

Site Plan Review Drawings

140 Edmond Ave.
Bacman Enterprises INC.
Portsmouth, New Hampshire

PREPARED BY:

ROSS ENGINEERING, LLC

Civil/Structural Engineering
& Surveying

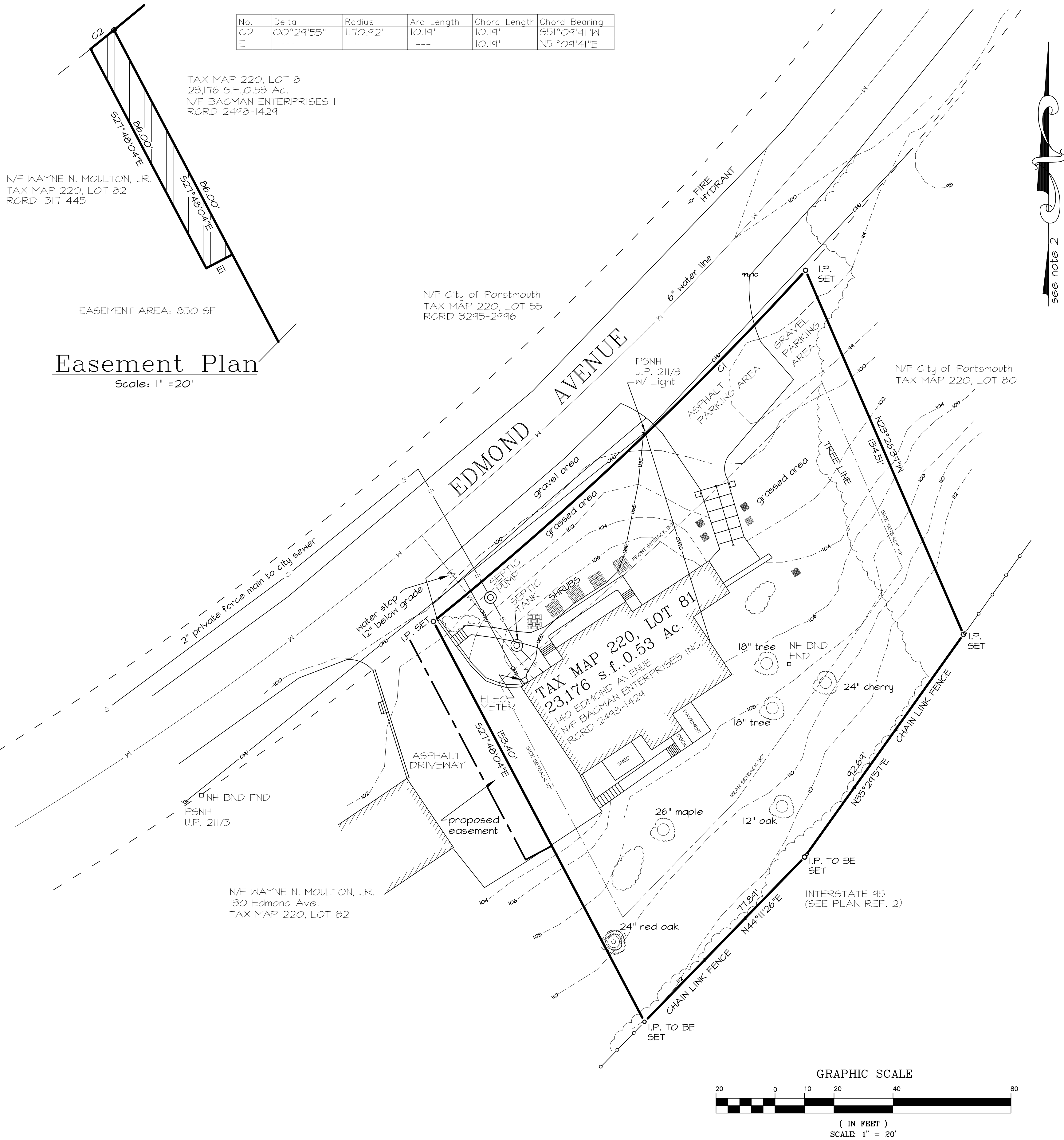
909 Islington St.
Portsmouth, NH 03801
(603) 433-7560

LIST OF PROJECT PLANS:

SITE PLAN SET

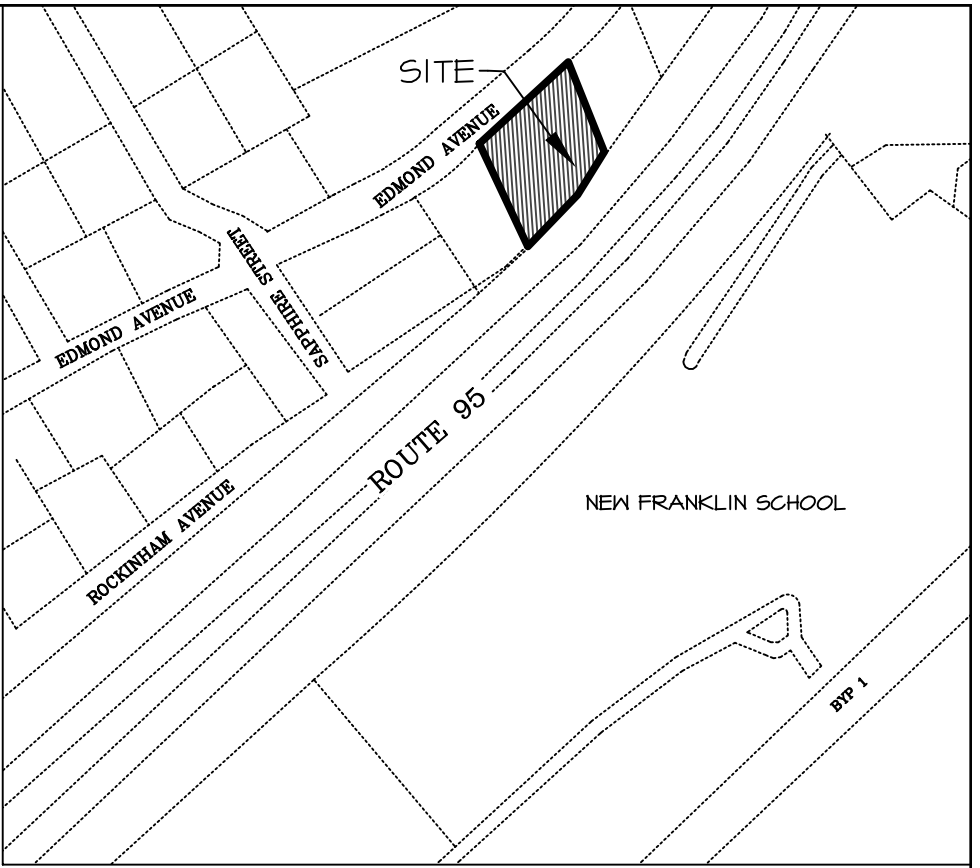
- 1 - Existing Conditions
- 2 - Site Plan
- 3 - Landscape Plan
- 4 - Wetlands and Details

June 22, 2020



NOTES

- 1) OWNER OF RECORD:
BACMAN ENTERPRISES INC.
TAX MAP 220, LOT 81
140 EDMOND AVE
PORTSMOUTH, NH 03801
RCRD: 2448-1429
AREA: 23,176 S.F., 0.53 Ac
- 2) BASIS OF BEARING HELD FROM PLAN REFERENCE #1.
- 3) PARCEL IS IN SINGLE RESIDENCE B (SRB):
MINIMUM LOT AREA.....15,000 SF
MIN. LOT AREA PER DWELLING UNIT.....15,000 SF
MINIMUM FRONTAGE.....100 FT
MINIMUM DEPTH.....100 FT
SETBACKS:
FRONT.....30 FT
SIDE.....10 FT
REAR.....30 FT
MAXIMUM BUILDING HEIGHT:
SLOPED ROOF.....35 FT
FLAT ROOF.....30 FT
MAXIMUM BUILDING COVERAGE.....20%
MINIMUM OPEN SPACE.....40%
- 4) SEWER, WATER, & GAS LINE LOCATIONS ARE APPROXIMATE & BASED ON FIELD MEASUREMENTS & CITY DPW INFORMATION. THE BUILDING IS SUPPLIED WITH ELECTRICAL SERVICE BY A CONDUIT WHICH RUNS FROM PSNH UTILITY POLE 211/3 TO THE ELECTRICAL METER ON THE SIDE OF THE BUILDING. THE EXACT LOCATION OF THIS CONDUIT IS UNKNOWN.



