

95 DODGE AVE

PORTSMOUTH, NEW HAMPSHIRE

DRAWING INDEX:









T1.1 TITLE SHEET











ARCHITECTURAL DRAWINGS

A1 BASEMENT & GARAGE FLOOR PLANS
 A2 FIRST & SECOND FLOOR PLANS
 A3 ROOF PLAN
 A4 WEST & EAST ELEVATIONS
 A5 NORTH & SOUTH ELEVATIONS
 A6 3D MODEL VIEWS



LEGEND:

-  REVISION - TRIANGLE
-  NEW WORK KEYNOTE - SQUARE
-  DEMO WORK KEYNOTE - HEXAGON (NOTE NUMBERS NOT LETTERS)
-  DOOR TYPES - DIAMOND
-  WINDOW TYPES - DIAMOND
-  WALL TYPE - SQUARE
-  ROOM NAME AND NUMBER
-  DOOR NUMBER

	DETAIL INDICATOR	FIRST FLOOR PLAN  SCALE: 1/4" = 1'-0"
	DETAIL SECTION CUT	
	WALL/PARTIAL BUILDING SECTION INDICATOR	 INTERIOR ELEVATION INDICATOR
	EXTERIOR ELEVATION INDICATOR	 WALL TYPE
	ELEVATION MARK	 MATCH LINE

95 Dodge Ave
 PORTSMOUTH, NH

TITLE SHEET

7 WALLINGFORD SQUARE
 UNIT 2099
 KITTERY, ME 03904
 207.994.3164

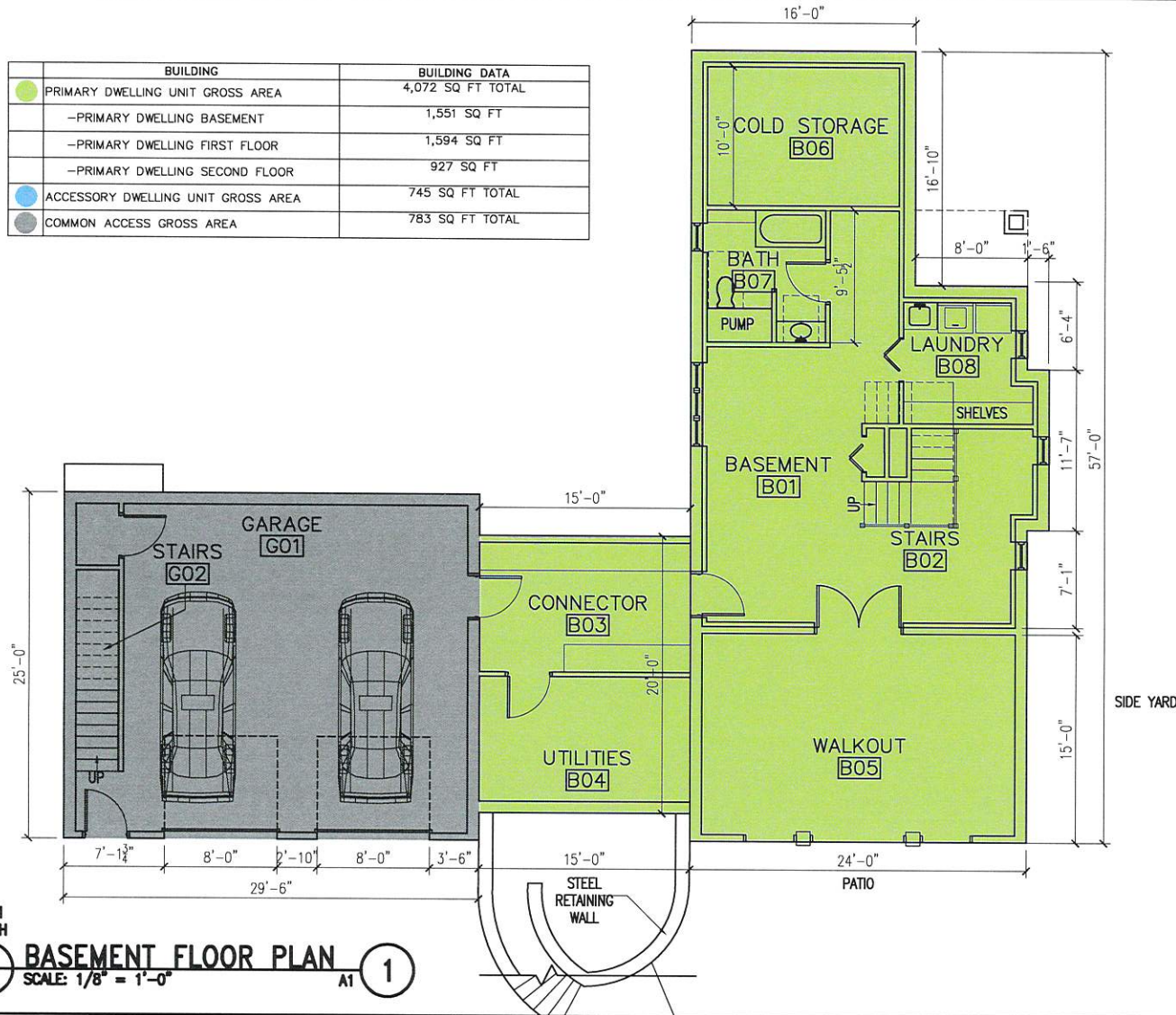
**WINTER
 HOLBEN**
 architecture + design

27OCT2020
 WINTER HOLBEN:GR/DMH
 SCALE: AS NOTED
 PROJECT NO: 20081

DRAWING NO.

