

P-0766-0009
March 23, 2026

Mr. Peter Britz, Director of Planning & Sustainability
City of Portsmouth Planning Department
1 Junkins Avenue
Portsmouth, New Hampshire 03801

Re: **Site Review Permit Application**
New Franklin School, 1 Franklin Drive Portsmouth, NH 03801

Dear Peter:

On behalf of the City of Portsmouth, New Franklin School, we are pleased to submit the following information to support a request for courtesy Site Plan Review for the above referenced project:

- One (1) 22x34 and one (1) 11X17 copy of plans, dated March 23, 2026;
- Owners Authorization, dated March 23, 2026
- One (1) copy of the Drainage Memo, dated March 23, 2026;
- Site Plan Review Checklist, dated March 23, 2026
- Green Building Statement, dated March 20, 2026
- Lighting Fixtures & Dark Sky Friendly Lighting Measures Data

The proposed project is located at 1 Franklin Ave which is identified as Map 220 Lot 2 on the City of Portsmouth Tax Maps. The proposed project consists of the construction of three (3) additions to the existing New Franklin Elementary School. The first addition, approximately 500 square feet, will function as a vestibule entrance to serve student drop-off activities. The second addition, approximately 2,350 square feet, will provide an additional kindergarten classroom and a loading zone. The third addition, approximately 6,000 square feet, will accommodate new third- and fourth-grade classrooms.

The project also includes associated site, grading, drainage, and utilities improvements. These improvements consist of the installation of an accessible path of egress around the third building addition, as well as the creation of an accessible pathway at the main entrance located southwest of the existing building. The relocation of water, sewer, and electrical utilities will be required to allow for the proposed building expansion.

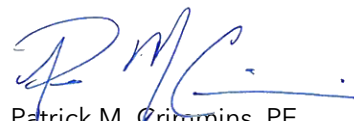
We respectfully request to be placed on the Technical Advisory Committee (TAC) meeting agenda for April 7, 2026. If you have any questions or need any additional information, please contact Eric Doremus by phone at (603) 294-9208 or by email at edoremus@tighebond.com.

Sincerely,

TIGHE & BOND, INC.



Eric G. Doremus, PE
Project Manager



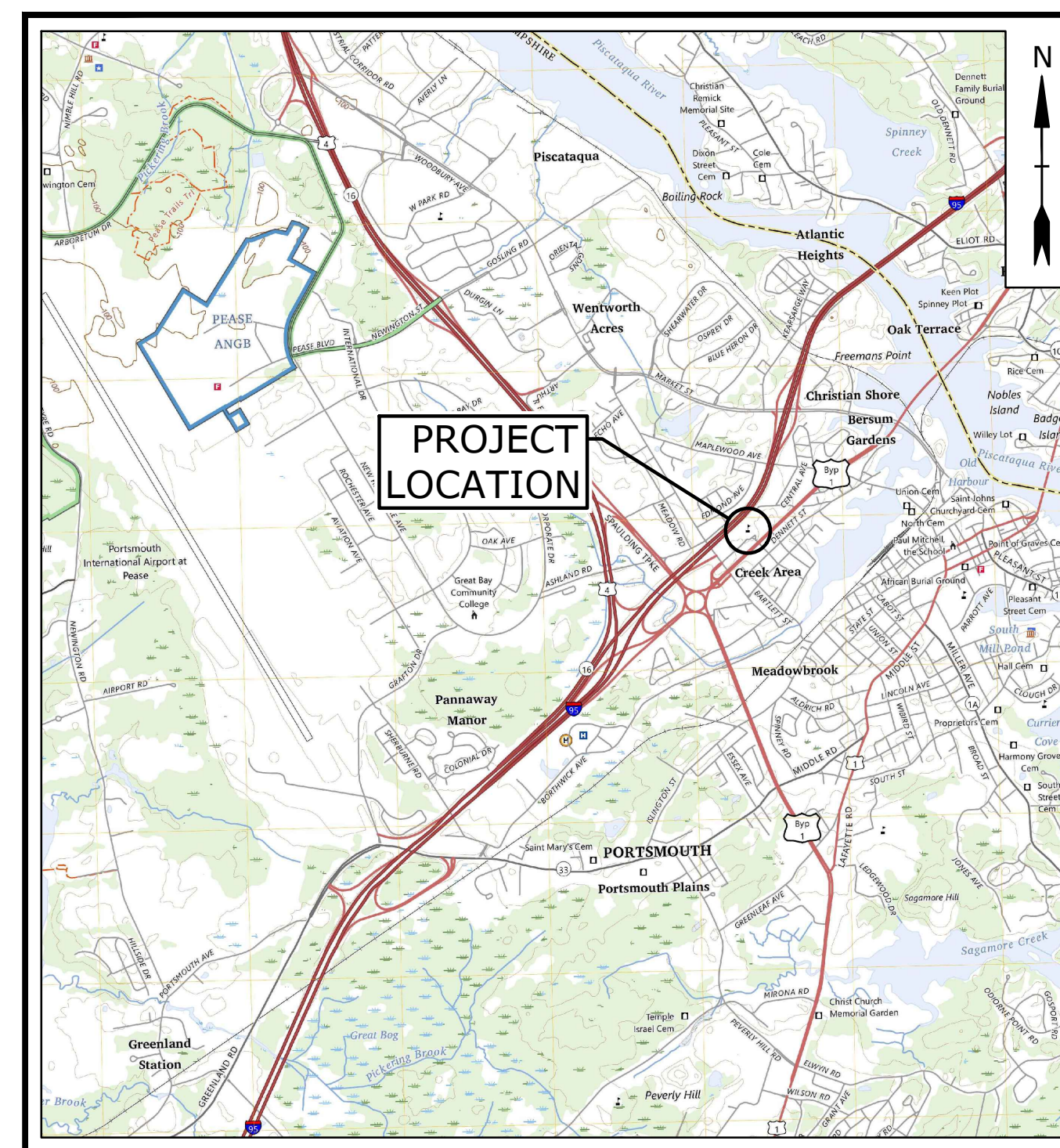
Patrick M. Crimmins, PE
Vice President

Copy:

CITY OF PORTSMOUTH, NH NEW FRANKLIN SCHOOL

P-0766-009 MARCH 23, 2026

LIST OF DRAWINGS	
DRAWING NO.	DRAWING TITLE
G-001	COVER SHEET
CIVIL	
C-100	EXISTING CONDITIONS PLAN
C-200	DEMOLITION PLAN
C-300	SITE PLAN
C-400	GRADING, DRAINAGE, AND EROSION CONTROL PLAN
C-500	UTILITIES PLAN
C-600	EROSION CONTROL NOTES & DETAILS SHEET
C-601	DETAILS SHEET
C-602	DETAILS SHEET
C-603	DETAILS SHEET
C-700	FIRE TRUCK TURNING PLANS
C-800	PRE-DEVELOPMENT WATERSHED PLAN
C-801	POST DEVELOPMENT WATERSHED PLAN
ARCHITECTURAL	
TAC100	FLOOR PLAN DATA
TAC200	ELEVATION DATA
ELECTRICAL	
PH	PHOTOMETRIC PLAN FOR BUILDING ADDITIONS

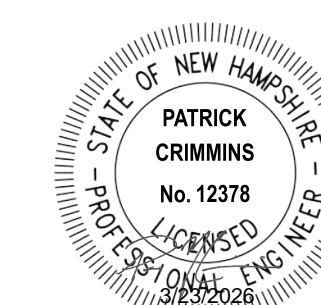
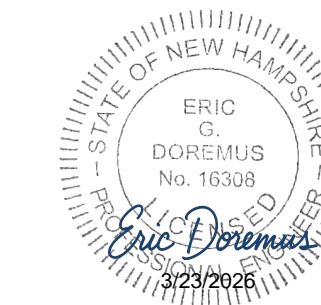


SITE LOCATION MAP
SCALE: 1"=1000'

PREPARED BY:

Tighe & Bond

177 Corporate Drive
Portsmouth, NH 03801
T: (603) 433.8818



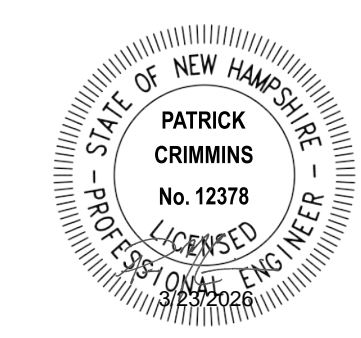
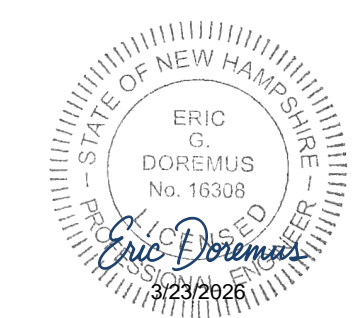
OWNER:
PORTSMOUTH SCHOOL DEPARTMENT, SAU52
1 JUNKINS AVE, SUITE 402
PORTSMOUTH, NH 03801
T: (603) 436-0910

