

Ross Engineering
Civil/Structural Engineering & Surveying

909 Islington Street
Portsmouth, NH 03801

603-433-7560
alexross@comcast.net

October 28, 2020

Portsmouth Planning Department
1 Junkins Ave
Portsmouth, NH 03801

SITE PLAN REVIEW & CONDITIONAL USE PERMIT

RE: Bacman Enterprises, INC
140 Edmond Ave
Portsmouth, NH 03801
Tax Map 220, Lot 81

This business has been in operation for 40 years and previously received City Site Review approval. Recently the parking lot was renovated requiring Site Review, and a Conditional Use Permit for working within the wetland buffer. The improvements proposed will result in a benefit to the wetland buffer area & parking configuration. Work that was unpermitted is an improvement to the wetlands, while additional work is also proposed which will benefit wetlands. The impact area within the 100 foot buffer will be 3,442 s.f. which includes the wetland planting area on Lot 80. The pervious pavers cover an area of 1,995 s.f.

The area in question is land located in the NE corner of the lot. Runoff from this part of the lot flows east to a wetland 5,959 SF in area (labeled wetlands – “B” on Sheet 4 of the attached plan set). Prior to the work done the area was an asphalt parking lot. The unpermitted work included replacing the asphalt lot completely with Pervious Pavers which decreased the impact on the wetlands to the east. In addition to the work already done, a 2’ infiltration trench is being proposed along the south side of the pervious pavers to collect any runoff as well as snow storage and treat it before discharging to the wetlands. Landscaping in the same area is proposed as well to be done under the supervision of a certified wetland scientist.

Overall, the previous work done has improved the impact to the wetlands. The additional work proposed will further improve the impact to those wetlands and provide proper parking meeting City regulations.

Sincerely,

Alex Ross, PE, LLS

Site Plan & Wetland Conditional Use Permit Plan Set

140 Edmond Ave.
Bacman Enterprises INC.
Portsmouth, New Hampshire

PREPARED BY:

ROSS ENGINEERING, LLC

Civil/Structural Engineering
& Surveying

909 Islington St.
Portsmouth, NH 03801
(603) 433-7560

LIST OF PROJECT PLANS:

SITE PLAN SET

- 1 - Existing Conditions
- 2 - Site Plan
- 3 - Landscape Plan
- 4 - Wetlands and Details

October 28, 2020

No.	Delta	Radius	Arc Length	Chord Length	Chord Bearing
C2	00°29'55"	1170.42'	10.19'	10.19'	S51°09'41"W
E1	---	---	---	10.00'	N51°09'41"E

N/F WAYNE N. MOULTON, JR.
TAX MAP 220, LOT 82
RCRD 1317-445

TAX MAP 220, LOT 81
23,176 S.F., 0.53 Ac.
N/F BACMAN ENTERPRISES I
RCRD 2448-1429

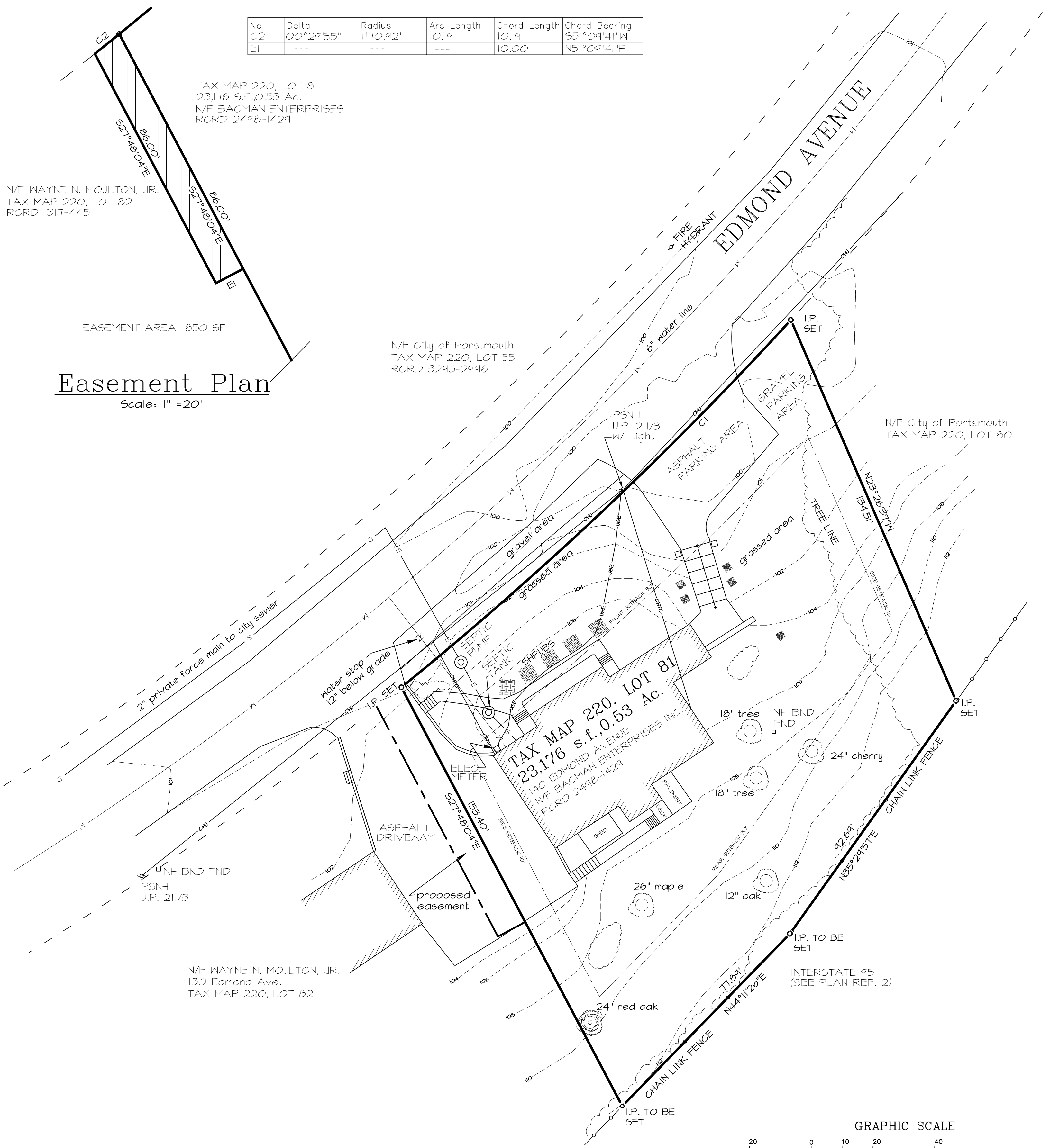
EASEMENT AREA: 850 SF

Easement Plan

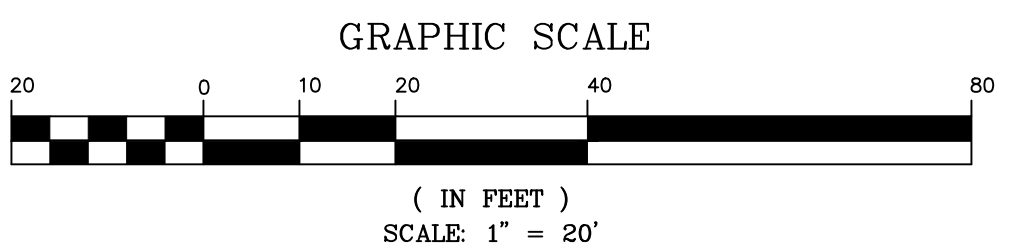
Scale: 1" = 20'