T1

BUILDING	BUILDING DATA
● PRIMARY DWELLING UNIT GROSS AREA	4,072 SQ FT TOTAL
—PRIMARY DWELLING BASEMENT	1,551 SQ FT
—PRIMARY DWELLING FIRST FLOOR	1,594 SQ FT
—PRIMARY DWELLING SECOND FLOOR	927 SQ FT
● ACCESSORY DWELLING UNIT GROSS AREA	745 SQ FT TOTAL
● COMMON ACCESS GROSS AREA	783 SQ FT TOTAL



PLAN NORTH
BASEMENT FLOOR PLAN (1)
 SCALE: 1/8" = 1'-0"

95 Dodge Ave
 PORTSMOUTH, NH

BASEMENT & GARAGE FLOOR PLANS

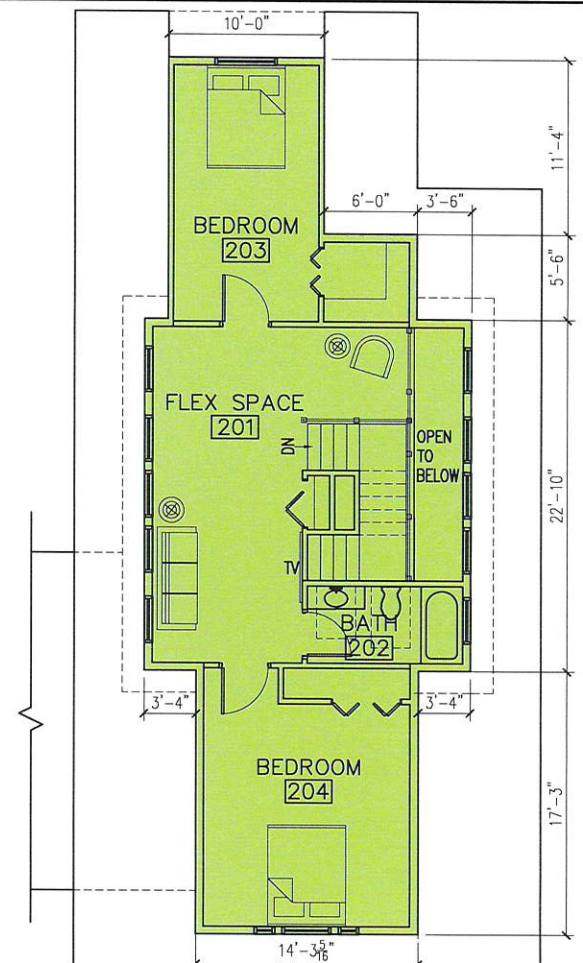
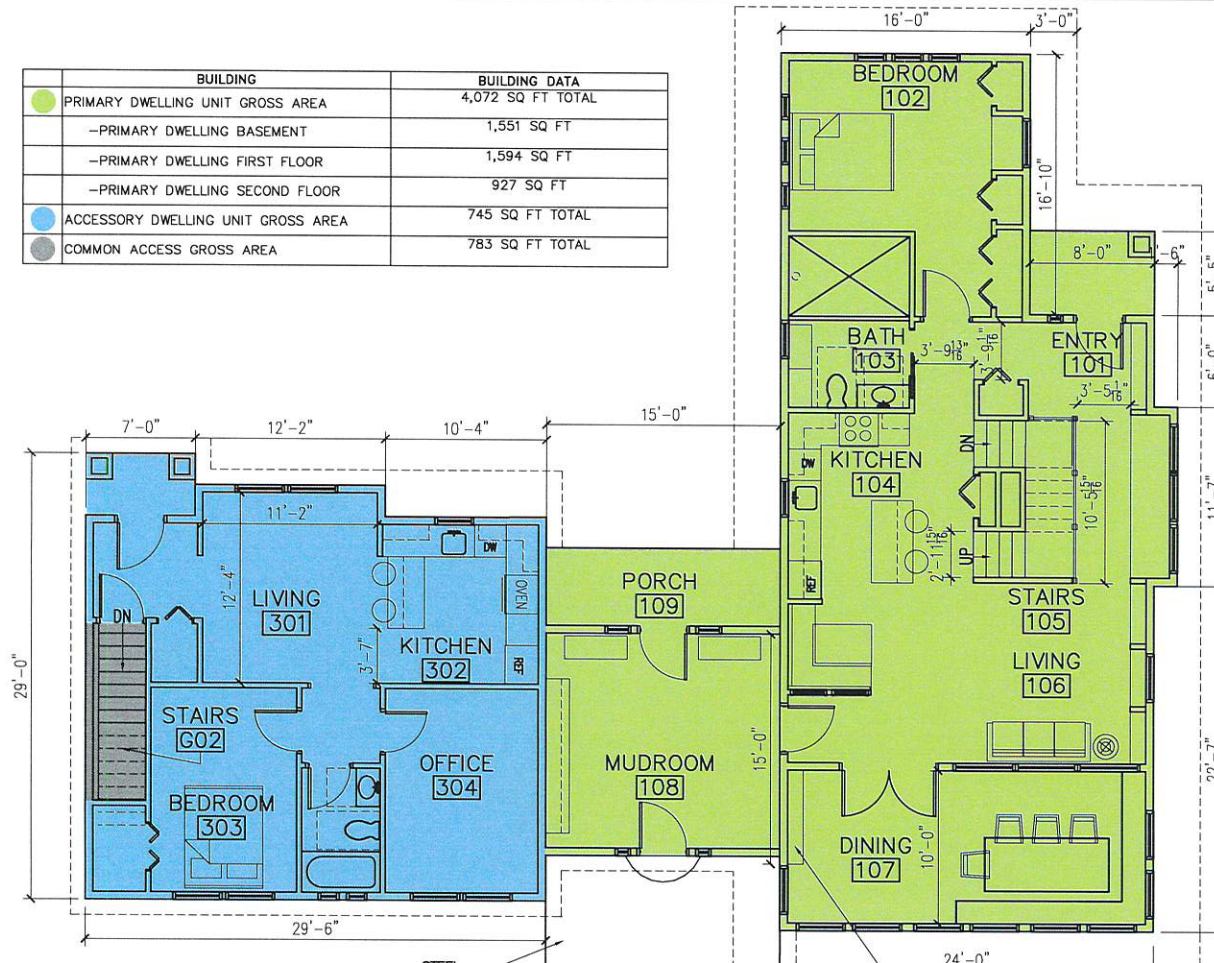
7 WALLINGFORD SQUARE
 UNIT 2099
 KITTERY, ME 03904
 207.994.3104

