

# Site Plan Review

## Saratoga Way, Lots 112 & 113

## Portsmouth, New Hampshire

PREPARED FOR:

Raleigh Way Holding Group, LLC

PREPARED BY:

ROSS ENGINEERING, LLC

Civil/Structural Engineering  
& Surveying

909 Islington St.  
Portsmouth, NH 03801  
(603) 433-7560

LIST OF PROJECT PLANS:

**SITE PLAN SET**

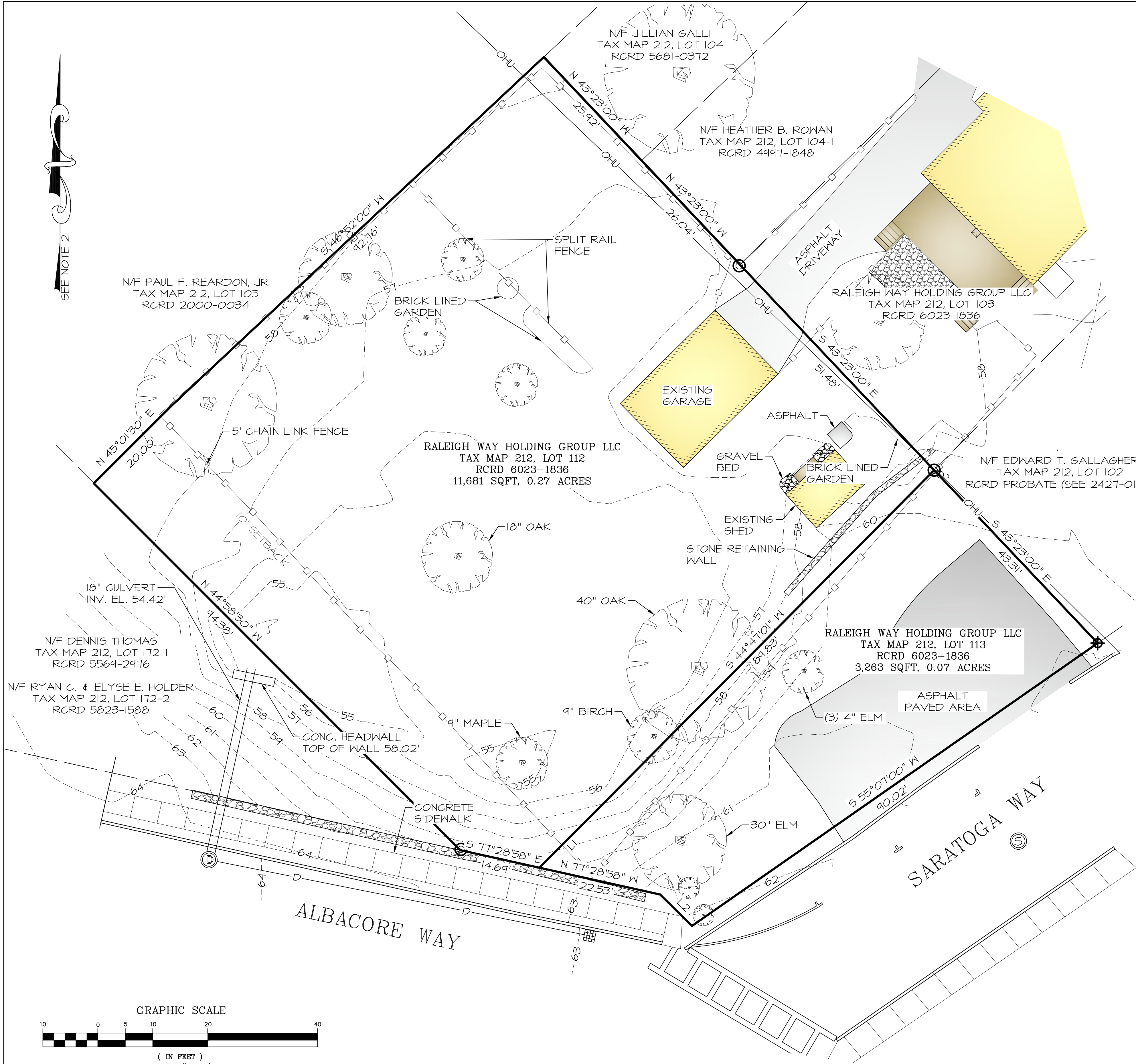
- 1 - Existing Conditions
- 2 - Site Plan
- 3 - Utility Plan
- 4 - Grading & Drainage
- 5 - Landscape Plan
- 6 - Erosion Control Plan
- 7 - Details
- 8 - Notes
- 9 - Sewer Details & Notes

**ARCHITECTURAL PLAN SET**

- 3D View
- A1 - Proposed West & East Elev.
- A2 - Proposed South & North Elev.
- A3 - First Floor Plan
- A4 - Second Floor Plan
- A5 - Third Floor (Attic) Plan
- A6 - Basement Floor Plan

August 4, 2020





NOTES

- 1) OWNER OF RECORD:  
RALEIGH WAY HOLDING GROUP LLC  
1 MIDDLE STREET SUITE 1  
PORTSMOUTH, NH 03801  
SITE LOCATION:  
SARATOGA WAY  
TAX MAP 212, LOT 103  
RCRD: 6023-1836  
AREA: 14,944 SF, 0.34 ACRES  
PARCELS 2 AND 3
- 2) BASIS OF BEARING AS PER REF. PLAN #2.
- 3) PARCEL IS IN GENERAL RESIDENCE B ZONE (GRB):  
MINIMUM LOT AREA.....5,000 SF  
MIN. LOT AREA PER DWELLING UNIT.....5,000 SF  
MINIMUM FRONTAGE.....80 FT  
MINIMUM DEPTH.....60 FT  
SETBACKS:  
FRONT.....5 FT  
SIDE.....10 FT  
REAR.....25 FT  
MAXIMUM BUILDING HEIGHT:  
SLOPED ROOF.....35 FT  
FLAT ROOF.....30 FT  
MAXIMUM BUILDING COVERAGE.....30%  
MINIMUM OPEN SPACE.....25%
- 4) THE PARCEL IS NOT WITHIN A FEMA FLOOD ZONE,  
AS PER FLOOD INSURANCE RATE MAP  
#33015C0259E, PANEL 259 OF 681. DATED MAY  
17, 2005.

ADDITIONAL ABUTTERS

TAX MAP 212

LOT 36-1  
MICHAELB. & LEANNE L. POWER  
RCRD: 5642-0310

LOT 37  
LISA H. & THOMAS M. CONRAD  
RCRD: 5435-1874

LOT 121  
PHA HOUSING DEVELOPMENT, LTD.  
RCRD: 5452-0868

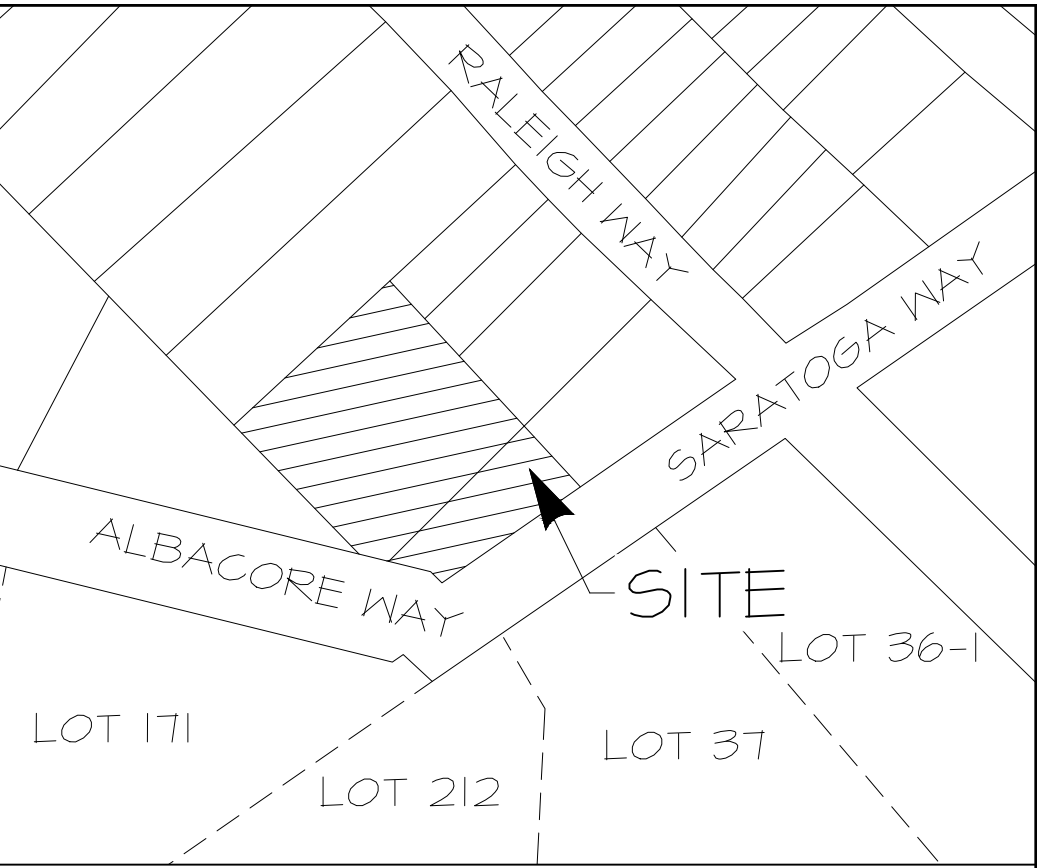
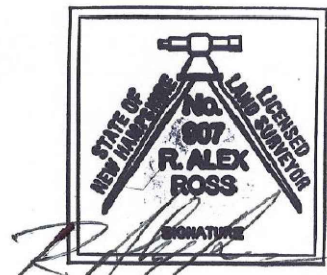
LOT 171-01  
GEORGE COURTOVICH  
RCRD: 4847-0230

LOT 171-02  
JEFFREY T. VEINO  
RCRD: 4828-0417

- I ALEX ROSS, HEREBY CERTIFY:
- A) THAT THIS SURVEY PLAT WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION.
- B) THIS PLAN IS A RESULT OF FIELD SURVEY PERFORMED BY DDD, MGP & AR DURING NOVEMBER OF 2019 AND JULY 2020. THE ERROR OF CLOSURE IS BETTER THAN 1/15,000. SURVEY PER NHLSA STANDARDS; CATEGORY 1, CONDITION 1.
- C) "I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUB-DIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN."

R. ALEX ROSS DATE

SEAL



LOCUS PLAN  
N.T.S.

REFERENCE PLANS

- 1) "PROPERTY MAP OF ATLANTIC HEIGHTS COMPANY FOR ATLANTIC HEIGHTS DEVELOPERS", BY LOCKWOOD, GREENE & CO. ENGINEERS, JULY, 1919. RCRD 0247.
- 2) "ATLANTIC HEIGHTS CO., PORTSMOUTH, N.H., PLAN SHOWING ADDITIONS TO AND REVISION OF LAYOUT PLAN OF 1919", BY JOHN W. DURGIN, C.E., DATED MAY, 1925. RCRD 0273
- 3) "SUBDIVISION PLAN MAP 212 - LOT 104 FOR JAMES A. MULEY LIVING TRUST & PETER BROWN", BY AMBIT ENGINEERING, DATED SEPTEMBER, 2004. RCRD D-32010.
- 4) "SUBDIVISION PLAN MEADOW VIEW HEIGHTS CHANGING PLACES, LLC", BY AMES MSC ARCHITECTS & ENGINEERS, DATED MAY 2, 2006. RCRD D-33771
- 5) "CONDOMINIUM SITE PLAN "ATLANTIC POINTE" A CONDOMINIUM UNIT OWNERS ASSOCIATION", BY AMES MSC ARCHITECTS & ENGINEERS, DATED JULY 19, 2007. RCRD D-34872
- 6) "AS BUILT ROADWAY PLAN FOR ATLANTIC POINTE BUILDERS, LLC" BY MSC CIVIL ENGINEERS & LAND SURVEYORS, INC. DATED NOV. 17, 2010. NOT RECORDED.

LEGEND

- MONUMENT TO BE SET
- MONUMENT FOUND
- UTILITY POLE
- 6' STOCKADE FENCE
- VERTICAL GRANITE CURB

1	8/4/2020	TAC SUBMITTAL	
ISS.	DATE	DESCRIPTION OF ISSUE	
SCALE:	1" = 10'		
CHECKED:	A.ROSS		
DRAWN:	M.G.P.		
CHECKED:	A.ROSS		
ROSS ENGINEERING, LLC			
Civil/Structural Engineering & Surveying			
909 Islington St. Portsmouth, NH 03801 (603) 433-7560			
TITLE			
EXISTING CONDITIONS			
for			
SARATOGA WAY			
Tax Map 212, Lots 112 & 113			
Portsmouth, NH			
OWNER OF RECORD			
Raleigh Way Holding Group, LLC			
1 Middle Street, Suite 1			
Portsmouth, NH 03801			
JOB NUMBER	DWG. NO.	ISSUE	
19-097	1 OF 9	1	



LEGEND

- ⊕ MONUMENT TO BE SET  
⊙ MONUMENT FOUND  
⊕ UTILITY POLE  
— 6' STOCKADE FENCE  
— VERTICAL GRANITE CURB

(4) 8.5'x14' PARKING SPACES  
1' WIDE RETAINING WALL  
1' WIDE SWALE

SNOW DISPOSAL AREA  
1' WIDE SWALE

N/F PAUL F. REARDON, JR  
TAX MAP 212, LOT 105  
RCRD 2000-0034

N/F JILLIAN GALLI  
TAX MAP 212, LOT 104  
RCRD 5681-0372

N/F HEATHER B. ROWAN  
TAX MAP 212, LOT 104-1  
RCRD 4497-1848

RALEIGH WAY HOLDING GROUP LLC  
TAX MAP 212, LOT 103  
RCRD 6023-1836

N/F EDWARD T. GALLAGHER  
TAX MAP 212, LOT 102  
RCRD PROBATE (SEE 2427-0142)

N/F DENNIS THOMAS  
TAX MAP 212, LOT 172-1  
RCRD 5569-2976

N/F RYAN C. & ELYSE E. HOLDER  
TAX MAP 212, LOT 172-2  
RCRD 5823-1588

RALEIGH WAY HOLDING GROUP LLC  
TAX MAP 212, LOT 112  
RCRD 6023-1836  
14,944 SQFT, 0.34 ACRES

GARAGE SLAB 58.00'  
1ST FLOOR EL. 54.00'  
EAVE EL. 77.50'  
RIDGE EL. 42.00'

SARATOGA WAY

ALBACORE WAY

CITY OF PORTSMOUTH PLANNING BOARD

CHAIRPERSON

DATE

ALL CONDITIONS ON THIS PLAN SHALL  
REMAIN IN EFFECT IN PERPETUITY  
PURSUANT TO THE REQUIREMENTS OF  
THE SITE PLAN REVIEW REGULATIONS.