SURVEYOR:
GREENMAN PEDERSEN, INC,
44 STILES ROAD, SUITE ONE
SALEM, NH, 03079
T: (603) 893-0720

ARCHITECT:
BANWELL ARCHITECTS
6 SOUTH PARK STREET
LEBANON, NH 03766
T: (603) 448-3778

ELECTRICAL:
SEACOAST CONSULTING ENGINEERS, LLC
261 JENNIE LANE
ELLIOT, MAINE 03903
T: (207) 475-7054

**TAC SUBMISSION
COMPLETE SET 16 SHEETS**



New Franklin School

City of Portsmouth

Portsmouth, New Hampshire

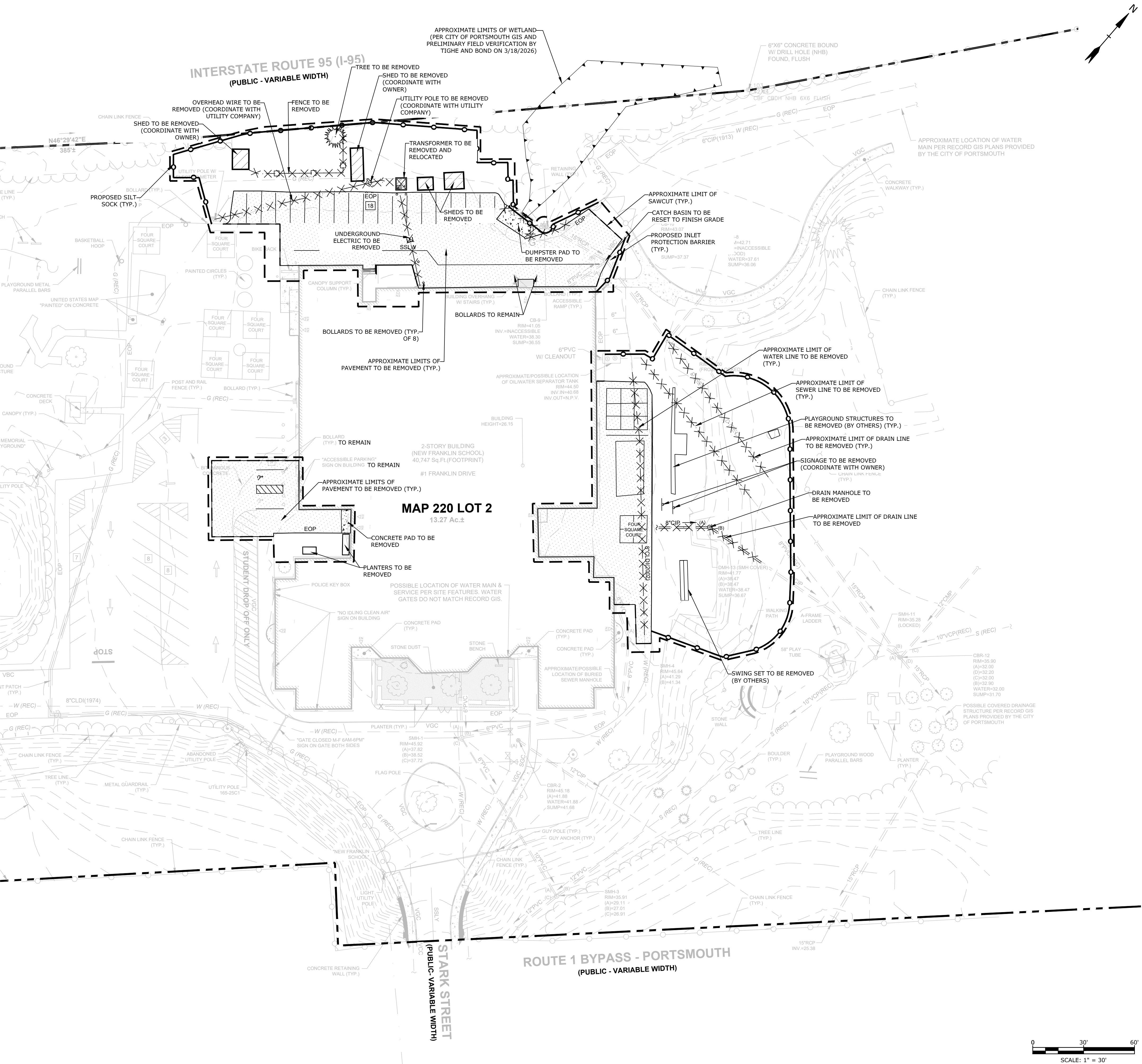
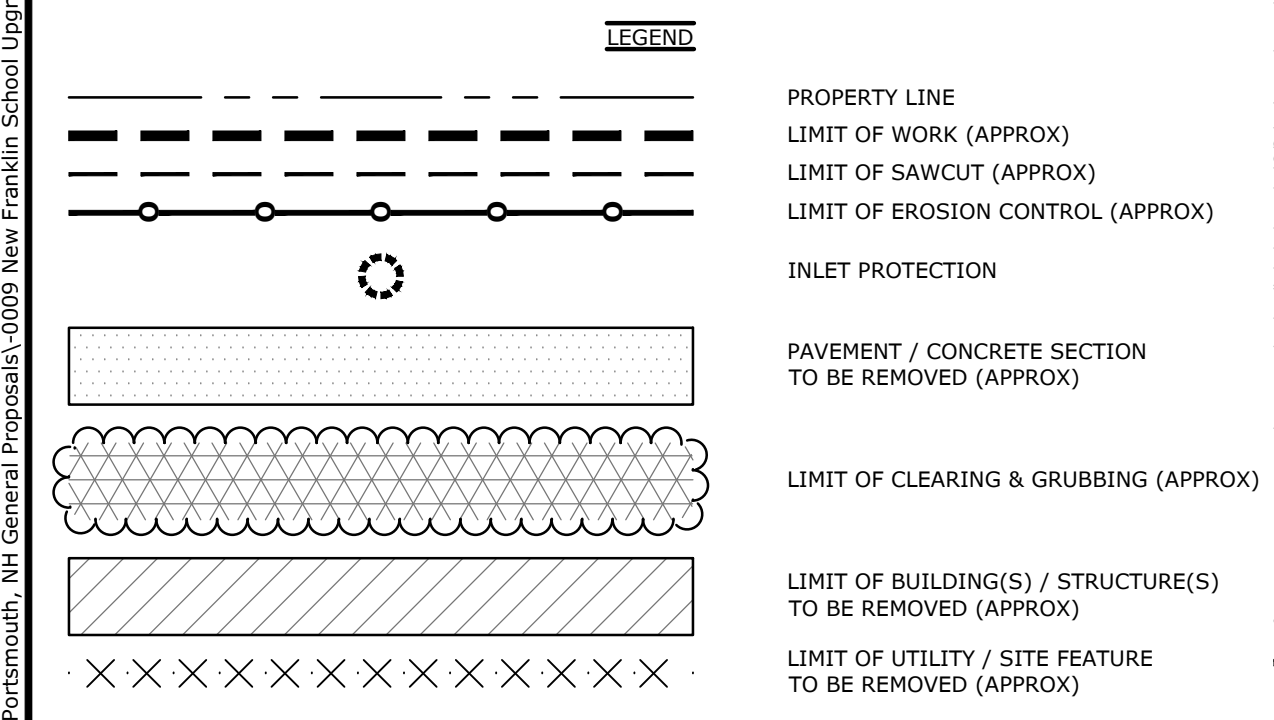
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FILE:	P0766-0009-DSGN.dwg	
DRAWN BY:	MKF	
DESIGNED BY:	EGD	
CHECKED BY:	EGD	
APPROVED BY:		

DEMOLITION PLAN

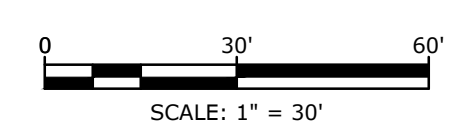
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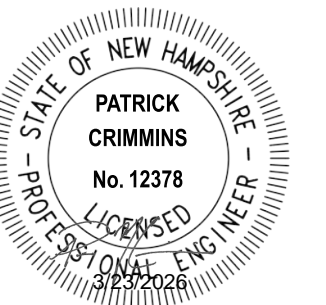
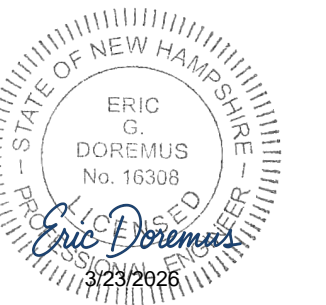
C-200