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 HOLBEN**
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27OCT2020
 WINTER HOLBEN:GR/BMH
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DRAWING NO.
A1

BUILDING	BUILDING DATA
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PLAN NORTH
FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 A2 ①

PLAN NORTH
SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 A2 ②

95 Dodge Ave
 PORTSMOUTH, NH

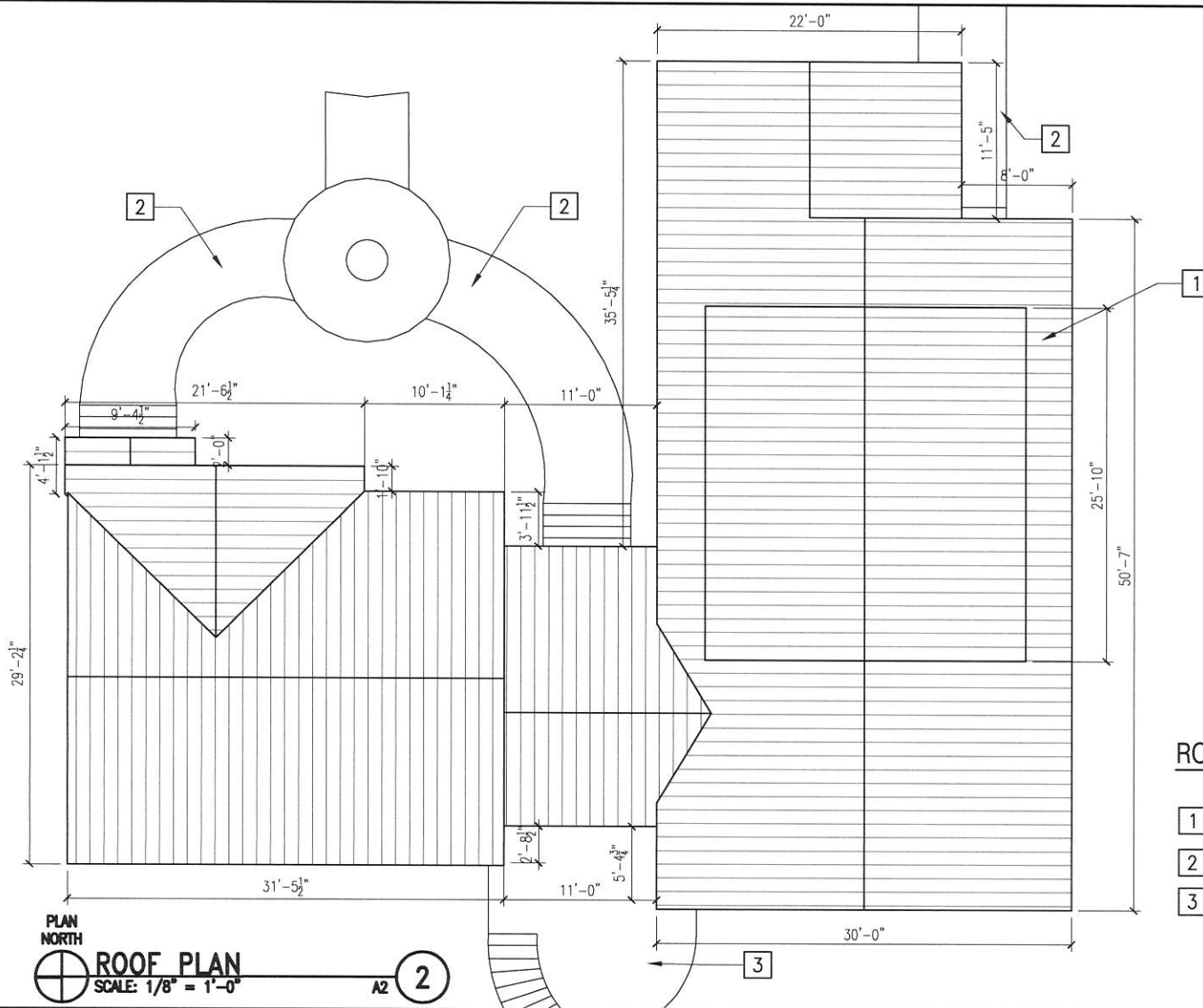
FIRST & SECOND FLOOR PLANS

7 WALLINGFORD SQUARE
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DRAWING NO.
A2



ROOF KEYNOTE LEGEND:

- 1 MTL ROOFING
- 2 PAVED WALKWAY
- 3 STEEL RETAINING WALL

PLAN NORTH
ROOF PLAN
 SCALE: 1/8" = 1'-0"

A2 **2**

95 Dodge Ave
 PORTSMOUTH, NH

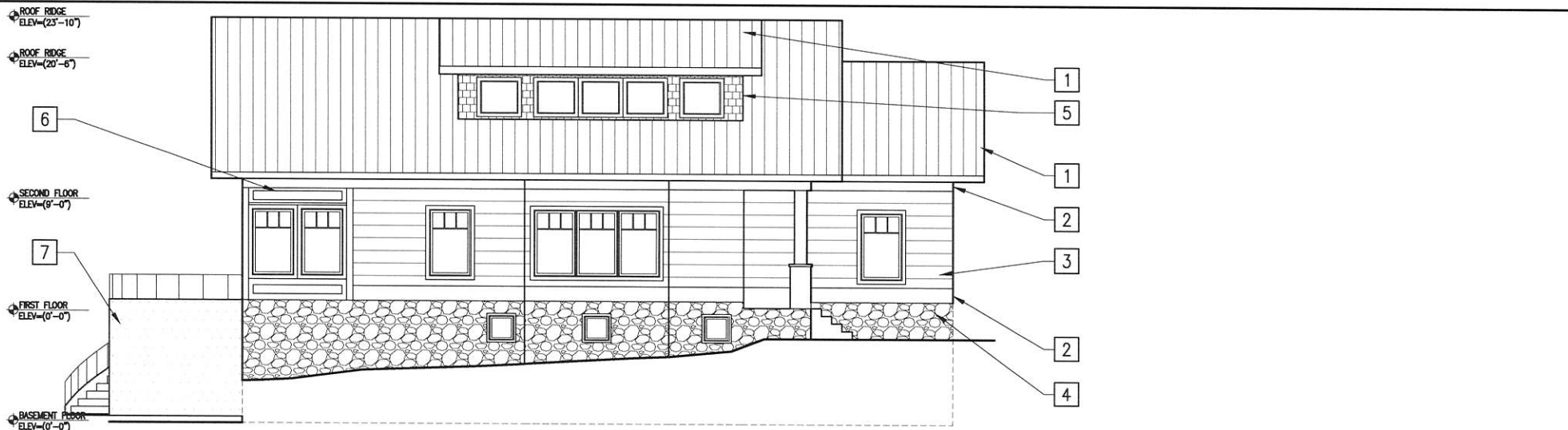
ROOF PLAN

7 WALLINGFORD SQUARE
 UNIT 2099
 KITTERY, ME 03904
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27OCT2020
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DRAWING NO.
A3



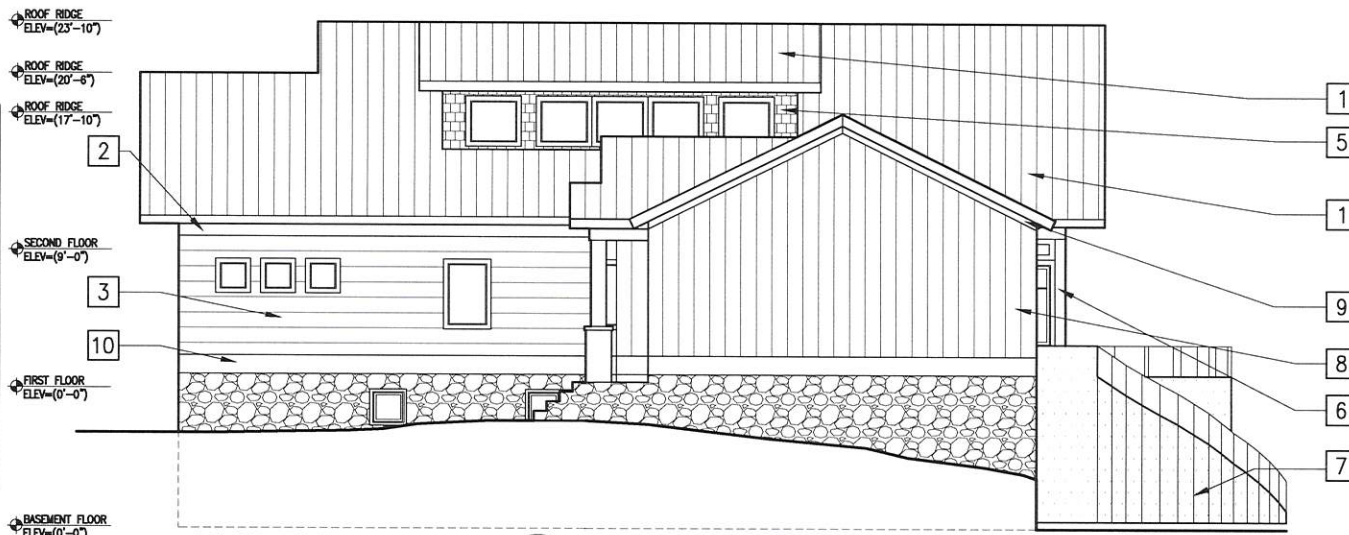
WEST ELEVATION

SCALE: 1/8" = 1'-0"

