	3-4'	Rounded	Very dense and compact. Long-lasting fruit
TAC	TAXUS cuspidata 'Adams'	Yew, Adams Columnar	3-4' B&B	see plan				Upright, fast-growing. Fills out into a dense hedge quick. Evergreen
VA	Viburnum acerifolium	maple leaf vibernum	#2 cont.	see plan	6'	6'	clump	Native to eastern North America. Very shade tolerant, exquisite fall color
Perennials								
MAS	Matteuccia struthiopteris	Ostrich Fern	3" pot	18" o.c.	36-60"	5'	Vase	Native to New England, shade loving, large dramatic shape
PAV	PANICUM virgatum 'Shenandoah'	Switch Grass	#2 cont.	18" o.c.	3-4'	2-3'	Upright	Green leaves in early summer turning to dark red
RUH	RUDBECKIA hirta	Black-eyed Susan	#2 cont.	18" o.c.	2-3'	1-2'	Clump	A showy wildflower
SPH	SPOROBOLUS heterolepis	Prairie Dropseed	#2 cont.	18" o.c.	2-3'	2-3'	Clump	Foliage turns golden with orange hues in fall

NOTE: only within revision cloud changes occur.
The planting plan is showing what should be added to make a continuous front planting bed in front of LOT 3



Deer Street Associates



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 AMBIT ENGINEERING, INC.
 GREENMAN-PEDERSEN, INC.
 ENGINEERED BUILDING SYSTEMS
 ENGINEERED SYSTEMS INC.
 JSN ASSOCIATES, INC.

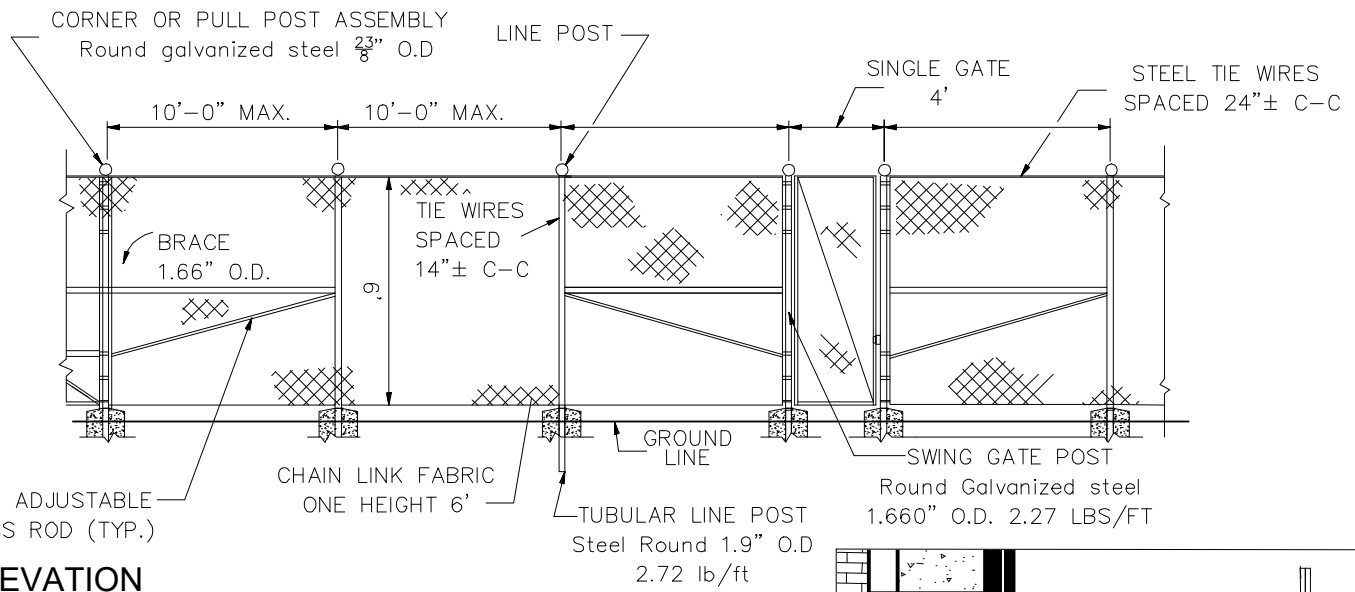
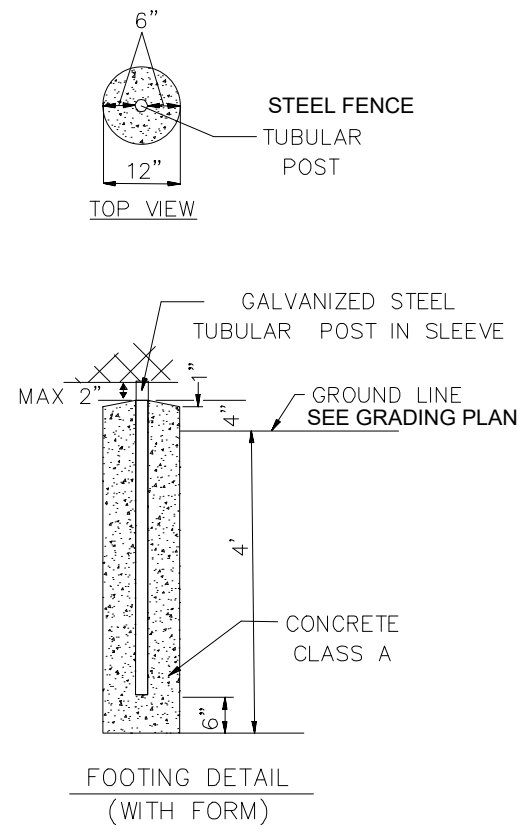
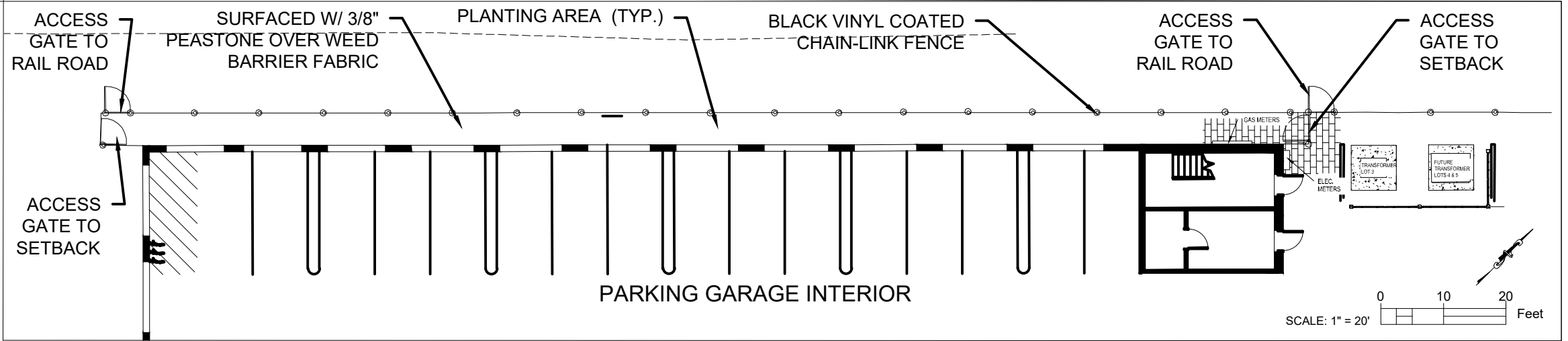
Project:
THE HOTEL AT FOUNDRY PLACE, "LOT 3": 165 DEER STREET, ASSESSORS MAP 125 LOT 17, AND RELATED IMPROVEMENTS TO LOTS 2, 4 AND 5

Title:
Lot 3 Edits. Planting Plan

Project No. 14837.02	Reference Drawing: LOT 3 L2
Scale: As noted	TAC Reference: 3
Drawn By: Sage Sluter	Sketch No:
Date: 1/16/2018	SK-L.1

C:\Users\kozak\Documents\2016 - 837.02 - Deer St. Lot 3 Hotel - CENTRAL - CURRENT 2017-09-11_ikozak.rvt

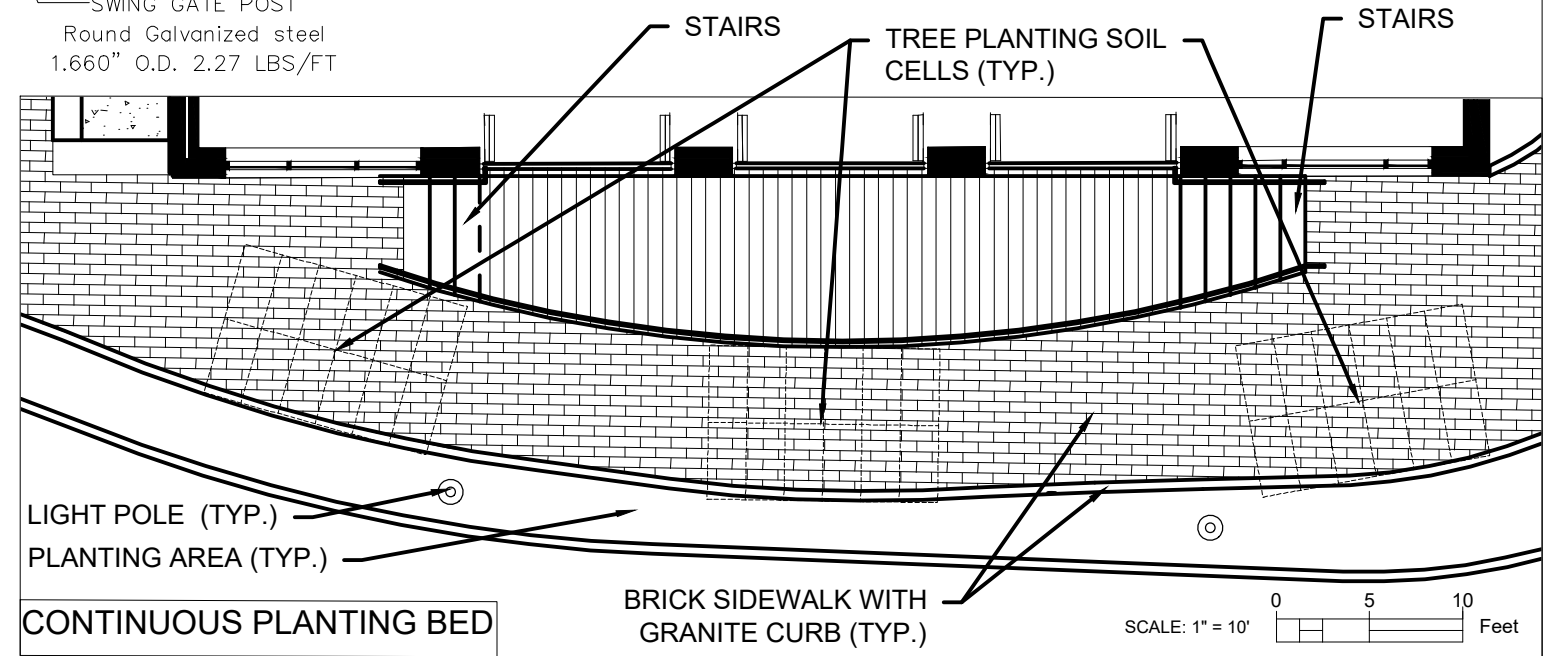
1/11/2018 10:05:56 AM



BLACK VINYL COATED CHAIN-LINK FENCE

GENERAL NOTES

1. ALL END POSTS SHALL HAVE ONE BRACE.
2. ALL CORNER AND INTERMEDIATE BRACE OR PULL POSTS SHALL HAVE TWO BRACES.
3. ALL POSTS SHALL BE INSTALLED VERTICALLY. WHERE POSTS ARE INSTALLED ON AN INCLINED SURFACE, THE ANGLE OF THE POST SHALL BE ADJUSTED SO THAT THE POST WILL BE VERTICAL



Deer Street Associates

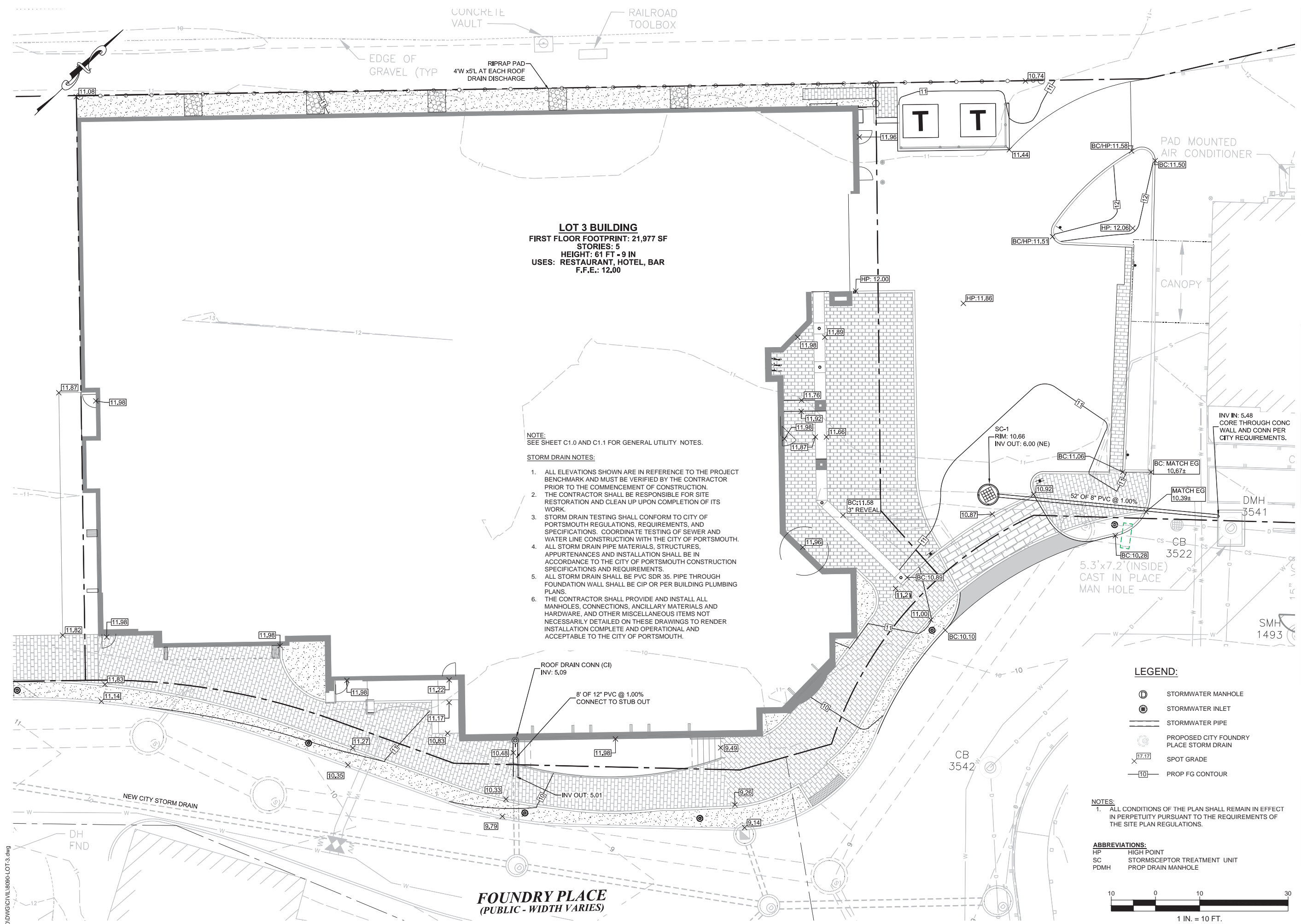


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 AMBIT ENGINEERING, INC.
 GREENMAN-PEDERSEN, INC.
 ENGINEERED BUILDING SYSTEM
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Project:
THE HOTEL AT FOUNDRY PLACE, "LOT 3": 165 DEER STREET, ASSESSORS MAP 125 LOT 17, AND RELATED IMPROVEMENTS TO LOTS 2, 4 AND 5

Title:
Lot 3 Edits. Materials Plan

Project No. 14837.02	Reference Drawing: LOT 3 L1
Scale: As noted	TAC Reference: Sage Sluter
Drawn By: Sage Sluter	Sketch No: SK-L.2
Date: 1/16/2018	



LOT 3 BUILDING
 FIRST FLOOR FOOTPRINT: 21,977 SF
 STORIES: 5
 HEIGHT: 61 FT - 9 IN
 USES: RESTAURANT, HOTEL, BAR
 F.F.E.: 12.00

NOTE:
 SEE SHEET C1.0 AND C1.1 FOR GENERAL UTILITY NOTES.

STORM DRAIN NOTES:

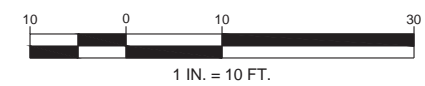
1. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE PROJECT BENCHMARK AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE RESTORATION AND CLEAN UP UPON COMPLETION OF ITS WORK.
2. STORM DRAIN TESTING SHALL CONFORM TO CITY OF PORTSMOUTH REGULATIONS, REQUIREMENTS, AND SPECIFICATIONS. COORDINATE TESTING OF SEWER AND WATER LINE CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
3. ALL STORM DRAIN PIPE MATERIALS, STRUCTURES, APPURTENANCES AND INSTALLATION SHALL BE IN ACCORDANCE TO THE CITY OF PORTSMOUTH CONSTRUCTION SPECIFICATIONS AND REQUIREMENTS.
4. ALL STORM DRAIN SHALL BE PVC SDR 35. PIPE THROUGH FOUNDATION WALL SHALL BE CIP OR PER BUILDING PLUMBING PLANS.
5. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, CONNECTIONS, ANCILLARY MATERIALS AND HARDWARE, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION COMPLETE AND OPERATIONAL AND ACCEPTABLE TO THE CITY OF PORTSMOUTH.

LEGEND:

- ⊙ STORMWATER MANHOLE
- ⊕ STORMWATER INLET
- STORMWATER PIPE
- ⊙ PROPOSED CITY FOUNDRY PLACE STORM DRAIN
- × SPOT GRADE
- PROP FG CONTOUR

NOTES:
 1. ALL CONDITIONS OF THE PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REGULATIONS.

ABBREVIATIONS:
 HP HIGH POINT
 SC STORMSEPTOR TREATMENT UNIT
 PDMH PROP DRAIN MANHOLE



JSA
 ARCHITECTS
 INTERIORS
 PLANNERS

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THE HOTEL AT FOUNDRY PLACE, "LOT 3": 165 DEER STREET, ASSESSORS MAP 125 LOT 17, AND RELATED IMPROVEMENTS TO LOTS 2, 4 AND 5

PORTSMOUTH, NH 03801

OWNER:
 Deer Street Associates

7 BANKS ROCK ROAD
 YORK HARBOR, ME



Scale:
 Date: **3/17/2017**
 Project Number: **14837.02**

REVISIONS		
NO.	DESCRIPTION	DATE
1	TAC PUBLIC HEARING	3/17/2017
2	TAC PUBLIC HEARING	11/17/2017
3	TAC PUBLIC HEARING	12/19/2017
4	TAC PUBLIC HEARING	01/18/2018

SITE PLAN REVIEW

GRADING AND DRAINAGE PLAN

C4.0

PERMIT PLANS - NOT FOR CONSTRUCTION

1:8090\DWG\CIVIL\8090-LOT-3.dwg

**THE HOTEL AT
 FOUNDRY PLACE,
 "LOT 3": 165 DEER
 STREET, ASSESSORS
 MAP 125 LOT 17,
 AND RELATED
 IMPROVEMENTS TO
 LOTS 2, 4 AND 5**

PORTSMOUTH, NH 03801

OWNER:
 Deer Street Associates

7 BANKS ROCK ROAD
 YORK HARBOR, ME



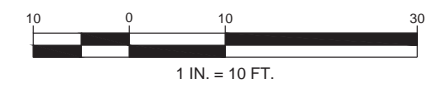
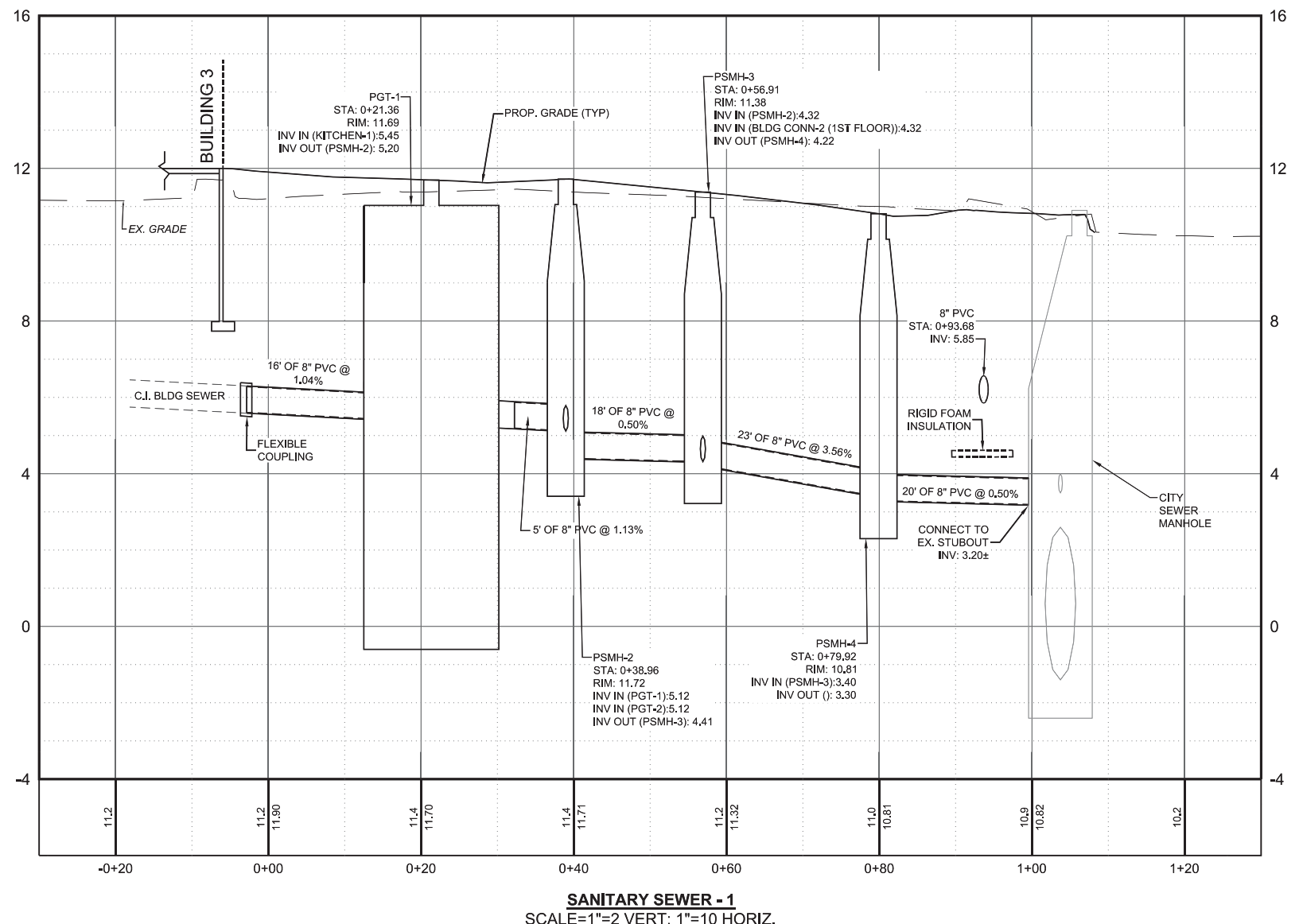
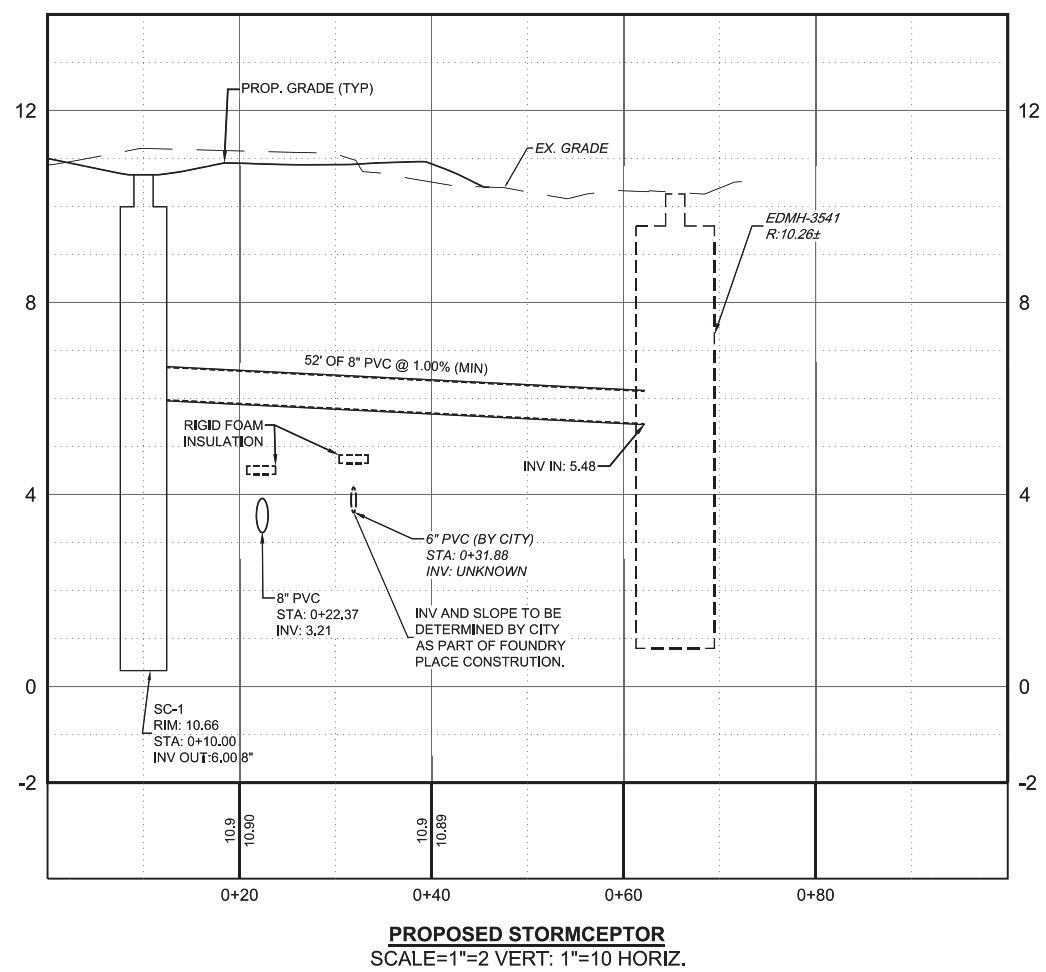
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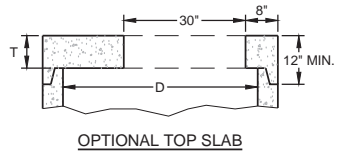
SITE PLAN REVIEW