N/F City of Portsmouth
TAX MAP 220, LOT 55
RCRD 3295-2996

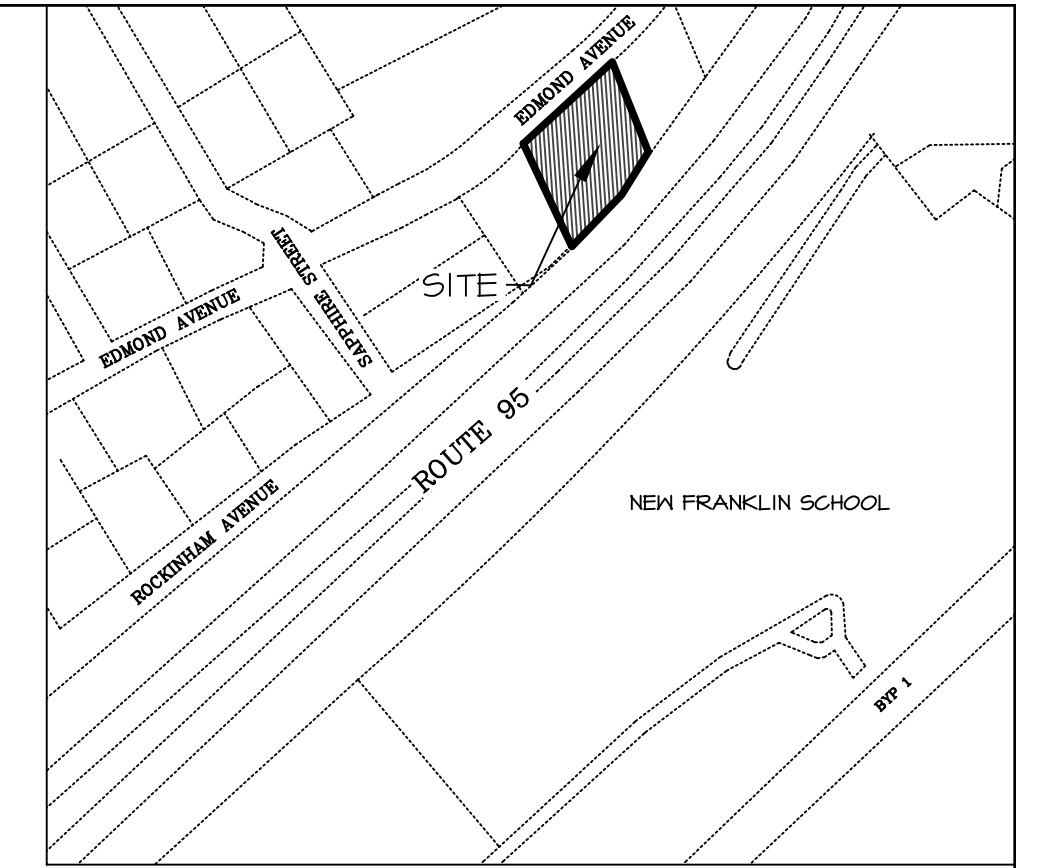
N/F City of Portsmouth
TAX MAP 220, LOT 80



N/F WAYNE N. MOULTON, JR.
130 Edmond Ave.
TAX MAP 220, LOT 82



see note 2



LOCUS PLAN
N.T.S.

NOTES

- OWNER OF RECORD:
BACMAN ENTERPRISES INC.
TAX MAP 220, LOT 81
140 EDMOND AVE
PORTSMOUTH, NH 03801
RCRD: 2448-1429
AREA: 23,176 S.F., 0.53 Ac
- BASIS OF BEARING HELD FROM PLAN REFERENCE #1.
- PARCEL IS IN SINGLE RESIDENCE B (SRB):
MINIMUM LOT AREA.....15,000 SF
MIN. LOT AREA PER DWELLING UNIT.....15,000 SF
MINIMUM FRONTAGE.....100 FT
MINIMUM DEPTH.....100 FT
SETBACKS:
FRONT.....30 FT
SIDE.....10 FT
REAR.....30 FT
MAXIMUM BUILDING HEIGHT:
SLOPED ROOF.....35 FT
FLAT ROOF.....30 FT
MAXIMUM BUILDING COVERAGE.....20%
MINIMUM OPEN SPACE.....40%
- SEWER, WATER, & GAS LINE LOCATIONS ARE APPROXIMATE & BASED ON FIELD MEASUREMENTS & CITY DPW INFORMATION. THE BUILDING IS SUPPLIED WITH ELECTRICAL SERVICE BY A CONDUIT WHICH RUNS FROM PSNH UTILITY POLE 211/3 TO THE ELECTRICAL METER ON THE SIDE OF THE BUILDING. THE EXACT LOCATION OF THIS CONDUIT IS UNKNOWN.

LEGEND

- S- SEWER LINE
- W- WATER LINE
- OHU- OVERHEAD UTILITIES
- OHTC- OVERHEAD TELEPHONE & CABLE
- () TREE LINE
- UGE- UNDERGROUND ELECTRIC

REFERENCE PLANS

- "CONSOLIDATION PLAN OF LAND FOR BACMAN ENTERPRISES, INC 140-142 EDMOND AVENUE COUNTY OF ROCKINGHAM PORTSMOUTH NH", BY RICHARD P. MILLETE & ASSOCIATES. DATED AUGUST 2, 1989. RCRD C-19642
- "HIGHWAY LAYOUT PLAN, PLAN OF PORTSMOUTH" 1-95-1 (9) 14 P-5875-A: SHEETS 12 & 13", BY NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION. DATED MAY 2, 1967. RCRD D-2229.

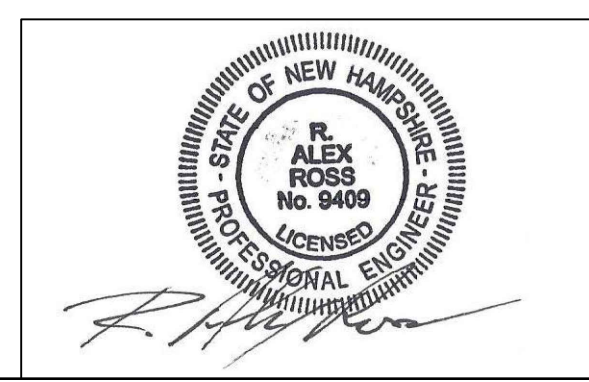
7	10/28/20	PB SUBMITTAL	
6	10/21/20	TAC SUBMITTAL	
5	9/29/20	ZBA SUBMITTAL	
ISS.	DATE	DESCRIPTION OF ISSUE	
SCALE 1" = 20'			
CHECKED	A. ROSS		
DRAWN	D.D.D.		
CHECKED			

