

238 DEER STREET: MIXED-USE BUILDING

HISTORIC DISTRICT COMMISSION PUBLIC HEARING / WORK SESSION -
OCTOBER 2021, PORTSMOUTH, NEW HAMPSHIRE

- GENERAL PROJECT DESCRIPTION:
- REMOVAL OF EXISTING MASONRY BUILDING
 - CONSTRUCT NEW 3 STORY, WITH A PENTHOUSE, MIXED-USE BUILDING TO INCLUDE:
 - GROUND FLOOR RETAIL
 - 21 APARTMENTS (400-500 SF EACH) ON UPPER FLOORS

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A2	DEER STREET RENDERING
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A6	OVERALL ELEVATIONS
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A9	PUBLIC WALKWAY ELEVATION
A10	REAR ELEVATION
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A13	WINDOW & DOOR TYPES
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C1	EXISTING CONDITIONS
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APPENDIX A	PELLA LIFESTYLE SERIES PRODUCT DATA - OR EQUAL
APPENDIX B	KAWNEER WINDOW WALL PRODUCT DATA - OR EQUAL
APPENDIX C	BORAL TRUEX EXTERIOR PRODUCT DATA - OR EQUAL
APPENDIX D	ALUMINUM RAILING PRODUCT DATA - OR EQUAL
APPENDIX E	CHESAPEAKE BRICK PRODUCT DATA - OR EQUAL
APPENDIX F	MITSUBUSHI CONDENSER UNIT - OR EQUAL



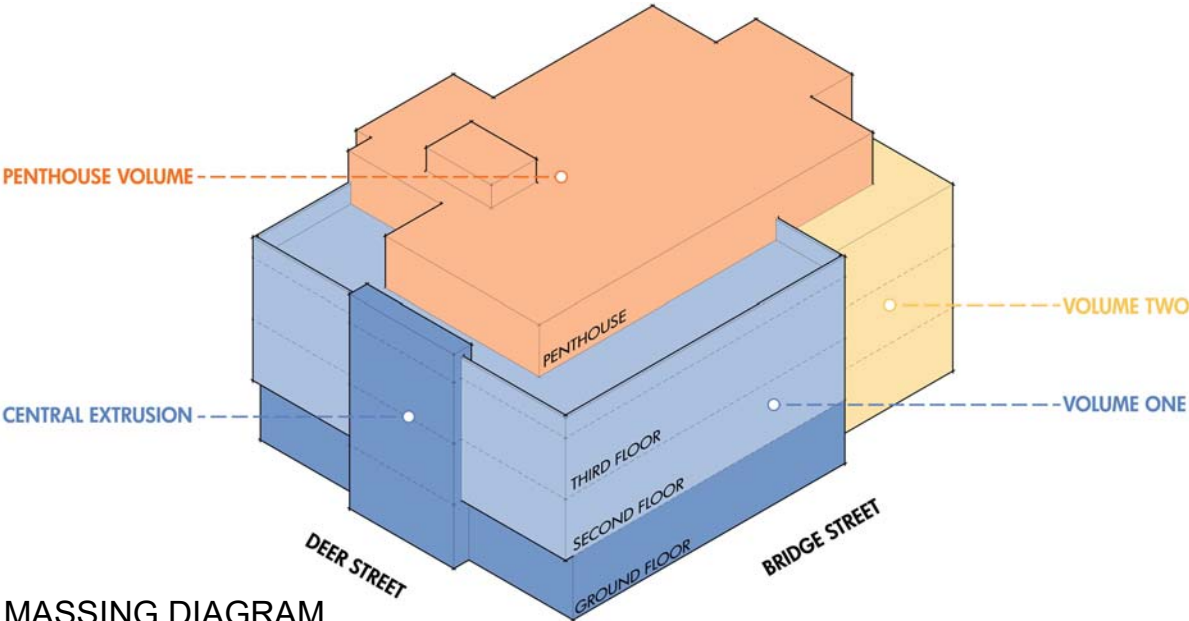
PERSPECTIVE FROM DEER STREET



LOCUS MAP

238 DEER STREET
PORTSMOUTH, NH 03801

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MASSING DIAGRAM

DEER ST. MIXED-USE BUILDING

238 DEER STREET
PORTSMOUTH, NH 03801

COVER

HISTORIC DISTRICT COMMISSION, OCTOBER 2021

McHENRY ARCHITECTURE

4 Market Street

Portsmouth, New Hampshire

C

10/06/2021

McHA: SM/RD/MG

NOT TO SCALE



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DEER ST. MIXED-USE BUILDING
238 DEER STREET
PORTSMOUTH, NH 03801

CONTEXT AND SITE PLAN
HISTORIC DISTRICT COMMISSION, OCTOBER 2021

McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire

A1

06/02/2021
McHA: SM/RD/MG
NOT TO SCALE



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DEER ST. MIXED-USE BUILDING
238 DEER STREET
PORTSMOUTH, NH 03801

DEER STREET RENDERING
HISTORIC DISTRICT COMMISSION, OCTOBER 2021

McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire

A2

10/06/2021
McHA: SM/RD/MG
NOT TO SCALE

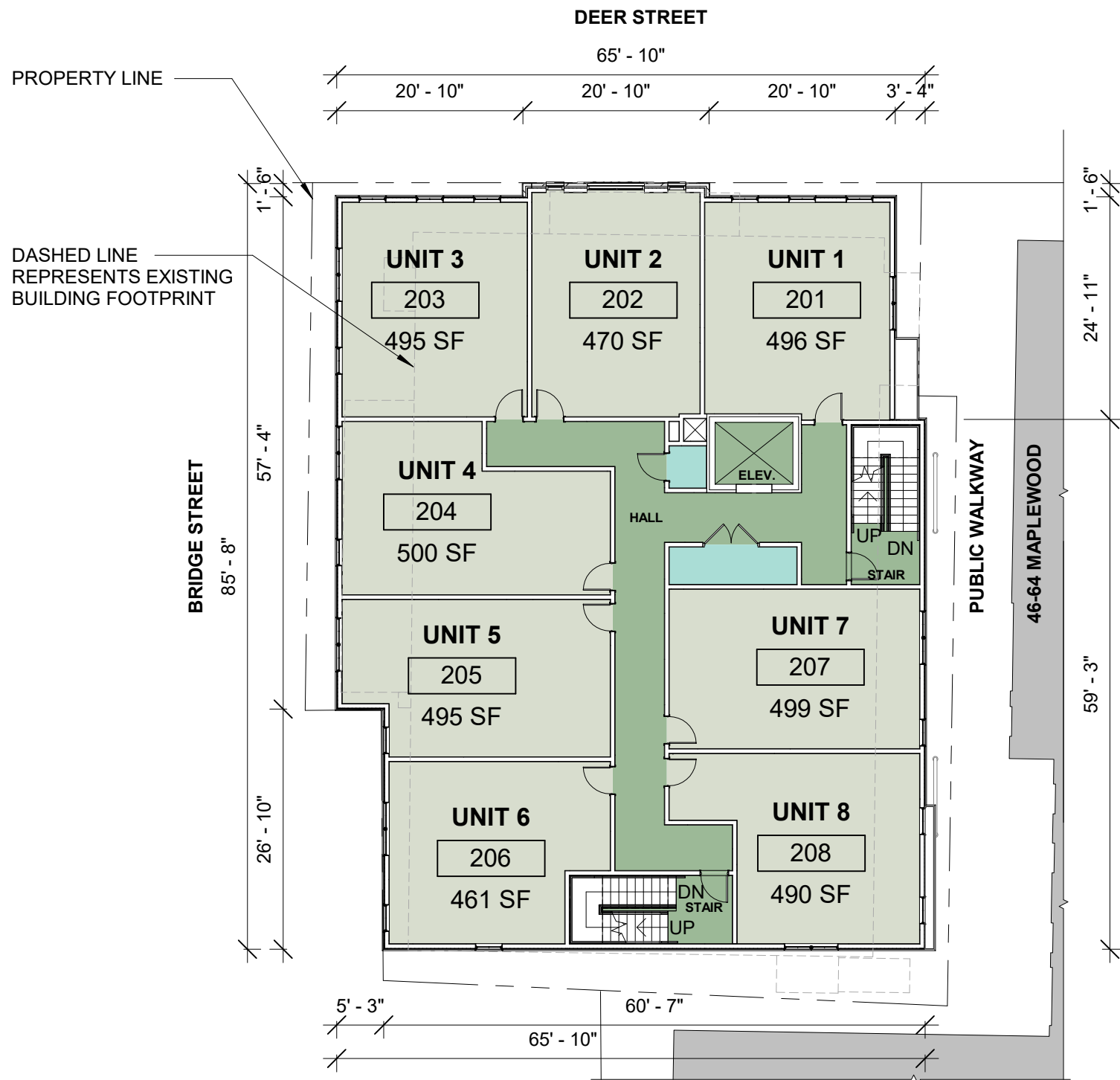


DEER ST. MIXED-USE BUILDING
238 DEER STREET
PORTSMOUTH, NH 03801

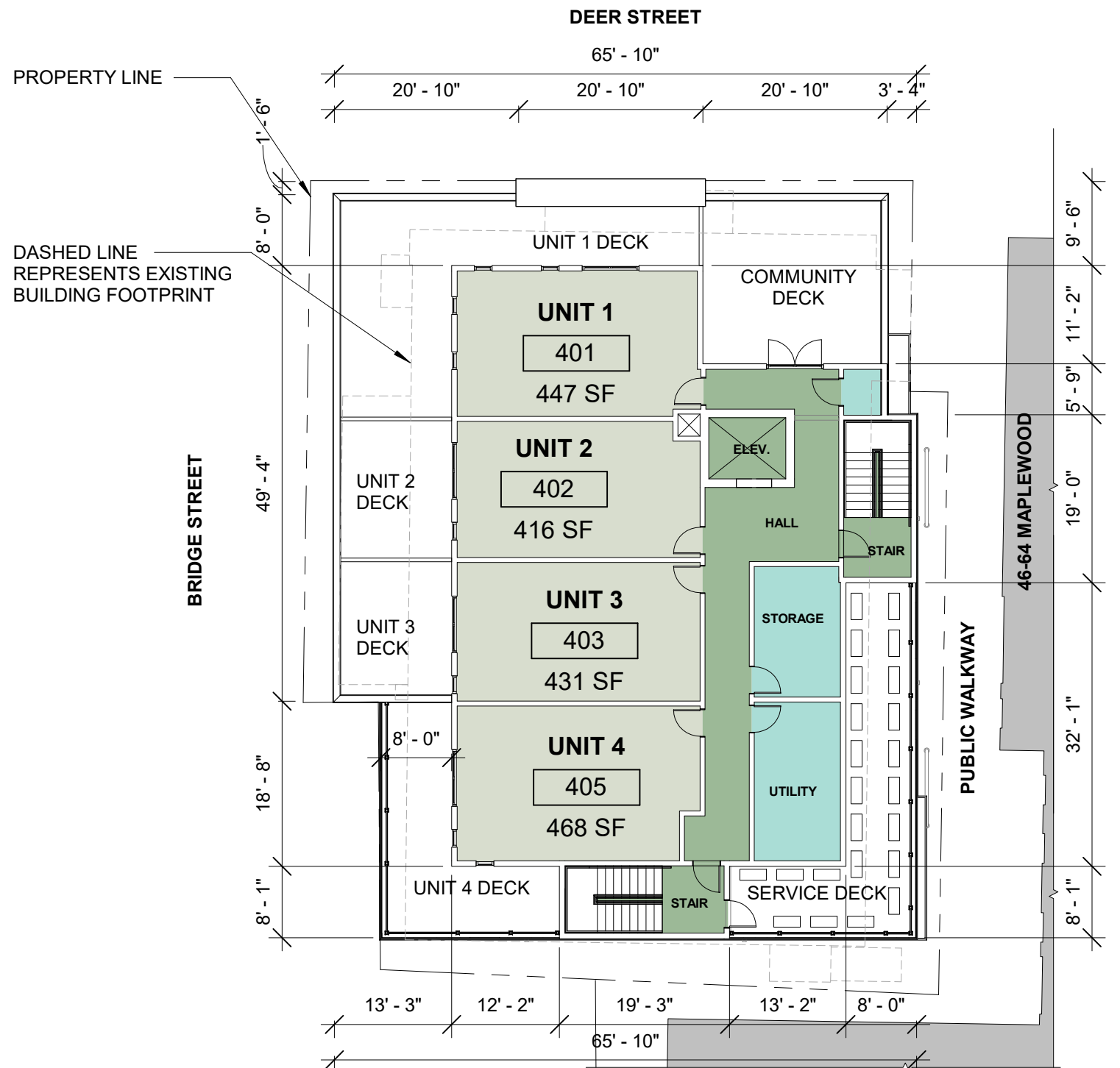
AERIAL RENDERING
HISTORIC DISTRICT COMMISSION, OCTOBER 2021

McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire

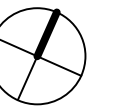
10/06/2021
McHA: SM/RD/MG
A3
NOT TO SCALE



1 SECOND AND THIRD FLOOR
1/16" = 1'-0"



2 FOURTH FLOOR
1/16" = 1'-0"



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DEER ST. MIXED-USE BUILDING

238 DEER STREET
PORTSMOUTH, NH 03801

FLOOR PLANS

HISTORIC DISTRICT COMMISSION, OCTOBER 2021

McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

A5

10/06/2021
McHA: SM/RD/MG
Scale: 1/16" = 1'-0"

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<p>DEER ST. MIXED-USE BUILDING</p> <p>238 DEER STREET PORTSMOUTH, NH 03801</p>	<p>OVERALL ELEVATIONS</p> <p>HISTORIC DISTRICT COMMISSION, OCTOBER 2021</p>	<p>McHENRY ARCHITECTURE</p> <p>4 Market Street Portsmouth, New Hampshire</p>	<p>A6</p>	<p>10/06/2021</p> <p>McHA: SM/RD/MG</p> <p>Scale: 1/16" = 1'-0"</p>
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1 NORTH ELEVATION (DEER STREET)
1/8" = 1'-0"

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DEER ST. MIXED-USE BUILDING
238 DEER STREET
PORTSMOUTH, NH 03801

DEER STREET ELEVATION
HISTORIC DISTRICT COMMISSION, OCTOBER 2021

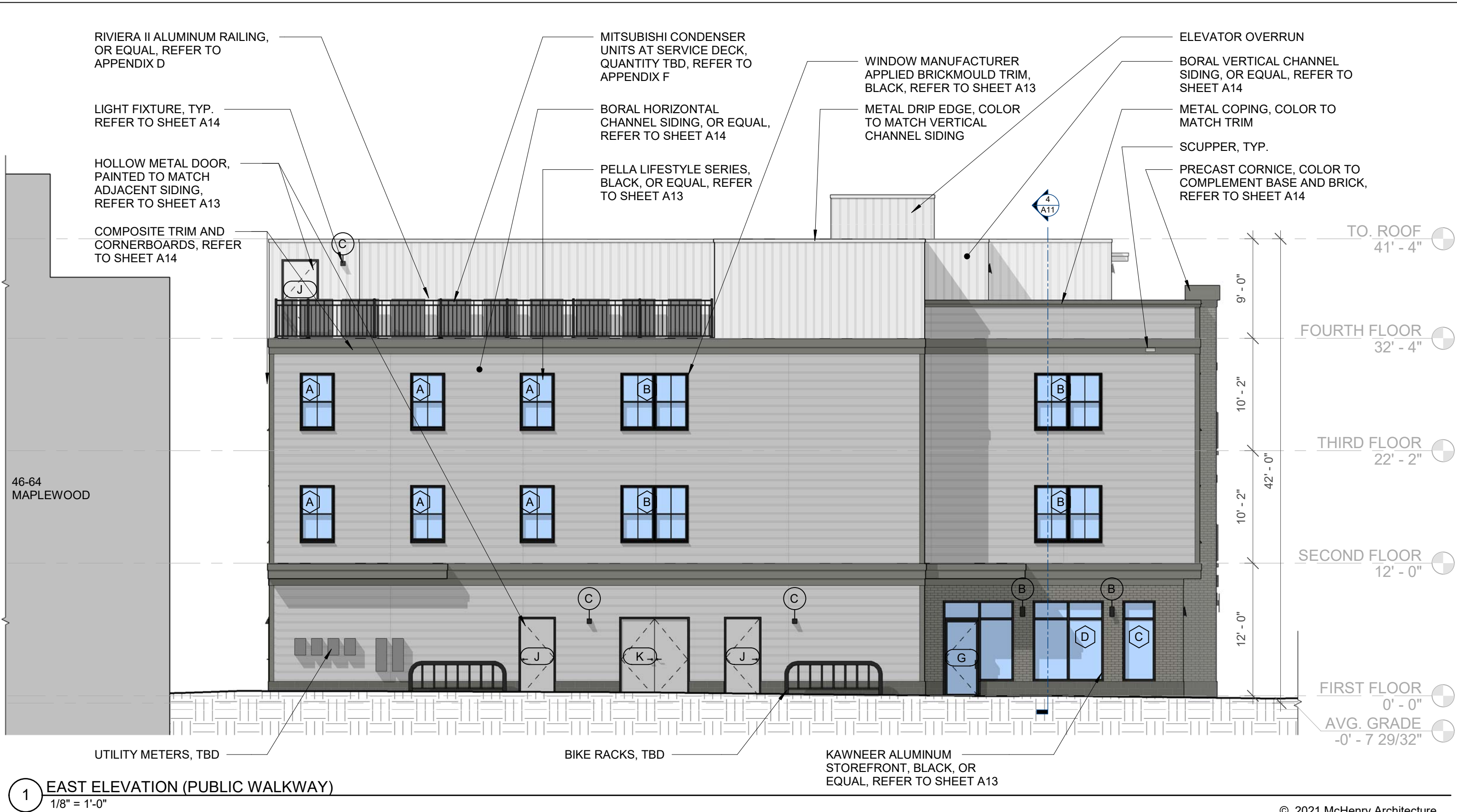
McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire

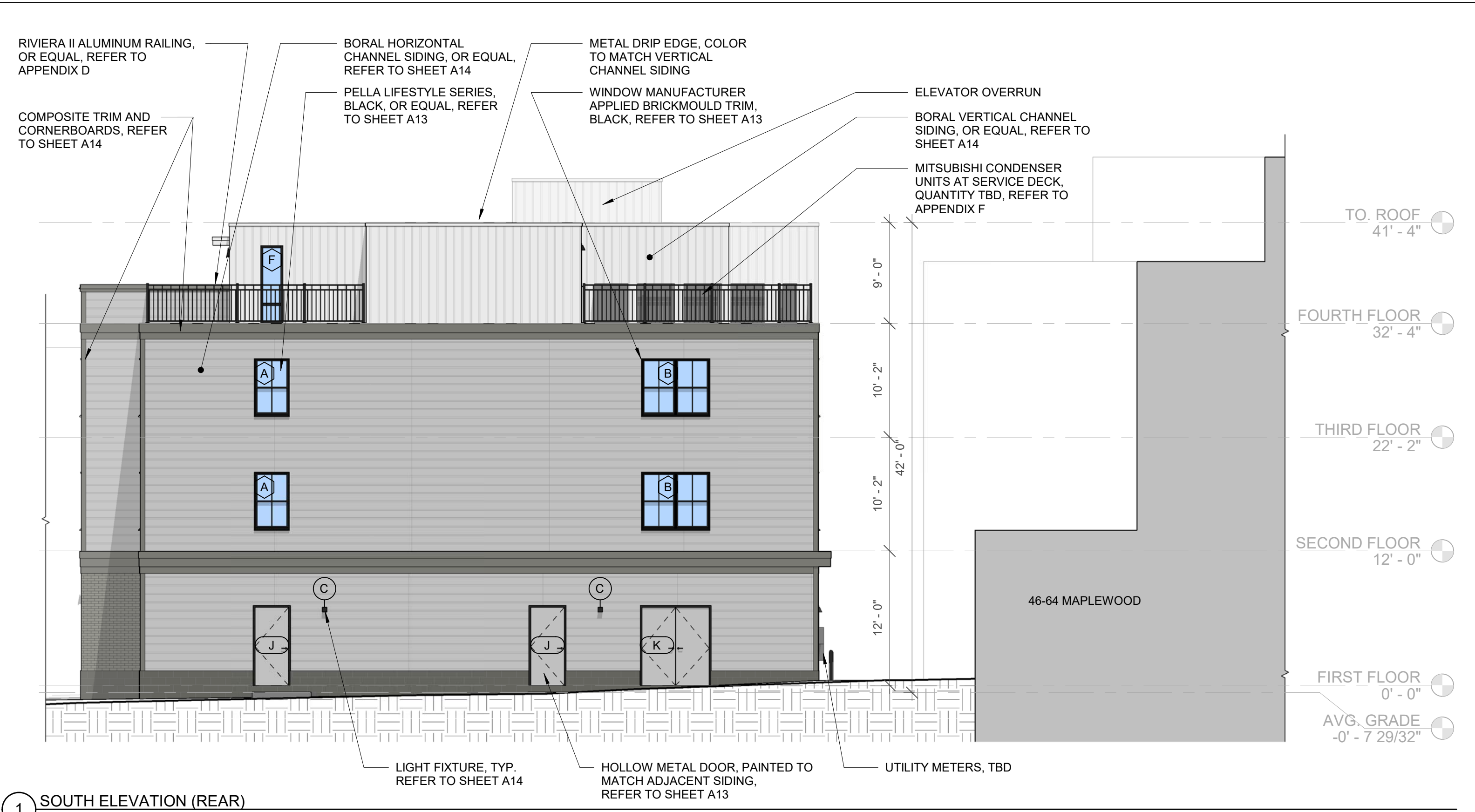
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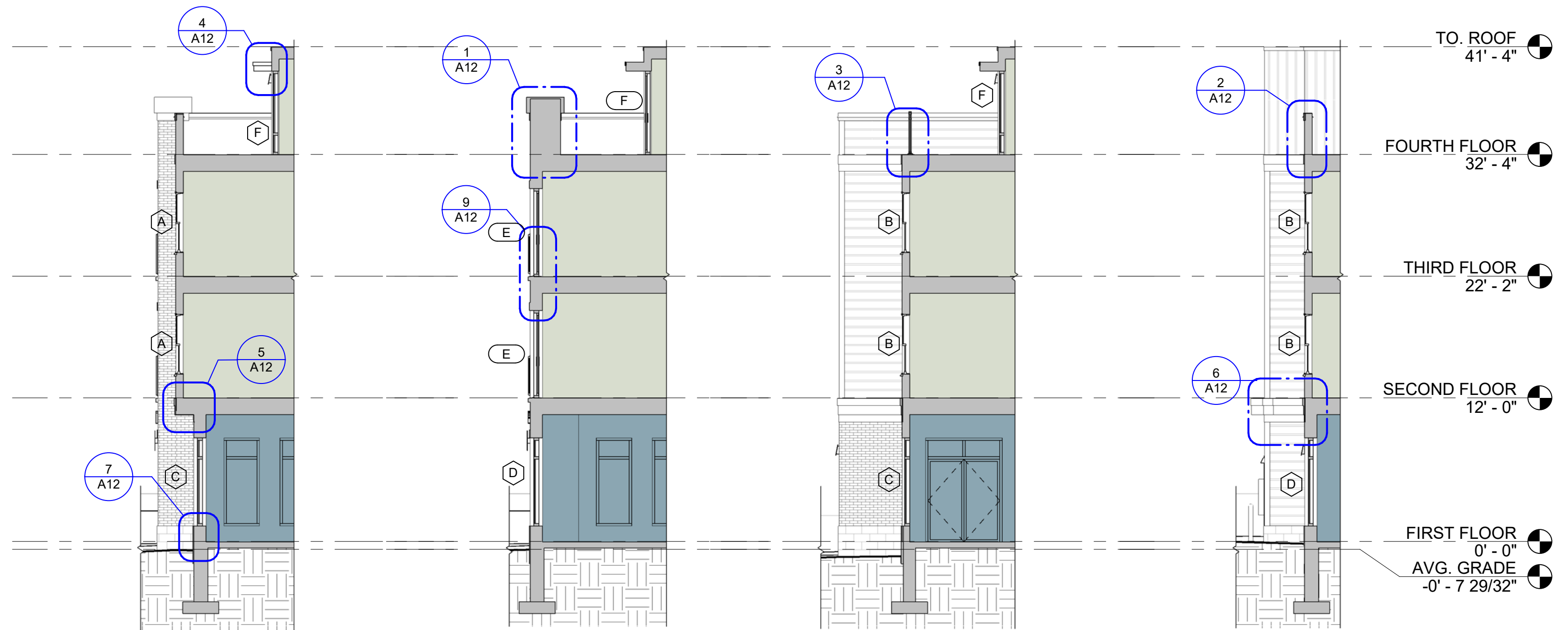
10/06/2021
McHA: SM/RD/MG
Scale: 1/8" = 1'-0"



DEER ST. MIXED-USE BUILDING 238 DEER STREET PORTSMOUTH, NH 03801	BRIDGE STREET ELEVATION HISTORIC DISTRICT COMMISSION, OCTOBER 2021	McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire	A8	10/06/2021
				McHA: SM/RD/MG
				Scale: 1/8" = 1'-0"







1 SECTION AT DEER STREET ELEVATION
1/8" = 1'-0"

2 SECTION AT CENTRAL EXTRUSION
1/8" = 1'-0"

3 SECTION AT BRIDGE STREET ELEVATION
1/8" = 1'-0"

4 SECTION AT PUBLIC WALKWAY ELEVATION
1/8" = 1'-0"

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DEER ST. MIXED-USE BUILDING

238 DEER STREET
PORTSMOUTH, NH 03801

SECTIONS

HISTORIC DISTRICT COMMISSION, OCTOBER 2021

McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

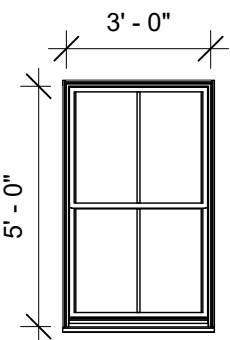
A11

10/06/2021

McHA: SM/RD/MG

Scale: 1/8" = 1'-0"

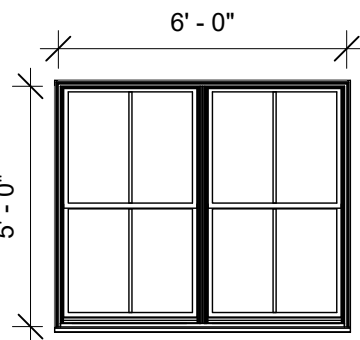
Z:\Active Project Files\20062-238 DEER STREET\Dwgs\2-SD\238 DEER STREET - SD.rvt



TYPE A:
PELLA LIFESTYLE SERIES; ALUMINUM-CLAD WOOD WINDOW, OR EQUAL

2 OVER 2 DOUBLE HUNG, BLACK EXTERIOR, BLACK FACTORY APPLIED BRICK MOULD

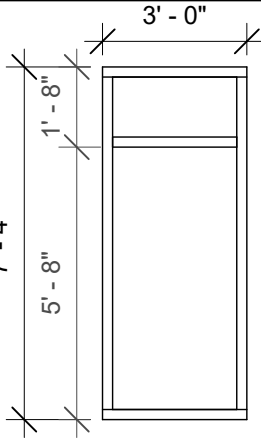
REFER TO APPENDIX A



TYPE B:
PELLA LIFESTYLE SERIES; ALUMINUM-CLAD WOOD WINDOW, OR EQUAL

PAIRED 2 OVER 2 DOUBLE HUNG, BLACK EXTERIOR, BLACK FACTORY APPLIED BRICK MOULD

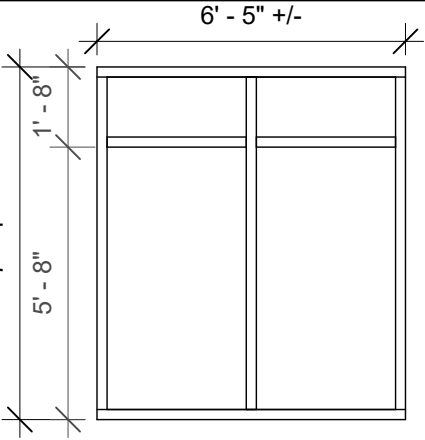
REFER TO APPENDIX A



TYPE C:
KAWNEER WINDOW WALL; ALUMINUM STOREFRONT, OR EQUAL

FIXED, BLACK EXTERIOR

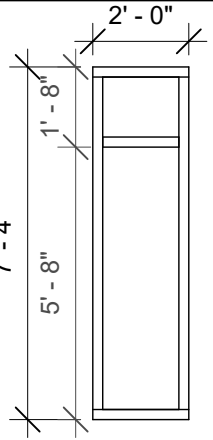
REFER TO APPENDIX B



TYPE D:
KAWNEER WINDOW WALL; ALUMINUM STOREFRONT, OR EQUAL

FIXED, BLACK EXTERIOR

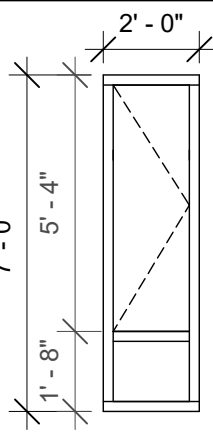
REFER TO APPENDIX B



TYPE E:
PELLA; ALUMINUM CLAD FIXED, OR EQUAL

FIXED, BLACK EXTERIOR

REFER TO APPENDIX A



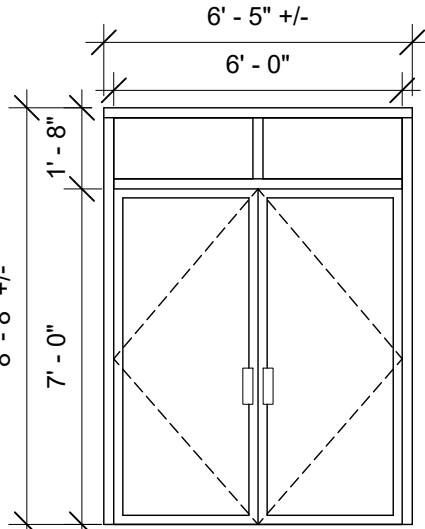
TYPE F:
PELLA ALUMINUM CLAD CASEMENT OVER FIXED, OR EQUAL

FIXED, BLACK EXTERIOR

REFER TO APPENDIX A

WINDOW TYPES

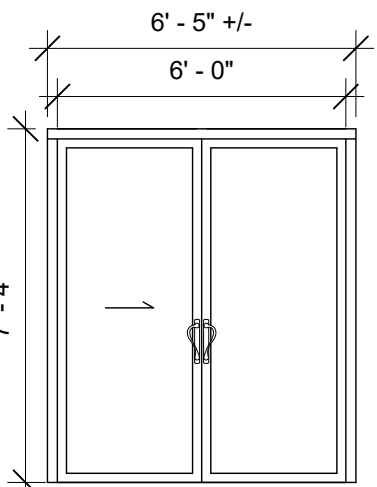
1/4" = 1'-0"



TYPE C:
KAWNEER WINDOW WALL; ALUMINUM STOREFRONT, OR EQUAL

DOUBLE DOOR, FIXED TRANSOM, BLACK EXTERIOR

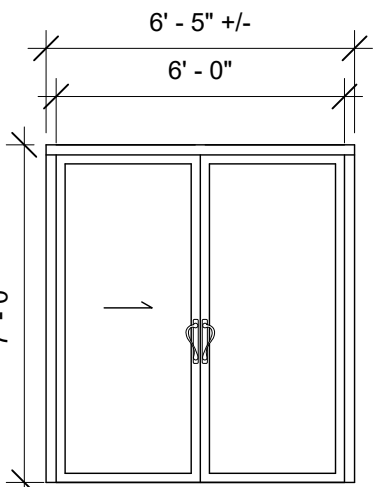
REFER TO APPENDIX B



TYPE E:
PELLA ALUMINUM-CLAD, OR EQUAL

SLIDING DOUBLE DOOR (TBD), BLACK EXTERIOR

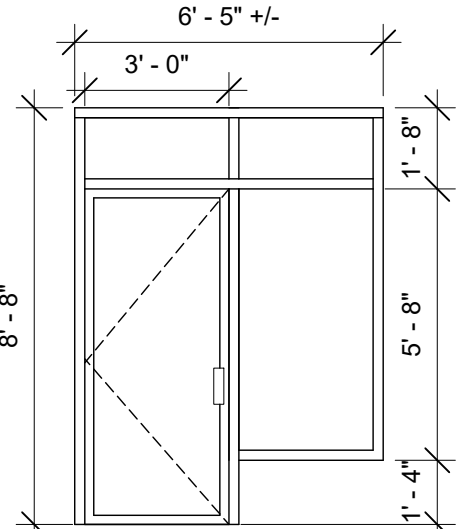
REFER TO APPENDIX A



TYPE F:
PELLA ALUMINUM-CLAD, OR EQUAL

SLIDING DOUBLE DOOR (TBD), BLACK EXTERIOR

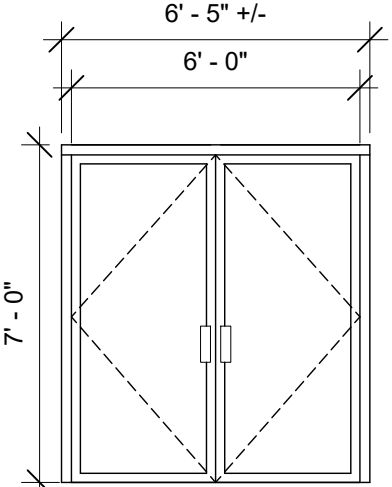
REFER TO APPENDIX A



TYPE G:
KAWNEER WINDOW WALL; ALUMINUM STOREFRONT, OR EQUAL

SINGLE DOOR, FIXED TRANSOM AND SIDE LITE, BLACK EXTERIOR

REFER TO APPENDIX A



TYPE H:
PELLA ALUMINUM-CLAD, OR EQUAL






DOUBLE DOOR (TBD), BLACK EXTERIOR

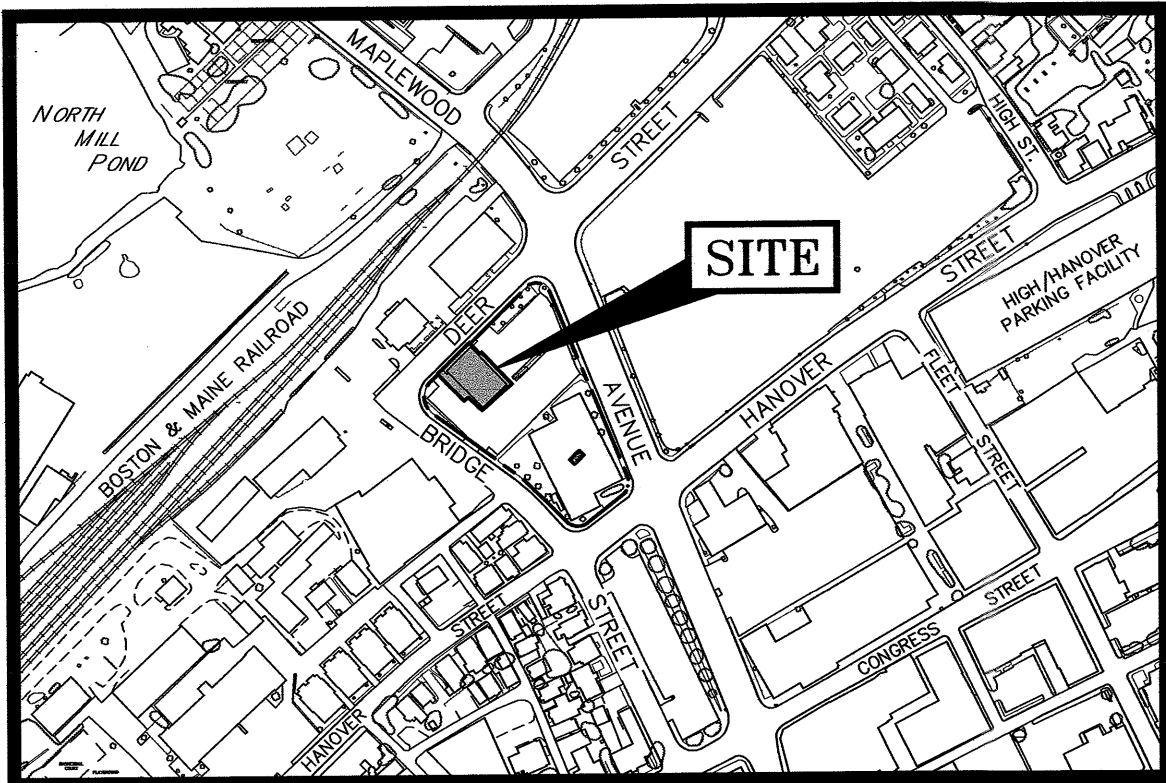
REFER TO APPENDIX A

DOOR TYPES

1/4" = 1'-0"