NOTES

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PORTSMOUTH, NH 03801  
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TAX MAP 212, LOTS 112 & 113  
AREA: 14,944 SF, 0.34 ACRES  
PARCEL 2 AND 3

2) PARCEL IS IN GENERAL RESIDENCE B ZONE (GRB):  
MINIMUM LOT AREA.....5,000 SF  
MIN. LOT AREA PER DWELLING UNIT.....5,000 SF  
MINIMUM FRONTAGE.....80 FT  
MINIMUM DEPTH.....60 FT  
SETBACKS:  
FRONT.....5 FT  
SIDE.....10 FT  
REAR.....25 FT  
MAXIMUM BUILDING HEIGHT:  
SLOPED ROOF.....35 FT  
FLAT ROOF.....30 FT  
MAXIMUM BUILDING COVERAGE.....30%  
MINIMUM OPEN SPACE.....25%

3) COVERAGES:  
BUILDING COVERAGE  
EXISTING BUILDING COVERAGE  
GARAGE.....397 SF  
SHED.....100 SF  
EXISTING STRUCTURE.....497 SF  
BUILDING COVERAGE 497 / 14,944 = 3.3%

PROPOSED BUILDING COVERAGE  
HOUSE.....3840 SF  
PORCH.....288 SF  
PROPOSED STRUCTURE 4,128 SF  
BUILDING COVERAGE 4,128 / 14,944 = 27.6%

OPEN SPACE  
EXISTING OPEN SPACE  
BUILDING COVERAGE.....497 SF  
ASPHALT.....1249 SF  
RETAINING WALL.....35 SF  
GRAVEL.....15 SF  
TOTAL LOT COVERAGE 1,796 SF  
EXISTING OPEN SPACE = 14,944 - 1,796 = 13,148 SF  
EXISTING OPEN SPACE = 13,148 / 14,944 = 88.0%

PROPOSED OPEN SPACE  
BUILDING COVERAGE.....4128 SF  
ROOF OVERHANG < 30".....545 SF  
ASPHALT DRIVEWAY.....3387 SF  
RETAINING WALL.....164 SF  
DECK.....220 SF  
TOTAL LOT COVERAGE 8,444 SF  
PROPOSED OPEN SPACE = 14,944 - 8,444 = 6500 SF  
PROPOSED OPEN SPACE = 6500 / 14,944 = 43.5%

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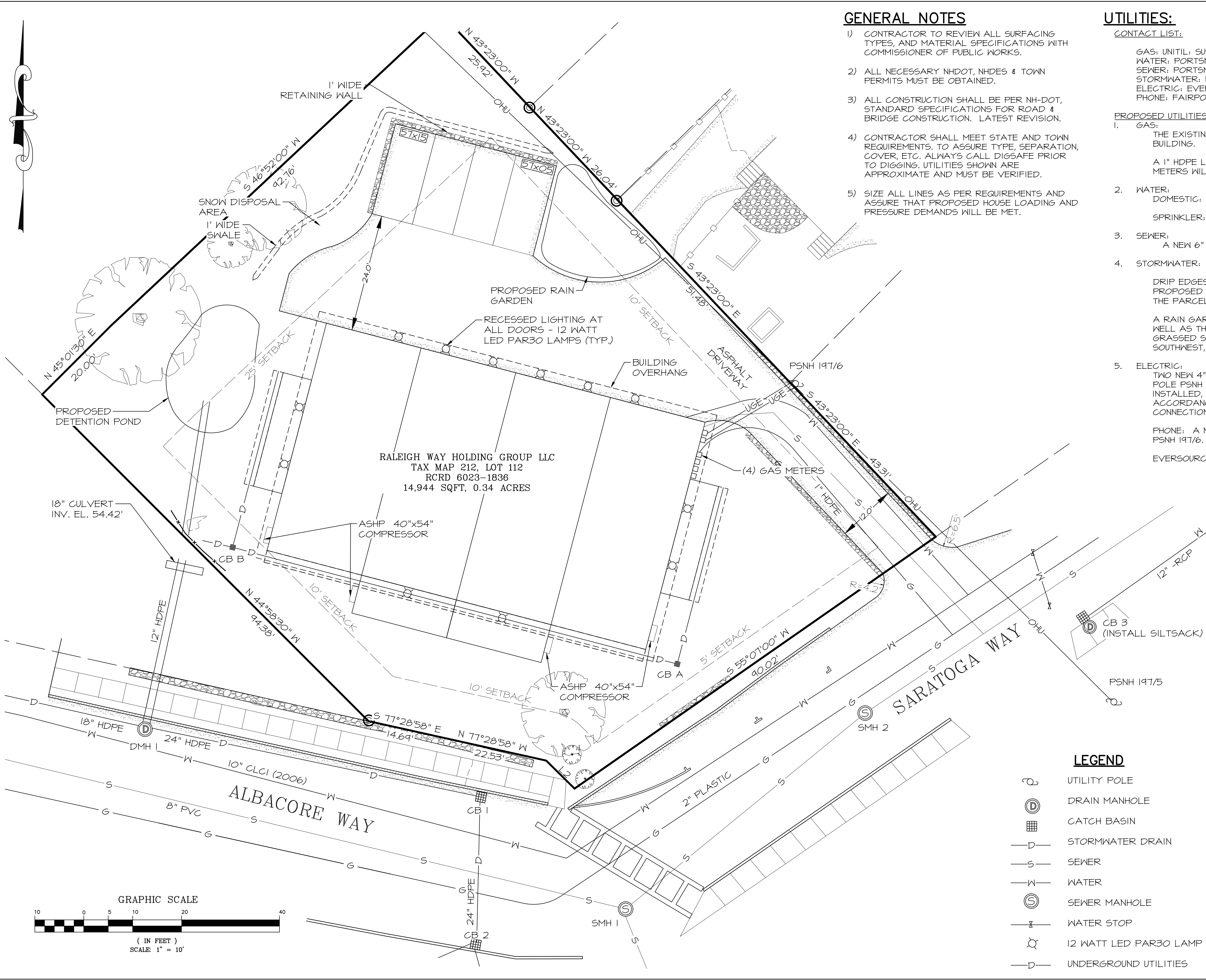
SITE PLAN  
for  
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Tax Map 212, Lots 112 & 113  
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19-097	2 OF 9	1







GENERAL NOTES

- 1) CONTRACTOR TO REVIEW ALL SURFACING TYPES, AND MATERIAL SPECIFICATIONS WITH COMMISSIONER OF PUBLIC WORKS.
- 2) ALL NECESSARY NHDOT, NHDES & TOWN PERMITS MUST BE OBTAINED.
- 3) ALL CONSTRUCTION SHALL BE PER NH-DOT, STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION. LATEST REVISION.
- 4) CONTRACTOR SHALL MEET STATE AND TOWN REQUIREMENTS, TO ASSURE TYPE, SEPARATION, COVER, ETC. ALWAYS CALL DIGSAFE PRIOR TO DIGGING. UTILITIES SHOWN ARE APPROXIMATE AND MUST BE VERIFIED.
- 5) SIZE ALL LINES AS PER REQUIREMENTS AND ASSURE THAT PROPOSED HOUSE LOADING AND PRESSURE DEMANDS WILL BE MET.

UTILITIES:

- CONTACT LIST:
- GAS: UNITIL: SUSAN L. DUPLISEA.....603-294-5147  
WATER: PORTSMOUTH DPW: .....603-427-1530  
SEWER: PORTSMOUTH DPW: .....603-427-1530  
STORMWATER: PORTSMOUTH DPW: .....603-427-1530  
ELECTRIC: EVERSOURCE; CASEY MCDONALD.....603-436-7708 EXT 5641  
PHONE: FAIRPOINT: JOSEPH P. CONSIDINE.....603-790-4054
- PROPOSED UTILITIES:
1. GAS:  
THE EXISTING 2" PLASTIC INTERMEDIATE PRESSURE GAS MAIN WILL SERVE THE 4 UNIT BUILDING.  
A 1" HDPE LINE WILL BE INSTALLED CONNECTING TO THE EXISTING GAS MAIN. 4 GAS METERS WILL BE INSTALLED.
  2. WATER:  
DOMESTIC: A NEW 2" COPPER LINE WILL BE INSTALLED TO THE BUILDING  
SPRINKLER: NO SPRINKLER LINE IS NECESSARY.
  3. SEWER:  
A NEW 6" PVC SEWER LATERAL SHALL BE CONNECTED TO THE 8" STREET MAIN.
  4. STORMWATER:  
DRIP EDGES FOR THE SOUTHERN ROOF AND PORCH ROOFS ROUTE WATER TO 2 PROPOSED CATCH BASINS (A & B). THIS NETWORK DAYLIGHTS TO THE SOUTHWEST OF THE PARCEL TO AN EXISTING 18" CULVERT.  
A RAIN GARDEN IS PROPOSED TO COLLECT RUNOFF FROM THE NORTHERN ROOF AS WELL AS THE PROPOSED ASPHALT DRIVEWAY. RUNOFF IS ROUTED THROUGH A 1' WIDE GRASSED SWALE TO A PROPOSED DETENTION POND. A 6" PIPE DAYLIGHTS TO THE SOUTHWEST, SLOWLY RELEASING THE WATER TO THE EXISTING 18" CULVERT.
  5. ELECTRIC:  
TWO NEW 4" CONDUITS ARE TO BE INSTALLED UNDERGROUND FROM EXISTING UTILITY POLE PSNH 197/6 TO PROVIDE 600 AMP SERVICE. FOUR METERS ARE TO BE INSTALLED, ONE FOR EACH UNIT. ALL ELECTRIC WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NEW HAMPSHIRE REQUIREMENTS FOR ELECTRIC SERVICE CONNECTIONS BY EVERSOURCE.  
PHONE: A NEW 2" CONDUIT IS TO BE INSTALLED UNDERGROUND FROM UTILITY POLE PSNH 197/6.  
EVERSOURCE WORK# 3446499

EXISTING STRUCTURES  
DRAIN MANHOLE

DMH 1  
RIM EL. 64.12  
INV. IN 12" (HDPE= 54.34 NW)  
INV. IN 18" (HDPE= 54.21 NE)  
INV. OUT 24" (HDPE= 54.14 SE)

SEWER MANHOLE

SMH 1  
RIM EL. 63.64  
INV. IN 58.04 NW  
INV. IN 57.90 SE  
INV. OUT 57.84 NE  
SMH 2  
RIM EL. 61.17  
INV. IN 56.26 SE  
INV. OUT 56.16 NE

PROPOSED STRUCTURES  
CATCH BASIN

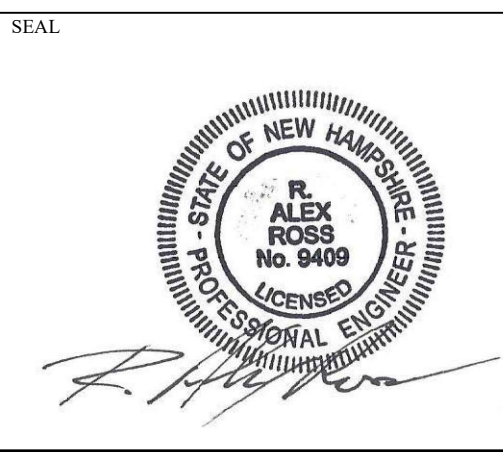
CB #A  
RIM EL. 57.75  
INV. IN 56.67' (6" ADS-N-12)  
INV. OUT 56.50' (6" ADS-N-12)  
STRUCTURE: 18" NYLOPLAST BASIN  
CB #B  
RIM EL. 56.00  
INV. IN 55.00 (6" ADS-N-12)  
INV. IN 55.00 (6" ADS-N-12)  
INV. OUT 54.60 (6" ADS-N-12)  
STRUCTURE: 18" NYLOPLAST BASIN

EXISTING STRUCTURES  
CATCH BASIN

CB #1  
RIM EL. 62.96  
INV. IN 24" (HDPE = 53.36 NW)  
INV. OUT 24" (HDPE = 53.18 S)  
CB #2  
RIM EL. 62.89  
INV. IN 12" (HDPE = 58.09 SE)  
INV. IN 24" (HDPE = 52.91 N)  
INV. OUT 24" (HDPE = 52.91 SW)

LEGEND

- UTILITY POLE
- DRAIN MANHOLE
- CATCH BASIN
- STORMWATER DRAIN
- SEWER
- WATER
- SEWER MANHOLE
- WATER STOP
- 12 WATT LED PAR30 LAMP
- UNDERGROUND UTILITIES



1	8/4/2020	TAC SUBMITTAL	
ISS.	DATE	DESCRIPTION OF ISSUE	
SCALE: 1" = 10'			
CHECKED: A.ROSS			
DRAWN: M.G.P.			
CHECKED: A.ROSS			
ROSS ENGINEERING, LLC Civil/Structural Engineering & Surveying 909 Islington St. Portsmouth, NH 03801 (603) 433-7560			
TITLE UTILITY PLAN for SARATOGA WAY Tax Map 212, Lots 112 & 113 Portsmouth, NH			
OWNER OF RECORD Raleigh Way Holding Group, LLC 1 Middle Street, Suite 1 Portsmouth, NH 03801			
JOB NUMBER	DWG. NO.	ISSUE	
19-097	3 OF 9	1	





## NOTES

- 1) OWNER OF RECORD:  
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1 MIDDLE ST., SUITE 1  
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RDRC: 6023-1836
- 2) ASSURE LEAST PRACTICAL DISTURBANCE OF THE PHYSICAL ENVIRONMENT. INSTALL SILTSACKS ON CATCH BASINS A & B AND ON CATCH BASIN 3. FOLLOW NHDES REGULATIONS AND GUIDELINES IN "STORMWATER & EROSION & SEDIMENTATION CONTROL HANDBOOK FOR URBAN & DEVELOPING AREAS IN NEW HAMPSHIRE" LATEST EDITION.
- 3) FOOT PATHS FROM THE SIDEWALK TO THE THE SIDE ENTRY DOOR MUST NOT HAVE A SLOPE GREATER THAN 1":12". THE LANDINGS AT THE TOP AND BOTTOM OF THE STAIRS ARE TO HAVE A SLOPE OF 5%.
- 4) EROSION CONTROL:  
-INSTALL "SILTSACK" CATCH BASIN FILTRATION SYSTEM BY ACF ENVIRONMENTAL AT BOTH NEW CATCH BASINS, C.B. A AND C.B. B & EXISTING C.B. 3  
-INSTALL INLET FILTER SHOWN ON DRAWING 7 ON CATCH BASINS 1 & 3.
- 5) SNOW DISPOSAL AREA  
SNOW TO BE MOVED WEST ALONG THE 24' WIDE PARKING AREA TO THE SWALE.