**SANITARY
 SEWER AND
 DRAINAGE
 PROFILES**

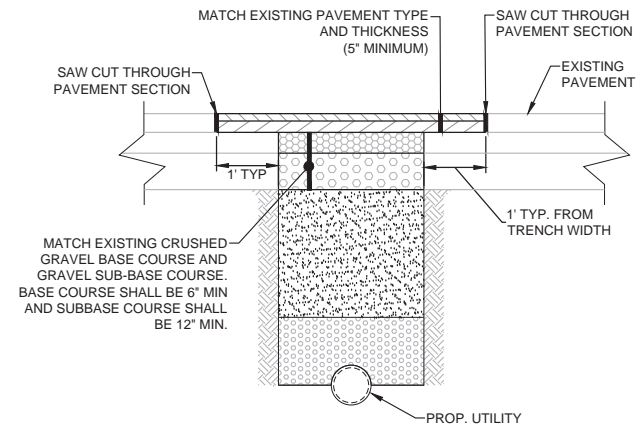
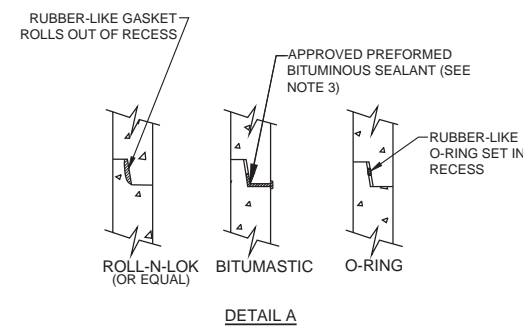
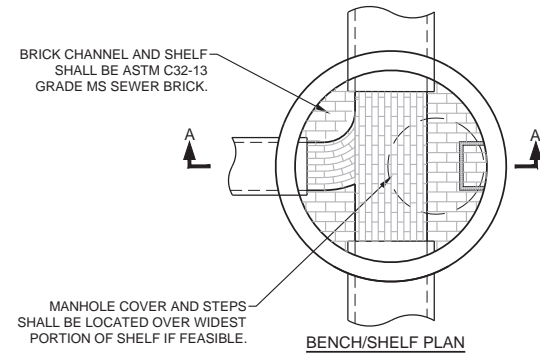
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PERMIT PLANS - NOT FOR CONSTRUCTION

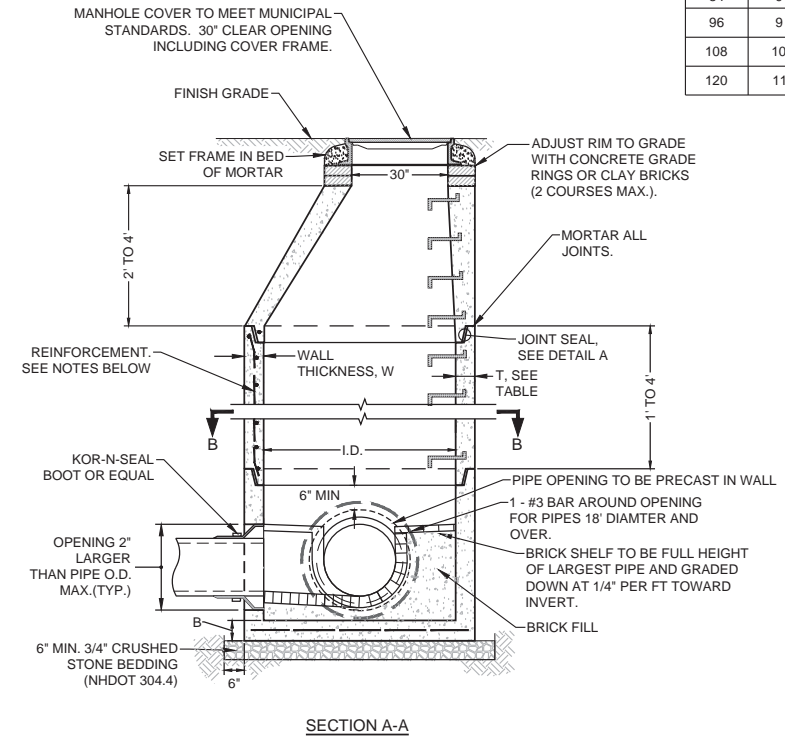


I.D. (IN)	W (IN)	B (IN)	T (IN)
48	5	6	8
60	6	8	8
72	7	8	8
84	9	10	10
96	9	10	12
108	10	10	12
120	11	10	12



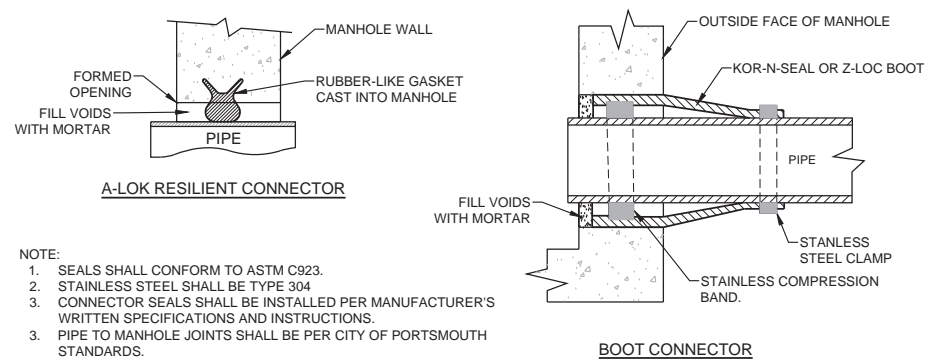
- NOTES:
- REFER TO MUNICIPAL SPECIFICATIONS FOR ASPHALT MIX DESIGN.
 - CONSTRUCTION REQUIREMENTS SHALL BE IN ACCORDANCE WITH SECTION 401 OF THE NHDOT STANDARD SPECIFICATIONS AND MUNICIPAL SPECIFICATIONS.
 - A TACK COAT SHALL BE PLACED ON CLEANED AND STRAIGHT VERTICAL SAWCUT SURFACE PRIOR TO PLACING BINDER AND WEARING COURSE.
 - TACK COAT SHALL BE RS-1 EMULSION PER NHDOT AND MUNICIPAL SPECIFICATIONS.
 - A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE OF PRIOR TO PLACING WEARING COURSE.

24 TYPICAL UTILITY TRENCH PERMANENT PAVEMENT REPAIR DETAIL
N.T.S.



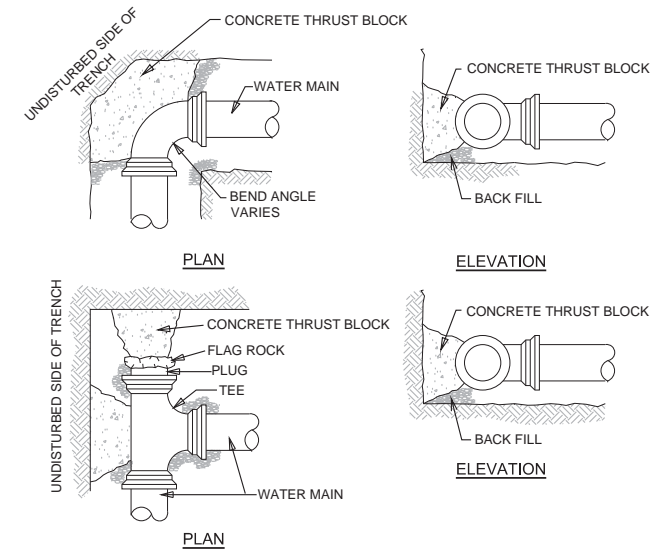
- NOTES:
- MANHOLE I.D. SHALL BE 48" UNLESS STATED OTHERWISE ON PLANS.
 - THESE MANHOLE DETAILS TO BE USED FOR BOTH SANITARY SEWER AND STORM DRAIN MANHOLES.
 - PRECAST MANHOLES SHALL CONFORM TO AASHTO M199/ ASTM C478 SPECIFICATIONS.
 - REINFORCEMENT:
 - DEFORMED BARS SHALL CONFORM TO ASTM A-615 GRADE 60.
 - WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185
 - ALL SECTIONS SHALL BE 4,000 PSI CONCRETE.
 - REIN. STEEL SHALL HAVE 1" MINIMUM COVER.
 - THE TONGUE AND THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FOOT.
 - THE STRUCTURES SHALL BE DESIGNED FOR HS 20-44 LOADING.
 - CRUSHED STONE BEDDING SHALL CONFORM TO NHDOT 304.4.
 - PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.
 - OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE.
 - ALL STRUCTURES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES, NO MORE THAN 75% OF A HORIZONTAL CROSS SECTION SHALL BE HOLES, AND NO HOLES CLOSER THAN 6" TO JOINTS.
 - SANITARY SEWER MANHOLES SHALL HAVE AN EXTERIOR ASPHALTIC WATER PROOF COATING APPLIED (2 COATS MIN.).
 - BASE SHALL BE A SINGLE POUR MONOLITHIC SECTION TO A MINIMUM OF 6" PIPE OPENING
 - INVERTS AND SHELVES:
 - BRICK SHALL BE ASTM C32-13 GRADE MS SEWER BRICK.
 - BRICK SHELVES SHALL BE CONSTRUCTED TO CONFORM TO THE SIZE OF THE PIPE AND FLOW.
 - AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO WALL OF THE PIPE.
 - SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPED TO DRAIN TOWARD THE CHANNEL
 - INVERTS AND SHELVES SHALL ONLY BE PLACED AFTER LEAKAGE TESTS ARE PERFORMED.
 - SURFACE BRICKS SHALL BE PLACED ON EDGE
 - FRAMES AND COVERS:
 - FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN
 - 4" (MINIMUM) HEIGHT LETTERS SHALL BE USED FOR COVER LETTERS. SEWERS SHALL HAVE "SEWER" AND STORM DRAIN COVERS SHALL HAVE "DRAIN" CAST INTO THE CENTER OF EACH COVER.
 - LEAKAGE TEST SHALL CONFORM TO MUNICIPAL SPECIFICATIONS.
 - ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND SPECIFICATIONS.

25 TYPICAL PRECAST CONCRETE JUNCTION MANHOLE
N.T.S.



- NOTE:
- SEALS SHALL CONFORM TO ASTM C923.
 - STAINLESS STEEL SHALL BE TYPE 304
 - CONNECTOR SEALS SHALL BE INSTALLED PER MANUFACTURER'S WRITTEN SPECIFICATIONS AND INSTRUCTIONS.
 - PIPE TO MANHOLE JOINTS SHALL BE PER CITY OF PORTSMOUTH STANDARDS.

26 PIPE CONNECTIONS TO CONCRETE STRUCTURES
N.T.S.



- NOTES:
- ALL WATER MAIN FITTINGS, BENDS, TEES, PLUGS ETC. SHALL BE RESTRAINED W/ THRUST BLOCKS EXCEPT WHERE NOTED.
 - ALL THRUST BLOCKS & COLLARS SHALL BE INSTALLED SO THAT THEY BEAR AGAINST UNDISTURBED EARTH.
 - SIZE OF CONCRETE THRUST BLOCKS SHALL BE AS NOTED BELOW.
 - MINIMUM COMPRESSIVE STRENGTH OF THRUST BLOCK CONCRETE SHALL BE 3,000 P.S.I.
 - KEEP CONCRETE CLEAR OF MECHANICAL JOINTS.
 - THE BELOW PRECATED ON A WATER PRESSURE OF 225 PSI AND A SOIL RESISTANCE OF 2000 PSF (TILL). FOR OTHER SOILS THE VALUES IN THE BELOW TABLE SHALL BE MULTIPLIED BY:

SOFT CLAY	4
SAND	2
SAND & GRAVEL	1.33
SHALE	0.4

PIPE DIAMETER	90° BEND (SQ. FT.)	45° BEND (SQ. FT.)	22.5° BEND (SQ. FT.)	TEES, PLUGS, CAPS & HYDRANTS (SQ. FT.)
6"	5	3	2	4
8"	8	5	3	6
10"	13	7	4	9
12"	18	10	5	13

27 TYPICAL THRUST BLOCK DETAIL
N.T.S.

273 CORPORATE DRIVE
PORTSMOUTH, NH 03801
T 603.436.2551
F 603.436.6973
www.jsainc.com

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ENGINEERED SYSTEMS INC.
MPPF ENGINEER
WOBBURN, MASSACHUSETTS

ENGINEERED BUILDING SYSTEMS
ELECTRICAL ENGINEER
DERRY, NEW HAMPSHIRE

**THE HOTEL AT
FOUNDRY PLACE,
"LOT 3": 165 DEER
STREET, ASSESSORS
MAP 125 LOT 17,
AND RELATED
IMPROVEMENTS TO
LOTS 2, 4 AND 5**

PORTSMOUTH, NH 03801

OWNER:
Deer Street Associates

7 BANKS ROCK ROAD
YORK HARBOR, ME

A / E Seal:

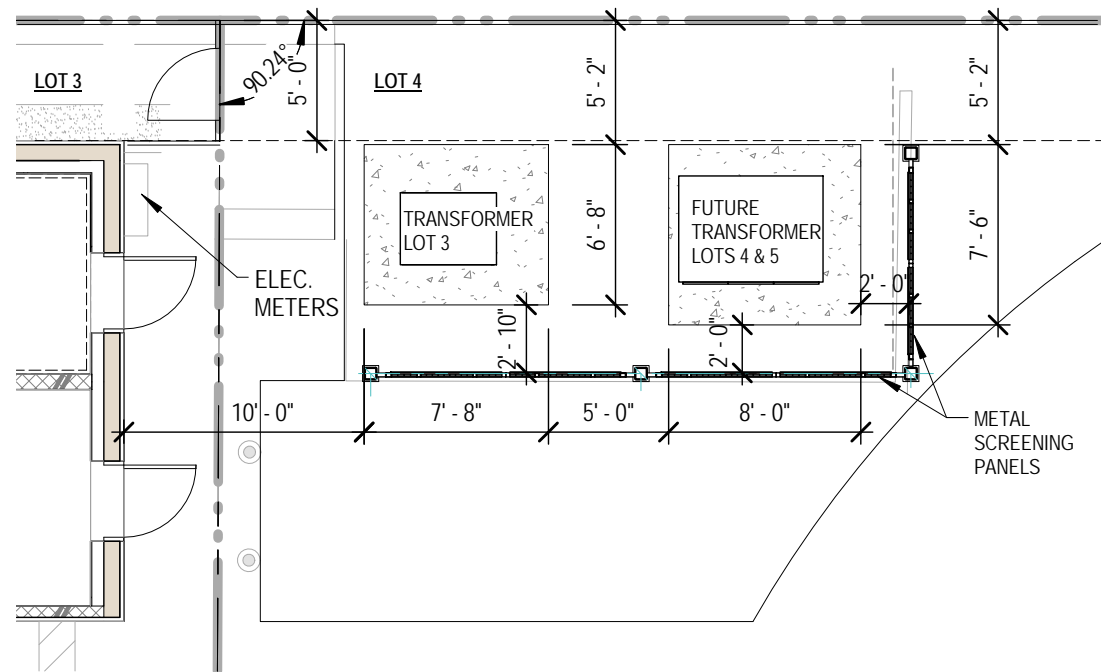
Scale:
Date: **3/17/2017**
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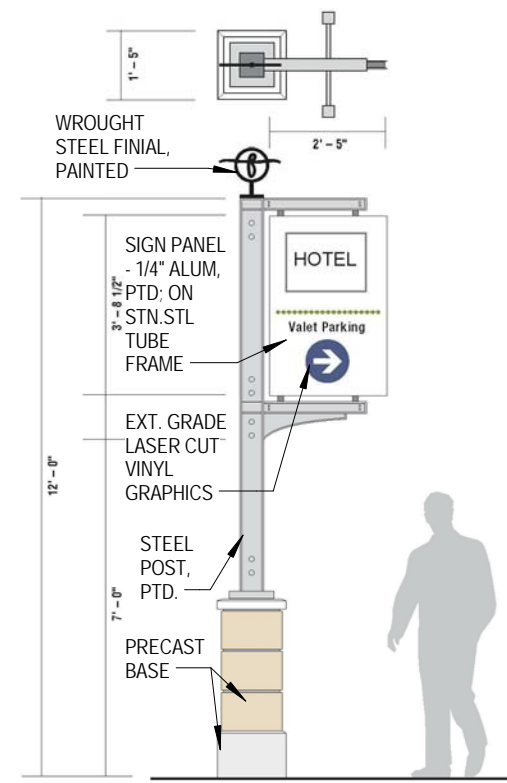
SITE PLAN REVIEW

**UTILITY
DETAILS
1 OF 2**

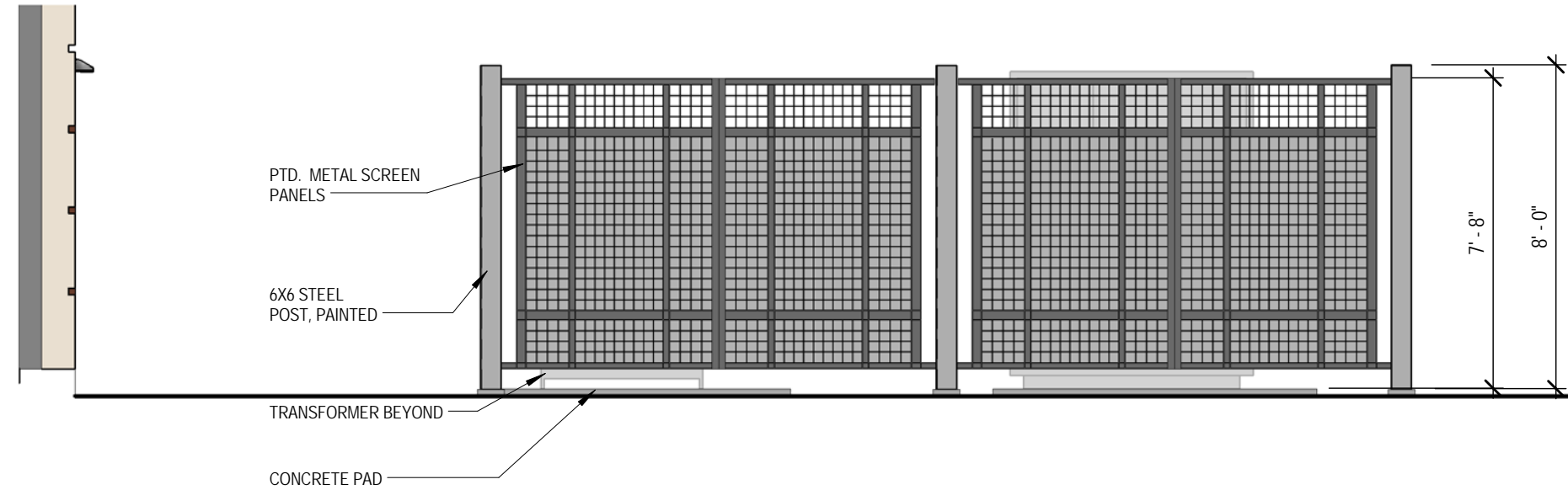
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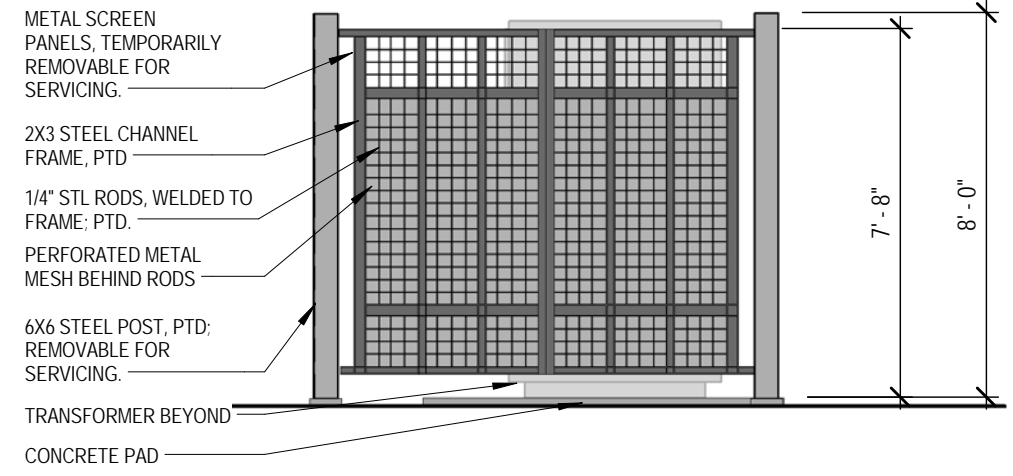
1 TRANSFORMER SCREEN - PLAN
1/8" = 1'-0"



4 LOT 4 SIGN DETAIL



2 TRANSFORMER SCREEN - FRONT ELEVATION
1/4" = 1'-0"



3 TRANSFORMER SCREEN - SIDE ELEVATION
1/4" = 1'-0"

Deer Street Associates



GEOINSIGHT, INC.
 AMBIT ENGINEERING, INC.
 GREENMAN-PEDERSEN, INC.
 ENGINEERED BUILDING SYSTEMS
 ENGINEERED SYSTEMS INC.
 JSN ASSOCIATES, INC.

Project:
THE HOTEL AT FOUNDRY PLACE, "LOT 3": 165 DEER STREET, ASSESSORS MAP 125 LOT 17, AND RELATED IMPROVEMENTS TO LOTS 2, 4 AND 5

Title:
TRANSFORMER SCREENING & SIGN DETAILS

Project No. 14837.02	Reference Drawing:
Scale: As indicated	TAC Reference:
Drawn By: TSK	Sketch No:
Date: 1/16/2018	SK-A4

1/16/2018 2:59:23 PM



January 10, 2018

Revised: January 18, 2018

Juliet T. H. Walker, AICP, Planning Director
Portsmouth Planning Department
City Hall, 1 Junkins Ave.
Portsmouth, NH 03801

**Re: Review of Deer Street Associates Lot 3 Stormwater and Drainage
Developer: Foundry Place LLC, York, ME
CMA #1093**

Dear Ms. Walker:

At the City's request, CMA Engineers has reviewed materials supporting the drainage analysis and design for the proposed development at Lot 3 of the Deer Street Associates (DSA) project, known as the Hotel at Foundry Place at 165 Deer Street in Portsmouth.