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<div><div><div>Icon LED Outdoor Wall Sconce</div><div>By dweLED</div></div><div><div><div><div>Icon LED Outdoor Wall Sconce</div><div>By dweLED</div></div><div><div>Product Options</div><div>Finish: Brushed Aluminum , Black</div><div>Size: 14-Inch , 20-Inch</div></div><div><div>Details</div><div><ul style="list-style-type: none">Construction, Aluminum hardware with glass diffuserWeather-resistant powder coat finishShielded light source for low-glare illuminationDriver concealed within the fixtureMaterial: AluminumDimmable when used with a Electronic low voltage (ELV) Dimmer (Not Included)Dimmer Range: 100 - 10%ADA compliantETL Listed WetWarranty: 5 Year Functional, 2 Year FinishMade In China</div></div><div><div>Dimensions</div><div>14-Inch Option Fixture: Width 5", Height 14", Depth 3"</div><div>14-Inch Option Supply Cord: Weight 4.14Lbs</div><div>14-Inch Option Wall Plate: Length 4.5", Width 5.5", Depth 0.5"</div><div>20-Inch Option Fixture: Width 5", Height 20", Depth 3"</div><div>20-Inch Option Supply Cord: Weight 5.13Lbs</div><div>20-Inch Option Wall Plate: Length 4.5", Width 5.5", Depth 0.5"</div></div><div><div>Lighting</div><div><ul style="list-style-type: none">14-Inch Option: 10.9 Watt (845 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 54000 hours20-Inch Option: 11.1 Watt (847 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 54000 hours</div></div><div><div>Additional Details</div><div><div>Product URL:</div><div>https://www.lumens.com/icon-led-outdoor-wall-sconce-by-dweled-DWEP154761.html</div></div><div><div>Rating:</div><div>ETL Listed Wet</div></div></div><div><div>Product ID:</div><div>DWEP154761</div></div></div></div></div>	<div><div><div><div>LUMENS</div><div>LIGHT AND LIVING</div><div>Call Us 877.445.4486</div></div><div></div><div><div>Notes:</div><div><div><div><div><div></div></div><div>LIGHT FIXTURE TYPE A</div><div>OR EQUAL</div></div></div></div></div></div></div>	<div><div><div><div>Slant LED Indoor & Outdoor Wall Light</div><div>By dweLED</div></div><div><div><div><div>Slant LED Indoor & Outdoor Wall Light</div><div>By dweLED</div></div><div><div>Product Options</div><div>Finish: Brushed Aluminum , Black</div></div><div><div>Details</div><div><ul style="list-style-type: none">May be mounted on wall vertically or upside downACLED driverDesigned in 2019Material: AluminumDimmable when used with a Electronic low voltage (ELV) Dimmer (Not Included)Dimmer Range: ELV Dimming: 100 - 10%ADA compliant, Dark Sky compliant, Title 24 compliantETL Listed WetWarranty: 5 Years Functional, 2 Years FinishMade In China</div></div><div><div>Dimensions</div><div>Fixture: Length 5", Width 3.25", Height 10.63"</div></div><div><div>Lighting</div><div><ul style="list-style-type: none">7 Watt (440 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 50000 hours</div></div><div><div>Additional Details</div><div><div>Product URL:</div><div>https://www.lumens.com/slant-led-indoor-and-outdoor-wall-light-by-dweled-DWEP266554.html</div></div><div><div>Rating:</div><div>ETL Listed Wet</div></div></div><div><div>Product ID:</div><div>DWEP266554</div></div></div></div></div></div>	<div><div><div><div>Pitch LED Indoor/Outdoor Wall Sconce</div><div>By Tech Lighting</div></div><div><div><div><div>Pitch LED Indoor/Outdoor Wall Sconce</div><div>By Tech Lighting</div></div><div><div>Product Options</div><div>Finish: Black, Brushed Aluminum, Chrome</div><div>Voltage: 120 Volt , 277 Volt</div></div><div><div>Details</div><div><ul style="list-style-type: none">May be mounted up or downMarine-grade powder coat finishesStainless Steel mounting hardwareImpact-resistant, UV stabilized frosted acrylic lensingMaterial: Die-Cast MetalADA compliant, Dark Sky compliant, Title 24 compliantETL Listed WetMarine GradeWarranty: 5 yearsMade In China</div></div><div><div>Dimensions</div><div>120 Volt Option Fixture: Width 5", Height 5", Depth 3.9", Weight 1.66Lbs</div><div>277 Volt Option Fixture: Width 5", Height 5", Depth 3.9", Weight 1.66Lbs</div></div><div><div>Lighting</div><div><ul style="list-style-type: none">120 Volt Option: 26.1 Watt (823 Lumens) 120 Volt Integrated LED: CRI: 80 Color Temp: 3000K Lifespan: 70000 hours277 Volt Option: 26.1 Watt (823 Lumens) 277 Volt Integrated LED: CRI: 80 Color Temp: 3000K Lifespan: 70000 hours</div></div><div><div>Additional Details</div><div><div>Product URL:</div><div>https://www.lumens.com/pitch-led-indoor-outdoor-wall-sconce-by-tech-lighting-TECP90024.html</div></div><div><div>Rating:</div><div>ETL Listed Wet</div></div></div><div><div>Product ID:</div><div>TECP90024</div></div></div></div></div></div>	<div><div><div><div>LUMENS</div><div>LIGHT AND LIVING</div><div>Call Us 877.445.4486</div></div><div></div><div><div>Notes:</div><div><div><div><div><div></div></div><div>LIGHT FIXTURE TYPE C</div><div>OR EQUAL</div></div></div></div></div></div></div>
<div><div><div>Pop-in 4in Square LED New Construction Recessed Downlight</div><div>By WAC Lighting</div></div><div><div><div><div>Pop-in 4in Square LED New Construction Recessed Downlight</div><div>By WAC Lighting</div></div><div><div>Details</div><div><ul style="list-style-type: none">Designed in 2020Finish: Electrostatically Powder Coated WhiteMaterial: AluminumHousing Type: IC Remodel HousingTrim Type: Deep ReflectorTitle 24 compliantEnergy Star QualifiedETL Listed WetWarranty: 5 Years Functional, 2 Years FinishMade In China</div></div><div><div>Dimensions</div><div>Cut-out: Width 4.13", Depth 4.13"</div><div>Fixture: Length 14.5", Width 8.6", Height 4.6"</div></div><div><div>Lighting</div><div><ul style="list-style-type: none">12 Watt 120/240/277 Volt Integrated LED: CRI: 90 Color Temp: 3000K</div></div><div><div>Additional Details</div><div><div>Product URL:</div><div>https://www.lumens.com/pop-in-4in-square-led-new-construction-recessed-downlight-by-wac-lighting-WACP312393.html</div></div><div><div>Rating:</div><div>ETL Listed Wet</div></div></div><div><div>Product ID:</div><div>WACP312393</div></div></div></div></div>	<div><div><div><div>BORAL TRUEX</div><div>EXTERIOR (POLY-ASH)</div></div><div></div><div><div>Notes:</div><div><div><div><div><div></div></div><div>EXTERIOR OVERHANG DOWNLIGHTS, TBD</div><div>OR EQUAL</div></div></div></div></div></div></div>	<div><div><div><div>CHESAPEAKE BRICK</div><div>OR EQUAL</div></div><div></div><div><div>Notes:</div><div><div><div><div><div></div></div><div>CHESAPEAKE BRICK</div><div>OR EQUAL</div></div></div></div></div></div></div>	<div><div><div><div>PRECAST CONCRETE HEADER/SILL/BASE (TBD)</div><div>COLOR TO COMPLEMENT CHESAPEAKE BRICK (NORTHERN DESIGN CHOCOLATE 2 SHOWN)</div></div><div></div><div><div>Notes:</div><div><div><div><div><div></div></div><div>PRECAST CONCRETE HEADER/SILL/BASE (TBD)</div><div>COLOR TO COMPLEMENT CHESAPEAKE BRICK (NORTHERN DESIGN CHOCOLATE 2 SHOWN)</div></div></div></div></div></div></div>	
<div><div><div>DEER ST. MIXED-USE BUILDING</div><div>238 DEER STREET</div><div>PORTSMOUTH, NH 03801</div></div></div>	<div><div><div>MATERIALS AND PRODUCT DATA</div><div>HISTORIC DISTRICT COMMISSION, OCTOBER 2021</div></div></div>	<div><div><div>McHENRY ARCHITECTURE</div><div>4 Market Street</div><div>Portsmouth, New Hampshire</div></div><div><div><div>A14</div><div>10/06/2021</div><div>McHA: SM/RD/MG</div><div>NOT TO SCALE</div></div></div></div>	<div><div><div>© 2021 McHenry Architecture</div></div></div>	

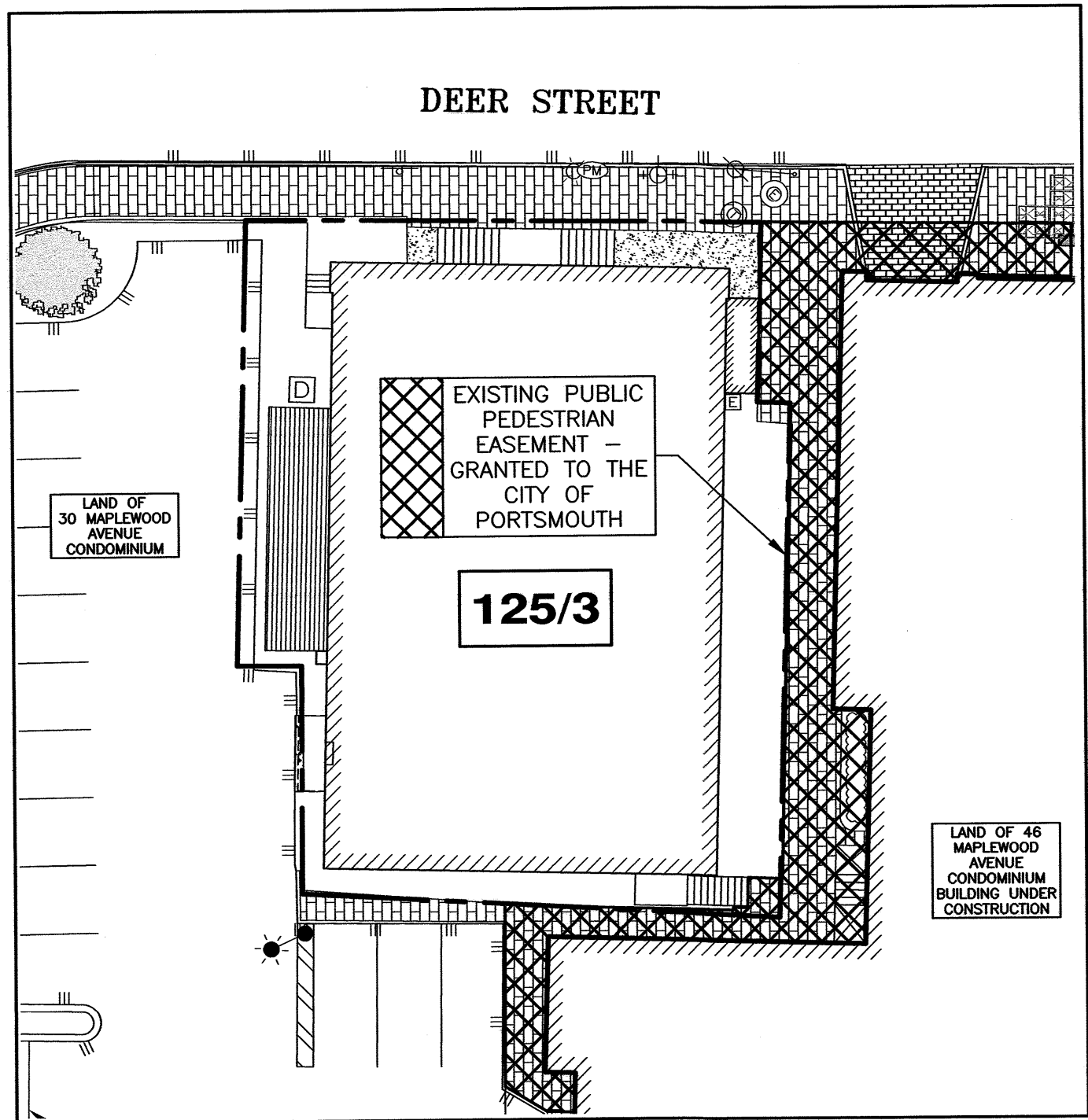


LOCATION MAP

SCALE: 1" = 300'

PLAN REFERENCES:

1. VAUGHAN STREET URBAN RENEWAL PROJECT N.H. R-10, PORTSMOUTH, NEW HAMPSHIRE, DISPOSITION PLAN PARCEL 7. DATED OCT. 1973 BY ANDERSON-NIHOLS & CO., INC. RCRD #D-4119.
2. VAUGHAN STREET URBAN RENEWAL PROJECT N.H. R-10, PORTSMOUTH, NEW HAMPSHIRE, DISPOSITION PLAN PARCEL 10. DATED OCT. 1973 BY ANDERSON-NIHOLS & CO., INC. RCRD #D-4125.
3. VAUGHAN STREET URBAN RENEWAL PROJECT N.H. R-10, PORTSMOUTH, NEW HAMPSHIRE, DISPOSITION MAP. DATED NOV. 1969 BY ANDERSON-NIHOLS & CO., INC. RCRD #D-2408.
4. EASEMENT SITE PLAN, TAX MAP 125 - LOT 2, 30 MAPLEWOOD, LLC TO PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE (PSNH), SCALE: 1" = 20', OCTOBER 2013 BY AMBIT ENGINEERING. RCRD D-38148.
5. PROPOSED EASEMENT TO CITY OF PORTSMOUTH, SCALE: 1" = 10', 9/18/13 BY AMBIT ENGINEERING. BK 5512, PG 1046.
6. CONDOMINIUM SITE PLAN, TAX MAP 125 - LOT 2, BY AMBIT ENGINEERING. RCRD D-38936; AMENDED AT RCRD D-39005.
7. SUBDIVISION PLAN TAX MAP 125 - LOT 2, OWNER: 30 MAPLEWOOD, LLC, 30-46 MAPLEWOOD AVENUE, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE, PREPARED BY AMBIT ENGINEERING, INC., SCALE 1" = 20', DATED OCTOBER 2015 REVISED 4/18/17, RCRD D-40246
8. PLAN OF LAND NO. 238 DEER ST. PORTSMOUTH, N.H., SCALE: 1IN = 10 FT., DATED MAY 1954 PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS RCRD #02164

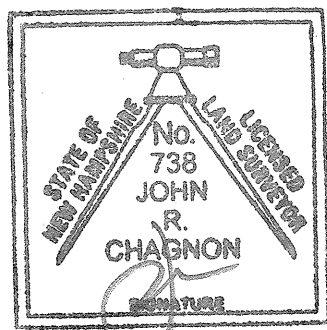


PUBLIC WALKWAY EASEMENT 1"=20'

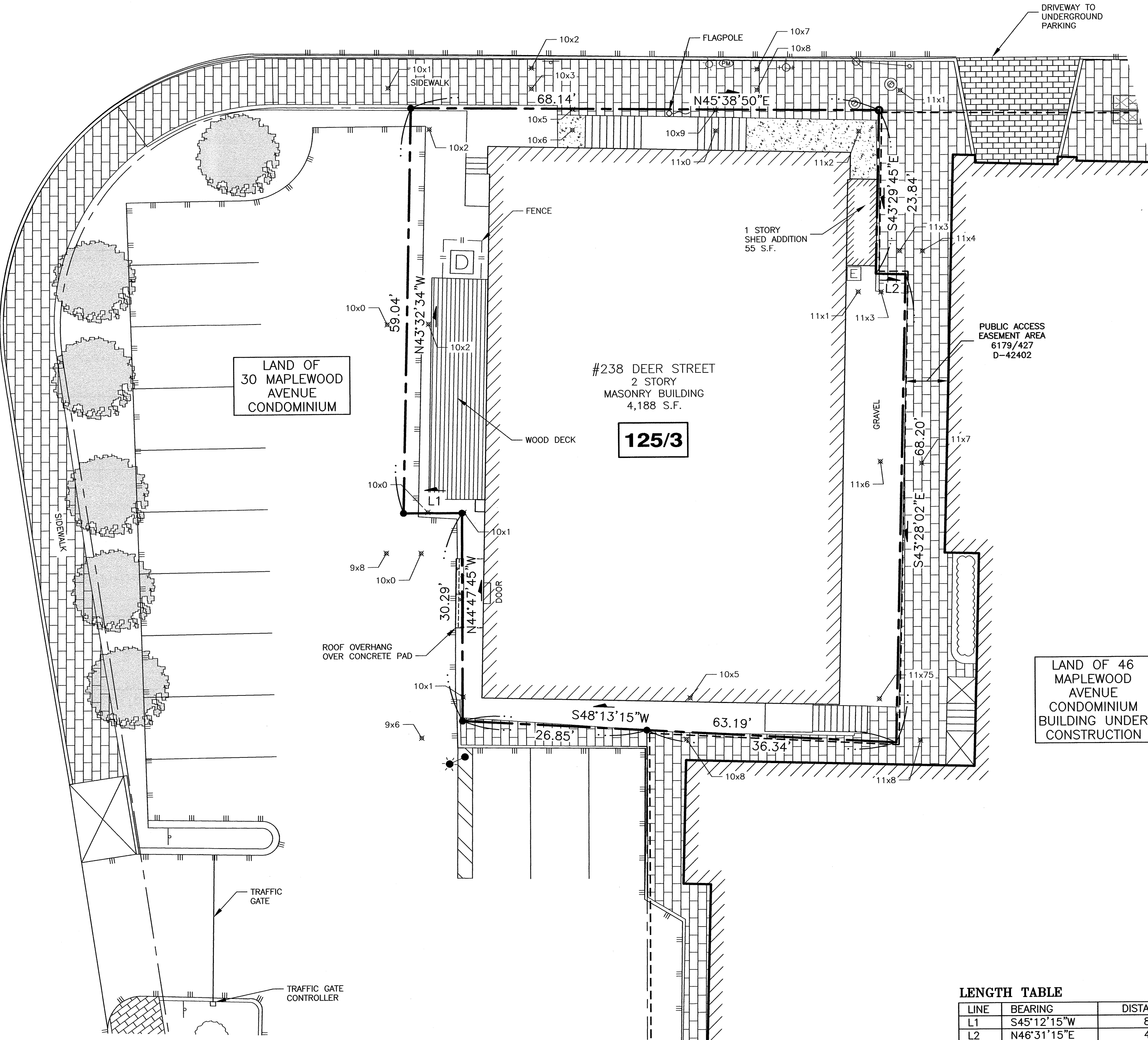
I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

JOHN R. CHAGNON, LLS 738

9.1.21
DATE

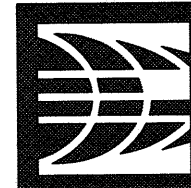


BRIDGE STREET



LENGTH TABLE

LINE	BEARING	DISTANCE
L1	S45°12'15"W	8.50'
L2	N46°31'15"E	4.30'



AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 125 AS LOT 3.
- 2) OWNER OF RECORD:
238 DEER STREET, LLC.
238 DEER STREET
PORTSMOUTH, NH 03801
5890/1712
RCRD #02164
- 3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4, HISTORIC DISTRICT, AND DOWNTOWN OVERLAY DISTRICT.
- 4) DIMENSIONAL REQUIREMENTS:
CHARACTER DISTRICT 4 (CD4):
MIN. LOT AREA: NO REQUIREMENT
FRONTAGE: NO REQUIREMENT
SETBACKS:
FRONT (MAX.) 10 FEET (PRIMARY)
SIDE NO REQUIREMENT
REAR 5 FEET
MAXIMUM STRUCTURE HEIGHT: 40 FEET
MAXIMUM STRUCTURE COVERAGE: 90%
MAXIMUM BUILDING FOOTPRINT: 15,000 S.F.
MINIMUM OPEN SPACE: 10%
MINIMUM FRONT LOT LINE BUILDOUT: 50%
- 5) LOT AREA: 6,181 S.F., 0.1419 ACRES.
- 6) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259F, JANUARY 29, 2021
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE BOUNDARY AND EXISTING CONDITIONS ON MAP 125, LOT 3.

SITE DEVELOPMENT
238 DEER STREET, LLC
238 DEER STREET
PORTSMOUTH, N.H.

0	ISSUED FOR COMMENT	9/1/21
NO.	DESCRIPTION	DATE

REVISIONS

SCALE: 1" = 10' AUGUST 2021

EXISTING
CONDITIONS PLAN

C1

ZONING DEVELOPMENT STANDARD

CD4: CHARACTER DISTRICT 4

BUILDING PLACEMENT (PRINCIPLE):

	REQUIRED	EXISTING	PROPOSED
MAX. PRINCIPLE FRONT YARD:	10.0'	1'	0'
MAX. SECONDARY FRONT YARD:	N/A	N/A	N/A
MIN. SIDE YARD:	NR	0'	0'
MIN. REAR YARD:	5.0'	3.5'	3.5'
FRONT LOT LINE BUILDOUT:	50% MIN.	78%	92%

BUILDING TYPES:

ALLOWED BUILDING TYPES: ROWHOUSE, APARTMENT, LIVE/WORK, SMALL/LARGE COMMERCIAL
PROHIBITED: HOUSE & DUPLEX

ALLOWED FACADE TYPE: STOOP, STEP, SHOPFRONT, OFFICEFRONT, RECESSED-ENTRY
PROHIBITED: PORCH & FORECOURT

BUILDING FORM:

	REQUIRED	EXISTING	PROPOSED
MAX STRUCTURE HEIGHT:	40.0' + 2.0' PENTHOUSE	23' +/-	42'
STRUCTURE HEIGHT (IN STORIES):	3	1	3 + PENTHOUSE
PENTHOUSE AREA:	50% MAX. OF STORY BELOW	N/A	3,206 S.F. - 60% 1,907 S.F. - 35.6%
PENTHOUSE SETBACK:	15.0'	N/A	8.0'
MAX. FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36 INCHES	6'	1'
MIN. GROUND STORY HEIGHT:	12.0'	14.0'	12.0'
MIN. SECOND STORY HEIGHT:	10.0'	N/A	10.5'
FACADE GLAZING (OTHER):	20% MIN. TO 50% MAX.	N/A	42%

ROOF TYPE ALLOWED: FLAT, GABLE, HIP, GAMBREL, MANSARD

LOT OCCUPATION:

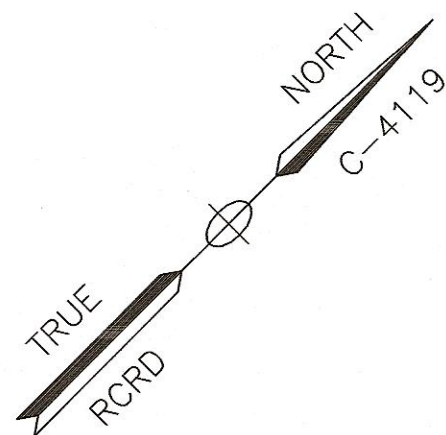
	REQUIRED	EXISTING	PROPOSED
MAX BUILDING BLOCK:	200'	53'	63'
MAX FACADE MOD. LENGTH:	80'	53'	21'
MIN. ENTRANCE SPACING:	50'	N/A	N/A
MAX BUILDING COVERAGE:	90%	74%	85%
MAX BUILDING FOOTPRINT:	15,000 SF	4,243 S.F.	5,286 S.F.
GROSS BUILDING:		8,346 S.F.	19,190 S.F.
MIN. LOT AREA:	NR	6,181 S.F.	6,181 S.F.
MIN. LOT AREA/DWELLING (LOT AREA/# OF UNITS):	NR	N/A	N/A
MIN. OPEN SPACE :	10%	9.67%	2.7%

IMPERVIOUS SURFACE AREAS

(TO PROPERTY LINE)

STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
BUILDING	4,243	5,286
DECKS	264	0
STAIRS	194	0
CONCRETE	137	0
PAVEMENT	458	70
BRICK WALKWAY	104	559
GRAVEL	531	0
TOTAL	5931	5915
LOT SIZE	6,181	6,181
% LOT COVERAGE	96.0%	95.7%