ROSS ENGINEERING, LLC
Civil/Structural Engineering
& Surveying
909 Islington St.
Portsmouth, NH 03801
(603) 433-7560

CLIENT
DR. PAUL BACON
140 EDMOND AVE
PORTSMOUTH, NH 03801

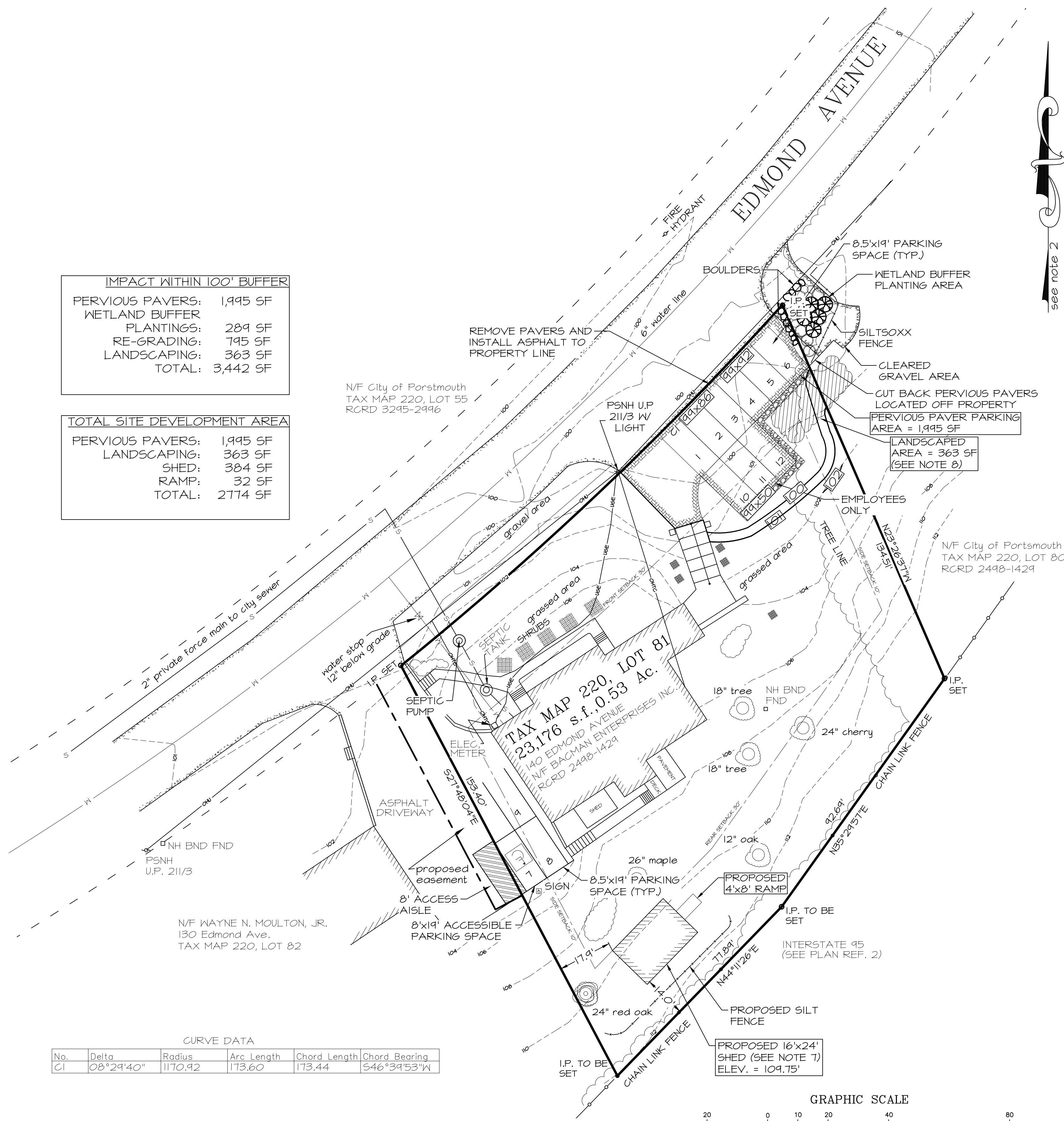
TITLE
EXISTING CONDITIONS
140 EDMOND AVENUE
BACMAN ENTERPRISES INC.
PORTSMOUTH NH, 03801
TAX MAP 220, LOT 81

JOB NUMBER	DWG. NO.	ISSUE
05-030	1 OF 4	7



IMPACT WITHIN 100' BUFFER	
PERVIOUS PAVERS:	1,995 SF
WETLAND BUFFER	
PLANTINGS:	289 SF
RE-GRADING:	795 SF
LANDSCAPING:	363 SF
TOTAL:	3,442 SF

TOTAL SITE DEVELOPMENT AREA	
PERVIOUS PAVERS:	1,995 SF
LANDSCAPING:	363 SF
SHED:	384 SF
RAMP:	32 SF
TOTAL:	2,774 SF



see note 2

NOTES

- OWNER OF RECORD:
BACMAN ENTERPRISES INC.
TAX MAP 220, LOT 81
140 EDMOND AVE
PORTSMOUTH, NH 03801
RCRD: 2448-1429
AREA: 23,176 S.F., 0.53 Ac
- BASIS OF BEARING HELD FROM PLAN REFERENCE #1.
- PARCEL IS IN SINGLE RESIDENCE B (SRB):
MINIMUM LOT AREA.....15,000 SF
MIN. LOT AREA PER DWELLING UNIT.....15,000 SF
MINIMUM FRONTAGE.....100 FT
MINIMUM DEPTH.....100 FT
SETBACKS:
FRONT.....30 FT
SIDE.....10 FT
REAR.....30 FT
MAXIMUM BUILDING HEIGHT:
SLOPED ROOF.....35 FT
FLAT ROOF.....30 FT
MAXIMUM BUILDING COVERAGE.....20%
MINIMUM OPEN SPACE.....40%
- SEWER, WATER, & GAS LINE LOCATIONS ARE APPROXIMATE & BASED ON FIELD MEASUREMENTS & CITY DPN INFORMATION. THE BUILDING IS SUPPLIED WITH ELECTRICAL SERVICE BY A CONDUIT WHICH RUNS FROM PSNH UTILITY POLE 211/3 TO THE ELECTRICAL METER ON THE SIDE OF THE BUILDING. THE EXACT LOCATION OF THIS CONDUIT IS UNKNOWN.
- COVERAGES
BUILDING COVERAGE
EXISTING BUILDING COVERAGE
HOUSE.....2628 SF
SHED.....45 SF
EXISTING STRUCTURE.....2723 SF
BUILDING COVERAGE 2723 / 23176 = 11.81%

PROPOSED BUILDING COVERAGE
HOUSE.....2628 SF
SHED.....479 SF
EXISTING STRUCTURE.....3107 SF
BUILDING COVERAGE 3107 / 23176 = 13.4%