E1 **1**

ELEVATION KEYNOTE LEGEND:

- | | |
|------------------|---------------------------|
| 1 MTL ROOFING | 6 PANEL SIDING |
| 2 10" TRIM | 7 STEEL RETAINING WALL |
| 3 PLANK SIDING | 8 PANEL AND BATTEN SIDING |
| 4 STONE VENEER | 9 5" ROOF EDGE TRIM |
| 5 SHINGLE SIDING | 10 1" TRIM |



EAST ELEVATION

SCALE: 1/8" = 1'-0"

E1 **2**

95 Dodge Ave
PORTSMOUTH, NH

ELEVATIONS

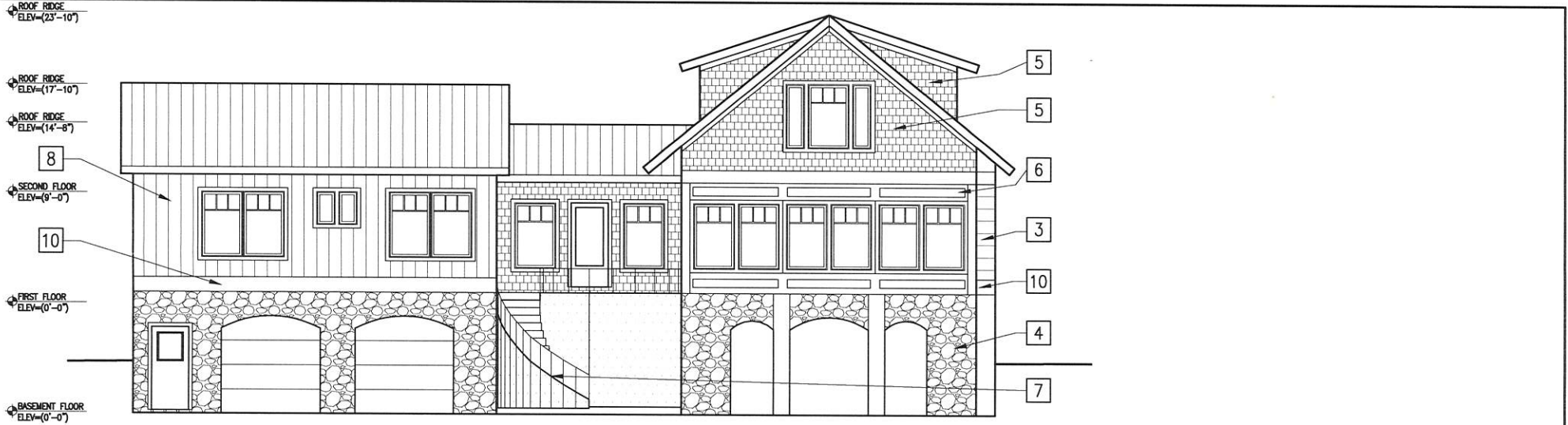
7 WALLINGFORD SQUARE
UNIT 2099
NITTEKY, ME 03904
207.994.3104

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HOLBEN**
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27OCT2020
WINTER HOLBEN: GR/BMH
SCALE: AS NOTED
PROJECT NO: 20081

DRAWING NO.

A4



SOUTH ELEVATION 1
 SCALE: 1/8" = 1'-0" E2

ELEVATION KEYNOTE LEGEND:

1 MTL ROOFING	6 PANEL SIDING
2 10" TRIM	7 STEEL RETAINING WALL
3 PLANK SIDING	8 PANEL AND BATTEN SIDING
4 STONE VENEER	9 5" ROOF EDGE TRIM
5 SHINGLE SIDING	10 1' TRIM



NORTH ELEVATION 2
 SCALE: 1/8" = 1'-0" E2

95 Dodge Ave
 PORTSMOUTH, NH

ELEVATIONS

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 UNIT 2099
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 WINTER HOLBEN:GR/BMH
 SCALE: AS NOTED
 PROJECT NO: 20081

DRAWING NO.
A5



95 Dodge Ave
PORTSMOUTH, NH

MODEL VIEWS

7 WALLINGFORD SQUARE
UNIT 2099
KITTEBY, ME 03904
207.994.3104

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27OCT2020
WINTER HOLBEN: GR/BMH
SCALE: AS NOTED
PROJECT NO: 20081

DRAWING NO.

A6

MEMORANDUM

Date: 29OCT2020

To:

Subject: 95 Dodge Ave

CC to:

95 Dodge Ave is a corner lot with an existing 2 level ranch and garage. Improvements to the property would increase the property value and benefit the neighborhoods overall appeal. The owner is looking to build a new contemporary bungalow with an attached accessory dwelling unit (AADU) in place of the existing structure.

The units are owned by the same person and one of the units will be occupied by the owner at all times as a principal place of residence.

The septic system will meet the NH Water Supply and Pollutions Control Division requirements. See civil plans and septic design for more detail.