LOCUS PLAN
N.T.S.

LEGEND

- S— SEWER LINE
—W— WATER LINE
—OHU— OVERHEAD UTILITIES
—OHTC— OVERHEAD TELEPHONE & CABLE
—U— TREE LINE
—UGE— UNDERGROUND ELECTRIC

REFERENCE PLANS

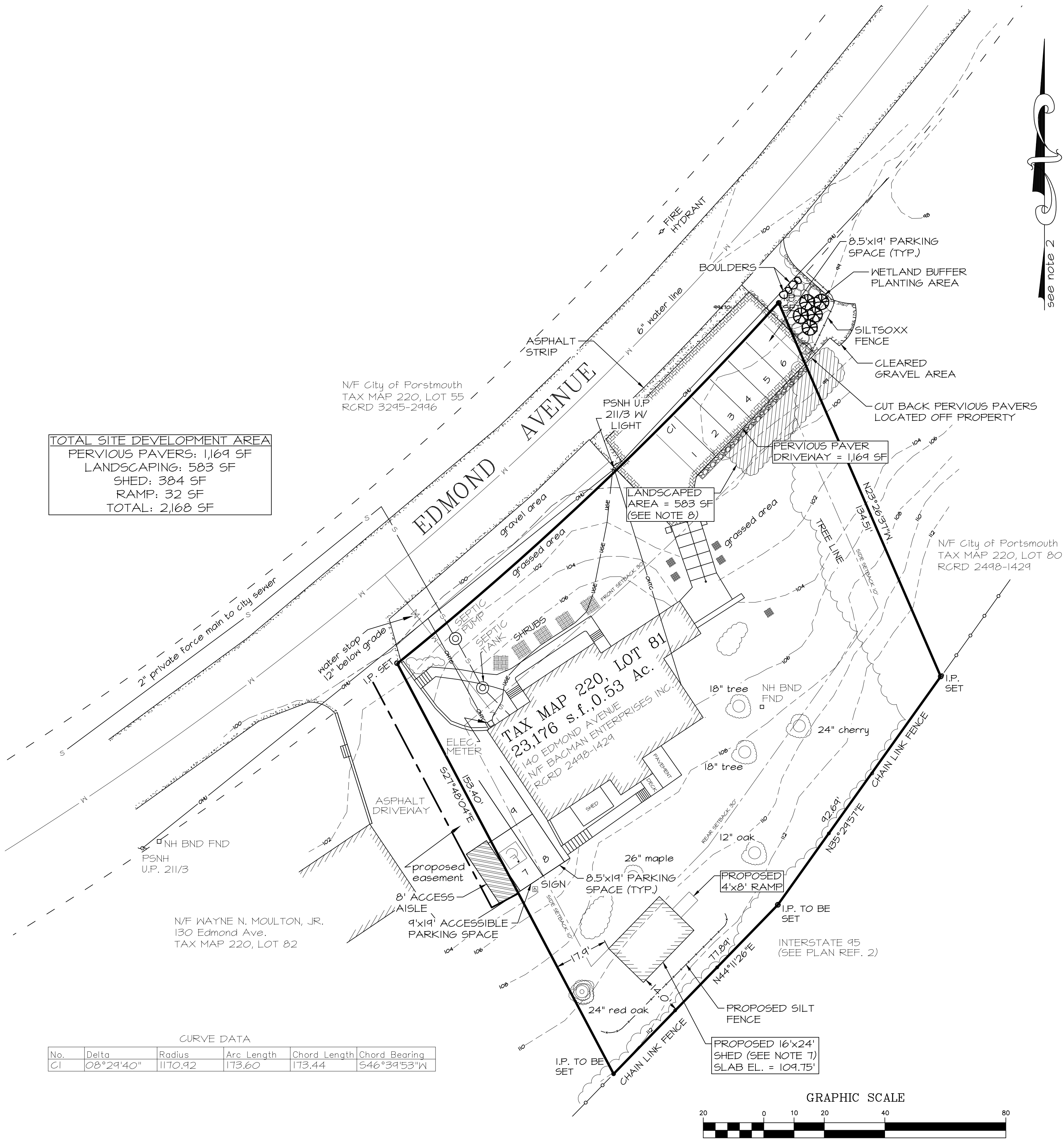
- 1) "CONSOLIDATION PLAN OF LAND FOR BACMAN ENTERPRISES, INC 140-142 EDMUND AVENUE COUNTY OF ROCKINGHAM PORTSMOUTH NH", BY RICHARD P. MILLETE & ASSOCIATES. DATED AUGUST 2, 1989. RCRD C-19642
- 2) "HIGHWAY LAYOUT PLAN, PLAN OF PORTSMOUTH" 1-95-1 (9) 14 P-5875-A: SHEETS 12 & 13", BY NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION. DATED MAY 2, 1967. RCRD D-2229.

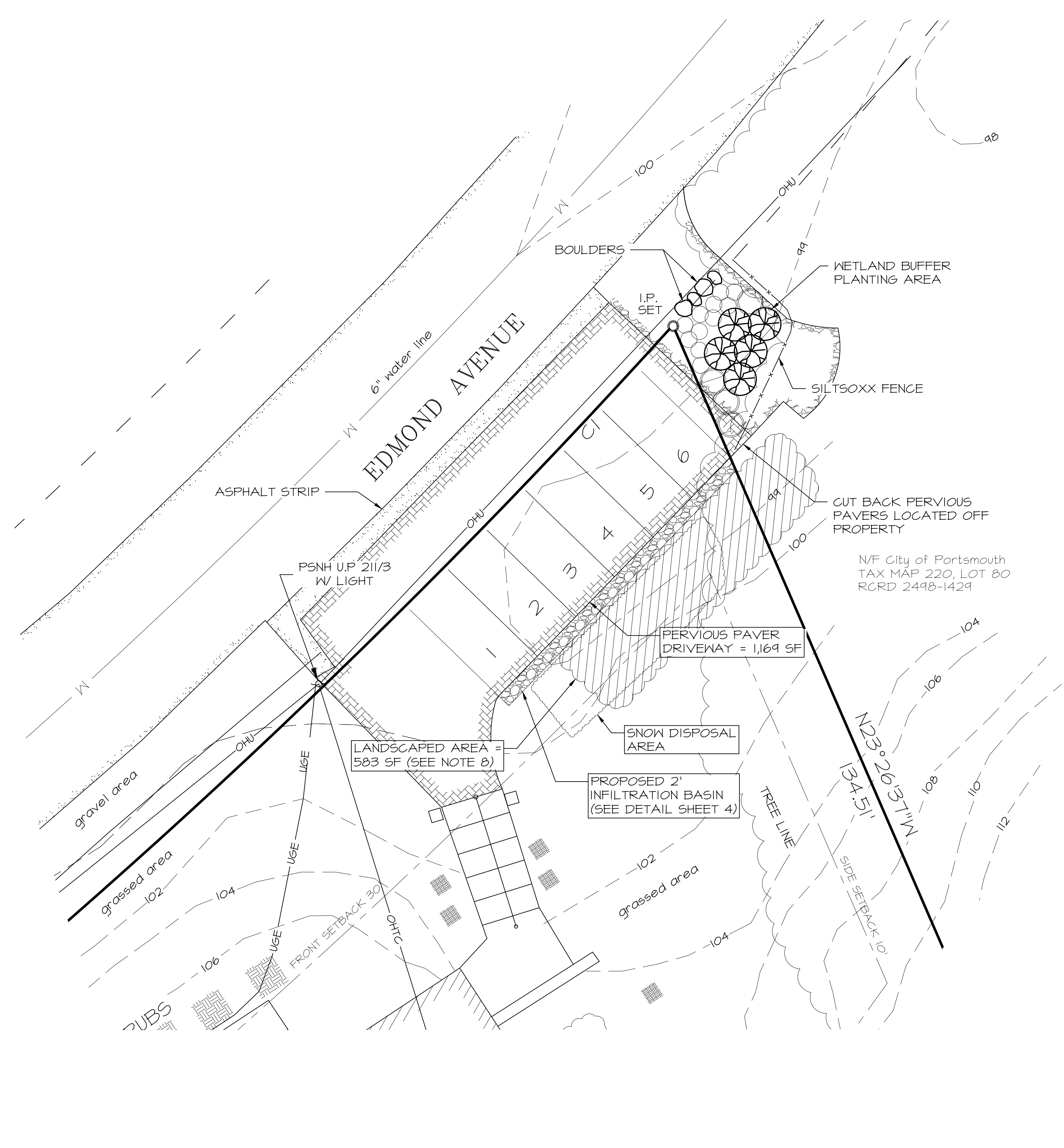
3	6/22/20	TAC	
2	6/25/19	ZBA SUBMITTAL	
1	10/18/18	PRELIMINARY	
ISS.	DATE	DESCRIPTION OF ISSUE	
SCALE	1" = 20'		
CHECKED	A.ROSS		
DRAWN	D.D.D.		
CHECKED			
ROSS ENGINEERING, LLC Civil/Structural Engineering & Surveying 909 Islington St. Portsmouth, NH 03801 (603) 433-7560			
CLIENT DR. PAUL BACON 140 EDMOND AVE PORTSMOUTH, NH 03801			
TITLE EXISTING CONDITIONS			
BACMAN ENTERPRISES INC. PORTSMOUTH NH, 03801 TAX MAP 220, LOT 81			
JOB NUMBER	DWG. NO.	ISSUE	
05-030	1 OF 4	3	

