

# Findings of Fact | Site Plan Review

## City of Portsmouth Planning Board

Date: January 22, 2026

Property Address: 175 Fleet Street

Application #: LU-25-152

Decision:  Approve     Deny     Approve with Conditions

### Findings of Fact:

Per RSA 676:3, I: The local land use board shall issue a final written decision which either approves or disapproves an application for a local permit and make a copy of the decision available to the applicant. **The decision shall include specific written findings of fact that support the decision. Failure of the board to make specific written findings of fact supporting a disapproval shall be grounds for automatic reversal and remand by the superior court upon appeal, in accordance with the time periods set forth in RSA 677:5 or RSA 677:15, unless the court determines that there are other factors warranting the disapproval.** If the application is not approved, the board shall provide the applicant with written reasons for the disapproval. If the application is approved with conditions, the board shall include in the written decision a detailed description of the all conditions necessary to obtain final approval.

Site Plan Regulations Section 2.9 Evaluation Criteria - in order to grant site plan review approval, the TAC and the Planning Board shall find that the application satisfies evaluation criteria pursuant to NH State Law and listed herein. In making a finding, the TAC and the Planning Board shall consider all standards provided in Articles 3 through 11 of these regulations.

	Site Plan Review Regulations Section 2.9 Evaluation Criteria	Finding (Meets Standard/Criteria)	Supporting Information
1	Compliance with all City Ordinances and Codes and these regulations. <u>Applicable standards:</u>	Meets  Does Not Meet	<u>Applicable standards:</u> In our opinion the Project complies with the intent and language of the Ordinance requirements; see Site Plan Sheet C 201 for details. The project has received HDC Approval.
2	Provision for the safe development, change or expansion of use of the site.	Meets  Does Not Meet	The site change has been vetted as safe. Construction safety will be developed in the CMMP process.
3	Adequate erosion control and stormwater management practices and other mitigative measures, if needed, to prevent adverse effects on downstream water quality and flooding of the property or that of another.	Meets  Does Not Meet	The site is becoming LESS impervious. The plans show the procedures that will be utilized to provide erosion control during construction.

	<b>Site Plan Review Regulations Section 2.9 Evaluation Criteria</b>	<b>Finding (Meets Standard/Criteria)</b>	<b>Supporting Information</b>
<b>4</b>	Adequate protection for the quality of groundwater.	<b>Meets</b> <b>Does Not Meet</b>	Runoff is captured in city collection system. No groundwater withdrawal proposed as the water supply is city. No nearby production wells.
<b>5</b>	Adequate and reliable water supply sources.	<b>Meets</b> <b>Does Not Meet</b>	Water supply is Public - City. Supply confirmed by TAC review. Plumbing fixtures will be water conserving.
<b>6</b>	Adequate and reliable sewage disposal facilities, lines, and connections.	<b>Meets</b> <b>Does Not Meet</b>	Sewer connection is Public - City. Connection(s) reviewed by TAC.
<b>7</b>	Absence of undesirable and preventable elements of pollution such as smoke, soot, particulates, odor, wastewater, stormwater, sedimentation or any other discharge into the environment which might prove harmful to persons, structures, or adjacent properties.	<b>Meets</b> <b>Does Not Meet</b>	The proposed take-out restaurant is similar to other adjacent restaurant uses and will not contribute in a significant manner to the types of impacts associated with the items listed. Proposal has been reviewed and approved by TAC.
<b>8</b>	Adequate provision for fire safety, prevention and control.	<b>Meets</b> <b>Does Not Meet</b>	Building separation reviewed by Portsmouth Fire Department at TAC and plans revised to meet expectations.
<b>9</b>	Adequate protection of natural features such as, but not limited to, wetlands.	<b>Meets</b> <b>Does Not Meet</b>	Urban site, no wetlands or buffers.
<b>10</b>	Adequate protection of historical features on the site.	<b>Meets</b> <b>Does Not Meet</b>	The existing building footprint will be preserved, and the new building façades will match the existing. HDC Approved.
<b>11</b>	Adequate management of the volume and flow of traffic on the site and adequate traffic controls to protect public safety and prevent traffic congestion.	<b>Meets</b> <b>Does Not Meet</b>	The addition of two take-out restaurants does not create a traffic impact. The team has worked with TAC to address the closing of the wide-open curb cut and the addition of new sidewalk.
<b>12</b>	Adequate traffic controls and traffic management measures to prevent an unacceptable increase in safety hazards and traffic congestion off-site.	<b>Meets</b> <b>Does Not Meet</b>	The City's Traffic Engineer did not have any comments during the TAC review.
<b>13</b>	Adequate insulation from external noise sources.	<b>Meets</b> <b>Does Not Meet</b>	Construction will match the required building code requirements.

	<b>Site Plan Review Regulations Section 2.9 Evaluation Criteria</b>	<b>Finding (Meets Standard/Criteria)</b>	<b>Supporting Information</b>
<b>14</b>	Existing municipal solid waste disposal, police, emergency medical, and other municipal services and facilities adequate to handle any new demands on infrastructure or services created by the project.	<b>Meets</b> <b>Does Not Meet</b>	Trash will be collected in the proposed Waste Station (trash collection area); subject to Council concurrence. TAC Review included Fire and Police Departments; all concerns addressed in design.
<b>15</b>	Provision of usable and functional open spaces of adequate proportions, including needed recreational facilities that can be provided on the site	<b>Meets</b> <b>Does Not Meet</b>	Site development increases and makes conforming open space – calculations provided. Improvements include off-site sidewalk and landscape improvements to site and adjacent public spaces.
<b>16</b>	Adequate layout and coordination of on-site accessways and sidewalks in relationship to off-site existing or planned streets, accessways, bicycle paths, and sidewalks.	<b>Meets</b> <b>Does Not Meet</b>	Adequate access for the site development is provided from Fleet Street.  Improvements include off-site sidewalk improvements.
<b>17</b>	Demonstration that the land indicated on plans submitted with the application shall be of such character that it can be used for building purposes without danger to health.	<b>Meets</b> <b>Does Not Meet</b>	Land is suitable for the intended purpose, currently used as a take-out restaurant. The site is an urban building site, and plans follow ordinance and guidelines; see TAC approval.
<b>18</b>	Adequate quantities, type or arrangement of landscaping and open space for the provision of visual, noise and air pollution buffers.	<b>Meets</b> <b>Does Not Meet</b>	Significant Landscaping improvements proposed, meeting open space requirements and improving the property.
<b>19</b>	Compliance with applicable City approved design standards.	<b>Meets</b> <b>Does Not Meet</b>	See HDC and TAC approvals.
	<b>Other Board Findings:</b>		

23 December 2025

Rick Chellman, Planning Board Chair  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, NH 03801

**RE: Request for Site Plan Review at 175 Fleet Street, Proposed Gilley's Addition**

Dear Mr. Chellman and Planning Board Members:

On behalf of Ralph 1912 LLC, we are pleased to submit the attached plan set for **Site Plan Review** for the above-mentioned project and request that we be placed on the Planning Board agenda for your **January 22, 2026**, Planning Board Meeting. The project consists of a proposed addition to the existing Gilley's Restaurant at 175 Fleet Street and the addition of two take-out restaurants permanently situated on the site with the associated and required site improvements. The addition will add ADA compliant bathrooms to the site. The added take-out restaurants will broaden the appeal of the destination, serve a larger client base, and will anchor the newly created pedestrian friendly Newberry Way. The site is in a desirable downtown location within walking distance of amenities such as the Parking Garage, Music Loft, and Music Hall. We believe that the downtown area will be better served if the site is expanded. The plan also revises the proposed grades on Newberry Way.

Project Overview

The project is a re-purposing of the Gilley's Restaurant site shown on Tax Map 117 as Lot 8. The introduction of two take-out restaurants will serve to complement the site appeal and bring the dining experience forward. The project location at the intersection of Fleet Street and the soon to be created Newberry Way pedestrian corridor make this an excellent use of the property. Continuing the established take-out dining at this site is also positive, and in keeping with the existing downtown Portsmouth experience.

Site Plan Submission

The submission requirements of the City of Portsmouth Site Plan Regulations have been reviewed. The submission herein complies with the requirements. Plans are drawn in accordance with scale and size requirements, with dates, titles, north orientation, Map and Lot, Zoning, revision blocks, and Legends. The proposed building locations and site renderings are shown on the architectural plans. The professional's seals with license numbers are on the submitted plans. The Existing Conditions plan shows the site topography, building location with floor elevation, feature locations, and driveway access / egress and current parking configuration. Available utility information is shown. Subsequent plans show the proposed development with the associated site improvements and construction details.





### Site Zoning

Consistent with other properties along Fleet Street, the property is zoned Character District 5 (CD5). The CD5 District is an urban zoning district that allows for a wide array of higher density commercial and residential uses. The Property is also subject to Overlay Districts. The property is located within Historic District Commission (HDC) overview and the Downtown Overlay District (DOD).

The proposed take-out restaurants conform to an allowed use under Section 9.20 - Restaurant Take Out Only. The proposed building addition and new building locations and setbacks are shown on Site Plan C201. The plan shows the proposed non-impervious areas in green color. The proposed project reduces the impervious surface by replacing pavement with landscaping and lowers the site impervious by 4.5%. Landscaping improvements also bring the open space to conformance, with proposed 7.5% open space where 5% open space is required.

### Vehicular and Pedestrian Circulation

The site change brings the site to a fully pedestrian experience. Inefficient on-site parking gives way to an enhanced pedestrian experience. Proximity to available public parking make this a good site transition. Serving as an anchor to the newly created Newberry Way enhances the re-use and redevelopment of that forgotten corridor, which will be converted. This is consistent with that repurpose. Site development includes seating areas, bike racks, bathrooms, and trash receptacles.

### Screening and Landscaping

The site currently is only landscaped at the rear, along the city parking garage wall. The proposed landscaping improvements expand that landscape area, adds site landscaping along the Fleet Street frontage, as well as within the site. Landscaping is detailed on Landscape Plan L01D.

### Water and Sewage Systems; Gas Utility

The site is served by municipal water and sewer. The development proposes to connect all structures to the water and sewer infrastructure on Fleet Street. The existing gas service will be relocated to have the meters behind the building, on the new addition, and the take-out restaurants will be served from this new gas meter location. Electrical services to the take-out restaurant electrical hookup locations are shown coming from the existing building as an added circuit. Water services to the take-out restaurants are shown coming from the existing building, so there is only one meter for the site. Sewer services (excluding bathrooms) will be run through a 1,000-gallon grease interceptor before connecting to the sewer main in Fleet Street. The utility demand generated by the additions and added take-out restaurants are not expected to exceed the capacity of the existing infrastructure. Communication services locations will be detailed by the chosen provider at the time of construction. Utilities are detailed on the Grading & Utility Plan C202.





### Stormwater Management

The proposed site decreases the impervious surfaces, therefore there are no negative impacts to downstream receptors or adjacent properties anticipated as a result of this project.

### Site Lighting

Adequate lighting of the site, and the Newberry Way pedestrian corridor will provide a welcoming and safe pedestrian experience. The take-out restaurant area lighting will be building mounted lighting, which is shown on the attached night view rendering. Newberry Way lighting will be provided by catenary lighting located above the corridor, in keeping with the approved 1-15 Congress Street design for the remainder of Newberry way. The lighting specifications for the catenary lighting is included, and the design is detailed on Landscape Plan L01D.

### Solid Waste

The plan shows the creation of a public use waste station on the north side of the site, adjacent to the High Hanover Garage, partially on city property. The station consists of a fenced and gated storage area for trash and recycling totes on casters, to serve the site as well as adjacent business properties. The totes will be rolled out by the trash and recycling haulers for pick up on a regular schedule. Access to this area will be provided to local businesses via an access code or key card system. Since the area is partially on city property, an access easement on the applicant's property will be provided and is shown on the plan. City Council approval is required for that land use, as well as the expanded landscaping and bike racks. The applicant has started that process, and a License Area Plan is included in this submission.

### Site Signage

The site will be served by building mounted street number identification signage, the final locations will be determined with city GIS / 911 input. The take-out restaurants will have building mounted identification signage and menu boards. The existing garage mural at the rear of the property will be preserved.

### Bike Racks

The site will be served by adjacent bicycle racks as shown on the site plan. The area is city property; and it is understood that City Council approval is required for that land use.





Technical Advisory Committee (TAC) Approval

The project was reviewed at the December 2, 2025 Technical Advisory Committee (TAC) Meeting. The TAC Committee voted to recommend approval with the following conditions, repeated below with our response in bold text:

- 1) Everything proposed on city property (Garbage totes, bike racks, and landscaping) will require City Council approval. **The Applicant is requesting a license agreement from the City of Portsmouth to use portions of City property to place totes, bike racks, and landscaping. The request for the garbage totes is supported by the need to remove an existing dumpster located in Newberry Way, thereby allowing pedestrians to walk uninterrupted down Newberry Way.**
- 2) Please provide a green building statement. **The Green Building Statement is attached to this submission.**
- 3) The two kiosks will need to be individually licensed per health department requirements. **Plan Note 14 has been added to Site Plan Sheet C 201. The requirement would be appropriate as a condition of approval.**
- 4) Any fencing as required by the liquor commission or used to divide the site is required to go to the HDC. **Plan Note 15 has been added to Site Plan Sheet C 201. The requirement would be appropriate as a condition of approval.**
- 5) Bathrooms cannot be connected to the grease trap. Show separate sewer line that does not route through grease trap. **Sheet C 202 has been revised to show a separate bathroom sewer connection.**
- 6) A shoring plan stamped by a structural engineer shall be provided to ensure there will be no undermining of any structure along Newbury Way. **Plan Note 16 has been added to Site Plan Sheet C 201. The requirement would be appropriate as a condition of approval.**
- 7) CMMP required. **This is an acceptable standard condition.**

The following plans are included in our submission:

- Cover Sheet – This shows the Development Team, Legend, Site Location, and Site Zoning.
- Standard Boundary Survey & Existing Conditions Plan V101 – This plan shows the existing property boundary and the site conditions in detail.
- Site Plan C201 – This plan shows the site development layout with the impervious coverage table, zoning development standards, approval conditions, and labelling notations.
- Landscape Plan L01D – This plan shows the proposed landscape areas and the site lighting.
- Architectural Plans PA 201 to 204 – These plans show the proposed architectural features of the addition and the take-out restaurants, with footprints, elevations, 3D views and nighttime illumination.
- Grading & Utility Plan C202 – This plan shows proposed site utilities and grading.





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HALEY WARD

- Offsite Improvements Plan & Profile C301 – This plan shows proposed grading in Newberry Way.
- Detail Plans C501 to C502 – These plans shows proposed site details.

Also attached to this submission is additional material to aid in the review of the application:

- ✓ Site Plan Checklist
- ✓ License Requests
- ✓ License Area Plan
- ✓ Green Building Statement
- ✓ Lighting Specifications

We look forward to Planning Board review of this submission and look forward to an in-person presentation at your meeting. Site Plan approval is hereby requested.

Sincerely,

John R. Chagnon, PE

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# City of Portsmouth, New Hampshire

## Site Plan Application Checklist

This site plan application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. The checklist is required to be completed and uploaded to the Site Plan application in the City's online permitting system. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan review regulations for full details.

**Applicant Responsibilities (Section 2.5.2):** Applicable fees are due upon application submittal along with required attachments. The application shall be complete as submitted and provide adequate information for evaluation of the proposed site development. Waiver requests must be submitted in writing with appropriate justification.