For this evaluation, we reviewed the following information:

1. Plans: *The Hotel at Foundry Place, "Lot 3": 165 Deer Street, Assessors Map 125 Lot 17, Site Plan Review*, dated November 17, 2017, as prepared by JSA and GeoInsight, Inc.
2. Stormwater Report & Analysis: *Deer Street Associates, LLP, Development Design Approval Package*, revision date 11/17/17, Attachment E, *Stormwater Management Plan*, prepared by GeoInsight, Inc.

We have reviewed the drainage plans and analysis for conformance with the City of Portsmouth's Site Plan Review Regulations and Ordinances.

REVIEW OF DRAINAGE ANALYSIS

The applicant proposes to redevelop 165 Deer Street with a new building that will consist of hotel, retail space and restaurant, with associated driveways, parking, sidewalks, outdoor seating, and landscaped areas. Currently, the 32,200-sf site is a paved parking lot used for construction worker parking with sections of gravel where buildings were demolished and removed. For the pre and post-development stormwater flow comparison, the analysis assumes the pre-development conditions consist of the former Gary's Beverage building and associated paved parking. Under that condition, the site was nearly all impervious (96.4%).

Similar to the pre-development conditions, the proposed development will cover much of the site with impervious surfaces (95.5%). Stormwater runoff from the site will discharge to the north onto the B&M

railroad tracks via roof downspouts or sheet flow; collect in a Stormceptor unit in the driveway that discharges to the municipal closed drainage system in Deer Street; or sheet flow to Deer Street where it will be collected in the Deer St closed drainage system. These watersheds ultimately discharge to North Mill Pond.

GoInsight prepared a HydroCAD analysis of the pre and post-development conditions consisting of two watersheds contributing to two Design Points. Design Point one is the stormwater runoff to Deer Street and Design Point two is the runoff to the railroad ROW. Because the pre-development condition was mostly impervious, there is little change in the proposed runoff volume or peak flow rates. There are no peak flow or runoff volume reduction features planned; the Stormceptor unit is the only water quality unit planned. The report mentions a planned “green roof” in the conceptual design stage, but does not include this feature in the analysis. There is an evaporative trench drain proposed for the parking garage, which does not discharge from the garage.

Based on our review, we offer the following comments, for consideration:

Site Plan Review Regulations

For items for which we had comments, we have included the applicable sections of the Site Plan Review Regulations in italics with our comments below.

1. **Section 4.3.1:** *Every effort shall be made to use pervious parking and pathway surfaces as an alternative to impervious asphalt or concrete for overflow parking areas, except in cases where it is determined that a traditional impervious parking lot with engineered stormwater systems renders greater protection of surface and groundwater resources than pervious pavement.*

The proposed plan includes no pervious parking or pathway surfaces. The applicant should describe why pervious surfaces are not viable for this project.

2. **Section 7.1:** *Applicants shall incorporate Low Impact Development (LID) design practices and techniques in all aspects of the site’s development.*

The only proposed LID’s for the site are the structural BMP (Stormceptor) and potentially a portion of green roof. Only 3,790 sf (approximately 12%) of the site drains to the Stormceptor. This configuration results in significant portions of impervious areas discharging untreated stormwater runoff.

3. **Section 7.4.1.3:** *The applicant shall submit documentation demonstrating how stormwater treatment devices shall be maintained.*

The parking garage includes an “evaporative trench drain” to collect water from rainwater/snowmelt off cars. The applicant should confirm this trench drain, with no discharge outlet, is appropriate for this application and include its required maintenance in the *Long-Term Operations and Maintenance Program*.

4. **Section 7.4.2.4:** *Snow storage areas shall be located such that no direct discharges to receiving waters are possible from the storage site. Runoff from snow storage areas shall enter treatment areas to remove suspended solids and other contaminants before being discharged to receiving waters or preferably be allowed to infiltrate into the groundwater.*

Snow storage areas were not identified on the Site Plan. There does not appear to be potential treatment areas for snow storage runoff.

5. **Section 7.4.2.6:** *Efforts shall be made to utilize methods that intercept, treat, and infiltrate runoff throughout the site including, but not limited to, infiltration trenches, drainfields, dry wells, bioretention areas, level spreaders, filter strips, wetlands, vegetated swales, gravel wetlands, rain gardens, and tree boxes.*

The plan includes no infiltration of groundwater recharge features. The report claims infiltration is not feasible on the site because of the shallow depth (4-feet) to the seasonal high-water table (SHWT) and native clay soil layer; however, the included borings show the shallowest groundwater depth to be 7.4-feet and the clay layer 5.5-feet from the ground surface (we note, the borings were done in the fall when groundwater depths may be low). This depth is probably adequate to provide filter and infiltration BMP's (filter strips, rain gardens/bioretention areas, permeable paving), which require no more than 1' separation from the bottom of the BMP to the SHWT.

6. **Section 7.4.2.7:** *Applicants shall demonstrate why on-site infiltration approaches are not possible or adequate before proposing the use of conventional systems that rely on collection and conveyance to remove runoff from the site.*

See comments 1 and 5.

7. **Section 7.4.2.8:** *Measures shall be taken to control the post-development peak rate of runoff so that it does not exceed pre-development runoff for the 2, 10, 25, and 50-year, 24-hour storm event.*

The post development runoff rates match the pre-development peak flow rates because the applicant considered the site impervious in the pre-development condition. However, the post-development analysis divided the runoff from the roof, which is significant (~75% of total runoff), between the design points. This division of runoff cannot be discerned from the plans reviewed. The applicant should provide a roof drainage plan that demonstrates how the roof drains and confirms the division directed to the railroad ROW and Deer St is as presented and equal to the pre-development peak flows.

8. **Section 7.4.2.10:** *For a storm event of ½ inch or less, the applicant shall demonstrate that stormwater management practices will remove contaminants from the stormwater runoff that leaves the site. The use of oil and grit traps in manholes, on-site vegetated waterways,*

and vegetated buffer strips along waterways and drainage swales, and the reduction in use of deicing salts and fertilizers may be required by the Planning Board.

Not provided. See also Comment 2.

9. **Section 7.4.3.1:** *All applications shall minimize the area of impervious surfaces, and address the potential negative impact of impervious surfaces on surface and groundwater resources.*

The proposed site is more than 95% impervious, similar to pre-development conditions.

City Ordinances, Chapter 16, Article II, Regulation of Discharges into Storm Water Drainage System

Under this ordinance, Section 16.207.A, the applicant is required to obtain a permit from the City to connect to the Stormwater drainage system.

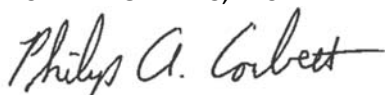
General Comments

1. Planned improvements that will serve this building on Lot 3 are on Lot 4, including the proposed Stormceptor and drain pipe. The applicant should have agreements and easements in place to ensure that current and future owners of Lot 3 have the rights to maintain and repair these systems, and to ensure these systems remain in-place and functional.
2. We understand from information provided from the City, that portions of the stormwater drainage system adjacent to the project will be separated from the sanitary sewer as a part of the development in the area. This separation will add stormwater runoff flows that previously discharged to the sanitary sewer to the stormwater drainage system and outfalls. The downstream stormwater drainage systems should be evaluated to ensure these systems have the capacity to accept additional flows.
3. The applicant should strive for greater treatment, infiltration, and volume reduction of the sites' stormwater runoff, or describe why such treatments are not viable. This redevelopment presents an opportunity to improve treatment and reduce the stormwater discharge from the site, compared to pre-development conditions. However, it appears that limited means are proposed to achieve this improvement.

Should you have any questions, please do not hesitate to contact us.

Very truly yours,

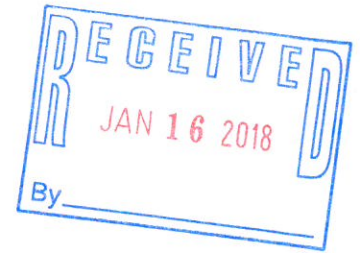
CMA ENGINEERS, INC.



Philip A. Corbett, P.E.

Project Manager

PAC/ams



Memorandum

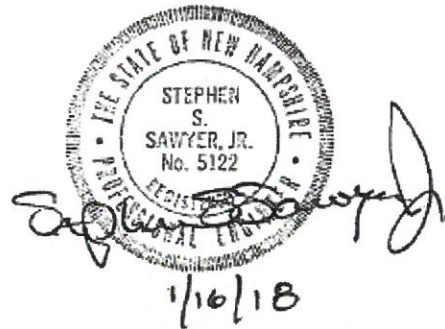
17540

To: Juliet Walker, AICP
Eric Eby, P.E.

From: Derek Caldwell, P.E., PTOE
Stephen Sawyer, P.E.

Date: January 16, 2018

Subject: DSA Building 3 – Hotel at Foundry Place
Traffic Peer Review



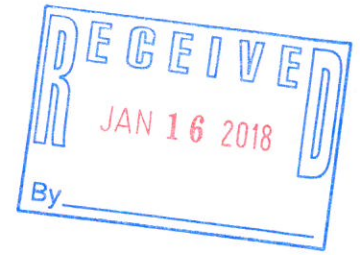
Sebago Technics has completed a Peer Review for the proposed Hotel at Foundry Place as part of the Deer Street Associates Development project located on Deer Street in Portsmouth. This review covers the submitted site plan titled *The Hotel at Foundry Place, Lot 2: 165 Deer Street, Assessors Map 125 Lot 17* by JSA Inc. dated March 17, 2017 with latest revisions December 19, 2017 and the memo entitled *Lots 3 and 4 Queue Analysis and Circulation Evaluation* completed by Gorrill Palmer dated January 3, 2018. We offer the following comments.

Queue Analysis and Circulation Evaluation Review

1. This queue analysis provides a queue estimation for the drive thru bank located in Building 4. Based upon the assumed arrival and service rates, the proposed drive thru should provide adequate storage for vehicles waiting for the drive-thru so as not to block the site entrance roadway.
2. This analysis assumes that some parking will be available for the pharmacy/retail portion of Building 5. Traffic entering the site is quantified based on the provided parking. However, it seems there would be the possibility for vehicles to enter the site, but find no parking available. Can the applicant clarify how the limited parking will function in light of the fact that the associated land uses are estimated to produce a greater volume of traffic than parking spaces. There is mention of dynamic signs to be installed, but these would only be visible once already in the site. It is understood that the excess vehicles would utilize the Deer Street Parking Garage, but vehicles may still circulate thru the site to see if parking is available. We point this out for clarification, but in reality this issue does not appear to be relevant until the development of Buildings 4/5.

Site Plan Review

3. A description of how servicing will occur at the proposed loading zone should be provided. The plan set includes a vehicle turning template showing a rear-load garbage truck circulating thru the site. More detail should be provided showing where the truck performs the servicing. As shown, the truck would need to stop and block circulating traffic. Are any deliveries anticipated from larger vehicles for the hotel/café? Vehicle templates should be provided showing the proposed loading zone being used.
4. Provide a description of how deliveries will be brought to the different areas of the hotel/restaurant from the proposed loading area. Is it anticipated that deliveries will be walked thru the valet parking area to the rear doors?
5. Provide signage/pavement markings at the internal intersection of the valet parking area and the circulation road to designate the proper right-of-way.
6. The plan shows a proposed site entry sign. Please clarify what content this sign will contain. Clear direction should be given to indicate that the entrance for the hotel is at this point and is valet/drop off-pickup only.
7. Add "no-left turn signage" at the interface of Lots 4 and 5 for vehicles leaving the existing angled parking spaces on Lot 5 destined for Deer Street. With the new one-way travel pattern on Lot 4, they will have to pass behind the bank building and in front of the hotel to get to Deer Street, which is not necessarily the case today.



Memorandum

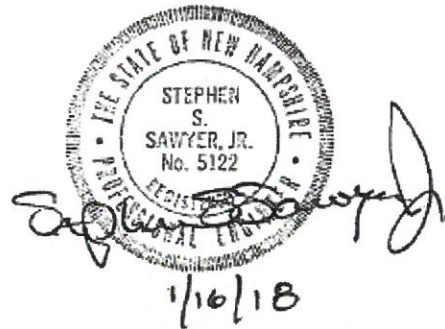
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**THE HOTEL AT FOUNDRY PLACE, "LOT 3":
 165 DEER STREET, ASSESSORS MAP 125
 LOT 17, AND RELATED IMPROVEMENTS
 TO LOTS 2, 4 AND 5**

SITE PLAN REVIEW

REVISIONS		
No.	Description	DATE
1	4/5/17 TAC Hearing Comments and Other Updates	11/17/17
2	12/5/17 TAC Hearing Comments and other Updates	12/18/17

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COVER LETTER and TAC COMMENT RESPONSE TABLE

CIVIL PLAN SET

ARCHITECTURAL PLAN SET

LANDSCAPING PLAN SET

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**Summary of Overall Redevelopment Vision
Foundry Place LLC and Deer Street Associates**

ATTACHMENT B

Summary of Easements/Agreements

ATTACHMENT C

Updated Stormwater Management Report

ATTACHMENT D

Updated Building Utility Load Information

ATTACHMENT E

Utility Will Serve Letters

ATTACHMENT F

Draft Landscape Maintenance Agreement

ATTACHMENT G

Lighting Calculations, Site Regulations and Zoning Analysis

CITY OF PORTSMOUTH NEW HAMPSHIRE

SITE REVIEW APPLICATION

Building Permit Application Number _____

Case Number _____

Application includes multiple Lots: Refer to Attached Summary Sheet

Fee _____

Application includes multiple
Lots: Refer to Attached
Summary Sheet

Map _____ Lot _____ Zone CD5 Wetlands: Inland _____ Coastal _____ Lot Area _____

Date of Approvals (Indicate if Pending)		Refer to Attached Summary of Variances
Conservation Commission _____	Conditional Use _____	Board of Adjustment _____
Historic District Commission <u>Pending</u>	Subdivision _____	Other _____

Street Address Application includes multiple Lots: Refer to Attached Summary Sheet

Description of Project including all use(s) New Mixed Use Building on Lot 3 to include first story parking, cafe, and hotel lobby; hotel rooms on the second, third, and fourth floors; and hotel rooms, a bar, and a restaurant on the fifth floor. Proposed development will affect three additional lots (i.e., Lot 2, Lot 4, and Lot 5), where various improvements are planned for the benefit of Lot 3.

Building(s) Footprint 22,073 Gross Floor Area 104,020 #of Stories 5

92 (78 on Lot 3 and 33 reserved in City Garage)

of Dwelling Units 128 Hotel Rooms Number of Parking Spaces: Existing NA Proposed _____

Print Information Below

Property Owner's Name Foundry Place, LLC (Lot 2 and Lot 3) and Deer Street Associates (Lot 4 and Lot 5)

Street Address PO Box 100 City/Town York State ME Zip 03911

207.363.3540 Telephone # _____ Cell Phone # _____ Fax # _____ Email Address ania@glogrogers.com

Print Information Below

Applicant's / Developer's Name Foundry Place, LLC (Lot 2 and Lot 3) and Deer Street Associates (Lot 4 and Lot 5)

Street Address PO Box 100 City/Town York State ME Zip 03911

207.363.3540 Telephone # _____ Cell Phone # _____ Fax # _____ Email Address ania@glogrogers.com

Print Information Below (Include Additional Contact Information on Next Page)

Check One: Owner's Attorney Applicant's Attorney Engineer Surveyor Other If other, state relationship Architect

Representative's Name Tracy Kozak, JSA, Inc.

Street Address 273 Corporate Drive City/Town Portsmouth State NH Zip 03801

603.436.2551 Telephone # _____ Cell Phone # _____ Fax # _____ Email Address tkozak@jsainc.com

I hereby apply for Site Review and acknowledge that I will comply with all the ordinances and any stipulations of the Site Review Committee of the City of Portsmouth in the development and construction of this project.

Owner's Signature _____ **Kim Rogers, Foundry Place LLC and Deer Street Associates** 12/18/17
Print Owner's Name Date

Applicant's/Developer's Signature _____ **Kim Rogers, Foundry Place LLC and Deer Street Associates** 12/18/17
Print Applicant's/Developer's Name Date

Print Information Below

Check One: Owner's Attorney Applicant's Attorney Engineer Surveyor Other If other, state relationship _____

Representative's Name Michael Penney, GeoInsight, Inc.

Street Address 186 Granite Street, 3rd Fl, Ste A City/Town Manchester State NH Zip 03101

603.314.0820 mcpenney@geoinc.com

Telephone # Cell Phone # Fax # Email Address

Print Information Below

Check One: Owner's Attorney Applicant's Attorney Engineer Surveyor Other If other, state relationship _____

Representative's Name _____

Street Address _____ City/Town _____ State _____ Zip _____

Telephone # Cell Phone # Fax # Email Address

Print Information Below

Check One: Owner's Attorney Applicant's Attorney Engineer Surveyor Other If other, state relationship _____

Representative's Name _____

Street Address _____ City/Town _____ State _____ Zip _____

Telephone # Cell Phone # Fax # Email Address

Attachments

The following materials must be submitted to the Planning Department along with the completed Application Form:

- Site Plan Application Checklist
- Ten (10) stamped and folded copies of the site plan – four (4) full-size (22" x 34") and six (6) reduced (11" x 17")
- Digital copy of any plans and/or exhibits (in PDF format)
- Application Fee (already paid)
- Any required State or Federal Permits NA

SUMMARY OF LOT INFORMATION

**FOUNDRY PLACE, LLC AND DEER STREET ASSOCIATES
DEVELOPMENT DESIGN APPROVAL PACKAGE
LOT 3 (165 DEER STREET) / MAP 125 LOT 17
AND ACCOMPANYING RELATED IMPROVEMENTS TO
LOT 2 / MAP 125 LOT 17-1
LOT 4 (163 DEER STREET) / MAP 125 LOT 17-2
LOT 5 (157-161 DEER STREET) / MAP 125 LOT 17-3**

SITE PLAN REVIEW

PRIMARY LOT:

ADDRESS	MAP	LOT	REFERENCE	AREA	OWNER
165 Deer Street	125	17	Lot 3	26,503 sf	Foundry Place, LLC

RELATED LOTS:

ADDRESS	MAP	LOT	REFERENCE	AREA	OWNER
Off Bridge Street	125	17-1	Lot 2	8,519 sf	Foundry Place, LLC
163 Deer Street	125	17-2	Lot 4	18,347 sf	Deer Street Associates
157-161 Deer Street	125	17-3	Lot 5	22,667 sf	Deer Street Associates

SUMMARY OF VARIANCES SOUGHT AND APPROVED

THE HOTEL AT FOUNDRY PLACE, "LOT 3": 165 DEER STREET, ASSESSORS MAP 125 LOT 17, AND RELATED IMPROVEMENTS TO LOTS 2, 4 AND 5 SITE PLAN REVIEW

For Lot 2:

1. A Variance from Section 10.440 to allow a surface parking lot as a principal use where such use is not allowed.
2. A Variance from Section 10.5A44 to allow a parking lot that does not comply with the requirements of the ordinance.

Approved July 18, 2017.

For Lot 3:

1. A Variance from Section 10.516.20 to allow 5'+- rear yard adjoining a railroad right-of-way where 15' is required.
2. A Variance from Section 10.1114.21 to allow 62 parking spaces utilizing a two-car lift system in each bay that does not meet the required dimensions for parking spaces.
3. A Variance from Section 10.1114.32(a) to allow vehicles to enter and leave parking spaces by passing over another parking space or requiring the moving of another vehicle.

Approved May 16, 2017.

For Lot 4

1. A Variance under Section 10.440, Use #19.40 to allow a drive-through facility as an accessory use.
2. A Variance from Section 10.516.20 to allow a 5'± rear yard adjoining a railroad right-of-way where 15' is required.
3. A Variance from 10.5A41.10D to allow a front lot line buildout of 66%± where 80% is required.
4. A Variance from Section 10.835.31 to allow an outdoor service facility (ATM) 49.7'± from the rear lot line and 48'± from the front lot line where 50' is required for each.
5. A Variance from Section 10.835.32 to allow a drive-through bypass lane 11.3'± from a lot line where 30' is required.

Approved April 18, 2017



City of Portsmouth, New Hampshire

Site Plan Application Checklist

This site plan application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan review regulations for full details.

Applicant Responsibilities (Section 2.5.2): Applicable fees are due upon application submittal along with required attachments. The application shall be complete as submitted and provide adequate information for evaluation of the proposed site development. Waiver requests must be submitted in writing with appropriate justification.

Name of Owner/Applicant: Foundry Place LLC and Deer Street Associates Date Submitted: 12/18/17

Phone Number: 207.363.3540 E-mail: ania@glrogers.com

Site Address: 165 Deer Street and Related Properties - See Attached Property Summary Sheet Map: See Attached Property Summary Sheet Lot: See Attached Property Summary Sheet

Project: Hotel At Foundry Place Zoning District: CD5 Lot area: See Attached Property Summary Sheet sq. ft.

Application Requirements			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Fully executed and signed Application form. (2.5.2.3)	Attached	N/A
<input checked="" type="checkbox"/>	All application documents, plans, supporting documentation and other materials provided in digital Portable Document Format (PDF) on compact disc, DVD or flash drive. (2.5.2.8)	Attached	N/A

Site Plan Review Application Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Statement that lists and describes "green" building components and systems. (2.5.3.1A)	Refer to Attachment J of the 12/5/17 TAC submittal package	
<input checked="" type="checkbox"/>	Gross floor area and dimensions of all buildings and statement of uses and floor area for each floor. (2.5.3.1B)	Sheet T.02T	
<input checked="" type="checkbox"/>	Tax map and lot number, and current zoning of all parcels under Site Plan Review. (2.5.3.1C)	Zoning on Sheets T.02T, X1 and X2, and Map and Lot numbers are in Title Blocks	
<input checked="" type="checkbox"/>	Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. (2.5.3.1D)	On Application	

Site Plan Review Application Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property. (2.5.3.1E)	Refer to Existing Conditions Plans X1 and X2	
<input checked="" type="checkbox"/>	Names, addresses and telephone numbers of all professionals involved in the site plan design. (2.5.3.1F)	Refer to Cover Sheet of Design Plan Set	
<input checked="" type="checkbox"/>	List of reference plans. (2.5.3.1G)	Refer to Cover Sheet of Design Plan	
<input checked="" type="checkbox"/>	List of names and contact information of all public or private utilities servicing the site. (2.5.3.1H)	Refer to Attachment K of package submitted for 12/5/17 TAC Hearing	

Site Plan Specifications

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director. Submittals shall be a minimum of 11 inches by 17 inches as specified by Planning Dept. staff. (2.5.4.1A)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans. (2.5.4.1B)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. (2.5.4.1C)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Plans shall be drawn to scale. (2.5.4.1D)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Plans shall be prepared and stamped by a NH licensed civil engineer. (2.5.4.1D)	Required on all plan sheets	N/A
<input type="checkbox"/>	Wetlands shall be delineated by a NH certified wetlands scientist. (2.5.4.1E)	Not Applicable	N/A
<input type="checkbox"/>	Wetland delineations shall be stamped by a NH certified wetlands scientist. (2.5.4.1E)	Not Applicable	N/A
<input checked="" type="checkbox"/>	Title (name of development project), north point, scale, legend. (2.5.4.2A)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Date plans first submitted, date and explanation of revisions. (2.5.4.2B)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Individual plan sheet title that clearly describes the information that is displayed.	Required on all plan sheets	N/A

Site Plan Specifications			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
	(2.5.4.2C)		
<input checked="" type="checkbox"/>	Source and date of data displayed on the plan. (2.5.4.2D)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations." (2.5.4.2E)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Plan sheets submitted for recording shall include the following notes: <ul style="list-style-type: none"> a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds." b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director." (2.13.3)	Included on Sheets C3.0 to C3.4	N/A
<input checked="" type="checkbox"/>	Plan sheets showing landscaping and screening shall also include the following additional notes: <ul style="list-style-type: none"> a. "The property owner and all future property owners shall be responsible for the maintenance, repair and replacement of all required screening and landscape materials." b. "All required plant materials shall be tended and maintained in a healthy growing condition, replaced when necessary, and kept free of refuse and debris. All required fences and walls shall be maintained in good repair." c. "The property owner shall be responsible to remove and replace dead or diseased plant materials immediately with the same type, size and quantity of plant materials as originally installed, unless alternative plantings are requested, justified and approved by the Planning Board or Planning Director." (2.13.4)	Sheet L2, and Draft Landscape Maintenance Agreement provided for review and comment by City	N/A