NOTES

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MAXIMUM BUILDING HEIGHT:
SLOPED ROOF.....35 FT
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MINIMUM OPEN SPACE.....40%
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- 5) COVERAGES
BUILDING COVERAGE
EXISTING BUILDING COVERAGE
HOUSE.....2628 SF
SHED.....180 SF
EXISTING STRUCTURE.....2808 SF
BUILDING COVERAGE 2808 /23176 = 12.1%
- PROPOSED BUILDING COVERAGE
HOUSE.....2628 SF
SHED.....564 SF
EXISTING STRUCTURE.....3192 SF
BUILDING COVERAGE 3192 /23176 = 13.8%
- OPEN SPACE
EXISTING OPEN SPACE
BUILDING COVERAGE.....2808 SF
CONCRETE WALKWAYS.....506 SF
CONCRETE STAIRWAYS.....394 SF
ASPHALT.....2315 SF
GRAVEL PARKING.....514 SF
TOTAL LOT COVERAGE.....6537 SF
OPEN SPACE 23176 - 6537 = 16639 SF
OPEN SPACE 16639 / 23176 = 71.8%
- PROPOSED OPEN SPACE
BUILDING COVERAGE.....3192 SF
CONCRETE WALKWAYS.....506 SF
CONCRETE STAIRWAYS.....394 SF
ASPHALT.....1200 SF
RAMP.....32 SF
TOTAL LOT COVERAGE.....5324 SF
OPEN SPACE 23176 - 5324 = 17852 SF
OPEN SPACE 17852 / 23176 = 77.0%
- 6) PARKING SPACES:
2300+/- S.F. MEDICAL SPACE - 1/250 S.F....10 SPACES
2 APARTMENTS - 1.5/DWELLING.....3 SPACES
TOTAL REQUIRED SPACES.....13 SPACES
PROVIDED SPACES.....9 SPACES
- HANDICAP SPACE REQUIREMENT: 1 PER 25...1 SPACE
- 7) PROPOSED SHED MUST MEET ACCESSORY BUILDING SETBACKS SPECIFIED IN SECTION 10.570 IN THE PORTSMOUTH ZONING ORDINANCE. ONE POSSIBLE CONFIGURATION HAS BEEN SHOWN. THE GRADE PLANE SHOWN IS 110.25'. BUILDING HEIGHT CALCULATED FROM THIS GRADE PLANE IS 11.96'.
- 8) LANDSCAPING WORK TO BE DONE UNDER DIRECT SUPERVISION OF SOIL SCIENTIST TO ESTABLISH PLANTINGS AND EROSION CONTROL USING APPROPRIATE METHODS.
- 9) ON JULY 23, 2019 THE CITY OF PORTSMOUTH BOARD OF ADJUSTMENT APPROVED THE FOLLOWING:
A) FROM SECTION 10.333 TO ALLOW A NONCONFORMING USE TO BE EXTENDED INTO OTHER PARTS OF THE BUILDING.
B) FROM SECTION 10.113.20 TO ALLOW OFF-STREET PARKING SPACES TO BE LOCATED IN THE REQUIRED FRONT YARD OR BETWEEN A PRINCIPAL BUILDING OR THE STREET; AND
C) FROM SECTION 10.114.32 TO ALLOW VEHICLES TO ENTER OR LEAVE A PARKING AREA BY BACKING OUT, INTO OR FROM PUBLIC STREET OR WAY.

TOTAL SITE DEVELOPMENT AREA
PERVIOUS PAVERS: 1,169 SF
LANDSCAPING: 583 SF
SHED: 384 SF
RAMP: 32 SF
TOTAL: 2,168 SF





PLANTING NOTES

- 1) ALL PLANT MATERIALS SHALL BE FIRST QUALITY NURSERY GROWN STOCK.
- 2) ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH NEW HAMPSHIRE LANDSCAPE ASSOCIATION STANDARDS AND GUARANTEED FOR ONE YEAR BY THE LANDSCAPE CONTRACTOR.
- 3) ALL SHRUBS AND PERENNIALS SHALL HAVE WATER SAUCERS BUILT AROUND THEIR BASES TO PREVENT RUNOFF DURING IRRIGATION AND TO DIRECT WATER TO THE ROOTS OF THE PLANTS.
- 4) THE HOLES FOR THE PROPOSED PLANTS IN THE 'WETLAND BUFFER PLANTING AREA' SHALL BE DUG IN THE EXISTING GRAVELLY/SANDY LOAM FOLLOWING THE INSTRUCTIONS IN THE PLANTING DIAGRAM. A LOOSE ACIDIC SANDY LOAM SHALL BE USED TO AMEND EACH HOLE.
- 5) ANY LAWN AREAS DISTURBED BY THE PLANTING OF SHRUBS AND PERENNIALS SHALL BE RESEED WITH A GRASS SEED MIXTURE SUITABLE FOR FULL SUN.
- 6) ALL SHRUBS AND PERENNIALS SHALL BE PLANTED BEFORE LAWN IS RESEED.
- 7) ALL PLANTING BEDS SHALL BE MULCHED WITH 3" OF DARK BROWN AGED BARK MULCH AS A FINAL STEP. MULCH MUST BE KEPT 2" AWAY FROM THE TRUNKS OF SHRUBS AND CROWNS OF PERENNIALS.
- 8) LANDSCAPING WORK TO BE DONE UNDER DIRECT SUPERVISION OF SOIL SCIENTIST TO ESTABLISH PLANTINGS AND EROSION CONTROL USING APPROPRIATE METHODS.