Name of Applicant: Ralph 1912, LLC Date Submitted: 11/17/2025

Application # (in City's online permitting): LU-25-152

Site Address: 175 Fleet Street Map: 117 Lot: 8

Application Requirements			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Complete <a href="#">application</a> form submitted via the City's web-based permitting program (2.5.2.1(2.5.2.3A))	N/A	N/A
<input type="checkbox"/>	All application documents, plans, supporting documentation and other materials uploaded to the application form in viewpoint in digital Portable Document Format (PDF). One hard copy of all plans and materials shall be submitted to the Planning Department by the published deadline. (2.5.2.8)	Online	N/A

Site Plan Review Application Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Statement that lists and describes "green" building components and systems. (2.5.3.1B)	Online	
<input type="checkbox"/>	Existing and proposed gross floor area and dimensions of all buildings and statement of uses and floor area for each floor. (2.5.3.1C)	Architectural Plans	N/A
<input type="checkbox"/>	Tax map and lot number, and current zoning of all parcels under Site Plan Review. (2.5.3.1D)	V101 Existing Conditions	N/A

<b>Site Plan Review Application Required Information</b>			
<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>	<b>Waiver Requested</b>
<input type="checkbox"/>	Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. <b>(2.5.3.1E)</b>	Cover Page	N/A
<input type="checkbox"/>	Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property. <b>(2.5.3.1F)</b>	V101 Existing Conditions	N/A
<input type="checkbox"/>	Names, addresses and telephone numbers of all professionals involved in the site plan design. <b>(2.5.3.1G)</b>	Cover Sheet	N/A
<input type="checkbox"/>	List of reference plans. <b>(2.5.3.1H)</b>	Standard Boundary Survey	N/A
<input type="checkbox"/>	List of names and contact information of all public or private utilities servicing the site. <b>(2.5.3.1I)</b>	Cover Sheet	N/A

<b>Site Plan Specifications</b>			
<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>	<b>Waiver Requested</b>
<input type="checkbox"/>	Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director.. <b>(2.5.4.1A)</b>	Required on all plan sheets	N/A
<input type="checkbox"/>	Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans. <b>(2.5.4.1B)</b>	Required on all plan sheets	N/A
<input type="checkbox"/>	GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. <b>(2.5.4.1C)</b>	Complies	N/A
<input type="checkbox"/>	Plans shall be drawn to scale and stamped by a NH licensed civil engineer. <b>(2.5.4.1D)</b>	Required on all plan sheets	N/A
<input type="checkbox"/>	Wetlands shall be delineated by a NH certified wetlands scientist and so stamped. <b>(2.5.4.1E)</b>	N/A	N/A
<input type="checkbox"/>	Title (name of development project), north point, scale, legend. <b>(2.5.4.2A)</b>	Cover Sheet	N/A
<input type="checkbox"/>	Date plans first submitted, date and explanation of revisions. <b>(2.5.4.2B)</b>	All Sheets	N/A
<input type="checkbox"/>	Individual plan sheet title that clearly describes the information that is displayed. <b>(2.5.4.2C)</b>	Required on all plan sheets	N/A
<input type="checkbox"/>	Source and date of data displayed on the plan. <b>(2.5.4.2D)</b>	Standard Boundary Survey	N/A

**Site Plan Specifications – Required Exhibits and Data**

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	<p><b>1. Existing Conditions: (2.5.4.3A)</b></p> <ul style="list-style-type: none"> <li>• Surveyed plan of site showing existing natural and built features;</li> <li>• Existing building footprints and gross floor area;</li> <li>• Existing parking areas and number of parking spaces provided;</li> <li>• Zoning district boundaries;</li> <li>• Existing, required, and proposed dimensional zoning requirements including building and open space coverage, yards and/or setbacks, and dwelling units per acre;</li> <li>• Existing impervious and disturbed areas;</li> <li>• Limits and type of existing vegetation;</li> <li>• Wetland delineation, wetland function and value assessment (including vernal pools);</li> <li>• SFHA, 100-year flood elevation line and BFE data, as required.</li> </ul>	V101 Existing Conditions	
<input type="checkbox"/>	<p><b>2. Buildings and Structures: (2.5.4.3B)</b></p> <ul style="list-style-type: none"> <li>• Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation;</li> <li>• Elevations: Height, massing, placement, materials, lighting, façade treatments;</li> <li>• Total Floor Area;</li> <li>• Number of Usable Floors;</li> <li>• Gross floor area by floor and use.</li> </ul>	Architectural Plans	
<input type="checkbox"/>	<p><b>3. Access and Circulation: (2.5.4.3C)</b></p> <ul style="list-style-type: none"> <li>• Location/width of access ways within site;</li> <li>• Location of curbing, right of ways, edge of pavement and sidewalks;</li> <li>• Location, type, size and design of traffic signing (pavement markings);</li> <li>• Names/layout of existing abutting streets;</li> <li>• Driveway curb cuts for abutting prop. and public roads;</li> <li>• If subdivision; Names of all roads, right of way lines and easements noted;</li> <li>• AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC).</li> </ul>	C201 Sidewalks	
<input type="checkbox"/>	<p><b>4. Parking and Loading: (2.5.4.3D)</b></p> <ul style="list-style-type: none"> <li>• Location of off street parking/loading areas, landscaped areas/buffers;</li> <li>• Parking Calculations (# required and the # provided).</li> </ul>	N/A	
<input type="checkbox"/>	<p><b>5. Water Infrastructure: (2.5.4.3E)</b></p> <ul style="list-style-type: none"> <li>• Size, type and location of water mains, shut-offs, hydrants &amp; Engineering data;</li> <li>• Location of wells and monitoring wells (include protective radii).</li> </ul>	C202 Utility Plan	
<input type="checkbox"/>	<p><b>6. Sewer Infrastructure: (2.5.4.3F)</b></p> <ul style="list-style-type: none"> <li>• Size, type and location of sanitary sewage facilities &amp; Engineering data, including any onsite temporary facilities during construction period.</li> </ul>	C202 Utility Plan	

<input type="checkbox"/>	<b>7. Utilities: (2.5.4.3G)</b> <ul style="list-style-type: none"> <li>The size, type and location of all above &amp; below ground utilities;</li> <li>Size type and location of generator pads, transformers and other fixtures.</li> </ul>	C202 Utility Plan	
<input type="checkbox"/>	<b>8. Solid Waste Facilities: (2.5.4.3H)</b> <ul style="list-style-type: none"> <li>The size, type and location of solid waste facilities.</li> </ul>	C201 Site Plan	
<input type="checkbox"/>	<b>9. Storm water Management: (2.5.4.3I)</b> <ul style="list-style-type: none"> <li>The location, elevation and layout of all storm-water drainage.</li> <li>The location of onsite snow storage areas and/or proposed off-site snow removal provisions.</li> <li>Location and containment measures for any salt storage facilities</li> <li>Location of proposed temporary and permanent material storage locations and distance from wetlands, water bodies, and stormwater structures.</li> </ul>	C202 Grading Plan	
<input type="checkbox"/>	<b>10. Outdoor Lighting: (2.5.4.3J)</b> <ul style="list-style-type: none"> <li>Type and placement of all lighting (exterior of building, parking lot and any other areas of the site) and photometric plan.</li> </ul>	L01D Landscape Plan	
<input type="checkbox"/>	<b>11. Indicate where dark sky friendly lighting measures have been implemented. (10.1)</b>	C202 Grading Plan	
<input type="checkbox"/>	<b>12. Landscaping: (2.5.4.3K)</b> <ul style="list-style-type: none"> <li>Identify all undisturbed area, existing vegetation and that which is to be retained;</li> <li>Location of any irrigation system and water source.</li> </ul>	L01D Landscape Plan	
<input type="checkbox"/>	<b>13. Contours and Elevation: (2.5.4.3L)</b> <ul style="list-style-type: none"> <li>Existing/Proposed contours (2 foot minimum) and finished grade elevations.</li> </ul>	C202 Grading Plan	
<input type="checkbox"/>	<b>14. Open Space: (2.5.4.3M)</b> <ul style="list-style-type: none"> <li>Type, extent and location of all existing/proposed open space.</li> </ul>	C201 Site Plan	
<input type="checkbox"/>	<b>15. All easements, deed restrictions and non-public rights of ways. (2.5.4.3N)</b>	License Plan- TBD	
<input type="checkbox"/>	<b>16. Character/Civic District (All following information shall be included): (2.5.4.3P)</b> <ul style="list-style-type: none"> <li>Applicable Building Height (10.5A21.20 &amp; 10.5A43.30);</li> <li>Applicable Special Requirements (10.5A21.30);</li> <li>Proposed building form/type (10.5A43);</li> <li>Proposed community space (10.5A46).</li> </ul>	Cover Letter & Building Plans	
<input type="checkbox"/>	<b>17. Special Flood Hazard Areas (2.5.4.3Q)</b> <ul style="list-style-type: none"> <li>The proposed development is consistent with the need to minimize flood damage;</li> <li>All public utilities and facilities are located and construction to minimize or eliminate flood damage;</li> <li>Adequate drainage is provided so as to reduce exposure to flood hazards.</li> </ul>	N/A	

<b>Other Required Information</b>			
<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>	<b>Waiver Requested</b>
<input type="checkbox"/>	Traffic Impact Study or Trip Generation Report, as required. <b>(3.2.1-2)</b>	N/A	
<input type="checkbox"/>	Indicate where Low Impact Development Design practices have been incorporated. <b>(7.1)</b>	N/A	
<input type="checkbox"/>	Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. <b>(7.3.1)</b>	N/A	
<input type="checkbox"/>	Stormwater Management and Erosion Control Plan. <b>(7.4)</b>	N/A	
<input type="checkbox"/>	Inspection and Maintenance Plan <b>(7.6.5)</b>	N/A	

<b>Final Site Plan Approval Required Information</b>			
<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>	<b>Waiver Requested</b>
<input type="checkbox"/>	All local approvals, permits, easements and licenses required, including but not limited to: <ul style="list-style-type: none"> <li>• Waivers;</li> <li>• Driveway permits;</li> <li>• Special exceptions;</li> <li>• Variances granted;</li> <li>• Easements;</li> <li>• Licenses.</li> </ul> <b>(2.5.3.2A)</b>	Cover Sheet	
<input type="checkbox"/>	Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: <ul style="list-style-type: none"> <li>• Calculations relating to stormwater runoff;</li> <li>• Information on composition and quantity of water demand and wastewater generated;</li> <li>• Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls;</li> <li>• Estimates of traffic generation and counts pre- and post-construction;</li> <li>• Estimates of noise generation;</li> <li>• A Stormwater Management and Erosion Control Plan;</li> <li>• Endangered species and archaeological / historical studies;</li> <li>• Wetland and water body (coastal and inland) delineations;</li> <li>• Environmental impact studies.</li> </ul> <b>(2.5.3.2B)</b>	N/A	
<input type="checkbox"/>	A document from each of the required private utility service providers indicating approval of the proposed site plan and indicating an ability to provide all required private utilities to the site. <b>(2.5.3.2D)</b>	TBD	

**Final Site Plan Approval Required Information**

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	A list of any required state and federal permit applications required for the project and the status of same. <b>(2.5.3.2E)</b>	Cover Sheet	
<input type="checkbox"/>	A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations." <b>(2.5.4.2E)</b>	C201 Site Plan	N/A
<input type="checkbox"/>	For site plans that involve land designated as "Special Flood Hazard Areas" (SFHA) by the National Flood Insurance Program (NFIP) confirmation that all necessary permits have been received from those governmental agencies from which approval is required by Federal or State law, including Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S.C. 1334. <b>(2.5.4.2F)</b>	N/A	
<input type="checkbox"/>	Plan sheets submitted for recording shall include the following notes: <ul style="list-style-type: none"> <li>a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds."</li> <li>b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director."</li> </ul> <b>(2.13.3)</b>	C201 Site Plan	N/A

Applicant's Signature:  Date: 11/17/2025

## John Chagnon

---

**From:** Mark A. McNabb <house@mcnabbgroup.com>  
**Sent:** Tuesday, December 2, 2025 9:21 AM  
**To:** Karen S. Conard; Peter H. Rice; Peter L. Britz; Dave J. Desfosses; Peter M. Stith  
**Cc:** Marie Bodi; tracy.kozak@arcove.com; John Chagnon  
**Subject:** Gilley's Plan

Good morning, Karen:

Our plan for Gilley's which will add public bathrooms and incorporate the grades to work with the Newberry Way plans for handicap accessibility will require us to remove the dumpster in the middle of Newberry Way. As you know, at one point in time we were proposing a license agreement to use a portion of the High Hanover Garage to relocate the trash. After I purchased Gilley's it allowed us to take Gilley's existing dumpster and the dumpster in Newberry Way in favor of a consolidated trash and recycling area next to Gilley's and the High Hanover Garage. That area being outside and accessible for pick up off Fleet Street is a perfect solution for our entire 1.2 acres comprising One Market Square.

To make that location work, we respectfully request a license agreement with the City of Portsmouth for placing 4 yard garbage totes on wheels which will then be moved out for a waster hauler to empty. We do this same system at 60 Penhallow for removal of trash and recycling for all of Brick Market which processes trash for Napoletano Restaurant, Toscana Chop House, and Buckley's Market-Café.

We are proceeding with regulatory approvals with a note showing that paved area next to the High Hanover Garage as owned by the City of Portsmouth and requiring a license agreement as a condition on our approvals.

As you know, the remaking of Fleet Street, me providing private land for major transformers for Eversource, burying power lines, installing subterranean utilities down Newberry Way and managing trash and recycling for that block we own is going to be done best accomplished with a very high level of cooperation.

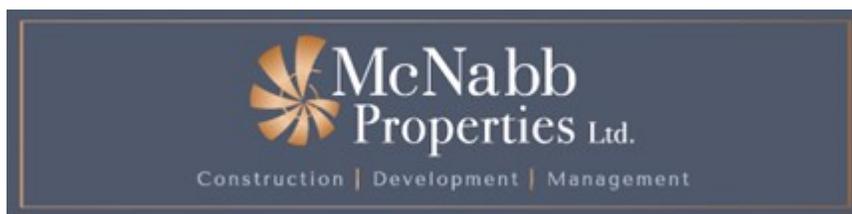
Please let me know if you can support this request to seek a license agreement. Please let me know if you would like to review this request on site. Thanks.

Mark



**Mark A. McNabb**  
**President**

T: 603.427.0725  
10 Pleasant Street, Suite 300 | Portsmouth, NH 03801  
[www.mcnabbgroup.com](http://www.mcnabbgroup.com)



December 12, 2025

Karen S. Conard  
City Manager  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, NH 03801

**Re: License Agreement for Trash Totes & Landscaping**

Dear Karen:

Ralph 1912, LLC owns property located at 175 Fleet Street as depicted on City of Portsmouth Tax Assessor Map 117 as Lot 8 and the attached boundary survey from Haley Ward Engineering. We purchased this parcel of land to remove an existing concrete retaining wall and unsightly fence and to remove two dumpsters currently in the way of creating handicap accessible grades down Newberry Way.

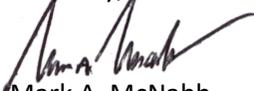
This strategic parcel of land also provides for critical transformers that benefit Eversource and the City of Portsmouth. The depicted transformers will allow Eversource to bury utilities and connect high voltage transmission lines with existing circuits located on High Street and benefits the City of Portsmouth with greater options when making desired improvements to Fleet Street.

After meeting with Dave Desfosses and Peter Rice from Public Works and Eversource engineers we have arrived at a site plan for the subject parcel that best accomplishes making handicap grades down Newberry way which will connect Fleet Street to High Street and consolidates trash dumpsters and provides for critical transformers.

We respectfully request a license agreement from the City of Portsmouth for locating moveable trash totes and related landscaping as depicted on the attached License Area Plan from Haley Ward Engineering.

If you have any questions, please do not hesitate to reach me via email or on my cell phone.

Sincerely,



Mark A. McNabb  
Manager

Cc: Peter H. Rice, Director of Public Works  
Dave Desfosses, Construction Technician Supervisor  
Peter L. Britz, Director of Planning & Sustainability  
John Chagnon, Haley Ward Engineering  
Tracy Kozack, Arcove Architects

P:\N\5010156-McNabb\_Properties\004-175 Fleet St., Portsmouth\RC02-CAD\_Files\Civil\5010156.004-C.SP-2025 NEW.dwg, 12/11/2025 2:07:34 PM

117  
1  
N/F  
CITY OF PORTSMOUTH  
1 JUNKINS AVENUE  
PORTSMOUTH, NH 03801  
1640/190, 1352/412, 1355/347,  
1354/213, 1395/296, 1355/142  
REF. PLAN 9

117  
16  
N/F  
CITY OF PORTSMOUTH  
1 JUNKINS AVENUE  
PORTSMOUTH, NH 03801  
1640/190, 1352/412, 1355/347,  
1354/213, 1395/296, 1355/142  
REF. PLAN 9

NORTH  
NAD83(2011)  
GRID  
NH SPC

FLEET STREET

PROPOSED CITY OF PORTSMOUTH LICENSE AREA

PROPOSED PUBLIC ACCESS EASEMENT

ROOF OVERHANG (TYP.)

CABOOSE

#175  
1 STORY  
WOOD FRAME  
FF 20.8

117/8  
EXISTING BUILDING  
TO REMAIN 741 S.F.

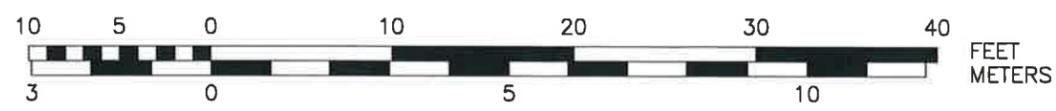
PROPOSED 1 STORY  
ADDITION 173 S.F.

INTERIOR WALK-IN FREEZER

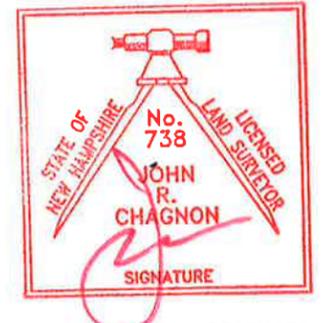
SETBACK LINE

LICENSE AREA PLAN

GRAPHIC SCALE



GILLEY'S DINER  
175 FLEET STREET  
PORTSMOUTH, N.H.