Site Plan Specifications – Required Exhibits and Data

<input checked="" type="checkbox"/>	1. Existing Conditions: (2.5.4.3A)	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	a. Surveyed plan of site showing existing natural and built features;		
<input type="checkbox"/>	b. Zoning boundaries;		
<input checked="" type="checkbox"/>	c. Dimensional Regulations;	Sheet T.02T	
<input type="checkbox"/>	d. Wetland delineation, wetland function and value assessment;	Not Applicable	
<input type="checkbox"/>	e. SFHA, 100-year flood elevation line and BFE data.	Not Applicable	
	2. Buildings and Structures: (2.5.4.3B)		
<input checked="" type="checkbox"/>	a. Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation;	Sheet C3.1	
<input checked="" type="checkbox"/>	b. Elevations: Height, massing, placement, materials, lighting, façade treatments;	Sheets A2.01T thru A2.03T	
<input checked="" type="checkbox"/>	c. Total Floor Area;	Sheet T.02T	
<input checked="" type="checkbox"/>	d. Number of Usable Floors;	Sheet T.02T	
<input checked="" type="checkbox"/>	e. Gross floor area by floor and use.	Sheet T.02T	
	3. Access and Circulation: (2.5.4.3C)		
<input checked="" type="checkbox"/>	a. Location/width of access ways within site;	Sheets C3.0 to C3.3	
<input checked="" type="checkbox"/>	b. Location of curbing, right of ways, edge of pavement and sidewalks;	Sheets C3.0 to C3.3	
<input checked="" type="checkbox"/>	c. Location, type, size and design of traffic signing (pavement markings);	Sheets C3.0 to C3.3	
<input checked="" type="checkbox"/>	d. Names/layout of existing abutting streets;	Sheet C3.0	
<input checked="" type="checkbox"/>	e. Driveway curb cuts for abutting prop. and public roads;	Sheets C3.0 to C3.3	
<input type="checkbox"/>	f. If subdivision; Names of all roads, right of way lines and easements noted;	Not Applicable	
<input checked="" type="checkbox"/>	g. AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC).	Sheet C3.6	
	4. Parking and Loading: (2.5.4.3D)		
<input checked="" type="checkbox"/>	a. Location of off street parking/loading areas, landscaped areas/buffers;	Sheets C3.0 to C3.3	
<input checked="" type="checkbox"/>	b. Parking Calculations (# required and the # provided).	Sheet T.02T	
	5. Water Infrastructure: (2.5.4.3E)		
<input checked="" type="checkbox"/>	a. Size, type and location of water mains, shut-offs, hydrants & Engineering data;	Sheets C5.1, C8.3 and C8.4 and Attachment D	
<input type="checkbox"/>	b. Location of wells and monitoring wells (include protective radii).	Not Applicable	
	6. Sewer Infrastructure: (2.5.4.3F)		
<input checked="" type="checkbox"/>	a. Size, type and location of sanitary sewage facilities & Engineering data.	Sheets C5.0, C7.0, C8.3 and C8.4, and Attachment D	
	7. Utilities: (2.5.4.3G)		
<input checked="" type="checkbox"/>	a. The size, type and location of all above & below ground utilities;	Sheets C5.0, C5.1, and C5.2	
<input checked="" type="checkbox"/>	b. Size type and location of generator pads, transformers and other fixtures.	Sheets C5.1 and C5.2	
<input type="checkbox"/>	8. Solid Waste Facilities: (2.5.4.3H)		
<input checked="" type="checkbox"/>	a. The size, type and location of solid waste facilities.	Sheets C3.1 (notes) and Sheet A101T	
	9. Storm water Management: (2.5.4.3I)	Item Location	Waiver Requested

<input type="checkbox"/>	a. The location, elevation and layout of all storm-water drainage.		
	10. Outdoor Lighting: (2.5.4.3J)		
<input checked="" type="checkbox"/>	a. Type and placement of all lighting (exterior of building, parking lot and any other areas of the site) and; b. photometric plan.	Refer to Attachment G of the submittal package and Sheets A2.01T TO A2.03T	
<input checked="" type="checkbox"/>	11. Indicate where dark sky friendly lighting measures have been implemented. (10.1)	Refer to Attachment G of the submittal package	
	12. Landscaping: (2.5.4.3K)		
<input type="checkbox"/>	a. Identify all undisturbed area, existing vegetation and that which is to be retained;	Not Applicable	
<input checked="" type="checkbox"/>	b. Location of any irrigation system and water source.	Municipal water to be used for all landscaped areas	
	13. Contours and Elevation: (2.5.4.3L)		
<input checked="" type="checkbox"/>	a. Existing/Proposed contours (2 foot minimum) and finished grade elevations.	Sheets X1 and X2 and Sheets C4.1, C4.2 and C4.3	
	14. Open Space: (2.5.4.3M)		
<input checked="" type="checkbox"/>	a. Type, extent and location of all existing/proposed open space.	Sheet C3.6	
<input checked="" type="checkbox"/>	15. All easements, deed restrictions and non-public rights of ways. (2.5.4.3N)	Sheets E1, E2 and E3, and Attachment B	
<input type="checkbox"/>	16. Location of snow storage areas and/or off-site snow removal. (2.5.4.3O)	Refer to note on Sheet C3.1	
<input checked="" type="checkbox"/>	17. Character/Civic District (All following information shall be included): (2.5.4.3Q)		
	a. Applicable Building Height (10.5A21.20 & 10.5A43.30);	Sheet T.02T	
	b. Applicable Special Requirements (10.5A21.30);	Sheet T.02T	
	c. Proposed building form/type (10.5A43);	Sheets T.02T, A2.02T and A2.03T	
	d. Proposed community space (10.5A46).	Sheet C3.4	

Other Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Traffic Impact Study or Trip Generation Report, as required. <i>(Four (4) hardcopies of the full study/report and Six (6) summaries to be submitted with the Site Plan Application) (3.2.1-2)</i>	Refer to Attachment C of the 12/5/17 TAC submittal package	
<input checked="" type="checkbox"/>	Indicate where Low Impact Development Design practices have been incorporated. (7.1)	Refer to the Stormwater Report In Attachment C	
<input type="checkbox"/>	Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. (7.3.1)	Not Applicable	
<input checked="" type="checkbox"/>	Indicate where measures to minimize impervious surfaces have been implemented. (7.4.3)	Refer to the Stormwater Report In Attachment C	
<input checked="" type="checkbox"/>	Calculation of the maximum effective impervious surface as a percentage of the site. (7.4.3.2)	Refer to the Stormwater Report In Attachment C	
<input checked="" type="checkbox"/>	Stormwater Management and Erosion Control Plan. <i>(Four (4) hardcopies of the full plan/report and Six (6) summaries to be submitted with the Site Plan Application) (7.4.4.1)</i>	Sheets C6.0 and C6.1	

Final Site Plan Approval Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	All local approvals, permits, easements and licenses required, including but not limited to: <ol style="list-style-type: none"> a. Waivers; b. Driveway permits; c. Special exceptions; d. Variances granted; e. Easements; f. Licenses. (2.5.3.2A)	Refer to Sheets E1, E2, and E3, and Attachment B for a summary of Easements, and Sheet T.02T for a summary of variances	
<input checked="" type="checkbox"/>	Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: <ol style="list-style-type: none"> a. Calculations relating to stormwater runoff; b. Information on composition and quantity of water demand and wastewater generated; c. Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls; d. Estimates of traffic generation and counts pre- and post-construction; e. Estimates of noise generation; f. A Stormwater Management and Erosion Control Plan; g. Endangered species and archaeological / historical studies; h. Wetland and water body (coastal and inland) delineations; i. Environmental impact studies. (2.5.3.2B)	<ol style="list-style-type: none"> a. Refer to Attachment C for the Stormwater Report; b. Refer to Attachment D for the Building Load Calculations; c. Refer to Attachment K of the 12/5/17 TAC submittal for Sustainable Strategies; d. Refer to Attachment C of the 12/5/17 TAC submittal; f. Refer to Attachment C and Sheets 6.0 and 6.1; g. Refer to Attachment I of the 12/5/17 TAC submittal; and e., h., and i.: Not requested or N/A 	
<input checked="" type="checkbox"/>	A document from each of the required private utility service providers indicating approval of the proposed site plan and indicating an ability to provide all required private utilities to the site. (2.5.3.2D)	Refer to Attachment E for evidence of utility commitments.	
<input type="checkbox"/>	A list of any required state and federal permit applications required for the project and the status of same. (2.5.3.2E)	NA	

Applicant's Signature: _____ **Date:** _____

Reviewed by: _____ **Date Reviewed:** _____



GeoInsight®

Environmental Strategy & Engineering
Practical in Nature

December 18, 2017

GeoInsight Project 8090-000

Ms. Juliet T. H. Walker
Planning Director (Chair)
City of Portsmouth Technical Advisory Committee
City Hall, 3rd Floor
1 Junkins Avenue
Portsmouth, NH 03801

RE: January 2, 2018 TAC Hearing Site Plan Review Submittal
The Hotel At Foundry Place, "Lot 3"
165 Deer Street, Assessors Map 125 Lot 17
And Related Improvements To Lots 2, 4 And 5
Foundry Place LLC and Deer Street Associates
Portsmouth, NH 03801

Ms. Walker and TAC Members:

On behalf of Foundry Place LLC and Deer Street Associates (Foundry Place/DSA, the owners), GeoInsight, Inc. (GeoInsight) prepared this letter and attachments for the City of Portsmouth (the City) Technical Advisory Committee (TAC) for the January 2, 2018 Public Hearing. As requested by the City, this submittal seeks approval of the proposed redevelopment of Lot 3 and also approval of proposed improvements to two adjacent properties and one nearby by property; the proposed off-site improvements are required for the proposed development of Lot 3. The design package was reformatted to include a single submittal for the proposed changes to each of the affected lots.

In addition, a change of ownership became effective on December 13, 2017, and now Foundry Place, LLC owns Lots 2 and 3, and Deer Street Associates owns Lots 4 and 5. Given the timing of the transition, both owners are named in some of the submittal materials, but not all of the information contained within the attached submittal package was able to be updated in time for the December 19, 2017 submittal date. We do anticipate updating the relevant information for the Planning Board submittal.

Revisions and additions to the Lot 3 design, and the improvements to Lots 2, 4, and 5, are based upon a written list of topics and comments provided by TAC on December 5, 2017 for the Lot 3 design, and also discussions and comments received during the December 5, 2017 TAC Hearing. These comments from TAC formed the basis of our response submittal that accompanies this cover letter. Included with this letter is a Comment Response Matrix (Table 1) prepared to track the

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individual issues identified by the City regarding the December 5, 2017 design submittal package, and the subsequent response from the Foundry Place/DSA team. As indicated on the table, most of the comments provided by TAC have been addressed. We anticipate that the items listed in Table A that are highlighted in yellow, as well as new changes made to the design, will form the basis of the January 2, 2018 TAC hearing discussions.

Also included with this cover letter are an updated Site Review Application Form and a Site Plan Application Checklist. Each of these two documents were formatted to address both the Lot 3 design and the improvements proposed for Lots 2, 4, and 5.

Additional updated or new information for consideration as part of the overall design package is included on the design plans and in the submittal Attachments. The following is a generalized summary of the changes in the design package.

1. Revised Vision Statement

The Vision Statement for the development of Lots 2 through 6 was updated to remove the “symbiotic” reference and removed Historic District zoning references, and is included at Attachment A.

2. Easement Modifications

The proposed easement plans related to Lot 3 were revised to include Lots 2, and 4. There are not easements needed for Lot 5 that are related to Lot 3. Easement Plans were updated along with the Easement Summary Table (Attachment B) to provide improved consistency.

3. Revised Stormwater Report

The Lot 3 stormwater report was updated to reflect the minor changes in grading and drainage design, and also additional information regarding the impracticality of infiltrating stormwater on or off the property. Also, as discussed during the December 5, 2017 TAC Hearing, the stormwater management approach being used for Lot 3 does take into account future stormwater management requirements for Lots 4 and 5, as preliminary evaluations for those other lots were initiated concurrently with the evaluation for Lot 3. The revised Stormwater Report is included in Attachment C.

4. Building Load Information

The water and sewer requirement calculations for the Lot 3 hotel building were updated for this submittal, as were the calculations for the grease traps. This information is included in Attachment D.

5. Utility Will Serve Letters and Confirmation of Utility Information

Based upon comments from TAC, utility providers were asked to provide a more definitive commitment with regard to their ability to service the proposed Lot 3 development. GeoInsight provide copies of proposed utility plans to the providers and has requested revised letters that specifically reference the proposed designs. Information received as of the date of this letter is included in Attachment E. Confirmation not included is anticipated to be provided by hand at the January 2, 2018 TAC Hearing.



6. Landscape Maintenance Agreement

Based upon the proposed use of vegetated strips within the City sidewalk right-of-way, TAC requested that a formal agreement be developed that would define the owner's responsibilities with regard to the plantings and the planting areas. Therefore, a Draft Landscape Maintenance Agreement (Attachment F) was prepared that includes spaces for City input and also suggested language. We request that the City review and comment on the document.

Evaluation of the Impact of Lot 3-Related Construction on Future Lot 4 Utilities

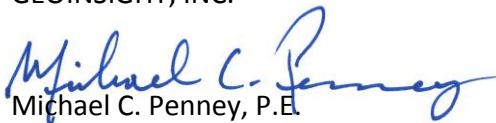
Numerous modifications to the Lot 4 property are planned for the benefit of the proposed Lot 3 development. These include gas, electric, communications, sewer, stormwater drainage, egress, signs, lighting, and other easements (refer to Attachment B). Despite these features occupying the southwest portion of Lot 4, the future development of Lot 4 is not expected to be significantly impacted by the Lot 3-related improvements because: the drive-around will remain for Lot 4 and future Lot 5 use; water, sewer, and gas are expected to connect directly to infrastructure in Deer Street; stormwater will be managed by the infrastructure already installed for Lot 3 and by being discharged to the City drainage infrastructure in Deer street; and electrical and communications services will be able to connect to the new infrastructure installed for Lot 3. Therefore, the proposed Lot 3 development and its reliance on a portion of Lot 4 for easements, is not expected to have an adverse influence on the future formal design for Lot 4.

Lot 2 Unencumbered Space

Geolinsight's previous and current drawing (Sheet C3.4) that addresses Community Space identifies what areas of the Foundry Place, LLC Lot 2 property were utilized by DSA for Lot 6 and will be utilized by Foundry Place, LLC for Lot 3. Because Lot 3 and Lot 6 will be counting some of the Lot 2 space toward development incentives, a formal arrangement is necessary to keep the Lot 2 area as Community Space in the future. With regard to the remaining space on Lot 2 that has not yet been appropriated for other future incentives, Foundry Place expects to reserve the right to use the space for future incentives or assign that right to DSA. However, the entirety of Lot 2 is still planned to be transferred to the City by Foundry Place, LLC at the end of the development process, whether there is unencumbered space remaining on Lot 2 at the time of the transfer or not.

The Foundry Place/DSA team appreciates the opportunity to work with the TAC and interested members of the public on this project. If you have questions about the information in this cover letter or attached materials, please contact us at (603) 314-0820.

Sincerely,
GEOINSIGHT, INC.


Michael C. Penney, P.E.
Senior Engineer/Senior Associate

Enc.

TABLE 1
RESOLUTION SUMMARY of DECEMBER 5, 2017 165 DEER STREET (DSA LOT 3) TAC HEARING COMMENTS

Comment #	Comment	Status	Response
1	Complete the Site Plan Review Checklist	Addressed	Site Plan Review Checklists completed for Lots 2, 3, and 4.
2	The driveway crossing area near the hotel drop-off should be asphalt, not brick.	Open Item	The crossing is still shown to be brick in the interest of engaging TAC in further discussion on this issue.
3	The dashed line shown in the drive-around should be solid.	Resolved	See Sheets C3.1 to C3.3
4	Dashed line leading to drive-thru can begin where arrows are located	Resolved	See Sheet C3.1 to C3.3
5	Stairs leading to Foundry Place from front sidewalk not preferred; need to deter pedestrians from crossing except at crosswalk.	Resolved	Use of vegetated strips in the sidewalk expanded along the Foundry Place to discourage leaving the sidewalk.
6	End of sidewalk nearest to City Garage is narrow. Will this be sufficient for pedestrian passage?	Addressed	The minimum sidewalk width at the southwest end of Lot 3 sidewalk is 8 feet, which is the same width as several other narrow locations in front of Lot 3 where the building projects out into the sidewalk. The width <u>meets</u> minimum criteria.
7	Due to improvements on adjacent Lots for the benefit of Lot 3, a joint application should be provided.	Resolved	A revised format was provided to allow the City to approve the proposed modifications to Lot 2, 4, and 5 for the purposes of developing Lot 3.
8	Impacts to Lot 4 including all easements, utilities, etc. to support adjacent developments (Lot 3, Lot 5) need to be clearly identified. Also, identify impacts to development/construction of Lot 4 building, utilities, etc. as a result.	Addressed	A response to this comment was provided at the December 5, 2017 Hearing and is also included in the Cover Letter for the January 2, 2018 Hearing.
9	Note #11 on the Site Notes (C1.1) should reference any public roadway, curbing, and sidewalks (not just Foundry Place).	Resolved	Note modified on Sheet C1.1.
10	Please confirm that your open space areas identified on sheet 3.6 conform with the zoning section 10.515.20 of the zoning ordinance.	Resolved - No Change Needed	Open space provided is 10% of Lot 3, where 5% is required, and 29% of the open space is pervious, where 20% is required.
11	Anywhere you reference a detail (TYP.) please refer to the specific detail sheet # and reference # in the plan set.	Resolved	Edits were made to Civil Sheets to include references to specific details on detail sheets, were applicable.
12	A removable screen is proposed around the transformer pad. We're not sure this complies with the site plan review requirements for screening in Section 6.9, we will need to discuss.	Unresolved	Further discussion with TAC is desired by the Lot 3 team.
13	Project Vision (Attachment A). City staff do not agree with your statement that this project and the parking garage "are being developed in collaboration and are symbiotic in nature."	Addressed	The Vision Plan (Attachment A) was revised to acknowledge the separate nature of designs being pursued by the City and Foundry Place, LLC and DSA, and clarifying what was intended to be meant by collaboration.
14	Stormwater Management Study needs to go out for third party review in respect to drainage and stormwater management, and should be considered in the context of other future DSA development projects in the vicinity.	Addressed	GeoInsight revised its Stormwater Management Report, and Foundry Place, LLC agreed to support City's need for third party review but requests expedited process.
15	3 rd party review of Traffic Report and proposed traffic pattern on Lot 4 / Lot 3 requested.	Addressed	Gorrill Palmer will issue a revised traffic memo specific to the proposed traffic patterns on Lots 3 and 4 , and their relation to Deer Street, and Foundry Place, LLC and DSA agreed to support City's need for third party review but requests expedited process.
16	A Construction Mitigation and Management Plan shall be required for this project once it receives Site Plan approval.	Acknowledged	A Construction Mitigation and Management Plan will be provided after the project receives Site Plan approval.

**TABLE 1
RESOLUTION SUMMARY of DECEMBER 5, 2017 165 DEER STREET (DSA LOT 3) TAC HEARING COMMENTS**

17	Final utility plan needs to be signed off (in writing, reference plan version) by Unutil, Eversource, Fairpoint, First Light, Comcast.	In Progress	In addition to Will Serve letters, Foundry Place, LLC and DSA expect to receive utility sign-offs on design plans in time for the January 2 Hearing.
18	No loading will be allowed on Foundry Place, therefore the walkways on that side shall be designed not to encourage that use.	Addressed	Refer to response to Comment #5.
19	Please provide drafts of proposed landscaping maintenance agreements for review by the City.	Addressed	A Draft Landscape Maintenance Agreement was included with the submittal package.
20	Explain sewer/water use calculations in Attachment F. Values appear inconsistent.	Addressed	Sewer and water use calculations were updated and included in Attachment D of the submittal package.
21	Calculations for grease trap sizing will need to be provided. Interior grease traps might be required in addition to exterior units per plumbing code requirements. Engineer to verify.	Addressed	Grease trap sizing calculations updated and included in Attachment D of the submittal package.
22	Update the Easement Table and Easement Figures to match; make sure it includes the electric easement on Lot 4 for Lot 3.	Resolved	Sheets E1, E2, and E3, and the Easement Summary Tables included in Attachment B were edited to be consistent and are included in the submittal.
23	City wants to control the ability to light the sidewalk, therefore they want decorative City street lights installed. Resolve light provided/guaranteed by building with City lights.	Addressed	Sidewalk lights are shown on Sheet L2. Updated building lighting information is included in Attachment G.
24	Update the zoning compliance table to include required dimensional information. Update square footage.	Addressed	Zoning compliance table updated. Dates of approvals for variances sought also included (Sheet T.02T).
25	Revisit Community Space calculation if outside tables are going to be used on sidewalks.	Addressed	Community Space calculations and illustrations (Sheet C3.3) was revised to exclude terrace area in front of hotel and is included.
26	Revise colors and locations of Open Space and Community Space sheets.	Addressed	Community Space and Open Space illustrations (Sheets C3.3 and C3.4) were updated for clarity.
27	Define how "unclaimed" portion of Community Space will be assigned.	Addressed	Addressed in cover letter. Area will be banked for future use as Community Space by DSA if possible, but will be turned over to the City with the remainder of the lot area.
28	City asked for Lot 2 frontage "surety."	Unresolved	Issue to be discussed further with City at the January 2, 2018 Hearing.
28	Define whether benches and other streetscape features are consistent with City specifications.	Addressed	Benches and other streetscape features will be consistent with City specifications.
29	Because City cannot access railroad side of building, the High-Rise provisions of the Code become effective which will mean pressurized sprinklers in stairwells and sprinklers may be required for lifts.	Pending	If required by Code, the required sprinklers will be provided.
30	Use non-flammable mulch at rear of building, if mulch is used at all.	Addressed	Mulch used on the property, if any, will be a non-combustible material. Stone will be used at the rear of the building.
31	Confirm gas company can supply the required volume and rate of gas to support hotel needs.	Pending	Communications were initiated with Unutil, but still awaiting a formal reply.
32	DPW requested additional information on comparison of DSA proposed street alignment and that proposed by Tighe and Bond.	Resolved	GeoInsight prepared an overlay plan showing both alignments.

Geo

ATTACHMENT A

**Summary of Overall Redevelopment Vision
Foundry Place LLC and Deer Street Associates**

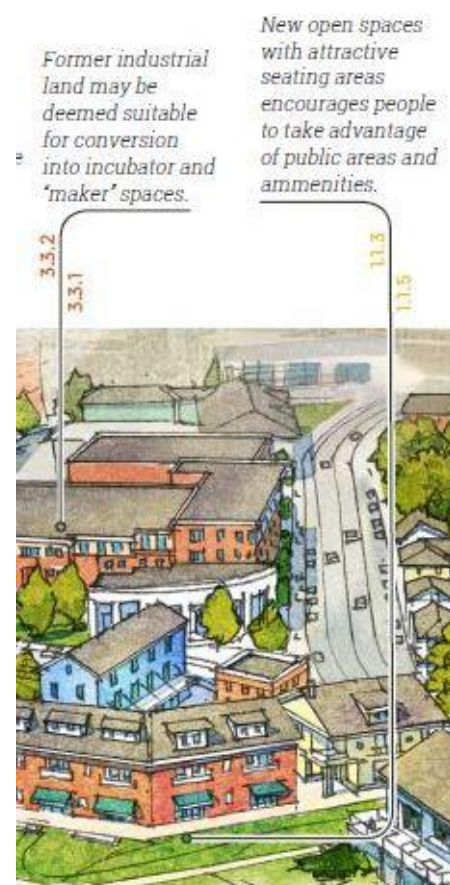
Project Vision

The vision for this project is to create a vibrant and pedestrian friendly neighborhood experience. The proposed Lot 3 development by Foundry Place LLC, and the City's new municipal parking garage are being developed and coordinated concurrently. The project goal is to create a harmonious Portsmouth experience throughout this neighborhood area for residents and visitors to enjoy. With these ideas in mind, special consideration is given to support *Zoning Ordinance Section 10.121 "General Purpose and Intent: The Ordinance is intended to implement the goals and objectives of the Master Plan..."*.