OPEN SPACE
EXISTING OPEN SPACE
BUILDING COVERAGE.....2723 SF
CONCRETE WALKWAYS.....506 SF
CONCRETE STAIRWAYS.....394 SF
ASPHALT.....2352 SF
GRAVEL PARKING.....514 SF
TOTAL LOT COVERAGE.....6489 SF
OPEN SPACE 23176 - 6489 = 16687 SF
OPEN SPACE 16687 / 23176 = 72.0%

PROPOSED OPEN SPACE
BUILDING COVERAGE.....3107 SF
CONCRETE WALKWAYS.....506 SF
CONCRETE STAIRWAYS.....394 SF
RETAINING WALL.....135 SF
ASPHALT PARKING AREA.....1092 SF
PERVIOUS PAVEMENT.....1995 SF
RAMP.....32 SF
TOTAL LOT COVERAGE.....7261 SF
OPEN SPACE 23176 - 7261 = 15915 SF
OPEN SPACE 15915 / 23176 = 68.7%
- PARKING SPACES:
2300+/- S.F. MEDICAL SPACE - 1/250 S.F. 10 SPACES
2 APARTMENTS (OVER 750 SF) - 1.3 X 22 SPACES*
TOTAL REQUIRED SPACES.....12 SPACES
PROVIDED SPACES.....12 SPACES

HANDICAP SPACE REQUIREMENT: 1 PER 25..1 SPACE

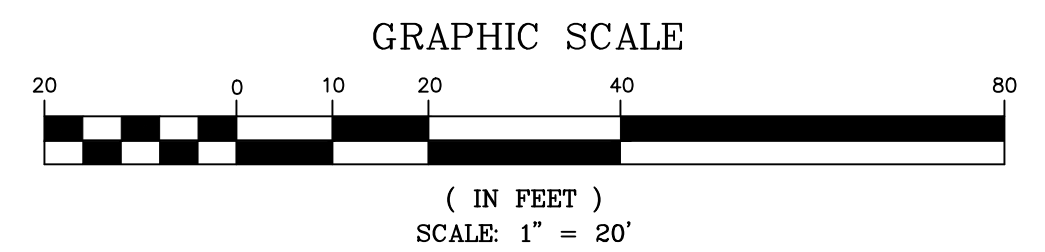
* - AS PER PORTSMOUTH ZONING ORDINANCE SECTION 10.1112.60 FOR MIXED USE PARKING, RESIDENTIAL PARKING SHALL BE 60% OF THE REQUIREMENT FROM 8 AM TO 5 PM. 1.3 x 2 x .6 = 1.6 SPACES.
- PROPOSED SHED MUST MEET ACCESSORY BUILDING SETBACKS SPECIFIED IN SECTION 10.570 IN THE PORTSMOUTH ZONING ORDINANCE. ONE POSSIBLE CONFIGURATION HAS BEEN SHOWN. THE GRADE PLANE SHOWN IS 110.25'. BUILDING HEIGHT CALCULATED FROM THIS GRADE PLANE IS 11.96'.
- LANDSCAPING WORK TO BE DONE UNDER DIRECT SUPERVISION OF SOIL SCIENTIST TO ESTABLISH PLANTINGS AND EROSION CONTROL USING APPROPRIATE METHODS.
- ON JULY 23, 2019 THE CITY OF PORTSMOUTH BOARD OF ADJUSTMENT APPROVED THE FOLLOWING:
A) FROM SECTION 10.333 TO ALLOW A NONCONFORMING USE TO BE EXTENDED INTO OTHER PARTS OF THE BUILDING.
B) FROM SECTION 10.1113.20 TO ALLOW OFF-STREET PARKING SPACES TO BE LOCATED IN THE REQUIRED FRONT YARD OR BETWEEN A PRINCIPAL BUILDING OR THE STREET; AND
C) FROM SECTION 10.1114.32 TO ALLOW VEHICLES TO ENTER OR LEAVE A PARKING AREA BY BACKING OUT, INTO OR FROM PUBLIC STREET OR WAY.

ON OCTOBER 27, 2020 THE CITY OF PORTSMOUTH BOARD ADJUSTMENT APPROVED STACKED PARKING FOR SPACES 10, 11 AND 12.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- THE APPLICANT SHALL RECEIVE CITY COUNCIL APPROVAL TO INSTALL THE PLANTINGS IN CITY PROPERTY.

LEGEND

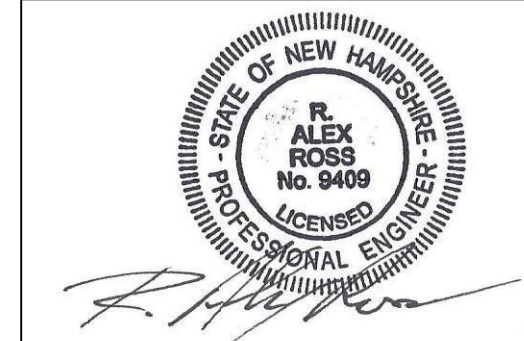
- S- SEWER LINE
- W- WATER LINE
- OHU- OVERHEAD UTILITIES
- OHTC- OVERHEAD TELEPHONE & CABLE
- TREE LINE
- UGE- UNDERGROUND ELECTRIC

CURVE DATA				
No.	Delta	Radius	Arc Length	Chord Length
Cl	08°29'40"	1170.92	173.60	173.44
				546°39'53"W