SCALE: 1"=10'

DECEMBER 2025



HALEYWARD

ENGINEERING | ENVIRONMENTAL | SURVEYING

200 Griffin Rd. Unit 14  
Portsmouth, New Hampshire 03801  
603.430.9282

WWW.HALEYWARD.COM

FB 309 PG 68

5010156.004



## **Gilley's Food Court – 175 Fleet Street**

### **Green Building Statement**

12/02/25

#### **Site Layout**

- The locations of the addition and kiosks benefit from the height and proximity of the existing J.J Newberry building. Its location due south will provide shading, reducing solar heat gain in the summer months.
- The site is located near public transportation bus stops and will include new bike racks, reducing vehicular emissions.
- Native plantings will support the local ecosystem and provide some localized shading.
- Light-colored concrete will reduce heat island effect.

#### **Air Infiltration**

- The building envelope is designed to reduce unwanted air leakage through tight envelope detailing and blower door testing.

#### **Envelope Insulation**

- The building envelope will meet or exceed current energy code requirements. Walls will have R-20 cavity insulation, plus R-4 continuous insulation at the addition. The addition's roof will meet R-60, with R30 at food kiosks. Slabs on grade will have continuous insulation of R-20.

#### **Fenestration**

- Windows will have insulated low-E double glazed sashes with a maximum U-value of 0.29 to optimize solar heat gains or losses.
- Skylights on food kiosks have shading devices to reduce solar heat gain in summer.

#### **Mechanical Systems**

- The addition and kiosks will use a heat pump system with energy recovery ventilator heat exchangers to transfer heat from conditioned air before exhausting.
- The kitchen exhaust hoods will utilize demand-controlled ventilation, which adjusts fan speed based on cooking activity. This will control heat loss through the exhaust system.
- When a food service vendor is selected, energy efficiency and waste management strategies will be priorities when selecting equipment.

#### **Lighting**

- Energy efficient LED lighting will provide interior and exterior illumination.
- Occupancy and daylight sensors will be installed throughout.
- Fenestration design provides natural daylighting to interiors during the day, leading to a reduction in lighting energy consumption.

### **Waste Reduction**

- A CMP construction management plan will provide strategies to minimize construction waste.
- Onsite recycling and composting opportunities for customers and kitchens will reduce operational waste products.

### **Materials & Resources**

- The addition and kiosks will use regional, renewable, low embodied carbon, cradle to grave, non-toxic healthy materials where ever possible. Such materials choices include wood framing, low carbon concrete slabs, recycled or renewable cladding materials, low VOC and non-red list interior finish products.

### **Renewable Energy**

- The opportunity for solar panels to be installed on the existing kitchen roof is being explored.

### **Water**

- The new restrooms will conserve water with a targeted 30% reduction in water use over code minimum, using low-flow fixtures with automatic sensors.
- Landscape design will investigate the opportunity for on-site rainwater capture for gray water irrigation purposes.

FIXTURE TYPE: \_\_\_\_\_

PROJECT NAME: \_\_\_\_\_



Aluminum exterior/interior LED round pendant.

### FEATURES:

- Available in 2' to 8' diameters
- >90CRI smooth, dot free illumination
- Dimmable IP67 power supply and IP67 luminaire
- Catenary cable, ceiling, and wall mounting options

### SPECIFICATIONS:

**HOUSING:** Seamless housing comprised of custom rectangular aluminum 6063-T1 extrusion.

**ELECTRICAL:** Powered by a standalone Q-Tran QZ, 120-277VAC primary/24VDC secondary outdoor rated remote dimmable power supply. Power supply features built-in short circuit protection, over load protection, and over temperature protection. System is forward

phase, reverse phase, and 1-10V dimming. Consult factory for other driver options. Catenary mounted fixtures supplied with 1' infeed cable. A 40' leader cable supplied with infeed only fixtures. Ceiling canopy mounted fixtures supplied with 6' infeed cable. Operating temperature of -4°F to 125°F SO, 115°F MO, and 108°F HO.

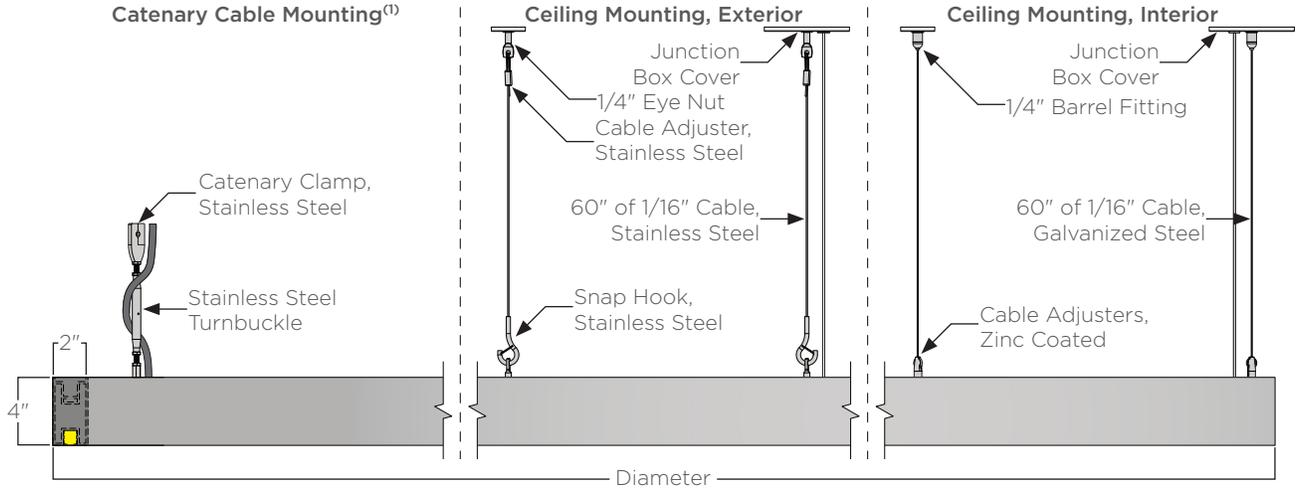
**OPTICAL SYSTEM:** Available in 2700K, 3000K, 3500K, 4000K color temperatures with smooth, dot free illumination.

**FINISHES:** All exterior aluminum parts are polyester powder coat painted to meet AAMA 2604 standards. See Structura's finish options for available colors. [Care and Maintenance](#)

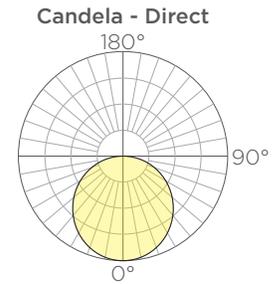
**HARDWARE:** All fasteners are stainless steel unless otherwise noted.

**LISTINGS & RATINGS:** Luminaire CSA listed according to CSA C22.2 No. 250.0-18/UL Standard 1598 and UL Standard 2108. Suitable for wet locations. LM-80 test calculated L70 > 40,000 hours. Luminaire not to be installed in chlorinated environment.

**WARRANTY:** A 2-year finish warranty with 3-year warranty on LED and driver.



Dia.	Standard Output		Medium Output		High Output		Weight <sup>(3)</sup>	EPA <sup>(3)</sup>
	Lumens <sup>(2)</sup>	Watts	Lumens <sup>(2)</sup>	Watts	Lumens <sup>(2)</sup>	Watts		
2'	627	9	1139	18	1593	29	16lbs.	1.61ft <sup>2</sup>
4'	1299	18	2360	36	3301	60	32lbs.	3.18ft <sup>2</sup>
6'	1980	28	3597	55	5032	91	49lbs.	4.78ft <sup>2</sup>
8'	2671	37	4851	74	6787	123	64lbs.	6.40ft <sup>2</sup>
10'	3361	47	6105	93	8541	155	81lbs.	8.06ft <sup>2</sup>
12'	4033	56	7326	110	10249	185	97lbs.	9.65ft <sup>2</sup>



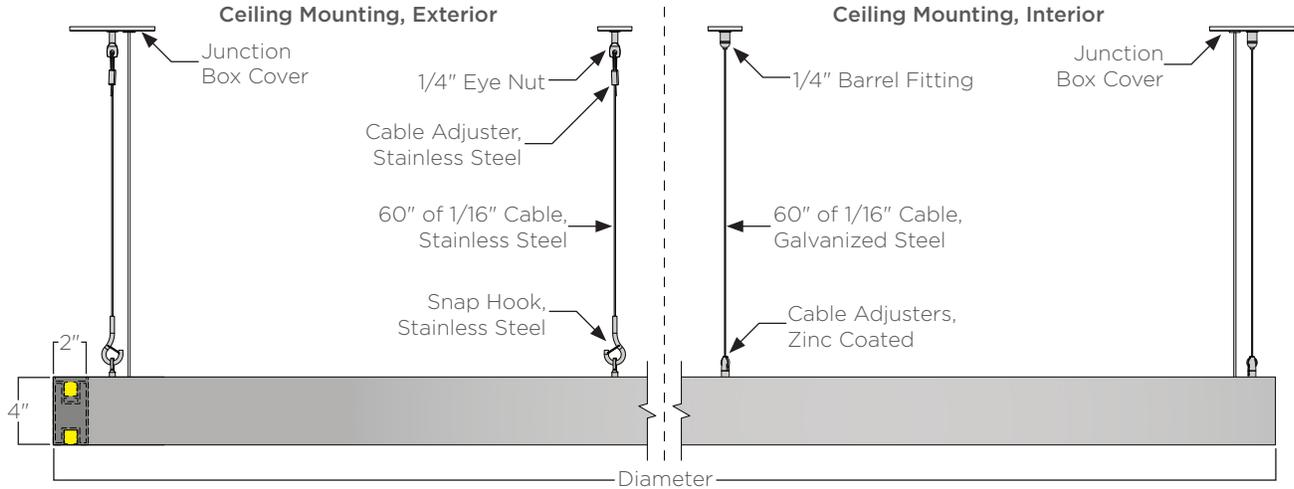
**ORDERING GUIDE:** EXAMPLE: VOLTA-RNG-D-6-L27MO-S4-CA-STD



VOLTA	RNG	D						
1	2	3	4	5	6	7	8	9

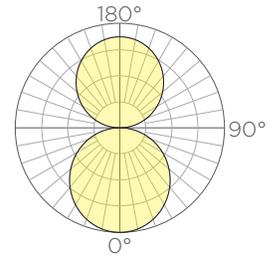
<b>1</b>	<b>Series</b>	<b>4</b>	<b>Diameter<sup>(4)</sup></b>	<b>6</b>	<b>Output</b>	<b>8</b>	<b>Mounting</b>
VOLTA	Volta	2	2'	SO	Standard Output	CA	Catenary Cable <sup>(1)</sup>
		4	4'	MO	Medium Output	CE/E	Ceiling Canopy, Exterior
<b>2</b>	<b>Type</b>	6	6'	HO	High Output	CE/I	Ceiling Canopy, Interior
RNG	Ring	8	8'				
		10	10'	<b>7</b>	<b>Metal Finish</b>	<b>9</b>	<b>Special</b>
<b>3</b>	<b>Lighting</b>	12	12'	C*	See color options on finishes technical sheet	STD	Standard
D	Direct	<b>5</b>	<b>CCT</b>	CSM	Custom Color	MOD	Modified
		L27	2700K				
		L30	3000K				
		L35	3500K				
		L40	4000K				

1. Catenary cable designed and provided separately.  
 2. Lumen output based upon 3000K CCT.  
 3. Weight and EPA based off of catenary mounting option.  
 4. Consult factory for sizes above 8'.



Dia.	Standard Output		Medium Output		High Output		Weight	EPA
	Lumens <sup>(1)</sup>	Watts	Lumens <sup>(1)</sup>	Watts	Lumens <sup>(1)</sup>	Watts		
2'	1217	17	2211	34	3093	56	17lbs.	1.49ft <sup>2</sup>
4'	2562	36	4653	71	6510	118	33lbs.	3.06ft <sup>2</sup>
6'	3924	54	7128	108	9972	180	50lbs.	4.66ft <sup>2</sup>
8'	5268	73	9570	145	13388	242	66lbs.	6.28ft <sup>2</sup>
10'	6649	92	12078	183	16897	305	83lbs.	7.88ft <sup>2</sup>
12'	7993	110	14520	220	20313	367	99lbs.	9.47ft <sup>2</sup>

Candela - Direct/Indirect



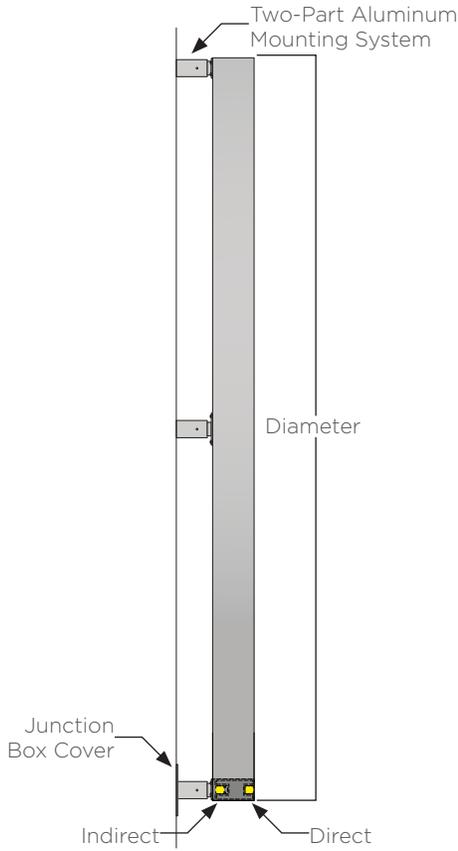
**ORDERING GUIDE:** EXAMPLE: VOLTA-RNG-D/I-4-L30HO-C4-CE-STD



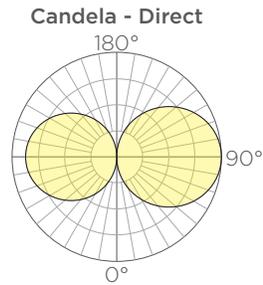
VOLTA	RNG	D/I					CE	
1	2	3	4	5	6	7	8	9

<b>1</b>	<b>Series</b>	<b>4</b>	<b>Diameter<sup>(3)</sup></b>	<b>6</b>	<b>Output</b>	<b>8</b>	<b>Mounting</b>
VOLTA	Volta	2	2'	SO	Standard Output	CE/E	Ceiling Canopy, Exterior
<b>2</b>	<b>Type</b>	4	4'	MO	Medium Output	CE/I	Ceiling Canopy, Interior
RNG	Ring	6	6'	HO	High Output	<b>9</b>	<b>Special</b>
<b>3</b>	<b>Lighting</b>	8	8'	<b>7</b>	<b>Metal Finish</b>	STD	Standard
D/I	Direct/ Indirect <sup>(2)</sup>	10	10'	C*	See color options on finishes technical sheet	MOD	Modified
		12	12'	CSM	Custom Color		
		<b>5</b>	<b>CCT</b>				
		L27	2700K				
		L30	3000K				
		L35	3500K				
		L40	4000K				

1. Lumen output based upon 3000K CCT.  
 2. Direct/indirect illumination controlled together. Contact Structura for independent control options.  
 3. Consult factory for sizes above 8'.



Dia.	Standard Output		Medium Output		High Output		Weight
	Watts D	Watts D/I	Watts D	Watts D/I	Watts D	Watts D/I	
2'	9	17	18	34	29	56	17lbs.
4'	18	36	36	71	60	118	33lbs.
6'	28	54	55	108	91	180	50lbs.