Objectives

- **Welcoming, vibrant & pedestrian friendly atmosphere**
 - Activated street level -- Mixed use with restaurants & retail
 - Human scale – façade massings, modulations, details & textures
 - Enhanced streetscape – wide sidewalks, enhanced hardscapes, plantings, lighting and furnishings
- **Sense of place** – a destination with distinctive and historically compatible character
 - Historic legacy -- Train Station, Steam Factory, machine shops, tannery and foundry
 - Edge boundary of Historic District, transition zone
 - Arrival into city –a balanced contextual entranceway
 - Spatial relationships between two types of surroundings:
 - Urban open space (streets, sidewalks) as a city “rooms” defined by deliberate building edges.
 - Rural open space (pond, cemetery), reduced massing & scale with stepbacks and courtyards.
- **Fulfill goals of City Master Plan and North End Vision Plan**
 - **Connectivity** - Enhanced visual and pedestrian connections within and between neighborhoods (*Master Plan 1.1.2, 1.1.3, 2.2.1*)
 - Open Civic Space – extra wide sidewalks, and community space plazas
 - Maintain views along entrance into city by creating larger gaps between buildings with smaller footprints. A variance is required for Lot 4, for building frontage less than minimum required in CD5.
 - **Building design**
 - “...an opportunity for more contemporary building design, styles and materials to help define the North End as a separate district.”
 - “...the North End as a unique entity while complementing and contrasting with historic character of the larger downtown.” (*Master Plan, pg. 108-110; Northend Vision Plan Pg.1*)
 - **Human scale**; a rich urban experience; scaled to fit surroundings, per Character-Based Zoning
 - **Land use** (*Master Plan 3.2.2 & 3.3; ZO Incentive 10.5A46.20*) Diversity; mixed-income housing with both workforce and market rate housing at Lot 5
 - **Vibrancy**, support for the Arts -- Extra high ceilings and open floor plans at Lot 4 office space, for flexible, creative usage options such as “incubator and maker spaces” (*Master Plan 3.3.2*)



- **Sustainability** (*Master Plan 5.4*).
 - Improve and exceed code minimums for energy performance by 50%, for reduced carbon footprint.
 - Locally sourced and durable materials.
 - Innovative construction methods and materials technologies for long lasting, enduring buildings.

- **Coastal Resiliency** (*Master Plan 5.1*) Raised floor heights for flood events and water mitigation strategies for below grade parking.

ATTACHMENT B

Summary of Easements/Agreements

Lot 2	Type	From	To	Purpose	Description
Lot 2	Easement	Foundry Place, LLC Lot 2	Eversource	Permanent ROW	Buried Utility Access
Lot 2	Easement	Foundry Place, LLC Lot 2	Verizon/AT&T	Permanent ROW	Buried Utility Access
Lot 2	Easement	Foundry Place, LLC Lot 2	Comcast/Fairpoint	Permanent ROW	Buried Utility Access
Lot 2	Easement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	No-Build Zone	No structures within 30' of Lot 3 Property Line
Lot 2	Easement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	Construction and Maintenance	Equipment Operation, Materials Laydown, Temporary Disturbance and Exterior Cleaning & Repair
Lot 2	Easement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	Encroachment	Building Features and Projections Beyond Property Line
Lot 2	Easement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	Community Space	Count Lot 2 Space Toward Lot 3
Lot 2	Easement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	Encroachment	Light Spillage
Lot 2	Agreement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	Temporary Parking	During Construction
Lot 2	Easement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	Permanent Access	Side Door Egress
Lot 2	Easement	Foundry Place, LLC Lot 2	City of Portsmouth	Sewer	Buried Utility Access
Lot 2	Easement	Foundry Place, LLC Lot 2	City of Portsmouth	Water	Hydrant Easement
Lot 2	Easement	Foundry Place, LLC Lot 2	City of Portsmouth	Construction and Maintenance	Equipment Operation, Materials Laydown, Temporary Disturbance and Exterior Cleaning & Repair
Lot 2	Easement	B&M Railroad	Foundry Place, LLC Lot 2	No-Build Zone	No structures within 10' of Rear Property Line
Lot 2	Easement	Foundry Place, LLC Lot 2	DSA Lot 6	Community Space	Count Lot 2 Space Toward Lot 6

Lot 3	Type	From	To	Purpose	Description
Lot 3	Easement	Foundry Place, LLC Lot 3	Eversource	Permanent ROW	Buried Utility Access
Lot 3	Easement	Foundry Place, LLC Lot 3	Verizon/AT&T	Permanent ROW	Buried Utility Access
Lot 3	Easement	Foundry Place, LLC Lot 3	Comcast/Fairpoint	Permanent ROW	Buried Utility Access
Lot 3	Easement	Foundry Place, LLC Lot 3	City of Portsmouth	Right of Use	Community Space
Lot 3	Easement	Foundry Place, LLC Lot 3	City of Portsmouth	Right of Use	Public Use of Sidewalk
Lot 3	Easement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	Construction and Maintenance Easement	Equipment Operation, Materials Laydown, Temporary Disturbance and Exterior Cleaning & Repair
Lot 3	Easement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	Encroachment	Building Features and Projections Beyond Property Line
Lot 3	Easement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	Community Space	Count Lot 2 Space Toward Lot 3
Lot 3	Easement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	Encroachment	Light Spillage
Lot 3	Agreement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	Temporary Parking	During Construction
Lot 3	Easement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	Permanent Access	Side Door Egress
Lot 3	Easement	Foundry Place, LLC Lot 2	Foundry Place, LLC Lot 3	No-Build Zone	No structures within 30' of Lot 3 Property Line
Lot 3	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Construction and Maintenance	Equipment Operation, Materials Laydown, Temporary Disturbance and Exterior Cleaning & Repair
Lot 3	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Service	Eversource Transformer?
Lot 3	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Service	Unitil Gas
Lot 3	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Service	Eversource
Lot 3	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Service	Verizon/AT&T
Lot 3	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Service	Comcast/Fairpoint
Lot 3	Agreement	DSA Lot 4	Foundry Place, LLC Lot 3	Temporary Parking	During Construction
Lot 3	Agreement	DSA Lot 3	DSA Lot 4	Designated Parking	Accommodate Displaced Bank Parking
Lot 3	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Temporary Lighting	Drive Around Area
Lot 3	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Signs	Wayfinding
Lot 3	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Access and Egress	Use of Lot 4 Driveway and Loading Zone
Lot 3	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Sanitary Sewer	Grease Traps/Sewer Lines
Lot 3	Easement	PanAm RR	Foundry Place, LLC Lot 3	No-Build Zone	No structures within 10' of Rear Property Line
Lot 3	Agreement	PanAm RR	Foundry Place, LLC Lot 3	Permanent Maintenance	Exterior Cleaning & Repair

Lot 4	Type	From	To	Purpose	Description
Lot 4	Easement	DSA Lot 4	Eversource	Permanent ROW	Lot 4 Buried Utility Access
Lot 4	Easement	DSA Lot 4	Verizon/AT&T	Permanent ROW	Lot 4 Buried Utility Access
Lot 4	Easement	DSA Lot 4	Comcast/Fairpoint	Permanent ROW	Lot 4 Buried Utility Access
Lot 4	Easement	DSA Lot 4	Unitil Gas	Permanent ROW	Lot 4 Buried Utility Access
Lot 4	Easement	DSA Lot 4	City of Portsmouth	Sanitary Sewer	For Sewer Main Portion
Lot 4	Easement	DSA Lot 4	City of Portsmouth	Right of Use	Public Use of Sidewalk
Lot 4	Easement	DSA Lot 4	City of Portsmouth	Storm Sewer	20' Wide, Buried Utility Access
Lot 4	Easement	B&M Railroad	DSA 4	No-Build Zone	No structures within 10' of Rear Property Line
Lot 4	Agreement	DSA Lot 4	Foundry Place, LLC Lot 3	Temporary Lighting	Drive Around Area
Lot 4	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Signs	Wayfinding
Lot 4	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Construction and Maintenance	Equipment Operation, Materials Laydown, Temporary Disturbance and Exterior Cleaning & Repair
Lot 4	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Service	Eversource
Lot 4	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Service	Unitil Gas
Lot 4	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Service	Eversource
Lot 4	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Service	Verizon/AT&T
Lot 4	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Service	Comcast/Fairpoint
Lot 4	Agreement	DSA Lot 4	Foundry Place, LLC Lot 3	Temporary Parking	During Construction
Lot 4	Agreement	Foundry Place, LLC Lot 3	DSA Lot 4	Designated Parking	Accommodate Displaced Bank Parking
Lot 4	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Access and Egress	Use of Lot 4 Driveway and Loading Zone
Lot 4	Easement	DSA Lot 4	Foundry Place, LLC Lot 3	Sanitary Sewer	Grease Traps/Sewer Lines
Lot 4	Easement	DSA Lot 4	DSA Lot 5		
Lot 4	Easement	DSA Lot 4	DSA Lot 5	Construction and Maintenance	Equipment Operation, Materials Laydown, Temporary Disturbance and Exterior Cleaning & Repair
Lot 4	Easement	DSA Lot 5	DSA Lot 5	Access and Egress	Use of Lot 4 Driveway and Loading Zone

ATTACHMENT D

Updated Building Utility Load Information

Hydrant Flow Test Report

Test Date 7/28/2014

Test Time 10:30

Location

Deer Street in front of VFW

Tested by

Atlantic Design Resources Ltd

Notes

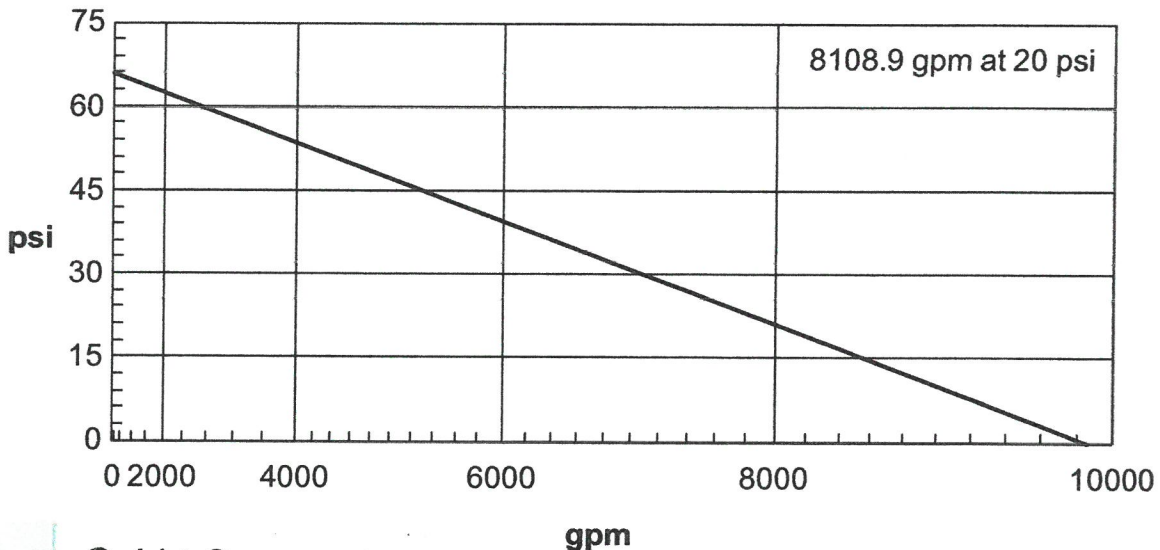
Read Hydrant

66 psi static pressure
64 psi residual pressure
3 ft hydrant elevation

Flow Hydrant(s)

Outlet	Elev	Size	C	Pitot Pressure	Flow
#1	3	4	.9	12	1489 gpm

Flow Graph



Gobbi Corporation

Joseph R. Gobbi, Jr.

Owner

P.O. Box 457
Greenland, NH 03840

P: 603-235-7842

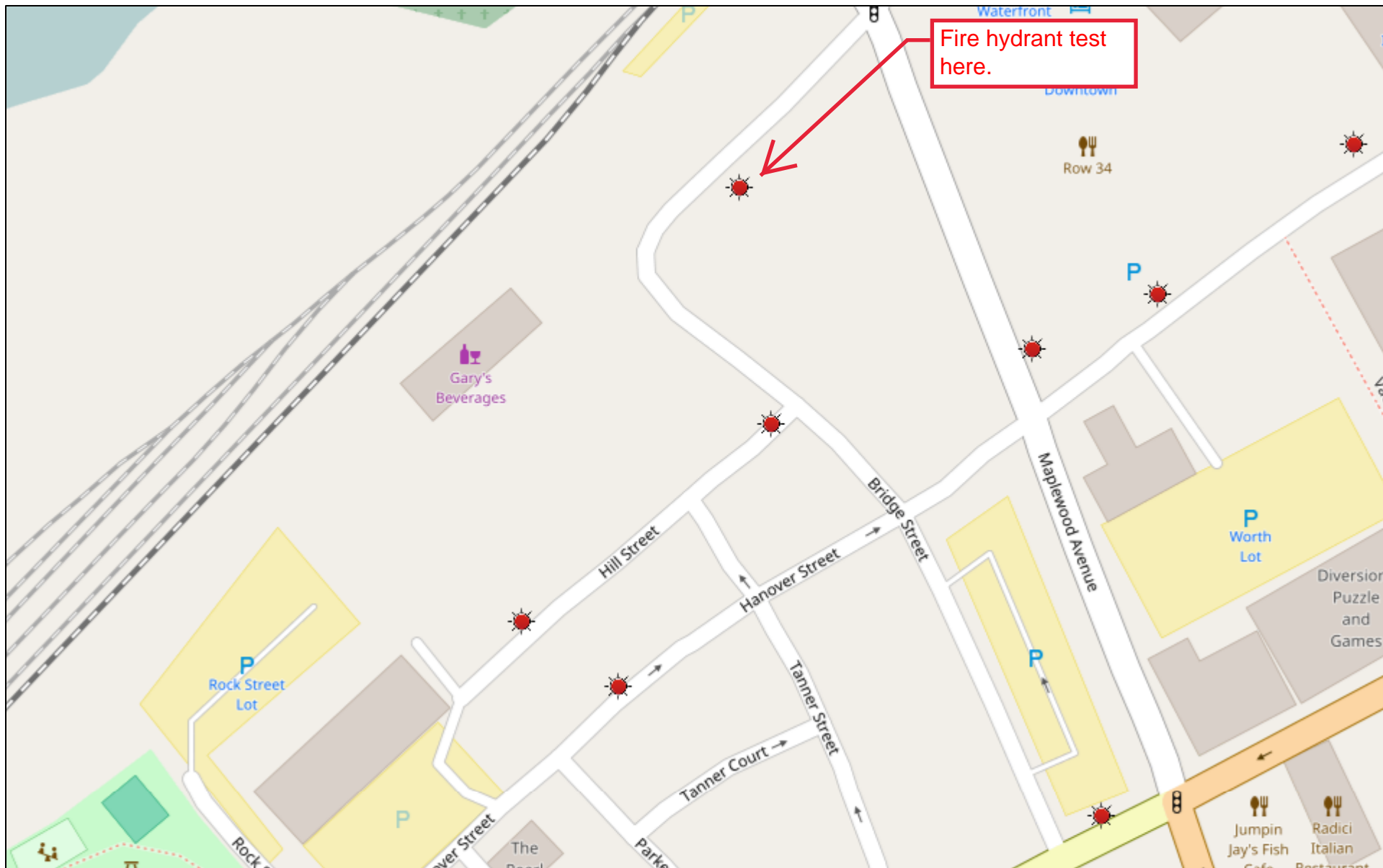
F: 603-427-1685

joegobbi@gmail.com

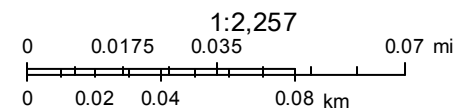
hydrant flow test program from www.igneusinc.com



Deer St_Hill St Fire Hydrants



October 23, 2016



Map data © OpenStreetMap contributors, CC-BY-SA

December 8, 2017

RE: JSA
Deer Street Associates
Building Concept
Utility Flow Rates

Lot 3 Building Concept: Mixed Use – (Business, Hotel)

Water flow rate: (Based on AWWA Table 5) 50 GPD per Bath 128 = 6,400 GPD
1ST & 5th Floor Restaurant water flow rates – 12 GPD Assume 700 patrons = 8400 GPD
Sewer flow rates: (Based on Type of Establishments)
Hotel @ 45 GPD per bedroom, 128 bedrooms = 5,760 GPD
Restaurants & Offices = 2,490 GPD
Storm Runoff: (Based on Roof Area) = 0.538 CF/S
Gas Load: (Based on 25 BTU/SF) = 2,678,300 BTU/Hr

Lot 4 Building Concept: (Restaurants/Office)

Water flow rate: (Based on AWWA Table 5) 12 GPD per patron (2-restaurants/Office) 350 = 4,200 GPD
Sewer flow rates: (Based on Type of Establishments)
Restaurant @ 8 GPD per patron, 300 patron = 2,400 GPD
Office @ 15 GPD per employee, 50 employees = 750 GPD
Storm Runoff: (Based on Roof Area) = 0.485 CF/S
Gas Load: (Based on 25 BTU/SF) = 803,825 BTU/Hr

Lot 5 Building Concept: (Mixed Use – parking Garage/Retail/Apartments)

Water flow rate: (Based on AWWA Table 5) 50 GPD per Bath 63 = 3,150 GPD
Sewer flow rates: (Based on Type of Establishments)
Apartment @ 110 GPD per bedroom unit, 47 bedrooms = 5,170 GPD
Retail @ 50 GPD per 1,000 SF = 550 GPD
Storm Runoff: (Based on Roof Area) = 1.06 CF/S
Gas Load: (Based on 25 BTU/SF) = 1,934,950 BTU/Hr

Lot 6 Building Concept: (Apartments)

Water flow rate: (Based on AWWA Table 5) 50 GPD per Bath 63 = 3,150 GPD
Sewer flow rates: (Based on Type of Establishments)
Apartment units @ 110 GPD per bedroom unit, 43 bedrooms = 4,730 GPD
Retail @ 50 GPD per 1,000 SF = 90 GPD
Storm Runoff: (Based on Roof Area) = 0.97 CF/S
Gas Load: (Based on 25 BTU/SF) = 1,493,270 BTU/Hr

WATER USAGE CALCULATIONS

DEER STREET- PORTSMOUTH, NH - -Water/Drainage Calculation					
Building #3					
Restaurant : Ground Floor Café -(250 seats) 600 commuters - 12-16 Hrs/Day					
Restaurant : Rooftop Lounge (100 seats) - 12 Hrs/Day					
Hotel Rooms: 128					
This calculation indicate flow rates per user group					
(note: Estimates are based on US standards for water usage and sewage strength.)					
Assumption: Restaurant - 2 meals/seat/day at least 30 Employees					
TYPE OF ESTABLISHMENT	QUANTITY	UNIT	GALLONS/DAY	MINIMUM ALLOWABLE GPD FOR SYSTEM DESIGN	
Restaurant - Gr. Flr.	500	per meal	3	1500	1500
Rooftop Bar/Restaurant	200	per meal	3	600	600
Hotel	128	per guest	45	45	5760
Office, Restaurants	30	per employee	13	13	390
Sub Total gal /day					8250
Sub Total gal/year					3011250
Sub Total CF/year					402574
Domestic Water Service - Ductile Iron Cement Lined	4" Diameter (DICT)				
Fire Water Service - Ductile Iron Cement Lined	8" Diameter (DICT) @ 750 GPM Standpipe Demand				
Storm Drain - Cast Iron	12" Diameter (C.I.)				
Sanitary Sewer - Cast Iron					

Uniform Plumbing Code Appendix H Interceptor Sizing

Sizing criteria for restaurant grease interceptor:

- (a) Parameters - The parameters for sizing a grease interceptor are hydraulic loading and grease storage capacity, for one or more fixtures.
- (b) Sizing Formula - The size of the interceptor shall be determined by the following formula:

Number of meals per <u>peak</u> hour (1)	X	Waste Flow Rate (2)	X	Retention Time (3)	X	Storage Factor (4)	=	Interceptor Size (liquid capacity in gallons)
237	X	6	X	2.5	X	1	=	3,555

(1) Number of meals served per peak hour - or maximum seating capacity

(2) Waste Flow Rate - per device

- a. With dishwashing machine connected to interceptor (not normally allowed) 6 gallon flow
- b. Without dishwashing machine connected to interceptor 5 gallon flow
- c. Single Service Kitchen (paper plates and utensils only) 2 gallon flow
- d. Food waste disposer 1 gallon flow

(3) Retention Time

- a. Commercial Kitchens 2.5 hours
- b. Single Service Kitchen 1.5 hours

(4) Storage Factors

Fully equipped commercial kitchen

- a. 8 hour operation 1
- b. 16 hour operation 2
- c. 24 hour operation 3

Single Service Kitchen (normal hours) 1.5

Engineer recommended size to install: 4,000

Facility Name: LOT #3 1st Floor Restaurant

Facility Address: _____

Property TMK: _____

Date: _____

Engineer: _____

Engineers Stamp
License Expiration Date _____

Uniform Plumbing Code Appendix H Interceptor Sizing

Sizing criteria for restaurant grease interceptor:

- (a) Parameters - The parameters for sizing a grease interceptor are hydraulic loading and grease storage capacity, for one or more fixtures.
- (b) Sizing Formula - The size of the interceptor shall be determined by the following formula:

Number of meals per <u>peak</u> hour (1)	X	Waste Flow Rate (2)	X	Retention Time (3)	X	Storage Factor (4)	=	Interceptor Size (liquid capacity in gallons)
148	X	6	X	2.5	X	1	=	2,220

(1) Number of meals served per peak hour - or maximum seating capacity

(2) Waste Flow Rate - per device

- a. With dishwashing machine connected to interceptor (not normally allowed) 6 gallon flow
- b. Without dishwashing machine connected to interceptor 5 gallon flow
- c. Single Service Kitchen (paper plates and utensils only) 2 gallon flow
- d. Food waste disposer 1 gallon flow

(3) Retention Time

- a. Commercial Kitchens 2.5 hours
- b. Single Service Kitchen 1.5 hours

(4) Storage Factors

Fully equipped commercial kitchen

- a. 8 hour operation 1
- b. 16 hour operation 2
- c. 24 hour operation 3

Single Service Kitchen (normal hours) 1.5

Engineer recommended size to install: 2,500 _____

Facility Name: LOT #3 5th Floor Restaurant Lounge

Facility Address: _____

Property TMK: _____

Date: _____

Engineer: _____

Engineers Stamp
License Expiration Date _____

ATTACHMENT E

Utility Will Serve Letters

Michael C. Penney

From: Wholey, James <James_Wholey@comcast.com>
Sent: Monday, December 18, 2017 11:56 AM
To: Joseph H. Kieffner
Cc: Collins, Mike - Epping, NH
Subject: RE: DSA Lot 3

Hi Joe,

We have reviewed sheets C5.1 and C5.2 of the Site Plan title The Hotel at Foundry Place, "Lot 3", 165 Deer Street, Assessors Map 125 Lot 17 plan set with revision date of 11/17/2017. Comcast gives preliminary approval of the conduit layout and will serve the property upon request.

Thanks,

Jim

Jim Wholey
180 Greenleaf Ave Portsmouth NH 03801
Commercial Market Development
Comcast Business-Greater Boston Region
Phone: (617)279-5840 Fax: (866)709-7324

COMCAST **B4B** BUILT FOR
BUSINESS BUSINESS



GeoInsight, Inc.

186 Granite Street, 3rd Floor, Suite A
Manchester, NH 03101-2643

FirstLight has reviewed sheets C5.1 and C5.2 of the Site Plan title *The Hotel at Foundry Place, "Lot 3", 165 Deer Street, Assessors Map 125 Lot 17* plan set with revision date of 11/17/2017. FirstLight gives preliminary approval of the conduit layout and will serve the property upon request.

Jeff Tougas

Sales Engineer

FirstLight

359 Corporate Dr. | Portsmouth, NH 03801
Office 603-766-1669
24x7 NOC 1-855-229-7464
jtougas@firstlight.net | www.firstlight.net

ATTACHMENT F

Draft Landscape Maintenance Agreement

DEER STREET/FOUNDRY PLACE RIGHT OF WAY
LANDSCAPING INSTALLATION AND MAINTENANCE AGREEMENT

THIS LANDSCAPING MAINTENANCE AGREEMENT (the "Agreement") is made as of the ____ day of _____, 2017 by and between the CITY OF PORTSMOUTH, a New Hampshire municipality (hereinafter, the "City"), and DEER STREET ASSOCIATES, a New Hampshire limited partnership (hereinafter "DSA").

WITNESSETH THAT

WHEREAS, the City proposes to construct a public roadway connecting Deer Street and Rock Street to be known as Foundry Place ("Foundry Place")(formerly known and sometimes shown as Deer Street Extension).

WHEREAS, DSA proposes to develop certain property located on Foundry Place and a portion of Deer Street, known as Lot 3, and further identified as City Tax Map 125, Lot 17, having a current street address of 165 Deer Street ("Lot 3").

WHEREAS, upon completion of the development of Lot 3 by DSA, DSA will be responsible for the installation and maintenance of plantings and other landscaping in the City rights of way for those portions of Foundry Place and Deer Street rights of way adjacent to Building/Lot 3.

WHEREAS, it is recognized by the City and DSA that it is desirable to determine and agree on the responsibilities of the parties with respect to such installation and maintenance of landscaping in the Lot 3 ROW.