MAINTENANCE REQUIREMENTS

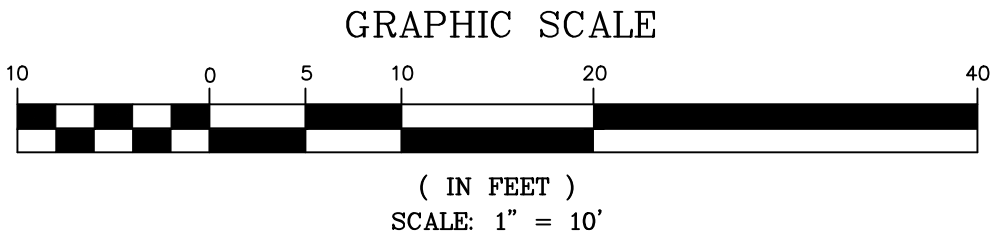
- 1) ALL NEW SHRUBS AND PERENNIALS SHALL BE WATERED THROUGH THANKSGIVING DURING THE FIRST SEASON IN WHICH THEY ARE INSTALLED.
- 2) AN UNDERGROUND DRIP IRRIGATION SYSTEM IS RECOMMENDED. IF AN UNDERGROUND DRIP IRRIGATION SYSTEM IS NOT INSTALLED, SOAKER HOSES WOUND THROUGHOUT PLANTING BEDS ARE ACCEPTABLE. ALTHOUGH OVERHEAD SPRINKLERS ARE RECOMMENDED FOR LAWN AREAS, THEY ARE NOT THE PREFERRED METHOD OF IRRIGATING SHRUBS AND PERENNIALS.

GENERAL NOTES

- 1) THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS.
- 2) ALL REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY, AND KEPT FREE OF REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.
- 3) THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.

LEGEND

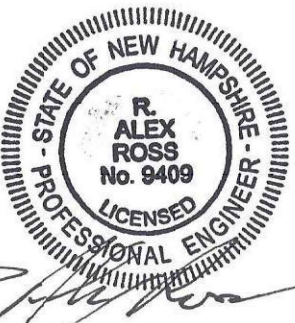
- BOULDER-300 LB. MINIMUM
- FENCE LINE
- WATER LINE
- SEWER LINE
- EXISTING TREE LINE
- EXISTING ELEVATION
- PROPOSED ELEVATION
- PROPOSED CONTOUR
- PROPOSED CONTOUR
- DRAINAGE FLOW
- OVERHEAD TELEPHONE & CABLE
- UNDERGROUND ELECTRIC



CITY OF PORTSMOUTH PLANNING BOARD

CHAIRPERSON

DATE



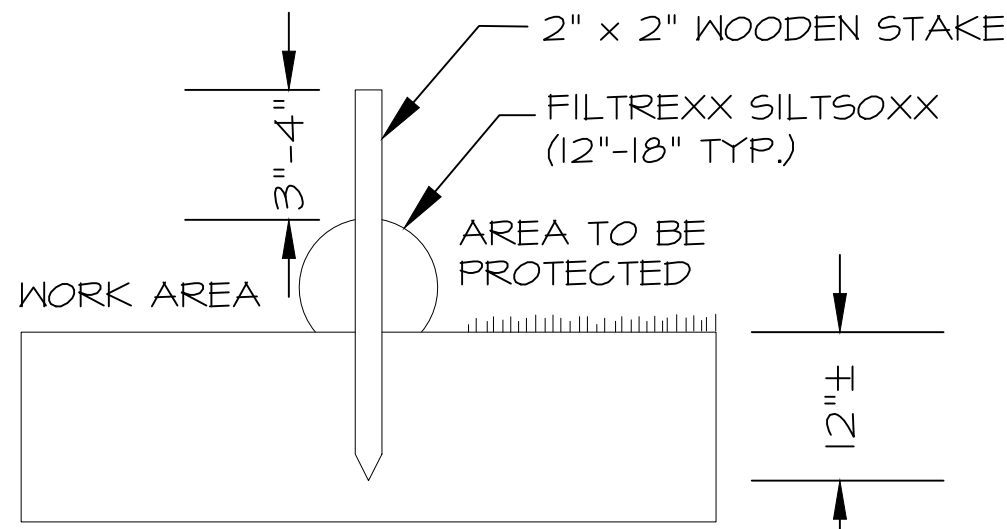
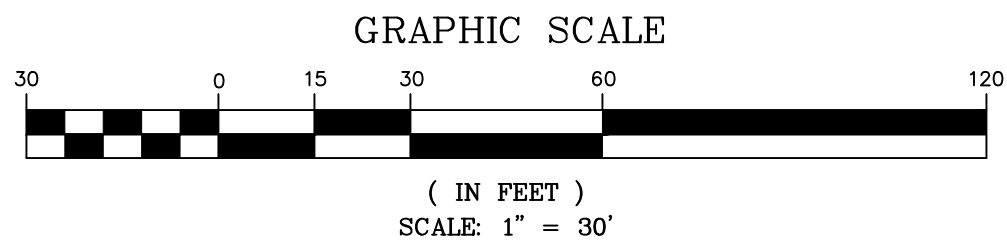
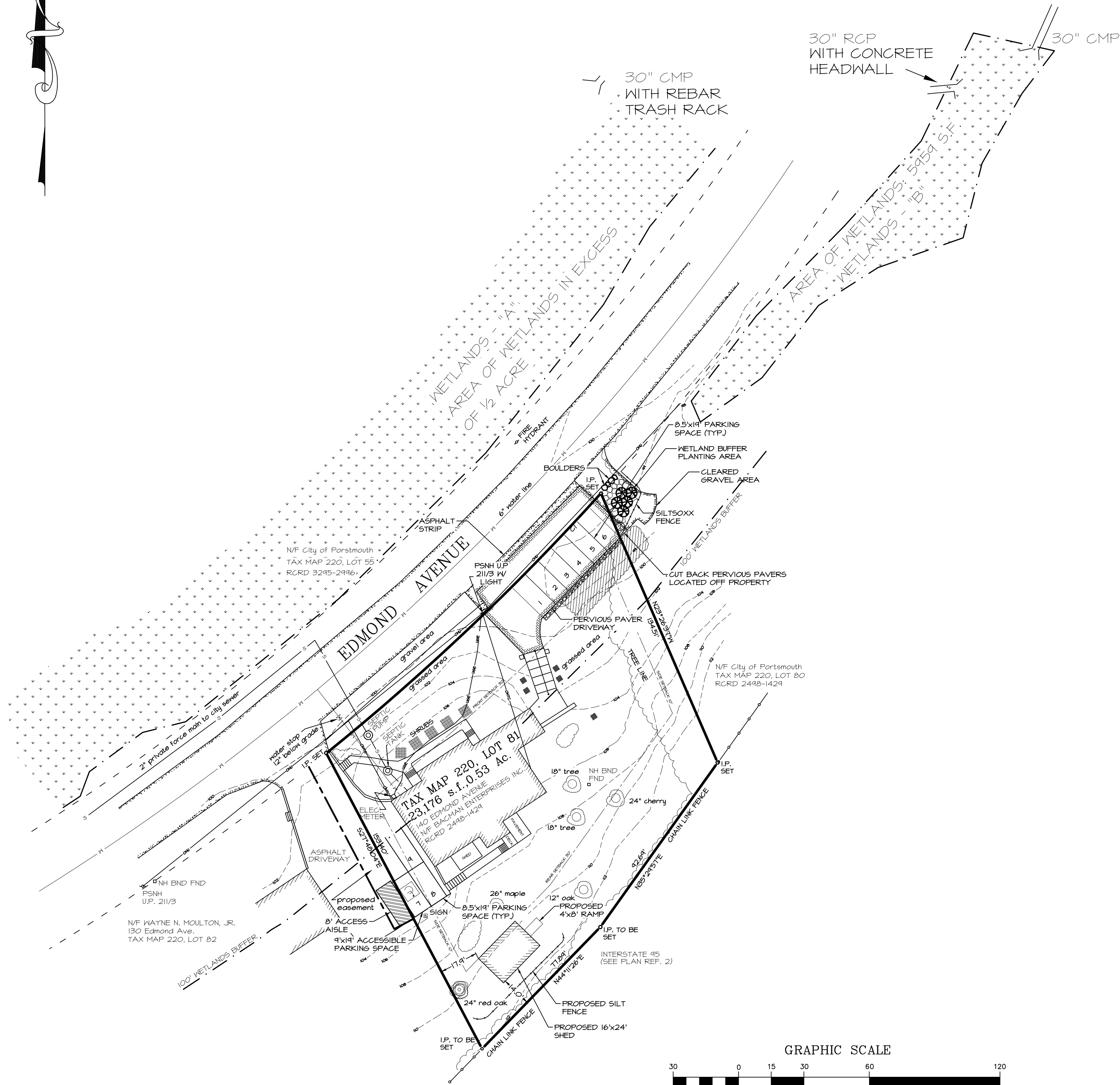
ROSS ENGINEERING, LLC
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909 Islington St.
Portsmouth, NH 03801
(603) 433-7560