**ORDERING GUIDE:** EXAMPLE: VOLTA-RNG-I-5-L3050-C3-WA4/C1-STD



VOLTA	RNG					/	
1	2	3	4	5	6	7	8
							9
							10

<b>1</b>	<b>Series</b>	<b>4</b>	<b>Diameter</b>	<b>6</b>	<b>Output</b>	<b>8</b>	<b>Mounting</b>
VOLTA	Volta	2	2'	SO	Standard Output	WA4	4" Wall Mount
<b>2</b>	<b>Type</b>	4	4'	MO	Medium Output	WA8	8" Wall Mount
RNG	Ring	6	6'	HO	High Output	<b>9</b>	<b>Mounting Finish</b>
<b>3</b>	<b>Lighting</b>	<b>5</b>	<b>CCT</b>	<b>7</b>	<b>Metal Finish</b>	C*	See color options on finishes technical sheet
D	Direct	L27	2700K	C*	See color options on finishes technical sheet	CSM	Custom Color
I	Indirect	L30	3000K	CSM	Custom Color	<b>10</b>	<b>Special</b>
D/I	Direct/Indirect <sup>(1)</sup>	L35	3500K			STD	Standard
		L40	4000K			MOD	Modified

1. Direct/indirect illumination controlled together. Contact Structura for independant control options.

# GILLEY'S ADDITION

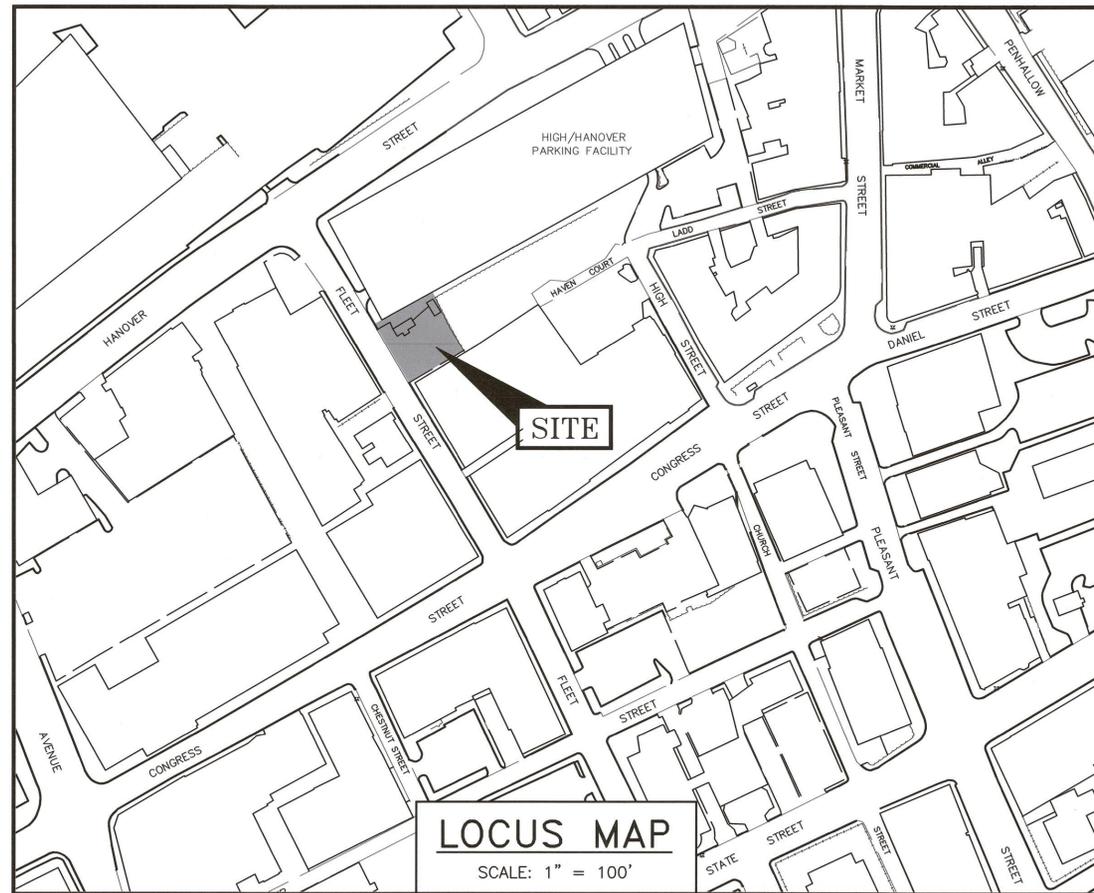
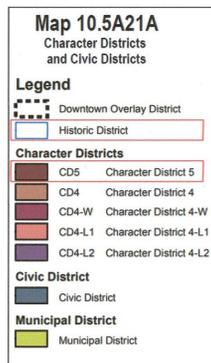
## 175 FLEET STREET, PORTSMOUTH, NEW HAMPSHIRE PERMIT PLANS

**OWNER/APPLICANT**  
RALPH 1912, LLC  
10 PLEASANT STREET SUITE 300  
PORTSMOUTH, N.H. 03801  
TEL. (603) 427-0725

**CIVIL ENGINEER & LAND SURVEYOR:**  
HALEY WARD, INC.  
200 GRIFFIN ROAD, UNIT 14  
PORTSMOUTH, N.H. 03801  
TEL. (603) 430-9282

**ARCHITECT:**  
ARCOVE LLC  
767 ISLINGTON STREET  
PORTSMOUTH, NH 03801  
TEL. (603) 731-5187

**LANDSCAPE ARCHITECT:**  
TERRA FIRMA LANDSCAPE  
ARCHITECTURE  
163A COURT STREET  
PORTSMOUTH, NH 03801  
TEL. (603) 430-8388



**PERMIT LIST:**  
PORTSMOUTH SITE PLAN: PENDING  
PORTSMOUTH HDC: PENDING

### LEGEND:

EXISTING	PROPOSED	
N/F		NOW OR FORMERLY RECORD OF PROBATE
RP		ROCKINGHAM COUNTY REGISTRY OF DEEDS
RCRD		MAP 11/LOT 21
(11/21)		
IR FND		IRON ROD FOUND
IP FND		IRON PIPE FOUND
IR SET		IRON ROD SET
DH FND		DRILL HOLE FOUND
DH SET		DRILL HOLE SET
		GRANITE BOUND w/IRON ROD FOUND
FM	FM	FORCE MAIN
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	PG	GAS LINE
D	D	STORM DRAIN
FD	FD	FOUNDATION DRAIN
W	W	WATER LINE
FS	FS	FIRE SERVICE LINE
UE	UGE	UNDERGROUND ELECTRIC SUPPLY
		UNDERGROUND ELECTRIC SERVICE
OHW	OHW	OVERHEAD ELECTRIC/WIRES
		RETAINING WALL
		EDGE OF PAVEMENT (EP)
100	100	CONTOUR
97x3	98x0	SPOT ELEVATION
		UTILITY POLE
		ELECTRIC METER
		TRANSFORMER ON CONCRETE PAD
		WATER SHUT OFF/CURB STOP
		PIPE CLEANOUT
		GATE VALVE
		HYDRANT
		CATCH BASIN
		SEWER MANHOLE
		DRAIN MANHOLE
		WATER METER MANHOLE
		TEST BORING
		TEST PIT
		LANDSCAPED AREA
CI	CI	CAST IRON PIPE
COP	COP	COPPER PIPE
CMP	CMP	CORRUGATED METAL PIPE
DI	DI	DUCTILE IRON PIPE
PVC	PVC	POLYVINYL CHLORIDE PIPE
RCP	RCP	REINFORCED CONCRETE PIPE
HYD	HYD	HYDRANT
CL	CL	CENTERLINE
EP	EP	EDGE OF PAVEMENT
EL	EL	ELEVATION
FF	FF	FINISHED FLOOR
INV	INV	INVERT
TBM	TBM	TEMPORARY BENCH MARK
TYP	TYP	TYPICAL
TBR	TBR	TO BE REMOVED

### INDEX OF SHEETS

V101	STANDARD BOUNDARY SURVEY & EXISTING CONDITIONS PLAN
C201	SITE PLAN
L01D	LANDSCAPE & LIGHTING PLAN
PA101-201	ARCHITECTURAL PLANS
C202	GRADING & UTILITY PLAN
C301	OFFSITE IMPROVEMENTS PLAN & PROFILE
C501-C502	DETAILS

### UTILITY CONTACTS

**ELECTRIC:**  
EVERSOURCE  
1700 LAFAYETTE ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 436-7708  
ATTN: NICHOLAS KOSKO X3327565

**NATURAL GAS:**  
UNITIL  
325 WEST ROAD  
PORTSMOUTH, N.H. 03801  
TEL. (603) 294-5144  
ATTN: DAVE BEAULIEU

**CABLE:**  
XFINITY BY COMCAST  
180 GREENLEAF AVE.  
PORTSMOUTH, N.H. 03801  
Tel. (603) 266-2278  
ATTN: MIKE COLLINS

**SEWER & WATER:**  
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS  
680 PEVERLY HILL ROAD  
PORTSMOUTH, N.H. 03801  
TEL. (603) 427-1530  
ATTN: DOUG SPARKS

**COMMUNICATIONS:**  
CONSOLIDATED COMMUNICATIONS  
1575 GREENLAND ROAD  
GREENLAND, N.H. 03840  
Tel. (603) 427-5525  
ATTN: BENJAMIN WILLS

**PORTSMOUTH APPROVAL CONDITIONS NOTE:**  
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE

**GILLEY'S ADDITION**  
175 FLEET STREET  
PORTSMOUTH, N.H.  
PERMIT PLANS

**HALEY WARD**  
ENGINEERING | ENVIRONMENTAL | SURVEYING  
200 Griffin Rd. Unit 14  
Portsmouth, New Hampshire 03801  
603.430.9282  
WWW.HALEYWARD.COM

PLAN SET SUBMITTAL DATE: 19 DECEMBER 2025

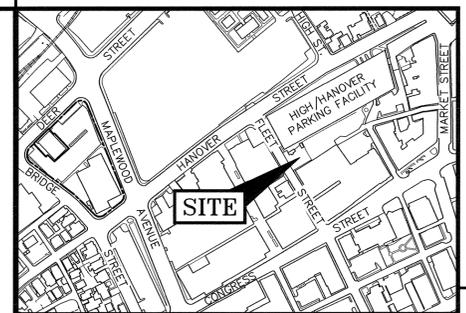
5010156.004

**LEGEND:**

- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY
- REGISTRY OF DEEDS
- RR SPK RAILROAD SPIKE
- MAP 11/LOT 21
- IR FND IRON ROD FOUND
- IP FND IRON PIPE FOUND
- IR SET IRON ROD SET
- DH FND DRILL HOLE FOUND
- DH SET DRILL HOLE SET
- BOUND FOUND
- SEWER LINE
- GAS LINE
- STORM DRAIN
- WATER LINE
- UNDERGROUND ELECTRIC
- OVERHEAD ELECTRIC/WIRES
- 100 CONTOUR
- 97x3 SPOT ELEVATION
- EDGE OF PAVEMENT (EP)
- UTILITY POLE
- WATER SHUT OFF/CURB STOP
- GAS SHUT OFF
- GATE VALVE
- HYD HYDRANT
- METER (GAS, WATER, ELECTRIC)
- CATCH BASIN
- TELEPHONE MANHOLE
- SEWER MANHOLE
- DRAIN MANHOLE
- ELEVATION
- EP EDGE OF PAVEMENT
- FF FINISHED FLOOR
- INV INVERT
- TBM TEMPORARY BENCH MARK
- TYP TYPICAL
- VGC/SGC VERTICAL/SLOPED GRANITE CURB

**PLAN REFERENCES:**

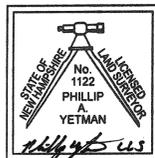
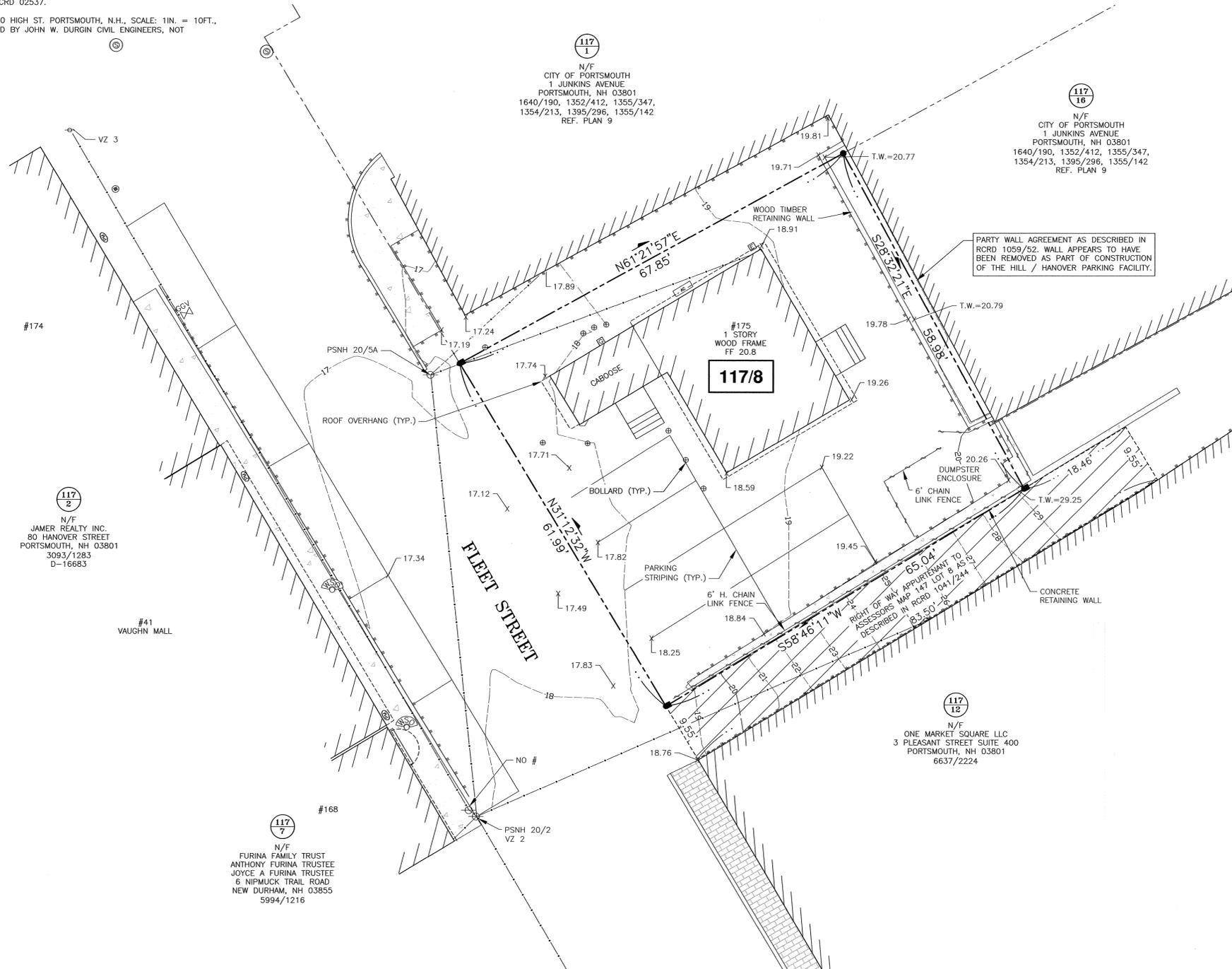
- 1) PLAN OF A LOT OF LAND IN PORTSMOUTH N.H. BELONGING TO THE ESTATE OF CHAS. H. MENDUM, SCALE: 1 IN = 20 FT, DATED JULY 1, 1908, PREPARED BY WM. A. GROVER CIVIL ENGINEER, RCRD 00469.
- 2) LAND ON HAVEN COURT PORTSMOUTH, N.H., F.W. HARTFORD TO HISLOP GARAGE CO., SCALE: 1IN. = 20FT., DATED FEB. 1926, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 00376.
- 3) LOT PLAN NOS. 7-13 CONGRESS ST. PORTSMOUTH, N.H., SCALE: 1/4 INCH = 1 FOOT, DATED MAR. 1937, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 4) PLAN OF LOT NOS. 173 - 181 FLEET ST. PORTSMOUTH, N.H., SCALE: 1IN. = 20FT., DATED NOV. 1945, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 5) LAND IN PORTSMOUTH, N.H., RALPH T. WOOD & IRA A. NEWICK TO J.J. NEWBERRY CO., SCALE: 1IN. = 20FT., DATED MAY 1946, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 01243.
- 6) PLAN OF LOT PORTSMOUTH, N.H., NEWICK & WOOD INC. TO CITY OF PORTSMOUTH, SCALE 1IN. = 40FT., DATED MAR. 1956, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, RCRD 02537.
- 7) PLAN OF LOT 26 - 30 HIGH ST. PORTSMOUTH, N.H., SCALE: 1IN. = 10FT., DATED OCT. 1961, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, NOT RECORDED.
- 8) PLAN OF LAND FOR RICHARD A. CABRAL & BRUCE E. NADEAU CONGRESS/FLEET ST. COUNTY OF ROCKINGHAM PORTSMOUTH, N.H., SCALE: 1" = 20', DATED JANUARY 1987, PREPARED BY RICHARD P. MILLETTE AND ASSOCIATED, RCRD C-16161.
- 9) EXISTING CONDITIONS PLAN HIGH/HANOVER PARKING FACILITY, HANOVER STREET, PORTSMOUTH, NEW HAMPSHIRE FOR CITY OF PORTSMOUTH, SCALE: 1" = 20', DATED: 5/5/99, PREPARED BY JAMES VERRA AND ASSOCIATES, INC., NOT RECORDED.
- 10) SUBDIVISION OF ASSESSOR'S PARCEL 117/12, LAND OF WENBERRY ASSOCIATES, LLC, FLEET STREET & HAVEN COURT PORTSMOUTH, NEW HAMPSHIRE FOR CITY OF PORTSMOUTH, N.H., SCALE: 1" = 20', DATED 11/22/05, PREPARED BY JAMES VERRA AND ASSOCIATES, INC., RCRD C-34500.
- 11) STANDARD BOUNDARY SURVEY TAX MAP 17 LOTS 14 & 15, OWNER OF RECORD: PETER H. JARVIS & SONS, LLC, PROPERTY LOCATED AT: 1 CONGRESS STREET & HIGH STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE, DATED: NOVEMBER 2021, SCALE: 1" = 20', PREPARED BY AMBIT ENGINEERING, INC., RCRD D-43095.
- 12) SITE PLAN FOR HOUSE-GOODMAN LIMITED PARTNERSHIP 43-49 CONGRESS STREET PORTSMOUTH, N.H. PREPARED BY: RICHARD P. MILLETTE AND ASSOCIATES, SCALE: 1"=10', DATED: NOVEMBER 15, 1983, NOT RECORDED.