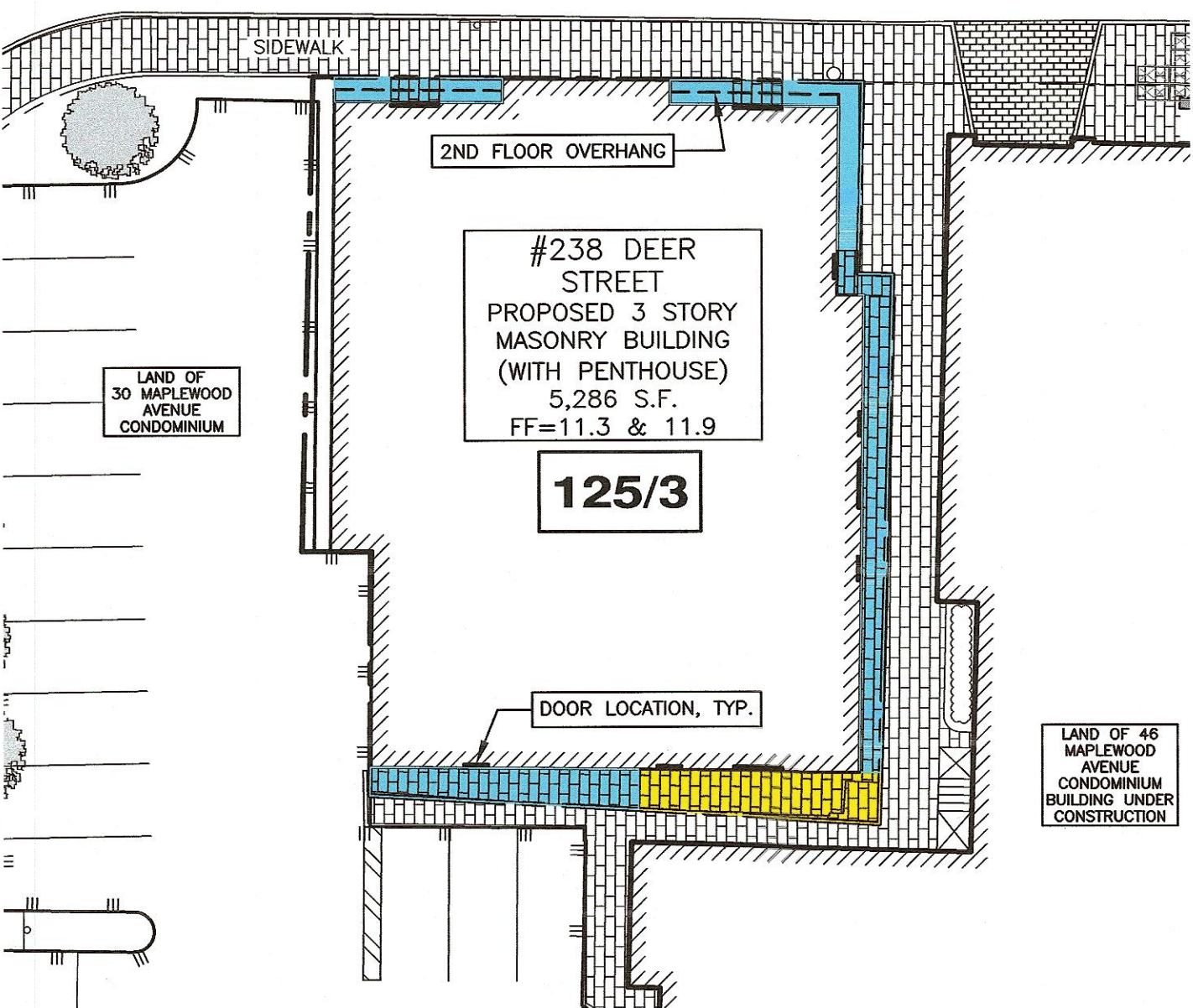
DEER STREET



NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 125 AS LOT 3.
- 2) OWNER OF RECORD:
238 DEER STREET, LLC.
238 DEER STREET
PORTSMOUTH, NH 03801
5890/1712
RCRD #02164
- 3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4, HISTORIC DISTRICT, AND DOWNTOWN OVERLAY DISTRICT.
- 4) DIMENSIONAL REQUIREMENTS:
CHARACTER DISTRICT 4 (CD4):
MIN. LOT AREA: NO REQUIREMENT
FRONTAGE: NO REQUIREMENT
SETBACKS:
FRONT (MAX.): 10 FEET (PRIMARY)
SIDE: NO REQUIREMENT
REAR: 5 FEET
MAXIMUM STRUCTURE HEIGHT: 40 FEET
MAXIMUM STRUCTURE COVERAGE: 90%
MAXIMUM BUILDING FOOTPRINT: 15,000 S.F.
MINIMUM OPEN SPACE: 10%
MINIMUM FRONT LOT LINE BUILDOUT: 50%
- 5) LOT AREA: 6,181 S.F., 0.1419 ACRES.
- 6) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259F, JANUARY 29, 2021
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED REPLACEMENT STRUCTURE ON MAP 125, LOT 3.

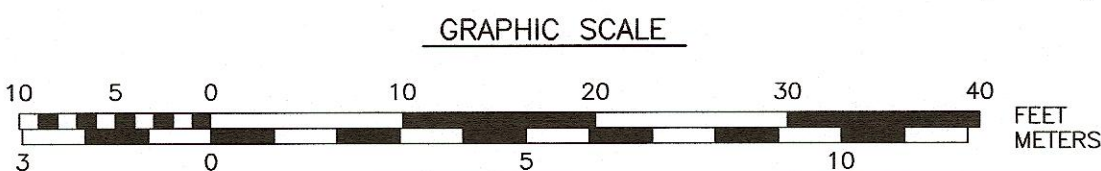
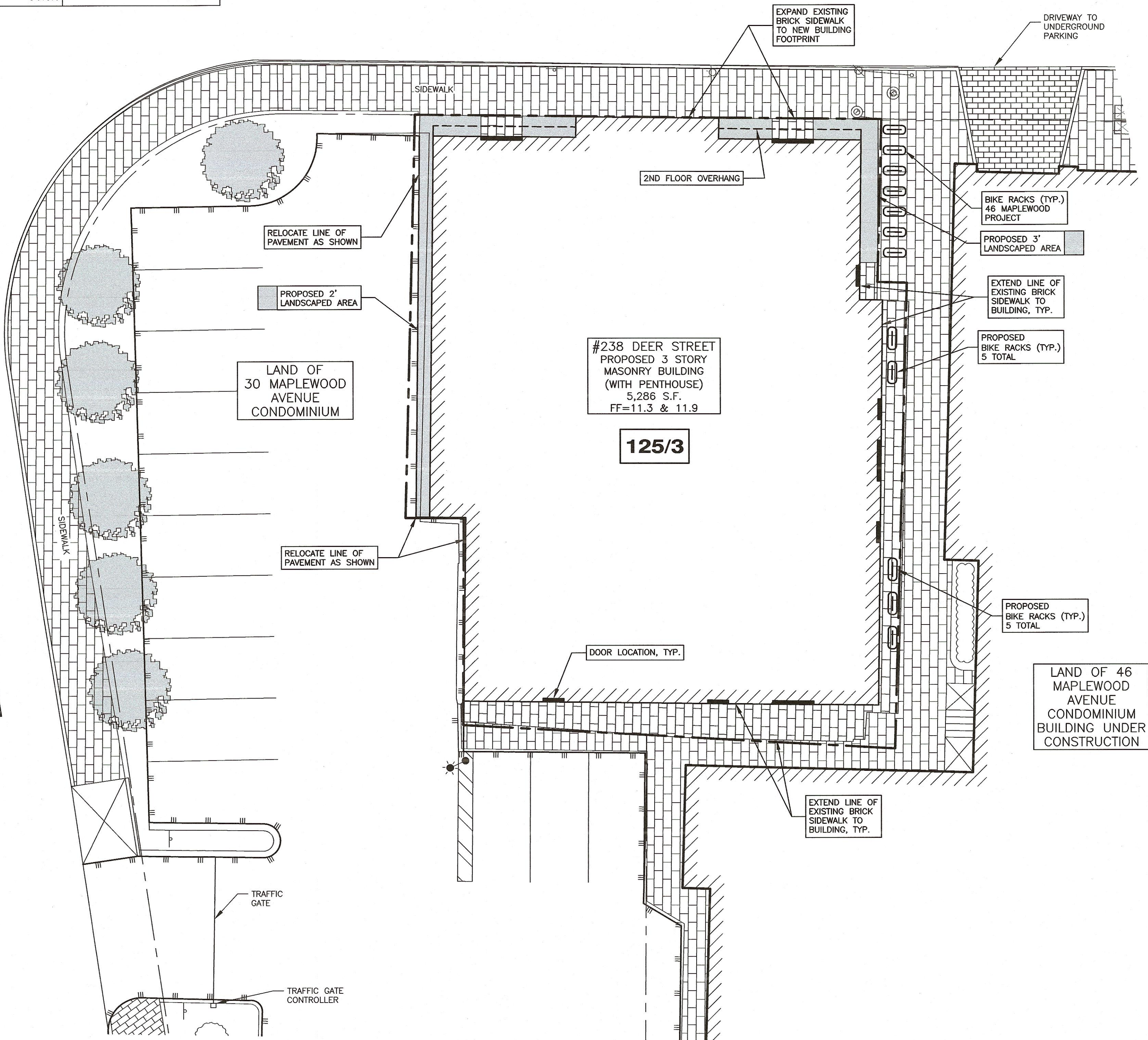
DEER STREET



OPEN SPACE EXHIBIT 1"=20'

MEETS ORDINANCE CRITERIA		169 S.F. (2.7%)
MEETS ORDINANCE INTENT		536 S.F. (8.7%)
TOTAL		705 S.F. (11.4%)

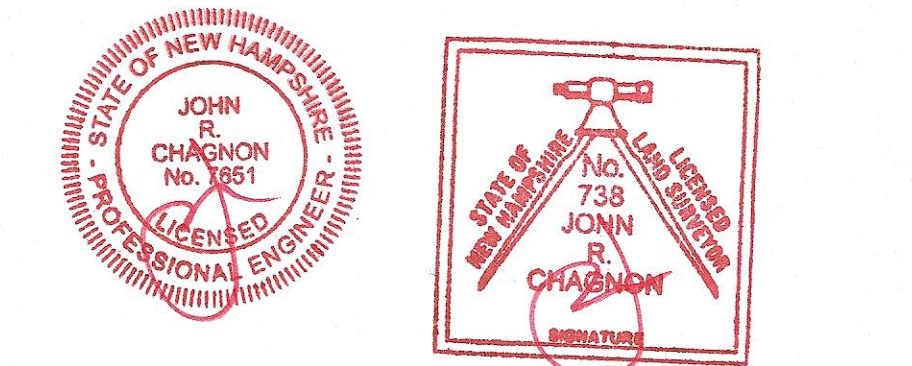
BRIDGE STREET



SITE DEVELOPMENT 238 DEER STREET, LLC 238 DEER STREET PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
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REVISIONS



SCALE: 1" = 10' AUGUST 2021

SITE PLAN

C2



EXAMPLE EFFICIENCY UNIT FLOOR PLAN - 400SF



EXAMPLE EFFICIENCY UNIT



EXAMPLE EFFICIENCY UNIT

**OWNER CONCEPT
PRECEDENT:
EXAMPLE
EFFICIENCY UNIT**



EXAMPLE EFFICIENCY UNIT

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DEER ST. MIXED-USE BUILDING
238 DEER STREET
PORTSMOUTH, NH 03801

**INTERIOR CONCEPT / OWNER
INSPIRATION**

McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire

A16

10/06/2021
McHA: SM/RD/MG
NOT TO SCALE

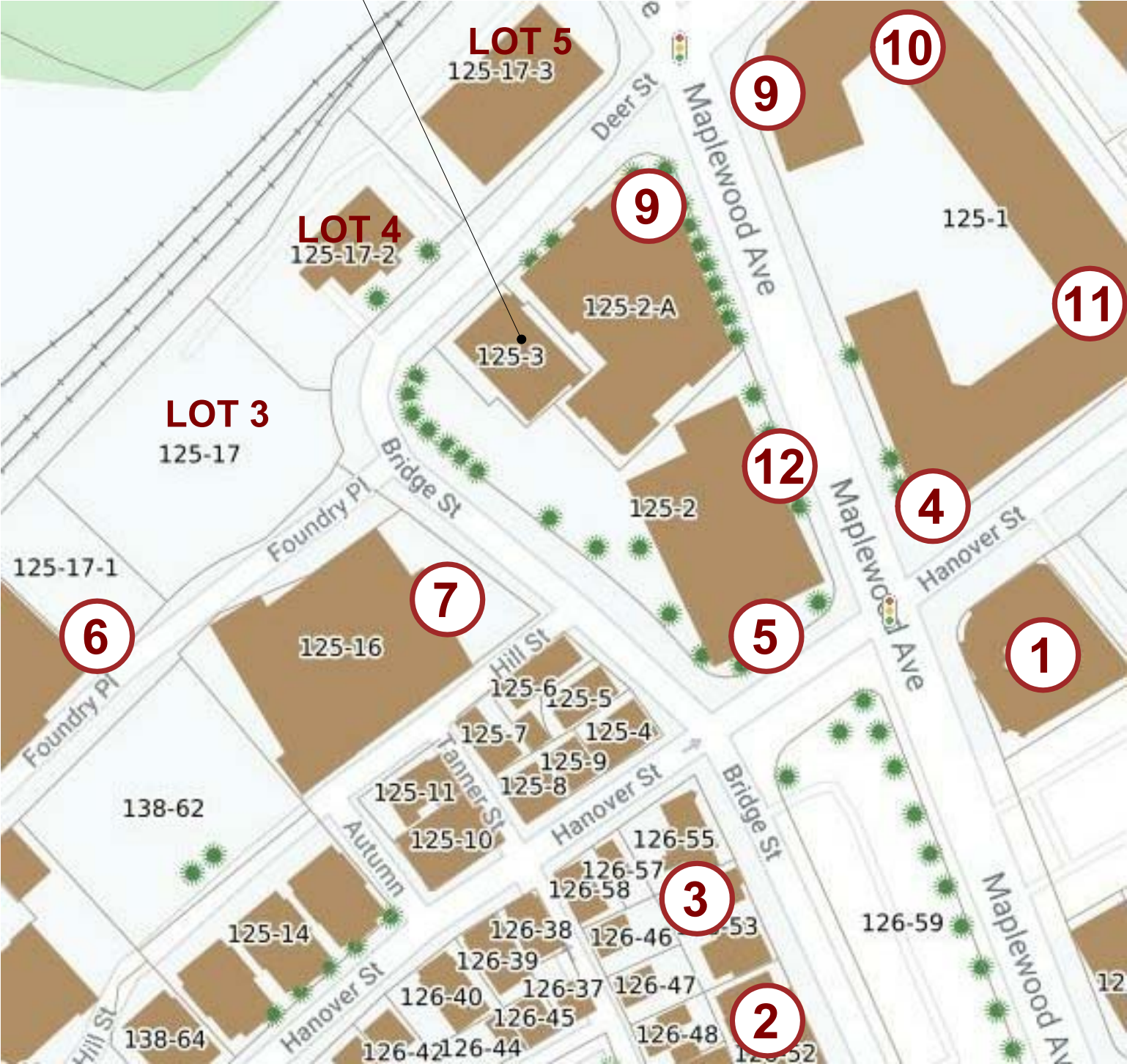


EXISTING PICTURE FROM DEER STREET AND MAPLEWOOD AVE INTERSECTION



EXISTING PICTURE FROM FOUNDRY GARAGE ROOF

238 DEET STREET
PORTSMOUTH, NH 03801



CONTEXT PHOTO KEY MAP

© 2021 McHenry Architecture

DEER ST. MIXED-USE BUILDING

238 DEER STREET
PORTSMOUTH, NH 03801

EXISTING PHOTOGRAPHS

HISTORIC DISTRICT COMMISSION, OCTOBER 2021

McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

A17

10/06/2021
McHA: SM/RD/MG
NOT TO SCALE



1: 25 MAPLEWOOD AVE



2: 40 BRIDGE STREET



1: BRIDGE STREET



4: 195 HANOVER ST - PORTWALK



5: 30 MAPLEWOOD AVE



6: 100 FOUNDRY PLACE

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DEER ST. MIXED-USE BUILDING
238 DEER STREET
PORTSMOUTH, NH 03801

CONTEXT PHOTOGRAPHS
HISTORIC DISTRICT COMMISSION, OCTOBER 2021

McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire

A18

10/06/2021
McHA: SM/RD/MG
NOT TO SCALE



7: 126 BRIDGE STREET



8: 46 MAPLEWOOD AVE



9: 195 HANOVER ST - PORTWALK



10: 195 HANOVER ST - PORTWALK



11: 195 HANOVER ST - PORTWALK



12: 30 MAPLEWOOD AVE

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DEER ST. MIXED-USE BUILDING
238 DEER STREET
PORTSMOUTH, NH 03801

CONTEXT PHOTOGRAPHS
HISTORIC DISTRICT COMMISSION, OCTOBER 2021

McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire

A19

10/06/2021
McHA: SM/RD/MG
NOT TO SCALE



LOT 3: APPROVED FOUNDRY PLACE



LOT 4: APPROVED FOUNDRY PLACE



LOT 5: APPROVED FOUNDRY PLACE



LOT 3: 165 DEER STREET



LOT 4: 163 DEER STREET



LOT 5: 161 DEER STREET

© 2021 McHenry Architecture

<p>DEER ST. MIXED-USE BUILDING</p> <p>238 DEER STREET PORTSMOUTH, NH 03801</p>	<p>FOUNDRY PLACE CONTEXT</p> <p>HISTORIC DISTRICT COMMISSION, OCTOBER 2021</p>	<p>McHENRY ARCHITECTURE</p> <p>4 Market Street Portsmouth, New Hampshire</p>	<p>A20</p>	<p>10/06/2021</p> <p>McHA: SM/RD/MG</p> <p>NOT TO SCALE</p>
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Pella® Lifestyle Series

Aluminum-Clad Wood

APPENDIX A - OR EQUAL

#1 performing wood window and patio door¹

For the combination of energy, sound and value.

37 time-tested innovations

Create unique, room-by-room solutions to meet real-life needs.

83% more energy efficient²

On average compared to single-pane windows – with performance solutions for improved comfort.

Pella Lifestyle Series



Exceptional performance and style.

Style flexibility. Whether your client's home is traditional, modern or somewhere in between, create beautiful windows and patio doors that fit their style.

Redefining performance. Get both unrivaled energy efficiency and sound performance at an incredible value. With the Ultimate Performance package, windows are on average 79% more energy efficient and reduce 52% more outside noise than single-pane windows.^{2,5}

Enhanced durability. Our windows and patio doors are designed to stand the test of time with exterior wood parts treated with exclusive EnduraGuard® wood protection and an aluminum-clad exterior with EnduraClad® finish.

Room-by-room solutions.

Most desired features, options and innovations. Complement your project with the most popular colors, finishes, grille patterns and more. Many innovative solutions also come standard.

Integrated blinds and shades. Intentionally designed to be accessible, blinds and shades are tucked between glass panes and are protected from dust, pets and little hands.

Added security and convenience. Add peace of mind with optional Pella Insynctive™ built-in window and door sensors and motorized between-the-glass blinds and shades that raise and lower with a button.

Create solutions that are perfect for real life. Covered by the best limited lifetime warranty in the industry for wood windows and patio doors, Pella Lifestyle Series offers everything you love about wood – including beauty, durability and style flexibility.³ Begin with dual- or triple-pane glass and then select from the most desired features and options.⁴

Pella Lifestyle Series is the #1 performing wood window and patio door for the combination of energy, sound and value.¹ Packed with purposeful innovations like Integrated Blinds, Shades and Security Sensors, we designed windows and patio doors to work for your project, room by room.

¹ Performance solutions require upgrades to triple-pane, AdvancedComfort Low-E and mixed glass thickness. Based on comparing product quotes and published STC/OITC and U-Factor ratings of leading national wood window and patio door brands.

² Window energy efficiency calculated in a computer simulation using RESFEN 6.0 default parameters for a 2000 sq. foot new construction single-story home when comparing Pella Lifestyle Series windows with Advanced Comfort Low-E triple-pane glass with argon and mixed glass thickness to a single pane wood or vinyl window. Double-hung windows are not available with triple-pane glass. The energy efficiency and actual savings will vary by location. The average window energy efficiency is based on a national average of 94 modeled cities across the country and weighting based on population. For more details see pella.com/methodology.