NOW THEREFORE, in consideration of the mutual covenants, agreements and promises contained herein and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the City and DSA agree as follows:

AGREEMENT

1. Permitted Activities: The City hereby grants a license to DSA during the term of this Agreement to enter onto the Foundry Place and Deer Street rights of way abutting Lot 3 (the "Lot 3 ROW") and engage in such activities as are consistent with those set forth in Section 3(a)(1) of this Agreement.
2. Term: The term of this Agreement shall be ____ (__) years, starting the date of issuance of a building permit for the construction of the building on Lot 3 (the "Commencement Date") and proceeding for a period of ____ (__) years thereafter (the Termination Date"). The Term may be extended by DSA for __ (__) term(s) of ____ (__) years each upon the delivery of written notice by DSA to the City of DSA's intention to renew. This Agreement can be terminated sooner if one or more of the following occurs:
 - a. The City and DSA mutually agree to terminate this Agreement on a date certain, and on terms mutually agreeable; or
 - b. The City determines that public necessity requires termination of this Agreement, and provides written notice of the same to DSA at least six (6) months prior to the effective date of termination; or

- c. DSA terminates this Agreement on written notice to the City served at least six (6) months prior to the effective date of termination.

Upon termination of this Agreement for any reason, DSA shall have no obligations hereunder from and after the date of such termination, unless expressly stated otherwise in this Agreement.

3. Maintenance of the Lot 3 ROW:

- a. Maintenance shall be divided between the parties as follows:
 - i. DSA shall be responsible to prepare all planting beds, plant vegetation and other landscaping and to maintain and replace such plantings and other landscaping, as needed (collectively as "Landscaping"). The Landscaping will be in accordance with the landscaping plan(s) approved by the City Planning Board pursuant to its site plan review for Lot 3. DSA may complete its Landscaping responsibilities by use of its own personnel or through contracts with third parties.
 - ii. The City shall be responsible for all maintenance of all roadways, pavements, crosswalks, sidewalks and any other hardscapes in the Lot 3 ROW, including but not limited to paving, installation, repairs, street sweeping, snow plowing, and, removal of debris. In the event that the activities described in this section by the City, or their agents, result in damage to the Landscaping, then the City shall repair the Landscaping.
- b. Subject to the provisions described in this Agreement, the City may choose to maintain the Landscaping in the event DSA fails to do so; provided that the City shall first give DSA written notice of and a reasonable opportunity to cure any such purported failure.
- c. DSA shall bear the cost and expense of all obligations required under subsection 3.a.i hereof. The City shall bear the cost and expense of all obligations required under subsection 3.a.ii and 3.b hereof.

4. Personal Liability: No trustee, director, officer, shareholder, member, manager, agent or employee of DSA shall have any personal liability hereunder.

5. Assignment; Successors: This Agreement shall be binding upon and shall inure to the benefit of DSA's successors and assigns and DSA shall have no obligations hereunder from and after the date of such transfer, but only if DSA delivers to the City (i) written notice of the transfer of all of its rights and obligations under this Agreement within five (5) business days of any such transfer, and (ii) a true and complete copy of a final executed "Assignment and Assumption" instrument, which instrument shall provide that the entity comprising DSA's successor or assign agrees to perform and observe all of the terms, covenants, and conditions of this Agreement imposed on the assignor or predecessor from and after the date of transfer. The rights and obligations of DSA pursuant to this Agreement may be collaterally assigned or otherwise transferred as security to any lender which holds a mortgage with respect to Lot 3, and neither the grant of such security nor the exercise of lender's rights and remedies pursuant to the security instruments evidencing the same shall be subject to the requirements of this paragraph.

6. Notice: Any notice required to be given under this Agreement shall be in writing, sent by hand, by certified mail, return receipt requested, or by commercial overnight delivery, and addressed as follows:

If to the City: City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801
Attn: Legal Department

If to DSA: Deer Street Associates
P.O. Box 100
York Harbor, ME 03911
Attn:

with copy to: R. Timothy Phoenix
Hoefle, Phoenix, Gormley & Roberts, PA
127 Parrott Avenue
Portsmouth, NH 03801

or such other substitute addresses as subsequently provided by either party to the other pursuant to this paragraph.

7. Governing Law; Counterparts; Integration; Amendments: This Agreement shall be governed and construed in accordance with the laws of the State of New Hampshire, as amended from time to time, without regard to principles of conflicts of laws. This Agreement may be executed in counterparts, which together, shall constitute but one original. This Agreement contains the entire agreement between the parties relating to the subject matter hereof and supercedes all oral statements and prior writing with respect thereto and may not be terminated or amended except as provided herein. This Agreement may be amended only in a writing executed by the parties.
8. Successors and Assigns: The term "City" shall be interpreted to include the City's successors and/or assigns. The term "DSA" shall be interpreted to include DSA's successors and/or assigns in accordance with paragraph 5 above.
9. Signage. DSA shall be permitted to place signage within the Lot 3 ROW to acknowledge that it is maintaining the Landscaping. Any signs shall be consistent with City regulations and shall be subject to the City's reasonable written objection.
10. Waiver. The failure by a party at any time to require performance of any provision of this Agreement shall not constitute a waiver of such provision and shall not affect the right of such party to require performance at a later time.

[remainder of page intentionally left blank]

IN WITNESS WHEREOF, the parties have executed this Agreement as of the day and year first above written.

CITY OF PORTSMOUTH

Witness

By: _____

Its duly authorized _____

DEER STREET ASSOCIATES

Witness

By: _____

Its duly authorized _____

ATTACHMENT G

Lighting Calculations, Site Regulations and Zoning Analysis

DEER STREET DEVELOPMENT
THE HOTEL AT FOUNDRY PLACE - LOT #3
165 DEER STREET, ASSESSOR'S MAP 125 LOT 17
LIGHTING PHOTOMETRIC LAYOUT SUPPORT DOCUMENTS
REVISED TO ILLUSTRATE ILLUMINATION LEVELS ON THE SOUTH SIDEWALK AFTER HOURS
AND
REVISED LOT #4 POLE LOCATIONS
12-18-2017

J & M LIGHTING DESIGN, INC
207-967-5223
jmlight2@roadrunner.com
NOV. 17, 2017

Luminaire Definition(s)

JAW

CL-ADA-XL-LED15-4K-EBU-SGR - ECLIPSE

Filename	102063649CHI-031.ies
Lumens Per Lamp	N.A.
Number of Lamps	1
Total Lamp Lumens	N.A.
Arrangement Lamp Lumens	N.A.
Arrangement Luminaire Lumens	2094
Luminaire Lumens	2094
Luminaire Efficiency (%)	N.A.
Total Light Loss Factor	0.900
Luminaire Watts	19.3
Arrangement Watts	19.3
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	Type IV, Very Short, N.A. (deprecated)
Upward Waste Light Ratio	0.50

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	51.5	N.A.	2.5
LCS-FM	307.5	N.A.	14.7
LCS-FH	361.4	N.A.	17.3
LCS-FVH	203.4	N.A.	9.7
LCS-BL	13.4	N.A.	0.6
LCS-BM	43.7	N.A.	2.1
LCS-BH	40.6	N.A.	1.9
LCS-BVH	22.0	N.A.	1.1
LCS-UL	225.7	N.A.	10.8
LCS-UH	824.4	N.A.	39.4
Total	2093.6	N.A.	100.0
BUG Rating	B0-U4-G2		
Indoor Classification	General Diffuse		
LER	108		

JAW-5

CL-ADA-XL-LED15-4K-EBU-SGR - ECLIPSE

Filename	102063649CHI-031.ies
Lumens Per Lamp	N.A.
Number of Lamps	1
Total Lamp Lumens	N.A.
Arrangement Lamp Lumens	N.A.
Arrangement Luminaire Lumens	2094
Luminaire Lumens	2094
Luminaire Efficiency (%)	N.A.
Total Light Loss Factor	0.500
Luminaire Watts	19.3
Arrangement Watts	19.3
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	Type IV, Very Short, N.A. (deprecated)
Upward Waste Light Ratio	0.50

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	51.5	N.A.	2.5
LCS-FM	307.5	N.A.	14.7

Luminaire Definition(s) - Cont.

LCS-FH	361.4	N.A.	17.3
LCS-FVH	203.4	N.A.	9.7
LCS-BL	13.4	N.A.	0.6
LCS-BM	43.7	N.A.	2.1
LCS-BH	40.6	N.A.	1.9
LCS-BVH	22.0	N.A.	1.1
LCS-UL	225.7	N.A.	10.8
LCS-UH	824.4	N.A.	39.4
Total	2093.6	N.A.	100.0
BUG Rating	B0-U4-G2		
Indoor Classification	General Diffuse		
LER	108		

JBW

WL-LED300-C-WT

Filename	WL-LED300-C-WT.IES		
Lumens Per Lamp	271		
Number of Lamps	1		
Total Lamp Lumens	271		
Arrangement Lamp Lumens	271		
Arrangement Luminaire Lumens	74		
Luminaire Lumens	74		
Luminaire Efficiency (%)	27		
Total Light Loss Factor	0.800		
Luminaire Watts	3.9		
Arrangement Watts	3.9		
Arrangement	SINGLE		
Arm Length	0		
Offset	0		
Road Classification	N.A., N.A., Full Cutoff (deprecated)		
Upward Waste Light Ratio	0.00		

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	9.7	3.6	13.1
LCS-FM	23.3	8.6	31.5
LCS-FH	4.6	1.7	6.3
LCS-FVH	0.3	0.1	0.4
LCS-BL	9.4	3.5	12.7
LCS-BM	21.8	8.1	29.5
LCS-BH	4.5	1.7	6.1
LCS-BVH	0.4	0.1	0.5
LCS-UL	0.0	0.0	0.0
LCS-UH	0.0	0.0	0.0
Total	74.0	27.4	100.0
BUG Rating	B0-U0-G0		
Indoor Classification	Direct		
LER	19		

JCW-R

AEL12-7W 4000K - LUMINAIRE

Filename	AEL12-10W-4000K.ies		
Lumens Per Lamp	N.A.		
Number of Lamps	28		
Total Lamp Lumens	N.A.		
Arrangement Lamp Lumens	N.A.		
Arrangement Luminaire Lumens	726		

Luminaire Definition(s) - Cont.

Luminaire Lumens	726
Luminaire Efficiency (%)	N.A.
Total Light Loss Factor	0.560
Luminaire Watts	10.8
Arrangement Watts	10.8
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	Type III, Very Short, N.A. (deprecated)
Upward Waste Light Ratio	0.00

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	133.9	N.A.	18.4
LCS-FM	398.4	N.A.	54.9
LCS-FH	117.9	N.A.	16.2
LCS-FVH	4.5	N.A.	0.6
LCS-BL	19.0	N.A.	2.6
LCS-BM	33.5	N.A.	4.6
LCS-BH	17.0	N.A.	2.3
LCS-BVH	1.7	N.A.	0.2
LCS-UL	0.0	N.A.	0.0
LCS-UH	0.0	N.A.	0.0
Total	725.9	N.A.	100.0
BUG Rating	B0-U0-G0		
Indoor Classification	Direct		
LER	67		

JDW

1403201050-001 MOD# AEL36-14W 4000K - LUMINAIRE

Filename	AEL36-15W-4000K.IES
Lumens Per Lamp	N.A.
Number of Lamps	1
Total Lamp Lumens	N.A.
Arrangement Lamp Lumens	N.A.
Arrangement Luminaire Lumens	1213
Luminaire Lumens	1213
Luminaire Efficiency (%)	N.A.
Total Light Loss Factor	0.800
Luminaire Watts	14.1
Arrangement Watts	14.1
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	Type II, Very Short, N.A. (deprecated)
Upward Waste Light Ratio	0.00

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	271.9	N.A.	22.4
LCS-FM	568.7	N.A.	46.9
LCS-FH	117.9	N.A.	9.7
LCS-FVH	6.3	N.A.	0.5
LCS-BL	108.6	N.A.	9.0
LCS-BM	114.2	N.A.	9.4
LCS-BH	24.4	N.A.	2.0
LCS-BVH	1.1	N.A.	0.1
LCS-UL	< 0.05	N.A.	0.0
LCS-UH	< 0.05	N.A.	0.0
Total	1213.1	N.A.	100.0

Luminaire Definition(s) - Cont.

BUG Rating B0-U1-G0
Indoor Classification Direct
LER 86

JER

1020-B1-S-10-LRTD4-9020-M2-30KS-80-NCSM - USAI

Filename 1020-B1-S-10-LRTD4-9020-M2-30KS-80.IES
Lumens Per Lamp N.A.
Number of Lamps 1
Total Lamp Lumens N.A.
Arrangement Lamp Lumens N.A.
Arrangement Luminaire Lumens 1037
Luminaire Lumens 1037
Luminaire Efficiency (%) N.A.
Total Light Loss Factor 0.800
Luminaire Watts 21.1
Arrangement Watts 21.1
Arrangement SINGLE
Arm Length 0
Offset 0
Road Classification Type V, Very Short, N.A. (deprecated)
Upward Waste Light Ratio 0.00

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	192.5	N.A.	18.6
LCS-FM	287.3	N.A.	27.7
LCS-FH	36.7	N.A.	3.5
LCS-FVH	1.9	N.A.	0.2
LCS-BL	192.5	N.A.	18.6
LCS-BM	287.3	N.A.	27.7
LCS-BH	36.7	N.A.	3.5
LCS-BVH	1.9	N.A.	0.2
LCS-UL	0.0	N.A.	0.0
LCS-UH	0.0	N.A.	0.0
Total	1036.8	N.A.	100.0

BUG Rating B1-U0-G0
Indoor Classification Direct
LER 49

JER-off

1020-B1-S-10-LRTD4-9020-M2-30KS-80-NCSM - USAI

Filename 1020-B1-S-10-LRTD4-9020-M2-30KS-80.IES
Lumens Per Lamp N.A.
Number of Lamps 1
Total Lamp Lumens N.A.
Arrangement Lamp Lumens N.A.
Arrangement Luminaire Lumens 1037
Luminaire Lumens 1037
Luminaire Efficiency (%) N.A.
Total Light Loss Factor 0.010
Luminaire Watts 21.1
Arrangement Watts 21.1
Arrangement SINGLE
Arm Length 0
Offset 0
Road Classification Type V, Very Short, N.A. (deprecated)

Luminaire Definition(s) - Cont.

Upward Waste Light Ratio	0.00		
Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	192.5	N.A.	18.6
LCS-FM	287.3	N.A.	27.7
LCS-FH	36.7	N.A.	3.5
LCS-FVH	1.9	N.A.	0.2
LCS-BL	192.5	N.A.	18.6
LCS-BM	287.3	N.A.	27.7
LCS-BH	36.7	N.A.	3.5
LCS-BVH	1.9	N.A.	0.2
LCS-UL	0.0	N.A.	0.0
LCS-UH	0.0	N.A.	0.0
Total	1036.8	N.A.	100.0
BUG Rating	B1-U0-G0		
Indoor Classification	Direct		
LER	49		

JIR

3021-B1-S-10-LRTD4-9033-C3-30KS-90-NC-120V -USAI

Filename	3021-B1-S-10-LRTD4-9033-C3-30KS-90.ies
Lumens Per Lamp	N.A.
Number of Lamps	1
Total Lamp Lumens	N.A.
Arrangement Lamp Lumens	N.A.
Arrangement Luminaire Lumens	1868
Luminaire Lumens	1868
Luminaire Efficiency (%)	N.A.
Total Light Loss Factor	0.800
Luminaire Watts	33.87
Arrangement Watts	33.87
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	Type V, Very Short, N.A. (deprecated)
Upward Waste Light Ratio	0.00

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	366.4	N.A.	19.6
LCS-FM	503.6	N.A.	27.0
LCS-FH	60.8	N.A.	3.3
LCS-FVH	3.2	N.A.	0.2
LCS-BL	366.4	N.A.	19.6
LCS-BM	503.6	N.A.	27.0
LCS-BH	60.8	N.A.	3.3
LCS-BVH	3.2	N.A.	0.2
LCS-UL	0.0	N.A.	0.0
LCS-UH	0.0	N.A.	0.0
Total	1868.0	N.A.	100.0
BUG Rating	B1-U0-G0		
Indoor Classification	Direct		
LER	55		

JJR

ReflLens-MedRefl-LpodXL-6_9W-XL50-direct -KLIKUSA

Filename	LPODXL50F-ReflLens-direct-MedRefl-LpodXL-6.9W-XL50-45
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Luminaire Definition(s) - Cont.

Lumens Per Lamp	653
Number of Lamps	1
Total Lamp Lumens	653
Arrangement Lamp Lumens	653
Arrangement Luminaire Lumens	578
Luminaire Lumens	578
Luminaire Efficiency (%)	89
Total Light Loss Factor	0.800
Luminaire Watts	8
Arrangement Watts	8
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	Type VS, Very Short, Full Cutoff (deprecated)
Upward Waste Light Ratio	0.00

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	200.1	30.6	34.6
LCS-FM	87.7	13.4	15.2
LCS-FH	0.0	0.0	0.0
LCS-FVH	0.0	0.0	0.0
LCS-BL	201.7	30.9	34.9
LCS-BM	88.9	13.6	15.4
LCS-BH	< 0.05	0.0	0.0
LCS-BVH	0.0	0.0	0.0
LCS-UL	0.0	0.0	0.0
LCS-UH	0.0	0.0	0.0
Total	578.4	88.5	100.0
BUG Rating	B1-U0-G0		
Indoor Classification	Direct		
LER	72		

JJR-L

ReflLens-XWideRefl-LpodXL-1_9W-XL50-direct

Filename	LPODXL50F-ReflLens-direct-XWideRefl-LpodXL-1.9W-XL50-
Lumens Per Lamp	215
Number of Lamps	1
Total Lamp Lumens	215
Arrangement Lamp Lumens	215
Arrangement Luminaire Lumens	190
Luminaire Lumens	190
Luminaire Efficiency (%)	88
Total Light Loss Factor	0.800
Luminaire Watts	2
Arrangement Watts	2
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	Type VS, Very Short, Full Cutoff (deprecated)
Upward Waste Light Ratio	0.00

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	57.2	26.6	30.2
LCS-FM	39.0	18.1	20.6
LCS-FH	< 0.05	0.0	0.0
LCS-FVH	0.0	0.0	0.0
LCS-BL	55.9	26.0	29.5
LCS-BM	37.5	17.4	19.8

Luminaire Definition(s) - Cont.

LCS-BH	< 0.05	0.0	0.0
LCS-BVH	0.0	0.0	0.0
LCS-UL	0.0	0.0	0.0
LCS-UH	0.0	0.0	0.0
Total	189.6	88.1	100.0
BUG Rating	B0-U0-G0		
Indoor Classification	Direct		
LER	95		

JKW

5SP_15W_40K_30_SMS-INT-1

Filename	5SP-15W-40K-30-SMS-INT-1.ies
Lumens Per Lamp	N.A.
Number of Lamps	1
Total Lamp Lumens	N.A.
Arrangement Lamp Lumens	N.A.
Arrangement Luminaire Lumens	814
Luminaire Lumens	814
Luminaire Efficiency (%)	N.A.
Total Light Loss Factor	0.800
Luminaire Watts	36.5
Arrangement Watts	36.5
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	N.A., N.A., N.A. (deprecated)
Indoor Classification	N.A.
LER	22
Flood NEMA Type	3H x 4V

JKW-30

5SP_15W_40K_30_SMS-INT-1

Filename	5SP-15W-40K-30-SMS-INT-1.ies
Lumens Per Lamp	N.A.
Number of Lamps	1
Total Lamp Lumens	N.A.
Arrangement Lamp Lumens	N.A.
Arrangement Luminaire Lumens	814
Luminaire Lumens	814
Luminaire Efficiency (%)	N.A.
Total Light Loss Factor	0.300
Luminaire Watts	36.5
Arrangement Watts	36.5
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	N.A., N.A., N.A. (deprecated)
Indoor Classification	N.A.
LER	22
Flood NEMA Type	3H x 4V

JLW

5SP_15W_40K_30_SMS-INT-1

Luminaire Definition(s) - Cont.

Filename	5SP-15W-40K-30-SMS-INT-1.ies
Lumens Per Lamp	N.A.
Number of Lamps	1
Total Lamp Lumens	N.A.
Arrangement Lamp Lumens	N.A.
Arrangement Luminaire Lumens	814
Luminaire Lumens	814
Luminaire Efficiency (%)	N.A.
Total Light Loss Factor	0.800
Luminaire Watts	36.5
Arrangement Watts	36.5
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	N.A., N.A., N.A. (deprecated)
Indoor Classification	N.A.
LER	22
Flood NEMA Type	3H x 4V

JMG-4-HSS

UCM-ANG-T4-32LED-3K-450-AWT-HSS

Filename	UCM-ANG-T4-32LED-3K-450-HSS.ies
Lumens Per Lamp	N.A.
Number of Lamps	1
Total Lamp Lumens	N.A.
Arrangement Lamp Lumens	N.A.
Arrangement Luminaire Lumens	3327
Luminaire Lumens	3327
Luminaire Efficiency (%)	N.A.
Total Light Loss Factor	0.800
Luminaire Watts	47.5
Arrangement Watts	47.5
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	Type IV, Very Short, N.A. (deprecated)
Upward Waste Light Ratio	0.00

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	43.2	N.A.	1.3
LCS-FM	1379.4	N.A.	41.5
LCS-FH	1706.0	N.A.	51.3
LCS-FVH	55.3	N.A.	1.7
LCS-BL	7.3	N.A.	0.2
LCS-BM	62.7	N.A.	1.9
LCS-BH	68.3	N.A.	2.1
LCS-BVH	5.1	N.A.	0.2
LCS-UL	0.0	N.A.	0.0
LCS-UH	0.0	N.A.	0.0
Total	3327.3	N.A.	100.0
BUG Rating	B0-U0-G1		
Indoor Classification	Direct		
LER	70		

JMG-5

UCM-ANG-T4-32LED-5K-450

Luminaire Definition(s) - Cont.

Filename	UCM-ANG-T5-32LED-3K-450.ies
Lumens Per Lamp	N.A.
Number of Lamps	1
Total Lamp Lumens	N.A.
Arrangement Lamp Lumens	N.A.
Arrangement Luminaire Lumens	4603
Luminaire Lumens	4603
Luminaire Efficiency (%)	N.A.
Total Light Loss Factor	0.800
Luminaire Watts	48
Arrangement Watts	48
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	Type VS, Short, N.A. (deprecated)
Upward Waste Light Ratio	0.00

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	95.3	N.A.	2.1
LCS-FM	1061.5	N.A.	23.1
LCS-FH	1051.8	N.A.	22.9
LCS-FVH	87.4	N.A.	1.9
LCS-BL	95.3	N.A.	2.1
LCS-BM	1061.5	N.A.	23.1
LCS-BH	1051.8	N.A.	22.9
LCS-BVH	87.4	N.A.	1.9
LCS-UL	5.8	N.A.	0.1
LCS-UH	4.8	N.A.	0.1
Total	4602.6	N.A.	100.0
BUG Rating	B3-U1-G1		
Indoor Classification	Direct		
LER	96		

JNS-PATTERN

iQ67-30-35-90-1_6-FOOT_0

Filename	iQ67-30-35-90-1.6-FOOT_0.ies
Lumens Per Lamp	N.A.
Number of Lamps	1
Total Lamp Lumens	N.A.
Arrangement Lamp Lumens	N.A.
Arrangement Luminaire Lumens	129
Luminaire Lumens	129
Luminaire Efficiency (%)	N.A.
Lamp Lumen Depreciation (LLD)	0.800
Luminaire Dirt Depreciation (LDD)	1.000
Ballast Factor (BF)	1.000
Total Light Loss Factor	0.800
Luminaire Watts	1.61
Arrangement Watts	1.61
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	Type VS, Very Short, N.A. (deprecated)
Upward Waste Light Ratio	0.03

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	16.9	N.A.	13.1
LCS-FM	33.0	N.A.	25.5

Luminaire Definition(s) - Cont.