CLIENT
DR. PAUL BACON
140 EDMOND AVE
PORTSMOUTH, NH 03801

TITLE
**LANDSCAPING
PLAN**

BACMAN ENTERPRISES INC.
PORTSMOUTH NH, 03801
TAX MAP 220, LOT 81

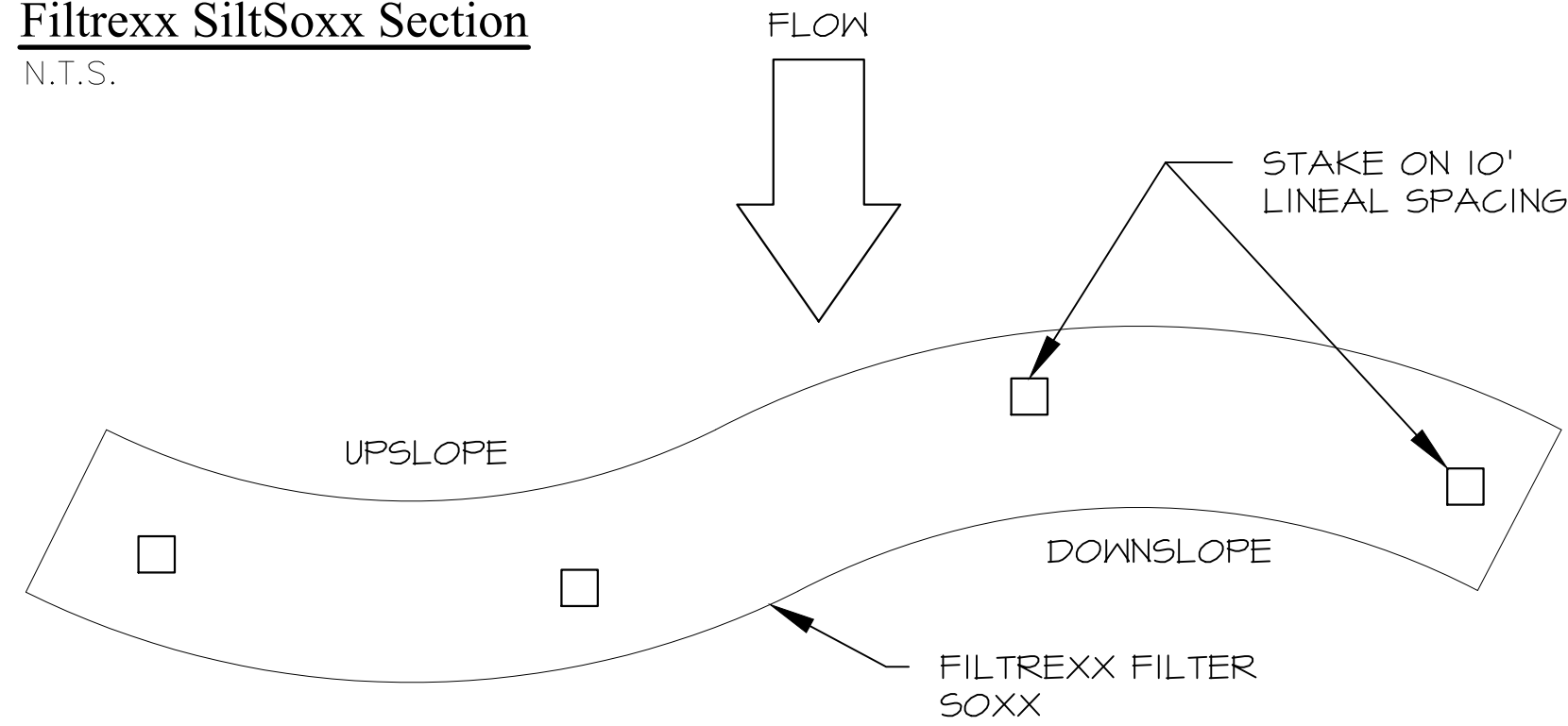
JOB NUMBER 05-030 DWG. NO. 3 OF 4 ISSUE 3



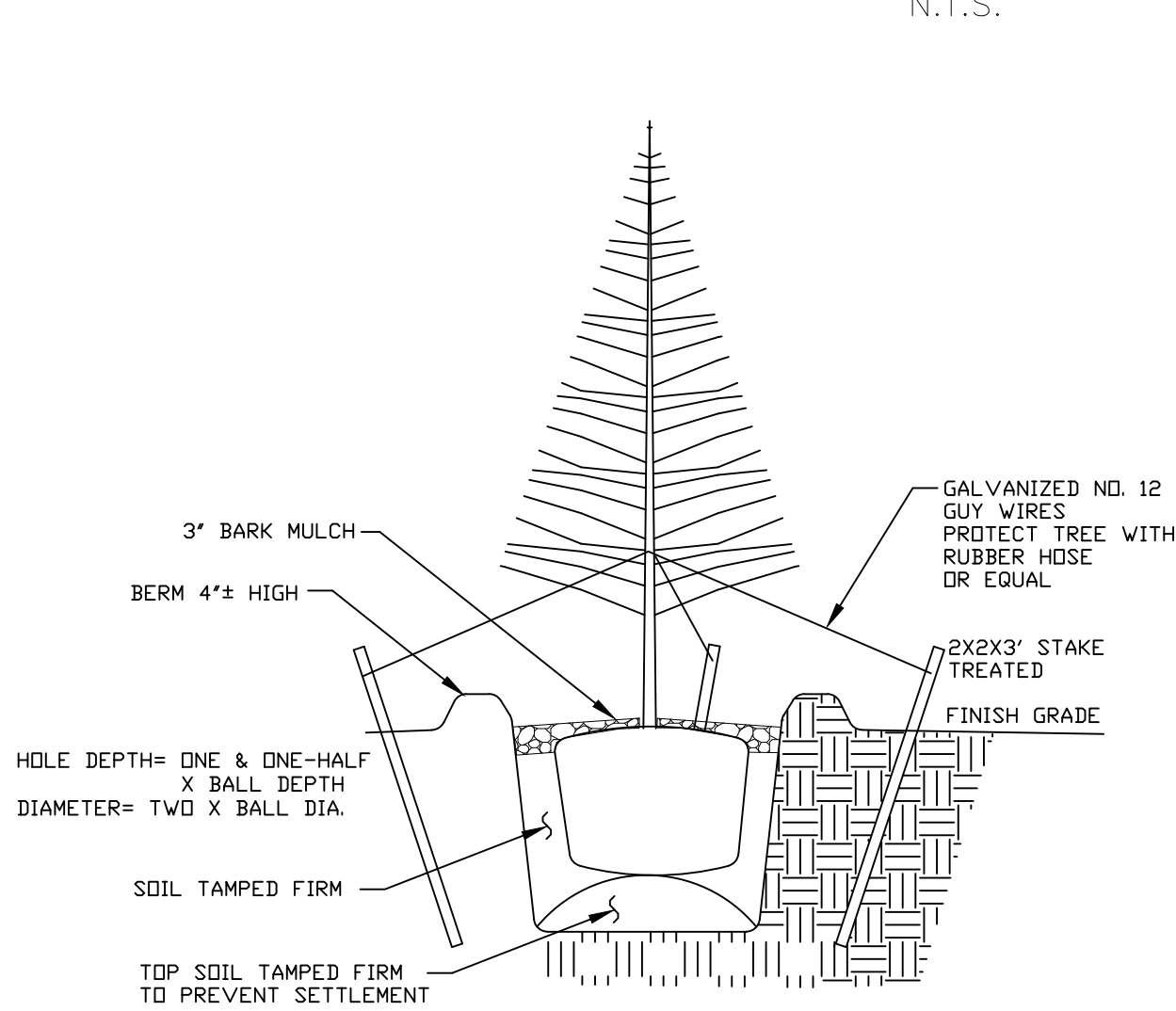
Filtrexx SiltSoxx Section
N.T.S.