³ Based on comparing written limited warranties of leading national wood window and wood patio door brands. See Pella written Limited Warranty for details, including exceptions and limitations, at pella.com/warranty, or contact Pella Customer Service at 866-319-0397.

⁴ Double-hung window only available with dual-pane glass.

⁵ Reduction in sound based on OITC ratings of Pella Lifestyle Series windows with triple-pane glass with mixed glass thickness to a single-pane wood or vinyl window with an OITC of 19. Calculated by using the sound transmission loss values in the 80 to 4000 Hz range as measured in accordance with ASTM E-90(09). Actual results may vary.

Available in these window and patio door styles:




Special shapes also available.

Colors & Finishes

Wood Type

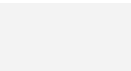
A beautiful wood species to complement your home’s interior.



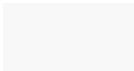
Pine

Prefinished Pine Interior Colors

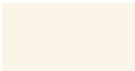
We can prefinish in your choice of a variety of beautiful paints and stains. Unfinished or primed and ready-to-paint are also available.




White



Bright White



Linen White




Natural Stain¹




Golden Oak Stain




Early American Stain



Provincial Stain



Dark Mahogany Stain¹




Red Mahogany Stain¹



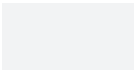
Black Stain

Aluminum-Clad Exterior Colors


Our low-maintenance EnduraClad® exterior finish resists fading and helps protect windows and patio doors for years.



Black



White



Brown



Fossil



Iron Ore



Portobello



Putty



Almond



Classic White



Brick Red




Hartford Green




Wolf Gray

Glass²


InsulShield® Low-E Glass³




Advanced Low-E insulating dual-pane glass with argon or triple-pane glass with argon



AdvancedComfort Low-E insulating dual-pane glass with argon and triple-pane glass with argon




NaturalSun Low-E insulating dual-pane glass with argon or triple-pane glass with argon




SunDefense™ Low-E insulating dual-pane glass with argon or triple-pane glass with argon

Additional Glass Options



Tempered glass available on dual- and triple-pane products




Obscure and frosted obscure glass available on dual- and triple-pane products

Performance Packages

To make things easier, we’ve created performance packages that highlight what’s most important to your customers.

Performance solutions offer an unbeatable combination of energy efficiency, sound control and value.¹ Upgrade from a dual- to a triple-pane glass design with the packages below to meet the unique needs of each room in your customer’s home.

All values below are averages compared with single-pane windows.




Performance

Improved energy efficiency and sound performance.

71%
More Energy Efficient²

+


34%
Noise Reduction³



Sound Control

Exceptional noise control for a quieter home.


52%
Noise Reduction³



Energy Efficiency

Superior energy efficiency for a more comfortable home.

83%
More Energy Efficient²




Ultimate Performance

The best combination of energy efficiency and noise control.

79%
More Energy Efficient²

+

52%
Noise Reduction³



Scan the QR code with your smartphone camera to learn more about how each performance package can benefit your client's home.

¹ Availability may be limited. Please contact your local Pella expert for details.

² Double-hung window available with dual-pane glass only.

³ Optional high-altitude Low-E insulating glass does not contain argon in most products. Please see your local Pella sales representative for more information.

¹ Performance solutions require upgrades to triple-pane, AdvancedComfort Low-E and mixed glazing thickness glass. Based on comparing product quotes and published STC/OITC and U-Factor ratings of leading national wood window and patio door brands.

² Window energy efficiency calculated in a computer simulation using RESFEN 6.0 default parameters for a 2000 sq. foot new construction single-story home when Pella Lifestyle Series windows with the respective performance package are compared to a single-pane wood or vinyl window. The energy efficiency and actual savings will vary by location. The average window energy efficiency is based on a national average of 94 modeled cities across the country and weighting based on population. For more details see pella.com/methodology.

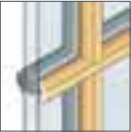
³ Reduction in sound based on OITC ratings of Pella Lifestyle Series windows with respective performance package compared to a single-pane wood or vinyl window with an OITC of 19. Calculated by using the sound transmission loss values in the 80 to 4000 Hz range as measured in accordance with ASTM E-90(09). Actual results may vary.

Grilles

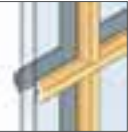
Grille Types

Choose the look of true divided light, removable roomside grilles or make cleaning easier by selecting grilles-between-the-glass.


Dual-Pane:




Simulated-Divided-Light with Spacer 7/8"



Simulated-Divided-Light without Spacer 7/8"




Roomside Removable Grilles 3/4"^{1,2}




Aluminum Grilles-Between-the-Glass 3/4"³

Triple-Pane:




Simulated-Divided-Light with Aluminum Contoured Grilles-Between-the-Glass 3/4"³



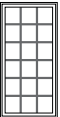
Aluminum Grilles-Between-The-Glass 3/4"³

Grille Patterns

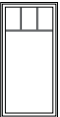
In addition to the patterns shown here, custom grille patterns are available.



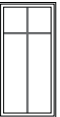
9-Lite Prairie




Traditional



Top Row



Cross



Custom

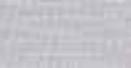
Screens⁴

Rolscreen®


Rolscreen soft-closing retractable screens roll out of sight when not in use. Available on casement windows and sliding patio doors.

Flat

InView™ screens are clearer than conventional screens and come standard. Vivid View® screens offer the sharpest view and are optional.



InView™



Vivid View®

Added Peace of Mind

Integrated Security Sensors

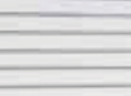
Optional integrated wireless security sensors maintain aesthetics, streamline security installation and ensure no warranty loss is caused by post-installation drilling. Sensors can be monitored via the free Pella® Insynctive® App and are compatible with major security panel systems.⁵ For more information, go to connectpella.com.

¹ Color-matched to your product's interior and exterior color.
² Availability may be limited. Please contact your local Pella expert for details.
³ Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.
⁴ Warning: Use caution when children or pets are around open windows and doors. Screens are not designed to retain children or pets.
⁵ Requires the Insynctive App on a smart device, an Insynctive Bridge and a wireless home router with internet connection.

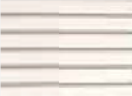
Integrated Blinds & Shades

Integrated Blinds*

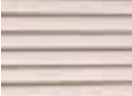
Raise blinds up for an unobstructed view or tilt to let in the right amount of light. Our accessible, integrated blinds are available with or without motorization powered by Pella Insynctive® technology.



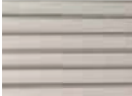
White



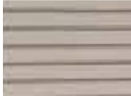
Poplar White



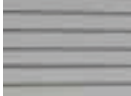
Bisque




Golden



Mocha



Storm




Black


Integrated Shades*

Our best integrated fabric shades feature a white exterior fabric for a uniform look from the street. Our accessible, integrated shades are available with or without motorization powered by Pella Insynctive® technology.


Light-Filtering:



White




Maize




Silver


Room-Darkening:




Cotton



Bamboo



Ash



Scan the QR code with your smartphone camera to learn more about our motorized Insynctive blinds and shades.

Window Hardware

Essential Collection

Our most popular designs with finishes to suit every style.



Fold-Away Crank



Cam-Action Lock

Finishes:



Champagne



White



Brown



Matte Black




Satin Nickel


Patio Door Hardware

Essential Collection

Elevate your style and transform your home with elegant selections.




Hinged Patio Door Handle

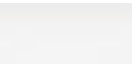


Sliding Patio Door Handle


Finishes:




Champagne




White



Brown



Matte Black



Satin Nickel

* Available on triple-pane products only.

Window & Door Trim Options


Interior Wood Trim

Dramatically reduce installation time with factory-applied and factory-finished trim. Pella's beautiful trim options provide a vast range of choices that are true to your customer's home architectural style and décor.


The trim around Pella® wood, fiberglass or vinyl windows and doors can coordinate with other trim on your project, including baseboards, crown molding and chair rails. Optional accessories to coordinate with trim profiles are available.

Wood Types

Choose the wood species that best complements your project's interior.



Pine



Oak

Prefinished Pine Interior Colors

Trim is available prefinished in your choice four paint colors and eleven stains. Unfinished or primed and ready-to-paint are also available.




White



Bright White



Linen White



Artisan Greige*




Natural Stain



Wheat Stain*



Golden Oak Stain




Early American Stain




Provincial Stain




Dark Mahogany Stain



Red Mahogany Stain



Espresso Stain



Skyline Gray Stain*




Charcoal Stain




Black Stain

Interior Trim Styles


Choose from over 50 styles of prefinished or unfinished wood interior trim to fit your project including these popular styles. Select trim styles available in Oak.




Craftsman




Ranch



Provincial



Colonial



Curved

* Availability may be limited. Please contact your local Pella expert for details.

EnduraClad® Exterior Trim

Add distinctive architectural detail to your project and set off the Pella wood windows and patio doors with style. Our low-maintenance, aluminum-clad exterior trim arrives factory-applied on windows and patio doors to save installation time and costs.

Exterior Finish Colors

Our low-maintenance, aluminum EnduraClad® exterior finish resists chalking and fading. Custom colors are also available.



Black



White



Brown



Fossil



Iron Ore



Portobello




Putty



Almond



Classic White



Brick Red



Hartford Green



Pearl Gray



Soft Linen



Satin Steel



Matte Gray



Wolf Gray



Spice Red



Sage



Frost Blue



Blue Ash

Exterior Trim Styles

EnduraClad exterior aluminum trim is available in five standard profiles. Or choose a custom design.



Monroe



Brickmould



Jefferson



3-1/2" Flat Casing



3-1/2" Brickmould*

Installation Methods

Pella makes installing windows and doors easy. Multiple installation methods and exclusive features save time and help reduce costly callbacks.

For complete installation instructions and videos, visit installpella.com.

* Shown in a custom color. Contact your local Pella representative for more information on available colors.

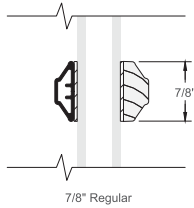


Lifestyle Series Double-Hung

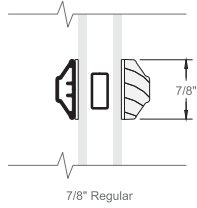
Grilles

Grille Profiles

Simulated-Divided-Light Grilles

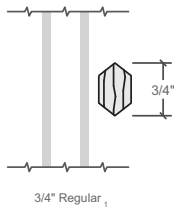


Simulated-Divided-Light Grilles with optional spacer

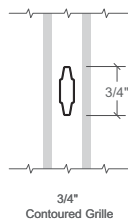


**NOTE: HALF
SCREENS AT ALL
DOUBLE HUNG
WINDOWS**

Roomside Removable Grilles

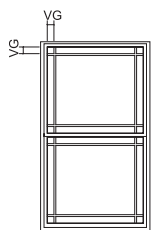


Grilles-Between-the-Glass

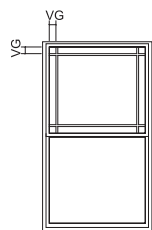


Grille Patterns

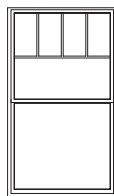
Grilles-Between-the-Glass and Simulated-Divided-Light Grilles



9-Lite Prairie



9-Lite Prairie
Top Sash Only



Top Row



Cross

9-Lite Prairie

- Standard corner lite dimension for Prairie patterns = 2-1/2" VG.
- Available in transoms \geq 1'3" height and width.

Cross

- Minimum DH frame height 35".
- Horizontal bar will be at 1/2" of the VG height of the top sash.

Top Row

- Minimum DH frame height 35".
- Horizontal bar will be at 1/2" of the VG height of the top sash.

For traditional patterns, see size tables.

VG = Visible Glass

(1) Grilles are available in traditional patterns only.

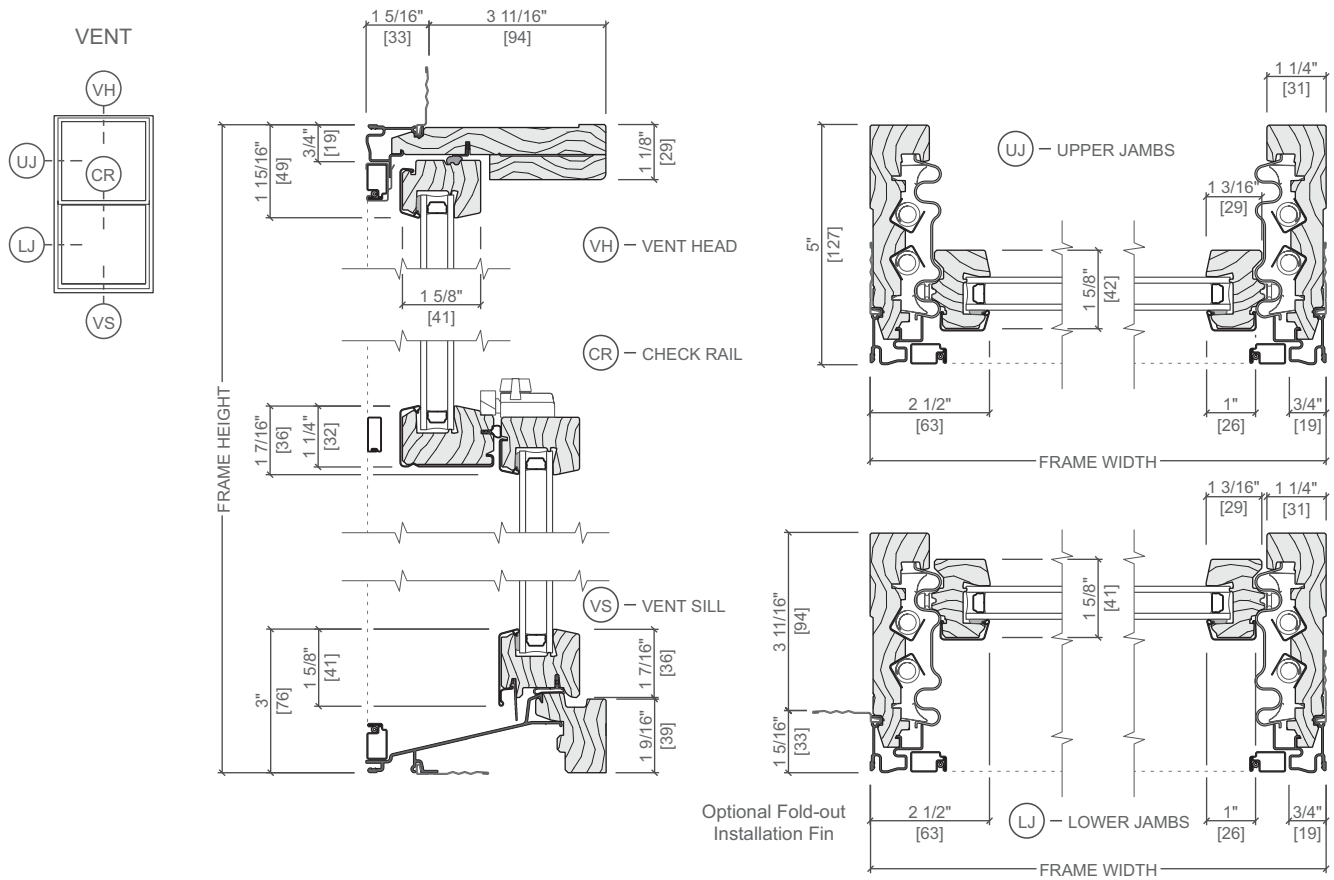
Lite dimensions noted can vary.

For size and pattern availability contact your local Pella sales representative.



Lifestyle Series Double-Hung

Unit Sections



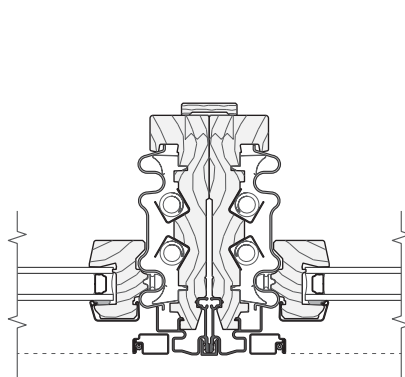
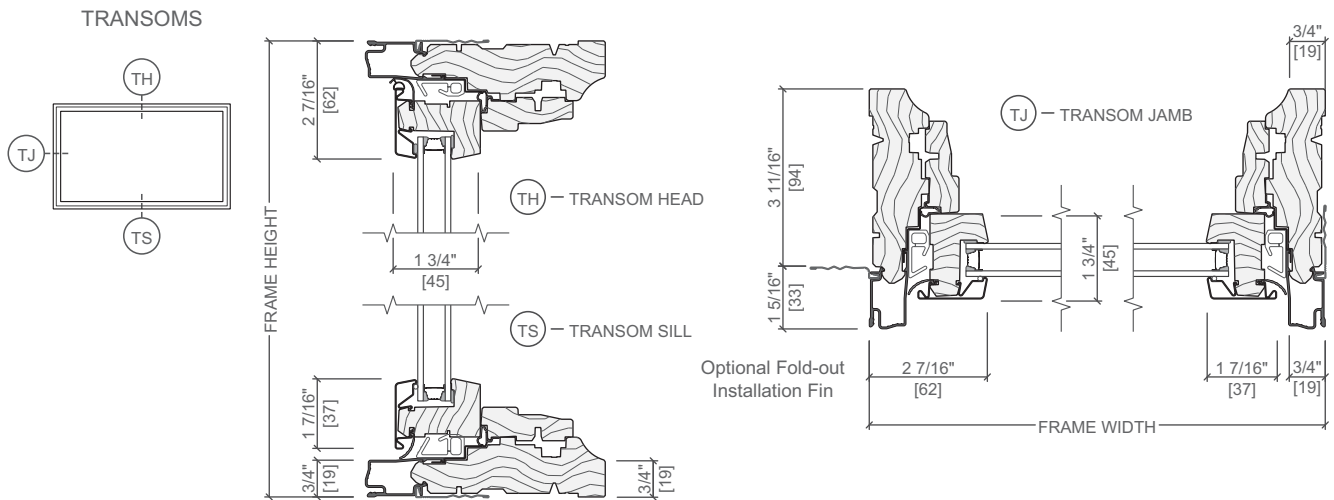
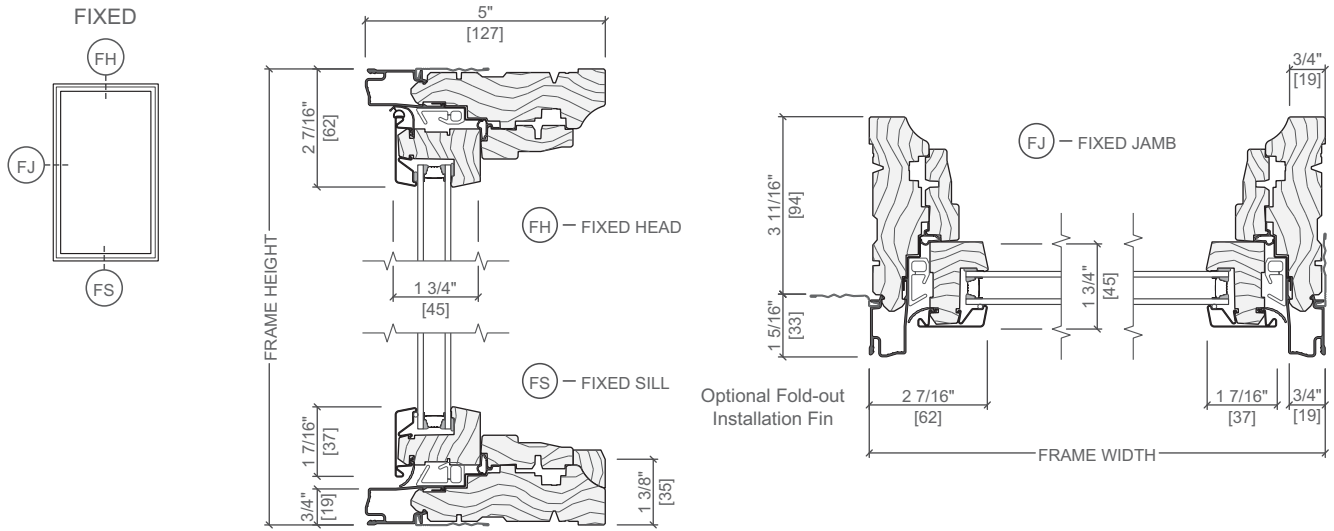
Scale 3" = 1' 0"

All dimensions are approximate.