## LEGEND

- ⊙ MONUMENT FOUND
- ⊙ UTILITY POLE
- ⊙ DRAIN MANHOLE
- ⊙ CATCH BASIN
- ⊙ SEWER MANHOLE
- 58 - EXISTING CONTOUR
- 60 - PROPOSED CONTOUR
- 60x50 PROPOSED SPOT ELEVATION

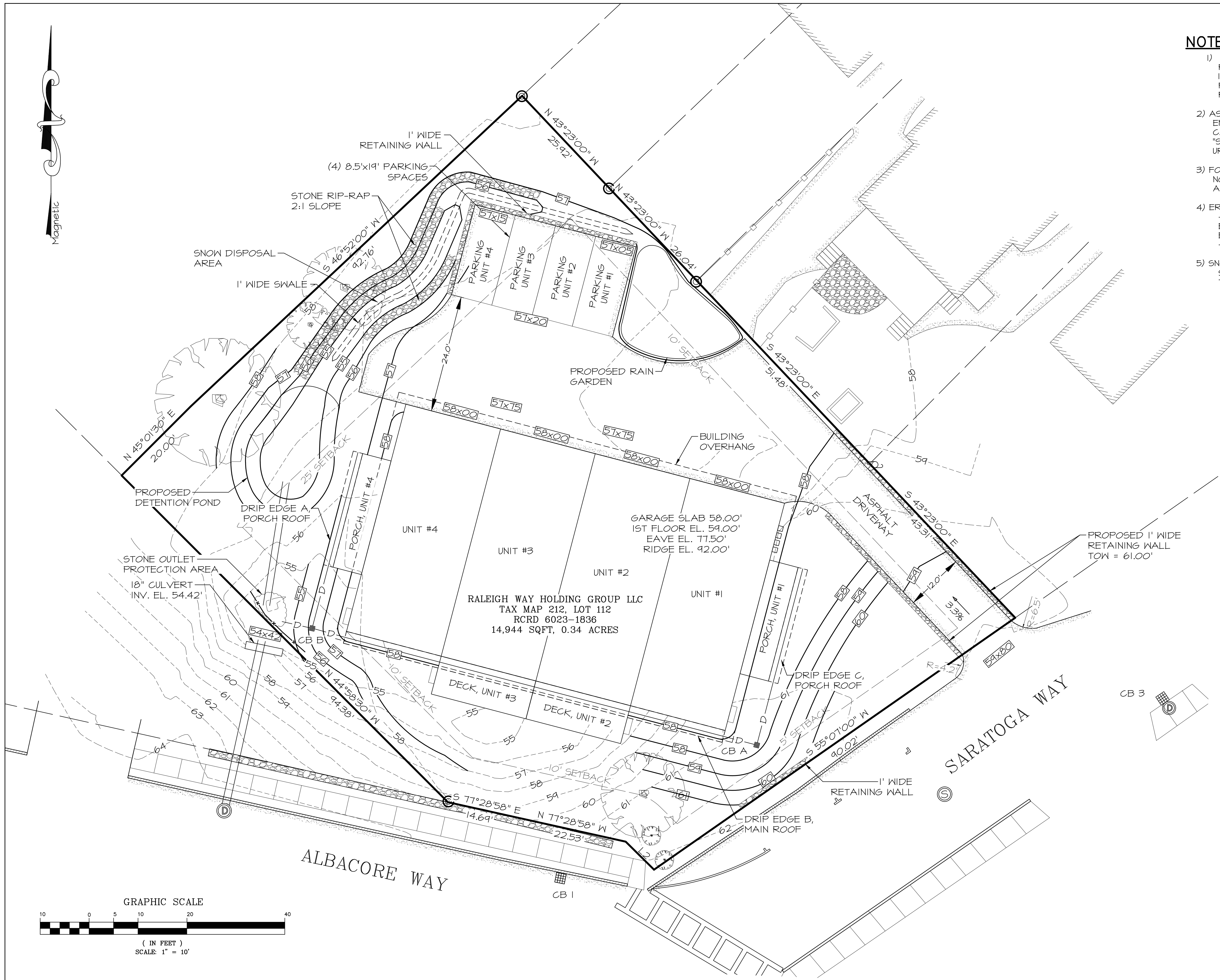
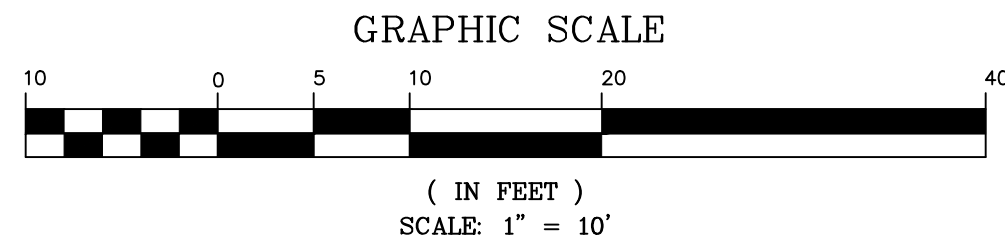
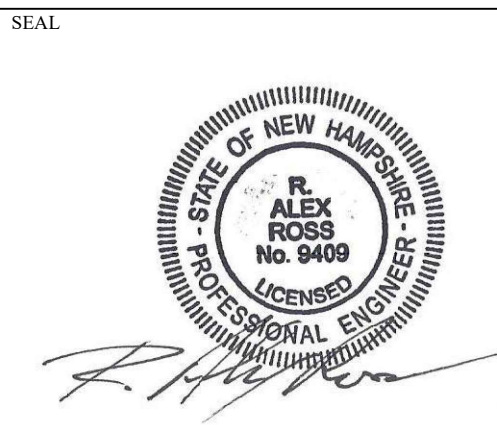
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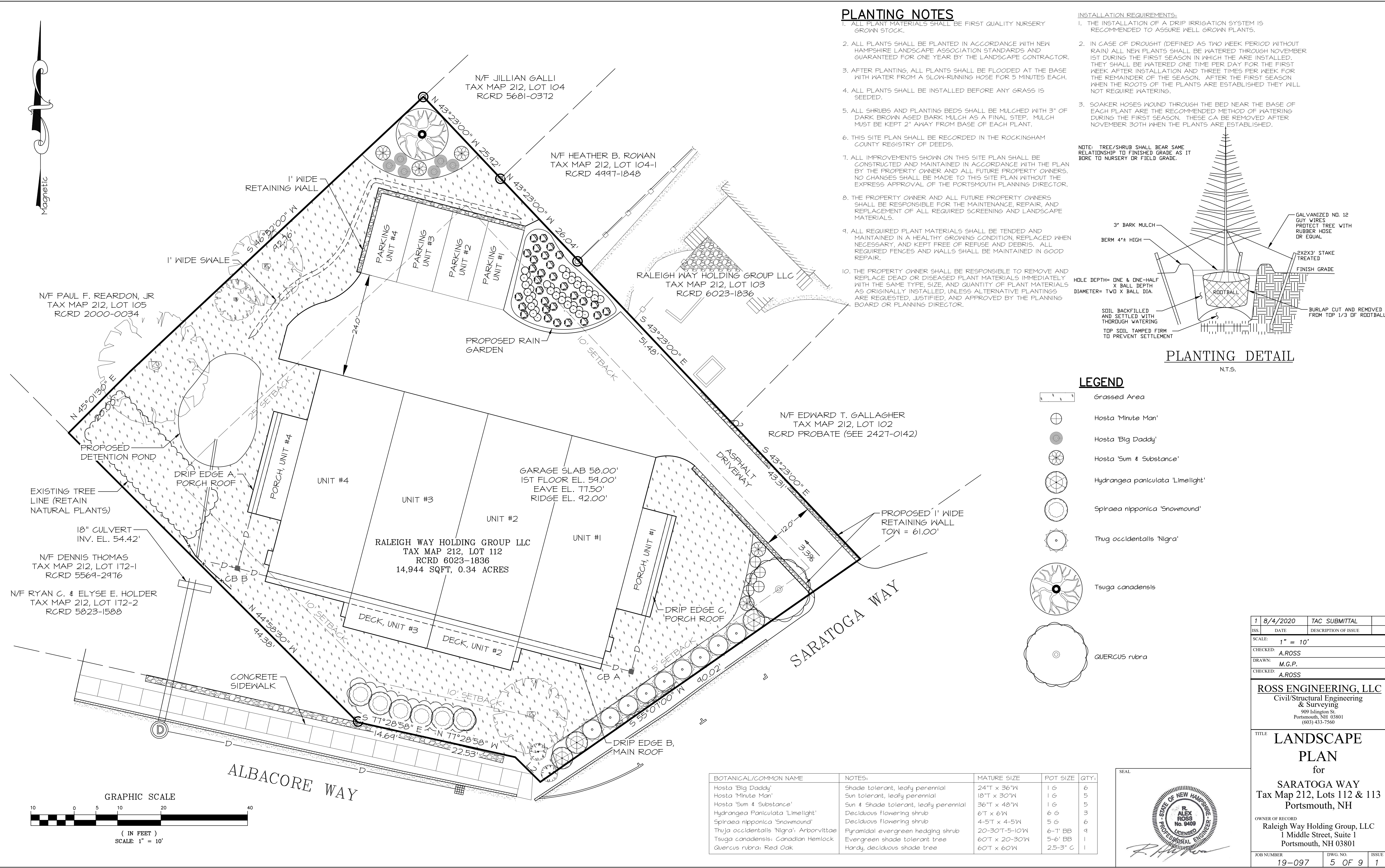
TITLE  
**GRADING &  
DRAINAGE PLAN**  
for  
**SARATOGA WAY**  
Tax Map 212, Lots 112 & 113  
Portsmouth, NH

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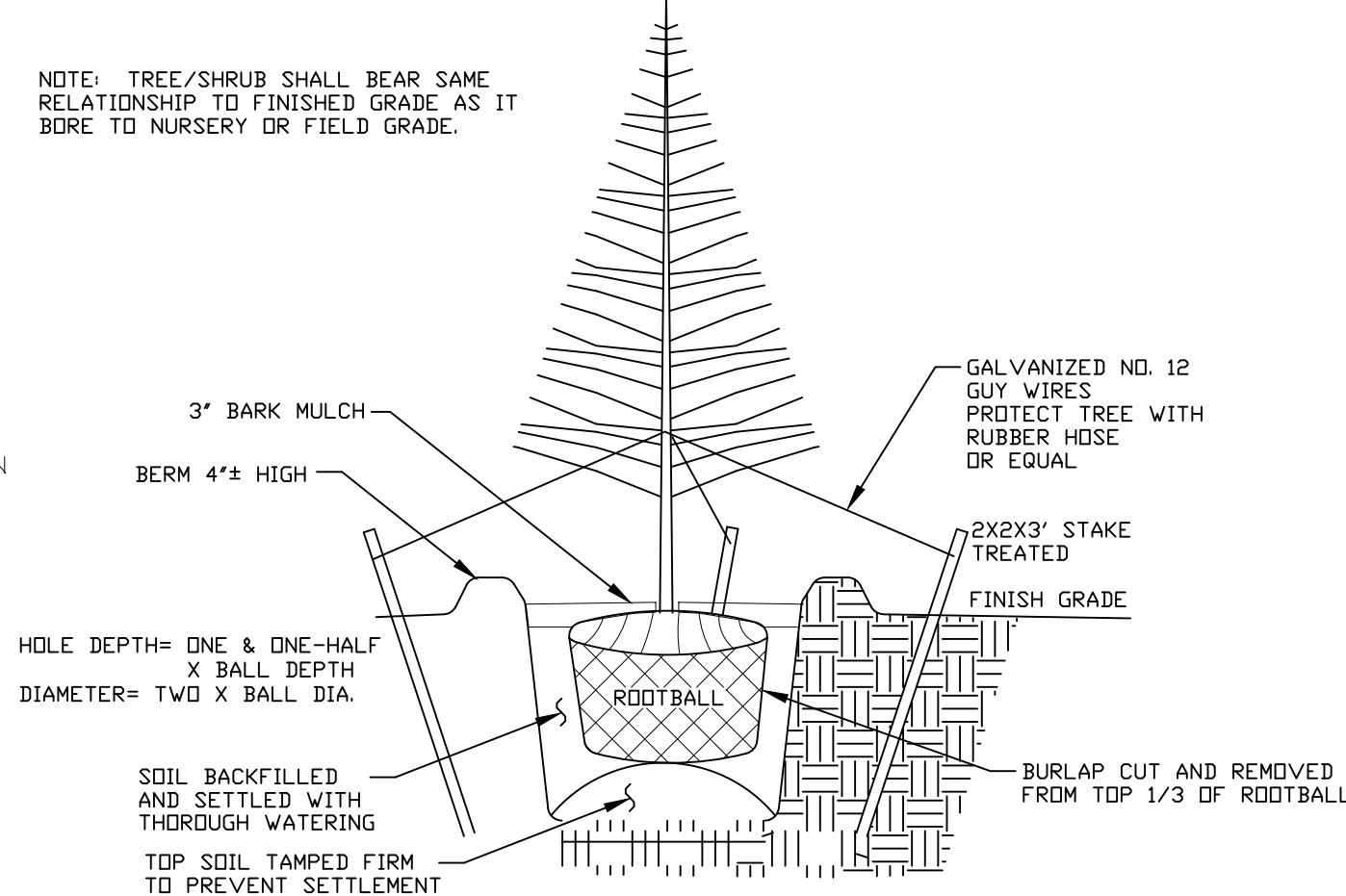
PLANTING NOTES

1. ALL PLANT MATERIALS SHALL BE FIRST QUALITY NURSERY GROWN STOCK.
2. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH NEW HAMPSHIRE LANDSCAPE ASSOCIATION STANDARDS AND GUARANTEED FOR ONE YEAR BY THE LANDSCAPE CONTRACTOR.
3. AFTER PLANTING, ALL PLANTS SHALL BE FLOODED AT THE BASE WITH WATER FROM A SLOW-RUNNING HOSE FOR 5 MINUTES EACH.
4. ALL PLANTS SHALL BE INSTALLED BEFORE ANY GRASS IS SEEDED.
5. ALL SHRUBS AND PLANTING BEDS SHALL BE MULCHED WITH 3" OF DARK BROWN AGED BARK MULCH AS A FINAL STEP. MULCH MUST BE KEPT 2" AWAY FROM BASE OF EACH PLANT.
6. THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
7. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
8. THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND REPLACEMENT OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS.
9. ALL REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY, AND KEPT FREE OF REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.
10. THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE, AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED, AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.

INSTALLATION REQUIREMENTS:

1. THE INSTALLATION OF A DRIP IRRIGATION SYSTEM IS RECOMMENDED TO ASSURE WELL GROWN PLANTS.
2. IN CASE OF DROUGHT (DEFINED AS TWO WEEK PERIOD WITHOUT RAIN) ALL NEW PLANTS SHALL BE WATERED THROUGH NOVEMBER 1ST DURING THE FIRST SEASON IN WHICH THEY ARE INSTALLED. THEY SHALL BE WATERED ONE TIME PER DAY FOR THE FIRST WEEK AFTER INSTALLATION AND THREE TIMES PER WEEK FOR THE REMAINDER OF THE SEASON. AFTER THE FIRST SEASON WHEN THE ROOTS OF THE PLANTS ARE ESTABLISHED THEY WILL NOT REQUIRE WATERING.
3. SOAKER HOSES WOUND THROUGH THE BED NEAR THE BASE OF EACH PLANT ARE THE RECOMMENDED METHOD OF WATERING DURING THE FIRST SEASON. THESE CA BE REMOVED AFTER NOVEMBER 30TH WHEN THE PLANTS ARE ESTABLISHED.

NOTE: TREE/SHRUB SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS IT BORE TO NURSERY OR FIELD GRADE.



PLANTING DETAIL

N.T.S.