LOCATION MAP SCALE: 1" = 300'

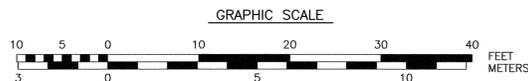
**NOTES:**

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S TAX MAP 117 AS LOT 8.
- 2) OWNERS OF RECORD:  
RALPH 1912 LLC  
10 PLEASANT STREET, SUITE 300  
PORTSMOUTH, NH 03801  
6637/2224
- 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE JANUARY 29, 2021.
- 4) EXISTING LOT AREA:  
4,017 S.F.  
0.0922 ACRES
- 5) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 5 (CD5) DISTRICT, HISTORIC DISTRICT & DOWNTOWN OVERLAY DISTRICT.
- 6) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF A STANDARD BOUNDARY SURVEY AND EXISTING CONDITIONS OF ASSESSOR'S TAX MAP 117, LOT 8 IN THE CITY OF PORTSMOUTH.
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
- 9) PARCEL IS BENEFITED BY A RIGHT OF WAY OVER ASSESSOR'S MAP 117 LOT 12 AS SHOWN HEREON AND DESCRIBED IN RCRD 1041/244.
- 10) PARCEL IS SUBJECT TO AND BENEFITED BY A PARTY WALL AGREEMENT ADJACENT TO THE EASTERLY LOT LINE AS DESCRIBED IN RCRD 1059/52. PARTY WALL APPEARS TO HAVE BEEN REMOVED AS PART OF THE CONSTRUCTION OF THE HILL / HANOVER PARKING FACILITY ON ASSESSOR'S MAP 117 LOT 16.
- 11) ABUTTER INFORMATION TAKEN FROM THE CITY OF PORTSMOUTH ASSESSORS GIS WEBSITE.



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

PHILIP A. YETMAN, LLS 1122 DATE 10/29/2025



1	10/24/25	OWNER OF RECORD, ABUTTER, TOPO	SJR	JRC
0	11/26/24	ISSUED FOR COMMENT	CSA	PAY
No.	DATE	DESCRIPTION	BY	CHK.

PERMIT PLANS

**HALEY WARD**  
ENGINEERING | ENVIRONMENTAL | SURVEYING  
200 Griffin Rd, Unit 14  
Portsmouth, New Hampshire 03801  
603.430.9282  
WWW.HALEYWARD.COM

PROJECT  
**GILLEY'S DINER**  
175 FLEET STREET, PORTSMOUTH, NH

TITLE  
**STANDARD BOUNDARY SURVEY & EXISTING CONDITIONS PLAN**

DATE	SCALE	
OCTOBER 2025	1" = 10'	
DRAWN BY	DESIGNED BY	CHECKED BY
CSA		PAY
PROJECT No.	FIELD BOOK & PAGE	
5010156.3406	FB 309 PG 68	
SHEET No.	DWG No.	
<b>V101</b>	<b>1</b>	

**IMPERVIOUS SURFACE AREAS**

(TO PROPERTY LINE)

STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURES	741	1258
PAVEMENT	2,942	2,142
CONCRETE	0	96
STAIRS	66	81
RETAINING WALL	149	81
CURB	0	58
TOTAL	3898	3716
LOT SIZE	4,017	4,017
% LOT COVERAGE	97.0%	92.5%

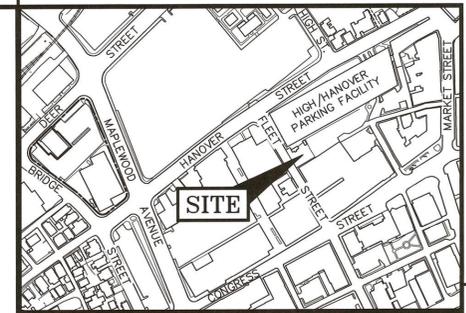
OPEN SPACE: 301 S.F. / 4,017 S.F. = 7.5%

**ZONING DEVELOPMENT STANDARD**

CD5 (CD-5, DOD, HDC): CHARACTER DISTRICT 5		
	REQUIRED	PROVIDED
Height	2-3 stories with short 4th = 45'	1 Story
Penthouses	may exceed bldg height by 2'	N/A
Roof appurtenance	may exceed bldg height by 10'	N/A
Facade Types	shop front	
Building Types	commercial, live-work, mixed use, flex space & community.	Commercial
Setbacks (ft) *	* 10.5A42.12 Yards may be increased above the max permitted for truncated corners or other subtractive massing techniques, alleys, vehicular accessways, increased sidewalk width or community spaces.	
Front (principle) max	5'	2.2'
Front (secondary) max	5'	N/A
Side	NR	
Rear, min	>of 5' from rear line or 10' from cl alley	19.1'
Front lotline buildout	80% min	80 +/-
Lot area (sf)	NR	
LOT area per dwelling	NR	
Coverage, maximum	95%	92.5%
Footprint, max* 10.5a43.40	20,000	1,258
*10.5A43.43 increase for indoor parking if >50% gr floor parking & 30% lot is community space	50,000 ground (30,000 upper)	N/A
Ground floor area per use, max	15,000	1,258
Open space, minimum	5%	7.5%
Permitted uses (cd4 & cd5)	commercial, live/work, mixed-use, flex space, community, office, retail, restaurant (<5000cc)	Commercial

**APPROVED CONDITIONS:**

- (2.5.4.2E): ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- (2.13.3):
  - THIS SITE SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
  - ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL THE FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.



LOCATION MAP SCALE: 1" = 300'

**NOTES:**

- PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S TAX MAP 117 AS LOT 8.
- OWNER OF RECORD: 6637/2224 RALPH 1912 LLC 10 PLEASANT STREET, SUITE 300 PORTSMOUTH, NH 03801
- PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F: EFFECTIVE JANUARY 29, 2021.
- EXISTING LOT AREA: 4,017 S.F. (0.0922 ACRES)
- PARCEL IS LOCATED IN THE CHARACTER DISTRICT 5 (CD5) DISTRICT, HISTORIC DISTRICT & DOWNTOWN OVERTOWN DISTRICT.
- DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE ADDITION TO AN EXISTING DINER AND CREATION OF A FOOD TRUCK COURT ON ASSESSOR'S TAX MAP 117, LOT 8 IN THE CITY OF PORTSMOUTH.
- VERTICAL DATUM IS NAVD83. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
- PARCEL IS BENEFITED BY A RIGHT OF WAY OVER ASSESSOR'S MAP 117 LOT 12 AS SHOWN HEREON AND DESCRIBED IN RCRD 1041/244.
- PARCEL IS SUBJECT TO AND BENEFITED BY A PARTY WALL AGREEMENT ADJACENT TO THE EASTERLY LOT LINE AS DESCRIBED IN RCRD 1059/52. PARTY WALL APPEARS TO HAVE BEEN REMOVED AS PART OF THE CONSTRUCTION OF THE HILL / HANOVER PARKING FACILITY ON ASSESSOR'S MAP 117 LOT 16.
- ABUTTER INFORMATION TAKEN FROM THE CITY OF PORTSMOUTH ASSESSOR'S GIS WEBSITE.
- FINAL LOCATION OF TRANSFORMERS TO BE COORDINATED WITH EVERSOURCE AND THE CITY OF PORTSMOUTH.
- WASTE STATION WILL REQUIRE CITY COUNCIL APPROVAL.
- THE TWO KIOSKS WILL NEED TO BE INDIVIDUALLY LICENSED PER HEALTH DEPARTMENT REQUIREMENTS.
- ANY FENCING AS REQUIRED BY THE LIQUOR COMMISSION OR USED TO DIVIDE THE SITE IS REQUIRED TO GO TO THE HDC.
- A SHORING PLAN STAMPED BY A STRUCTURAL ENGINEER SHALL BE PROVIDED TO ENSURE THERE WILL BE NO UNDERMINING OF ANY STRUCTURE ALONG NEWBERRY WAY.

No.	DATE	DESCRIPTION	BY	CHK.
3	12/05/25	STRUCTURES, RETAINING WALLS	SJR	JRC
2	12/02/25	SIDEWALK, NOTES	SJR	JRC
1	11/17/25	LANDSCAPE AREA, NOTES	CBA	JRC
0	11/04/25	ISSUED FOR COMMENT	SJR	JRC

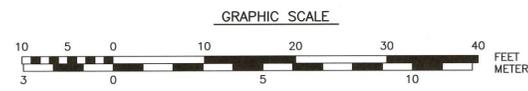
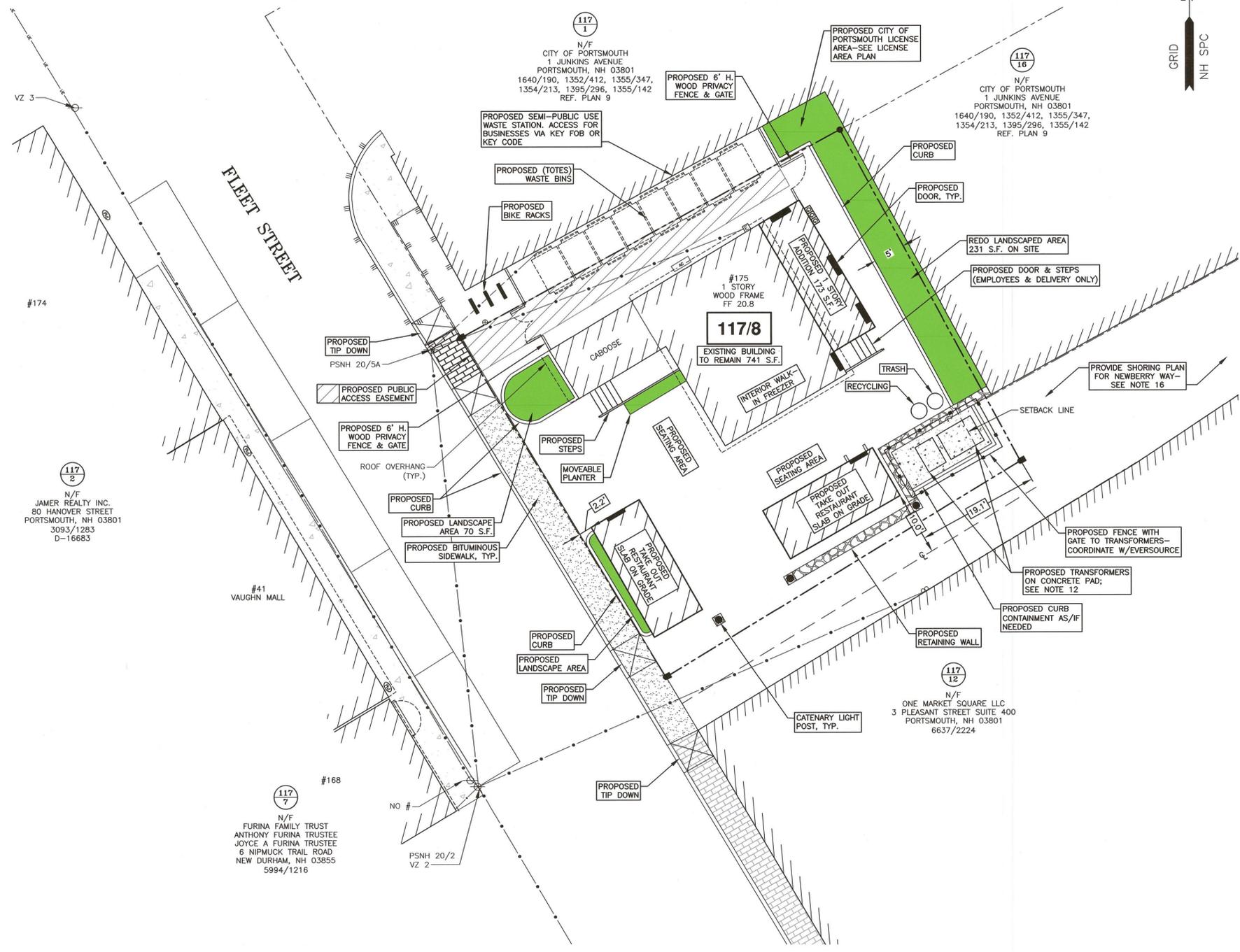
**PERMIT PLANS**

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ENGINEERING | ENVIRONMENTAL | SURVEYING  
200 Griffin Rd, Unit 14  
Portsmouth, New Hampshire 03801  
603.430.9282  
WWW.HALEYWARD.COM

PROJECT: **GILLEY'S DINER**  
175 FLEET STREET, PORTSMOUTH, NH

**SITE PLAN**

DATE	SCALE
OCTOBER 2025	1" = 10'
DRAWN BY: SJR	DESIGNED BY: SJR
CHECKED BY: JRC	
PROJECT No. 5010156.004	FIELD BOOK & PAGE FB 309 PG 68
SHEET No. <b>C201</b>	DWG No. <b>3</b>



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

*[Signature]* 12.5.25  
JOHN R. CHAGNON, LLS DATE



N/F FURINA FAMILY TRUST ANTHONY FURINA TRUSTEE JOYCE A FURINA TRUSTEE 6 NIPMUCK TRAIL ROAD NEW DURHAM, NH 03855 5994/1216

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN DATE

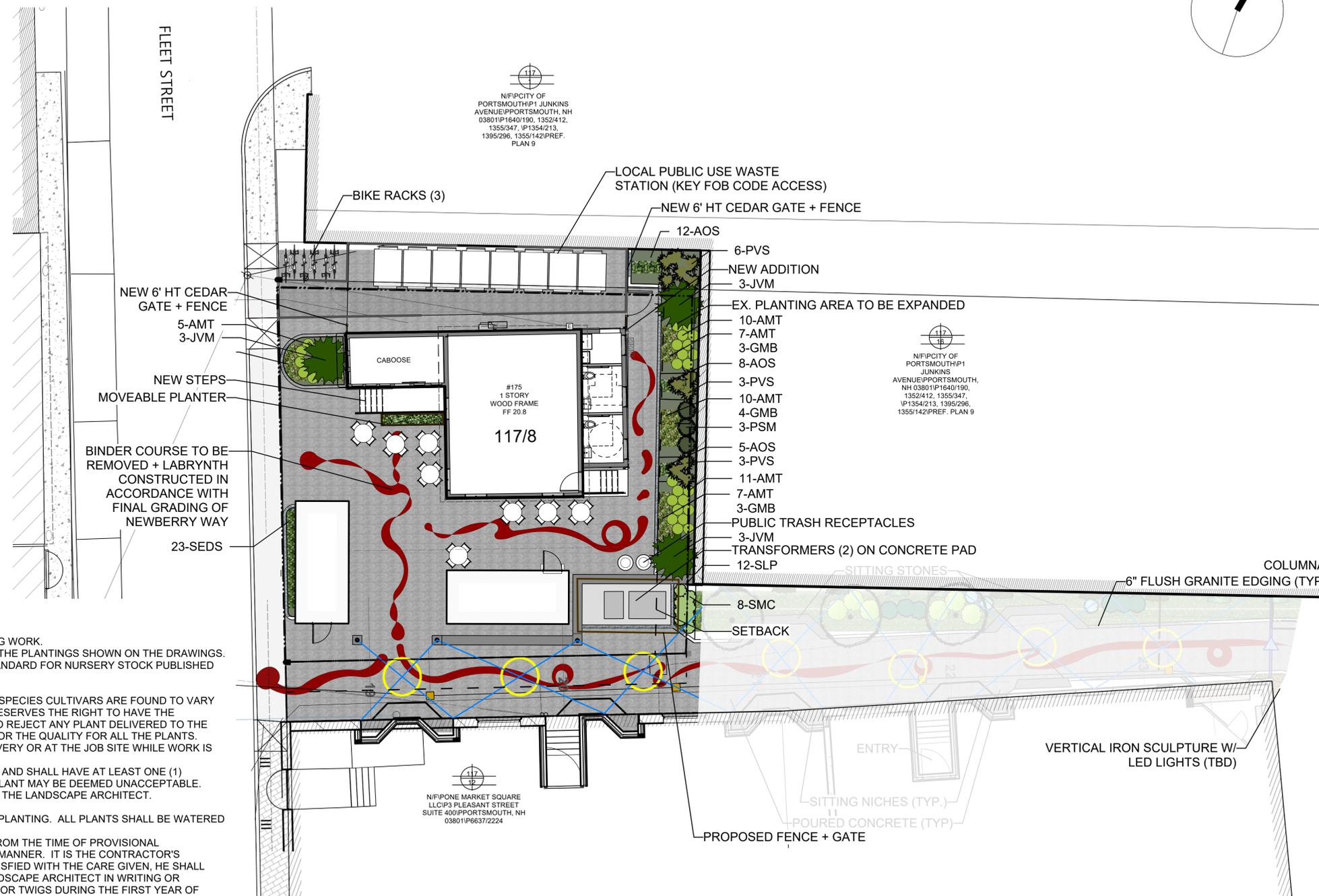
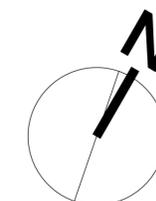
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**Plant List - Trees and Shrubs**

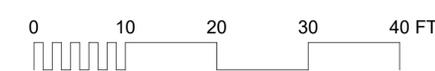
ID	Qty	Botanical Name	Common Name	Scheduled Size
JVM	9	Juniperus virginiana 'Manhattan Blue'	Manhattan Blue Eastern Red Cedar	8-10'
PSM	3	Pinus strobus 'Minuta'	Minuta White Pine	3'
SMC	8	Spiraea japonica 'Magic Carpet'	Magic Carpet Spirea	2 Gal.