LCS-FH	11.3	N.A.	8.8
LCS-FVH	1.4	N.A.	1.1
LCS-BL	16.9	N.A.	13.1
LCS-BM	33.1	N.A.	25.6
LCS-BH	11.2	N.A.	8.7
LCS-BVH	1.4	N.A.	1.1
LCS-UL	1.0	N.A.	0.8
LCS-UH	3.0	N.A.	2.3
Total	129.2	N.A.	100.0
BUG Rating	B0-U1-G0		
Indoor Classification	Direct		
LER	80		

JOS

iQ67-30-35-90-1_6-FOOT_0

Filename	iQ67-30-35-90-1.6-FOOT_0.ies		
Lumens Per Lamp	N.A.		
Number of Lamps	1		
Total Lamp Lumens	N.A.		
Arrangement Lamp Lumens	N.A.		
Arrangement Luminaire Lumens	129		
Luminaire Lumens	129		
Luminaire Efficiency (%)	N.A.		
Total Light Loss Factor	0.800		
Luminaire Watts	1.61		
Arrangement Watts	1.61		
Arrangement	SINGLE		
Arm Length	0		
Offset	0		
Road Classification	Type VS, Very Short, N.A. (deprecated)		
Upward Waste Light Ratio	0.03		

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	16.9	N.A.	13.1
LCS-FM	33.0	N.A.	25.5
LCS-FH	11.3	N.A.	8.8
LCS-FVH	1.4	N.A.	1.1
LCS-BL	16.9	N.A.	13.1
LCS-BM	33.1	N.A.	25.6
LCS-BH	11.2	N.A.	8.7
LCS-BVH	1.4	N.A.	1.1
LCS-UL	1.0	N.A.	0.8
LCS-UH	3.0	N.A.	2.3
Total	129.2	N.A.	100.0
BUG Rating	B0-U1-G0		
Indoor Classification	Direct		
LER	80		

JOS-off

iQ67-30-35-90-1_6-FOOT_0

Filename	iQ67-30-35-90-1.6-FOOT_0.ies		
Lumens Per Lamp	N.A.		
Number of Lamps	1		
Total Lamp Lumens	N.A.		
Arrangement Lamp Lumens	N.A.		
Arrangement Luminaire Lumens	129		

Luminaire Definition(s) - Cont.

Luminaire Lumens	129
Luminaire Efficiency (%)	N.A.
Total Light Loss Factor	0.001
Luminaire Watts	1.61
Arrangement Watts	1.61
Arrangement	SINGLE
Arm Length	0
Offset	0
Road Classification	Type VS, Very Short, N.A. (deprecated)
Upward Waste Light Ratio	0.03

Luminaire Classification System (LCS)	Lumens	% Lamp	% Luminaire
LCS-FL	16.9	N.A.	13.1
LCS-FM	33.0	N.A.	25.5
LCS-FH	11.3	N.A.	8.8
LCS-FVH	1.4	N.A.	1.1
LCS-BL	16.9	N.A.	13.1
LCS-BM	33.1	N.A.	25.6
LCS-BH	11.2	N.A.	8.7
LCS-BVH	1.4	N.A.	1.1
LCS-UL	1.0	N.A.	0.8
LCS-UH	3.0	N.A.	2.3
Total	129.2	N.A.	100.0
BUG Rating	B0-U1-G0		
Indoor Classification	Direct		
LER	80		

Luminaire Location(s)

Luminaire Locations

Project Name : Project_1

Coordinates in Feet

Lum. No.	Label	Aiming Point										
		X	Y	Z	Orient	Tilt	Roll	Spin	X	Y	Z	Status
17	JAW	152.948	34.616	11.52	270	0	0	0	152.948	34.616	11.52	On
18	JKW	152.938	34.642	39	270	0	0	0	152.938	34.642	39	On
23	JKW	218.743	34.642	39	270	0	0	0	218.743	34.642	39	On
24	JAW	218.743	34.642	11.52	270	0	0	0	218.743	34.642	11.52	On
25	JKW	151.277	35.565	39	180	0	0	0	151.277	35.565	39	On
26	JJR	229.083	35.884	15.56	0	0	0	0	229.083	35.884	15.56	On
27	JKW	220.881	36.603	39	0	0	0	0	220.881	36.603	39	On
28	JJR	235.202	38.517	15.56	0	0	0	0	235.202	38.517	15.56	On
29	JJR	239.694	43.435	15.56	0	0	0	0	239.694	43.435	15.56	On
30	JJR-L	147.549	44.294	3.5	0	0	0	0	147.549	44.294	3.5	On
31	JJR-L	134.608	44.696	6.92	0	0	0	0	134.608	44.696	6.92	On
32	JJR-L	146.07	44.851	3.5	0	0	0	0	146.07	44.851	3.5	On
33	JJR-L	139.681	44.928	5	0	0	0	0	139.681	44.928	5	On
35	JJR	241.591	47.811	15.56	0	0	0	0	241.591	47.811	15.56	On
36	JER	127.316	48.219	14.95	0	0	0	0	127.316	48.219	14.95	On
39	JKW	241.386	56.541	39	270	0	0	0	241.386	56.541	39	On
40	JDW	90.912	57.321	13.5	270	0	0	0	90.912	57.321	13.5	On
41	JDW	103.651	57.346	13.5	270	0	0	0	103.651	57.346	13.5	On
42	JKW	242.592	57.656	39	0	0	0	0	242.592	57.656	39	On
43	JER	75.126	58.785	16.5	0	0	0	0	75.126	58.785	16.5	On
44	JAW	80.815	59.49	11.52	270	0	0	0	80.815	59.49	11.52	On
45	JKW	242.592	70.324	39	0	0	0	0	242.592	70.324	39	On
46	JDW	70.495	72.628	13.5	180	0	0	0	70.495	72.628	13.5	On
47	JIR	245	73.146	16.5	0	0	0	0	245	73.146	16.5	On
48	JDW	70.552	78.978	13.5	180	0	0	0	70.552	78.978	13.5	On
49	JKW	242.592	79.182	39	0	0	0	0	242.592	79.182	39	On
51	JIR	238.462	82.072	16.5	0	0	0	0	238.462	82.072	16.5	On
52	JIR	230.68	87.311	16.5	0	0	0	0	230.68	87.311	16.5	On
53	JIR	245	88.146	16.5	0	0	0	0	245	88.146	16.5	On
54	JKW	242.592	90.262	39	0	0	0	0	242.592	90.262	39	On
55	JCW-R	67.053	99.13	10.84	180	0	0	0	67.053	99.13	10.84	On
56	JMG-5	300.194	98.891	23	176.634	0	0	0	300.194	98.891	23	On
57	JMG-5	402.489	99.63	23	0	0	0	0	402.489	99.63	23	On
58	JKW	242.592	101.228	39	0	0	0	0	242.592	101.228	39	On
59	JIR	230.444	103.148	16.5	0	0	0	0	230.444	103.148	16.5	On
60	JIR	245	103.146	16.5	0	0	0	0	245	103.146	16.5	On
61	JCW-R	70.46	110.011	10.84	180	0	0	0	70.46	110.011	10.84	On
62	JKW	242.592	112.018	39	0	0	0	0	242.592	112.018	39	On
63	JCW-R	67.035	117.458	10.84	180	0	0	0	67.035	117.458	10.84	On
64	JIR	245	118.146	16.5	0	0	0	0	245	118.146	16.5	On
65	JIR	230.68	119.1	16.5	0	0	0	0	230.68	119.1	16.5	On
66	JMG-5	301.613	121.699	23	176.634	0	0	0	301.613	121.699	23	On
67	JKW	242.592	122.744	39	0	0	0	0	242.592	122.744	39	On
68	JIR	237.613	126.742	16.5	0	0	0	0	237.613	126.742	16.5	On
69	JCW-R	67.002	131.821	10.84	180	0	0	0	67.002	131.821	10.84	On
70	JIR	245	133.146	16.5	0	0	0	0	245	133.146	16.5	On
71	JKW	242.592	133.78	39	0	0	0	0	242.592	133.78	39	On
72	JDW	238.321	142.017	15.54	0	0	0	0	238.321	142.017	15.54	On
73	JMG-4-HSS	303.148	145.71	23	177.955	0	0	0	303.148	145.71	23	On
74	JCW-R	67.025	146.652	10.84	180	0	0	0	67.025	146.652	10.84	On
75	JDW	238.155	151.764	15.54	0	0	0	0	238.155	151.764	15.54	On
78	JCW-R	67.254	161.936	10.84	180	0	0	0	67.254	161.936	10.84	On
79	JCW-R	244.628	167.452	14.53	0	0	0	0	244.628	167.452	14.53	On

Luminaire Location(s) - Cont.

80	JCW-R	67.254	175.915	10.84	180	0	0	0	67.254	175.915	10.84	On
81	JCW-R	69.674	177.716	10.84	90	0	0	0	69.674	177.716	10.84	On
82	JCW-R	81.851	177.716	10.84	90	0	0	0	81.851	177.716	10.84	On
83	JCW-R	93.574	177.716	10.84	90	0	0	0	93.574	177.716	10.84	On
84	JCW-R	107.071	177.716	10.84	90	0	0	0	107.071	177.716	10.84	On
85	JCW-R	120.798	177.716	10.84	90	0	0	0	120.798	177.716	10.84	On
86	JCW-R	134.231	177.716	10.84	90	0	0	0	134.231	177.716	10.84	On
87	JCW-R	148.008	177.716	10.84	90	0	0	0	148.008	177.716	10.84	On
88	JCW-R	161.614	177.716	10.84	90	0	0	0	161.614	177.716	10.84	On
89	JCW-R	175.744	177.716	10.84	90	0	0	0	175.744	177.716	10.84	On
90	JCW-R	189.442	177.716	10.84	90	0	0	0	189.442	177.716	10.84	On
91	JCW-R	203.415	177.716	10.84	90	0	0	0	203.415	177.716	10.84	On
92	JCW-R	218.179	177.716	10.84	90	0	0	0	218.179	177.716	10.84	On
93	JCW-R	236.495	177.716	10.84	90	0	0	0	236.495	177.716	10.84	On
104	JAW	236.828	96.316	11.52	0	0	0	0	236.828	96.316	11.52	On
105	JAW	237.206	109.628	11.52	0	0	0	0	237.206	109.628	11.52	On
258	JKW	68.031	88.45	39	180	0	0	0	68.031	88.45	39	On
259	JLW	121.421	45.71	60.34	180	0	0	0	121.421	45.71	60.34	On
260	JLW	121.576	50.357	60.34	180	0	0	0	121.576	50.357	60.34	On
261	JLW	121.421	55.391	60.34	180	0	0	0	121.421	55.391	60.34	On
96	JMG-4-HSS	378.506	162.55	23	90	0	0	0	378.506	162.55	23	On
13	JER-off	179.554	31.969	16.5	0	0	0	0	179.554	31.969	16.5	On
14	JER-off	166.581	32.008	16.5	0	0	0	0	166.581	32.008	16.5	On
15	JER-off	192.797	31.969	16.5	0	0	0	0	192.797	31.969	16.5	On
16	JER-off	205.499	31.969	16.5	0	0	0	0	205.499	31.969	16.5	On
19	JKW-30	165.834	34.642	39	270	0	0	0	165.834	34.642	39	On
20	JKW-30	179.442	34.642	39	270	0	0	0	179.442	34.642	39	On
21	JKW-30	205.626	34.602	39	270	0	0	0	205.626	34.602	39	On
22	JKW-30	192.39	34.642	39	270	0	0	0	192.39	34.642	39	On
100	JAW-5	192.682	34.41	11.52	270	0	0	0	192.682	34.41	11.52	On
101	JAW-5	179.458	34.449	11.52	270	0	0	0	179.458	34.449	11.52	On
102	JAW-5	205.79	34.158	11.52	270	0	0	0	205.79	34.158	11.52	On
103	JAW-5	165.76	34.449	11.52	270	0	0	0	165.76	34.449	11.52	On
94	JMG-5	310.417	159.574	23	90	0	0	0	310.417	159.574	23	On
95	JMG-4-HSS	339.736	163.376	23	90	0	0	0	339.736	163.376	23	On
76	JMG-5	396.638	158.769	23	55.407	0	0	0	396.638	158.769	23	On

Summary By Label

Project Name : Project_1

Label	On	Off	Total
JAW	5	0	5
JAW-5	4	0	4
JBW	0	0	0
JCW-R	21	0	21
JDW	6	0	6
JER	2	0	2
JER-off	4	0	4
JIR	10	0	10
JJR	4	0	4
JJR-L	4	0	4
JKW	14	0	14
JKW-30	4	0	4
JLW	3	0	3
JMG-4-HSS	3	0	3
JMG-5	5	0	5
JNS-PATTERN #	0	0	0
JOS	0	0	0
JOS-off	0	0	0

Luminaire Location(s) - Cont.

Luminaire Locations

Project Name : jmlld -Combined GPI 2017-10-20 -- 2017-Oct-25 17h-10m-57s

Coordinates in Feet

Lum. No.	Label	Aiming Point											Status
		X	Y	Z	Orient	Tilt	Roll	Spin	X	Y	Z		
98	JNS-PATTERN #	-84.746	87.301	3	272.125	0	0	0	-84.746	87.301	3	On	
99	JBW	-79.841	105.188	2	0	0	0	0	-79.841	105.188	2	On	
219	JOS	169.814	28.614	3.52	260.557	0	0	0	169.814	28.614	3.52	On	
241	JOS	176.074	28.042	3.52	260.557	0	0	0	176.074	28.042	3.52	On	
193	JOS	186.097	26.288	3.52	260.557	0	0	0	186.097	26.288	3.52	On	
253	JOS-off	169.005	29.084	3.52	260.557	0	0	0	169.005	29.084	3.52	On	
236	JOS-off	180.158	27.507	7.01	260.557	0	0	0	180.158	27.507	7.01	On	
235	JOS-off	179.014	27.667	7.01	260.557	0	0	0	179.014	27.667	7.01	On	
225	JOS-off	186.115	26.704	3.52	260.557	0	0	0	186.115	26.704	3.52	On	
226	JOS-off	185.119	26.851	7.01	260.557	0	0	0	185.119	26.851	7.01	On	
229	JOS-off	184.095	26.983	7.01	260.557	0	0	0	184.095	26.983	7.01	On	
232	JOS-off	183.124	27.13	7.01	260.557	0	0	0	183.124	27.13	7.01	On	
230	JOS-off	182.131	27.288	7.01	260.557	0	0	0	182.131	27.288	7.01	On	
231	JOS-off	181.137	27.399	7.01	260.557	0	0	0	181.137	27.399	7.01	On	
195	JOS	185.115	26.433	3.52	260.557	0	0	0	185.115	26.433	3.52	On	
197	JOS	184.116	26.6	3.52	260.557	0	0	0	184.116	26.6	3.52	On	
200	JOS	183.138	26.761	3.52	260.557	0	0	0	183.138	26.761	3.52	On	
199	JOS	182.127	26.884	3.52	260.557	0	0	0	182.127	26.884	3.52	On	
204	JOS	181.128	27.039	3.52	260.557	0	0	0	181.128	27.039	3.52	On	
202	JOS	180.111	27.194	3.52	260.557	0	0	0	180.111	27.194	3.52	On	
205	JOS	179.098	27.321	3.52	260.557	0	0	0	179.098	27.321	3.52	On	
208	JOS	178.084	27.468	3.52	260.557	0	0	0	178.084	27.468	3.52	On	
207	JOS	177.027	27.612	3.52	260.557	0	0	0	177.027	27.612	3.52	On	
240	JOS	178.042	27.825	7.01	260.557	0	0	0	178.042	27.825	7.01	On	
238	JOS-off	177.098	27.945	7.01	260.557	0	0	0	177.098	27.945	7.01	On	
242	JOS-off	175.058	28.209	3.52	260.557	0	0	0	175.058	28.209	3.52	On	
209	JOS	176.056	27.77	3.52	260.557	0	0	0	176.056	27.77	3.52	On	
212	JOS	175.04	27.939	3.52	260.557	0	0	0	175.04	27.939	3.52	On	
210	JOS	174.04	28.105	3.52	260.557	0	0	0	174.04	28.105	3.52	On	
245	JOS-off	174.075	28.374	7.01	260.557	0	0	0	174.075	28.374	7.01	On	
250	JOS-off	170.024	28.912	7.01	260.557	0	0	0	170.024	28.912	7.01	On	
249	JOS-off	171.032	28.749	7.01	260.557	0	0	0	171.032	28.749	7.01	On	
246	JOS-off	172.038	28.61	3.52	260.557	0	0	0	172.038	28.61	3.52	On	
248	JOS	173.062	28.463	3.52	260.557	0	0	0	173.062	28.463	3.52	On	
215	JOS	170.896	28.5	3.52	260.557	0	0	0	170.896	28.5	3.52	On	
214	JOS	171.934	28.36	3.52	260.557	0	0	0	171.934	28.36	3.52	On	
216	JOS	173.005	28.213	3.52	260.557	0	0	0	173.005	28.213	3.52	On	
221	JOS	168.814	28.766	3.52	260.557	0	0	0	168.814	28.766	3.52	On	
254	JOS-off	168.032	29.232	7.01	260.557	0	0	0	168.032	29.232	7.01	On	
222	JOS	167.807	28.913	3.52	260.557	0	0	0	167.807	28.913	3.52	On	
223	JOS	166.799	29.071	3.52	260.557	0	0	0	166.799	29.071	3.52	On	
255	JOS-off	167.031	29.386	7.01	260.557	0	0	0	167.031	29.386	7.01	On	
156	JOS	187.094	26.174	3.52	277.517	0	0	0	187.094	26.174	3.52	On	
181	JOS-off	193.197	27.518	7.02	277.517	0	0	0	193.197	27.518	7.02	On	
179	JOS-off	194.189	27.652	7.02	277.517	0	0	0	194.189	27.652	7.02	On	
183	JOS-off	192.207	27.389	7.02	277.517	0	0	0	192.207	27.389	7.02	On	
184	JOS-off	191.212	27.266	7.02	277.517	0	0	0	191.212	27.266	7.02	On	
186	JOS-off	190.213	27.124	3.52	277.517	0	0	0	190.213	27.124	3.52	On	
187	JOS-off	189.21	26.975	7.02	277.517	0	0	0	189.21	26.975	7.02	On	
188	JOS-off	188.207	26.837	7.02	277.517	0	0	0	188.207	26.837	7.02	On	
191	JOS-off	187.203	26.699	7.02	277.517	0	0	0	187.203	26.699	7.02	On	
176	JOS-off	196.17	27.977	7.02	277.517	0	0	0	196.17	27.977	7.02	On	
178	JOS-off	195.196	27.824	7.02	277.517	0	0	0	195.196	27.824	7.02	On	

Luminaire Location(s) - Cont.

174	JOS-off	197.203	28.135	7.02	277.517	0	0	197.203	28.135	7.02	On
172	JOS-off	198.194	28.265	7.02	277.517	0	0	198.194	28.265	7.02	On
169	JOS-off	200.271	28.615	7.02	277.517	0	0	200.271	28.615	7.02	On
171	JOS-off	199.272	28.452	7.02	277.517	0	0	199.272	28.452	7.02	On
165	JOS-off	203.209	29.084	7.02	277.517	0	0	203.209	29.084	7.02	On
167	JOS-off	202.197	28.929	7.02	277.517	0	0	202.197	28.929	7.02	On
168	JOS-off	201.218	28.79	7.02	277.517	0	0	201.218	28.79	7.02	On
159	JOS-off	206.291	29.548	7.02	277.517	0	0	206.291	29.548	7.02	On
161	JOS-off	205.287	29.407	7.02	277.517	0	0	205.287	29.407	7.02	On
163	JOS-off	204.251	29.245	7.02	277.517	0	0	204.251	29.245	7.02	On
106	JOS	206.453	28.934	3.52	277.517	0	0	206.453	28.934	3.52	On
107	JOS	205.476	28.81	3.52	277.517	0	0	205.476	28.81	3.52	On
108	JOS	204.479	28.68	3.52	277.517	0	0	204.479	28.68	3.52	On
126	JOS	203.448	28.555	3.52	277.517	0	0	203.448	28.555	3.52	On
128	JOS	202.411	28.43	3.52	277.517	0	0	202.411	28.43	3.52	On
127	JOS	201.407	28.295	3.52	277.517	0	0	201.407	28.295	3.52	On
129	JOS	200.405	28.185	3.52	277.517	0	0	200.405	28.185	3.52	On
131	JOS	199.391	28.052	3.52	277.517	0	0	199.391	28.052	3.52	On
132	JOS	198.322	27.876	3.52	277.517	0	0	198.322	27.876	3.52	On
133	JOS	197.284	27.737	3.52	277.517	0	0	197.284	27.737	3.52	On
144	JOS	196.247	27.599	3.52	277.517	0	0	196.247	27.599	3.52	On
145	JOS	195.264	27.474	3.52	277.517	0	0	195.264	27.474	3.52	On
146	JOS	194.262	27.319	3.52	277.517	0	0	194.262	27.319	3.52	On
147	JOS	193.189	27.154	3.52	277.517	0	0	193.189	27.154	3.52	On
148	JOS	192.114	27.016	3.52	277.517	0	0	192.114	27.016	3.52	On
149	JOS	191.06	26.847	3.52	277.517	0	0	191.06	26.847	3.52	On
150	JOS	190.058	26.688	3.52	277.517	0	0	190.058	26.688	3.52	On
152	JOS	189.037	26.542	3.52	277.517	0	0	189.037	26.542	3.52	On
154	JOS	188.005	26.407	3.52	277.517	0	0	188.005	26.407	3.52	On

Summary By Label

Project Name : jmlld -Combined GPI 2017-10-20 -- 2017-Oct-25 17h-10m-57s

Label	On	Off	Total
JAW	0	0	0
JAW-5	0	0	0
JBW	1	0	1
JCW-R	0	0	0
JDW	0	0	0
JER	0	0	0
JER-off	0	0	0
JIR	0	0	0
JJR	0	0	0
JJR-L	0	0	0
JKW	0	0	0
JKW-30	0	0	0
JLW	0	0	0
JMG-4-HSS	0	0	0
JMG-5	0	0	0
JNS-PATTERN #	1	0	1
JOS	43	0	43
JOS-off	37	0	37

Calculation Summary

BALCONY SE

Project: Project_1
2 Pt. Grid
Coordinates in Feet

Point Spacing L-R	2
Point Spacing T-B	2
Grid Orient	0
Grid Tilt	0
Meter Type	Horizontal

Illuminance (Fc)	
Average	2.56
Maximum	3.14
Minimum	1.93
Avg/Min	1.33
Max/Min	1.63

DECK OFF LOBBY

Project: Project_1
2 Pt. Grid
Coordinates in Feet

Point Spacing L-R	2
Point Spacing T-B	2
Grid Orient	0
Grid Tilt	0
Meter Type	Horizontal

Illuminance (Fc)	
Average	2.10
Maximum	8.23
Minimum	1.01
Avg/Min	2.08
Max/Min	8.15

drop-off

Project: Project_1
2 Pt. Grid
Coordinates in Feet

Point Spacing L-R	2
Point Spacing T-B	2
Grid Orient	0
Grid Tilt	0
Meter Type	Horizontal

Illuminance (Fc)	
Average	3.34
Maximum	10.63
Minimum	0.18
Avg/Min	18.56
Max/Min	59.06

Calculation Summary - Cont.

ground

Project: Project_1
2 Pt. Grid
Coordinates in Feet

Point Spacing L-R	2
Point Spacing T-B	2
Grid Orient	0
Grid Tilt	0
Meter Type	Horizontal

Illuminance (Fc)	
Average	0.49
Maximum	7.17
Minimum	0.00
Avg/Min	N.A.
Max/Min	N.A.

ground_1

Project: Project_1
2 Pt. Grid
Coordinates in Feet

Point Spacing L-R	2
Point Spacing T-B	2
Grid Orient	0
Grid Tilt	0
Meter Type	Horizontal

Illuminance (Fc)	
Average	0.46
Maximum	19.08
Minimum	0.00
Avg/Min	N.A.
Max/Min	N.A.

ramp

Project: Project_1
3 Pt. Grid
Coordinates in Feet

Point Spacing L-R	2
Point Spacing T-B	2
Grid Orient	91.05
Grid Tilt	0
Meter Type	Normal to grid

Illuminance (Fc)	
Average	3.45
Maximum	20.11
Minimum	0.39
Avg/Min	8.85
Max/Min	51.56

Calculation Summary - Cont.

stoop

Project: Project_1
2 Pt. Grid
Coordinates in Feet

Point Spacing L-R	2
Point Spacing T-B	2
Grid Orient	0
Grid Tilt	0
Meter Type	Horizontal

Illuminance (Fc)	
Average	2.72
Maximum	2.91
Minimum	2.55
Avg/Min	1.07
Max/Min	1.14

DROP OFF

Project: jmlld -Combined GPI 2017-10-20 -- 2017-Oct-25 17h-10m-57s
Illuminance (Fc)

Average =	6.90
Maximum =	10.6
Minimum =	1.3
Avg/Min =	5.31
Max/Min =	8.15

Lot #3-#4 Driveway Loading

Project: jmlld -Combined GPI 2017-10-20 -- 2017-Oct-25 17h-10m-57s
Illuminance (Fc)

Average =	2.06
Maximum =	8.7
Minimum =	0.5
Avg/Min =	4.12
Max/Min =	17.40

Lot #4 Parking and Driveway

Project: jmlld -Combined GPI 2017-10-20 -- 2017-Oct-25 17h-10m-57s
Illuminance (Fc)

Average =	1.00
Maximum =	2.4
Minimum =	0.1
Avg/Min =	10.00
Max/Min =	24.00

Lot #4 Parking Lighting

Calculation Summary - Cont.

