

**Supporting Statement for Conditional Use Permit
for The Parkington Residence
92 Dennett Street, Portsmouth NH**

January 28,2020

*Planning Board
1 Junkins Avenue, 3rd floor
Portsmouth, NH 03801*

Dear Members of the Planning Board,

I, Brayden Tucher of Tuscher Design Group, am acting on behalf of James and Mallory Parkington, the owners of a Single Family Residence located at 592 Dennett Street in Portsmouth NH, to design a new attached two car garage with an Accessory Dwelling Unit above. This supporting statement is referencing the site and building plans generated by Tuscher Design Group for the referenced project dated January 28, 2020 and submitted as supporting documentation with the Land Use application.

It is our belief that the proposed plans for this project meet all of the requirements set by the City of Portsmouth Zoning Ordinance as amended March 04, 2019 with some modifications and clarifications as follows:

Parking Modification Request

- A request is being made for modifications to the required number of parking spaces as allowed by the board per Article 8 section 10.814.70. Per Article 11 section 10.1112.311 this proposed use is required to have 3 parking spaces. The current arrangement as illustrated on sheet A1 of the submitted plans shows space for 3 parking spaces albeit all of which are on City property. The proposed plan actually reduces the paved driveway area on City property and allows for two compliant off street parking spaces *within* the new garage. The submitted proposed plans clearly illustrate ample room for additional parking in the new driveway, however those spaces would be on City property and thereby it is acknowledge that they are not compliant and therefore cannot be counted towards the required number. It is also worth noting that parking on Whipple street by the general public is a common occurrence. With all of of these factors combined it is our belief that this project warrants this modification request.

General Conditions

As illustrated in the submitted drawings this proposed plan meets all general aesthetic and neighborhood characteristics. The principal dwelling unit and proposed ADU ownership will remain with the Parkingtons. The Parkingtons will remain living in the primary dwelling unit. The main intent of the ADU is for a possible tenant space but more immediately as a place for friends and extended family to stay. There will be no other business related activity on the premises. The garage will be for vehicle storage only - no mechanical work or other loud activities will be taking place. Furthermore, the proposed structure itself will be built to exceed current energy code and as a result will also do an above average job of sound attenuation - thereby reducing the possibility of any occupant activities generating excessive noise or disturbances to adjacent properties. The proposed location of the driveway and its relationship to the garage entrance are such that there will be no adverse effect on traffic patterns, line of sight or congestion.

This project was granted dimensional relief relating to the 4'-0" setback as illustrated on sheet A5 by the Zoning Board of Adjustment on January 22, 2020.

It is our hope that you agree with our findings and approve this project for permitting. Thank you in advance

Sincerely,



Brayden Tuscher
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(603) 583-6469

PROPOSED PLANS FOR THE PARKINGTON RESIDENCE



GENERAL NOTES

- 1) THESE PLANS ARE INTENDED FOR TOWN APPROVALS & CONTRACTOR PRICING ONLY
****NOT FOR CONSTRUCTION****
- 2) GENERAL PROJECT NOTES:
 - A) A NEW 2 CAR GARAGE ATTACHED VIA A NEW CONDITIONED ENTRANCEWAY
 - B) A NEW ACCESSORY DWELLING UNIT (ADU) ABOVE GARAGE
 - C) MINOR PORTIONS OF EXISTING STRUCTURE TO BE REMOVED
 - D) A REQUEST FOR MODIFICATIONS TO THE NUMBER OF PARKING SPACES IS BEING MADE TO THE PLANNING BOARD PER ARTICLE 8 SECTION 10.814.10 VIA THESE PLANS AND SUPPORTING WRITTEN STATEMENT PROVIDED WITH THE OWNERS APPLICATION.
- 3) DIMENSIONS:
 - A) ALL EXTERIOR DIMENSIONS PULLED FROM EXTERIOR FACE OF FOUNDATION WALL TO CENTERLINE OF DOORS & WINDOWS, U.N.O.
 - B) ALL INTERIOR DIMENSIONS PULLED FROM INTERIOR FACE OF WALL FRAMING MATERIAL
 - C) ALL STRUCTURAL DIMENSIONS PULLED FROM EXTERIOR FACE OF FOUNDATION WALL TO CENTERLINE OF REFERENCED STRUCTURAL MEMBER, U.N.O.
- 4) ALL INTERIOR WALLS ARE TO BE 2X4 STUDS @ 16" O.C. WITH 1/2" GWB FINISH. ALL BATHROOM WALLS TO MRGW. ALL GARGE WALLS & CEILINGS COMMON TO THE PRIMARY STRUCTURE & THE ADU ARE TO BE FINISHED W/ 5/8" TYPE-X GWB.