**Plant List - Perennials**

ID	Qty	Botanical Name	Common Name	Scheduled Size
AMT	60	Amsonia tabernaemontana	Blue Star Flower	1 Gal.
AOS	25	Aster oblongifolius 'October Skies'	October Skies Aster	1 Gal.
GMB	14	Geranium macrorrhizum 'Bevans Variety'	Bigroot Geraniums	1 Gal.
PVS	12	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	2 Gal.
SEDS	23	Sedum sexangulare	Stonecrop	2 QT
SLP	12	Sedum ternatum 'Larinem Park'	Larinem Park Stonecrop	2 QT



- LANDSCAPE NOTES:**
1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
  2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
  3. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
  4. ALL PLANT SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
  5. ALL PLANT MATERIALS SHALL BE EXACTLY AS SPECIFIED BY THE LANDSCAPE ARCHITECT. IF PLANT SPECIES CULTIVARS ARE FOUND TO VARY FROM THAT SPECIFIED AT ANY TIME DURING THE GUARANTEE PERIOD, THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO HAVE THE CONTRACTOR REPLACE THAT PLANT MATERIAL. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT DELIVERED TO THE SITE FOR AESTHETIC REASONS BEFORE PLANTING. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE QUALITY FOR ALL THE PLANTS.
  6. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ON-GOING TO CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
  7. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
  8. NO PLANT SHALL BE PUT IN THE GROUND BEFORE GRADING HAS BEEN FINISHED AND APPROVED BY THE LANDSCAPE ARCHITECT.
  9. ALL PLANTS SHALL BE INSTALLED AND DETAILED PER PROJECT SPECIFICATIONS.
  10. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
  11. ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR NOT LESS THAN ONE FULL YEAR FROM THE TIME OF PROVISIONAL ACCEPTANCE. DURING THIS TIME, THE OWNER SHALL MAINTAIN ALL PLANT MATERIALS IN THE ABOVE MANNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE PLANTS TO ENSURE PROPER CARE. IF THE CONTRACTOR IS DISSATISFIED WITH THE CARE GIVEN, HE SHALL IMMEDIATELY, AND IN SUFFICIENT TIME TO PERMIT THE CONDITION TO BE RECTIFIED, NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OR OTHERWISE FORFEIT HIS CLAIM. LANDSCAPE CONTRACTOR SHALL PRUNE PLANTINGS OF DEAD LIMBS OR TWIGS DURING THE FIRST YEAR OF GROWTH.
  12. FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT WILL BE MADE UPON THE CONTRACTOR'S REQUEST AFTER ALL CORRECTIVE WORK HAS BEEN COMPLETED.
  13. LANDSCAPE CONTRACTOR SHOULD REPLACE DEAD PLANTINGS IMMEDIATELY UPON OWNER DIRECTION WITHIN THE WARRANTY PERIOD AND AGAIN AT THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL HAVE REPLACED ANY PLANT MATERIAL THAT IS MISSING, NOT TRUE TO SIZE AS SPECIFIED, THAT HAVE DIED, THAT HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESSIVE PRUNING OR INADEQUATE OR IMPROPER CARE, OR THAT ARE, IN THE OPINION OF THE LANDSCAPE ARCHITECT, IN UNHEALTHY OR UNSIGHTLY CONDITION.
  14. ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION EXCEPT FOR INTERIOR LANDSCAPED ISLANDS OR WHERE OTHER PLANT MATERIAL IS CALLED FOR.
  15. ALL TREES AND SHRUBS TO BE PLANTED IN MULCH BEDS WITH DEFINED AND CUT EDGES TO SEPARATE TURF GRASS AREAS.
  16. FOR ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE, REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC., THEN APPLY GRASS SEED OR PINE BARK MULCH AS DEPICTED ON PLANS.
  17. LANDSCAPE CONTRACTOR SHALL FEED AND PRUNE EX. TREES, ON OR JUST OFF SITE, THAT HAVE EXPERIENCED ROOT BASE INTRUSION OR DAMAGE DURING CONSTRUCTION IMMEDIATELY AND FOR THE DURATION OF THE WARRANTY PERIOD AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
  18. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY SNOW FENCING AT THE EDGE OF THE EX. TREE CANOPY THE CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS WITHIN THE LANDSCAPED AREAS. ANY DAMAGE TO EXISTING TREES, SHRUBS OR LAWN SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
  19. ALL MULCH AREAS SHALL RECEIVE A 2" LAYER OF SHREDDED PINE BARK MULCH.
  20. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.



No.	Date	By	Revision Notes

No.	Date	Issue Notes

terra firma landscape architecture  
163 a Court Street  
Portsmouth, NH 03801

GILLEY'S ADDITION

LANDSCAPE PLAN

Project Name: NEWBERRY WAY  
 Drawn By: TC  
 Scale: 1"=20'-0"  
 Project No.: L-01D  
 Date: 12/19/2025  
 Drawn By: terra firma landscape architecture  
 Project No.: newberry12525.vex



**ARCOVE**  
ARCHITECTS

767 Islington St., Suite 2A  
PORTSMOUTH NH 03801  
603.988.0042  
www.ARCove.com

**GILLEY'S  
ADDITION**

175 FLEET STREET  
PORTSMOUTH, NH, 03801

PROJECT NO: 1002.1

**OWNER**  
ONE MARKET SQUARE, LLC  
10 PLEASANT STREET, SUITE 3  
PORTSMOUTH, NH 03801  
603.427.0725

**CIVIL ENGINEERING**  
AMBIT ENGINEERING, A DIVISION OF  
HALEY WARD  
200 GRIFFIN ROAD, UNIT 3  
PORTSMOUTH, NH 03801  
603.430.9282  
<https://www.haleyward.com/>

**LANDSCAPE ARCHITECTURE**  
TERRAFIRMA  
163 A Court Street  
Portsmouth, NH 03801  
603.531.9109  
[www.terrafirmalandarch.com](http://www.terrafirmalandarch.com)

**SITE PLAN  
REVIEW**

**REVISIONS**

NO.	DATE	DESCRIPTION

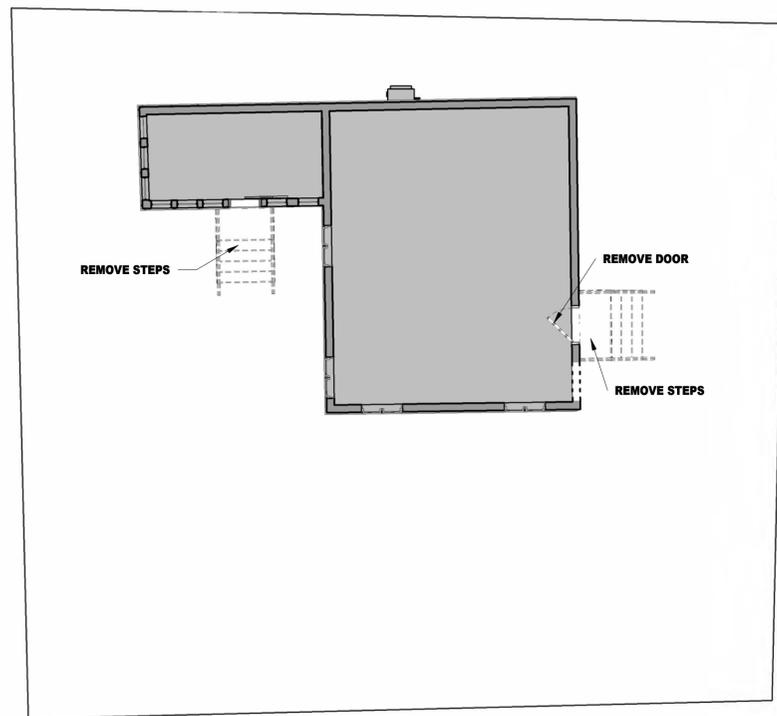
**PLANS**



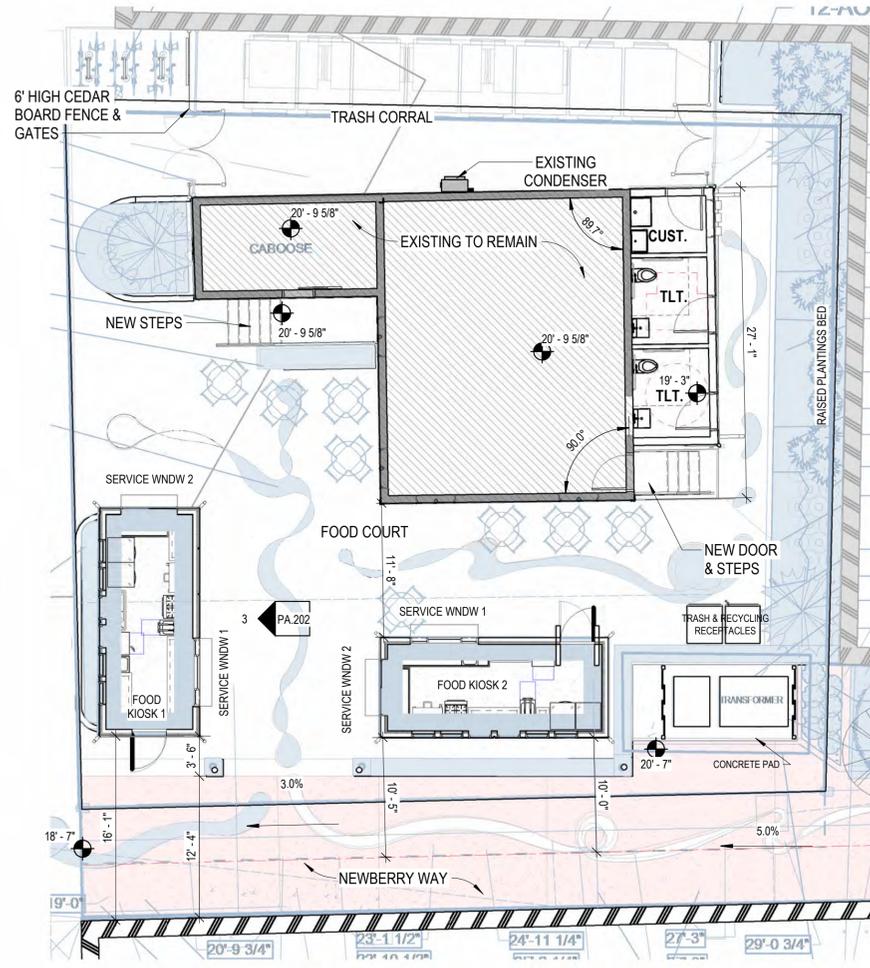
SCALE: 1/8" = 1'-0"

DATE: 12/22/2025  
DRAWN: HA  
CHECKED: TK

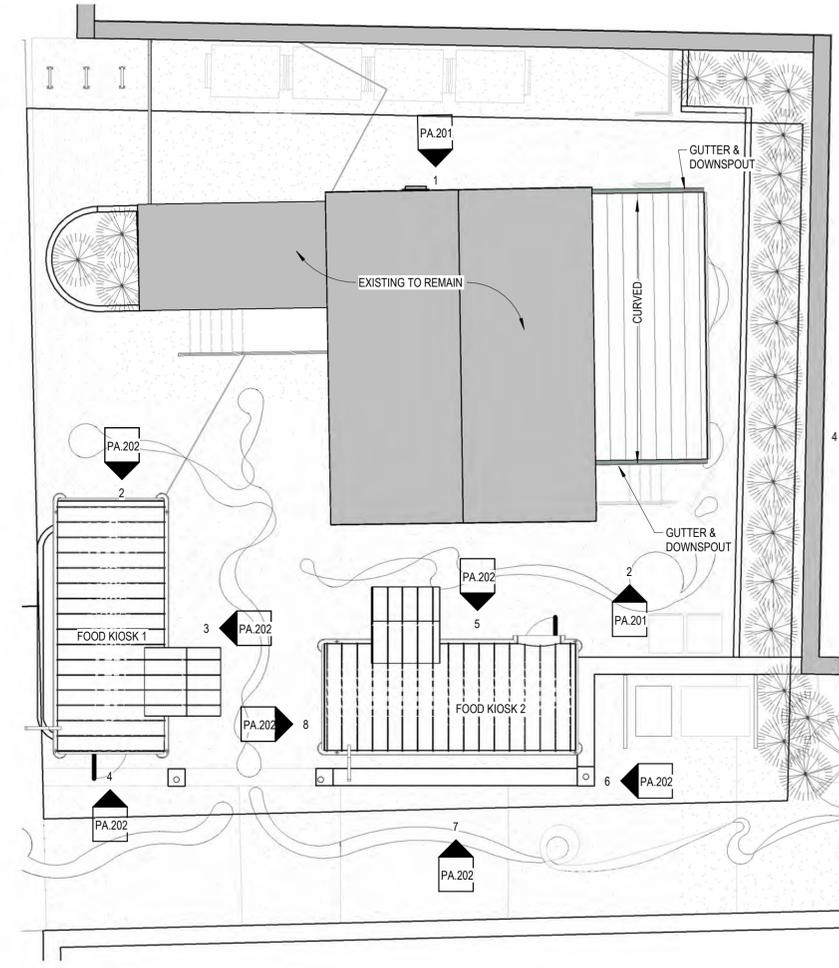
**PA.101**



1 DEMOLITION PLAN PB  
1/8" = 1'-0"



2 FIRST FLOOR SITE PLAN PB  
1/8" = 1'-0"



3 ROOF PLAN PB  
1/8" = 1'-0"





**ARCOVE**  
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PORTSMOUTH NH 03801  
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**GILLEY'S  
ADDITION**

175 FLEET STREET  
PORTSMOUTH, NH, 03801

PROJECT NO: 1002.1

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PORTSMOUTH, NH 03801  
603.427.0725

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PORTSMOUTH, NH 03801  
603.430.9282  
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**LANDSCAPE ARCHITECTURE**  
TERRAFIRMA  
163 A Court Street  
Portsmouth, NH 03801  
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**SITE PLAN  
REVIEW**

**REVISIONS**

NO.	DATE	DESCRIPTION

**KIOSK  
ELEVATIONS**

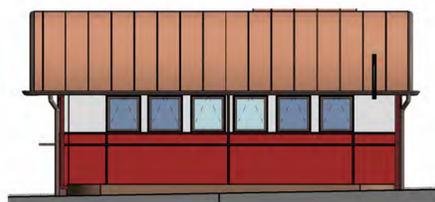
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DATE: 12/22/2025

DRAWN: Author

CHECKED: Checker

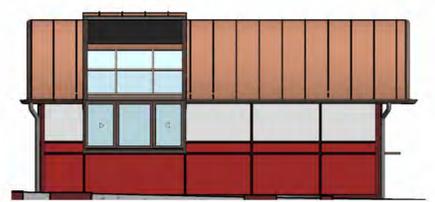
**PA.202**



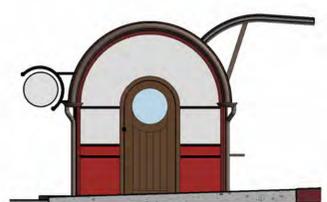
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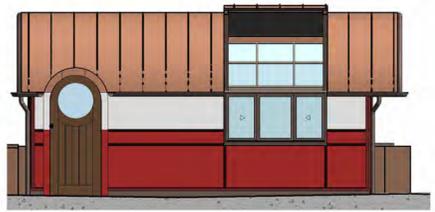
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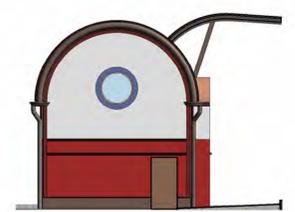
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3/16" = 1'-0"



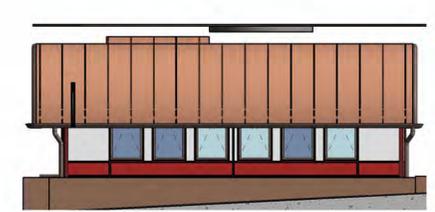
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3/16" = 1'-0"



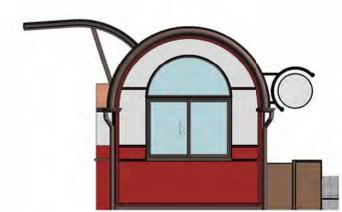
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3/16" = 1'-0"