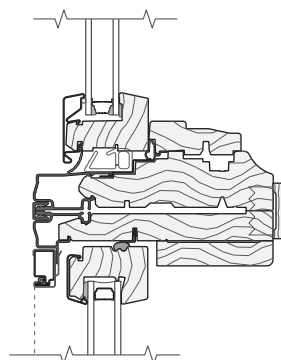


Lifestyle Series Double-Hung

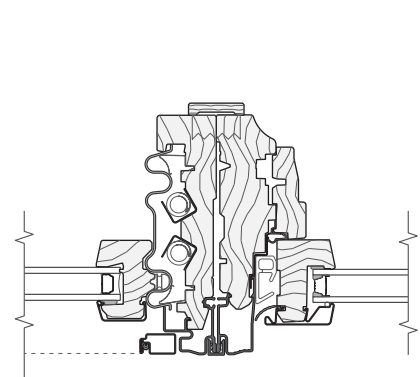
Unit Sections



VERTICAL JOINING MULLION
VENT / VENT



HORIZONTAL JOINING MULLION
TRANSOM / VENT



VERTICAL JOINING MULLION
VENT / FIXED

Scale 3" = 1' 0"

All dimensions are approximate.

See www.Pella.com for mullion limitations and reinforcing requirements.

Urban Elegance with an Economical Point of View

APPENDIX B - OR EQUAL



20 Fulton East Apartments
Grand Rapids, Michigan
ARCHITECT
Pappageorge Haymes Partners, Chicago, Illinois
WINDOW INSTALLER
Vos Glass, Grand Rapids, Michigan
PHOTOGRAPHY
©Bill Gnech / The Apple Group

Sleek, efficient and versatile. FG 501T Window Wall – the first in the MetroView™ Window Wall series – packs the desired aesthetics of a curtain wall into a cost-efficient window wall system. Ideal for mid-rise commercial projects and sophisticated multifamily housing, MetroView™ FG 501T Window Wall delivers the refined design features that are so popular in today's urban and near-urban cityscapes.

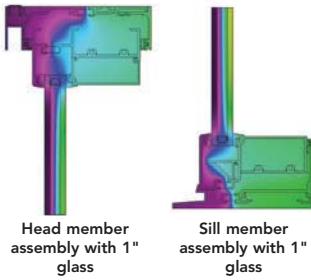
MetroView™ FG 501T Window Wall offers the look of a true curtain wall with a slab-to-slab aluminum frame design. For maximum square footage in interior spaces, FG 501T Window Wall is engineered for shallow horizontal inside glazing with the glass set to the front of the system. Screw spline fabrication and joinery means easy construction and low installation costs. And for designs that put skylines within immediate reach, balcony doors can be easily and seamlessly integrated

into the system. With air and water performance equal to many curtain walls and a range of aesthetic options including slab edge covers for a seamless transition between floors, MetroView™ FG 501T Window Wall offers a beautiful frame for life.

PERFORMANCE

MetroView™ FG 501T Window Wall is an economical solution that does not compromise performance to achieve the true look of a curtain wall. The framing process is as streamlined as its appearance, with simple two-piece receptors designed for efficient installation. Optional outside glazing allows for job-site flexibility.

Thermal simulations showing temperature variations from exterior/cold side to interior/warm side



Additionally, the IsoLock™ thermal break process is used to eliminate expansion and contraction of the polyurethane. Prior to the pouring operation, the aluminum is lanced into the cavity at a predetermined increment. The lanced aluminum creates a positive interlock in the polyurethane before it hardens, eliminating any potential for shrinkage. The mechanical locks, combined with the adhesive bond of the polyurethane to the aluminum, create a composite section used to meet design wind loads.

The system is fully tested according to industry standards, as indicated below:

PERFORMANCE TEST STANDARDS

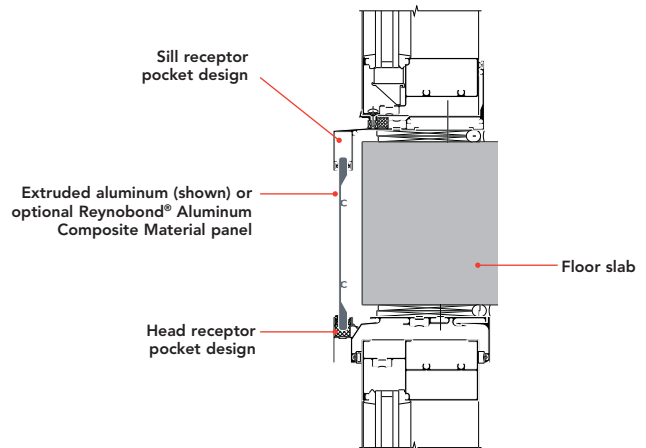
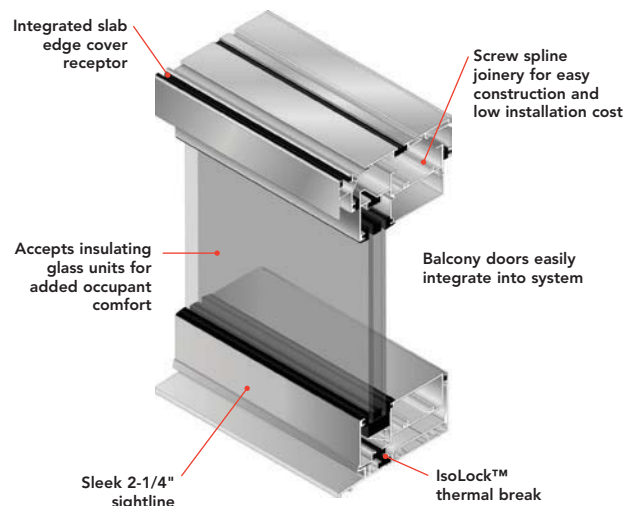
Air Infiltration	ASTM E283, NFRC 400, TAS 202
Water	ASTM E331, ASTM E547, TAS 202
Severe Wind-Driven Rain	AAMA 520
Structural – Uniform Wind Load	ASTM E330, TAS 202
Large Missile Impact	ASTM E1886, ASTM E1996
Acoustical Testing, STC and OITC	AAMA 1801, ASTM E90, ASTM E1425
Thermal Transmittance – U-Factor	NFRC 100, AAMA 1503, AAMA 507
Condensation Resistance (CRF and CR)	AAMA 1503, NFRC 500
Overall Solar Heat Gain (SHGC, VT)	AAMA 507, NFRC 200
Condensation Resistance	AAMA 1503

Thermal performance is enhanced with our IsoLock™ thermal break. The factory-supplied pour and debridge thermal break involves pouring liquid polyurethane into a cavity or thermal pocket, allowing it to harden and then cutting away a small section of aluminum opposite the pour area to fully separate the exterior aluminum from the interior aluminum. This thermal barrier improves the U-factor and condensation resistance and also means there are fewer parts to cut and assemble.

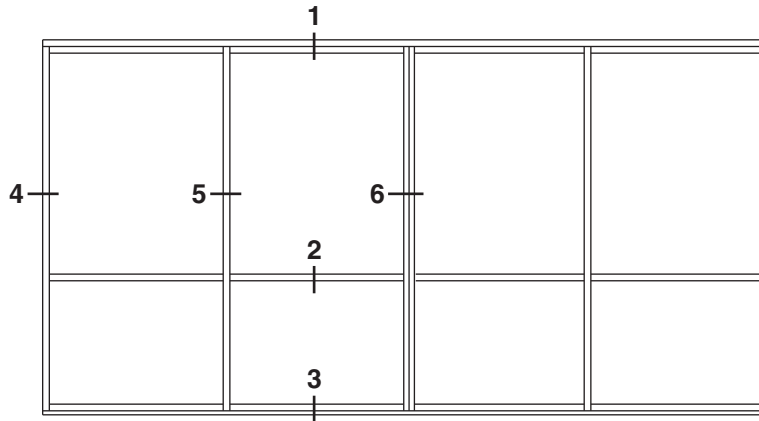
AESTHETICS AND VERSATILITY

It is easy to achieve dramatic floor-to-ceiling views with FG 501T Window Wall. The 2-1/4" sightline and standard 5" depth make it easy to achieve stylish urban aesthetics. For clean design lines, the system features a slab-to-slab application with an integrated slab edge. The system provides an appealing look for any type of application and accommodates single- and multi-punched openings or ribbon windows. Corner members for either 90° or 135° applications increase design flexibility, and expansion verticals can be incorporated as desired for a truly customized application.

Painted finishes in standard and custom choices are available.

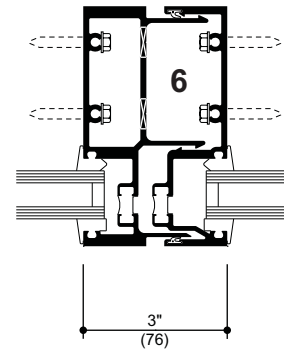
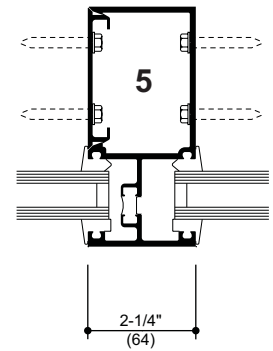
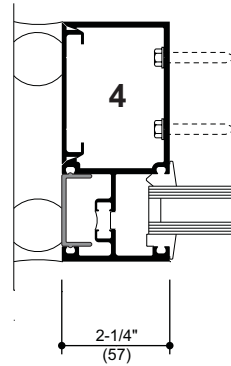
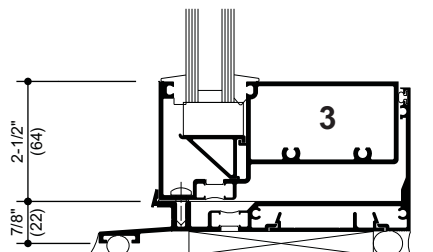
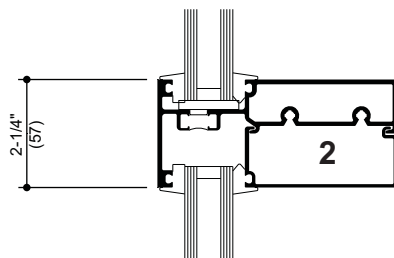
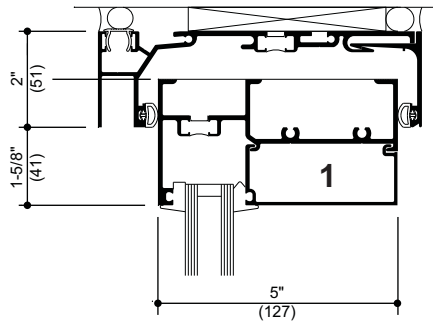


Additional information and CAD details are available at www.kawneer.com



ELEVATION IS NUMBER KEYED TO DETAILS

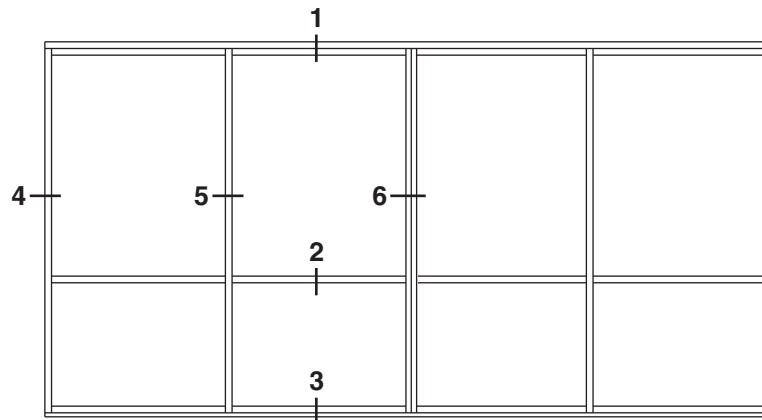
INSIDE GLAZED



Laws and building and safety codes governing the design and use of Kawneer products, such as glazed entrance, window, and curtain wall products, vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

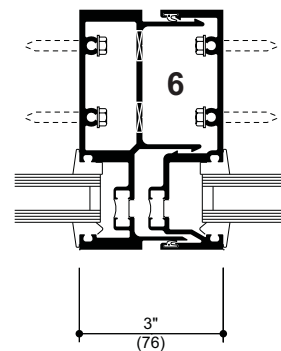
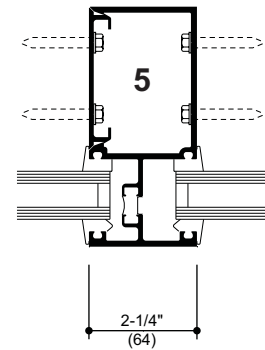
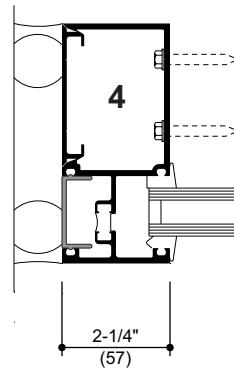
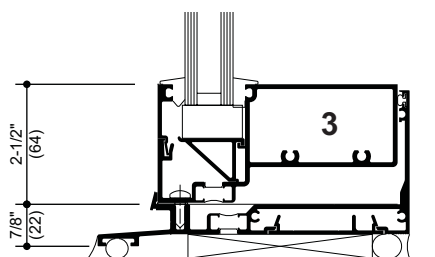
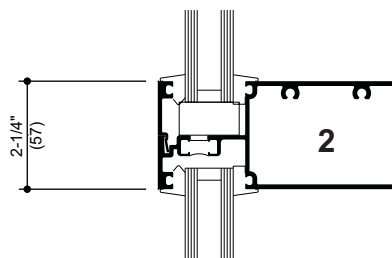
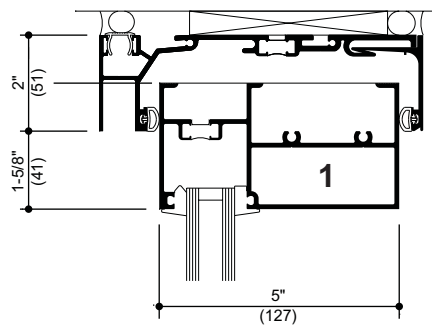
Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
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Additional information and CAD details are available at www.kawneer.com



ELEVATION IS NUMBER KEYED TO DETAILS

OUTSIDE GLAZED



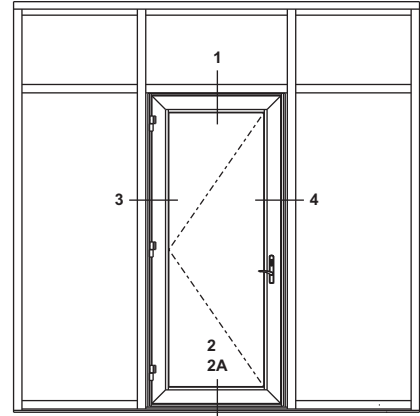
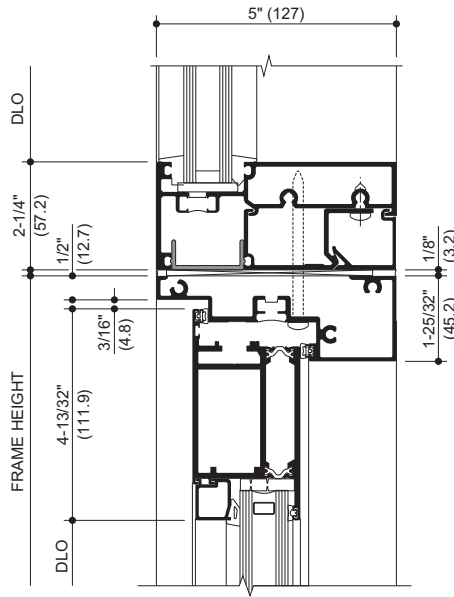
Laws and building and safety codes governing the design and use of Kawneer products, such as glazed entrance, window, and curtain wall products, vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

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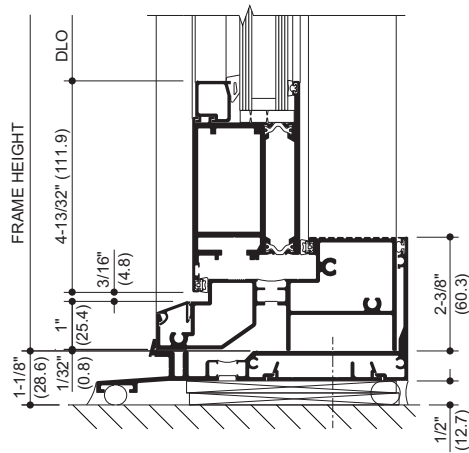
Additional information and CAD details are available at www.kawneer.com

1 HEAD

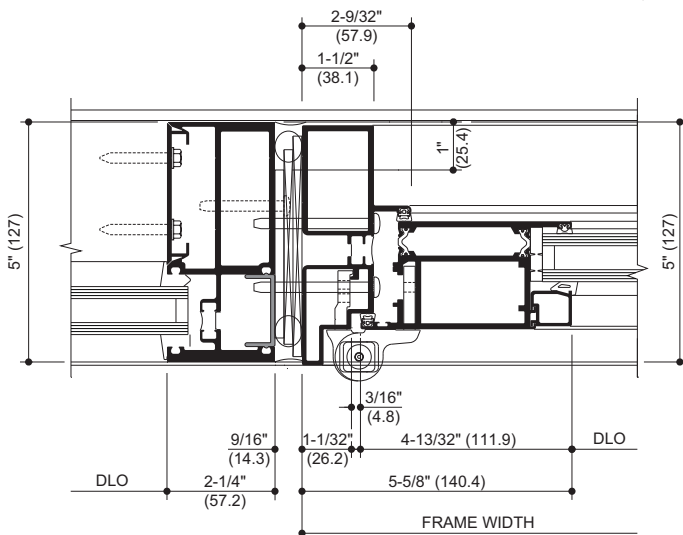
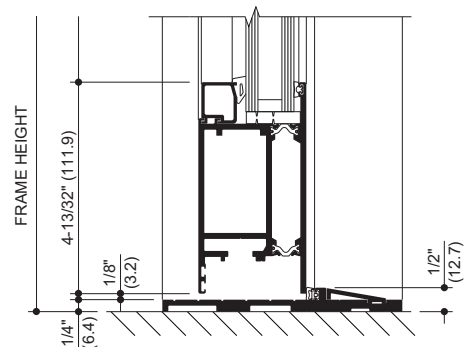


OUTSWING DOORS & FRAME

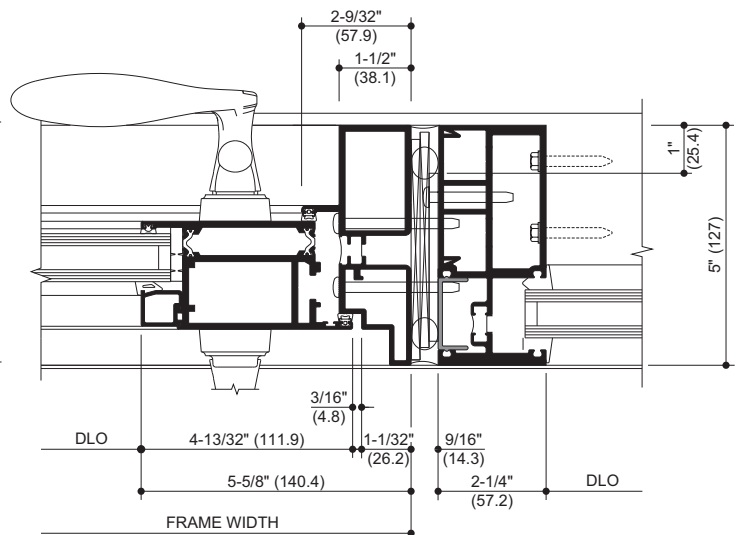
2 THRESHOLD



2 OPTIONAL LOW PROFILE THRESHOLD



3 PIVOT JAMB



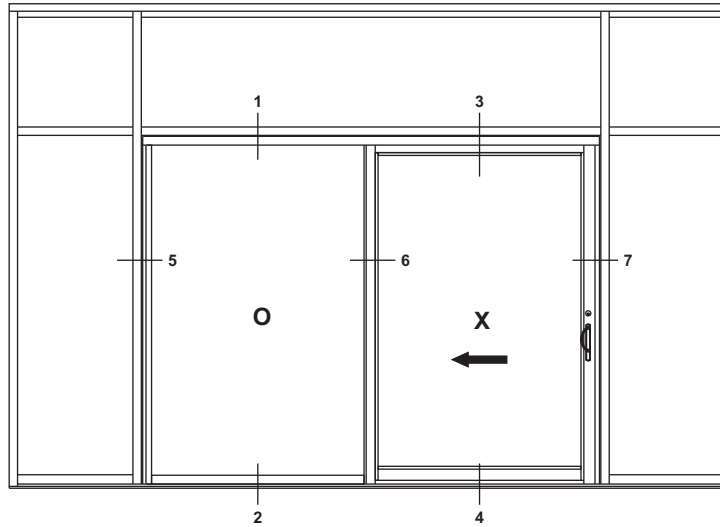
4 LOCK JAMB AT DEADBOLT/LATCHLOCK

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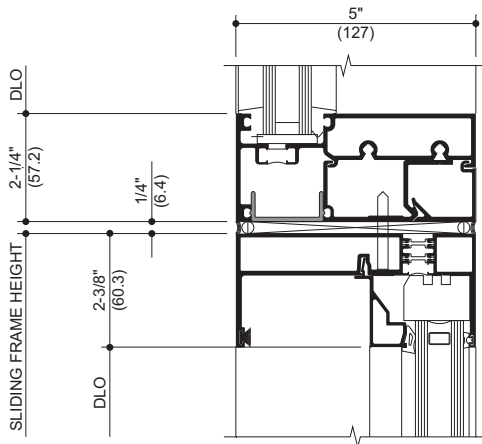
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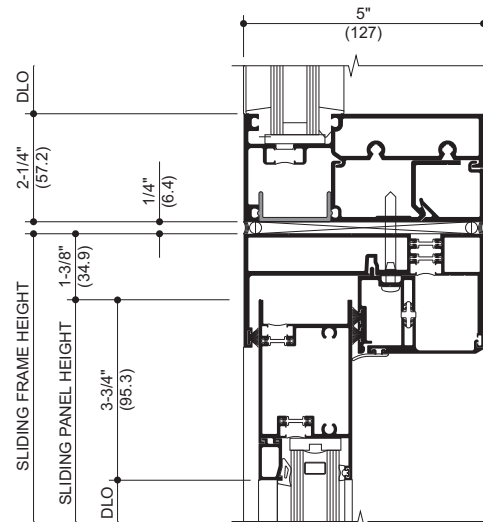
Additional information and CAD details are available at www.kawneer.com