There is an interior door connecting the principal dwelling unit to the accessory dwelling unit. The common access garage serves as the physical connection between units providing an interior door to each unit.

The accessory dwelling unit is no larger than 750sf of gross floor area.

The primary unit is closet to the road and the door to this unit is designed as the principal entrance with the other doors as secondary features to the structure.

The proposed bungalow and complementary accessory dwelling unit is in keeping with the size of other homes in the area. The accessory dwelling unit is designed in a scale and style that compliments the main house. The interior program of spaces is designed to be efficient and functional for the owner.

The materials used are a mixture of panel siding, board and batten, stone and natural shingle. All the exterior materials used pay homage to a traditional new England home with a contemporary twist. The siding materials on the main home break up the vertical floors and add visual interest. The accessory dwelling unit is finished with a board and batten siding in the same color as the main house panel siding.

Thank You,

Brandon Holben, AIA, LEED AP
Principal Architect
WINTER HOLBEN

11-12-2020 Addendum to 95 Dodge Ave Design Narrative:

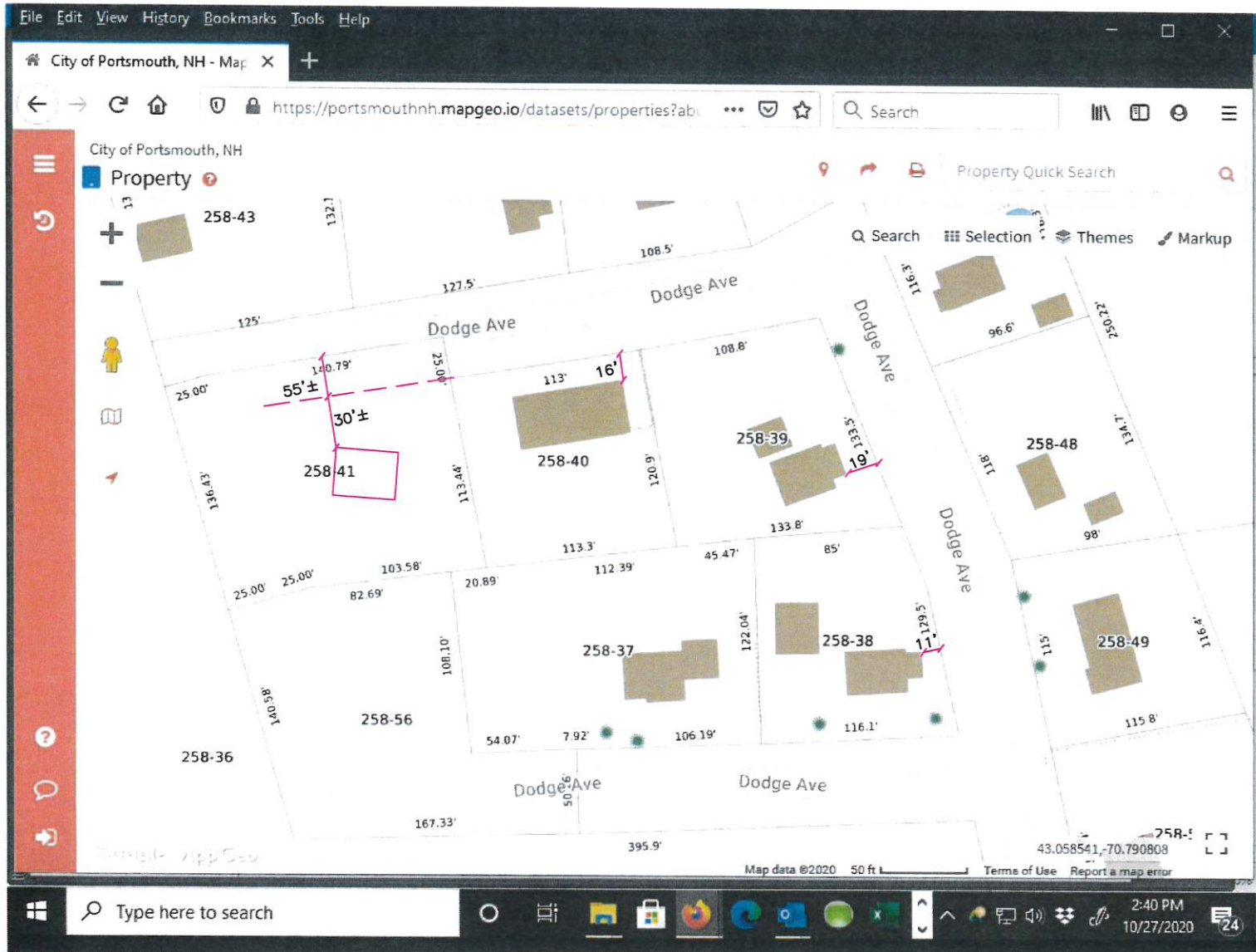
- 1) The design will need PB approval for a dimensional modification per 10.814.451 of the Zoning Ordinance, which states;

10.814.451 An exterior wall of the **AADU** that faces a **street** on which the **lot** has **frontage** shall comprise no more than 40 percent of the total visible **façade** area of the **dwelling** as seen from that **street**.

The ADU's street facing façade (29' 6") is 41.4% of the total dwelling unit's street facing façade (70' 7"). The design, as drawn meets all other intent and requirements of having the ADU proportional to the residence.