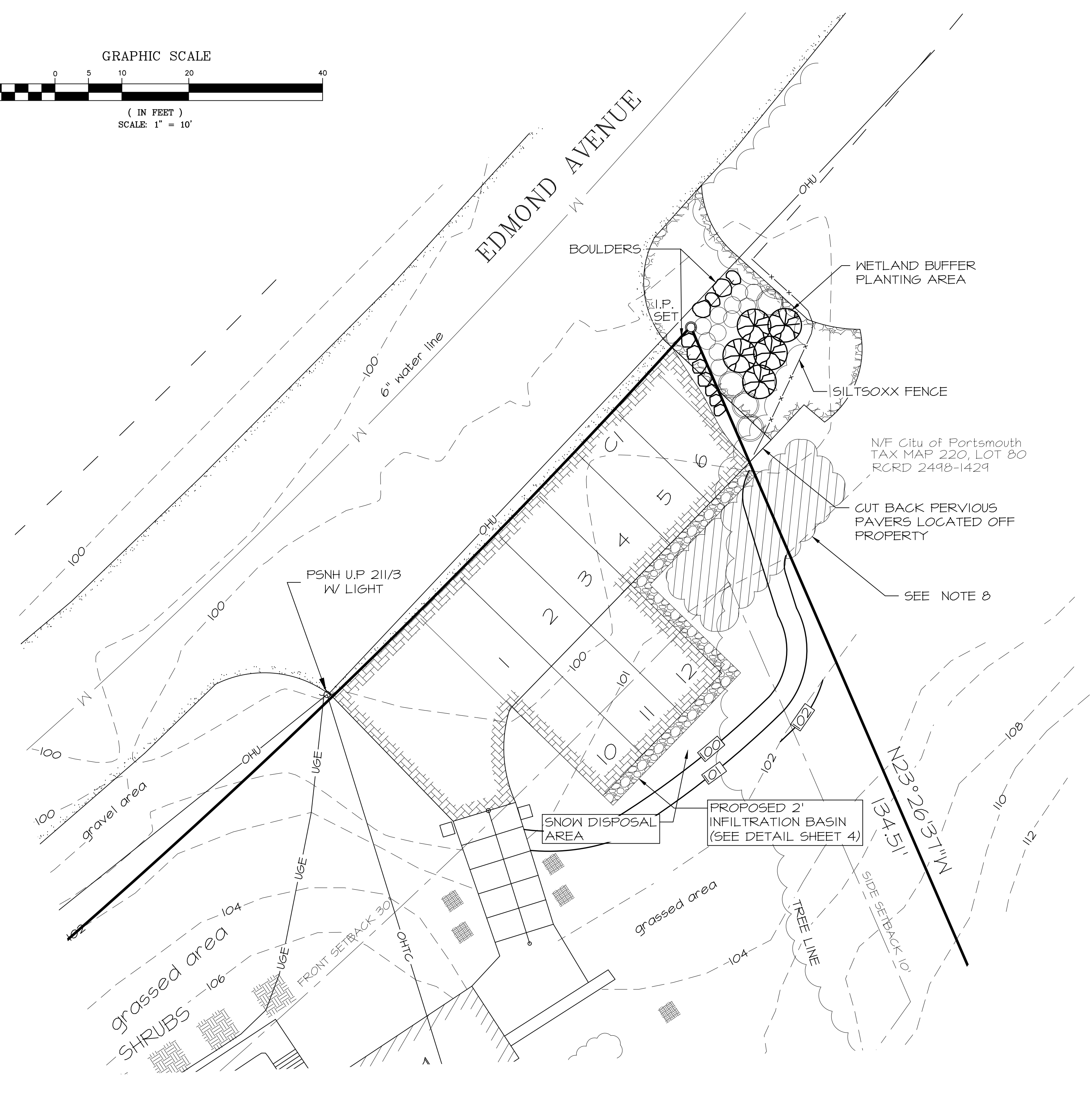
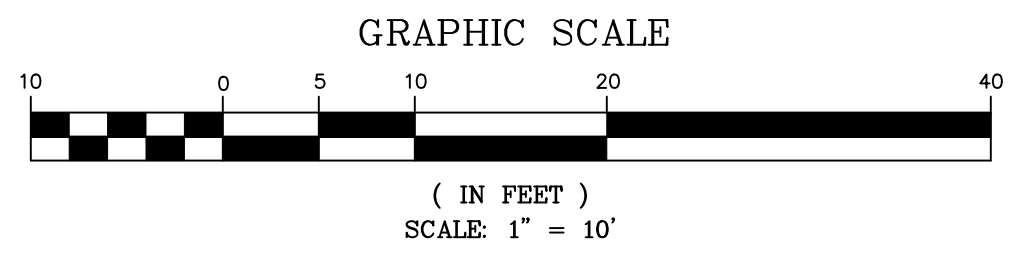


CITY OF PORTSMOUTH PLANNING BOARD

CHAIRPERSON	DATE
-------------	------



7	10/28/20	PB SUBMITTAL	
6	10/21/20	TAC SUBMITTAL	
5	9/29/20	ZBA SUBMITTAL	
ISS.	DATE	DESCRIPTION OF ISSUE	
SCALE	1" = 20'		
CHECKED	A. ROSS		
DRAWN	D.D.D.		
CHECKED			
ROSS ENGINEERING, LLC Civil/Structural Engineering & Surveying 909 Islington St. Portsmouth, NH 03801 (603) 433-7560			
CLIENT DR. PAUL BACON 140 EDMOND AVE PORTSMOUTH, NH 03801			
TITLE SITE PLAN			
140 EDMOND AVENUE BACMAN ENTERPRISES INC. PORTSMOUTH NH, 03801 TAX MAP 220, LOT 81			
JOB NUMBER	DWG. NO.	ISSUE	
05-030	2 OF 4	7	



PLANTING NOTES

- 1) ALL PLANT MATERIALS SHALL BE FIRST QUALITY NURSERY GROWN STOCK.
- 2) ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH NEW HAMPSHIRE LANDSCAPE ASSOCIATION STANDARDS AND GUARANTEED FOR ONE YEAR BY THE LANDSCAPE CONTRACTOR.
- 3) ALL SHRUBS AND PERENNIALS SHALL HAVE WATER SAUCERS BUILT AROUND THEIR BASES TO PREVENT RUNOFF DURING IRRIGATION AND TO DIRECT WATER TO THE ROOTS OF THE PLANTS.
- 4) THE HOLES FOR THE PROPOSED PLANTS IN THE 'WETLAND BUFFER PLANTING AREA' SHALL BE DUG IN THE EXISTING GRAVELLY/SANDY LOAM FOLLOWING THE INSTRUCTIONS IN THE PLANTING DIAGRAM. A LOOSE ACIDIC SANDY LOAM SHALL BE USED TO AMEND EACH HOLE.
- 5) ANY LAWN AREAS DISTURBED BY THE PLANTING OF SHRUBS AND PERENNIALS SHALL BE RESEEDDED WITH A GRASS SEED MIXTURE SUITABLE FOR FULL SUN.
- 6) ALL SHRUBS AND PERENNIALS SHALL BE PLANTED BEFORE LAWN IS RESEEDDED.
- 7) ALL PLANTING BEDS SHALL BE MULCHED WITH 3" OF DARK BROWN AGED BARK MULCH AS A FINAL STEP. MULCH MUST BE KEPT 2" AWAY FROM THE TRUNKS OF SHRUBS AND CROWNS OF PERENNIALS.
- 8) LANDSCAPING WORK TO BE DONE UNDER DIRECT SUPERVISION OF SOIL SCIENTIST TO ESTABLISH PLANTINGS AND EROSION CONTROL USING APPROPRIATE METHODS.

MAINTENANCE REQUIREMENTS

- 1) ALL NEW SHRUBS AND PERENNIALS SHALL BE WATERED THROUGH THANKSGIVING DURING THE FIRST SEASON IN WHICH THEY ARE INSTALLED.
- 2) AN UNDERGROUND DRIP IRRIGATION SYSTEM IS RECOMMENDED. IF AN UNDERGROUND DRIP IRRIGATION SYSTEM IS NOT INSTALLED, SOAKER HOSES WOUND THROUGHOUT PLANTING BEDS ARE ACCEPTABLE. ALTHOUGH OVERHEAD SPRINKLERS ARE RECOMMENDED FOR LAWN AREAS, THEY ARE NOT THE PREFERRED METHOD OF IRRIGATING SHRUBS AND PERENNIALS.

GENERAL NOTES

- 1) THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS.
- 2) ALL REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY, AND KEPT FREE OF REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.
- 3) THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.
- 4) REMOVE RUBBLE PILE ADJACENT TO THE PROPOSED WETLAND BUFFER PLANTING AREA.