FILTREXX SILTSOXX NOTES

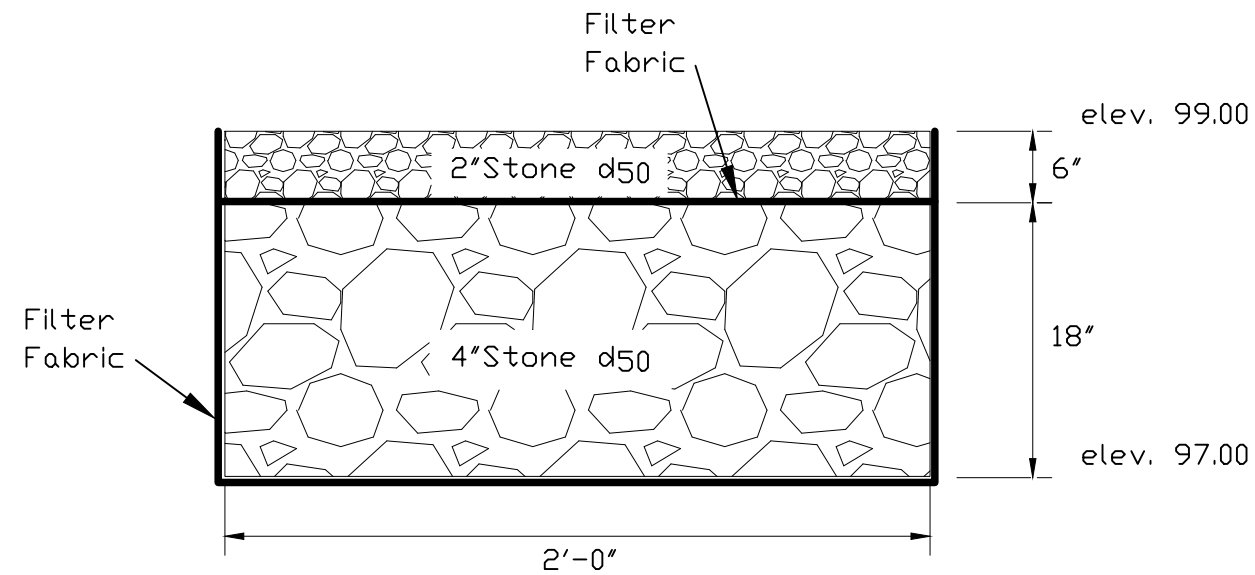
- 1) ALL MAERTIAL TO MEET FILTREXX SPECIFICATIONS
- 2) SILTSOXX COMPOST, SOIL, ROCK, SEED FILL TO MEET APPLICATION REQUIREMENTS



Filtrexx SiltSoxx Plan View
N.T.S.



TREE PLANTING DETAIL
N.T.S.



INFILTRATION BASIN
N.T.S.

3	6/22/20	TAC	
2	6/25/19	ZBA SUBMITTAL	
1	10/18/18	PRELIMINARY	
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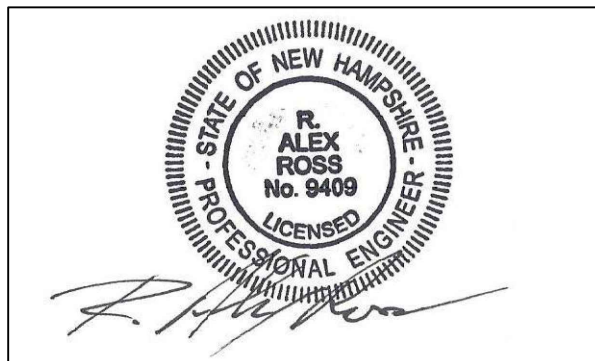
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CLIENT
DR. PAUL BACON
140 EDMOND AVE
PORTSMOUTH, NH 03801

TITLE
WETLANDS & DETAILS

BACMAN ENTERPRISES INC.
PORTSMOUTH NH, 03801
TAX MAP 220, LOT 81

JOB NUMBER	DWG. NO.	ISSUE
05-030	4 OF 4	3



May 14, 2020

Re: Paul Bacon
140 Edmond Ave
Portsmouth, NH 03801
Tax Map 220, Lot 81
Land Use Permit

Dear Tracy Gora,

This is a letter describing the proposed site improvements to the site located at 140 Edmond Ave in Portsmouth, NH including the site development area and supply costs.

Improvements to the site include, removing an existing asphalt driveway and replacing it with a 1,169 SF pervious paver driveway, adding 583 SF of grading work for landscaping and drainage, and adding a 384 SF (16'x24') shed with a 32 SF ramp in the rear of the property.

Total site development area is 2,168 SF. The total supply cost estimate is \$7,500.

Sincerely,

Alex Ross, P.E.
Ross Engineering
909 Islington St. Suite 6
Portsmouth, NH, 03801

**Ross Engineering, LLC
Civil / Structural Engineering**

**909 Islington Street
Portsmouth, NH 03801**

**603-433-7560
alexross@comcast.net**

**140 Edmond Avenue
Project Description**

June 22, 2020

This location has been operating for decades as a Chiropractors office with a residence. No expansion is proposed for the business or the residence. Previously this site was granted City approval for improvements that included a much larger parking area, and a large retaining wall. The improvements that are currently proposed allow for a much smaller parking area with much less site alteration and disturbance. The necessary Board of Adjustment approvals were granted for this project at the July 2019 meeting.

Sincerely,

Alex Ross, P.E.
Ross Engineering
909 Islington St. Suite 6
Portsmouth, NH, 03801



City of Portsmouth, New Hampshire

Site Plan Application Checklist

This site plan application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan review regulations for full details.

Applicant Responsibilities (Section 2.5.2): Applicable fees are due upon application submittal along with required attachments. The application shall be complete as submitted and provide adequate information for evaluation of the proposed site development. Waiver requests must be submitted in writing with appropriate justification.

Name of Owner/Applicant: ALEX ROSS Date Submitted: 6/22/20

Phone Number: 603-433-7560 E-mail: ALEXROSS@COMCAST.NET

Site Address: 140 EDMOND AVE Map: 220 Lot: 81

Zoning District: ALEX ROSS Lot area: 23,176 sq. ft.