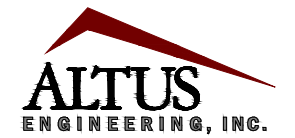
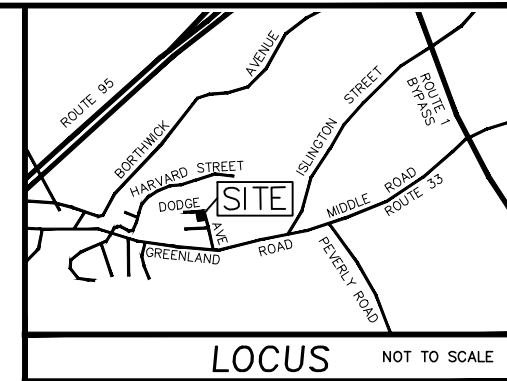
- 2) The construction sequence will allow the owner to occupy the ADU or primary residence throughout the construction process. The owner will live in the Primary while the ADU is constructed, then move into the ADU while the Primary is razed and reconstructed. The owner will move back into the primary after construction is complete.

FRONT SETBACK CALCULATION EXHIBIT



122.DWG

SCALE: 1" = 60'± (11" X 17")



133 Court Street
(603) 433-2335
Portsmouth, NH 03801
www.altus-eng.com

FRONT SETBACK CALCULATION

INCLUDE ABUTTING BUILDINGS WITHIN 200' OF PROPERTY ON SAME SIDE OF STREET

TAX MAP / LOT	DISTANCE FROM PROPERTY LINE
258 / 41	30' (ESTIMATE)
258 / 40	16' (PER MAP GEO)
258 / 38	11' (PER MAP GEO)
	57' / 3 = 19'

LOCUS NOT TO SCALE

SITE NOTES

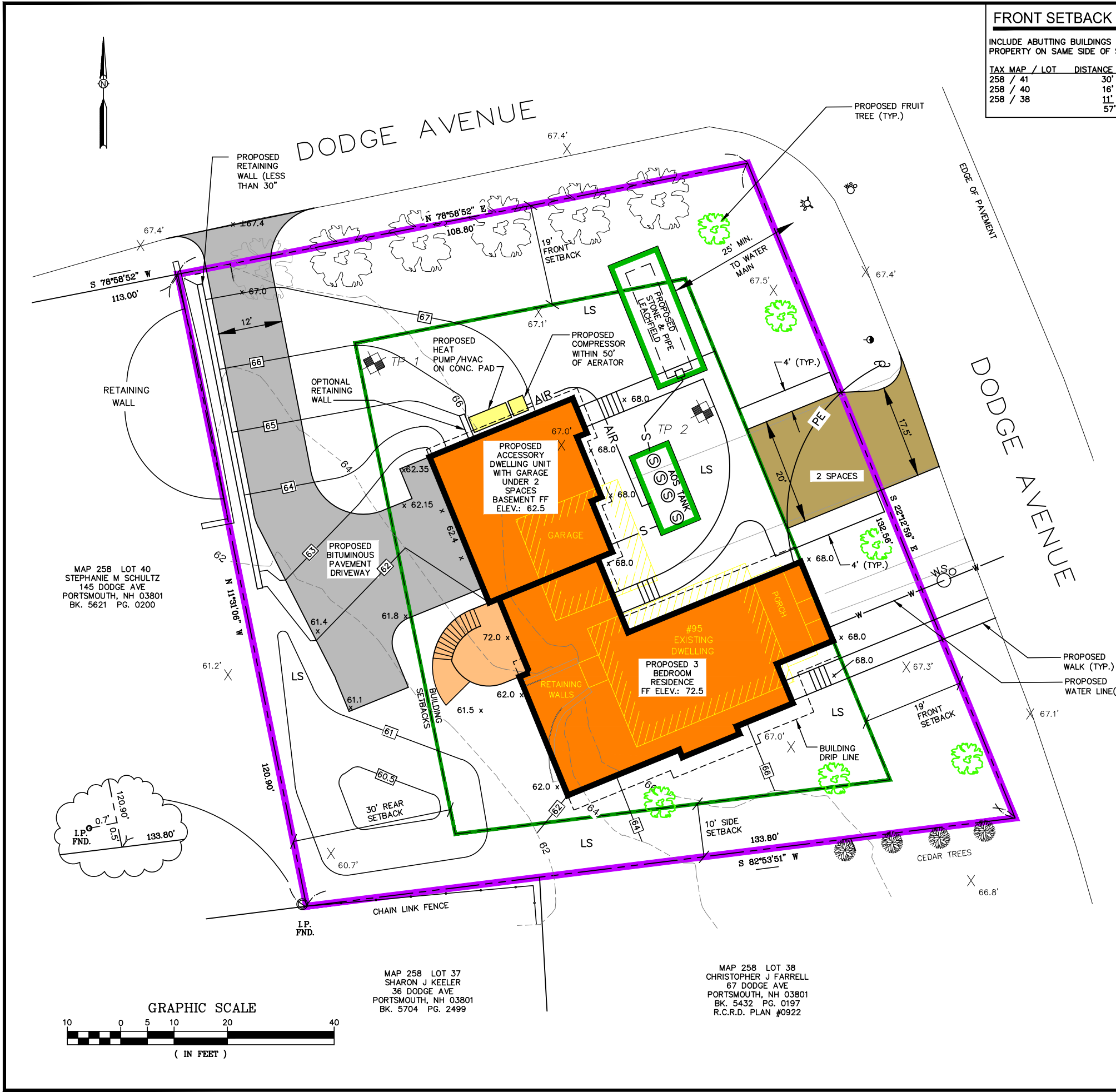
- DESIGN INTENT - THIS PLAN IS INTENDED TO DEPICT THE REDEVELOPMENT OF THE SITE FOR A PROPOSED 3-BEDROOM RESIDENCE WITH AN ACCESSORY DWELLING UNIT (ADU).
- APPROXIMATE LOT AREA: 15,138 S.F.± (0.35 AC.±)
- ZONE: SINGLE RESIDENCE B (SRB)
- DIMENSIONAL REQUIREMENTS:

	EXISTING	PROPOSED
MIN. LOT AREA:	15,000 SF	15,138 SF
MIN. STREET FRONTAGE:	100'	241'+
MIN. LOT DEPTH:	100'	120'+
FRONT SETBACK:	30' (19')*	19' (SURVEY) 19'
SIDE SETBACK:	10'	22' (SURVEY) 11'
REAR SETBACK:	30'	53' (SURVEY) 31'
MAX. BUILDING HEIGHT:	35'	<35'
MAX. BLDG. COVERAGE:	20%	8.8%
MIN. OPEN SPACE:	40%	84.5%

* AVERAGE OF ABUTTING BUILDINGS WITHIN 200' EITHER SIDE OF PROPERTY (67 & 145 DODGE AVENUE)
- OVERALL AREA OF DISTURBANCE UNDER 100,000 S.F., NHDES ALTERATION OF TERRAIN PERMIT NOT REQUIRED.
- AREA OF DISTURBANCE UNDER 43,560 SF, COVERAGE UNDER EPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT NOT REQUIRED.
- DRIVEWAY PERMIT(S) REQUIRED.
- THE FOLLOWING VARIANCES FROM THE PORTSMOUTH ZONING ORDINANCE ARE REQUESTED:
 - SECTION 10.1114.30 - TO ALLOW TWO DRIVEWAYS ON A SINGLE LOT.
- THE FOLLOWING CONDITIONAL USE PERMIT FROM THE PORTSMOUTH PLANNING BOARD IS REQUESTED:
 - ATTACHED ACCESSORY DWELLING UNIT (10.814)
- ALL BONDS AND FEES SHALL BE PAID/POSTED PRIOR TO INITIATING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL BENCHMARKS AND TOPOGRAPHY IN THE FIELD PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER FOR RESOLUTION.
- BUILDING AREA SHOWN IS BASED ON FOOTPRINT MEASURED TO THE EDGE OF FOUNDATIONS AND/OR SLABS. ACTUAL INTERIOR SPACE WILL DIFFER.
- OWNER CAN INSTALL LANDSCAPE RETAINING WALLS AROUND HOUSE TO CREATE FLATTER GRADES WHILE MEETING THE OVERALL GRADING DESIGN INTENT.

LEGEND

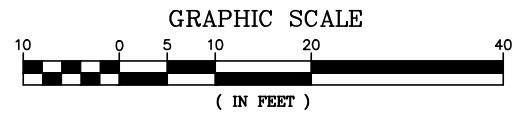
- IRON PIPE FOUND
- EXISTING HYDRANT/WATER SHUT OFF
- EXISTING UTILITY POLE / GUY WIRE
- EXISTING SPOT GRADE ELEVATION
- PROPOSED SPOT GRADE ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING STRUCTURE (TBR)
- PROPERTY LINE
- BUILDING SETBACK LINE
- PROPOSED RESIDENCE
- PROPOSED DECK/PATIO
- PROPOSED HVAC/MECHANICALS
- PROPOSED PERMEABLE DRIVEWAY/WALK
- PROPOSED BITUMINOUS PAVEMENT
- PROPOSED LAWN/LANDSCAPING



MAP 258 LOT 40
STEPHANIE M SCHULTZ
145 DODGE AVE
PORTSMOUTH, NH 03801
BK. 5621 PG. 0200

MAP 258 LOT 37
SHARON J KEELER
36 DODGE AVE
PORTSMOUTH, NH 03801
BK. 5704 PG. 2499

MAP 258 LOT 38
CHRISTOPHER J FARRELL
67 DODGE AVE
PORTSMOUTH, NH 03801
BK. 5432 PG. 0197
R.C.R.D. PLAN #0922



NOT FOR CONSTRUCTION
ISSUED FOR: APPROVAL
ISSUE DATE: OCTOBER 29, 2020

NO.	DESCRIPTION	BY	DATE
0	DISCUSSION	EDW	10/27/20
1	ADD LANDSCAPING	EDW	10/29/20

DRAWN BY: RLH
APPROVED BY: EDW
DRAWING FILE: 5122.dwg

SCALE:
22" x 34" - 1" = 10'
11" x 17" - 1" = 20'

OWNER/APPLICANT:
THOMAS J. MURPHY
95 DODGE AVENUE
PORTSMOUTH, NH 03801
BOOK 5919, PAGE 2045
RCRD PLAN #0922

PROJECT:
PROPOSED RESIDENCE & A.D.U.
TAX MAP 258, LOT 39
95 DODGE AVENUE
PORTSMOUTH, NH

TITLE:
SITE PLAN
SHEET NUMBER:
C-1

P5122