LEGEND

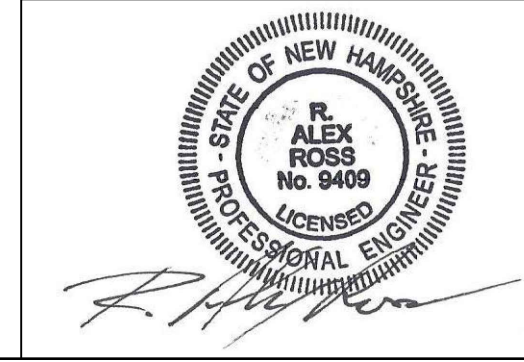
- BOULDER-300 LB. MINIMUM
- FENCE LINE
- WATER LINE
- SEWER LINE
- EXISTING TREE LINE
- EXISTING ELEVATION
- PROPOSED ELEVATION
- PROPOSED CONTOUR
- PROPOSED CONTOUR
- DRAINAGE FLOW
- OVERHEAD TELEPHONE & CABLE
- UNDERGROUND ELECTRIC

PLANT LIST

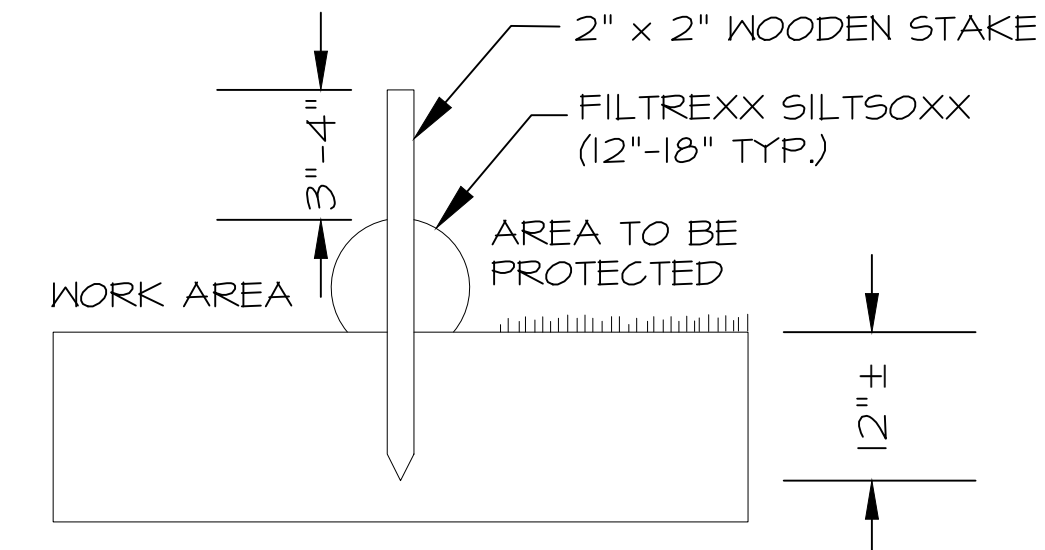
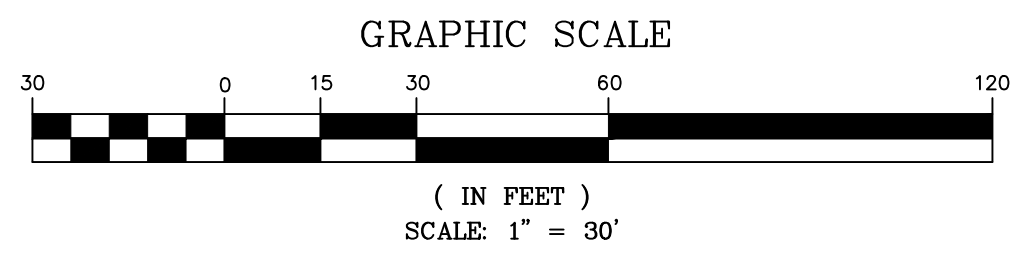
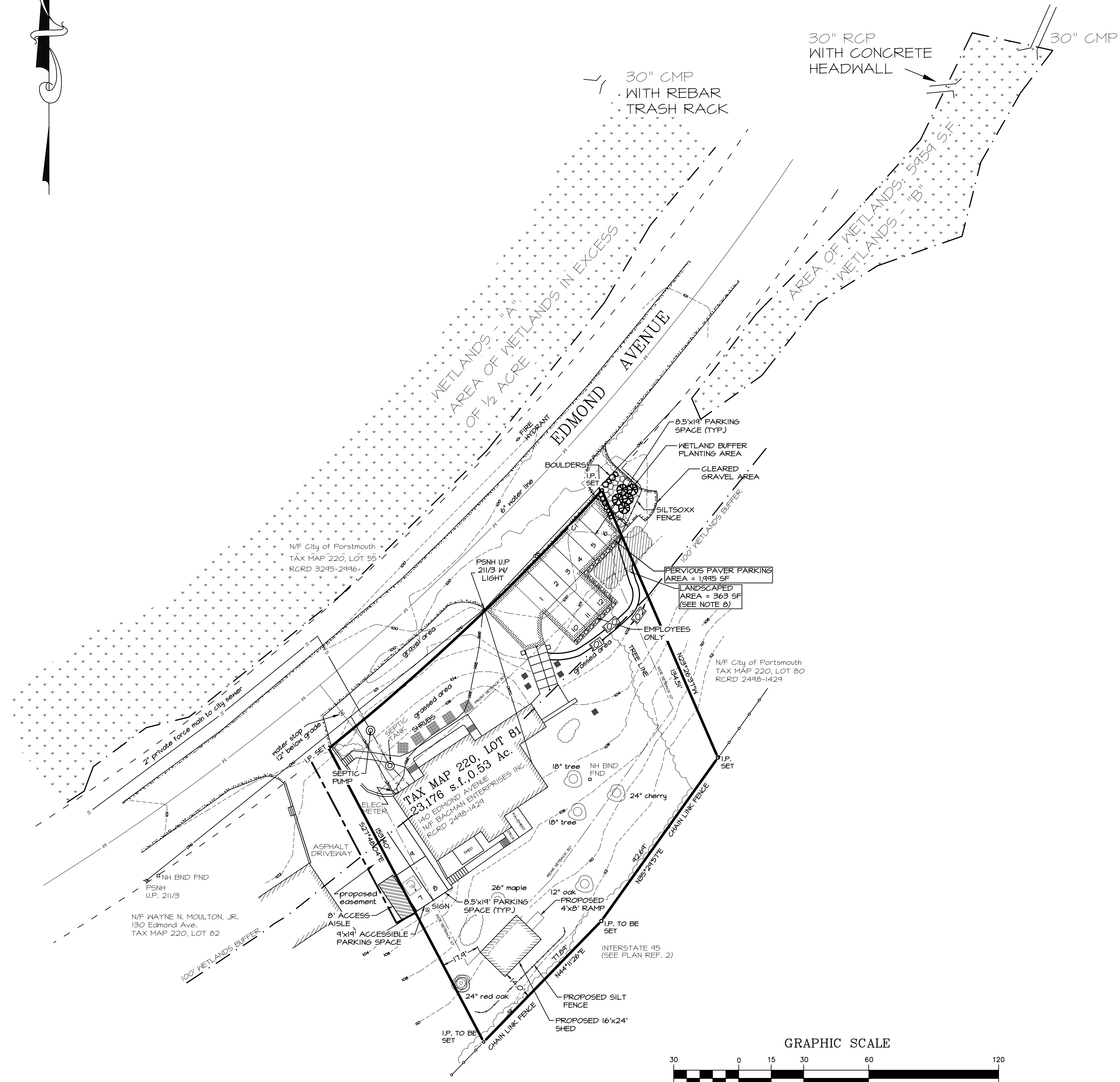
ITEM:	SIZE:	QTY:
1. CALAMAGROSTIC acutifolia 'KARL FOERSTER'-FEATHER REED GRASS	1 GALLON SIZE=	1
2. POTENTILLA fruticosa 'GOLD DROP'-YELLOW SHRUBBY CINQUEFOIL	2 GALLON SIZE=	5
3. POTENTILLA fruticosa 'ABBOTSWOOD'-WHITE SHRUBBY CINQUEFOIL	2 GALLON SIZE=	6
4. AURINIA saxatilis-'BASKET OF GOLD'	1 GALLON SIZE=	14
5. NEPETA faassenii 'BLUE WONDER'-CATMINT	1 GALLON SIZE=	7
6. BUXUS x 'GREEN MOUNTAIN'-HYBRID BOXWOOD	3 GALLON SIZE=	3
7. AMELANCHIER CANADENSIS - SHADBLOW SERVICEBERRY	5' TALL SIZE	5
8. VACCINIUM CORYMBOSUM x V. ANGUSTIFOLIUM 'NORTHLAND'	3 GALLON SIZE=	4
9. VACCINIUM CORYMBOSUM x V. ANGUSTIFOLIUM 'FRIENDSHIP'	1 GALLON SIZE=	10