6 KIOSK 2 - EAST  
3/16" = 1'-0"



7 KIOSK 2 - SOUTH  
3/16" = 1'-0"

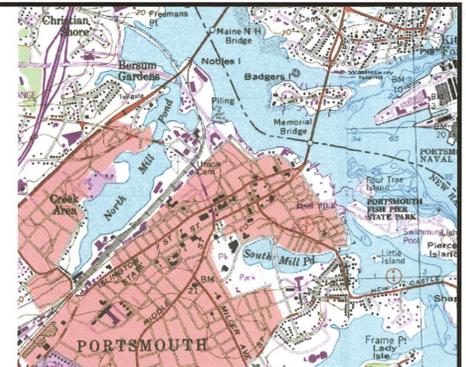
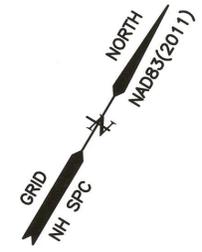
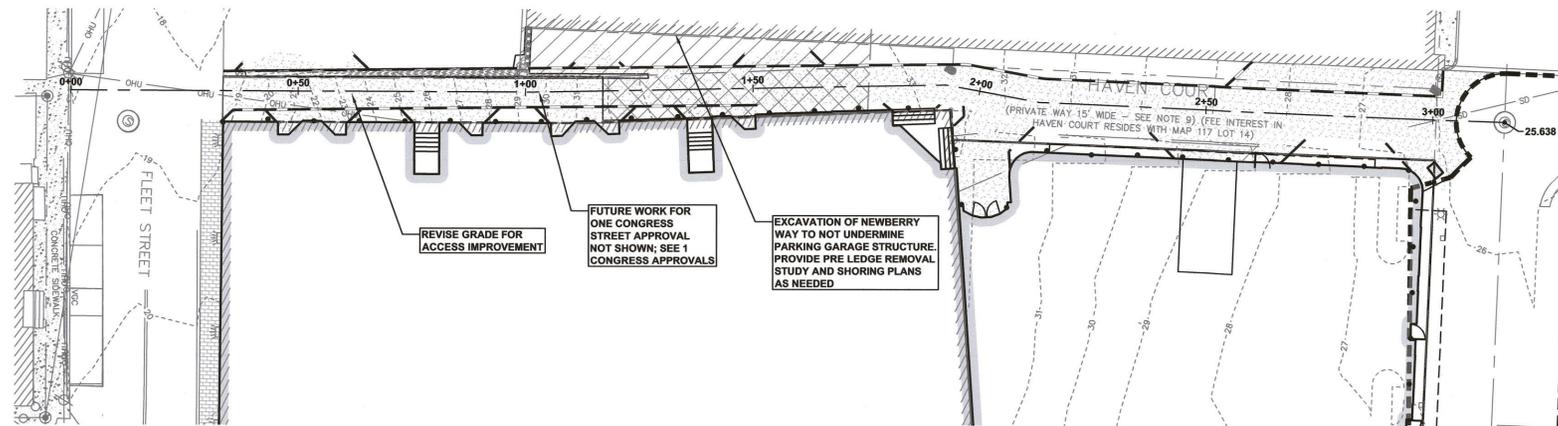


8 KIOSK 2 - WEST  
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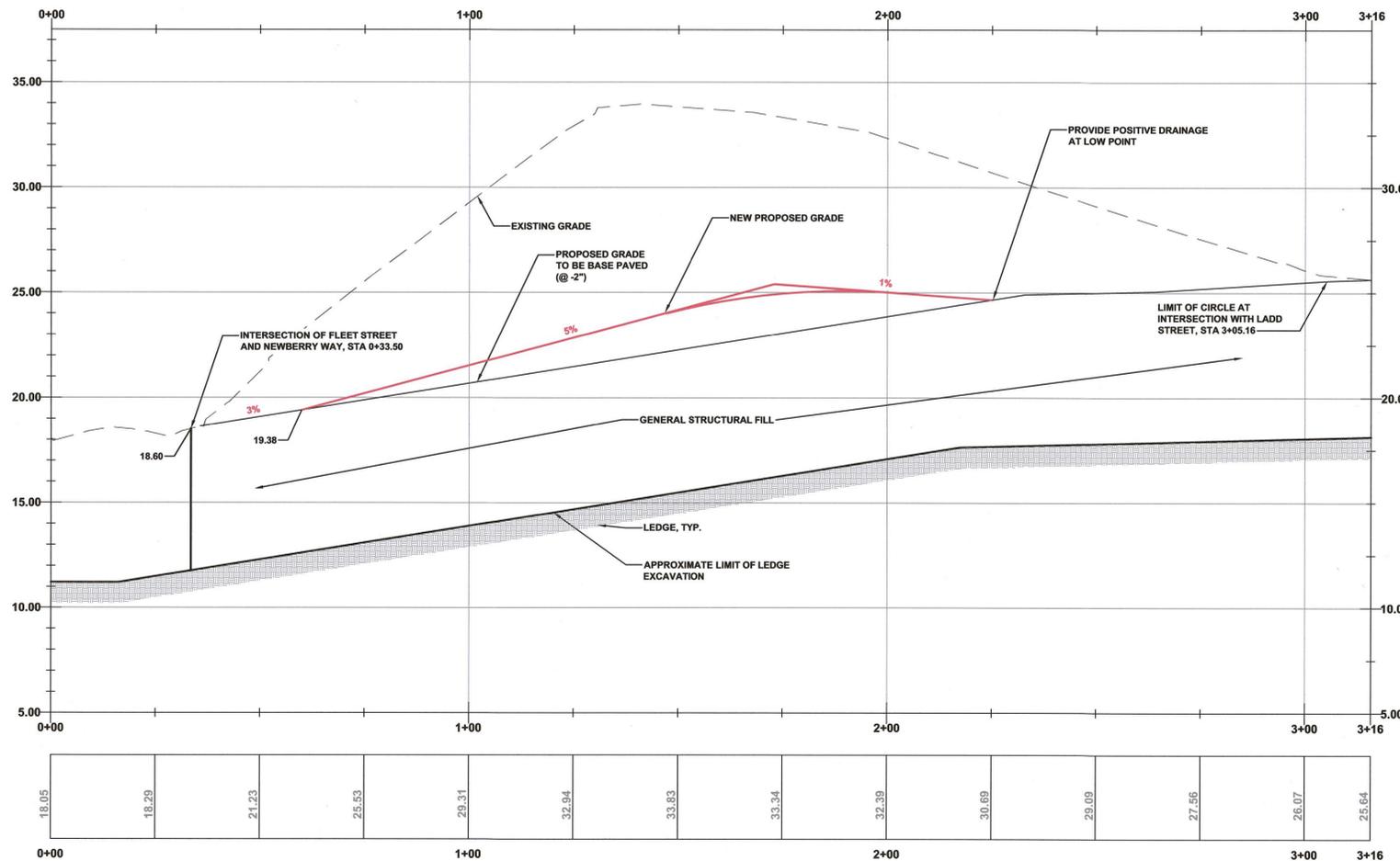




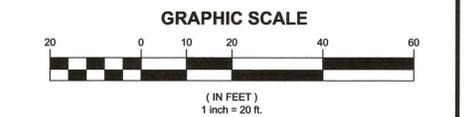
LOCATION MAP: USGS QUADRANGLE: PORTSMOUTH  
 MAPTECH® USGS TOPOGRAPHIC SERIES™  
 MAPTECH, INC. 978-333-3000  
 WWW.MAPTECH.COM/TOPO  
 SCALE: 1"=2000'

- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
  - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
  - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

- PROFILE NOTES:**
- 1) EXISTING & PROPOSED GRADES SHOWN DEPICT CONDITIONS ALONG THE PROPOSED ALIGNMENT.
  - 2) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED VERTICAL AND HORIZONTAL ALIGNMENT ON NEWBERRY WAY. THE CONSTRUCTION OF THE STREET GRADE AND TEMPORARY PAVING IS NEEDED TO COMPLETE THE ADJACENT GILLEY'S DINER CONSTRUCTION.



**PROFILE VIEW OF NEWBERRY WAY - STA 0+00 TO 3+16**  
 SCALE: H: 1"=20' / V: 1"=4'



REV.	DATE	DESCRIPTION	BY	CHK.
1	12/05/25	EXCAVATION/DRAINAGE NOTES	SJR	JRC
0	10/27/25	ISSUED FOR COMMENT	SJR	JRC

DRAWING ISSUE STATUS

**PERMIT PLANS**

**HALEY WARD**  
 ENGINEERING | ENVIRONMENTAL | SURVEYING  
 200 Griffin Rd. Unit 14  
 Portsmouth, New Hampshire 03801  
 WWW.HALEYWARD.COM 603.430.9282

PROJECT  
**GILLEY'S DINER**  
 175 FLEET STREET, PORTSMOUTH, N.H.

TITLE  
**OFFSITE IMPROVEMENTS PLAN & PROFILE  
 NEWBERRY WAY**

DATE	OCTOBER 2025	SCALE	1" = 20'
DRAWN BY	PJM	DESIGNED BY	—
CHECKED BY	JRC	PROJECT No.	5010156.004
SHEET No.	<b>C301</b>	REV. No.	<b>1</b>



**EROSION CONTROL NOTES**

**CONSTRUCTION SEQUENCE**

DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

IF REQUIRED THE CONTRACTOR SHALL OBTAIN AN NPDES PHASE II STORMWATER PERMIT AND SUBMIT A NOTICE OF INTENT (NOI) BEFORE BEGINNING CONSTRUCTION AND SHALL HAVE ON SITE A STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) AVAILABLE FOR INSPECTION BY THE PERMITTING AUTHORITY DURING THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARRYING OUT THE S.W.P.P.P. AND INSPECTING AND MAINTAINING ALL BMP'S CALLED FOR BY THE PLAN. THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION (NOT) FORM TO THE REGIONAL EPA OFFICE WITHIN 30 DAYS OF FINAL STABILIZATION OF THE ENTIRE SITE OR TURNING OVER CONTROL OF THE SITE TO ANOTHER OPERATOR.

THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT SHALL BE FOLLOWED AS PART OF THIS PROJECT:

- 1. OBSERVATIONS OF THE PROJECT FOR COMPLIANCE WITH THE SWPPP SHALL BE MADE BY THE CONTRACTOR AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25 INCHES OR GREATER;
2. AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED TO THE ENGINEER, THE OWNER, AND THE CONTRACTOR;
3. A REPRESENTATIVE OF THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES;
4. IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.

INSTALL PERIMETER CONTROLS, i.e., SILT/SOXX AND CATCH BASIN PROTECTION AROUND THE LIMITS OF DISTURBANCE BEFORE ANY EARTH MOVING OPERATIONS. THE USE OF HAYBALES IS NOT ALLOWED.

THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE(S) PRIOR TO ANY EXCAVATION ACTIVITIES. PLACE FOODS AS NEEDED.

CUT AND GRUB ALL TREES, SHRUBS, SAPLINGS, BRUSH, VINES AND REMOVE OTHER DEBRIS AND RUBBISH AS REQUIRED. DEMOLISH BUILDINGS AND FENCES AS NEEDED. REMOVE WALL AND STORE.

ROUGH GRADE SITE.

LAYOUT AND INSTALL ALL BURIED UTILITIES AND SERVICES UP TO 10' OF THE PROPOSED BUILDING FOUNDATIONS. CAP AND MARK TERMINATIONS OR LOG SWING TIRES.

CONSTRUCT BUILDING ADDITION.

CONNECT UTILITIES.

PLACE BINDER LAYER OF PAVEMENT FOR SITE AND WALKWAYS.

PLANT LANDSCAPING IN AREAS OUT OF WAY OF BUILDING CONSTRUCTION. PREPARE AND STABILIZE FINAL SITE GRADING BY ADDING TOPSOIL, SEED, MULCH AND FERTILIZER.

AFTER BUILDINGS ARE COMPLETED, FINISH ALL REMAINING LANDSCAPED AND SITE WORK.

REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

**PROJECT DESCRIPTION**

THE PROJECT CONSISTS OF A BUILDING REDEVELOPMENT WITH ASSOCIATED UTILITIES AND PARKING.

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 0.226 ACRES.

BASED ON THE USCS WEB SOIL SURVEY THE SOILS ON SITE CONSIST OF URBAN LAND WHICH HAS AN UNSPECIFIED HYDROLOGIC SOIL GROUP RATING, ASSUMED D.

THE STORMWATER RUNOFF FROM THE SITE WILL BE DISCHARGED VIA A CLOSED DRAINAGE SYSTEM TO THE CITY OF PORTSMOUTH CLOSED DRAINAGE SYSTEM WHICH ULTIMATELY FLOWS TO THE PISCATAQUA RIVER.

**GENERAL CONSTRUCTION NOTES**

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" OF THE NHDOT, AND "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE". THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR MORE THAN 45 DAYS.

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

DUST CONTROL: DUST CONTROL MEASURES SHALL INCLUDE BUT ARE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ADJACENT AREAS.

IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING, DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

SILT/SOXX SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILT/SOXX SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL BE PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.

ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.

ALL NON-STRUCTURAL, SITE-FILL SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED.

FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL, TRASH, WOODY DEBRIS, LEAVES, BRUSH OR ANY DELETERIOUS MATTER SHALL NOT BE INCORPORATED INTO FILLS.

FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.

DURING CONSTRUCTION AND UNTIL ALL DEVELOPED AREAS ARE FULLY STABILIZED, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH ONE HALF INCH OF RAINFALL.

THE CONTRACTOR SHALL MODIFY OR ADD EROSION CONTROL MEASURES AS NECESSARY TO ACCOMMODATE PROJECT CONSTRUCTION.

ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL CUT AND FILL SLOPES SHALL BE SEED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

- BASE COURSE GRAVELS HAVE BEEN INSTALLED ON AREAS TO BE PAVED
- A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
- A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED
- EROSION CONTROL BLANKETS HAVE BEEN INSTALLED.
- IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2 HAVE BEEN INSTALLED.

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA.

STABILIZATION MEASURES TO BE USED INCLUDE:

- TEMPORARY SEEDING,
- MULCHING.
1. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
2. WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF

NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN THESE AREAS, SILT/SOXX, MULCH BERMS, HAY BALE BARRIERS AND ANY EARTH/DIKES SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT/SOXX, MULCH BERMS, HAY BALE BARRIERS, OR SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY OCTOBER 15.

**MAINTENANCE AND PROTECTION**

THE SILT/SOXX BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

SILT/SOXX SHALL BE REMOVED ONCE SITE IS STABILIZED, AND DISTURBED AREAS RESULTING FROM SILT/SOXX REMOVAL SHALL BE PERMANENTLY SEEDED.

THE CATCH BASIN INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

**WINTER NOTES**

ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 65% VEGETATED GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

**STOCKPILES**

- 1. LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND CULVERTS.
2. ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.
3. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.
4. PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.

**CONCRETE WASHOUT AREA**

THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE:

- 1. THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY.
2. IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER.
3. CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAST 150 FEET AWAY FROM STORM DRAINS, SWALES AND SURFACE WATERS OR DELINEATED WETLANDS.
4. INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.

**ALLOWABLE NON-STORMWATER DISCHARGES**

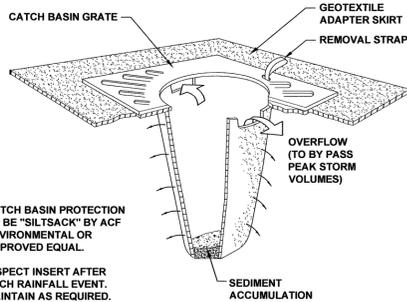
- 1. FIRE-FIGHTING ACTIVITIES;
2. FIRE HYDRANT FLUSHING;
3. WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED;
4. WATER USED TO CONTROL DUST;
5. POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHING;
6. ROUTINE EXTERNAL BUILDING WASH DOWN WHERE DETERGENTS ARE NOT USED;
7. PAVEMENT WASH WATERS WHERE DETERGENTS ARE NOT USED;
8. UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATION;
9. UNCONTAMINATED GROUND WATER OR SPRING WATER;
10. FOUNDATION OR FOOTING DRAINS WHICH ARE UNCONTAMINATED;
11. UNCONTAMINATED EXCAVATION DEWATERING;
12. LANDSCAPE IRRIGATION.

**WASTE DISPOSAL**

- 1. WASTE MATERIAL
- ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN A DUMPSTER;
- NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE;
- ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
2. HAZARDOUS WASTE
- ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER;
- SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
3. SANITARY WASTE
- ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

**BLASTING NOTES**

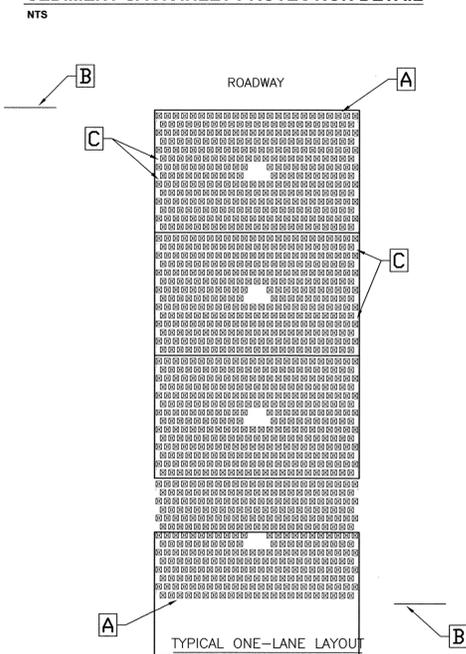
- 1. CONTRACTOR SHALL CONTACT THE NHDES AND/OR LOCAL JURISDICTION PRIOR TO COMMENCING ANY BLASTING ACTIVITIES.
2. FOR ANY PROJECT FOR WHICH BLASTING OF BEDROCK IS ANTICIPATED, THE APPLICANT SHALL SUBMIT A BLASTING PLAN THAT IDENTIFIES:
- WHERE THE BLASTING ACTIVITIES ARE ANTICIPATED TO OCCUR;
- THE ESTIMATED QUANTITY OF BLAST ROCK IN CUBIC YARDS; AND
- SITE-SPECIFIC BLASTING BEST MANAGEMENT PRACTICES.