- DEMOLITION NOTES:**
- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
 - THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
 - THE ACCURACY AND COMPLETENESS OF SUBSURFACE INFORMATION (E.G., EXISTING UTILITIES) SHOWN ON THESE DRAWINGS IS NOT GUARANTEED AND SOME SUBSURFACE INFORMATION MAY NOT BE SHOWN. DETERMINE THE LOCATIONS AND ELEVATIONS OF ALL SUBSURFACE FEATURES WHICH MAY AFFECT CONSTRUCTION OPERATIONS BY TEST PIT OR OTHER METHODS, AS NECESSARY TO PREVENT DAMAGE TO UTILITIES AND OTHER SUBSURFACE FEATURES, AND/OR INTERRUPTIONS IN UTILITY SERVICE. PROVIDE DATA COLLECTED THROUGH THESE INVESTIGATIONS TO THE ENGINEER PRIOR TO CONSTRUCTING THE PROPOSED IMPROVEMENTS.
 - THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY UTILITIES IDENTIFIED DURING CONSTRUCTION THAT ARE NOT SHOWN ON THE DRAWINGS OR THAT DIFFER IN SIZE OR MATERIAL.
 - THE CONTRACTOR IS RESPONSIBLE FOR SUPPORT OF EXISTING UTILITIES AND REPAIR OR REPLACEMENT COSTS OF UTILITIES DAMAGED DURING CONSTRUCTION, WHETHER ABOVE OR BELOW GRADE. REPLACE DAMAGED UTILITIES IMMEDIATELY AT NO ADDITIONAL COST TO THE OWNER AND AT NO COST TO THE PROPERTY OWNER.
 - ANY EXISTING WORK OR PROPERTY DAMAGED OR INTERRUPTED BY CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY, COORDINATION WITH THE OWNER, ALL SUBCONTRACTORS, AND WITH OTHER CONTRACTORS WORKING WITHIN THE LIMITS OF WORK, THE MEANS AND METHODS OF CONSTRUCTING THE PROPOSED WORK.
 - THE CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY ARE ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.
 - ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES.
 - THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS, BOLLARDS, BUILDING SLABS, FOUNDATION, TREES AND LANDSCAPING.
 - REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
 - THE CONTRACTOR SHALL COORDINATE, REMOVAL, RELOCATION, DISPOSAL, ABANDONMENT, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
 - UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK, UNLESS SPECIFICALLY IDENTIFIED OTHERWISE.
 - SAW CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
 - PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
 - SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
 - THE CONTRACTOR SHALL REMOVE AND SALVAGE EXISTING GRANITE CURB FOR REUSE.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY TRAFFIC CONTROL, SAFETY DEVICES TO ENSURE SAFE VEHICULAR AND PEDESTRIAN ACCESS THROUGH THE WORK AREA, OR FOR SAFELY IMPLEMENTING DETOURS AROUND THE WORK AREA. PERFORM TRAFFIC CONTROL IN ACCORDANCE WITH THE CONTRACTOR'S APPROVED TRAFFIC CONTROL PLAN.
 - WHEN WORKING IN THE RIGHT OF WAY, THE CONTRACTOR SHALL PROVIDE THE OWNER AND LOCAL FIRE/POLICE/SCHOOL AUTHORITIES A DETAILED PLAN OF APPROACH INDICATING METHODS OF PROPOSED TRAFFIC ROUTING ON A DAILY BASIS, AND COORDINATION TO ENSURE COMMUNICATION AND COORDINATION BETWEEN THE OWNER, THE CONTRACTOR AND LOCAL FIRE/POLICE/SCHOOL AUTHORITIES THROUGHOUT THE CONSTRUCTION PERIOD.
 - THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL PROPERTIES WITHIN THE PROJECT AREA AT ALL TIMES DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES AND SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER.
 - THE CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED SURVEYOR TO REPLACE DISTURBED MONUMENTS.
 - THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
 - THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
 - THE CONTRACTOR SHALL COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAY WITH THE CITY OF PORTSMOUTH.
 - ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", CURRENT EDITION
 - BEFORE ANY DEWATERING IS PERFORMED A TEMPORARY DISCHARGE PERMIT FROM THE NHDES IS REQUIRED.
 - NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICT, ERROR, AMBIGUITY, OR DISCREPANCY WITH THE PLANS OR BETWEEN THE PLANS AND ANY APPLICABLE LAW, REGULATION, CODE, STANDARD SPECIFICATION, OR MANUFACTURER'S INSTRUCTIONS.
 - TIGHE & BOND ASSUMES NO RESPONSIBILITY FOR ANY ISSUES, LEGAL OR OTHERWISE, RESULTING FROM CHANGES MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM TIGHE & BOND.



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New Franklin School

City of Portsmouth

Portsmouth, New Hampshire

MARK	DATE	DESCRIPTION
PROJECT NO:	P0766-0009	
DATE:	03/23/2026	
FILE:	P0766-0009-DSGN.dwg	
DRAWN BY:	MKF	
DESIGNED BY:	EGD	
CHECKED BY:	EGD	
APPROVED BY:		

SITE PLAN

SCALE: AS SHOWN

C-300

- SITE NOTES:**
- PAVEMENT MARKINGS, INCLUDING BUT NOT LIMITED TO; PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, CROSS WALKS, ARROWS, LEGENDS, AND CENTERLINES, SHALL BE CONSTRUCTED AS SHOWN ON THE DRAWINGS AND DETAILS, AND SHALL MEET THE FOLLOWING REQUIREMENTS:
 - ALL ON-SITE PAVEMENT MARKINGS EXCEPT CENTERLINES, MEDIAN ISLANDS, FOG/SHOULDER LINES, AND LANE LINES SHALL BE CONSTRUCTED USING WHITE TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE "F".
 - ALL PAVEMENT MARKINGS WITHIN PUBLIC RIGHT OF WAY SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, AND APPLICABLE DEPARTMENT OF TRANSPORTATION (DOT), STANDARD SPECIFICATIONS.
 - ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" CURRENT EDITION, "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" CURRENT EDITION, AND THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA), THE ARCHITECTURAL BARRIERS ACT (ABA), AS APPLICABLE.
 - THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES.
 - CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAW CUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE
 - THE CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED.
 - COORDINATE ALL WORK ADJACENT TO BUILDINGS WITH BUILDING DRAWINGS/CONTRACTOR. SEE BUILDING DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES & SPECIFICATIONS.
 - THE CONTRACTOR SHALL COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAY WITH THE CITY OF PORTSMOUTH.
 - ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", CURRENT EDITION.
 - THE CONTRACTOR SHALL SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG AND .PDF FILES) TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR AND SHALL INCLUDE A FULL TOPOGRAPHY SURVEY WITHIN THE LIMITS OF WORK INCLUDING BUT NOT LIMITED TO SITE TOPOGRAPHY, SITE FEATURES, (BUILDINGS, ROADS, CURBS, SIDEWALK, ETC.), STORM DRAINAGE, AND SURFACE & SUBSURFACE UTILITIES.
 - PROPERTY MANAGER WILL BE RESPONSIBLE FOR TIMELY SNOW REMOVAL FROM ALL PUBLIC WALKS, DRIVES, AND PARKING AREAS ON-SITE. SNOW SHALL BE HAULED OFF-SITE AND LEGALLY DISPOSED OF, WHEN NECESSARY, WHEN SNOW STORAGE AREAS HAVE REACHED CAPACITY.
 - NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICT, ERROR, AMBIGUITY, OR DISCREPANCY WITH THE PLANS OR BETWEEN THE PLANS AND ANY APPLICABLE LAW, REGULATION, CODE, STANDARD SPECIFICATION, OR MANUFACTURER'S INSTRUCTIONS.
 - TIGHE & BOND ASSUMES NO RESPONSIBILITY FOR ANY ISSUES, LEGAL OR OTHERWISE, RESULTING FROM CHANGES MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM TIGHE & BOND.