CITY OF PORTSMOUTH PLANNING BOARD

CHAIRPERSON _____ DATE _____

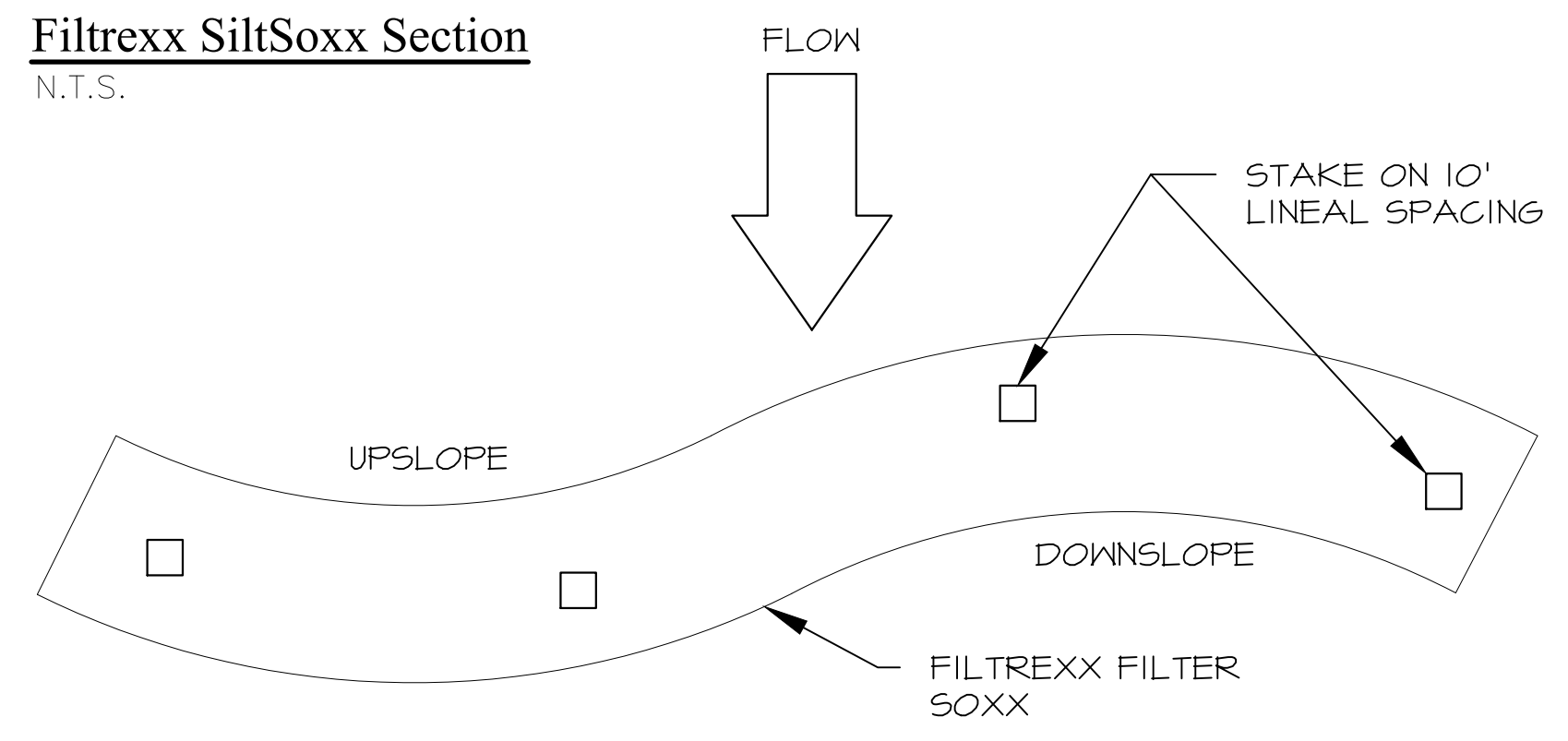


7	10/28/20	PB SUBMITTAL	
6	10/21/20	TAC SUBMITTAL	
5	9/29/20	ZBA SUBMITTAL	
ISS:	DATE	DESCRIPTION OF ISSUE	
SCALE 1" = 10'			
CHECKED A. ROSS			
DRAWN D.D.D.			
CHECKED			
ROSS ENGINEERING, LLC Civil/Structural Engineering & Surveying 909 Islington St. Portsmouth, NH 03801 (603) 433-7560			
CLIENT DR. PAUL BACON 140 EDMOND AVE PORTSMOUTH, NH 03801			
TITLE LANDSCAPING PLAN 140 EDMOND AVENUE BACMAN ENTERPRISES INC. PORTSMOUTH NH, 03801 TAX MAP 220, LOT 81			
JOB NUMBER	DWG. NO.	ISSUE	
05-030	3 OF 4	7	