- 5) ALL EXTERIOR WALLS TO BE PER PLAN AND DETAILS
- 6) ALL EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET W/ THE CLEAR OPENING HEIGHT A MIN OF 24" & CLEAR OPENING WIDTH A MIN OF 20". ALL EGRESS WINDOW SILLS SHALL BE SET NO MORE THAN 44" A.F.F.
- 7) STAIR & RAILING REQUIREMENTS:
 - ALL RISERS TO BE CLOSED WITH A MAX HEIGHT OF 1-3/4"
 - ALL TREADS TO BE A MAX WIDTH OF 10"
 - TOP OF RAILING @ 34" A.F.F. & TO BE A MIN OF 1-1/2" IN DIAMETER & SET 1-1/2" FROM WALL
 - ALL BALUSTERS TO BE SPACED SO AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE
- 8) ENERGY PERFORMANCE:
 - ALL WINDOWS TO HAVE A MAX U-VALUE OF 0.32
 - ALL EXTERIOR DOORS TO HAVE A MAX U-VALUE OF 0.32
 - ALL EXTERIOR WALLS TO BE R-20 OR BETTER
 - ALL FLAT CEILINGS TO BE A MIN OF R-46
 - ALL SLOPED CEILINGS TO BE A MIN OF R-46
 - ROOF INSULATION TO EXTEND OVER TOP PLATES
 - FLOOR R-VALUE TO BE R-36

DRAWING INDEX

ARCHITECTURAL

A0	COVER SHEET
A1	EXISTING SITE PLAN
A2	EXISTING FLOOR PLAN
A3	EXISTING BUILDING ELEVATIONS
A4	EXISTING SITE PHOTOGRAPHS
A5	PROPOSED SITE PLAN
A6	PROPOSED FIRST FLOOR PLAN
A7	PROPOSED ADU FLOOR PLAN & BUILDING SECTIONS
A8	PROPOSED BUILDING ELEVATIONS & FACADE DETAIL

GENERAL NOTES:

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PROJECT INFO:

THE
PARKINGTON
RESIDENCE
592 DENNETT ST
PORTSMOUTH, NH

SHEET TITLE:

COVER
SHEET

PROJECT STATUS:
PERMITTING

DATE: 01/28/2020
SCALE:
SHEET NUMBER:

A0

GENERAL NOTES:

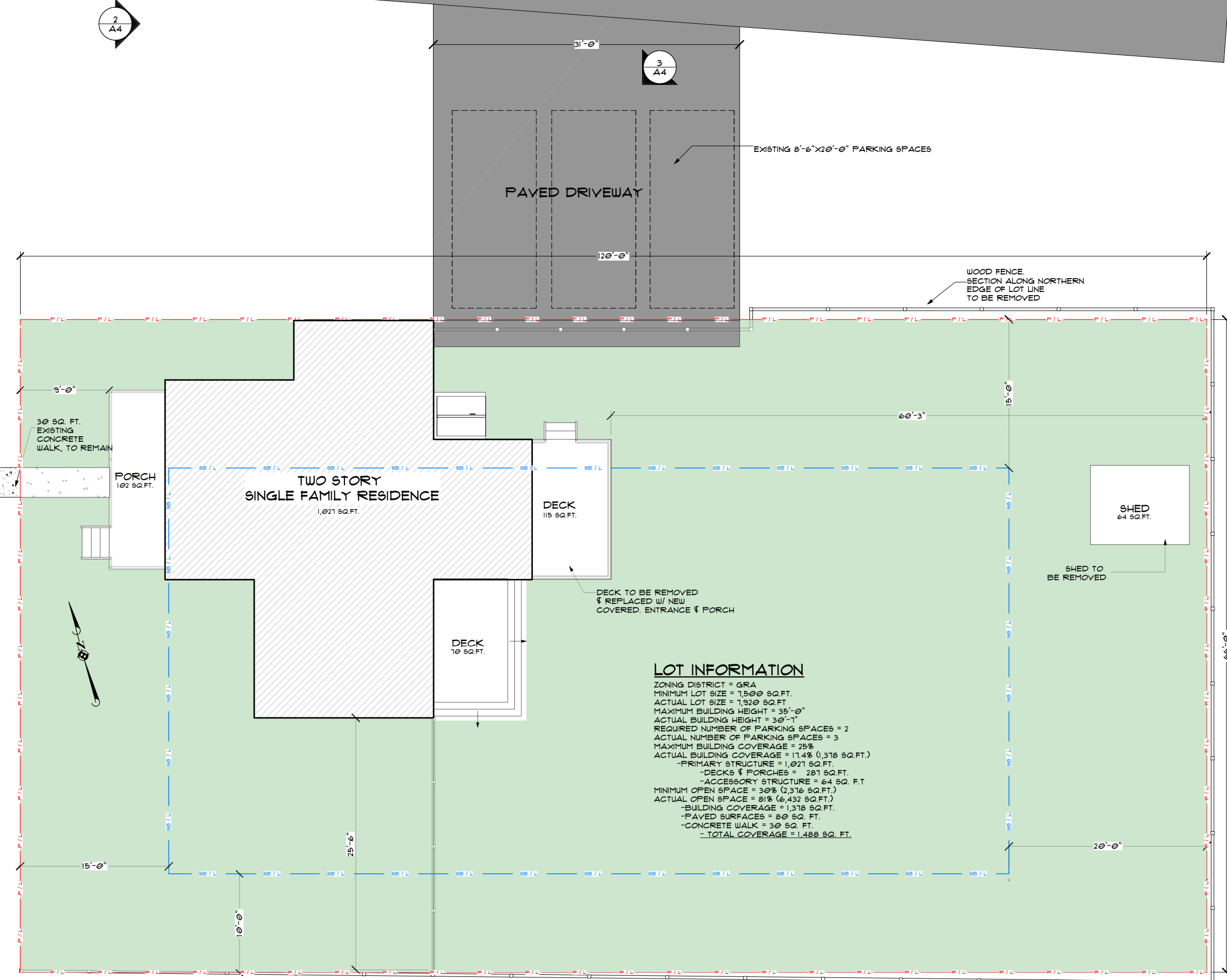
1
A4

2
A4

3
A4

WHIPPLE STREET

DENNETT STREET



**TWO STORY
SINGLE FAMILY RESIDENCE**
1,021 SQ.FT.

PORCH
102 SQ.FT.

DECK
115 SQ.FT.

DECK
10 SQ.FT.

SHED
64 SQ.FT.

DECK TO BE REMOVED
& REPLACED W/ NEW
COVERED. ENTRANCE & PORCH

SHED TO BE REMOVED

LOT INFORMATION

ZONING DISTRICT = GRA
 MINIMUM LOT SIZE = 1,500 SQ.FT.
 ACTUAL LOT SIZE = 1,320 SQ.FT.
 MAXIMUM BUILDING HEIGHT = 35'-0"
 ACTUAL BUILDING HEIGHT = 30'-1"
 REQUIRED NUMBER OF PARKING SPACES = 2
 ACTUAL NUMBER OF PARKING SPACES = 3
 MAXIMUM BUILDING COVERAGE = 25%
 ACTUAL BUILDING COVERAGE = 11.4% (1,318 SQ.FT.)
 -PRIMARY STRUCTURE = 1,021 SQ.FT.
 -DECKS & PORCHES = 281 SQ.FT.
 -ACCESSORY STRUCTURE = 64 SQ. FT.
 MINIMUM OPEN SPACE = 30% (2,316 SQ.FT.)
 ACTUAL OPEN SPACE = 81% (6,432 SQ.FT.)
 -BUILDING COVERAGE = 1,318 SQ.FT.
 -PAVED SURFACES = 80 SQ. FT.
 -CONCRETE WALK = 30 SQ. FT.
 -TOTAL COVERAGE = 1,428 SQ. FT.

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PROJECT INFO:
**THE
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SHEET TITLE:
**EXISTING
SITE PLAN**

PROJECT STATUS:
PERMITTING

DATE: 01/28/2020
SCALE: 1"=10'-0"
SHEET NUMBER:

A1

GENERAL NOTES:



1 EXISTING NORTH ELEVATION



2 EXISTING SOUTH ELEVATION



3 EXISTING WEST ELEVATION



4 EXISTING EAST ELEVATION

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PROJECT INFO:

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SHEET TITLE:

EXISTING
BUILDING
ELEVATIONS

PROJECT STATUS:
PERMITTING

DATE: 01/20/2020
SCALE: 1/8"=1'-0"
SHEET NUMBER:

A3



1) PHOTOGRAPH OF EXISTING STRUCTURE FROM CORNER OF DENNETT AND WHIPPLE



2) PHOTOGRAPH OF EXISTING ALIGNMENTS ON WHIPPLE FROM CORNER OF DENNETT



2) PHOTOGRAPH OF EXISTING STRUCTURE FROM WHIPPLE

GENERAL NOTES:

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PROJECT INFO:

THE
PARKINGTON
RESIDENCE

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PORTSMOUTH, NH

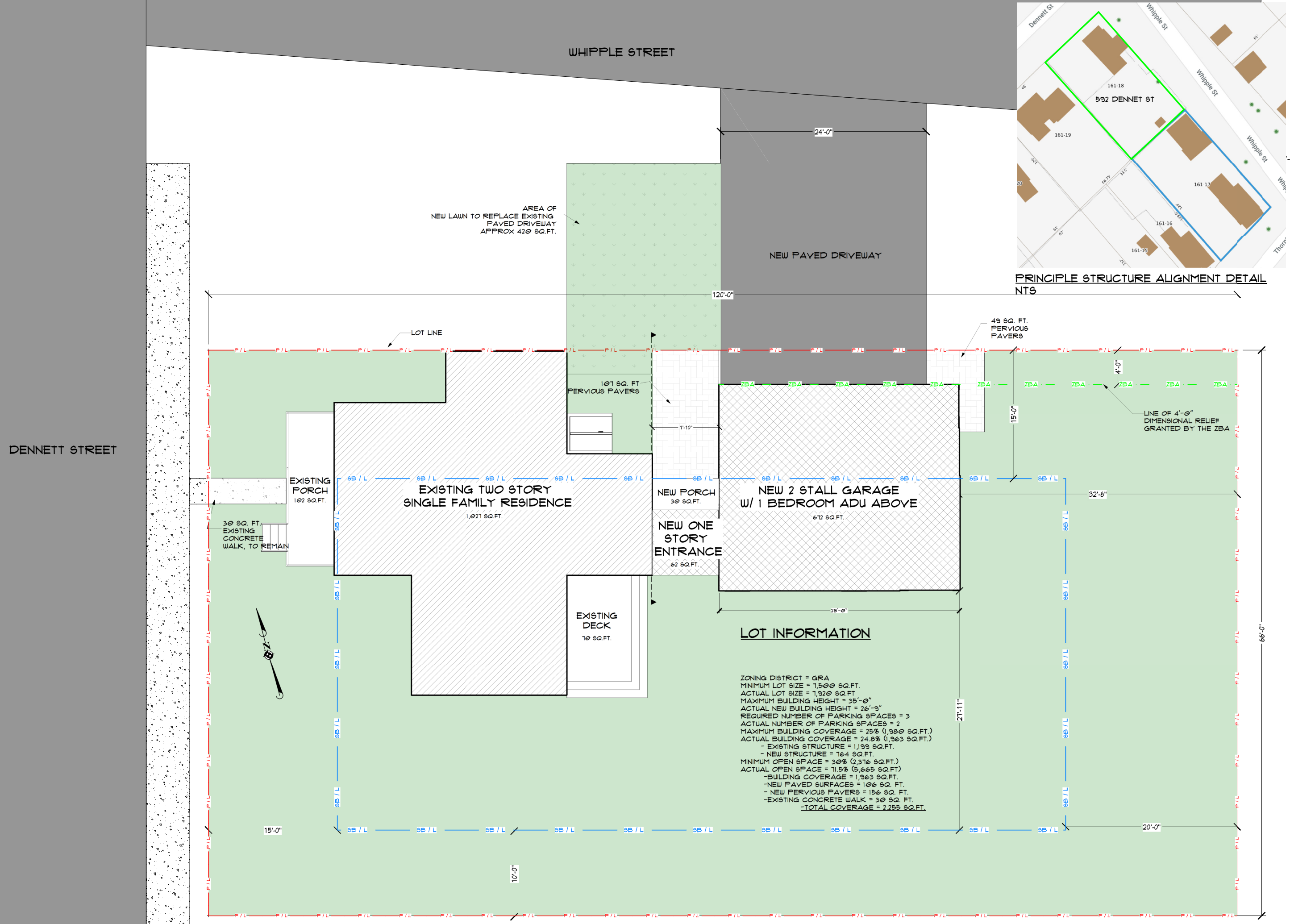
SHEET TITLE:

EXISTING
SITE
PHOTOGRAPHS

PROJECT STATUS:
PERMITTING

DATE: 01/20/2020
SCALE: NTS
SHEET NUMBER:

A4



**PRINCIPLE STRUCTURE ALIGNMENT
DETAILS**

AREA OF
NEW LAWN TO REPLACE EXISTING
PAVED DRIVEWAY
APPROX 420 SQ.FT.