LEGEND

	EDGE OF PAVEMENT
	PROPOSED VERTICAL GRANITE CURB
	PAVEMENT SECTION
	PROPOSED BITUMINOUS SIDEWALK
	PROPOSED CONCRETE SECTION
	PROPOSED BUILDING ADDITION
	VGC
	5R
	VERTICAL GRANITE CURB
	PROPOSED CURB RADIUS

SITE DATA:

LOCATION: 1 FRANKLIN AVE
PORTSMOUTH, NH 03801
TAX MAP 15 LOT 91

OWNER: PORTSMOUTH SCHOOL DEPARTMENT, SAU52
1 JUNKINS AVE, SUITE 402
PORTSMOUTH, NH 03801

ZONING DISTRICT: MUNICIPAL (M)

PROPOSED USE: PUBLIC ELEMENTARY SCHOOL
EXISTING LOT SIZE: 13.27 ACRES

DEVELOPMENT STANDARDS

BUILDING PLACEMENT:	REQUIRED	EXISTING	PROPOSED
MINIMUM FRONT YARD:	30 FT	89 FT±	89 FT±
MINIMUM SIDE YARD:	10 FT	N/A	N/A
MINIMUM REAR YARD:	30 FT	80 FT ±	45 FT±

BUILDING AND LOT OCCUPATION:	REQUIRED	EXISTING	PROPOSED
MAXIMUM BUILDING COVERAGE:	N/A	40,747	49,568
MAXIMUM BUILDING FOOTPRINT:	N/A	40,747	49,568
MINIMUM OPEN SPACE:	N/A	-	-

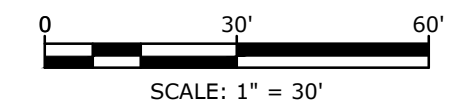
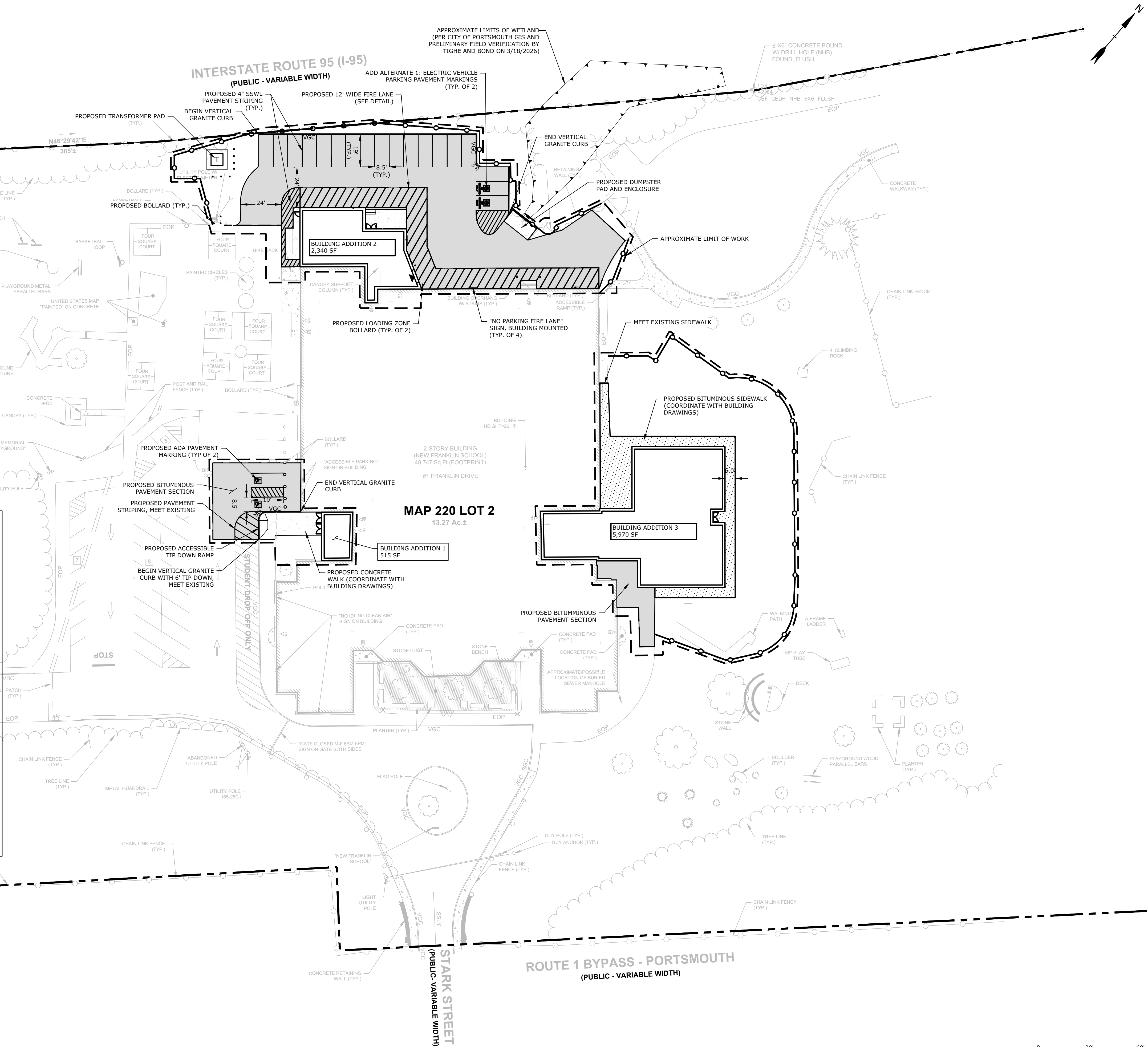
OFF-STREET PARKING

PARKING SPACES	EXISTING	PROPOSED
48 SPACES	48 SPACES	48 SPACES

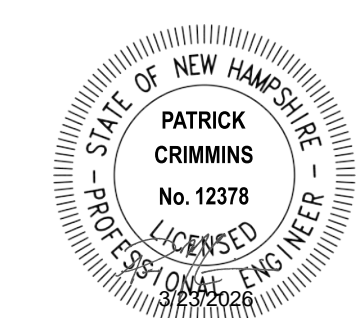
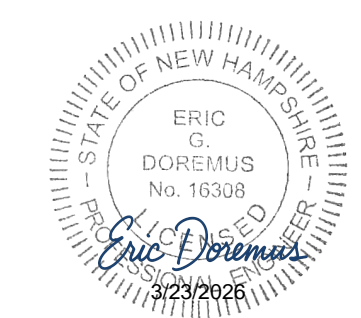
ADA PARKING SPACES	EXISTING	PROPOSED
2 SPACES	2 SPACES	2 SPACES

PARKING SPACE DIMENSIONAL REQUIREMENTS:

STANDARD 90° STALL:	REQUIRED	EXISTING	PROPOSED
WIDTH	8.5 FT MIN	VARIES	8.5 FT
LENGTH	19 FT MIN	VARIES	19 FT
DRIVE AISLE WIDTH:			
90° (2-WAY TRAFFIC)	24 FT	VARIES	24 FT