LEGEND

- Grassed Area
- Hosta 'Minute Man'
- Hosta 'Big Daddy'
- Hosta 'Sun & Substance'
- Hydrangea paniculata 'Limelight'
- Spiraea nipponica 'Snowmound'
- Thuja occidentalis 'Nigra'
- Tsuga canadensis
- QUERCUS rubra

BOTANICAL/COMMON NAME	NOTES:	MATURE SIZE	POT SIZE	QTY:
Hosta 'Big Daddy'	Shade tolerant, leafy perennial	24\"T x 36\"W	1 G	6
Hosta 'Minute Man'	Sun tolerant, leafy perennial	18\"T x 30\"W	1 G	5
Hosta 'Sun & Substance'	Sun & Shade tolerant, leafy perennial	36\"T x 48\"W	1 G	5
Hydrangea Paniculata 'Limelight'	Deciduous flowering shrub	6\"T x 6\"W	6 G	3
Spiraea nipponica 'Snowmound'	Deciduous flowering shrub	4-5\"T x 4-5\"W	5 G	6
Thuja occidentalis 'Nigra': Arborvitae	Pyramidal evergreen hedging shrub	20-30\"T-5-10\"W	6-7\" BB	4
Tsuga canadensis: Canadian Hemlock	Evergreen shade tolerant tree	60\"T x 20-30\"W	5-6\" BB	1
Quercus rubra: Red Oak	Hardy, deciduous shade tree	60\"T x 60\"W	2.5-3\" C	1

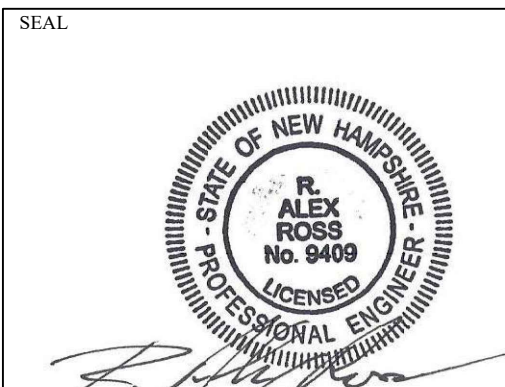
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TITLE  
**LANDSCAPE  
PLAN**  
for  
**SARATOGA WAY**  
Tax Map 212, Lots 112 & 113  
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EROSION AND SEDIMENTATION CONTROL  
CONSTRUCTION PHASING AND SEQUENCING

1. SEE "EROSION AND SEDIMENTATION CONTROL GENERAL NOTES" WHICH ARE TO BE AN INTEGRAL PART OF THIS PROCESS.
2. INSTALL SILTISOXX FENCING AS PER DETAILS AND AT SEDIMENT MIGRATION.
3. CONSTRUCT TREATMENT SWALES , LEVEL SPREADERS AND DETENTION STRUCTURES AS DEPICTED ON DRAWINGS.
4. INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE(S) AS PER DETAIL AND AT LOCATIONS SHOWN ON THE DRAWINGS. MAINTAIN (TOP DRESS) REGULARLY TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS.
5. STRIP AND STOCKPILE TOPSOIL. STABILIZE PILES OF SOIL CONSTRUCTION MATERIAL & COVER WHERE PRACTICABLE.
6. MINIMIZE DUST THROUGH APPROPRIATE APPLICATION OF WATER OR OTHER DUST SUPPRESSION TECHNIQUES ON SITE.
7. ROUGH GRADE SITE. INSTALL CULVERTS AND ROAD DITCHES.
8. FINISH GRADE AND COMPACT SITE.
9. RE-SPREAD AND ADD TOPSOIL TO ALL ROADSIDE SLOPES. TOTAL TOPSOIL THICKNESS TO BE A MINIMUM OF FOUR TO SIX INCHES.
10. STABILIZE ALL AREAS OF BARE SOIL WITH MULCH AND SEEDING.
11. RE-SEED PER EROSION AND SEDIMENTATION CONTROL GENERAL NOTES.
12. SILT SOXX FENCING TO REMAIN AND BE MAINTAINED FOR TWENTY FOUR MONTHS AFTER CONSTRUCTION TO ENSURE ESTABLISHMENT OF ADEQUATE SOIL STABILIZATION AND VEGETATIVE COVER. ALL SILT SOXX FENCING ARE THEN TO BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
13. PERIMETER CONTROLS SHALL BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS.
14. ALL TEMPORARY WATER DIVERSION (SWALES, BASINS, ETC. MUST BE USED AS NECESSARY UNTIL AREAS ARE STABILIZED.
15. PONDS AND SWALES SHALL BE INSTALLED EARLY ON IN THE CONSTRUCTION SEQUENCE - BEFORE ROUGH GRADING THE SITE.
16. ALL DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM
17. ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
18. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
19. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY HALF-INCH OF RAINFALL.
20. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
21. LOT DISTURBANCE, OTHER THAN THAT SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.

PLANTING NOTES:

1. ALL PLANT MATERIALS SHALL BE FIRST QUALITY NURSERY GROWN STOCK.
2. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH NEW HAMPSHIRE LANDSCAPE ASSOCIATION STANDARDS AND GUARANTEED FOR ONE YEAR BY THE LANDSCAPE CONTRACTOR.
3. ALL TREES AND SHRUBS SHALL HAVE WATER SAUCERS BUILT AROUND THEIR BASES AND THESE SHALL BE MULCHED WITH 4" OF DARK BROWN AGED BARK MULCH. MULCH MUST BE KEPT 2" AWAY FROM THEIR TRUNKS.
4. ALL TREES AND SHRUBS SHALL BE PLANTED AND MULCHED BEFORE LAWN IS SEEDED.

MAINTENANCE REQUIREMENTS:

1. ALL TREES, SHRUBS, AND PERENNIALS WILL NEED TO BE WATERED THROUGH THANKSGIVING DURING THE FIRST SEASON IN WHICH THEY ARE INSTALLED.
2. AN UNDERGROUND DRIP IRRIGATION SYSTEM IS RECOMMENDED. IF AN UNDERGROUND DRIP IRRIGATION SYSTEM IS NOT INSTALLED, SOAKER HOSES WOUND THROUGHOUT PLANTING BEDS ARE ACCEPTABLE. ALTHOUGH OVERHEAD SPRINKLERS ARE RECOMMENDED FOR LAWN AREAS, THEY ARE NOT ACCEPTABLE FOR IRRIGATING TREES AND SHRUBS.

SEEDING AND STABILIZATION FOR LOAMED SITE:

FOR TEMPORARY & LONG TERM SEEDINGS USE AGWAY'S SOIL CONSERVATION GRASS SEED OR EQUAL  
COMPONENTS: ANNUAL RYE GRASS, PERENNIAL RYE GRASS, WHITE CLOVER, 2 FESCUES, SEED AT A RATE OF 100 POUNDS PER ACRE,  
FERTILIZER & LIME:  
NITROGEN (N) 50 LBS/ACRE, PHOSPHATE (P2O5) 100 LBS/ACRE, POTASH (K2O) 100 LBS/ACRE, LIME 2000 LBS/ACRE  
MULCH:  
HAY OR STRAW 1.5-2 TONS/ACRE

A) GRADING AND SHAPING

- 1) SLOPES SHALL NOT BE STEEPER THAN 2:1; 3:1 SLOPES OR FLATTER ARE PREFERRED. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.

B) SEED BED PREPARATION

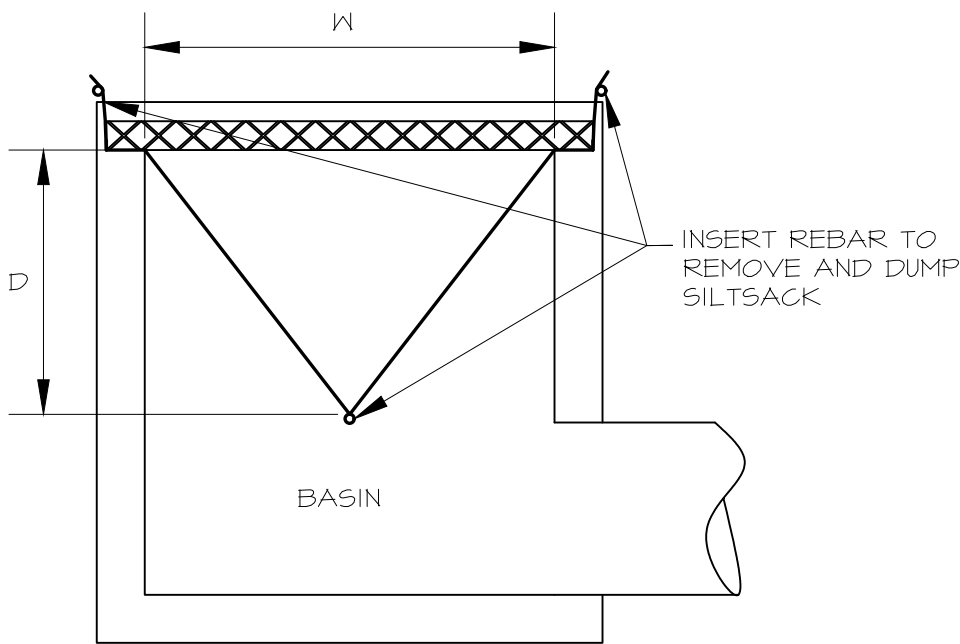
- 1) SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
- 2) STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.

EROSION AND SEDIMENTATION CONTROL GENERAL  
NOTES

1. CONDUCT ALL CONSTRUCTION IN A MANNER AND SEQUENCE THAT CAUSES THE LEAST PRACTICAL DISTURBANCE OF THE PHYSICAL ENVIRONMENT, BUT IN NO CASE SHALL EXCEED 2 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
2. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
3. ALL DITCHES, SWALES AND PONDS MUST BE STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
4. ALL GROUND AREAS OPENED UP FOR CONSTRUCTION WILL BE STABILIZED WITHIN 24 HOURS OF EARTH-DISTURBING ACTIVITIES BEING CEASED, AND WILL BE FULLY STABILIZED NO LONGER THAN 14 DAYS AFTER INITIATION. (SEE NOTE II FOR DEFINITION OF STABLE). ALL SOILS FINISH GRADED MUST BE STABILIZED WITHIN SEVENTY TWO HOURS OF DISTURBANCE. ALL TEMPORARY OR LONG TERM SEEDING MUST BE APPLIED TO COMPLY WITH "WINTER CONSTRUCTION NOTES" (SEE WINTER CONSTRUCTION NOTES). EMPLOY TEMPORARY EROSION AND SEDIMENTATION CONTROL DEVICES AS DETAILED ON THIS PLAN AS NECESSARY UNTIL ADEQUATE STABILIZATION HAS BEEN ASSURED (SEE NOTE II FOR DEFINITION OF STABLE).
5. TEMPORARY & LONG TERM SEEDING: USE SEED MIXTURES, FERTILIZER, LIME AND MULCHING AS RECOMMENDED (SEE SEEDING AND STABILIZATION NOTES).
6. SILTISOXX FENCING TO BE SECURELY EMBEDDED AND STAKED AS DETAILED. WHEREVER POSSIBLE A VEGETATED STRIP OF AT LEAST TWENTY FIVE FEET IS TO BE KEPT BETWEEN SILTISOXX AND ANY EDGE OF NET AREA.
7. SEEDED AREAS WILL BE FERTILIZED AND RE-SEEDED AS NECESSARY TO ENSURE VEGETATIVE ESTABLISHMENT.
8. SEDIMENT BASINS, IF REQUIRED, TO BE CHECKED AFTER EACH SIGNICANT RAINFALL AND CLEANED AS NEEDED TO RETAIN DESIGN CAPACITY.
9. SILTISOXX FENCING WILL BE CHECKED REGULARLY AND AFTER EACH SIGNICANT RAINFALL. NECESSARY REPAIRS WILL BE MADE TO CORRECT UNDERMINING OR DETERIORATION OF THE BARRIER AS WELL AS CLEANING, REMOVAL AND PROPER DISPOSAL OF TRAPPED SEDIMENT.
10. TREATMENT SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATIVE COVER HAS BEEN ESTABLISHED.
11. AN AREA SHALL BE CONSIDERED FULLY STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED
  - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
  - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED.
11. ALL EROSION AND SEDIMENTATION CONTROL MEASURES IN THE PLAN SHALL MEET THE DESIGN BASED ON STANDARDS AND SPECIFICATIONS SET FORTH IN THE STORM WATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE (DECEMBER 2008 OR LATEST) PREPARED BY ROCKINGHAM COUNTY CONSERVATION DISTRICT, N.H. DES AND NRCS.

WINTER CONSTRUCTION NOTES

1. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAN OR SPRING MELT EVENT;
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS;
3. AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.



SILTSACK IS TO BE SECURED BY WEIGHT OF BASIN GRATE TO PREVENT SEDIMENT FROM ENTERING THE DRAIN LINE

INSTALL SILTSACK TO CATCH BASIN 3 (SEE SHEET 3)

Siltsack  
N.T.S.

LONG TERM SEEDING

\*WELL TO MODERATELY WELL DRAINED SOILS

FOR CUT AND FILL AREA AND FOR WATERWAYS AND CHANNELS

SEEDING MIXTURE C

	lb/ACRE	lb/1000SF
TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED CLOVER (ALSIKE)	20	0.45
TOTAL	48	1.35

LIME: AT 2 TONS PER ACRE OR 100 LBS PER 1,000 S.F.  
FERTILIZER: 10 20 20 (NITROGEN, PHOSPHATE, POTASH AT 500# PER ACRE.  
MULCH: HAY OR CLEAN STRAW; 2 TONS/ACRE OR 2 BALES/1000 S.F.

GRADING AND SHAPING:

SLOPES SHALL NOT BE STEEPER THAN 2 TO 1. 3 TO 1 OR FLATTER SLOPES ARE PREFERRED.  
SEEDBED PREPARATION:  
SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.  
STONES LARGER THAN FOUR INCHES AND TRASH SHOULD BE REMOVED.  
SOD SHOULD BE TILLED TO A DEPTH OF FOUR INCHES TO PREPARE SEEDBED. FERTILIZER & LIME SHOULD BE MIXED INTO THE SOIL.  
THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.

\* FROM: STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE, DECEMBER 2008.

SHORT TERM SEEDING

\*WELL TO MODERATELY WELL DRAINED SOILS

FOR CUT AND FILL AREA AND FOR WATERWAYS AND CHANNELS

SEEDING MIXTURE C

	#/ACRE	#/1000SF
FOR APRIL 1 - AUGUST 15		
ANNUAL RYE GRASS	40	1
FOR FALL SEEDING		
WINTER RYE	112	2.5

LIME: AT 1 TON PER ACRE OR 100 LBS PER 1,000 S.F.  
FERTILIZER: 10 10 10 (NITROGEN, PHOSPHATE, POTASH AT 500# PER ACRE.  
MULCH: HAY OR CLEAN STRAW; 2 TONS/ACRE OR 2 BALES/1000 S.F.

GRADING AND SHAPING:

SLOPES SHALL NOT BE STEEPER THAN 2 TO 1. 3 TO 1 OR FLATTER SLOPES ARE PREFERRED.

SEEDBED PREPARATION:

SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE

PLANTS.

STONES LARGER THAN FOUR INCHES AND TRASH SHOULD BE REMOVED.  
SOD SHOULD BE TILLED TO A DEPTH OF FOUR INCHES TO PREPARE SEEDBED. FERTILIZER & LIME SHOULD BE MIXED INTO THE SOIL.  
THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.