NEW PAVED DRIVEWAY

49 SQ. FT.
PERVIOUS
PAVERS

101 SQ. FT.
PERVIOUS
PAVERS

LINE OF 4'-0"
DIMENSIONAL RELIEF
GRANTED BY THE ZBA

EXISTING
PORCH
102 SQ.FT.

EXISTING TWO STORY
SINGLE FAMILY RESIDENCE
1,021 SQ.FT.

NEW PORCH
30 SQ.FT.

NEW 2 STALL GARAGE
W/ 1 BEDROOM ADU ABOVE
672 SQ.FT.

NEW ONE
STORY
ENTRANCE
62 SQ.FT.

EXISTING
DECK
70 SQ.FT.

LOT INFORMATION

ZONING DISTRICT = GRA
 MINIMUM LOT SIZE = 1,500 SQ.FT.
 ACTUAL LOT SIZE = 1,920 SQ.FT.
 MAXIMUM BUILDING HEIGHT = 35'-0"
 ACTUAL NEW BUILDING HEIGHT = 26'-9"
 REQUIRED NUMBER OF PARKING SPACES = 3
 ACTUAL NUMBER OF PARKING SPACES = 2
 MAXIMUM BUILDING COVERAGE = 25% (1,900 SQ.FT.)
 ACTUAL BUILDING COVERAGE = 24.8% (1,963 SQ.FT.)
 - EXISTING STRUCTURE = 1,193 SQ.FT.
 - NEW STRUCTURE = 764 SQ.FT.
 MINIMUM OPEN SPACE = 30% (2,316 SQ.FT.)
 ACTUAL OPEN SPACE = 11.5% (5,665 SQ.FT.)
 - BUILDING COVERAGE = 1,963 SQ.FT.
 - NEW PAVED SURFACES = 106 SQ. FT.
 - NEW PERVIOUS PAVERS = 156 SQ. FT.
 - EXISTING CONCRETE WALK = 30 SQ. FT.
 - TOTAL COVERAGE = 2,255 SQ.FT.

DENNETT STREET

WHIPPLE STREET

GENERAL NOTES:

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PROJECT INFO:

**THE
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SHEET TITLE:

**PROPOSED
SITE PLAN**

PROJECT STATUS:

PERMITTING

DATE: 01/28/2020

SCALE: 1"=10'-0"

SHEET NUMBER:

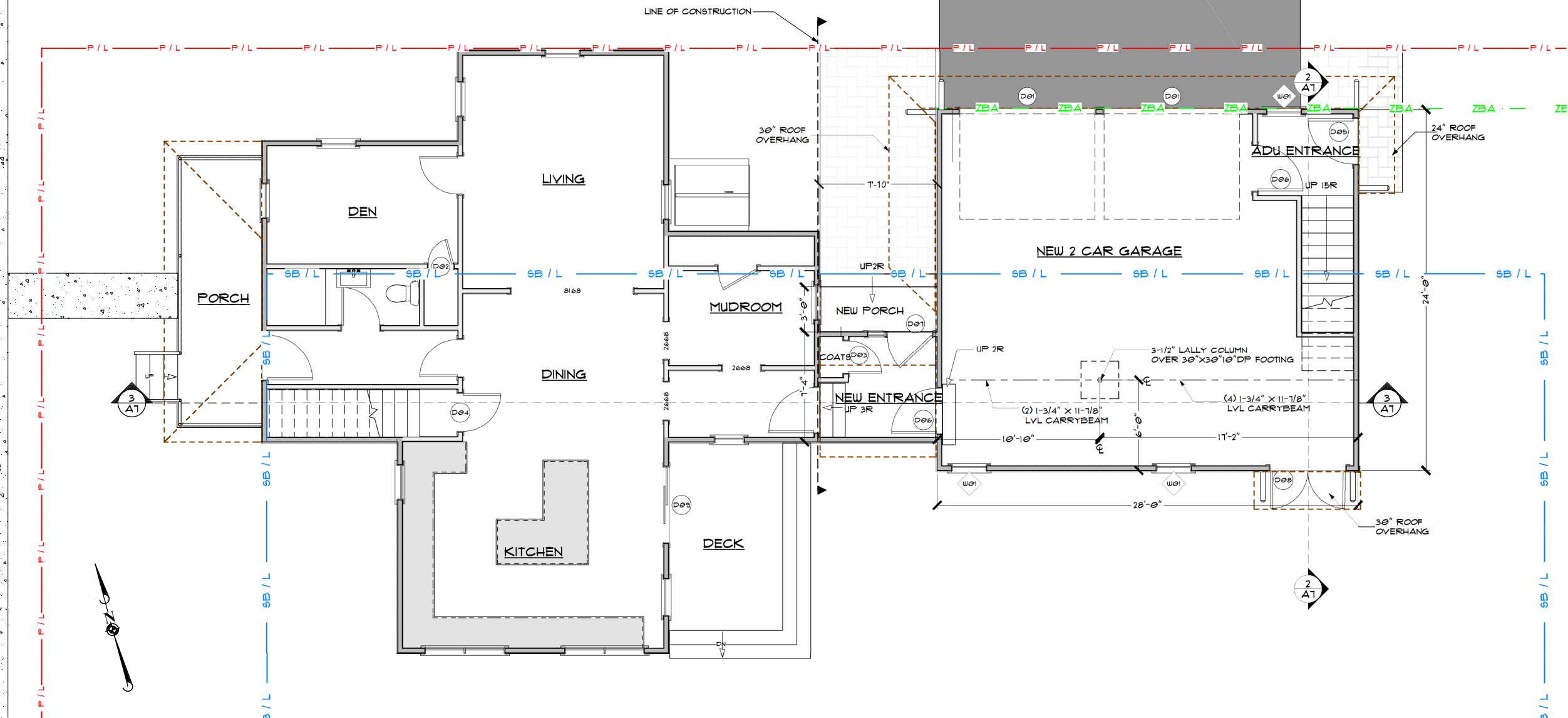
A5

WHIPPLE STREET

DENNETT STREET

DOOR SCHEDULE						
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	DESCRIPTION	COMMENTS
D01	2	1	108"	84"	INSULATED O/H DOOR W/ OPENER	
D02	1	1	20"	80"	HINGER DOOR	
D03	1	1	26"	80"	INTERIOR UNIT	
D04	1	1	30"	80"	HINGER DOOR	
D05	1	1	36"	80"	EXTERIOR INSULATED FIRE RATED UNIT W/ 1/3 LITES	
D06	2	1	36"	80"	INTERIOR INSULATED 20 MIN FIRE RATED UNIT	
D07	1	1	52"	80"	EXTERIOR INSULATED UNIT W/ 12" SIDELITE	
D08	1	1	60"	80"	EXTERIOR INSULATED UNIT	
D09	1	1	60"	80"	EXT. SLIDER-GLASS	
D10	1	2	18"	80"	INTERIOR UNIT	
D11	1	2	20"	80"	INTERIOR UNIT	
D12	2	2	30"	80"	INTERIOR UNIT	
D13	2	2	32"	80"	INTERIOR UNIT	

WINDOW SCHEDULE						
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	DESCRIPTION	COMMENTS
W01	3	1	28"	48"	SNGL CASEMENT-HR	
W02	10	2	28"	48"	SNGL CASEMENT-HR	
W03	2	2	28"	63"	SNGL CASEMENT-HR	
W04	1	2	28"	91 3/4"	28"X68" CASEMENT W/ 28"X28" FIXED TRANSOM	



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PROJECT INFO:

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SHEET TITLE:

PROPOSED FIRST FLOOR PLAN

PROJECT STATUS:

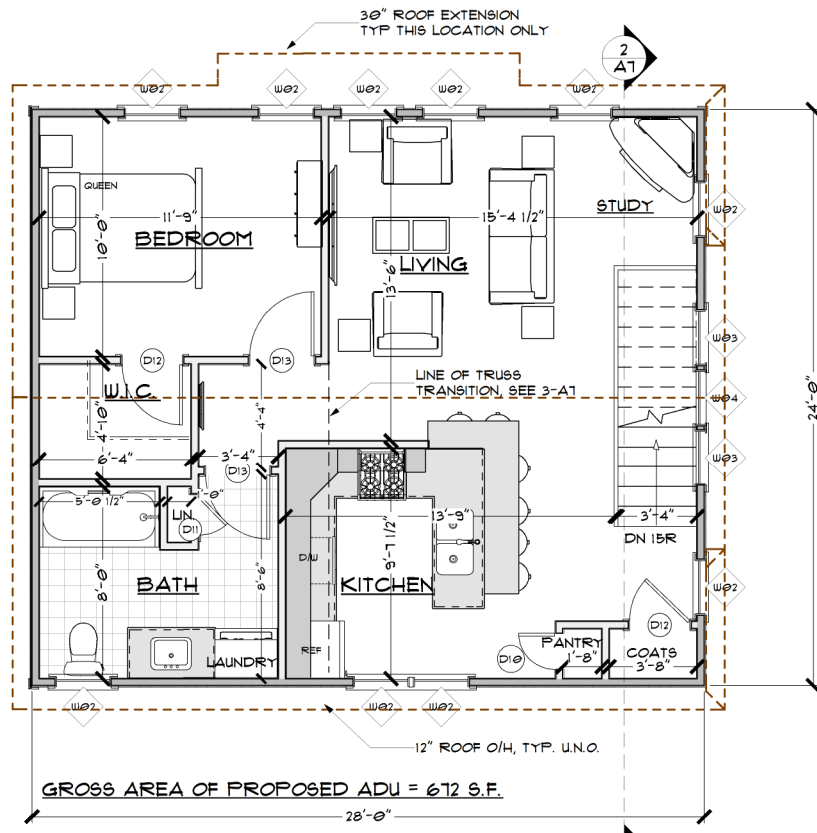
PERMITTING

DATE: 01/28/2020

SCALE: 1/8"=1'-0"

SHEET NUMBER:

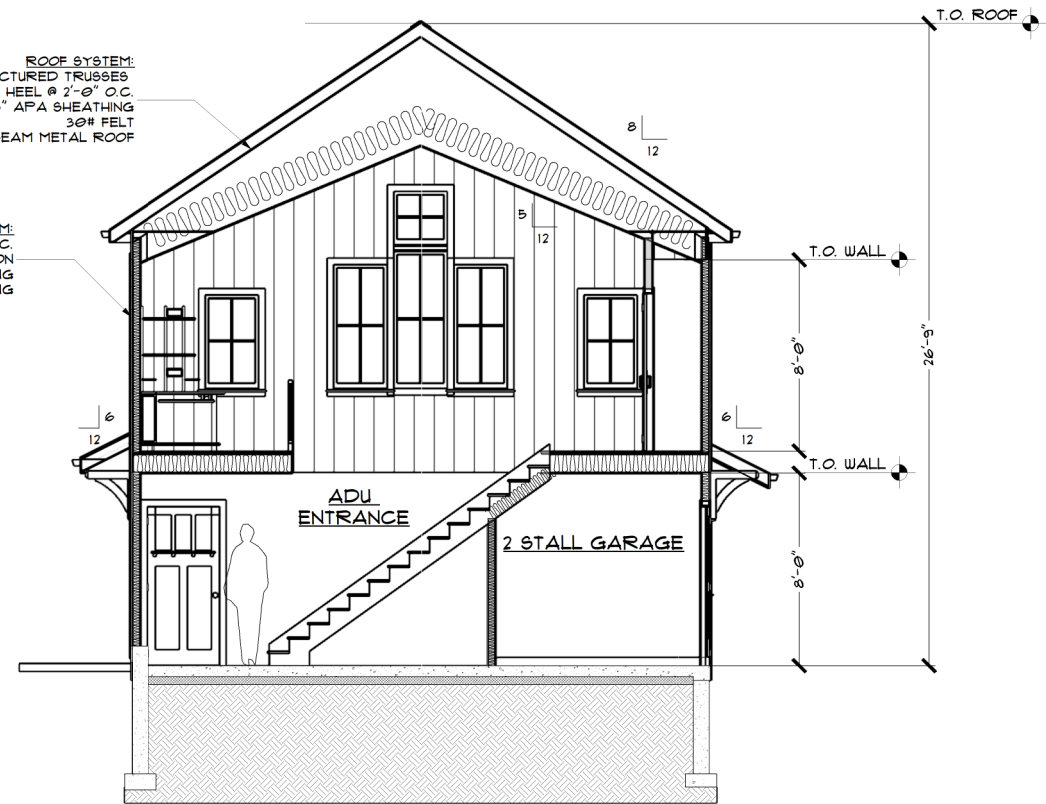
A6



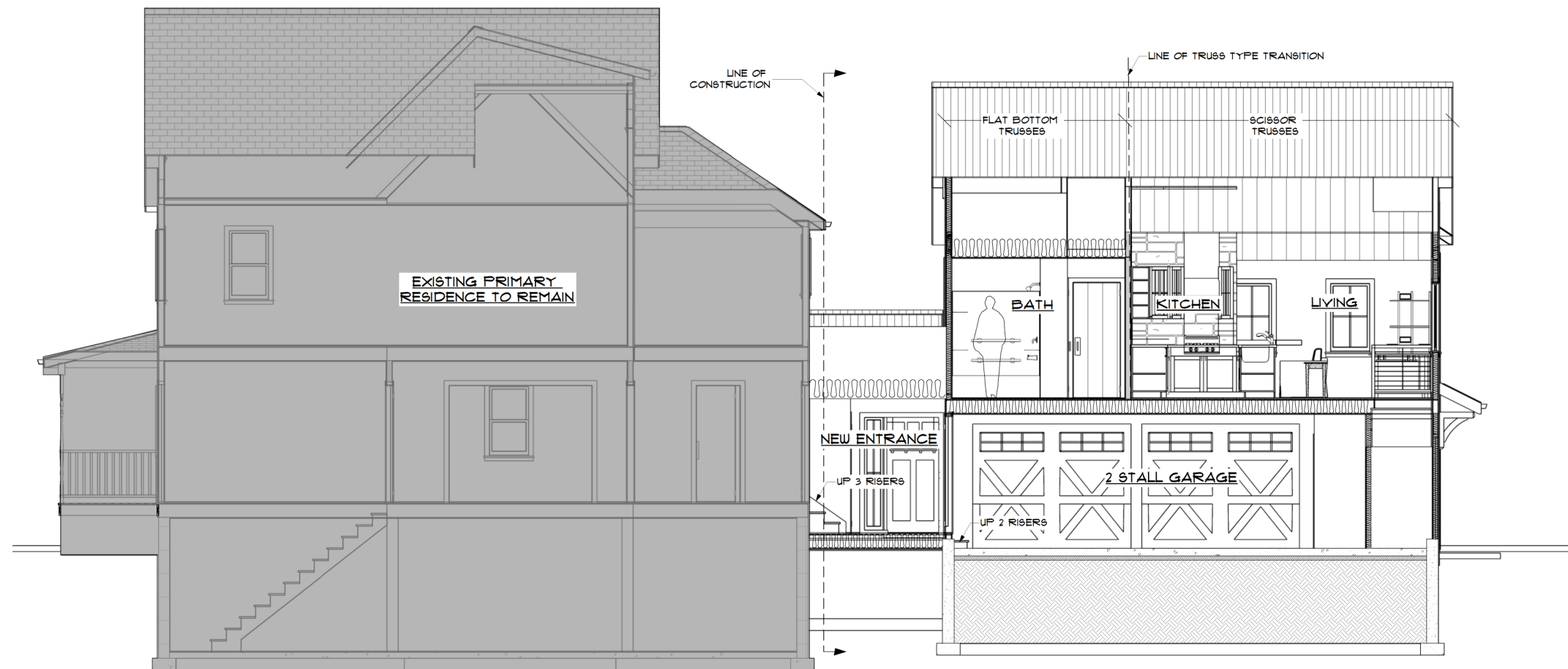
1) PROPOSED ADU FLOOR PLAN

ROOF SYSTEM:
 MANUFACTURED TRUSSES
 W/ 12" ENERGY HEEL @ 2'-0" O.C.
 5/8" APA SHEATHING
 30# FELT
 STANDING SEAM METAL ROOF

EXTERIOR WALL SYSTEM:
 2X6 STUDS @ 1'-4" O.C.
 R20 CELLULOSE INSULATION
 R9 ZIPR STRUCTURAL SHEATHING
 VINYL BOARD & BATTEN SIDING



2) PROPOSED BUILDING CROSS SECTION



3) PROPOSED LONGITUDINAL BUILDING SECTION

GENERAL NOTES:

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PROJECT INFO:

THE PARKINGTON RESIDENCE
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SHEET TITLE:

PROPOSED ADU FLOOR PLAN & BUILDING SECTIONS

PROJECT STATUS:
 PERMITTING

DATE: 01/20/2020
 SCALE: 1/8"=1'-0"
 SHEET NUMBER:

A1

GENERAL NOTES:



1) PROPOSED NORTH ELEVATION



2) PROPOSED EAST ELEVATION
1/8"=1'-0"



3) PROPOSED SOUTH ELEVATION
1/8"=1'-0"

GREEN SHADED AREA REPRESENTS
ADU UNIT VISIBLE FACADE
TOTAL AREA = 274 SQ. FT.

VISIBLE FACADE CALCULATION
TOTAL VISIBLE = 1,286 SQ.FT.
MAXIMUM ALLOWABLE ADU VISIBLE FACADE = 40% (515 SQ.FT.)
ACTUAL VISIBLE FACADE OF ADU = 22% (274 SQ.FT.)



RED SHADED AREA REPRESENTS
PRIMARY DWELLING UNIT FACADE
TOTAL AREA = 1,012 SQ. FT.

4) VISIBLE FACADE DETAIL AS SEEN FROM WHIPPLE STREET
1/16"=1'-0"

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SHEET TITLE:

PROPOSED
BUILDING
ELEVATIONS

PROJECT STATUS:
PERMITTING

DATE: 01/28/2020
SCALE: AS NOTED
SHEET NUMBER:

A8