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City of Portsmouth

Portsmouth, New Hampshire

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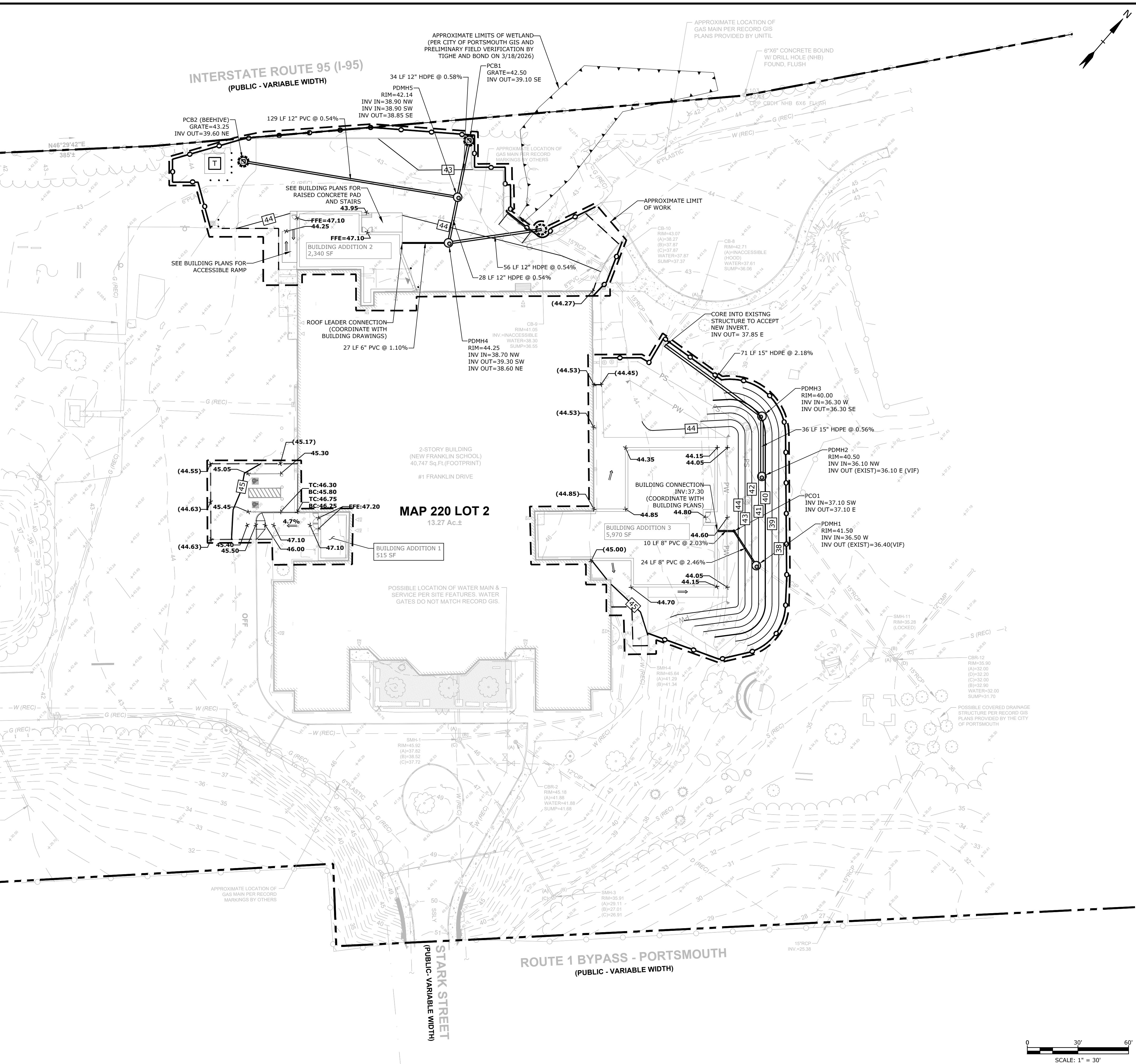
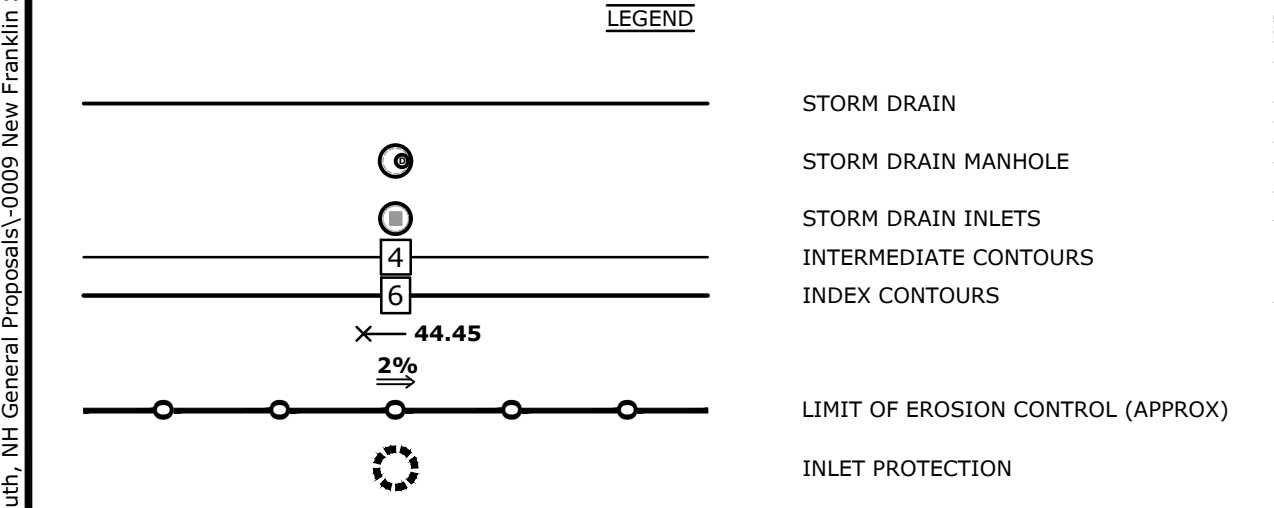
GRADING, DRAINAGE AND EROSION CONTROL PLAN

SCALE: AS SHOWN

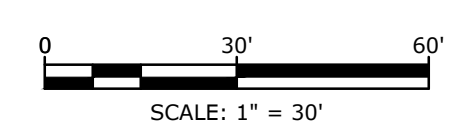
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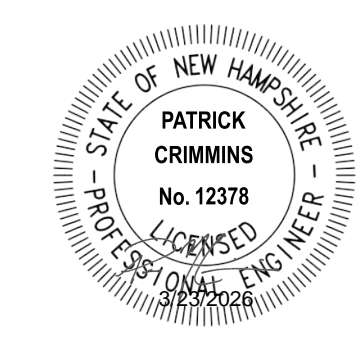
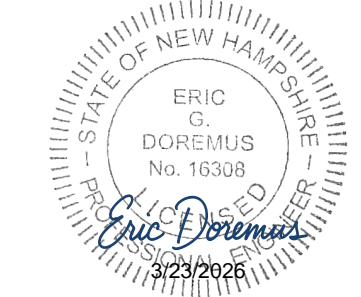
- GRADING AND DRAINAGE NOTES:**
- GENERAL COMPACTION REQUIREMENTS:
 - BELOW PAVED OR CONCRETE AREAS: 95%
 - TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL: 95%
 - BELOW LOAM AND SEED AREAS: 90%
 *ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
 - ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-C, ADS N-12 OR EQUAL) OR RCP CLASS IV, UNLESS OTHERWISE SPECIFIED.
 - SEE UTILITY PLAN FOR ALL SITE UTILITY INFORMATION.
 - ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
 - THE CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
 - PROVIDE SITE GRADING AT ACCESSIBLE SIDEWALK RAMPS, SIDEWALKS, AND BUILDING ENTRANCES THAT IS CONSISTENT WITH THE RELEVANT ACCESS REQUIREMENTS OF THE ARCHITECTURAL BARRIERS ACT (ABA), THE AMERICANS WITH DISABILITIES ACT (ADA), AND MA ARCHITECTURAL ACCESS BOARD REQUIREMENTS (AAB). SMALL CHANGES IN GRADE OVER RELATIVELY SHORT DISTANCES (E.G. AT PARKING SPACES, ACCESSIBLE ROUTES, AND RAMPS) MIGHT NOT BE CLEARLY DEPICTED WITHIN THE CONTOUR INTERVAL SHOWN. COMPLY WITH THE CRITERIA IN THESE STANDARDS. SELECT MAXIMUM SLOPE CRITERIA ARE REPRODUCED BELOW:
 - ACCESSIBLE PARKING STALLS AND PASSENGER LOADING ZONES (IN ANY DIRECTION) SHALL BE < 2.0%
 - LONGITUDINAL SLOPE ALONG ACCESSIBLE ROUTES SHALL BE < 5.0%
 - CROSS SLOPE ALONG ACCESSIBLE ROUTES SHALL BE < 2.0%
 - THE CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
 - ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
 - ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED FERTILIZER AND MULCH.
 - ALL PROPOSED CATCH BASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4' SUMPS.
 - ALL WORK AND STORM DRAIN CONSTRUCTION SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", CURRENT EDITION.
 - THE CONTRACTOR SHALL SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG AND .PDF FILES) TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR AND SHALL INCLUDE A FULL TOPOGRAPHY SURVEY WITHIN THE LIMITS OF WORK INCLUDING BUT NOT LIMITED TO SITE TOPOGRAPHY, SITE FEATURES, (BUILDINGS, ROADS, CURBS, SIDEWALK, ETC.), STORM DRAINAGE, AND SURFACE & SUBSURFACE UTILITIES.
 - SEE EXISTING CONDITIONS PLAN(S) FOR BENCH MARK INFORMATION.
 - THE CONTRACTOR SHALL VERIFY INVERTS OF EXISTING DRAIN AND SEWER LINES AND STRUCTURES AT PROPOSED DRAINAGE CONNECTION LOCATIONS AS FIRST ORDER OF WORK AND IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES.
 - NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICT, ERROR, AMBIGUITY, OR DISCREPANCY WITH THE PLANS OR BETWEEN THE PLANS AND ANY APPLICABLE LAW, REGULATION, CODE, STANDARD SPECIFICATION, OR MANUFACTURER'S INSTRUCTIONS.
 - TIGHE & BOND ASSUMES NO RESPONSIBILITY FOR ANY ISSUES, LEGAL OR OTHERWISE, RESULTING FROM CHANGES MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM TIGHE & BOND.