Application Requirements			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Fully executed and signed Application form. (2.5.2.3)	SUBMITTED ONLINE	N/A
<input checked="" type="checkbox"/>	All application documents, plans, supporting documentation and other materials provided in digital Portable Document Format (PDF). (2.5.2.8)	SUBMITTED ONLINE	N/A

Site Plan Review Application Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Statement that lists and describes "green" building components and systems. (2.5.3.1A)	N/A	
<input type="checkbox"/>	Gross floor area and dimensions of all buildings and statement of uses and floor area for each floor. (2.5.3.1B)	N/A	N/A
<input checked="" type="checkbox"/>	Tax map and lot number, and current zoning of all parcels under Site Plan Review. (2.5.3.1C)	SUBMITTED ONLINE	N/A
<input checked="" type="checkbox"/>	Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. (2.5.3.1D)	SUBMITTED ONLINE	N/A

Site Plan Review Application Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property. (2.5.3.1E)	ABUTTER'S LIST ATTACHED	N/A
<input checked="" type="checkbox"/>	Names, addresses and telephone numbers of all professionals involved in the site plan design. (2.5.3.1F)	ABUTTER'S LIST ATTACHED	N/A
<input checked="" type="checkbox"/>	List of reference plans. (2.5.3.1G)	SHEET 1	N/A
<input type="checkbox"/>	List of names and contact information of all public or private utilities servicing the site. (2.5.3.1H)	N/A	N/A

Site Plan Specifications			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director. Submittals shall be a minimum of 11 inches by 17 inches as specified by Planning Dept. staff. (2.5.4.1A)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans. (2.5.4.1B)	Required on all plan sheets	N/A
<input type="checkbox"/>	GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. (2.5.4.1C)	N/A	N/A
<input checked="" type="checkbox"/>	Plans shall be drawn to scale. (2.5.4.1D)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Plans shall be prepared and stamped by a NH licensed civil engineer. (2.5.4.1D)	ALL SHEETS	N/A
<input type="checkbox"/>	Wetlands shall be delineated by a NH certified wetlands scientist and so stamped. (2.5.4.1E)	N/A	N/A
<input checked="" type="checkbox"/>	Title (name of development project), north point, scale, legend. (2.5.4.2A)	ALL SHEETS	N/A
<input checked="" type="checkbox"/>	Date plans first submitted, date and explanation of revisions. (2.5.4.2B)	ALL SHEETS	N/A
<input checked="" type="checkbox"/>	Individual plan sheet title that clearly describes the information that is displayed. (2.5.4.2C)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Source and date of data displayed on the plan. (2.5.4.2D)	ALL SHEETS	N/A

Site Plan Specifications			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations." (2.5.4.2E)	SHEET 2	N/A
<input type="checkbox"/>	Plan sheets submitted for recording shall include the following notes: <ul style="list-style-type: none"> a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds." b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director." (2.13.3)	N/A	N/A
<input checked="" type="checkbox"/>	Plan sheets showing landscaping and screening shall also include the following additional notes: <ul style="list-style-type: none"> a. "The property owner and all future property owners shall be responsible for the maintenance, repair and replacement of all required screening and landscape materials." b. "All required plant materials shall be tended and maintained in a healthy growing condition, replaced when necessary, and kept free of refuse and debris. All required fences and walls shall be maintained in good repair." c. "The property owner shall be responsible to remove and replace dead or diseased plant materials immediately with the same type, size and quantity of plant materials as originally installed, unless alternative plantings are requested, justified and approved by the Planning Board or Planning Director." (2.13.4)	SHEET 3	N/A

Site Plan Specifications – Required Exhibits and Data			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
	1. Existing Conditions: (2.5.4.3A)		
<input checked="" type="checkbox"/>	a. Surveyed plan of site showing existing natural and built features;	SHEET 1	
<input checked="" type="checkbox"/>	b. Zoning boundaries;	SHEET 1	
<input checked="" type="checkbox"/>	c. Dimensional Regulations;	SHEET 1	
<input checked="" type="checkbox"/>	d. Wetland delineation, wetland function and value assessment;	SHEET 1	
<input checked="" type="checkbox"/>	e. SFHA, 100-year flood elevation line and BFE data.	SHEET 1	
	2. Buildings and Structures: (2.5.4.3B)		
<input type="checkbox"/>	a. Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation;	N/A	
<input type="checkbox"/>	b. Elevations: Height, massing, placement, materials, lighting, façade treatments;	N/A	
<input type="checkbox"/>	c. Total Floor Area;	N/A	
<input type="checkbox"/>	d. Number of Usable Floors;	N/A	
<input type="checkbox"/>	e. Gross floor area by floor and use.	N/A	
	3. Access and Circulation: (2.5.4.3C)		
<input type="checkbox"/>	a. Location/width of access ways within site;	N/A	
<input checked="" type="checkbox"/>	b. Location of curbing, right of ways, edge of pavement and sidewalks;	SHEETS 1, 2, & 3	
<input type="checkbox"/>	c. Location, type, size and design of traffic signing (pavement markings);	N/A	
<input type="checkbox"/>	d. Names/layout of existing abutting streets;	N/A	
<input checked="" type="checkbox"/>	e. Driveway curb cuts for abutting prop. and public roads;	SHEET 1	
<input type="checkbox"/>	f. If subdivision; Names of all roads, right of way lines and easements noted;	N/A	
<input type="checkbox"/>	g. AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC).	N/A	
	4. Parking and Loading: (2.5.4.3D)		
<input checked="" type="checkbox"/>	a. Location of off street parking/loading areas, landscaped areas/buffers;	SHEET 2	
<input checked="" type="checkbox"/>	b. Parking Calculations (# required and the # provided).	SHEET 2	
	5. Water Infrastructure: (2.5.4.3E)		
<input type="checkbox"/>	a. Size, type and location of water mains, shut-offs, hydrants & Engineering data;	N/A	
<input type="checkbox"/>	b. Location of wells and monitoring wells (include protective radii).	N/A	
	6. Sewer Infrastructure: (2.5.4.3F)		
<input type="checkbox"/>	a. Size, type and location of sanitary sewage facilities & Engineering data.	N/A	
	7. Utilities: (2.5.4.3G)		
<input type="checkbox"/>	a. The size, type and location of all above & below ground utilities;	N/A	
<input type="checkbox"/>	b. Size type and location of generator pads, transformers and other fixtures.	N/A	

Site Plan Specifications – Required Exhibits and Data			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	8. Solid Waste Facilities: (2.5.4.3H)		
<input type="checkbox"/>	a. The size, type and location of solid waste facilities.	N/A	
	9. Storm water Management: (2.5.4.3I)		
<input checked="" type="checkbox"/>	a. The location, elevation and layout of all storm-water drainage.	SHEETS 3 & 4	
	10. Outdoor Lighting: (2.5.4.3J)		
<input type="checkbox"/>	a. Type and placement of all lighting (exterior of building, parking lot and any other areas of the site) and; b. photometric plan.	N/A	
<input type="checkbox"/>	11. Indicate where dark sky friendly lighting measures have been implemented. (10.1)	N/A	
	12. Landscaping: (2.5.4.3K)		
<input type="checkbox"/>	a. Identify all undisturbed area, existing vegetation and that which is to be retained;	N/A	
<input type="checkbox"/>	b. Location of any irrigation system and water source.	N/A	
	13. Contours and Elevation: (2.5.4.3L)		
<input checked="" type="checkbox"/>	a. Existing/Proposed contours (2 foot minimum) and finished grade elevations.	SHEET 2	
	14. Open Space: (2.5.4.3M)		
<input checked="" type="checkbox"/>	a. Type, extent and location of all existing/proposed open space.	SHEET 2	
<input checked="" type="checkbox"/>	15. All easements, deed restrictions and non-public rights of ways. (2.5.4.3N)	SHEET 1	
<input checked="" type="checkbox"/>	16. Location of snow storage areas and/or off-site snow removal. (2.5.4.3O)	SHEET 3	
<input type="checkbox"/>	17. Character/Civic District (All following information shall be included): (2.5.4.3Q)	N/A	
	a. Applicable Building Height (10.5A21.20 & 10.5A43.30);		
	b. Applicable Special Requirements (10.5A21.30);		
	c. Proposed building form/type (10.5A43);		
	d. Proposed community space (10.5A46).		