NOTES:

- 1. CATCH BASIN PROTECTION TO BE "SILT/SACK" BY ACF ENVIRONMENTAL OR APPROVED EQUAL.
2. INSPECT INSERT AFTER EACH RAINFALL EVENT. MAINTAIN AS REQUIRED.
3. SEDIMENT WITHIN INSERT SHALL BE EMPTIED WHEN 1/2 FULL.

**SEDIMENT SACK INLET PROTECTION DETAIL**



**INSTALLATION:**

THE PURPOSE AND DESIGN OF THE FOODS TRACKOUT CONTROL SYSTEM IS TO EFFECTIVELY REMOVE MOST SEDIMENT FROM VEHICLE TIRES AS THEY EXIT A DISTURBED LAND AREA ONTO A PAVED STREET. THIS MANUAL IS A PLATFORM FROM WHICH TO INSTALL A FOODS TRACKOUT CONTROL SYSTEM. (NOTE: THIS IS NOT A ONE SIZE FITS ALL GUIDE.) THE INSTALLATION MAY NEED TO BE MODIFIED TO MEET THE EXISTING CONDITIONS, EXPECTATIONS, OR DEMANDS OF A PARTICULAR SITE. THIS IS A GUIDELINE. ULTIMATELY THE FOODS TRACKOUT CONTROL SYSTEM SHOULD BE INSTALLED SAFELY WITH PROPER ANCHORING AND SIGNS PLACED AT THE ENTRANCE AND EXIT TO CAUTION USERS AND OTHERS.

KEY NOTES:

- A. FOODS TRACKOUT CONTROL SYSTEM MAT.
B. FOODS SAFETY SIGN.
C. ANCHOR POINT.

**INSTALLATION:**

- 1. THE SITE WHERE THE FOODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED SHOULD CORRESPOND TO BEST MANAGEMENT PRACTICES AS MUCH AS POSSIBLE. THE SITE WHERE FOODS TRACKOUT CONTROL SYSTEM IS PLACED SHOULD ALSO MEET OR EXCEED THE LOCAL JURISDICTION OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
2. CALL FOR UTILITY LOCATES 3 BUSINESS DAYS IN ADVANCE OF THE OF FOODS TRACKOUT CONTROL SYSTEM INSTALLATION FOR THE MARKING OF UNDERGROUND UTILITIES. CALL THE UTILITY NOTIFICATION CENTER AT 811.
3. ONCE THE SITE IS ESTABLISHED WHERE FOODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED, ANY EXCESSIVE UNEVEN TERRAIN SHOULD BE LEVELED OUT OR REMOVED SUCH AS LARGE ROCKS, LANDSCAPING MATERIALS, OR SUDDEN ABRUPT CHANGES IN ELEVATION.
4. THE INDIVIDUAL MATS CAN START TO BE PLACED INTO POSITION. THE FIRST MAT SHOULD BE PLACED NEXT TO THE CLOSEST POINT OF EGRESS. THIS WILL ENSURE THAT THE VEHICLE WILL EXIT STRAIGHT FROM THE SITE ONTO THE PAVED SURFACE.
8. AFTER THE FIRST MAT IS PLACED DOWN IN THE PROPER LOCATION, MATS SHOULD BE ANCHORED TO PREVENT THE POTENTIAL MOVEMENT WHILE THE ADJOINING MATS ARE INSTALLED. ANCHORS SHOULD BE PLACED AT EVERY ANCHOR POINT (IF FEASIBLE) TO HELP MAINTAIN THE MAT IN ITS CURRENT POSITION.
9. AFTER THE FIRST MAT IS ANCHORED IN ITS PROPER PLACE, AN H BRACKET SHOULD BE PLACED AT THE END OF THE FIRST MAT BEFORE ANOTHER MAT IS PLACED ADJACENT TO THE FIRST MAT.
10. ONCE THE SECOND MAT IS PLACED ADJACENT TO THE FIRST MAT, MAKE SURE THE H BRACKET IS CORRECTLY SITUATED BETWEEN THE TWO MATS, AND SLIDE MATS TOGETHER.
11. NEXT THE CONNECTOR STRAPS SHOULD BE INSTALLED TO CONNECT THE TWO MATS TOGETHER.
12. UPON PLACEMENT OF EACH NEW MAT IN THE SYSTEM, THAT MAT SHOULD BE ANCHORED AT EVERY ANCHOR POINT TO HELP STABILIZE THE MAT AND ENSURE THE SYSTEM IS CONTINUOUS WITH NO GAPS IN BETWEEN THE MATS.
13. SUCCESSIVE MATS CAN THEN BE PLACED TO CREATE THE FOODS TRACKOUT CONTROL SYSTEM REPEATING THE ABOVE STEPS.

**USE AND MAINTENANCE**

- 1. VEHICLES SHOULD TRAVEL DOWN THE LENGTH OF THE TRACKOUT CONTROL SYSTEM AND NOT CUT ACROSS THE MATS.
2. DRIVERS SHOULD TURN THE WHEEL OF THEIR VEHICLES SUCH THAT THE VEHICLE WILL MAKE A SHALLOW S-TURN ROUTE DOWN THE LENGTH OF THE FOODS TRACKOUT CONTROL SYSTEM.
3. MATS SHOULD BE CLEANED ONCE BETWEEN THE PYRAMIDS BECOME FULL OF SEDIMENT. TYPICALLY THIS WILL NEED TO BE PERFORMED WITHIN TWO WEEKS AFTER A STORM EVENT. BRUSHING IS THE PREFERRED METHOD OF CLEANING, EITHER MANUALLY OR MECHANICALLY.
4. THE USE OF ICE MELT, ROCK SALT, SNOW MELT, DE-ICER, ETC. SHOULD BE UTILIZED AS NECESSARY DURING THE WINTER MONTHS AND AFTER A SNOW EVENT TO PREVENT ICE BUILDUP.

**REMOVAL**

- 1. REMOVAL OF FOODS TRACKOUT CONTROL SYSTEM IS REVERSE ORDER OF INSTALLATION.
2. STARTING WITH THE LAST MAT, THE MAT THAT IS PLACED AT THE INNERMOST POINT OF THE SITE OR THE MAT FURTHEST FROM THE EXIT OR PAVED SURFACE SHOULD BE REMOVED FIRST.
3. THE ANCHORS SHOULD BE REMOVED.
4. THE CONNECTOR STRAPS SHOULD BE UNBOLTED AT ALL LOCATIONS IN THE FOODS TRACKOUT CONTROL SYSTEM.
5. STARTING WITH THE LAST MAT IN THE SYSTEM, EACH SUCCESSIVE MAT SHOULD THEN BE MOVED AND STACKED FOR LOADING BY FORKLIFT OR EXCAVATOR ONTO A TRUCK FOR REMOVAL FROM THE SITE.

**FOODS SEDIMENT TRACKING SYSTEM DETAIL**

NTS

NOTES:

1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.

2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

Table with 5 columns: No., DATE, DESCRIPTION, BY, CHK. Row 1: 0, 11/04/25, ISSUED FOR COMMENT, SJR, JRC.

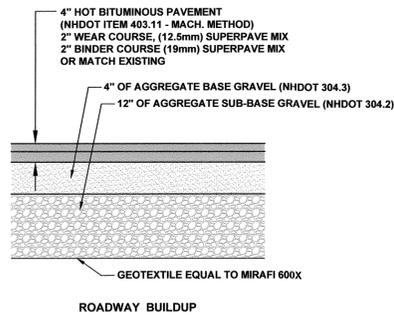
PERMIT PLANS

HALEY WARD ENGINEERING | ENVIRONMENTAL | SURVEYING. 200 Griffin Rd, Unit 14 Portsmouth, New Hampshire 03801 603.430.9282

PROJECT: GILLEY'S DINER 175 FLEET STREET, PORTSMOUTH, NH

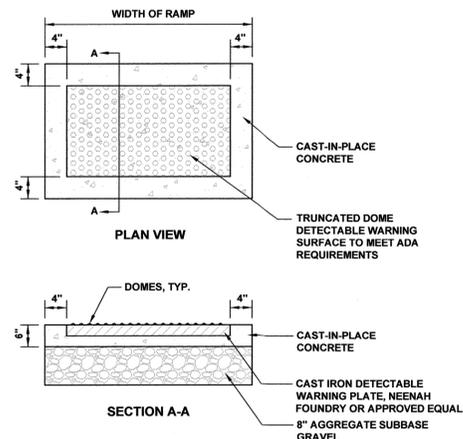
DETAILS

Professional Engineer seal for John R. Chagnon, State of New Hampshire. Includes date (OCTOBER 2025), scale (1" = 10'), and sheet number (C501 0).



**TYPICAL ROADWAY BUILDUP DETAIL**

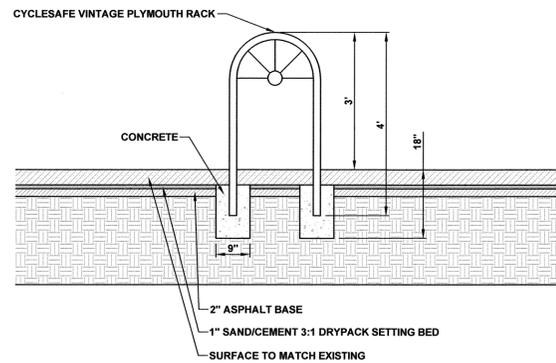
NTS



- NOTES:
1. DETECTABLE WARNINGS SHALL BE AN INTEGRAL PART OF THE RAMP AND COMPLY WITH ALL SECTIONS OF THE ADA ACCESSIBILITY GUIDELINES AND ALL SECTIONS OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN.
  2. ALL DETECTABLE WARNING AREAS SHALL START 6-10" FROM THE FLOW LINE OF THE CURB, BE 24" IN DEPTH AND COVER THE COMPLETE WIDTH OF THE RAMP AREA ONLY. MATCH ROADWAY RADIUS, TYP.

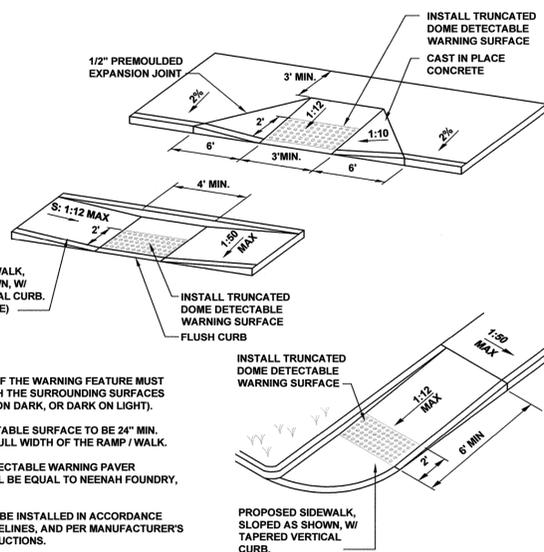
**TYPICAL DETECTABLE WARNING SURFACE DETAIL**

NTS



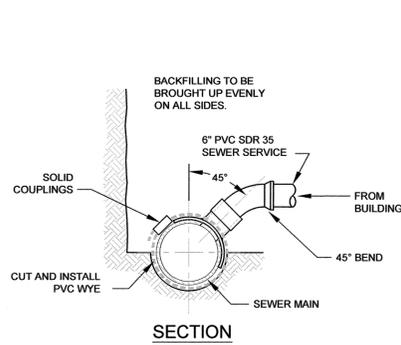
**BIKE RACK DETAIL**

NTS



**TYPICAL HANDICAP CURB RAMP DETAILS**

NTS

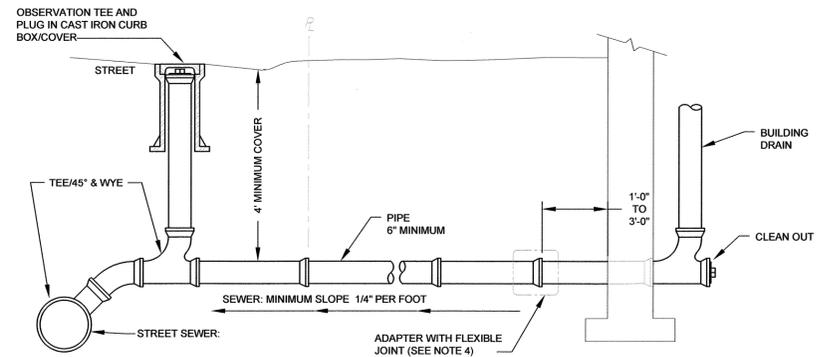


**SEWER SERVICE CONNECTION**

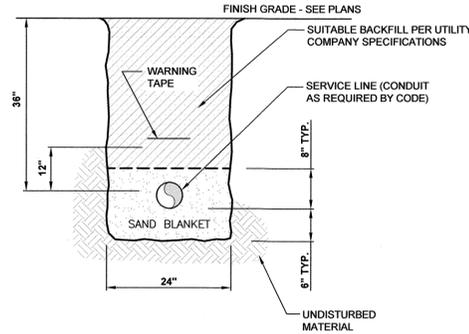
**SEWER SERVICE DETAILS**

NTS

INSTALL PER PORTSMOUTH REQUIREMENTS

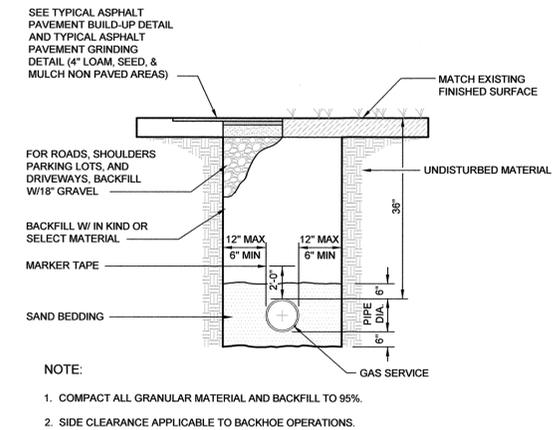


**SEWER SERVICE**



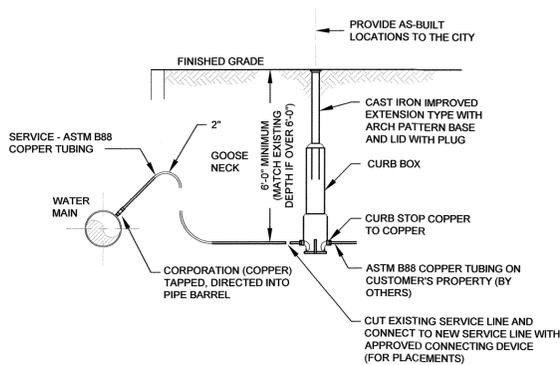
**TYPICAL UNDERGROUND ELECTRICAL TRENCH DETAIL**

NTS



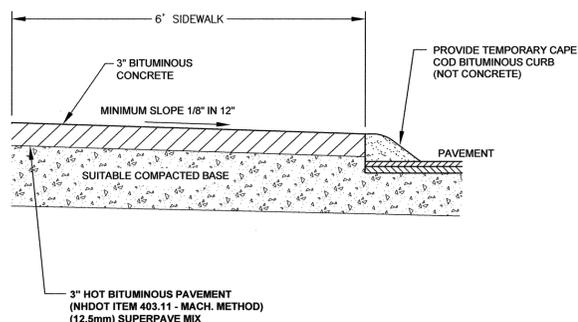
**TYPICAL GAS TRENCH DETAIL**

NTS



**TYPICAL WATER SERVICE CONNECTION DETAIL**

NTS



**BITUMINOUS SIDEWALK w/ BITUMINOUS CURB**

NTS

- NOTES:
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
  - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
  - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

No.	DATE	DESCRIPTION	BY	CHK.
2	12/05/25	BITUMINOUS SIDEWALK/CURB	SJR	JRC
1	11/17/25	UTILITY DETAILS	CBA	JRC
0	11/04/25	ISSUED FOR COMMENT	SJR	JRC

DRAWING ISSUE STATUS

**PERMIT PLANS**



**HALEY WARD**  
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PROJECT

**GILLEY'S DINER**  
175 FLEET STREET, PORTSMOUTH, NH

TITLE

**DETAILS**

DATE	OCTOBER 2025	SCALE	1" = 10'
DRAWN BY	SJR	DESIGNED BY	SJR
CHECKED BY	JRC		
PROJECT No.	5010156.004	FIELD BOOK & PAGE	FB 309 PG 68
SHEET No.	<b>C502</b>		DWG No.
			<b>2</b>