- GENERAL EROSION CONTROL NOTES:**
- ALL EROSION CONTROL MEASURES AND PRACTICES SHALL CONFORM TO THE "NEW HAMPSHIRE STORMWATER MANUAL VOLUME 3: EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION", PREPARED BY NHDES.
 - SEE SHEET C-501 AND C-502 FOR ADDITIONAL EROSION CONTROL REQUIREMENTS AND DETAILS.
 - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL EROSION AND SEDIMENT CONTROL MEASURES FOR APPROVAL.
 - AS THE FIRST ORDER OF WORK, PRIOR TO ANY EARTH DISTURBANCE, THE CONTRACTOR SHALL INSTALL ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES INCLUDING BUT NOT LIMITED TO; INLET PROTECTION BARRIERS, SILT SOCKS, SILT FENCES, MULCH BERMS, AND STABILIZED CONSTRUCTION EXITS AS SHOWN ON THE DRAWINGS, AND AS REQUIRED BY ALL STATE AND LOCAL PERMITS AND APPROVALS.
 - INLET PROTECTION BARRIERS SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED CATCH BASINS/CURB INLETS AND YARD DRAINS WITHIN THE LIMITS OF WORK AS WELL AS ANY CATCH BASINS/CURB INLETS AND YARD DRAINS THAT RECEIVE RUNOFF FROM ANY CONSTRUCTION ACTIVITIES. THESE MEASURES SHALL BE FULLY MAINTAINED FOR THE DURATION OF THE PROJECT.
 - PERIMETER CONTROLS INCLUDING SILT FENCES, MULCH BERM, SILT SOCK, AND/OR HAY BALE BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT UNTIL ALL NON-PAVED AREAS HAVE BEEN STABILIZED.
 - THE CONTRACTOR SHALL INSTALL EROSION CONTROL BLANKETS ON ALL STEEP SLOPE AREA (3:1 OR GREATER).
 - DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES INCLUDE, BUT NOT LIMITED TO; MOISTEN EXPOSED SOIL SURFACES PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST, MECHANICAL SWEEPERS ON PAVED SURFACES, AND COVERING SURFACES WITH CRUSHED STONE OR COARSE GRAVEL.
 - THE CONTRACTOR SHALL HAVE ALL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING, BUT NOT LIMITED TO, INLET PROTECTION BARRIERS, PERIMETER SEDIMENT CONTROLS, AND STEEP SLOPE EROSION CONTROL BLANKETS INSPECTED BY A QUALIFIED PERSON AT LEAST ONCE A WEEK AND WITHIN 24 HOURS AFTER A RAIN EVENT OF 0.25 INCHES OR GREATER. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED, REPAIRED, MODIFIED, OR ADDITIONAL MEASURES INSTALLED AS NECESSARY TO ADDRESS EVOLVING CONDITIONS DURING CONSTRUCTION.
 - SEDIMENT CONTROL FILTER MEASURES SHALL BE REPLACED WHEN SEDIMENT REACHES 1/3 THE HEIGHT OF THE FILTER.
 - THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
 - ALL DISTURBED AREAS NOT OTHERWISE BEING TREATED SHALL RECEIVE 6" LOAM, SEED AND FERTILIZER.
 - ALL CATCH BASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN FULLY STABILIZED.
 - TEMPORARY SOIL STOCKPILE SHALL BE SURROUNDED WITH SEDIMENT CONTROLS AND SHALL BE STABILIZED BY TEMPORARY EROSION CONTROL SEEDING. STOCKPILE AREAS TO BE LOCATED AS FAR AS POSSIBLE FROM THE DELINEATED EDGE OF WETLANDS. STOCKPILES OVER 10 FEET SHALL HAVE SAFETY FENCING PROVIDED AROUND THE STOCKPILES.
 - IF NECESSARY CONCRETE TRUCKS WILL BE REQUIRED TO WASHOUT THE SHOOTS. THIS ACTIVITY SHALL ONLY BE DONE WITHIN A DESIGNATED CONCRETE WASHOUT FACILITY ON-SITE.
 - IF NECESSARY TEMPORARY SEDIMENT TRAPS SHALL BE PROVIDED FOR GENERAL EXCAVATION DEWATERING PRACTICES PRIOR TO DIRECTING FLOW TO ANY OTHER EROSION AND SEDIMENT CONTROL MEASURES.
 - THE CONTRACTOR SHALL BE FAMILIAR WITH SPILL PREVENTION MEASURES REQUIRED BY ALL LOCAL, STATE, AND FEDERAL REGULATIONS.



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New Franklin School

City of Portsmouth

Portsmouth, New Hampshire

MARK	DATE	DESCRIPTION
PROJECT NO:	P0766-0009	
DATE:	03/23/2026	
FILE:	P0766-0009-DSGN.dwg	
DRAWN BY:	MKF	
DESIGNED BY:	EGD	
CHECKED BY:	EGD	
APPROVED BY:		

UTILITIES PLAN

SCALE: AS SHOWN

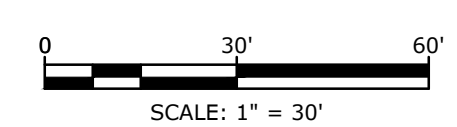
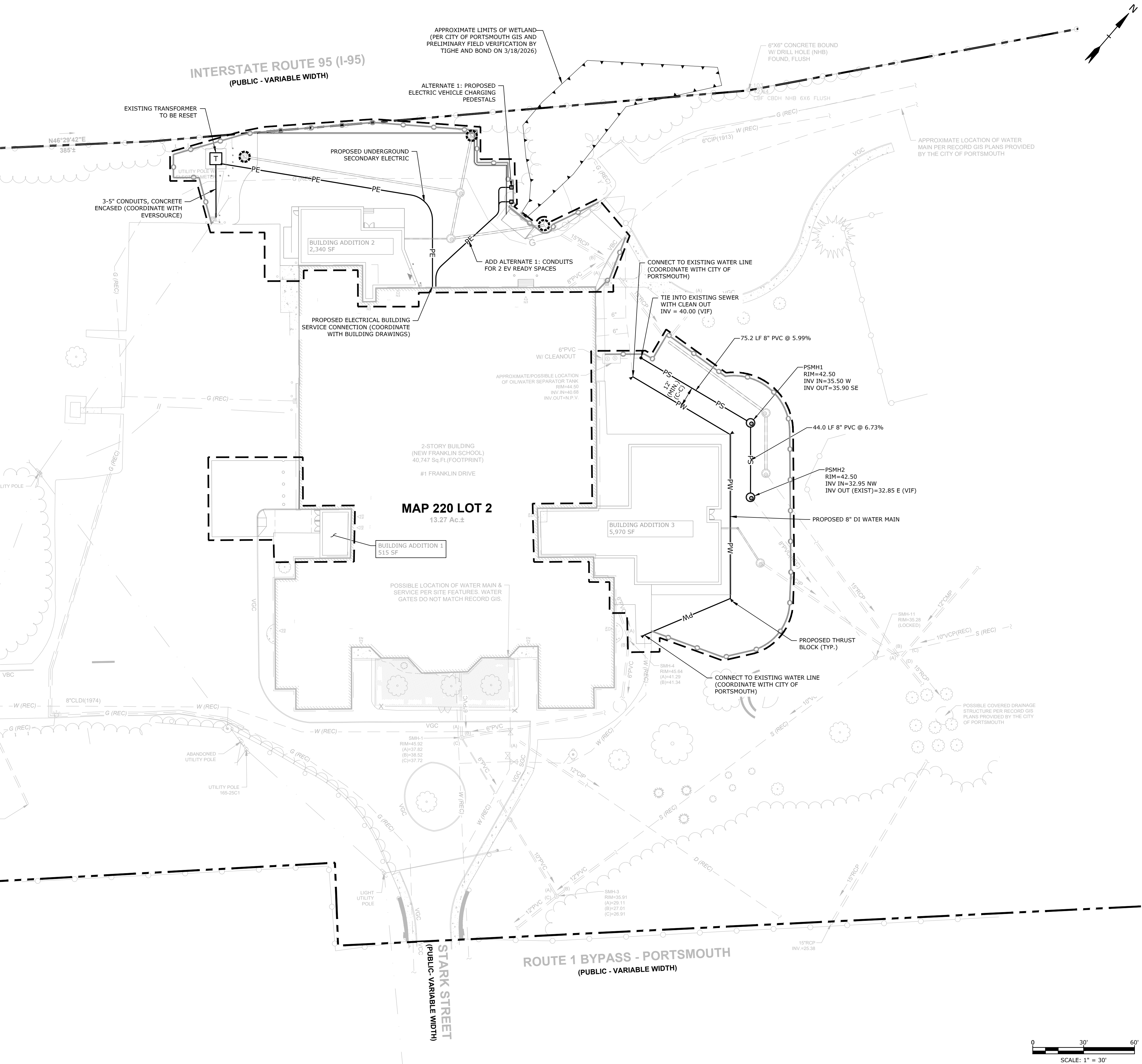
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- UTILITY NOTES:**
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
 - THE ACCURACY AND COMPLETENESS OF SUBSURFACE INFORMATION (E.G., EXISTING UTILITIES) SHOWN ON THESE DRAWINGS IS NOT GUARANTEED AND SOME SUBSURFACE INFORMATION MAY NOT BE SHOWN. DETERMINE THE LOCATIONS AND ELEVATIONS OF ALL SUBSURFACE FEATURES WHICH MAY AFFECT CONSTRUCTION OPERATIONS BY TEST PIT OR OTHER METHODS, AS NECESSARY TO PREVENT DAMAGE TO UTILITIES AND OTHER SUBSURFACE FEATURES, AND/OR INTERRUPTIONS IN UTILITY SERVICE. PROVIDE DATA COLLECTED THROUGH THESE INVESTIGATIONS TO THE ENGINEER PRIOR TO CONSTRUCTING THE PROPOSED IMPROVEMENTS.
 - THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY UTILITIES IDENTIFIED DURING CONSTRUCTION THAT ARE NOT SHOWN ON THE DRAWINGS OR THAT DIFFER IN SIZE OR MATERIAL.
 - COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
 - NATURAL GAS - NATURAL GAS - UNITIL (888)-301-7700
 - WATER - PUBLIC WATER - MUNICIPAL (603)-427-1530
 - SEWER - PUBLIC SEWER - MUNICIPAL (603)-427-1530
 - ELECTRIC - EVERSOURCE (800) 662-7764
 - SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
 - SEE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
 - ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE.
 - ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE CITY OF PORTSMOUTH WATER DEPARTMENT.
 - ALL BELOW GRADE WATER VALVES AND FITTINGS SHALL HAVE MECHANICAL JOINT (MJ) ENDS. RESTRAIN ALL WATER VALVES AND FITTINGS JOINTS WITH RETAINER GLANDS, OR AS REQUIRED BY THE CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS.
 - CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO THE CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS.
 - ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
 - COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH.
 - THE CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJUTING PROPERTIES THROUGHOUT CONSTRUCTION.
 - ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, CURRENT EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
 - THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE APPLICABLE UTILITY COMPANIES.
 - ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
 - ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
 - THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO THE COMPLETION OF THIS PROJECT.
 - THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
 - THE CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
 - A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
 - THE CONTRACTOR SHALL CONTACT "DIG SAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE "DIG-SAFE" NUMBER ON-SITE AT ALL TIMES.
 - THE CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG AND .PDF FILES) TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR AND SHALL INCLUDE A FULL TOPOGRAPHY SURVEY WITHIN THE LIMITS OF WORK INCLUDING BUT NOT LIMITED TO SITE TOPOGRAPHY, SITE FEATURES, (BUILDINGS, ROADS, CURBS, SIDEWALK, ETC.), STORM DRAINAGE, AND SURFACE & SUBSURFACE UTILITIES.
 - SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
 - COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH SEWER DEPARTMENT.
 - ALL SEWER PIPE WITH LESS THAN 6' OF COVER IN PAVED AREAS OR LESS THAN 4' OF COVER IN UNPAVED AREAS SHALL BE INSULATED.
 - CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
 - THE CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ADJUTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ADJUTERS WITH THE UTILITY COMPANY AND AFFECTED ADJUTER. SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT ELECTRICAL ENGINEER.
 - THE CONTRACTOR SHALL CONSTRUCT ALL UTILITIES AND DRAINS TO WITHIN 10' OF THE FOUNDATION WALLS AND CONNECT THESE TO SERVICE STUBS FROM THE BUILDING.
 - THE CONTRACTOR SHALL VERIFY INVERTS OF EXISTING SEWER LINES AND STRUCTURES AT PROPOSED SEWER CONNECTION LOCATIONS PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES.
 - NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICT, ERROR, AMBIGUITY, OR DISCREPANCY WITH THE PLANS OR BETWEEN THE PLANS AND ANY APPLICABLE LAW, REGULATION, CODE, STANDARD SPECIFICATION, OR MANUFACTURER'S INSTRUCTIONS.
 - TIGHE & BOND ASSUMES NO RESPONSIBILITY FOR ANY ISSUES, LEGAL OR OTHERWISE, RESULTING FROM CHANGES MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM TIGHE & BOND.