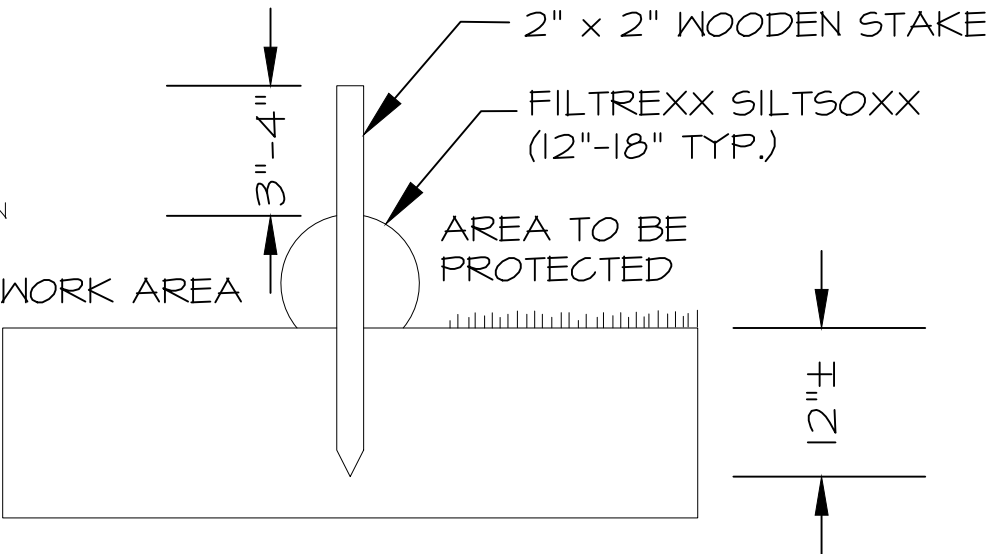
\* FROM: STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE, DECEMBER 2008.

WHEN PROPOSED FOR ALTERATION DURING CONSTRUCTION AS BEING INFESTED WITH INVASIVE SPECIES SHALL BE MANAGED APPROPRIATELY USING THE DISPOSAL PRACTICES IDENTIFIED IN "NHDOT - BEST MANAGEMENT PRACTICES FOR ROADSIDE INVASIVE PLANTS - 2008" AND "METHODS FOR DISPOSING NON-NATIVE INVASIVE PLANTS - UNH COOPERATIVE EXTENSION - 2010"

SEED MIXES SHALL NOT CONTAIN ANY SPECIES IDENTIFIED BY THE NEW HAMPSHIRE PROHIBITED INVASIVE PLANT SPECIES LIST.

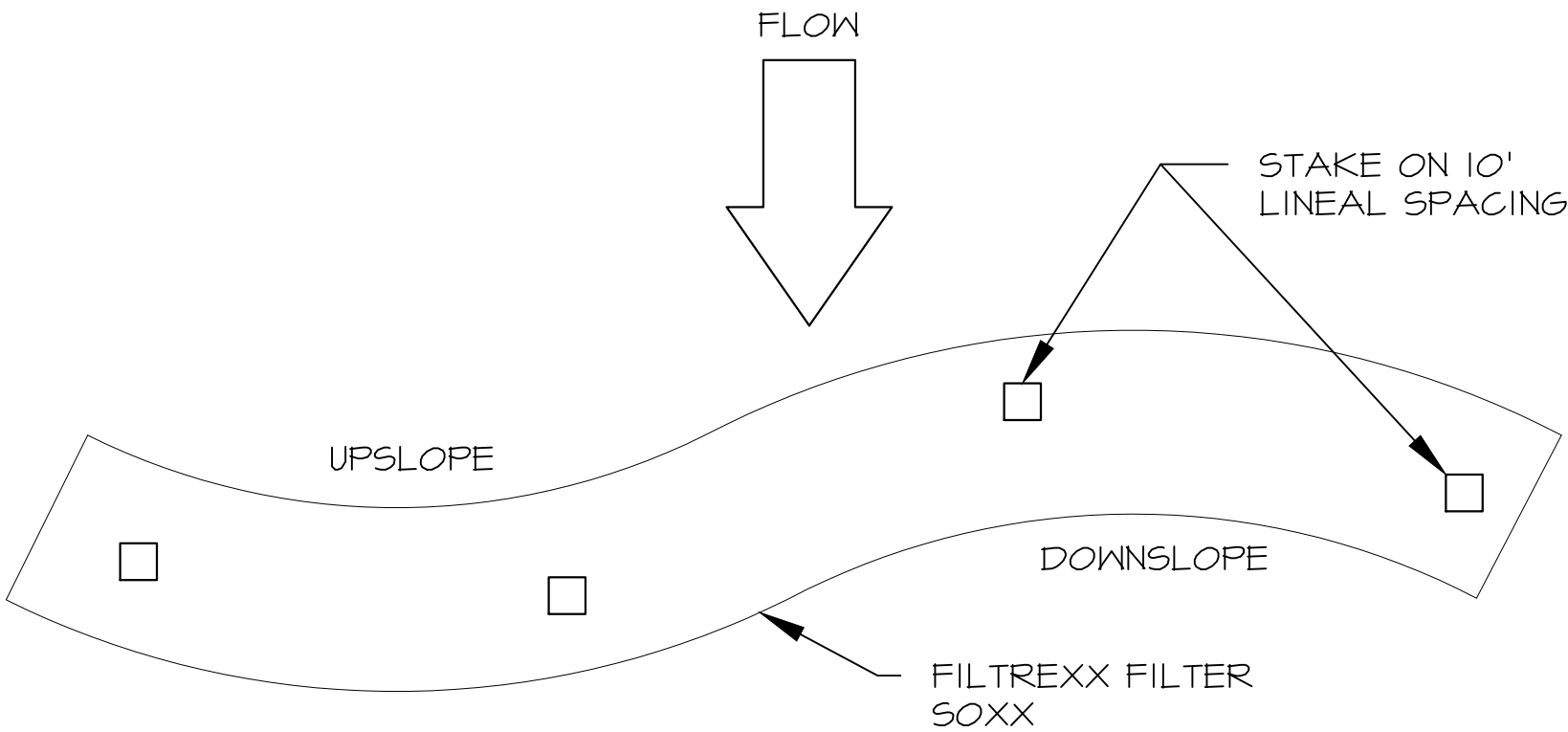
FILTREXX SILTISOXX NOTES

- 1) ALL MAERTIAL TO MEET FILTREXX SPECIFICATIONS
- 2) SILTISOXX COMPOST, SOIL, ROCK, SEED FILL TO MEET APPLICATION REQUIREMENTS



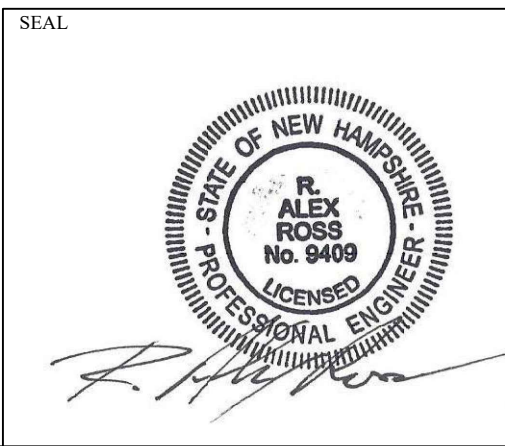
Filtrex SiltSoxx Section

N.T.S.



Filtrex SiltSoxx Plan View

N.T.S.



1	8/4/2020	TAC SUBMITTAL	
ISS.	DATE	DESCRIPTION OF ISSUE	
SCALE:	1" = 10'		
CHECKED:	A.ROSS		
DRAWN:	M.G.P.		
CHECKED:	A.ROSS		
ROSS ENGINEERING, LLC Civil/Structural Engineering & Surveying 909 Islington St. Portsmouth, NH 03801 (603) 433-7560			
TITLE EROSION CONTROL PLAN for SARATOGA WAY Tax Map 212, Lots 112 & 113 Portsmouth, NH			
OWNER OF RECORD Raleigh Way Holding Group, LLC 1 Middle Street, Suite 1 Portsmouth, NH 03801			
JOB NUMBER	DWG. NO.	ISSUE	
19-097	6 OF 9	1	





## CONDUIT SPECIFICATIONS

The diagram shows a trench cross-section with the following dimensions and layers from top to bottom:

- FINISH GRADE**: The top surface of the trench.
- ENTIRE TRENCH SAND BACK FILL**: The material filling the trench.
- 32"**: The total depth of the trench.
- 8"**: The depth of the sand backfill layer.
- 6"**: The depth of the first layer of compacted fill.
- 12"**: The depth of the second layer of compacted fill.
- 6"**: The depth of the third layer of compacted fill.
- 46"**: The total depth of the compacted fill layers (8" + 12" + 6" = 26", plus the 20" depth of the sand backfill layer).
- 1**, **2**, **3**: Labels for the three layers of compacted fill.

**OR**

- | FINISH GRADE  |     |
|---------------|-----|
| SUITABLE FILL | 12" |
| SAND          | 12" |
| SAND          | 12" |
| IMINARY       | 6"  |
| SECONDARY     |     |

1	8/4/2020	TAC SUBMITTAL	
ISS.	DATE	DESCRIPTION OF ISSUE	
SCALE:	1" = 10'		
CHECKED:	A.ROSS		
DRAWN:	M.G.P.		
CHECKED:	A.ROSS		
<u><b>ROSS ENGINEERING, LLC</b></u> Civil/Structural Engineering & Surveying 909 Islington St. Portsmouth, NH 03801 (603) 433-7560			
TITLE			
<div style="text-align: center;"> <b>DETAILS</b>           for   <b>SARATOGA WAY</b>  <b>Tax Map 212, Lots 112 &amp; 113</b>  <b>Portsmouth, NH</b> </div>			
OWNER OF RECORD			
Raleigh Way Holding Group, LLC 1 Middle Street, Suite 1 Portsmouth, NH 03801			
JOB NUMBER	19-097	DWG. NO.	7 OF 9
			1



WATER SYSTEM NOTES:

- 1) ALL WATER SERVICES SHALL BE AT LEAST 1" COPPER UNLESS THE EXISTING SERVICE IS LARGER.
- 2) NO WORK SHALL BE PERFORMED ON PRIVATE PROPERTY UNTIL THE OWNER HAS SIGNED A MEMORANDUM OF UNDERSTANDING WITH THE CITY.
- 3) THE CONTRACTOR SHALL PHASE THE CONSTRUCTION OF THE WATER TO MINIMIZE DISRUPTION TO THE EXISTING SYSTEM. THE SYSTEM SHALL NOT BE IMPACTED OR SHUT DOWN WITHOUT PROPER NOTICE AND ANY DAMAGE CAUSED BY A SHUTDOWN WILL BE PAID FOR BY THE CONTRACTOR. MAINTENANCE OF THE WATER FLOW IS SUBSIDIARY TO THE WORK.
- 4) WATER SHUT DOWN NOTICES SHALL BE 3 WEEK DAYS IN ADVANCE OF THE SHUTDOWN.
- 5) THE WATER MAINS SHALL BE CONSTRUCTED OF 8" CEMENT LINED DUCTILE IRON EXCEPT FOR TIE LINES AND HYDRANT STUBS.
- 6) WATER SERVICE CURB STOPS SHALL BE SET 1/4" OF AN INCH BELOW GRADE IN THE SIDEWALK SURFACE IF POSSIBLE.
- 7) ALL EXISTING PIPES ABANDONED IN PLACE SHALL BE PLUGGED AT ALL OPEN AREAS.
- 8) THE SYSTEM WILL BE TESTED FOR LEAKS, CONTAMINATION AND FLAWS PRIOR TO ACCEPTANCE BY THE CITY.
- 9) ALL EXISTING WATER GATE BOXES SHALL BE SET TO FINAL GRADE DURING THE ROAD WORK OPERATION.
- 10) ALL GATE VALVES SHALL BE RESTRAINED WITH MECHANICAL RESTRAINT JOINTS AND REINFORCED WITH THRUST BLOCKING.
- 11) ALL TEES, BENDS GATES AND CAPS SHALL BE USED WITH MECHANICAL RESTRAINT JOINTS AND REINFORCED WITH THRUST BLOCKING.
- 12) MAINTAIN A MINIMUM DISTANCE OF 10' BETWEEN THE SEWER AND THE WATER SYSTEM EXCEPT FOR CROSSINGS WHICH SHALL BE CONSTRUCTED PER THE CURRENT STATE APPROVED RULES.
- 13) ALL PORTIONS OF THE NEW DUCTILE IRON WATER MAIN SYSTEM SHALL BE PROTECTED USING PLASTIC WRAPPINGS AND BRASS CONDUCTIVITY WEDGES. SEE SPECIFICATIONS.
- 14) ADD FITTINGS AS NECESSARY TO ENSURE THAT VALVES ARE INSTALLED NEARLY LEVEL.

GENERAL NOTES:

- 1) THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY ROSS ENGINEERING. EXISTING UTILITIES THAT ARE SHOWN ON THE PLANS WERE GATHERED FROM AVAILABLE STRUCTURES THAT WERE VIABLE, RECORD DRAWINGS OF THE VARIOUS UTILITY COMPANIES CAMERA INSPECTIONS AND OBSERVATIONS MADE. THERE IS NO GUARANTEE THAT THE UTILITIES SHOWN ARE EXACTLY AS PORTRAYED OF THAT OTHER UTILITIES THAT ARE NOT SHOWN DON'T EXIST. ALL THE STRUCTURES SHOWN HAVE MULTIPLE SERVICES AND MAY HAVE OLD CONNECTIONS THAT MAY HAVE NOT BEEN PROPERLY ABANDONED. THE BIDDER SHOULD ASSUME THAT EXTREME CAUTION AND HAND EXCAVATION MAY BE REQUIRED IN THESE OLDER PORTIONS OF THE CITY. NO EXTRA PAYMENTS WILL BE MADE FOR EXPLORATION OF DEFUNCT UTILITIES LEFT IN THE GROUND.
- 2) THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION, PROTECTION AND REPAIR (IF DAMAGED) OF THE EXISTING UTILITY INFRASTRUCTURE WITHIN THE BOUNDS OF THE PROJECT ONCE CONSTRUCTION HAS BEGUN. NOTIFY DIG SAFE AT LEAST 72 HOURS PRIOR TO THE BEGINNING OF EXCAVATION WORK. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF CONFLICTS BETWEEN THE EXISTING AND PROPOSED UTILITIES.
- 3) ALL CONFLICTS WITH GAS LINES SHALL BE COORDINATED WITH UNITIL, THE GAS COMPANY, AND SHALL BE SUBSIDIARY. THE GAS COMPANY WAS NOTIFIED OF OBVIOUS CONFLICTS PREVIOUSLY AND WAS TO LOCATE THEIR MAINS AND SERVICES IN ACCORDANCE TO THE PROPOSED LAYOUT ON THIS PLAN. THE CITY MAKES NO GUARANTEES THAT THE ACTUAL AS BUILT LOCATIONS OF THE GAS LINES ARE AS SHOWN ON THESE PLANS.
- 4) THE CONTRACTOR SHALL MAINTAIN ONE PASSABLE LANE AND SAFE PASSAGE FOR RESIDENTS TO AND FROM THEIR BUSINESS AND DWELLINGS IN THE NEIGHBORHOOD. WORK THAT REQUIRES THE COMPLETE SHUT DOWN OF THE STREET HAS TO BE APPROVED BY THE ENGINEER PRIOR TO THE WORK COMMENCING.
- 5) THE STREETS IN THE PROJECT AREA WILL BE PASSABLE AND SAFE IN THE OPINION OF THE ENGINEER PRIOR TO WORK TERMINATING AT THE END OF THE DAY.
- 6) THE USE OF STEEL PLATES IN LIEU OF BACKFILLING WILL NOT BE ALLOWED UNLESS APPROVED BY THE DIRECTOR OF PUBLIC WORKS AHEAD OF TIME.
- 7) THESE PLANS HAVE BEEN CREATED TO BE USED TOGETHER WITH THE CONTRACT AND SPECIFICATIONS TO CREATE ONE COMPLETE BID AND CONSTRUCTION DOCUMENT.
- 8) THE CONTRACTOR SHALL PROVIDE SUBMITTALS FOR ALL MATERIALS TO BE USED ON THIS PROJECT. THE CONTRACTOR SHALL NOT PURCHASE ANY MATERIALS UNTIL THEY HAVE BEEN APPROVED FOR USE BY THE DEPARTMENT.
- 9) THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL SURPLUS EARTHEN MATERIALS, PIPE, UNUSED CURBING, LEDGE, OLD OR UNUSED SEWER AND DRAINAGE STRUCTURES ETC.
- 10) THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL PROPERTY RESTORATION BOTH PUBLIC AND PRIVATE FOR DAMAGE DONE BY THE CONTRACTOR. RESTORATION WILL BE COMPLETED WITH NOT COST TO THE CITY.
- 11) TEMPORARY OR PERMANENT PAVING WILL BE RESTORED TO EXISTING LINE AND GRADE UNLESS DIRECTED BY THE ENGINEER.
- 12) OVERHEAD WIRES ARE SHOWN ON THE DRAWINGS BUT THE CITY MAKES NO WARRANTY TO THEIR COMPLETENESS OR THAT THEIR HEIGHT IS SUFFICIENT TO COMPLETE THE WORK. POLES THAT NEED TO BE HELD UP BY THE UTILITY COMPANY WILL BE PAID FOR BY THE CONTRACTOR WITH NO ADDITIONAL COST PASSED ON TO THE CITY.
- 13) THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REINSTALLATION OF TRAFFIC AND CONSTRUCTION SIGNS AS NEEDED TO ACCOMPLISH THE WORK. CITY SIGNS (STOP, NO PARKING, ONE WAY, ETC) NEED TO BE REINSTALLED AT THE END OF EACH WORKDAY.
- 14) ALL WORK BEING DONE IN THE CITY RIGHT-OF-WAY SHALL BE REVIEWED BY THE CITY AND INSPECTED BY THE CITY AS IT IS BEING DONE.