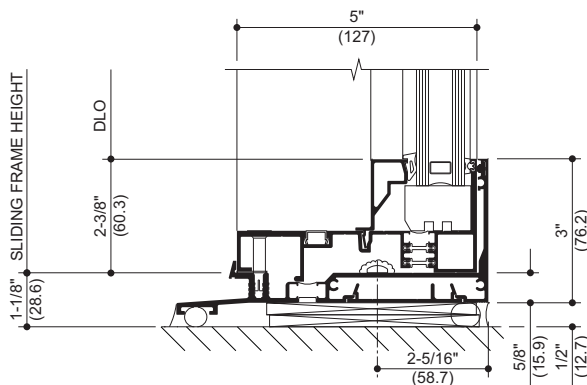
FG 501T WINDOW WALL WITH AA®3200M THERMAL SLIDING DOOR



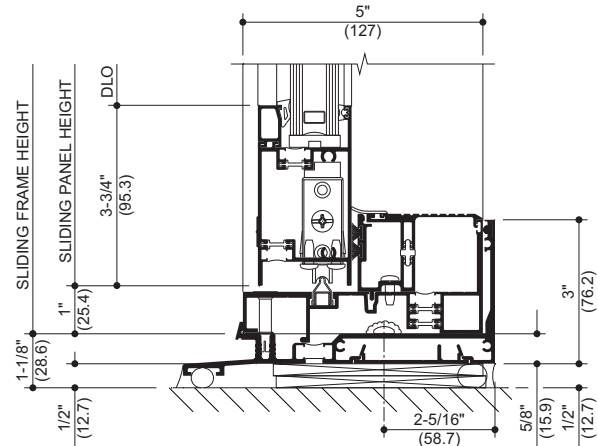
1
HORIZONTAL HEAD
Sliding Door Fixed Panel at Horizontal



3
SLIDING DOOR
Sliding Panel at Horizontal



2
SLIDING DOOR HORIZONTAL SILL
Fixed Panel at Sidelite

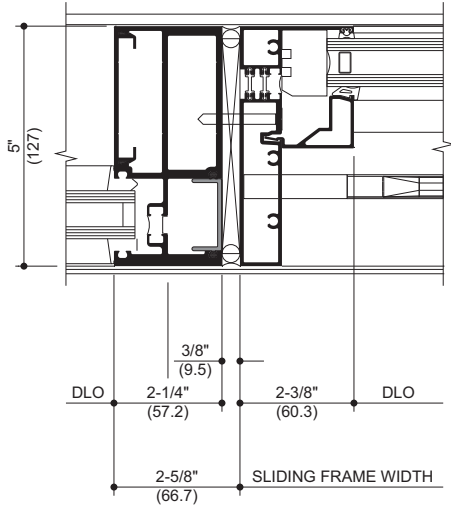


4
SLIDING DOOR HORIZONTAL SILL
Sliding Panel at Sidelite

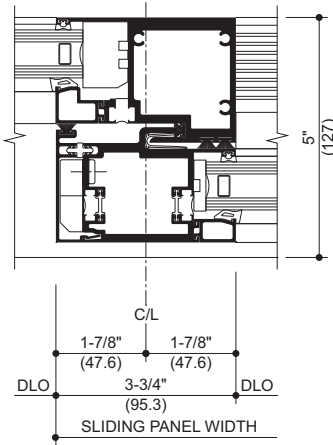
Laws and building and safety codes governing the design and use of Kawneer products, such as glazed entrance, window, and curtain wall products, vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

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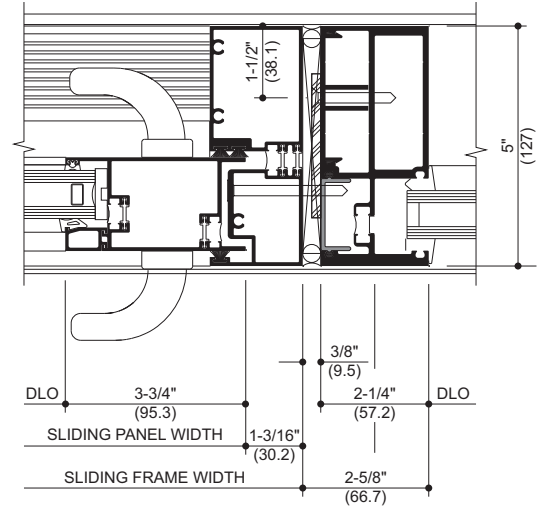
Additional information and CAD details are available at www.kawneer.com



5
SLIDING DOOR HEAVY MULLION
Fixed Panel at Vertical



6
SLIDING DOOR INTERLOCK
Fixed Sliding at Intermediate



7
SLIDING DOOR
Sliding Panel at Intermediate
with Std. "D" Pull

Laws and building and safety codes governing the design and use of Kawneer products, such as glazed entrance, window, and curtain wall products, vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

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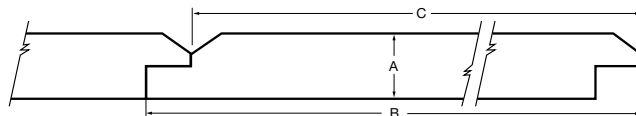
APPENDIX C - OR EQUAL

V-RUSTIC

The V-Rustic profile features a deep "V" groove that creates an appealing shadow line effect.

Smooth Finish

Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 6	11/16"	5-1/2"	5"
1 x 8	11/16"	7-1/2"	7"
1 x 10	11/16"	9-1/2"	9"

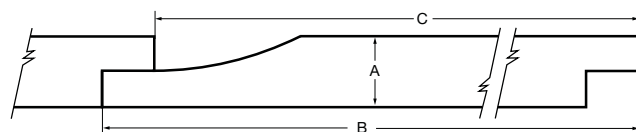


COVE/DUTCH LAP

The Cove/Dutch Lap profile features a subtle curve that creates a unique, eased appearance.

Smooth Finish

Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 6	11/16"	5-1/2"	4-31/32"
1 x 8	11/16"	7-1/4"	6-23/32"
1 x 10	11/16"	9-1/4"	8-23/32"

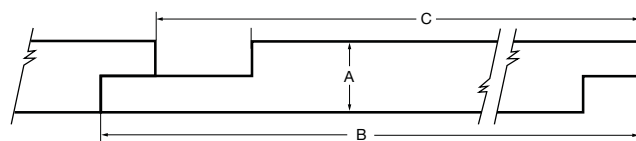


CHANNEL

The Channel profile's wide groove creates a rich shadow line effect.

Smooth Finish

Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 6	11/16"	5-1/2"	4-31/32"
1 x 8	11/16"	7-1/4"	6-23/32"
1 x 10	11/16"	9-1/4"	8-23/32"

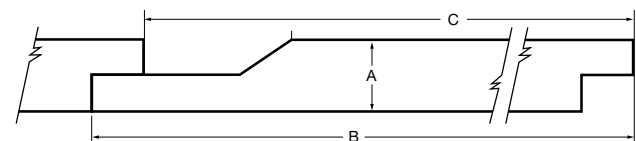


CHANNEL BEVEL

The Channel Bevel profile features a channel-style joint with an angled edge.

Smooth Finish

Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 6	11/16"	5-1/2"	4-31/32"
1 x 8	11/16"	7-1/2"	6-31/32"
1 x 10	11/16"	9-1/2"	8-31/32"



TruExterior Siding comes pre-primed and does require paint.



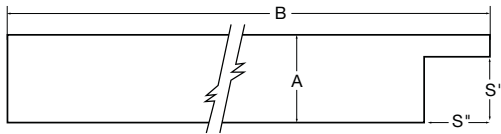
5/8 Trim Sizes		1X Trim Sizes		5/4 Trim Sizes		2X Trim Sizes	
Nominal	Actual	Nominal	Actual	Nominal	Actual	Nominal	Actual
—	—	—	—	—	—	2 x 2	1-1/2" x 1-1/2"
—	—	1 x 3	3/4" x 2-1/2"	5/4 x 3	1" x 2-1/2"	—	—
5/8 x 4	5/8" x 3-1/2"	1 x 4	3/4" x 3-1/2"	5/4 x 4	1" x 3-1/2"	2 x 4	1-1/2" x 3-1/2"
—	—	1 x 5	3/4" x 4-1/2"	5/4 x 5	1" x 4-1/2"	—	—
5/8 x 6	5/8" x 5-1/2"	1 x 6	3/4" x 5-1/2"	5/4 x 6	1" x 5-1/2"	2 x 6	1-1/2 x 5-1/2"
5/8 x 8	5/8" x 7-1/4"	1 x 8	3/4" x 7-1/4"	5/4 x 8	1" x 7-1/4"	2 x 8	1-1/2" x 7-1/4"
5/8 x 10	5/8" x 9-1/4"	1 x 10	3/4" x 9-1/4"	5/4 x 10	1" x 9-1/4"	2 x 10	1-1/2" x 9-1/4"
5/8 x 12	5/8" x 11-1/4"	1 x 12	3/4" x 11-1/4"	5/4 x 12	1" x 11-1/4"	2 x 12	1-1/2" x 11-1/4"

TruExterior® Trim is reversible with woodgrain on one side and a smooth finish on the reverse. Available in a 16' length. **Reversible Smooth/Woodgrain Finish**

*Please see TruExterior® Siding & Trim Limited Warranties and Product Data Sheets for proprietary test results, located at TruExterior.com.



Nominal Size	Actual Thickness (A)	Actual Width (B)	Siding Pocket (S' x S'')
5/4 x 3	1"	2-1/2"	3/4" x 3/4"
5/4 x 4	1"	3-1/2"	3/4" x 3/4"
5/4 x 5	1"	4-1/2"	3/4" x 3/4"
5/4 x 6	1"	5-1/2"	3/4" x 3/4"
5/4 x 8	1"	7-1/4"	3/4" x 3/4"



SIDING POCKET RABBETED TRIM

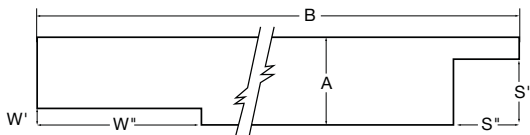
Perfect for end wall terminations, this trim with a 3/4" siding pocket accepts all TruExterior® Siding profiles.

Available Finishes:

- Smooth
- Woodgrain



Nominal Size	Actual Thickness (A)	Actual Width (B)	Window Pocket (W' x W'')	Siding Pocket (S' x S'')
5/4 x 4	1"	3-1/2"	3/16" x 1-7/8"	3/4" x 3/4"
5/4 x 6	1"	5-1/2"	3/16" x 1-7/8"	3/4" x 3/4"
5/4 x 8	1"	7-1/4"	3/16" x 1-7/8"	3/4" x 3/4"

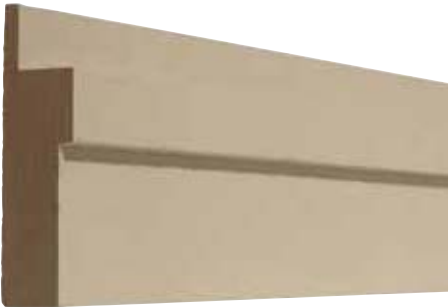


WINDOW AND SIDING POCKET RABBETED TRIM

The ultimate accessory to build a neat, professional-looking window surround.

Available Finishes:

- Smooth
- Woodgrain



TruExterior® Siding & Trim Reference Guide

SUSTAINABILITY

The sustainable properties of TruExterior® Siding & Trim are a result of a combination of proprietary polymer chemistry and highly refined, recovered coal combustion products (fly ash), which are endorsed by the U.S. Green Building Council (USGBC) for use in construction materials.

- Contains a minimum of 70% recycled content—verified by SCS Global Services







CODE LISTINGS


TruExterior® Siding & Trim have undergone rigorous internal and third-party testing to provide building officials, architects, contractors, specifiers, designers and others with reliable, high-performing products.

- PEI Evaluation Service Report ESR-14090—Trim and Beadboard
- PEI Evaluation Service Report ESR-13069—Siding
- ICC-ES Evaluation Report ESR-3597 verifies that TruExterior® Siding meets code requirements
- California's Wildland-Urban Interface (WUI) listed
- Florida Product Approval FL17285
- Texas Department of Insurance (TDI) EC-92


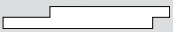
PROJECT ESTIMATOR

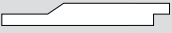
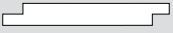
V-Rustic		Cove/Dutch Lap	
			
Nominal	Boards per square	Nominal	Boards per square
	16' Length		16' Length
1 x 6	15	1 x 6	15
1 x 8	11	1 x 8	12
1 x 10	9	1 x 10	9

Channel		Channel Bevel	
			
Nominal	Boards per square	Nominal	Boards per square
	16' Length		16' Length
1 x 6	15	1 x 6	15
1 x 8	12	1 x 8	11
1 x 10	9	1 x 10	9


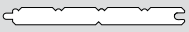
Reversible Shiplap-Nickel Gap	
	
1.75	Boards per square
	16' Length
1 x 4	24
1 x 6	15
1 x 8	11
1 x 10	9

Craftsman Collection™ Siding

V-Rustic		Cove/Dutch Lap		Channel	
					
Nominal	Actual	Nominal	Actual	Nominal	Actual
1 x 6	11/16" x 5-1/2"	1 x 6	11/16" x 5-1/2"	1 x 6	11/16" x 5-1/2"
1 x 8	11/16" x 7-1/2"	1 x 8	11/16" x 7-1/4"	1 x 8	11/16" x 7-1/4"
1 x 10	11/16" x 9-1/2"	1 x 10	11/16" x 9-1/4"	1 x 10	11/16" x 9-1/4"

Channel Bevel		Reversible Shiplap-Nickel Gap	
			
Nominal	Actual	Nominal	Actual
1 x 6	11/16" x 5-1/2"	1 x 4	11/16" x 3-1/2"
1 x 8	11/16" x 7-1/2"	1 x 6	11/16" x 5-1/2"
1 x 10	11/16" x 9-1/2"	1 x 8	11/16" x 7-1/4"
		1 x 10	11/16" x 9-1/4"





Beadboard

Single		Double	
			
Nominal Size	Actual	Nominal	Actual
5/8 x 4	5/8" x 3-1/2"	5/8 x 8	5/8" x 6-9/16"
5/8 x 6	5/8" x 5-5/16"	5/8 x 12	5/8" x 10-1/4"

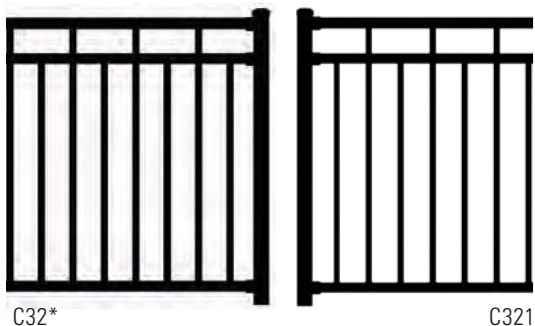
Trim

5/8 Trim Sizes		1X Trim Sizes		5/4 Trim Sizes		2X Trim Sizes	
Nominal	Actual	Nominal	Actual	Nominal	Actual	Nominal	Actual
—	—	—	—	—	—	2 x 2	1-1/2" x 1-1/2"
—	—	1 x 3	3/4" x 2-1/2"	5/4 x 3	1" x 2-1/2"	—	—
5/8 x 4	5/8" x 3-1/2"	1 x 4	3/4" x 3-1/2"	5/4 x 4	1" x 3-1/2"	2 x 4	1-1/2" x 3-1/2"
—	—	1 x 5	3/4" x 4-1/2"	5/4 x 5	1" x 4-1/2"	—	—
5/8 x 6	5/8" x 5-1/2"	1 x 6	3/4" x 5-1/2"	5/4 x 6	1" x 5-1/2"	2 x 6	1-1/2" x 5-1/2"
5/8 x 8	5/8" x 7-1/4"	1 x 8	3/4" x 7-1/4"	5/4 x 8	1" x 7-1/4"	2 x 8	1-1/2" x 7-1/4"
5/8 x 10	5/8" x 9-1/4"	1 x 10	3/4" x 9-1/4"	5/4 x 10	1" x 9-1/4"	2 x 10	1-1/2" x 9-1/4"
5/8 x 12	5/8" x 11-1/4"	1 x 12	3/4" x 11-1/4"	5/4 x 12	1" x 11-1/4"	2 x 12	1-1/2" x 11-1/4"

Accessories

Skirt Board		Window Pocket Rabbeted Trim		Siding Pocket Rabbeted Trim		Window and Siding Pocket Rabbeted Trim	
							
Nominal	Actual	Nominal	Actual	Nominal	Actual	Nominal	Actual
1 x 6	3/4" x 5-1/2"	5/4 x 4	1" x 3-1/2"	5/4 x 3	1" x 2-1/2"	5/4 x 4	1" x 3-1/2"
1 x 8	3/4" x 7-1/4"	5/4 x 6	1" x 5-1/2"	5/4 x 4	1" x 3-1/2"	5/4 x 6	1" x 5-1/2"
5/4 x 6	1" x 5-1/2"	5/4 x 8	1" x 7-1/4"	5/4 x 5	1" x 4-1/2"	5/4 x 8	1" x 7-1/4"
5/4 x 8	1" x 7-1/4"			5/4 x 6	1" x 5-1/2"		
				5/4 x 8	1" x 7-1/4"		

Note: All TruExterior® Siding, Trim, Beadboard and Accessory products are available in standard 16' length.



SPECIFICATIONS

- Railing Heights: ~~36", 42"~~
- Railing Lengths: ~~4', 5', 6', 7', 8'~~
- Stair Rail Lengths: ~~4', 5', 6', 7', 8'~~
- C32 Baluster: 3/4" x 3/4" x (.045" wall)
- C321 Baluster: 3/4" Round (.050" wall)
- Baluster Spacing: 3.875", 3.625" Stairs
- Stylish Top Rail: 1-3/4" w (.090") x 1-3/8" t (.085")
- Mid Rail: 1-3/4" w (.070") x 1-1/4" t (.070")
- Bottom Rail: 1-3/4" w (.090") x 1-1/4" t (.120")
- Vinyl Insert Baluster Retainer (Top, Mid and Bottom Rails)
- Bottom Rail Support: 5', 6', 7', 8'
- Adjustable Gates: 36"W, 48"W, and 60"W Openings

NOTE: Baluster end spacing may vary by length.

All sections do not come out even on each end as shown above.



Top Rail Profile



Mid Rail Profile



Bottom Rail Profile

Riviera II

Styles C32* & C321

The Riviera II Series embraces a proud statement by taking the ordinary to the extraordinary. The look and feel of every other Baluster in the top section compliments the full balusters below.