Other Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Traffic Impact Study or Trip Generation Report, as required. (Four (4) hardcopies of the full study/report and Six (6) summaries to be submitted with the Site Plan Application) (3.2.1-2)	N/A	
<input type="checkbox"/>	Indicate where Low Impact Development Design practices have been incorporated. (7.1)	N/A	
<input type="checkbox"/>	Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. (7.3.1)	N/A	
<input type="checkbox"/>	Indicate where measures to minimize impervious surfaces have been implemented. (7.4.3)	N/A	
<input checked="" type="checkbox"/>	Calculation of the maximum effective impervious surface as a percentage of the site. (7.4.3.2)	SHEET 2	
<input checked="" type="checkbox"/>	Stormwater Management and Erosion Control Plan. (Four (4) hardcopies of the full plan/report and Six (6) summaries to be submitted with the Site Plan Application) (7.4.4.1)	SHEET 4	

Final Site Plan Approval Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	All local approvals, permits, easements and licenses required, including but not limited to: a. Waivers; b. Driveway permits; c. Special exceptions; d. Variances granted; e. Easements; f. Licenses. (2.5.3.2A)	ZBA APPROVALS ATTACHED	
<input checked="" type="checkbox"/>	Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: a. Calculations relating to stormwater runoff; b. Information on composition and quantity of water demand and wastewater generated; c. Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls; d. Estimates of traffic generation and counts pre- and post- construction; e. Estimates of noise generation; f. A Stormwater Management and Erosion Control Plan; g. Endangered species and archaeological / historical studies; h. Wetland and water body (coastal and inland) delineations; i. Environmental impact studies. (2.5.3.2B)		

Final Site Plan Approval Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	A document from each of the required private utility service providers indicating approval of the proposed site plan and indicating an ability to provide all required private utilities to the site. (2.5.3.2D)	N/A	
<input type="checkbox"/>	A list of any required state and federal permit applications required for the project and the status of same. (2.5.3.2E)	N/A	

Applicant's Signature: _____

Date: _____

Alley R... *6/22/20*

Ross Engineering
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June 24, 2020

Parking Demand Analysis

As per the City Zoning Ordinance sections:

10.1112.311 -Parking for Residential Uses, a minimum of 1.3 spaces per unit is required for dwellings over 750 s.f.

2 units each over 750 s.f.= $1.3 \times 2 = 2.6$ round up to**3 spaces**

10.1112.321 -Parking for Non-Residential Uses (Muse 6.20 Medical Office), 1 per 250 sf of GFA

2,300 s.f. medical office space... $2300/250 \text{ s.f.} = 9.2$ round up to 10 **spaces**

Total spaces required.....= **13 spaces**

There is sufficient on-site parking on the property to accommodate the residential units and medical office. As shown on the Applicant's Site Plan, there are three (3) dedicated parking spaces associated with the residential use of the property. The other six (6) existing parking spaces are for the chiropractic office. On a normal day, there is excess parking availability on the property.

The decrease in parking complies with the criteria listed in 10.243.21-10.243.26 of the City of Portsmouth Zoning Ordinance.

10.243.21 The design of proposed structures, their height and scale in relation to the site's surroundings, the nature and intensity of the proposed use or activity, and the layout and design of the site will be compatible with adjacent and nearby properties, buildings and uses, will complement or enhance the character of surrounding development, and will encourage the appropriate and orderly development and use of land and buildings in the surrounding area.

The layout of the site is more compatible with adjacent properties with less parking.

10.243.22 All necessary public and private utility infrastructure and services will be available and adequate to serve the proposed use.

The parking does not impact public and private utility infrastructure.

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10.243.23 The site and surrounding streets will have adequate vehicular and pedestrian infrastructure to serve the proposed use consistent with the City's Master Plan.

The decrease in parking decreases volume of traffic to the site. This ensures safer conditions for pedestrian, bicycle, and vehicular traffic as per the City's Master Plan.

10.243.24 The proposed structures, uses, or activities will not have significant adverse impacts on abutting and surrounding properties on account of traffic, noise, odors, vibrations, dust, fumes, hours of operation, and exterior lighting and glare.

The activities of the site do not have an adverse impact on surrounding properties in regards to noise, odors, vibrations, dust, fumes, hours of operation, and exterior lighting and glare. Traffic will be decreased with a decrease in spaces.

10.243.25 The proposed structures and uses will not have significant adverse impacts on natural or scenic resources surrounding the site, including wetlands, floodplains, and significant wildlife habitat.

The existing parking is pervious pavers, with a proposed 2' wide infiltration basin to collect any runoff or snow and treat it before travelling to the wetlands to the east. An increase in parking would have an increase in impact on the wetlands.

10.243.26 The proposed use will not cause or contribute to a significant decline in property values of adjacent properties.

A decrease in parking will not cause or contribute to a significant decline in property values of adjacent properties.

Parking Calculations Based on Zoning Ordinance: Amended through December 16, 2019

Residential Units:

As per 10.1112.311 of Article 11 Site Development Standards

1.3 spaces per unit with Over 750 sq. ft. shall be provided

2 Residential Units exist with 3 parking spaces required

All Retail Trade Uses:

As per 10.1112.321, Section 6.20 of Article 11 Site Development Standards

1 per 250 sf GFA shall be provided

2,300 SF of office space is provided with 10 parking spaces required

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**Also admitted in MA*

BY: EMAIL ONLY / VIEWPOINT

July 7, 2020

City of Portsmouth
Technical Advisory Committee
Attn: Juliet TH Walker
1 Junkins Avenue
Portsmouth, NH 03801

**RE: Site Plan Review
140 Edmond Avenue, Tax Map 220, Lot 81 (Property)
Bacman Enterprises, Inc. (Owner)**

Dear Chairwoman Walker and Committee Members,

Our Office represents Bacman Enterprises Inc., owner of the property located at 140 Edmond Avenue. For your convenience, I have provided a short history and summary below concerning the use of the Property. I believe you may find this summary helpful in your review of the foregoing site plan application given the unique circumstances involved with this Property.

The Property contains a ranch-style building that contains two (2) residential units on the ground floor and a chiropractic office on the lower level, which is below grade. The chiropractic business is owned by Paul Bacon, the principal and owner of Bacman Enterprises, Inc. He has operated his chiropractic business on the Property since 1978. There is a pervious parking area to the left of the building which has six (6) parking spaces. There are three (3) additional parking spaces to the right of the building where there is a shared driveway with the abutting property.

The two (2) residential units on the Property are considered lawfully non-conforming. A special exception was granted in 1978 for a 300 (+/-) square foot chiropractic office on the lower level of the building. Mr. Bacon's chiropractic office use of the lower level of the building expanded as his business grew. Over the decade or so after he purchased the Property, the chiropractic office expanded into the entire lower level of the building, which contains a gross floor area of approximately 2,300 sf. When Mr. Bacon approached the City in attempt to purchase land that it owned adjacent to the Property in the early 2000s, the City notified Mr. Bacon that he needed to apply for zoning and other relief relative to the expanded chiropractic use in the building. Mr. Bacon subsequently applied for and obtained the necessary zoning relief in 2005. In addition, he obtained a Conditional Use Permit from the Planning Board for the creation of additional parking within the wetland buffer.

On May 17, 2005, the Board granted the zoning approvals necessary for Mr. Bacon to make legal use of the entire 2,300 sf. lower level of the building subject to the following conditions:

- 1) That an Engineered site plan, including parking spaces conforming in size and location, as depicted on the plan submitted and approved with this petition, be provided;
- 2) That the property must meet current codes as referenced in the staff memorandum to the Board.

Mr. Bacon complied with the first stipulation of approval by supplying the Planning Department with an engineered site plan. However, due to unforeseen financial hardship, Mr. Bacon was unable to comply with the other stipulation imposed by the Board. The Applicant's zoning approval ultimately lapsed in 2007.

In June 2019, Mr. Bacon resurrected his zoning application to convert the legal use of the entire 2,300 square foot lower level of the building to a chiropractic office. The ZBA granted its approval on July 17, 2019, confirming the chiropractic use of the lower floor. The Board also granted certain parking relief pursuant to Sections 10.1113.20 and 10.1114.32 of the Ordinance.

The improvements made to the Property were designed around the current use and function well with the site. Mr. Bacon is not seeking to make any additional substantive site improvements to the Property but understands that the chiropractic office will need to be inspected and meet current code requirements for its use. It should be noted that Mr. Bacon does intend to record a shared driveway easement following the Committee's review of the site plan. A copy of the proposed shared driveway easement is enclosed herewith for reference.

I am available for any questions that the Committee may have.

Sincerely,



Derek R. Durbin, Esq.