Project: jmlld -Combined GPI 2017-10-20 -- 2017-Oct-25 17h-10m-57s
Illuminance (Fc)

Average = 1.60
Maximum = 2.4
Minimum = 0.8
Avg/Min = 2.00
Max/Min = 3.00

North Side Security

Project: jmlld -Combined GPI 2017-10-20 -- 2017-Oct-25 17h-10m-57s
Illuminance (Fc)

Average = 1.93
Maximum = 3.1
Minimum = 0.6
Avg/Min = 3.22
Max/Min = 5.17

South Side hotel deck

Project: jmlld -Combined GPI 2017-10-20 -- 2017-Oct-25 17h-10m-57s
Illuminance (Fc)

Average = 2.06
Maximum = 8.2
Minimum = 1.0
Avg/Min = 2.06
Max/Min = 8.20

South Side walkway

Project: jmlld -Combined GPI 2017-10-20 -- 2017-Oct-25 17h-10m-57s
Illuminance (Fc)

Average = 3.17
Maximum = 14.6
Minimum = 0.5
Avg/Min = 6.34
Max/Min = 29.20

DEER STREET DEVELOPMENT
THE HOTEL AT FOUNDRY PLACE - LOT #3
165 DEER STREET, ASSESSORS MAP 125, LOT 17
LIGHTING COMPLIANCE TO ZONING ORDINANCE
OUTDOOR LIGHTING
11-17-2017
REVISED 12-18-2017

SUBMITTED BY J & M LIGHTING DESIGN, INC
207-967-5223
jmlight2@roadrunner.com

CITY OF PORTSMOUTH, NEW HAMPSHIRE

ZONING ORDINANCE



Adopted by Portsmouth City Council: December 21, 2009
Effective Date: January 1, 2010

As Amended Through: January 9, 2017

Table of Articles and Sections

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Section 10.1140 Outdoor Lighting

10.1141 Purpose

The purpose of this section is to enhance public safety and welfare by providing for adequate and appropriate outdoor lighting, providing for lighting that will complement the character of the City, reduce glare, minimize light trespass, reduce the cost and waste of unnecessary energy consumption, and prevent the degradation of the night sky.

10.1142 General Requirement and Applicability

10.1142.10 All public and private new or replacement outdoor lighting installed in the City of Portsmouth shall be in conformance with the requirements established by this Ordinance.

DESIGNER COMMENTS 11-17-2017: Project shall follow all provisions of the ordinance. Illumination values calculated on photometric plots are maximum levels with all lights energized. Hotel operator shall have options to turn on and off groups of lights and change the intensity level of the lights. Dimmers shall be used to pre-set lower lighting levels for groups of lights used dusk to dawn.

DESIGNERS COMMENTS 12-18-2017 – Photometric plan illustrates reduced light levels on the south side of the building. Revised placement of luminaires on lot #4.

10.1142.20 Any luminaire that does not conform to the standards of this Ordinance but was lawfully in place prior to the adoption of these standards shall be permitted to remain. However, any luminaire that replaces a nonconforming luminaire, or any nonconforming luminaire that is moved, must meet the standards of this Ordinance.

DESIGNER COMMENTS 11-17-2017: No existing luminaires are on this project.

10.1142.30 The following types of lighting are exempt from the requirements of this section:

- 10.1142.31 All temporary lighting required for construction projects related to road construction and repair, installation of sewer and water facilities, and other public infrastructure.
- 10.1142.32 All temporary emergency lighting needed by the police or fire departments or other emergency services, as well as all vehicular luminaires.
- 10.1142.33 State or Federal regulated lighting such as airports, towers requiring lighting, highway signage and traffic signals, etc.
- 10.1142.34 Low wattage or low voltage temporary decorative lighting used for holidays, festivals and special events, provided they do not pose a safety or nuisance problem due to light trespass or glare.

DESIGNER COMMENTS 11-17-2017:
 Items 10.1142.31, 10.1142.32, 10.142.33 are exempt from this submittal. 10.1142.34 shall be on the project at some-time but not designed or submitted as part of this submission.

10.1143 Total Outdoor Light Output Allowance

- 10.1143.10 Total outdoor light output for a parcel shall not exceed the lumen limits given in the following table. Values in this table are upper limits and not design goals; design goals should be the lowest levels that meet requirements of the task.

Zoning Districts	Maximum Mean Lumens Per Net Acre
Airport District (AIR)	Exempt
All Business Districts, except within the Historic District All Industrial Districts Airport Industrial, Pease Industrial, Airport Business Commercial	300,000
All Residential Districts All Mixed Residential Districts All Conservation Districts Historic District	55,000

- 10.1143.20 The total lumens shall be 100 percent of the lumens from outdoor light fixtures installed on grade, on poles, and on the top or sides of buildings or other structures.

DESIGNER’S COMMENTS 11-17-2017:
 LOT #3 Project is in the Business District (CD5-District) allowing 300,000 mean lumens.

LOT #4 Project is in the Historic District allowing 55,000 mean

lumens.

Lighting in the indoor garages are not part of the defined outdoor light fixtures per 10.1143.40b.

- 10.1143.30 “Net acres” shall mean the total parcel area excluding the area of (a) proposed and existing streets within the parcel, and (b) sports playing fields exempted from the lumens per acre cap under Section 10.1143.50.

DESIGNER’S COMMENTS 11-17-2017:

Net acres for LOT #3 is 0.61 acres x 300,000 lumens allowance = 183,000 allowed lumens.

Net acres for LOT #4 is 0.42 acres x 55,000 lumens allowance = 23,100 allowed lumens.

There are no sport playing fields on this project.

Our LOT #3 net lumens equal 94,151.25 lumens of non-cut-off luminaires or 88,848.75 lumens under the allotted value, we are in compliance. (See 10.1143.40 for calculations)

Our LOT #4 net lumens equal 23,100 lumens under the allotted value, we are in compliance since all fixtures are “Full cut-off”

Lighting in the indoor garages are not part of the “Net Acres” lumen count per 10.1143.40b

- 10.1143.40 Outdoor lighting fixtures meeting one of the following conditions shall not be counted in determining the total light output:

- (a) Full cut-off fixtures installed under canopies, building overhangs, or roof eaves.

DESIGNER’S COMMENTS 11-17-2017:

LOT #3

Full-cut-off is a deprecated term. The Illuminating Engineering Society (IES) has replaced the designation by the “BUG” rating. All luminaires used have upward component of above U = “0”

LOT #3

The following fixtures are included in net lumen acre lumens values DUE TO NOT BEING A CUT-OFF CLASSIFICATION.

Type JAW	at	2094 x 9 =	18,846
Type JKW	at	814 x 18 =	14,652
Type JLW	at	814 x 3 =	2,442
Type JNS PATTERN #1	at	12,577 x 1 =	12,577
Type JNS PATTERN #2	at	14,673.7 x 1 =	14,673.7
Type JNS PATTERN #3	at	10,449 x 1 =	10,449
Type JNS-PATTERN #4	at	3,354 x 1 =	3,354
Type JOS	at	17,157 x 1 =	17,157

lumens
LOT #3

The following luminaires are NOT included due to a BUG rating of U-0 [Full cut-off].

Type JBW
Type JCW-R
Type JDW
Type JER
Type JIR
Type JJR

LOT #4

Type JMG-4-HSS
Type JMG-5

- (b) Light fixtures shielded by the canopy, building overhang, or roof eaves in such a manner that no lamp or vertical element of a lens or diffuser is visible from off-site.

DESIGNER'S COMMENTS 11-17-2017:

LOT #3

Light fixtures TYPE JNS-PATTERN #1, #2, are shielded by soffit above

Light fixtures TYPE JNS-PATTERN #3, #4- are directed towards the outdoor bar area.

Light Fixtures TYPE JOS shielded by railing design

- 10.1143.50 Sports venue lighting is exempt from any lumens per acre standard for the playing field only.

DESIGNER'S COMMENTS 11-17-2017: There are no sports venue lighting on this project.

10.1144 Luminaire Design and Height

- 10.1144.10 Any luminaire with a lamp or lamps rated at a total of more than 1,800 lumens (and any flood or spot luminaires of more than 900 lumens) shall be a full-cutoff fixture and shall not emit any direct light above a horizontal plane passing through the lowest part of the light-emitting luminaire

DESIGNER'S COMMENTS 11-17-2017: The following luminaires used on this project have a lumen output of under 1,800 lumens or 900 lumens.

Type JAW
Type JBW
Type JCW-R
Type JDR
Type JER
Type JJR

Type JJR-L
Type JKW (flood under 900 lumens)
Type JLW (flood under 900 lumens)

Luminaires that have a BUG rating of “U0” [full-cut-off classification] and a lumen output of over 1,800 lumens

Type JIR at 1,868 lumens
Type JNS-PATTERN #1 at 13,455 lumens over 97.5’
Type JNS-PATTERN #2 at 15,697.50 lumens over 113.75’
Type JNS-PATTERN #3 at 11,178 lumens over 81’
Type JNS-PATTERN #4 at 3,588 lumens over 26’
Type JOS – 17,157 lumens over 129’

- 10.1144.20 Any luminaire, regardless of lumen rating, shall be equipped with whatever additional shielding, lenses, or cutoff devices are required to prevent light trespass onto any residential property that adjoins or is directly across a street, highway or stream from the lot on which the luminaire is located, and to prevent glare perceptible to persons on such residential property.

DESIGNER’S COMMENTS 11-17-2017: TYPE JAW shall be visible from off site. Due to the commercial nature of the property there shall be illumination on the ground beyond the property line on the North and west sides.

- 10.1144.30 Building façades may be illuminated with low intensity lighting as follows:

- 10.1144.21 The light source for the building façade illumination shall be concealed.

DESIGNER’S COMMENTS 11-17-2017: Building facades shall be illuminated down-ward by the shielded luminaires (TYPE JKW & TYPE JLW) mounted to the building.

- 10.1144.22 Building entrances may be illuminated using recessed lighting in overhangs and soffits, or by use of spotlighting focused on the building entrances with the light source concealed (e.g., in landscaped areas).

DESIGNER’S COMMENTS 11-17-2017: On the East side of the building commercial entrances use recess luminaires. TYPE JIR On the south side over the deck recess luminaires are used. TYPE JER

- 10.1144.23 Direct lighting of limited exterior building areas is permitted when necessary for security purposes.

DESIGNER’S COMMENTS 11-17-2017: TYPE JCW-R used on the northside of the building shall be for security. Luminaires shall be

pre-set dimmed to an acceptable level.

10.1144.40 Increased lighting interrupts or changes the natural duration of night light and can prevent some trees from going into dormancy, thereby making them more susceptible to winter weather and can decrease their effectiveness in tolerating pollution.

10.1144.41 Wherever possible, placement of lighting should be done in such a way as to direct light away from trees.

DESIGNER'S COMMENTS 11-17-2017:

Trees and light placement are being coordinated by the responsible design disciplines.

10.1144.42 When lighting will be directed at trees, high pressure sodium lamps and any incandescent lamps are not allowed.

DESIGNER'S COMMENTS 11-17-2017: Ground light shall not be directed at the trees. Trees shall be illuminated from the lighting placed on the building. All lighting shall follow the ordinance by the use of LED 3,000 k, with a CRI of over 80 to be in compliance with the provisions of the section.

10.1144.43 When planting trees where supplemental lighting already exists, trees shall be selected that have low sensitivity to light.

DESIGNER'S COMMENTS 11-17-2017: SEE NARRATIVE ON LANDSCAPE PLAN.

10.1144.50 A flood or spot luminaire with a lamp or lamps rated at 900 lumens or less may be used without restriction to light distribution, provided that it is aimed, directed, or focused so as not to cause direct light from the luminaire to be directed toward any residential property that adjoins or is directly across a street, highway or stream from the lot on which the luminaire is located, or to create glare perceptible to persons operating motor vehicles on public ways.

DESIGNER'S COMMENTS 11-17-2017:

TYPE JKW & JLW shall be directed toward the project building and not focused off property.

10.1144.60 The maximum mounting height of a luminaire shall be 20 feet above grade except as follows:

10.1144.61 Flood or spot luminaires with a lamp or lamps rated at 900 lumens or less, and other luminaires with a lamp or lamps rated at a total of 1800 lumens or less, may be used without restriction to mounting height.

DESIGNER'S COMMENTS 11-17-2017:

LOT #3

We have luminaires installed above 20'-0" on the balconies and decks, but they have a lumen output of 74 lumens (TYPE JBW).

Project has 17 TYPE JKW mounted at 35'-8-3/4" but is in compliance with a lumen output of 814 under the 900 lumens requirement.

Project has a three fixture TYPE JLW mounted at 58'-0" but is in compliance with a lumen output of 814 lumens under the 900 lumens requirement.

LOT #4

TYPE JMG-4-HSS & TYPE JMG-5 bottom of light emitting surface shall be 20'-0" off the ground in compliance with this requirement

- 10.1144.62 Luminaires used for public-roadway illumination may be installed at a maximum height of 25 feet and may be positioned at that height up to the edge of any bordering property.

DESIGNER'S COMMENTS 11-17-2017: There are no luminaires used for public roadway illumination. In compliance.

- 10.1144.63 Luminaires used primarily for sign illumination may be mounted at any height to a maximum of 25 feet, regardless of lumen rating.

DESIGNER'S COMMENTS 11-17-2017: Sign Lighting is not part of this submission.

- 10.1144.64 Luminaires used for athletic fields are exempt from the height limitations.

DESIGNER'S COMMENTS 11-17-2017: There are no athletic fields on this project. In compliance

10.1145 Hours of Operation

- 10.1145.10 Outdoor lighting shall not be illuminated between 11:00 p.m. and 6:00 a.m. with the following exceptions:

- 10.1145.11 If the use is being operated, such as a business open to customers, or where employees are working or where an institution or place of public assembly is conducting an activity, normal illumination shall be allowed during the activity and for not more than one hour after the activity ceases.

DESIGNER'S COMMENTS 11-17-2017: This project is a hospitality business functioning 24 hours per day.

- 10.1145.12 Low level lighting sufficient for the security of persons or

property on the lot may be in operation between 11:00 p.m. and 6:00 am, provided the average illumination on the ground or on any vertical surface is not greater than 0.5 foot-Candles

DESIGNER'S COMMENTS 11-17-2017: See photometric plan for foot-candle illustrating compliance.

10.1146 Recreational Facilities

- 10.1146.10 Any light source permitted by this Ordinance may be used for lighting of outdoor recreational facilities (public or private), such as, but not limited to, football fields, soccer fields, baseball fields, softball fields, tennis courts, or show areas, provided all of the following conditions are met:
- 10.1146.11 All fixtures used for lighting recreational fields and facilities shall be full-cutoff fixtures.
- 10.1146.12 All lighting installations shall be designed to achieve no greater than the minimal illuminance levels for the activity as recommended by the Illuminating Engineering Society of North America (IESNA).
- 10.1146.13 All events shall be scheduled so as to complete all activity before or as near to 11:00 pm as practical, but under no circumstances shall any illumination of the playing field, court, or track be permitted after 11:00 pm except to conclude a scheduled event that was in progress before 11:00 pm and circumstances prevented concluding before 11:00 pm.

DESIGNER'S COMMENTS 11-17-2017: Does not apply. There are no outdoor recreational facilities on this project.

10.1147 Outdoor Display Lots

- 10.1147.10 Any light source permitted by this Ordinance may be used for lighting of outdoor display lots as defined by this Ordinance, provided that both of the following conditions are met:
- 10.1147.11 All fixtures used for lighting the display lots shall be full-cutoff fixtures.
- 10.1147.12 All lighting installations shall be designed to achieve no greater than the minimal illuminance levels for the activity as recommended by the Illuminating Engineering Society of North America (IESNA).

DESIGNER'S COMMENTS 11-17-2017: Does not apply. There are no Outdoor Display Lots on this project.

10.1148 Temporary Outdoor Lighting

10.1148.10 Any temporary outdoor lighting that conforms to the requirements of this Ordinance shall be allowed. Nonconforming temporary outdoor lighting may be permitted by the Board of Adjustment after considering:

- (a) the public and/or private benefits that will result from the temporary lighting;
- (b) any annoyance or safety problems that may result from the use of the temporary lighting; and
- (c) the duration of the temporary nonconforming lighting.

10.1148.20 The applicant shall submit a detailed description of the proposed temporary nonconforming lighting to the Board of Adjustment and shall comply with all procedures for special exceptions as stated in Article 2.

DESIGNER'S COMMENTS 11-17-2017: Project does not anticipate temporary lighting at this submission except for lighting for the holiday season.

10.1149 Prohibitions

The following uses and types of lighting are prohibited:

- 10.1149.10 The use of laser source light or any similar high intensity light for outdoor advertising or entertainment, when projected above the horizontal.
- 10.1149.20 The operation of searchlights except by civil authorities for public safety.
- 10.1149.30 The nighttime use of white or white strobe lighting on communication towers unless written proof of FAA requirement is provided.

DESIGNER'S COMMENTS 11-17-2017: Project shall be in conformance with section.

DEER STREET DEVELOPMENT
THE HOTEL AT FOUNDRY PLACE, LOT #3
165 DEER STREET, ASSESSORS MAP 125, LOT 62
LIGHTING COMPLIANCE TO SITE PLAN REVIEW
REGULATIONS
11-17-2017
REVISED 12-18-2017

SUBMITTED BY J & M LIGHTING DESIGN, INC
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jmlight2@roadrunner.com

CITY OF PORTSMOUTH, NEW HAMPSHIRE

SITE PLAN REVIEW REGULATIONS



Adopted by Planning Board: December 17, 2009
Amended: February 18, 2016

SITE PLAN REVIEW REGULATIONS

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Article 10 Outdoor Lighting

Section 10.1 General Provisions

All projects submitted for Site Plan Review shall provide dark sky friendly outdoor lighting according to these regulations in order to:

- (a) Permit reasonable uses of outdoor lighting for night-time safety, utility, security, productivity, enjoyment and commerce;
- (b) Minimize glare, obtrusive light, and artificial sky glow by limiting outdoor lighting that is misdirected, excessive, or unnecessary;
- (c) Conserve energy and resources to the greatest extent possible.

DESIGNER’S COMMENTS 11-17-2017: Project follows the above provisions.

Section 10.2 Compliance with Zoning Ordinance

All projects shall comply with the outdoor lighting dark sky friendly standards provided in the Zoning Ordinance.

DESIGNER’S COMMENTS 11-17-2017: Project is not completely in compliance. Light levels illustrated do not take into consideration the actual sloping contours of the site.

Section 10.3 Lighting Plan

1. When a proposed project includes outdoor lighting, the Site Plan shall include a lighting plan which shall show:
 - (a) The location on the site where outdoor lighting fixtures (both pole and mounted) will be installed.

DESIGNER'S COMMENTS 11-17-2017: See all architectural elevations for the building mounted luminaires. Those luminaires that are on balconies (Southwest corner) or on the 5th floor or above are not included in the ground calculations.

- (b) Scaled plans indicating the location of outdoor lighting fixtures on the site, the height of each fixture, the types of outdoor lighting proposed, and the level of wattage and initial lumens for all light sources.

DESIGNER'S COMMENTS 11-17-2017: See attached schedule for compliance verification. "Delivered lumens" values have been used for the calculations.

- (c) A description of the outdoor lighting fixtures including but not limited to manufacturer's catalog descriptions and drawings. The required plans and descriptions shall be sufficiently complete to enable the Planning Board to readily determine compliance with the requirements of this regulation.

DESIGNER'S COMMENTS 11-17-2017: See attached catalog pages, photometric report and in some cases photometric template for all fixtures specified

- (d) A photometric (iso-lux) plan indicating levels of illumination, in foot candles, at ground level.

DESIGNER'S COMMENTS 11-17-2017: See attached plots for illumination levels Calculation values are presented on 5'-0" centers and carried out to 2 decimal places. These values are initial foot-candles. Iso-lux contours have been provided to illustrate various light levels:

Light of a full moon 0.01 foot-candles with no atmospheric particulates

Light at 0.20 foot-candles a value usually used for minimum security lighting

Light level of 1.00 foot-candles an arbitrary level

- 2. The maintained horizontal illuminance standards set by the Illuminating Engineering Society of North America (IESNA) shall be observed.

DESIGNER'S COMMENTS 11-17-2017:

The following publications were used as references for the design

RP-33-2014 "Lighting for Exterior Environments"

RP-08-2014 "Roadway Lighting"

RP-20-2014 revised "Lighting for Parking Facilities"

IES 10th Edition Handbook.

3. Should any outdoor light fixture, or the type of light source therein, be changed after the building permit has been issued an amended site plan approval shall be required.

Section 10.4 Lamps

1. Lamp types shall be selected for optimum color rendering as measured by their color rendering index (CRI), as listed by the lamp manufacturer.

DESIGNER'S COMMENTS 11-17-2017: All lamps used have a CRI of 80 or above.

2. Lamps with a color rendering index lower than 50 are not permitted. This requirement shall not apply to decorative lighting which may include colored lamps, such as holiday lighting.

DESIGNER'S COMMENTS 11-17-2017: Project is in compliance with this criteria with all lamps having a CRI above 80.

3. Commercial lighting shall meet minimum IESNA illumination levels while not exceeding IESNA uniformity ratios and average illuminance recommendations.

East side sidewalk under canopy and Drop-off during business hours dusk till dawn.

Illumination levels shall be:

- 7.04 Average foot-candles
- 10.80 Maximum foot-candles
- 1.7 Minimum foot-candles
- 4.14:1 Average/minimum
- 6.35:1 Maximum/minimum

East side Lot #4 parking for hotel lighting; dusk to dawn.

Illumination levels shall be:

- 1.95 Average foot-candles
- 2.90 Maximum foot-candles
- 1.4 Minimum foot-candles
- 1.39:1 Average/minimum
- 2.07:1 Maximum/minimum

East side Lot #4 parking and Driveway lighting; dusk to dawn.

- 1.31 Average foot-candles
- 3.3 Maximum foot-candles
- 0.3 Minimum foot-candles
- 4.37:1 Average/minimum
- 11.00:1 Maximum/Minimum

East side Lot #3-#4 Driveway, Loading Zone and entrance to garage

2.47 Average foot-candles
8.8 Maximum foot-candles
0.6 Minimum foot-candles
4.12:1 Average/minimum
14.67:1 Maximum/Minimum

South side sidewalk Dusk till Dawn Public Sidewalk

4.11 Average foot-candles
19.7 Maximum foot-candles
0.5 Minimum foot-candles
8.22:1 Average/minimum
39.40:1 Maximum/Minimum

North side security lighting to property line; Dusk till Dawn

1.94 Average foot-candles
3.1 Maximum foot-candles
0.6 Minimum foot-candles
3.23:1 Average/minimum
5.17:1 Maximum/Minimum

At 11:00 P.M. automatic pre-set control shall allow reduction in illumination levels to under 0.50 average foot-candles.

South side hotel deck TYPE JAR, JER, JOS are dimmable, levels are maximum, separate dimmable circuits.

13.44 Average foot-candles
25.6 Maximum foot-candles
6.5 Minimum foot-candles
2.07:1 Average/minimum
3.94:1 Maximum/Minimum

REVISED LIGHT LEVELS 12-18-2017 SUBMISSION

East side sidewalk under canopy and Drop-off during business hours dusk till dawn.

Illumination levels shall be:

6.90 Average foot-candles
10.60 Maximum foot-candles
1.3 Minimum foot-candles
5.31:1 Average/minimum
8.15:1 Maximum/minimum

East side Lot #4 parking for hotel lighting; dusk to dawn.

Illumination levels shall be:

1.60 Average foot-candles
2.40 Maximum foot-candles
0.8 Minimum foot-candles
2.00:1 Average/minimum
3.00:1 Maximum/minimum

East side Lot #4 parking and Driveway lighting; dusk to dawn.

1.0 Average foot-candles
2.4 Maximum foot-candles
0.1 Minimum foot-candles
10.00:1 Average/minimum
24.00:1 Maximum/Minimum

East side Lot #3-#4 Driveway, Loading Zone and entrance to garage

2.06 Average foot-candles
8.7 Maximum foot-candles
0.5 Minimum foot-candles
4.12:1 Average/minimum
17.40:1 Maximum/Minimum

South side sidewalk Dusk till Dawn Public Sidewalk

3.17 Average foot-candles
14.6 Maximum foot-candles
0.5 Minimum foot-candles
6.34:1 Average/minimum
29.20:1 Maximum/Minimum

South side hotel deck TYPE JAR at 50%, JER & JOS are off, separate dimmable circuits.

2.06 Average foot-candles
8.2 Maximum foot-candles
1.0 Minimum foot-candles
2.06:1 Average/minimum
8.01:1 Maximum/Minimum