D Style: C32
Color: Gloss White

CCRR-0163 complies with IBC, IRC, and FBC



*For 4' through 6' Sections

*For Stair Rail Racking Information visit our website.

COLOR TBD

Colors

Standard Colors & Custom Colors

Westbury® Aluminum Railing is offered in a variety of colors and textures to compliment your home. Our 12 standard colors include satin, textured and multi-color finishes. Westbury® Aluminum Railing is also available in custom colors to meet your design vision, the possibilities are endless.

Powder Coating



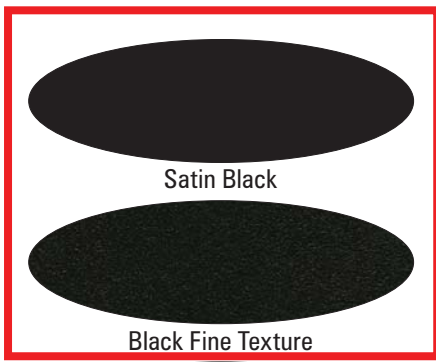
Verified AAMA 2604 Compliant Powder Coating

AAMA 2604 & AAMA 2605

DSI uses AAMA 2604 rated powder coating on all Westbury® Aluminum Railing. Our PCI-4000 Certified Powder Coating process offers an uncompromising quality created by state-of-the-art technology. AAMA 2605 Powder Coating is also available as an option for your Westbury® Aluminum Railing.



A Style: C10
Color: Black Fine Texture
With Level Crossover Post



Satin Black

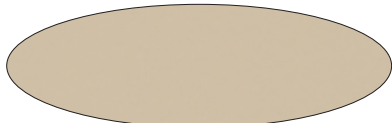
Black Fine Texture



Ninety Bronze



Bronze Fine Texture



Gloss Beige



Gloss White



White Fine Texture



Clay



Speckled Walnut



Sandy Shore



Chocolate



Silver

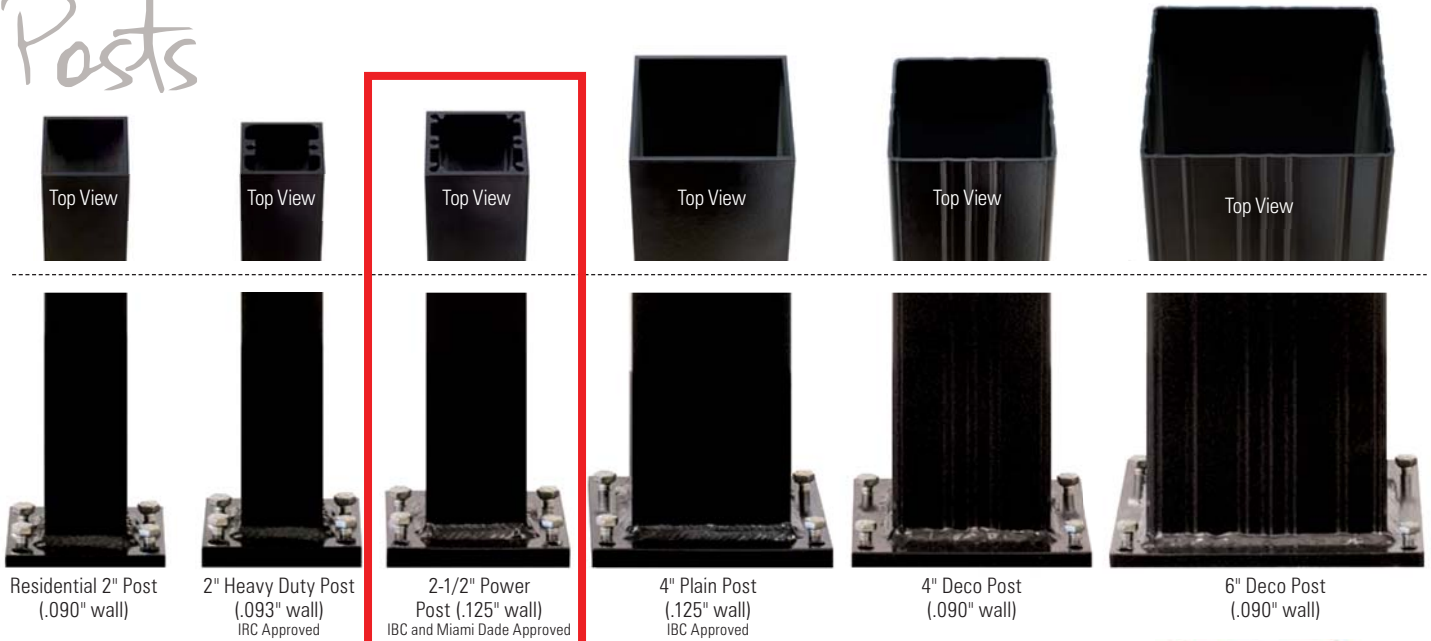
Colors shown are a close representation of the true color. Please consult actual samples for accurate powder coating colors.

Accessories

Brackets, Posts, Caps, & Flairs

Westbury® Accessories add the finishing touch to your masterpiece. A variety of post sizes and wall thicknesses add strength to your railing. The combination of mounts and crossover options provides you with the ability to adapt Westbury® railing to your needs. Optional post caps finished off by the convenience of a 2-piece post flair creates a variety of looks.

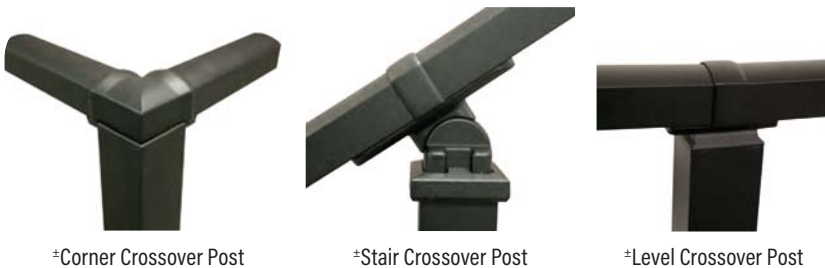
Posts



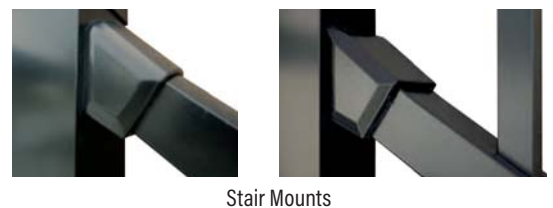
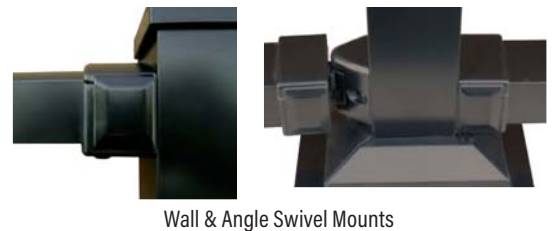
Testing Results - CCRR-0163 complies with IBC, IRC, and FBC. Note: Please check with local code authorities for requirements.



Crossovers



Mounts



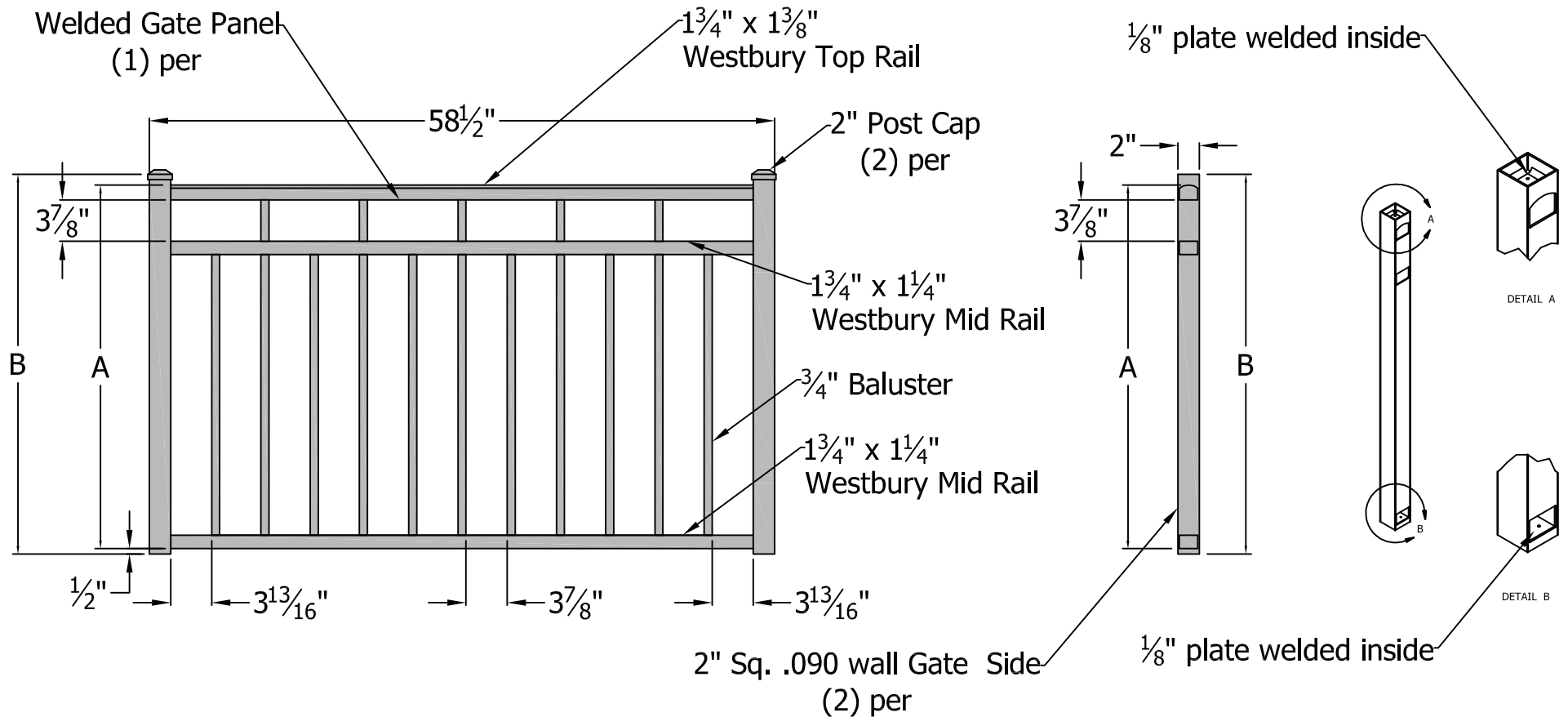
Accessories



Patent No. 8,998,175±

Nominal Rail Height	Baluster Style	Part #	A	B
36"	Square	73318	34"	35½"
36"	Round	73332	34"	35½"
42"	Square	73319	40"	41½"
42"	Round	73333	40"	41½"

PART NUMBER:		
REV.	REVISION	DATE
A	RELEASE PENDING APPROVAL	
B	Reduced bottom rail height from 8" to 3"	03/29/2016



APPROVED BY:

DATE APPROVED:

FINISH:



3446 US 6 EAST
Bremen, IN 46506

SHEET SIZE= C	DRAWN BY: CM	PART NUMBER or STYLE: C32_C321 Gate 60in Wide	
SCALE = 1":1"	DATE DRAWN: 02-18-2016	Quote requested by:	
STANDARD TOLERANCE: .00 ±.01 FRACTIONS: .000 ±.005 ANG. ±.5° ±T8	LOC: Z:\Aluminum\Westbury\C30 Riviera\C32 Riviera\Gates	PART NAME: Gate	SHEET OF B
FIRST USED ON:	DRAFT: 20160218-12C		

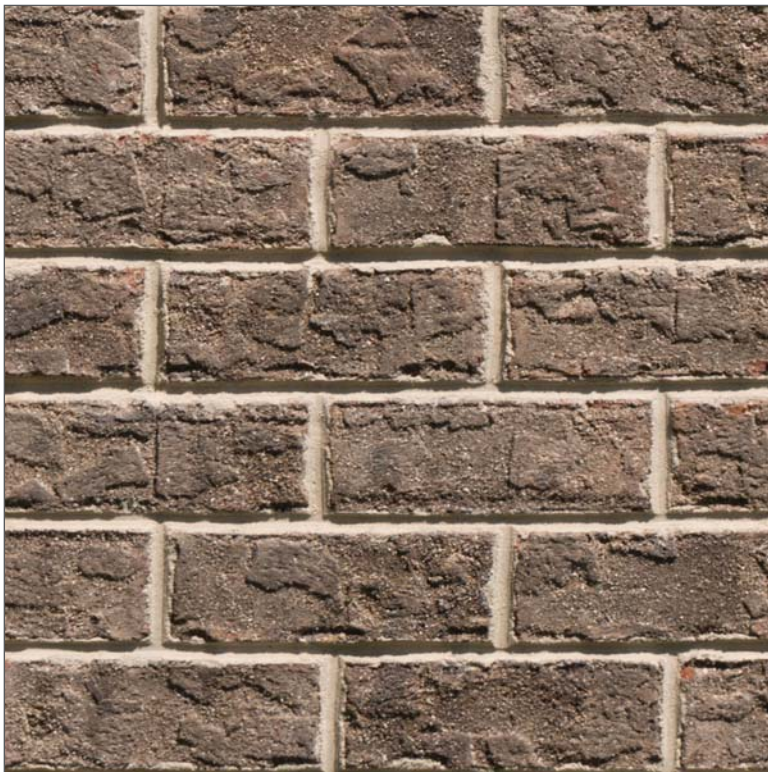


TRIANGLE BRICK
MAKING QUALITY AFFORDABLE

MAKING QUALITY AFFORDABLE

APPENDIX E - OR EQUAL

CHESAPEAKE GREY



Hearthside comfort.

Evoking colors from the ashy embers of a dying fire, our Chesapeake Grey brick features beautiful shades of smoky gray, brown and dark charcoal.

This richly-textured and tumbled brick is classified under our Select product tier, providing customers with the highest-quality brick possible.

Add an elegant, understated touch to your building project with exterior cladding that's truly superior to the competition — choose Chesapeake Grey from Triangle Brick Company.

Looking for this color palette with a more refined texture? Try our Bessemer Grey brick.

Photography is intended to show the general appearance of the brick color.

BRICK SPECIFICATIONS

BRICK SIZE	DIMENSIONS INCHES (H x W x L)	NUMBER OF BRICK PER CUBE	APPROX DRY WEIGHT (each)	APPROX # PER SQ.FT.
FACE BRICK				
ENGINEER	2 ³ / ₄ x 3 ⁹ / ₁₆ x 7 ⁵ / ₈	410	4.7 lbs.	5.75

Complies with ASTM C-216, Grade SW, Type FBS. All brick are pre-blended then packaged using our Half Pack™ Technology.

1.800.672.8547

trianglebrick.com

MSZ-FS18NA & MUZ-FS18NAH
18,000 BTU/H DELUXE WALL MOUNT
18,000 BTU/H HYPER-HEATING OUTDOOR UNIT W/BASE PAN HEATER



Job Name:

System Reference:

Date:

APPENDIX F - OR EQUAL



Indoor Unit.....MSZ-FS18NA

Outdoor Unit.....MUZ-FS18NAH

INDOOR UNIT FEATURES

- Slim wall-mounted indoor units provide zone comfort control
- Dual Barrier Coating applied to the heat exchanger, vanes and fan to prevent hydrophilic and hydrophobic dirt build-up
- Multiple fan speed options: Quiet, Low, Medium, High, Super-high, Auto
- 3D i-see Sensor® enables advance features:
 - Indirect or Direct Airflow for personalized comfort
 - Absence Detection for energy-saving mode
 - Double Vane features:
 - Separates airflow to deliver air across a large area
 - Simultaneously deliver to air separate sections of a room
 - Generates more comfortable natural airflow pattern
- Multiple control options available:
 - Back-lit screen handheld remote controller (provided with unit)
 - kumo cloud® smart device app for remote access
 - Third-party interface options
 - Wired or wireless controllers
- Triple-action Filtration: Nano Platinum Filter, Deodorizing Filter, & Electrostatic Anti-Allergy Enzyme Filter
- Hot-Start Technology: no cold air rush at equipment startup or when restarting after Defrost Cycle
- Quiet operation

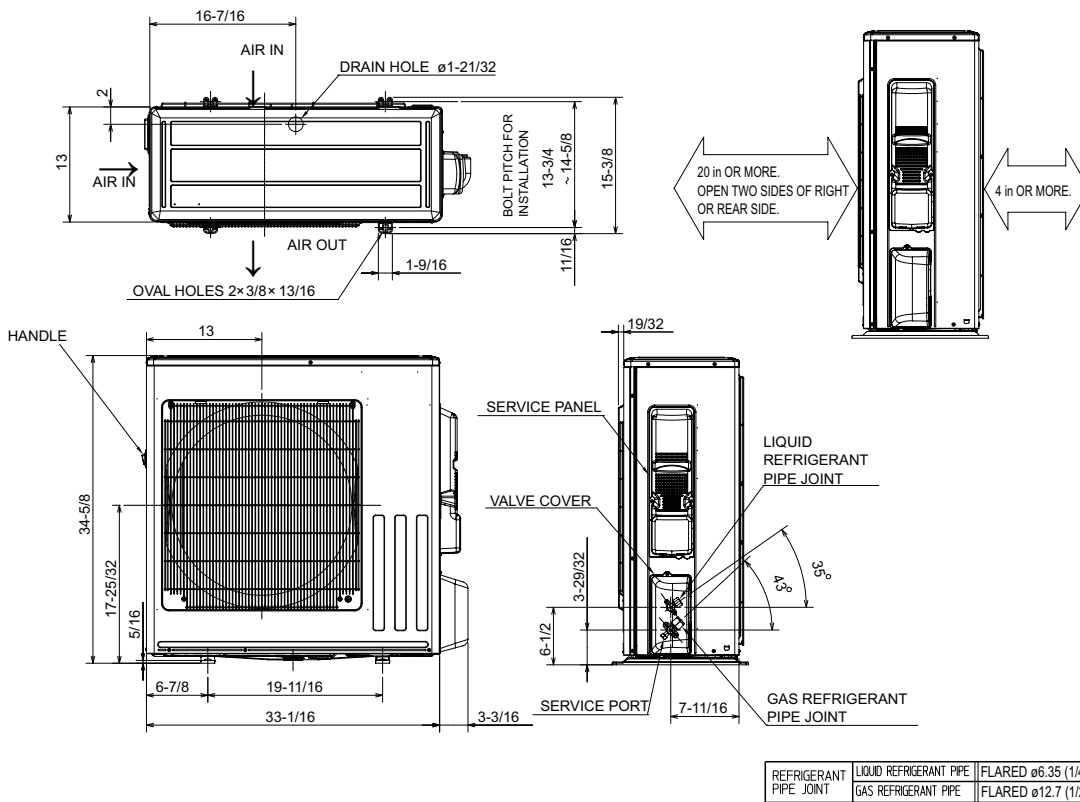
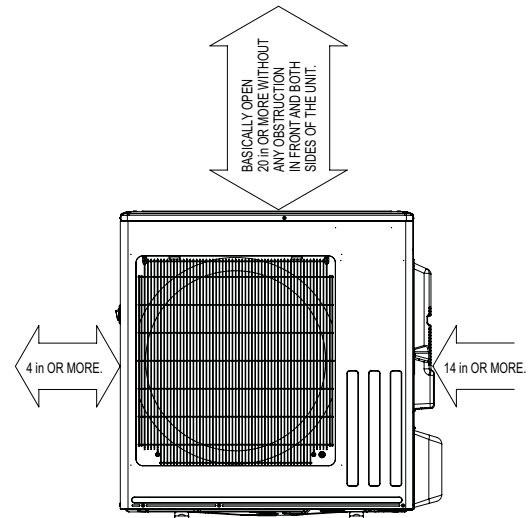
OUTDOOR UNIT FEATURES

- INVERTER-driven compressor and LEV provide high efficiency and comfort while using only the energy needed to maintain maximum performance
- H2i plus™ performance offers 100% heating capacity at -5° and 70% to 81% heating capacity at -13° F
- Blue Fin anti-corrosion treatment applied to the outdoor unit heat exchanger for increased coil protection and longer life
- Built-in base pan heater

OUTDOOR UNIT DIMENSIONS: MUZ-FS18NAH

Unit: inch

REQUIRED SPACE



1340 Satellite Boulevard Suwanee, GA 30024
Toll Free: 800-433-4822 www.mehvac.com

FORM# MSZ-FS18NA-U1 & MUZ-FS18NAH-U1 - 202103