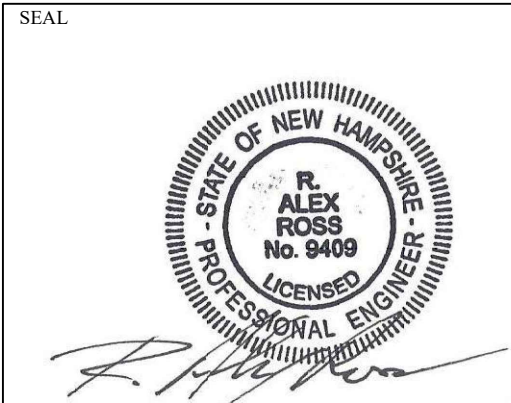
SANITARY SEWER SYSTEM NOTES:

- 1) ALL SEWER LATERALS SHALL BE 6" PVC UNLESS OTHERWISE DIRECTED BY THE ENGINEER. PRIOR TO THE CONSTRUCTION OF THE NEW SEWER MAIN, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO FIND THE EXACT LOCATION, SIZE, TYPE AND ELEVATION OF EACH SEWER LATERAL. SEWER LATERALS SHALL BE INSTALLED TO THE CAST IRON (OR OTHER) COMING THROUGH THE FOUNDATION UNLESS THAT POINT IS MORE THAN 3' BEYOND THE BACK OF THE SIDEWALK OR PROPERTY LINE. IF THE POINT OF CONNECTION IS NOT CLEAR, THE ENGINEER WILL DECIDE. ALL SEWER LATERALS SHALL HAVE A MINIMUM PITCH 2%.
- 2) NO WORK SHALL BE PERFORMED ON PRIVATE PROPERTY UNTIL THE OWNER HAS SIGNED A MEMORANDUM OF UNDERSTANDING WITH THE CITY.
- 3) THE CONTRACTOR SHALL PHASE THE CONSTRUCTION OF THE SEWER TO MINIMIZE DISRUPTION TO THE EXISTING SYSTEM. THE SYSTEM SHALL NOT BE SURCHARGED AND ANY DAMAGE CAUSED BY A SURCHARGE WILL BE PAID FOR BY THE CONTRACTOR.
- 4) EXISTING SERVICES THAT ARE DETERMINED TO BE YARD, FOUNDATION OR ROOF DRAINS SHALL BE CONNECTED TO THE DRAINAGE SYSTEM AFTER BEING TESTED.
- 5) SEWER CONSTRUCTION WILL BE FROM THE LOWEST POINT UPWARD UNLESS APPROVED BY THE ENGINEER.
- 6) SEWER MANHOLE COVERS SHALL BE SET 1/4" OF AN INCH BELOW GRADE.
- 7) ALL EXISTING STRUCTURES ABANDONED IN PLACE SHALL BE REMOVED TO 3' BELOW GRADE AND FILLED WITH COMPACTED GRAVEL. PIPES SHALL BE PLUGGED AT ALL OPEN AREAS AND ANY PIPE LARGER THAN 12" SHALL BE FILLED WITH PUMPED FLOWABLE FILL.
- 8) ALL SERVICES SHALL BE PROVIDED WITH A CLEANOUT FOR TESTING. WHENEVER POSSIBLE, THIS SHOULD BE LOCATED BEHIND THE SIDEWALK FOR FUTURE USE. CLEANOUTS THAT ARE IN THE SIDEWALK WILL HAVE PERMANENT CAST IRON COVERS SET TO SIDEWALK GRADE. COVERS IN GRASSED AREAS SHALL BE CUT TO 2" BELOW GRADE AND WITNESSED WITH A PIECE OF 5/8" REBAR. ALL SERVICE CONNECTIONS SHALL BE TIED OFF AT THE VIE TO THE MAIN, AT ANY BENDS IN THE LINE AND AT THE CLEANOUT AND THEIR LOCATIONS SHALL BE GIVEN TO THE CITY.
- 9) THE SEWER SYSTEM WILL BE CLEANED, TESTED FOR LEAKS AND FLAWS AND TELEVIEWED PRIOR TO ACCEPTANCE BY THE CITY.

STORM DRAINAGE SYSTEM NOTES:

- 1) ALL DRAIN LATERALS SHALL BE 6" UNLESS OTHERWISE DIRECTED BY THE ENGINEER. PRIOR TO THE CONSTRUCTION OF THE NEW DRAIN MAIN, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO FIND THE EXACT LOCATION, SIZE, TYPE AND ELEVATION OF EACH DRAIN LATERAL. DRAIN LATERALS SHALL BE INSTALLED TO THE FOUNDATION UNLESS THAT POINT IS MORE THAN 3' BEYOND THE BACK OF THE SIDEWALK OR PROPERTY LINE. IF THE POINT OF CONNECTION IS NOT CLEAR, THE ENGINEER WILL DECIDE. ALL DRAIN LATERALS SHALL HAVE A MINIMUM PITCH OF 2%.
- 2) NO WORK SHALL BE PERFORMED ON PRIVATE PROPERTY UNTIL THE OWNER HAS SIGNED A MEMORANDUM OF UNDERSTANDING WITH THE CITY.
- 3) THE CONTRACTOR SHALL PHASE THE CONSTRUCTION OF THE DRAIN TO MINIMIZE DISRUPTION TO THE EXISTING SYSTEM. THE SYSTEM SHALL NOT BE SURCHARGED AND ANY DAMAGE CAUSED BY A SURCHARGE WILL BE PAID FOR BY THE CONTRACTOR. MAINTENANCE OF THE DRAINAGE PLOWS IS SUBSIDIARY TO THE WORK.
- 4) EXISTING SERVICES THAT ARE DETERMINED TO BE YARD, FOUNDATION OR ROOF DRAINS SHALL BE CONNECTED TO THE DRAINAGE SYSTEM AFTER BEING TESTED.
- 5) DRAINAGE CONSTRUCTION WILL BE FROM THE LOWEST POINT UPWARD UNLESS APPROVED BY THE ENGINEER.
- 6) DRAIN MANHOLE COVERS AND CATCH BASIN GRATES SHALL BE SET 1/4" OF AN INCH BELOW GRADE.
- 7) ALL EXISTING STRUCTURES ABANDONED IN PLACE SHALL BE REMOVED TO 3' BELOW GRADE AND FILLED WITH COMPACTED GRAVEL. PIPES SHALL BE PLUGGED AT ALL OPEN AREAS AND ANY PIPE LARGER THAN 12" SHALL BE FILLED WITH PUMPED FLOWABLE FILL.
- 8) ALL SERVICE COVERS IN GRASSED AREAS SHALL BE CUT TO 2" BELOW GRADE AND WITNESSED WITH A PIECE OF 5/8" REBAR. ALL SERVICE CONNECTIONS SHALL BE TIED OFF AT THE TEE TO THE MAIN, AT ANY BENDS IN THE LINE AND AT THE TERMINATION POINT AND THEIR LOCATIONS SHALL BE GIVEN TO THE CITY.
- 9) THE SYSTEM SHALL BE CLEANED PRIOR TO ACCEPTANCE. THIS CLEANING SHALL INCLUDE ALL STRUCTURES IN THE RAILYARD THAT WERE PREVIOUSLY CONSTRUCTED (AND CLEANED) BY THE PHASE 3A CONTRACTOR.
- 10) THERE MAY BE MORE DRAINAGE LATERALS NEEDED THAN IS SHOWN ON THESE PLANS. THE ENGINEER WILL HAVE FINAL DETERMINATION.

1	8/4/2020	TAC SUBMITTAL	
ISS.	DATE	DESCRIPTION OF ISSUE	
SCALE: 1" = 10'			
CHECKED: A.ROSS			
DRAWN: M.G.P.			
CHECKED: A.ROSS			
ROSS ENGINEERING, LLC Civil/Structural Engineering & Surveying 909 Islington St. Portsmouth, NH 03801 (603) 433-7560			
TITLE			
NOTES for SARATOGA WAY Tax Map 212, Lots 112 & 113 Portsmouth, NH			
OWNER OF RECORD Raleigh Way Holding Group, LLC 1 Middle Street, Suite 1 Portsmouth, NH 03801			
JOB NUMBER	DWG. NO.	ISSUE	
19-097	8 OF 9	1	



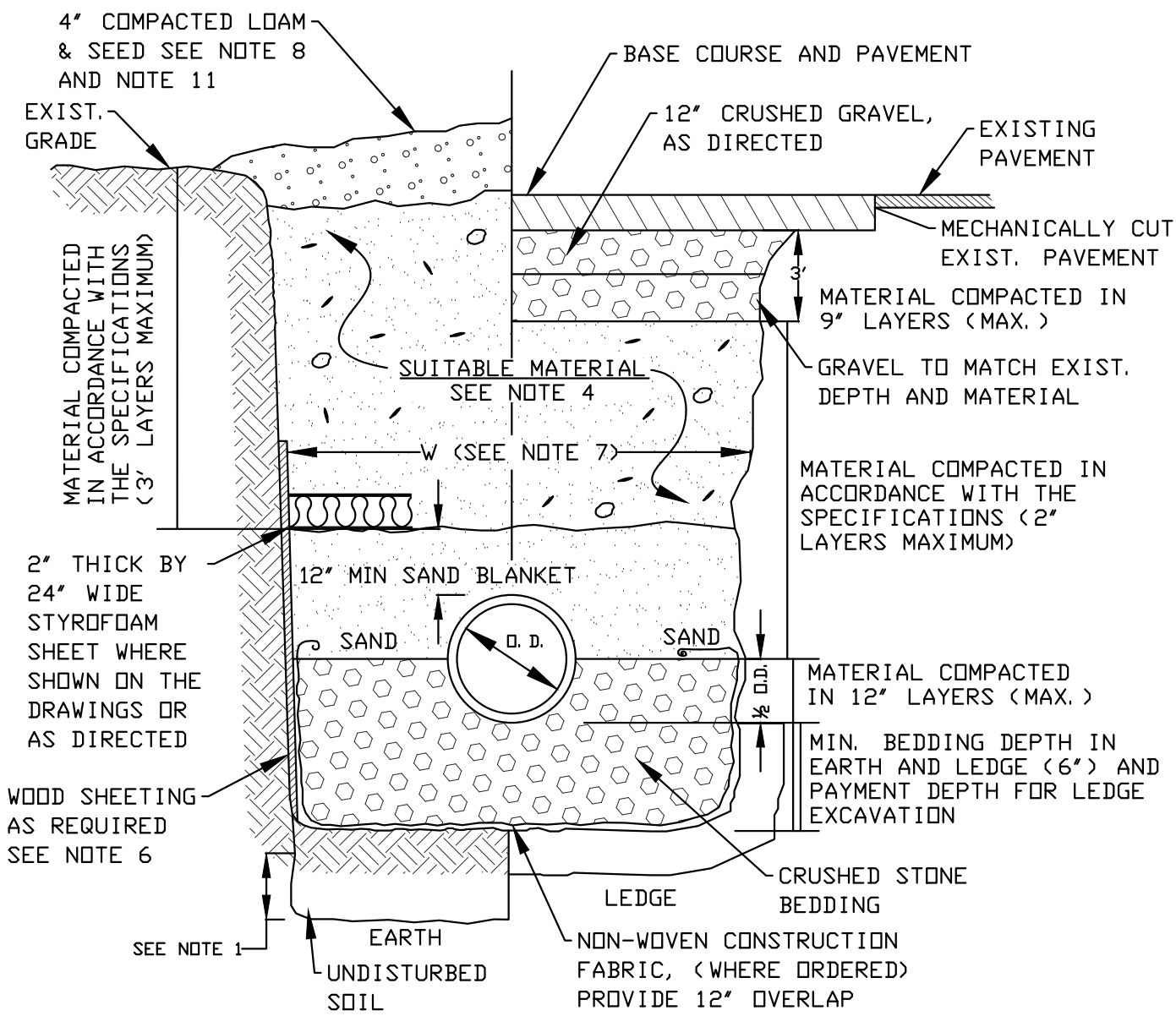


GRAVITY SEWER TRENCH NOTES:

- 1) ~~ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE.~~ BACKFILL AS STATED IN THE TECHNICAL SPECIFICATIONS OR AS SHOWN ON THE DRAWINGS.
- 2) ~~BEDDING.~~ SEE NOTE 7 OF STANDARD MANHOLE NOTES. WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, GRADED SCREENED GRAVEL OR CRUSHED STONE 1/2 INCH TO 1-1/2 INCH SHALL BE USED.
- 3) ~~SAND BLANKET.~~ CLEAN SAND FREE FROM ORGANIC MATTER, SO GRADED THAT 90-100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #200 SIEVE. NO STONE LARGER THAN 2" SHOULD BE IN CONTACT WITH THE PIPE.
- 4) ~~SUITABLE MATERIAL.~~ IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT, OR CLAY; ALL EXCAVATED LEDGE MATERIAL; ALL ROCKS OVER 6 INCHES IN LARGEST DIMENSION; AND ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION. IN CROSS-COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK, OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER FOR MAINTENANCE AND POSSIBLY RECONSTRUCTION, WILL BE PRESERVED.
- 5) ~~BASE COURSE AND PAVEMENT~~ SHALL MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES - DIVISIONS 300 AND 400 RESPECTIVELY AND LOCAL REGULATION.
- 6) ~~WOOD SHEATHING, IF REQUIRED.~~ WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION 1 FOOT ABOVE THE TOP OF PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
- 7) ~~W = MAXIMUM ALLOWABLE TRENCH PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.~~ FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 12 INCHES IN NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE OUTSIDE DIAMETER (O.D.) ALSO, W SHALL BE THE PAYMENT WIDTH.
- 8) ~~FOR CROSS COUNTRY CONSTRUCTION.~~ BACKFILL OR FILL SHALL BE MOUNDED TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- 9) ~~CONCRETE FOR ENCASEMENT.~~ SHALL CONFORM TO THE REQUIREMENTS OF SECTION 520, (NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- 10) ~~CONCRETE FULL ENCASEMENT:~~ IF FULL ENCASEMENT IS UTILIZED, DEPTH OF CONCRETE BELOW PIPE SHALL BE 1/4 I.D. (4" MINIMUM). BLOCK SUPPORT SHALL BE SOLID CONCRETE BLOCKS.
- 11) ~~GRAVEL DRIVEWAY AND SHOULDER RESTORATION:~~ CRUSHED GRAVEL IN DRIVEWAYS AND ROAD SHOULDERS SHALL MATCH EXISTING WITH A MINIMUM OF 12". GRAVEL REPLACEMENT SHALL BE SUBSIDIARY TO SEWER CONSTRUCTION AND WILL NOT BE MEASURED FOR PAYMENT.