LEGEND

- PS PS PROPOSED SANITARY SEWER
- PW PW WATER SERVICE
- PE PE UNDERGROUND ELECTRIC
- PE PE PROPOSED RELOCATED TRANSFORMER
- PE PE PROPOSED ELECTRIC VEHICLE CHARGER

APPROXIMATE LOCATION OF WATER MAIN PER RECORD GIS PLANS PROVIDED BY THE CITY OF PORTSMOUTH



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GENERAL PROJECT INFORMATION

PROJECT OWNER: CITY OF PORTSMOUTH NEW FRANKLIN SCHOOL
PROJECT ADDRESS: 1 FRANKLIN DRIVE
PROJECT NAME: NEW FRANKLIN SCHOOL UPGRADES
PROJECT MAP / LOT: MAP 220 / LOT 02
PROJECT LONGITUDE: 70°46'-35.724"W

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF THE CONSTRUCTION OF 3 BUILDING ADDITIONS TO EXPAND THE FOOTPRINT OF THE EXISTING NEW FRANKLIN SCHOOL. THE WORK IS ANTICIPATED TO START IN MONTH APRIL 2026, AND BE COMPLETED BY OCTOBER 2026.

DISTURBED AREA

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 0.94 ACRES.

SOIL CHARACTERISTICS

BASED ON THE NRCS WEB SOIL SURVEY FOR ROCKINGHAM COUNTY - NEW HAMPSHIRE, THE SOILS ON SITE CONSIST OF URBAN LAND SOILS WHICH ARE WELL DRAINED SOILS WITH HYDROLOGIC SOIL GROUP RATING(S) OF A.

NAME OF RECEIVING WATERS

THE STORMWATER RUNOFF FROM THE SITE WILL BE DISCHARGED VIA OVERLAND FLOW TO A CLOSED DRAINAGE NETWORK, AND OFF SITE.

CONSTRUCTION SEQUENCE PLAN OF MAJOR ACTIVITIES:

- 1. CONSTRUCT TEMPORARY AND PERMANENT PERIMETER EROSION CONTROLS, SEDIMENT CONTROLS AND DETENTION MEASURES, PRIOR TO ANY EARTH MOVING OPERATIONS THAT MAY AFFECT STORMWATER RUNOFF SUCH AS:
- DISPOSAL OF SEDIMENT SOILS, STUMPS, DEMOLITION DEBRIS, AND OTHER SOLID WASTE
- CONTROL OF DUST
- CONSTRUCTION OF DRIVES, PARKING AREAS, AND OTHER IMPERVIOUS SURFACES
- INSTALLATION OF UTILITIES, BUILDINGS, AND PLAYGROUND EQUIPMENT
2. DEMOLISH ALL SITE FEATURES AS DIRECTED ON THE DRAWINGS. CLEAR AND DISPOSE OF DEBRIS IN ACCORDANCE WITH ALL STATE AND LOCAL REGULATIONS.
3. CUT AND CLEAR TREES ACROSS SITE. (GRUBBING SHALL NOT OCCUR UNTIL AFTER THE INSTALLATION OF PERIMETER CONTROLS.)
4. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE ENTIRETY OF CONSTRUCTION. REMOVE TRAPPED SEDIMENTS FROM COLLECTOR DEVICES AS NEEDED.
5. NOTE THAT ALL PERMANENT DITCHES, SWALES, DETENTION, RETENTION AND SEDIMENTATION BASINS SHALL BE STABILIZED USING THE VEGETATIVE AND NON-STRUCTURAL BMPs PRIOR TO DIRECTING RUNOFF TO THEM.
6. COMPLETE MASS GRADING AND EARTHWORK IN ORDER TO ESTABLISH SITE SUBGRADE ELEVATIONS, AS WELL AS EXCAVATION NECESSARY TO CONSTRUCT FOUNDATIONS FOR PROPOSED STRUCTURES.
7. CONSTRUCT UNDERGROUND DRAINAGE, UTILITY AND LIGHTING INFRASTRUCTURE NECESSARY TO SUPPORT TEMPORARY AND PERMANENT CONDITIONS. ALL TRENCHES TO BE BACKFILLED IN ACCORDANCE WITH PROJECT DRAWINGS AND SPECIFICATIONS.
8. ALL AREAS OF UNSTABILIZED SOIL SHALL BE TEMPORARILY STABILIZED AS SOON AS PRACTICABLE, BUT IN ALL CASES WITHIN 45 DAYS OF INITIAL DISTURBANCE, UNLESS A SHORTER TIME IS SPECIFIED BY LOCAL AUTHORITIES, THE CONSTRUCTION SEQUENCE APPROVED AS PART OF THE ISSUED PERMIT, OR AN INDEPENDENT MONITOR. ALL AREAS OF TEMPORARILY STABILIZED SOIL SHALL PERMANENTLY STABILIZED AS SOON AS PRACTICABLE BUT IN ALL CASES WITHIN 3 DAYS OF FINAL GRADING.
9. CONSTRUCT BASE COURSE GRAVELS FOR ALL DRIVES AND PARKING AREAS. ALL DRIVES AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
10. BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES THAT HAVE NOT BEEN OTHERWISE STABILIZED BY GRAVELS SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
11. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, PERIMETER EROSION CONTROL MEASURES, SEDIMENT TRAPS, ETC., MULCH AND SEED AS REQUIRED.
12. FINISH PAVING ALL DRIVES, AND PARKING AREAS. CONSTRUCT ALL HARDSCAPE, FIELD SURFACES AND SITE AMENITIES/FEATURES.
13. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
14. REMOVE TRAPPED SEDIMENTS FROM ALL EROSION CONTROL MEASURES AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES.