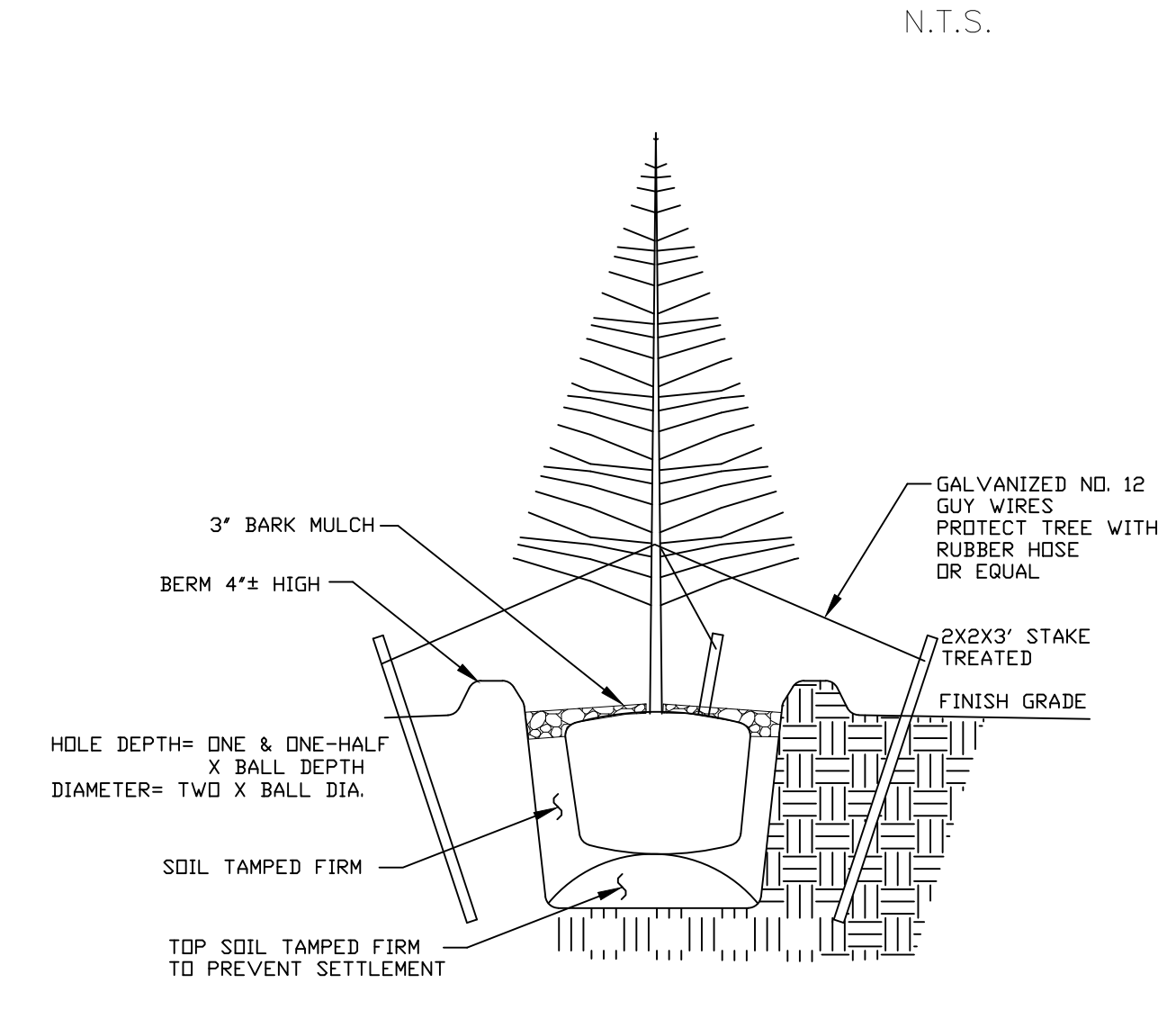


Filtrexx SiltSoxx Section
N.T.S.

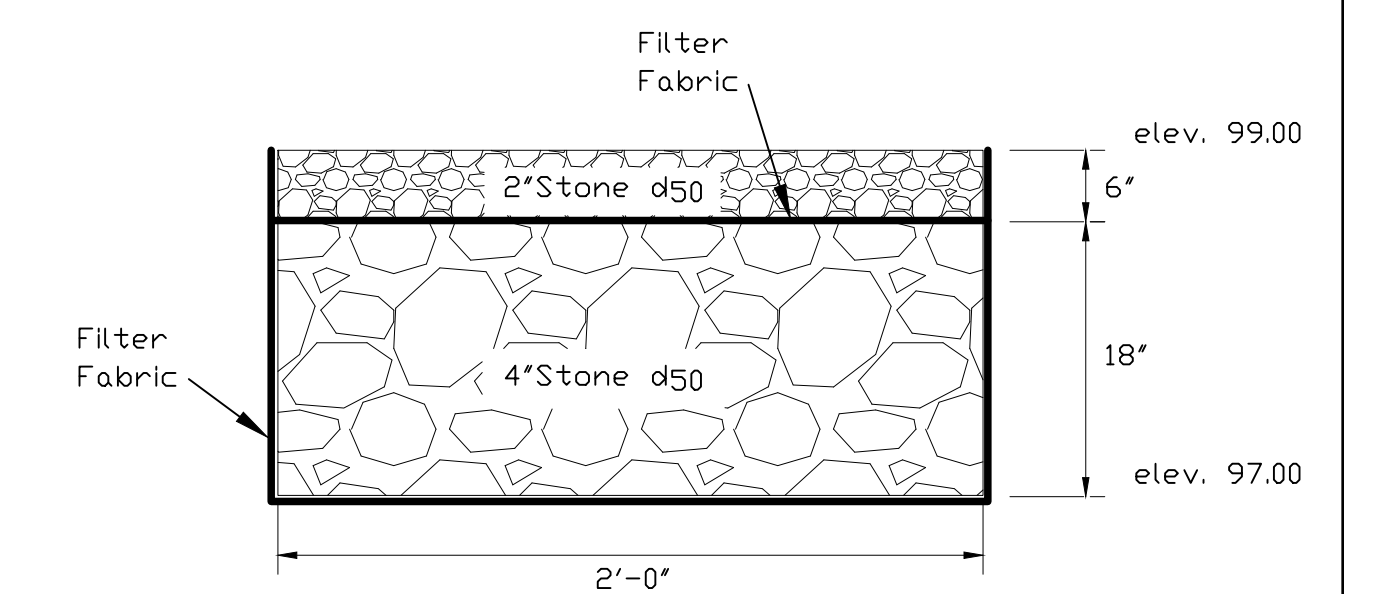
- FILTREXX SILTSOXX NOTES**
- 1) ALL MAERTIAL TO MEET FILTREXX SPECIFICATIONS
 - 2) SILTSOXX COMPOST, SOIL, ROCK, SEED FILL TO MEET APPLICATION REQUIREMENTS



Filtrexx SiltSoxx Plan View
N.T.S.



TREE PLANTING DETAIL
N.T.S.



INFILTRATION BASIN
N.T.S.

7	10/28/20	PB SUBMITTAL	
6	10/21/20	TAC SUBMITTAL	
5	9/29/20	ZBA SUBMITTAL	
ISS.	DATE	DESCRIPTION OF ISSUE	
SCALE	1" = 30'		
CHECKED	A. ROSS		
DRAWN	D.D.D.		
CHECKED			

ROSS ENGINEERING, LLC
Civil/Structural Engineering
& Surveying
909 Islington St.
Portsmouth, NH 03801
(603) 433-7560

CLIENT
DR. PAUL BACON
140 EDMOND AVE
PORTSMOUTH, NH 03801

TITLE
**WETLANDS
& DETAILS**
140 EDMOND AVENUE
BACMAN ENTERPRISES INC.
PORTSMOUTH NH, 03801
TAX MAP 220, LOT 81

JOB NUMBER	DWG. NO.	ISSUE
05-030	4 OF 4	7