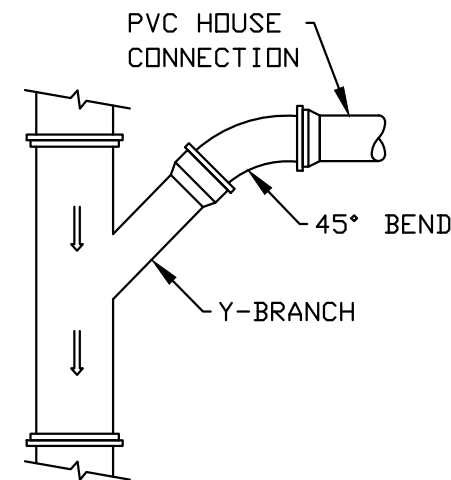
NOTES:

- 1) ALL SEWER SERVICE EXTENSIONS SHALL BE 6', CONTRACTOR SHALL VERIFY EXISTING SEWER SERVICE LOCATION AND ELEVATION BY EXCAVATION OF TEST PITS OR OTHER MEANS PRIOR TO THE CONSTRUCTION OF SEWER MAIN.
- 2) SERVICE CONNECTION SHALL BE INSTALLED BELOW WATER MAIN WHERE POSSIBLE.
- 3) VARIOUS SIZE TRANSITION COUPLINGS SHALL BE STORED ON SITE FOR CONNECTION TO EXITING SERVICES.
- 4) CLEANOUTS SHALL BE INSTALLED AT EACH LIVE SEWER SERVICE CONNECTION, AS SHOWN ON THIS PLAN. REBAR SHALL BE PLACED AT SIDE OF CLEANOUT.
- 5) CLEANOUT SHALL BE USED TO PLUG AND TEST ALL NEW LATERALS WITH MINIMAL INTERRUPTION TO OPERATION OF HOMEOWNER SANITARY SYSTEM. CLEANOUTS SHALL BE INCIDENTAL TO SERVICE CONNECTIONS AND SHALL NOT BE CONSIDERED FOR PAYMENT.

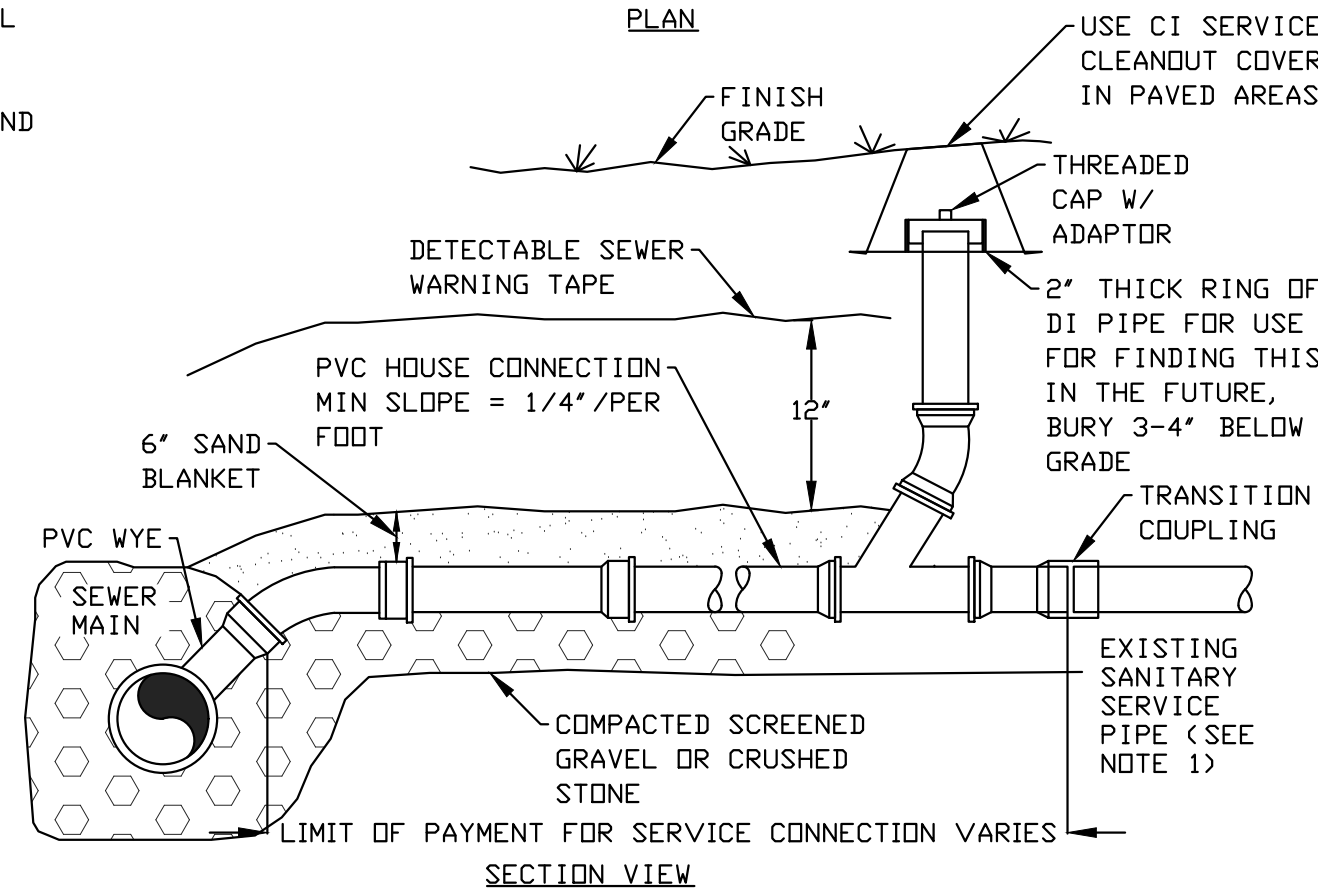


TRENCH DETAIL- GRAVITY SEWER

Scale : N.T.S.



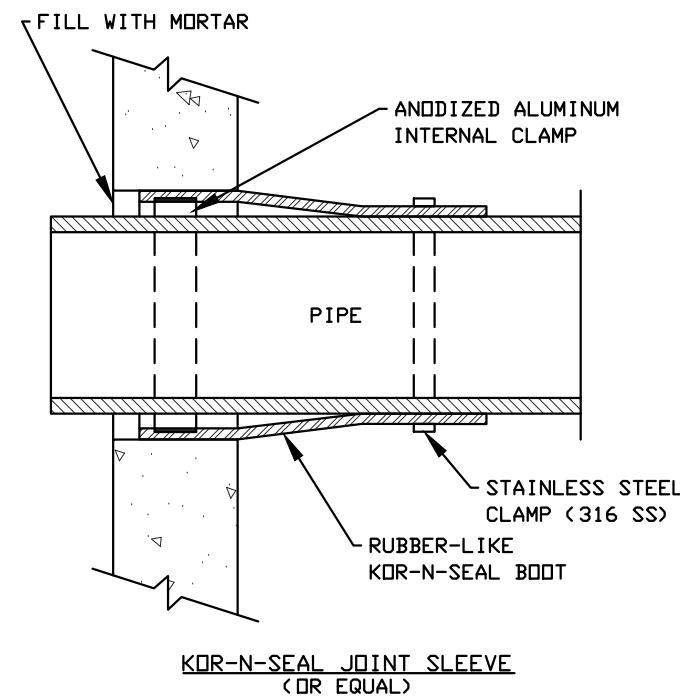
PLAN



SECTION VIEW

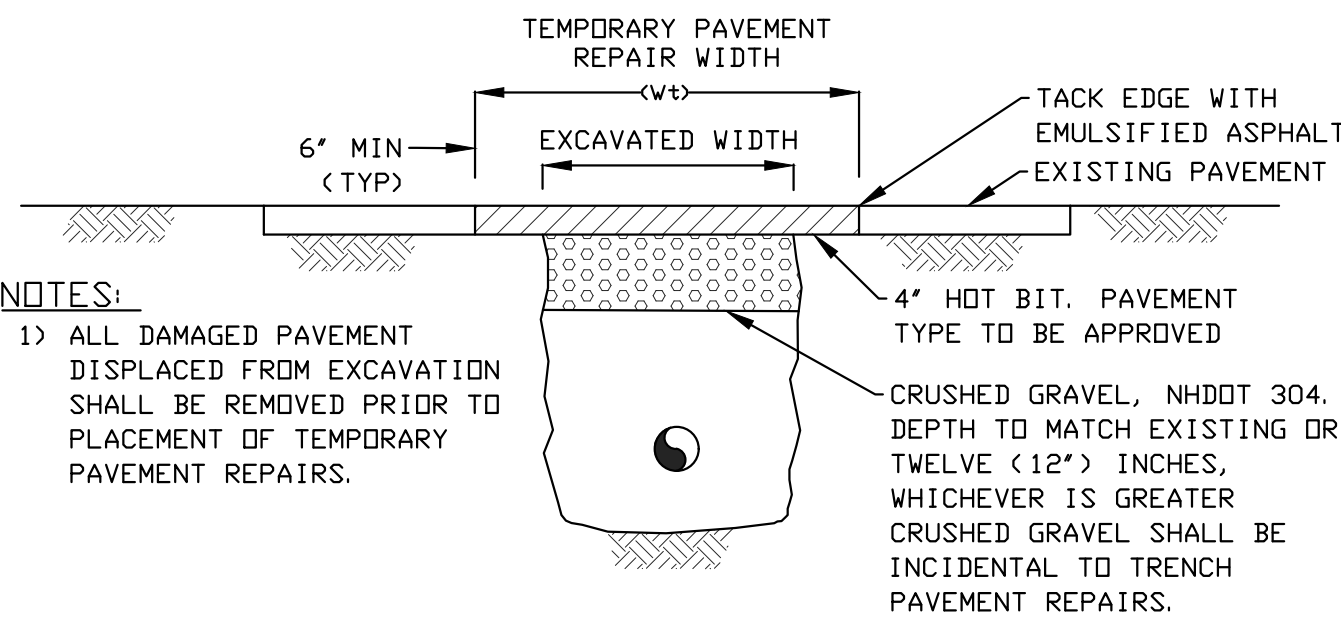
TYPICAL SERVICE CONNECTION

Scale : N.T.S.



MANHOLE PENETRATIONS

Scale : N.T.S.



TEMPORARY TRENCH PAVEMENT REPAIR

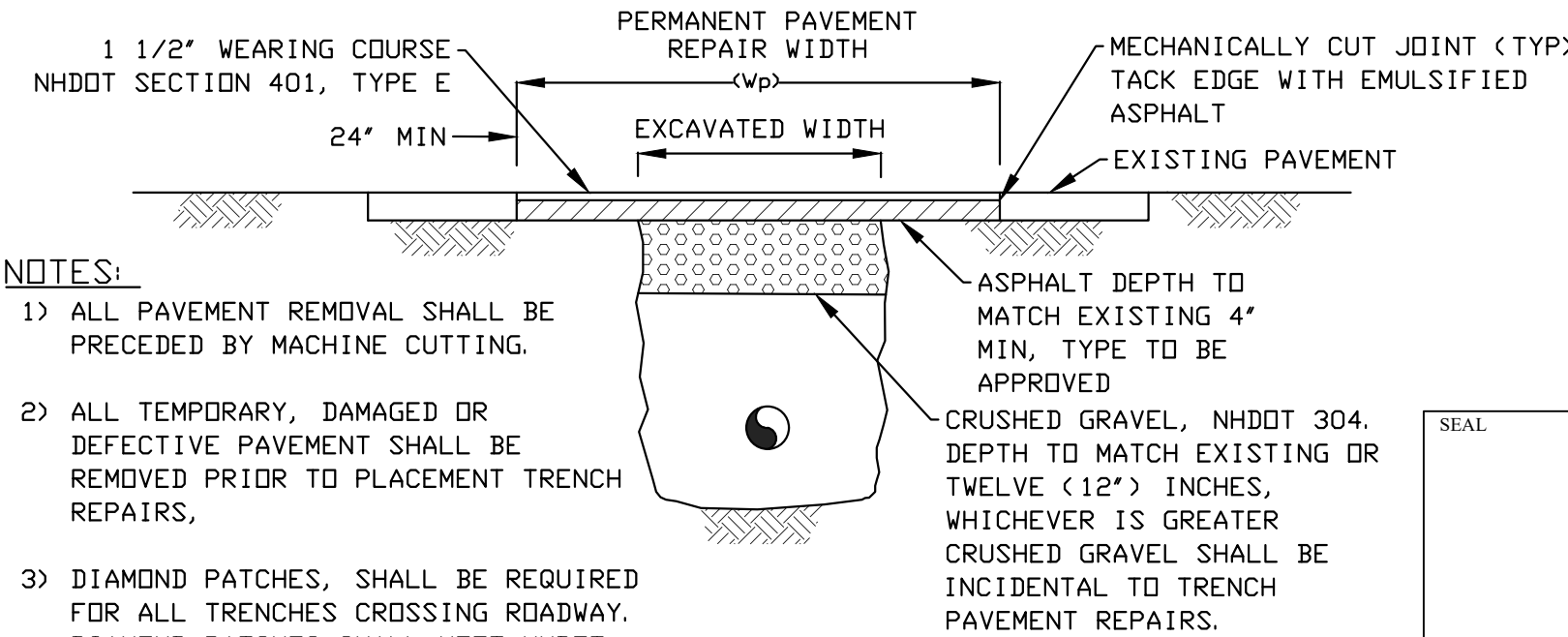
Scale : N.T.S.

NOTE:

THE DIMENSIONS SHOWN SHALL BE CONSIDERED MINIMUM PAVEMENT PAYMENT WIDTHS FOR 0-10' DEEP CONSTRUCTION. Wt AND Wp SHALL BE INCREASED BY 4'-0" FOR TRENCHES 10' TO 15' AND BY 8'-0" FOR TRENCHES 15' TO 20' IN DEPTH.

MINIMUM TRENCH PAVEMENT WIDTHS

PIPE I. D.	Wt (INCHES)	Wp (INCHES)
1-21 INCHES	72	108
24-30 INCHES	84	120
> 30 INCHES	96	132



NOTES:

- 1) ALL PAVEMENT REMOVAL SHALL BE PRECEDED BY MACHINE CUTTING.
- 2) ALL TEMPORARY, DAMAGED OR DEFECTIVE PAVEMENT SHALL BE REMOVED PRIOR TO PLACEMENT TRENCH REPAIRS,
- 3) DIAMOND PATCHES, SHALL BE REQUIRED FOR ALL TRENCHES CROSSING ROADWAY. DIAMOND PATCHES SHALL MEET NHDOT REQUIREMENTS.

PERMANENT TRENCH PAVEMENT REPAIR

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ROSS ENGINEERING, LLC Civil/Structural Engineering & Surveying 909 Islington St. Portsmouth, NH 03801 (603) 433-7560			
TITLE SEWER DETAILS & NOTES for SARATOGA WAY Tax Map 212, Lots 112 & 113 Portsmouth, NH			
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PROPOSED VIEW  
FROM SARATOGA WAY



RIDGE HEIGHT  
EL = 32'7"

ATTIC FLOOR  
EL = 19'9 3/4"

2ND FLOOR  
EL = 9'10 7/8"

1ST FLOOR  
EL = 0'0"

BASEMENT SLAB  
EL = -8'7 5/8"

RIDGE HEIGHT  
EL = 32'7"

ATTIC FLOOR  
EL = 19'9 3/4"

2ND FLOOR  
EL = 9'10 7/8"

1ST FLOOR  
EL = 0'0"



WEST ELEVATION 1/8" = 1'0"



EAST ELEVATION 1/8" = 1'0"

PROPOSED BUILDING AT 185-187 PALEIGH WAY PORTSMOUTH, NH  
TITLE: PROP. WEST & EAST ELEV.  
SCALE: 1/8" = 1'0"  
DATE: 3.30.2020  
REVISIONS:

PAGE A.1.



TOP OF RIDGE  
EL = 32'1"

ATTIC FLOOR  
EL = 19'9 3/4"

2ND FLOOR  
EL = 9'10 7/8"

1ST FLOOR  
EL = 0'0"



SOUTH ELEVATION 1/8"=1'0"

TOP OF RIDGE  
EL = 32'1"

ATTIC FLOOR  
EL = 19'9 3/4"

2ND FLOOR  
EL = 9'10 7/8"

1ST FLOOR  
EL = 0'0"



NORTH ELEVATION 1/8"=1'0"

PROPOSED BUILDING AT 185-187 PALEIGH WAY PORTSMOUTH, NH

TITLE: PROP SOUTH & NORTH ELEV SCALE: 1/8"=1'0"

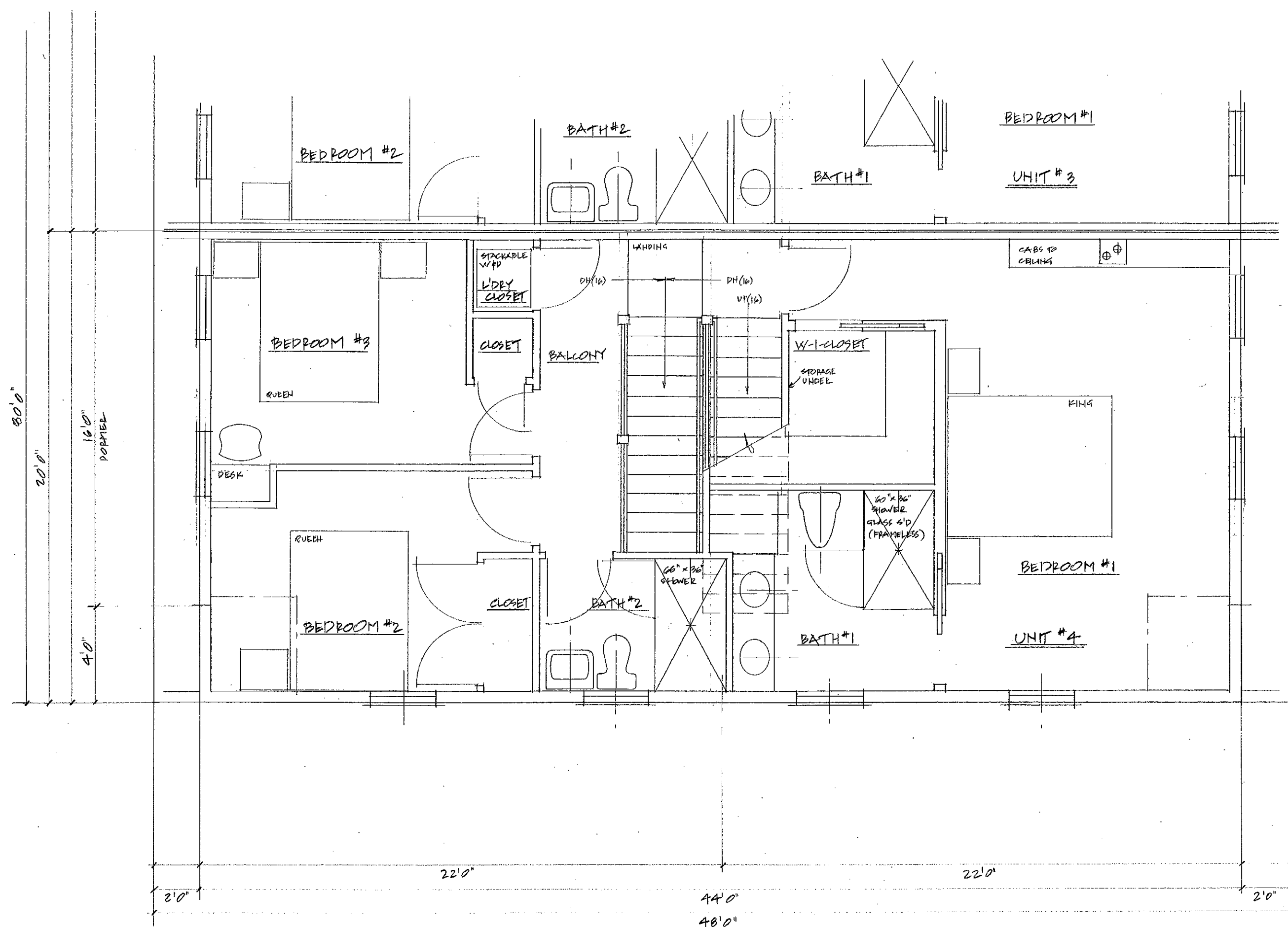
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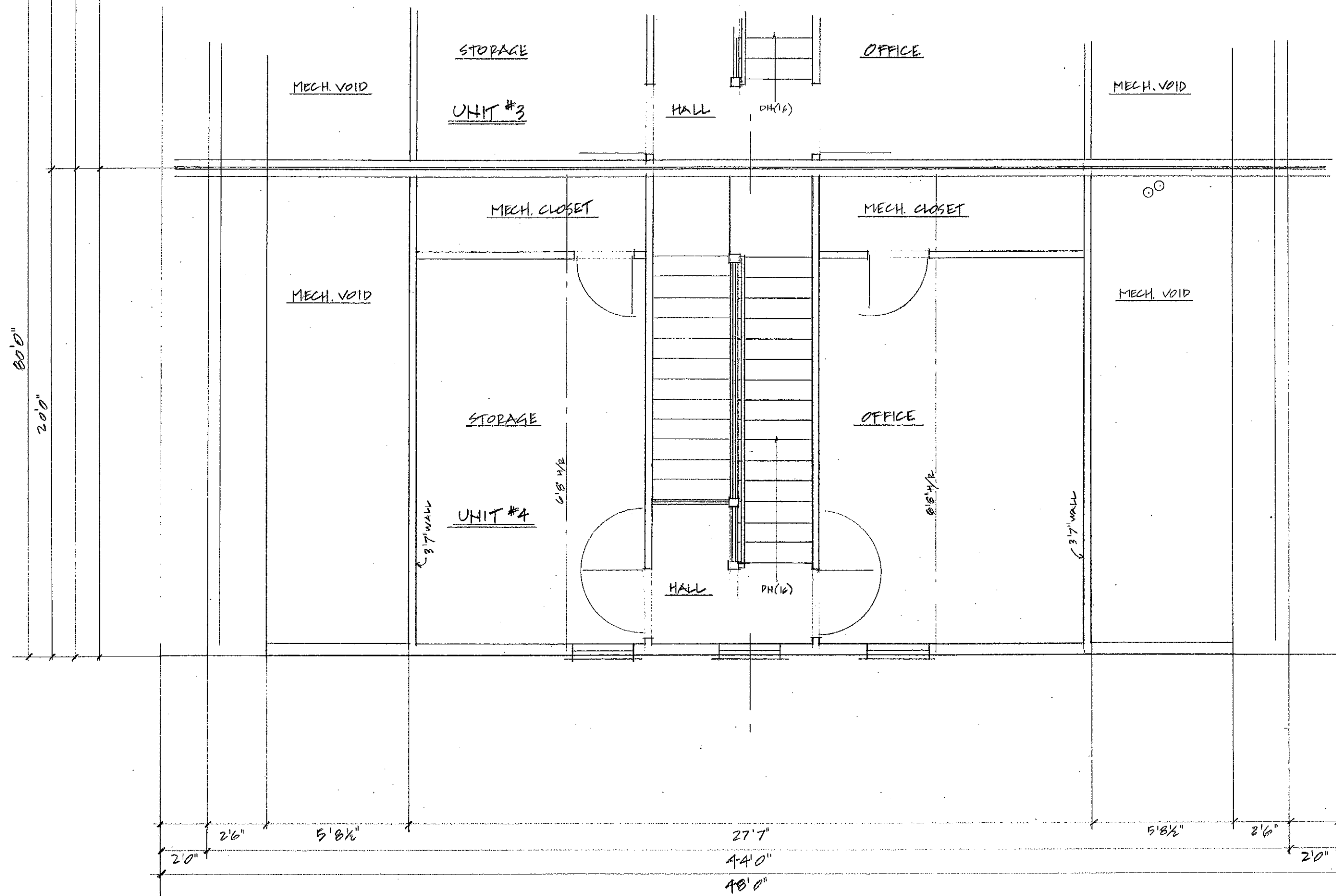


SECOND FLOOR PLAN UNIT #4 (#3, #1 & #2 ARE MIRROR REVERSED)

HLS. = 880 sf.

PROPOSED BUILDING AT 185-187 PALEIGH WAY PORTSMOUTH, NH  
TITLE: 2ND FLOOR PLAN  
SCALE: 1/4"=1'0"  
DATE: 3.30.2020  
REVISIONS:



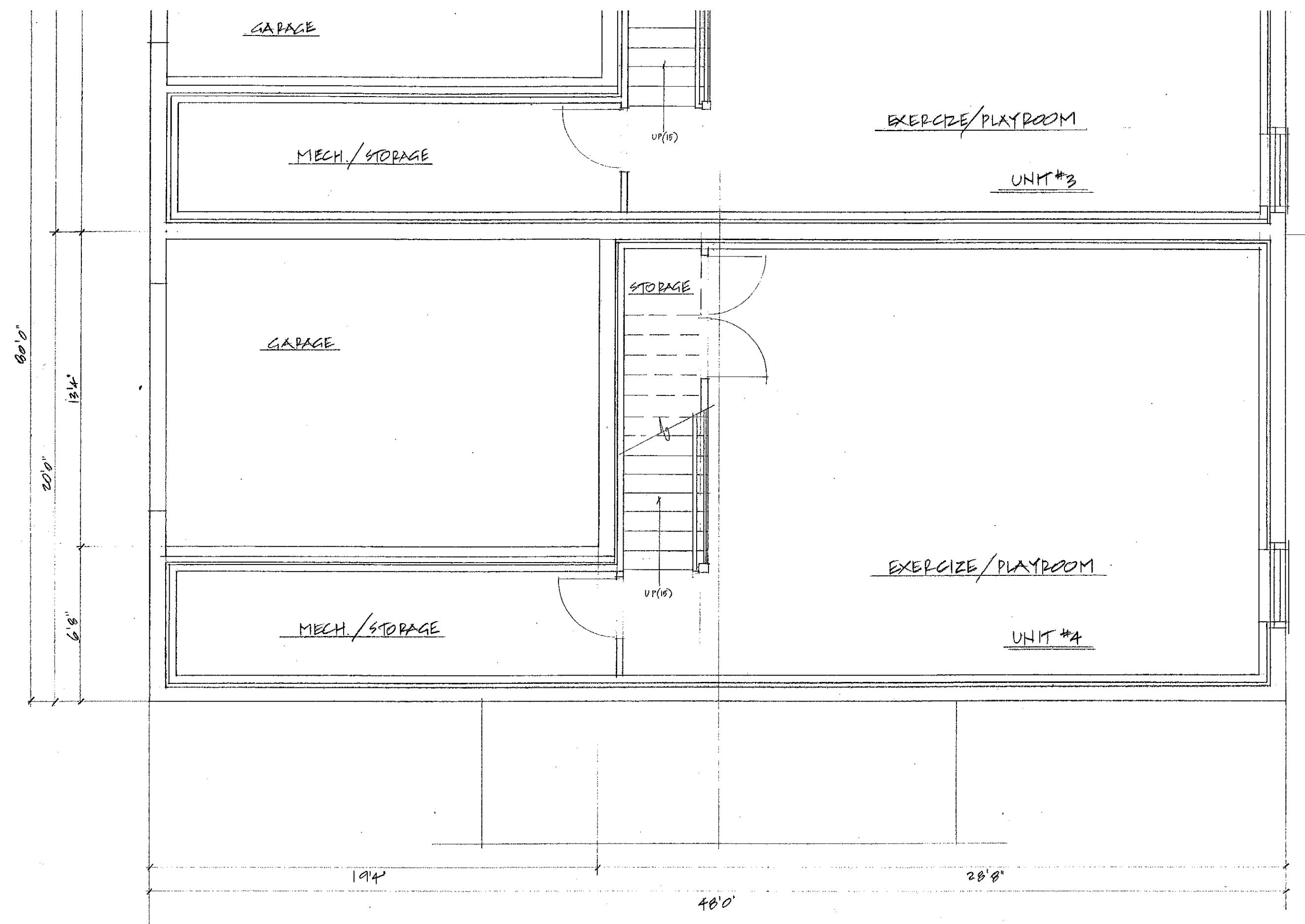


THIRD FLOOR PLAN (ATTIC) UNIT #4 (#3, #1 & #2 ARE MIRROR REV)

WITH 6'8" HEADROOM = 320sf, TO KNEE WALLS = 500sf.

PROPOSED BUILDING AT TITLE: 3RD FLOOR (ATTIC) PLAN  
 185-187 PALEIGH WAY SCALE: 1/4" = 1'0"  
 PORTSMOUTH, NH DATE: 3.30.2020  
 REVISIONS:





BASEMENT FLOOR PLAN, UNIT #4 (#3, #1 & #2 ARE MIRROR REV)

HLs = 1/2 6604.

PROPOSED BUILDING AT 185-187 PALEIGH WAY PORTSMOUTH, NH  
 TITLE: BASEMENTS FLOOR PLAN  
 SCALE: 1/4" = 1'0"  
 DATE: 3.30.2020  
 REVISIONS:

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