EROSION CONTROL NOTES:

- 1. ALL EROSION CONTROL MEASURES AND PRACTICES SHALL CONFORM TO THE "NEW HAMPSHIRE STORMWATER MANUAL", LATEST EDITION.
2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL EROSION AND SEDIMENT CONTROL MEASURES FOR APPROVAL.
3. AS THE FIRST ORDER OF WORK, PRIOR TO ANY EARTH DISTURBANCE, THE CONTRACTOR SHALL INSTALL ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES INCLUDING BUT NOT LIMITED TO: INLET PROTECTION BARRIERS, SILT SOCKS, SILT FENCES, MULCH BERMS, AND STABILIZED CONSTRUCTION EXITS AS SHOWN ON THE DRAWINGS, AND AS REQUIRED BY ALL STATE AND LOCAL PERMITS AND APPROVALS.
4. INLET PROTECTION BARRIERS SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED CATCH BASINS/CURB INLETS AND YARD DRAINS BASINS/CURB INLETS AND YARD DRAINS. THIS IS AN ANTICIPATED AND NECESSARY MEASURE TO MAINTAIN THE DURATION OF THE PROJECT.
5. PERIMETER CONTROLS INCLUDING SILT FENCES, MULCH BERM, SILT SOCK, AND/OR HAY BALE BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT UNTIL ALL NON-PAVED AREAS HAVE BEEN STABILIZED.
6. CONTRACTOR SHALL INSTALL EROSION CONTROL BLANKETS ON ALL STEEP SLOPE AREA (3:1 OR GREATER).
7. DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES INCLUDE, BUT NOT LIMITED TO: MOISTEN EXPOSED SOIL SURFACES PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST; MECHANICAL SWEEPERS ON PAVED SURFACES; WATERING WITH CRUSHED STONE OR COARSE GRAVEL.
8. THE CONTRACTOR SHALL HAVE ALL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING, BUT NOT LIMITED TO, INLET PROTECTION BARRIERS, PERIMETER SEDIMENT CONTROLS, AND STEEP SLOPE EROSION CONTROL BLANKETS INSPECTED BY A QUALIFIED PERSON AT LEAST ONCE A WEEK AND WITHIN 24 HOURS AFTER A RAIN EVENT OF 0.25 INCHES OR GREATER. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED, REPAIRED, MODIFIED, OR ADDITIONAL MEASURES INSTALLED AS NECESSARY TO ADDRESS EVOLVING CONDITIONS DURING CONSTRUCTION.
9. SEDIMENT CONTROL FILTER MEASURES SHALL BE REPLACED WHEN SEDIMENT REACHES 1/3 THE HEIGHT OF THE FILTER.
10. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
11. ALL DISTURBED AREAS NOT OTHERWISE BEING TREATED SHALL RECEIVE 6" LOAM, SEED AND FERTILIZER.

EROSION CONTROL OBSERVATIONS AND MAINTENANCE PRACTICES

- 1. THIS PROJECT DOES NOT EXCEED ONE (1) ACRE OF DISTURBANCE AND THUS DOES NOT REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP).

STABILIZATION:

- 1. AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:
A. BASE COURSE GRAVELS HAVE BEEN INSTALLED.
a. IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, ITEM 304.2 HAVE BEEN INSTALLED.
B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED;
D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
2. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
3. ALL ROADS, DRIVES AND PARKING AREA SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
4. WINTER STABILIZATION PRACTICES:
A. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE. MULCH SHALL BE ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS;
B. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS;
C. AFTER OCTOBER 15, INCOMPLETE ROAD, DRIVES, OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT;
D. FOR OVER-WINTER PROTECTION, A DOUBLE ROW OF SEDIMENT BARRIERS (SILT FENCE BACKED WITH HAY BALES OR EROSION CONTROL MIX, ETC.) SHALL BE PLACED WITHIN 75 FEET OF A PROTECTED NATURAL RESOURCE AREA.
5. STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. STABILIZATION MEASURES TO BE USED INCLUDE:
A. TEMPORARY SEEDING;
B. MULCHING.
6. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
7. WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN THESE AREAS, SILT FENCES, MULCH BERMS, HAY BALE BARRIERS AND ANY EARTH/DIQUES SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.
8. DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT FENCES, MULCH BERMS, HAY BALE BARRIERS, OR SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE TREATED FOR THE WINTER BY OCTOBER 15.

DUST CONTROL:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD.
2. DUST CONTROL METHODS SHALL INCLUDE, BUT BE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS,

- COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING.
3. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ADJUTING AREAS.

STOCKPILES:

- 1. LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND CULVERTS.
2. ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.
3. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.
4. PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCKS, OR OTHER APPROVED PRACTICE TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.

OFF SITE VEHICLE TRACKING:

- 1. THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION EXIT(S) PRIOR TO ANY EXCAVATION ACTIVITIES.

VEGETATION:

- 1. TEMPORARY GRASS COVER:
A. SEEDBED PREPARATION:
a. APPLY FERTILIZER AT THE RATE OF 600 POUNDS PER ACRE OF 10-10-10. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF THREE (3) TONS PER ACRE;
B. SEEDING:
a. UTILIZE ANNUAL RYE GRASS AT A RATE OF 40 LBS/ACRE;
b. WHERE THE SOIL HAS BEEN CONTACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF TWO (2) INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED;
c. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). HYDROSEEDINGS, WHICH INCLUDE MULCH, MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10% WHEN HYDROSEEDING;
C. MAINTENANCE:
a. TEMPORARY SEEDING SHALL BE PERIODICALLY INSPECTED. AT A MINIMUM, 95% OF THE SOIL SURFACE SHOULD BE COVERED BY VEGETATION. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND OTHER TEMPORARY MEASURES USED IN THE INTERIM (MULCH, FILTER BARRIERS, CHECK DAMS, ETC.).
2. PERMANENT MEASURES AND PLANTINGS:
A. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF THREE (3) TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5;
B. FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 800 POUNDS PER ACRE OF 10-20-20 FERTILIZER;
C. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4-1/2 POUNDS AND 5-1/2 POUNDS PER INCH OF WIDTH;
D. SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED OVER WITH A HAND ROLLER OVER 100 POUNDS PER LINEAR FOOT OF WIDTH;
E. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AS INDICATED ABOVE;
F. THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEED, AND ALL NOXIOUS WEEDS REMOVED;
G. THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED;
H. A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE APPLIED AT THE INDICATED RATE:
SEED MIX APPLICATION RATE
CREEPING RED FESCUE 20 LBS/ACRE
TALL FESCUE 20 LBS/ACRE
REDTOP 2 LBS/ACRE
IN NO CASE SHALL THE WEED CONTENT EXCEED ONE (1) PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. SEEDING SHALL BE DONE NO LATER THAN SEPTEMBER 15. IN NO CASE SHALL SEEDING TAKE PLACE OVER SNOW.
3. DORMANT SEEDING (SEPTEMBER 15 TO FIRST SNOWFALL):
A. FOLLOW PERMANENT MEASURES SLOPE, LIME, FERTILIZER AND GRADING REQUIREMENTS. APPLY SEED MIXTURE AT TWICE THE INDICATED RATE. APPLY MULCH AS INDICATED FOR PERMANENT MEASURES.

CONCRETE WASHOUT AREA:

- 1. THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY;
2. IF IT IS NECESSARY, THE SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER;
3. CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAST 150 FEET AWAY FROM STORM DRAINS, SWALES AND SURFACE WATERS OR DELINEATED WETLANDS;
4. INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.

ALLOWABLE NON-STORMWATER DISCHARGES:

- 1. THE FOLLOWING ARE THE ONLY STORMWATER DISCHARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE.
A. FIRE-FIGHTING ACTIVITIES;
B. FIRE HYDRANT FLUSHING;
C. WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED;
D. WATER USED TO WASH CONCRETE OR BRICKS;
E. POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHING;
F. ROUTINE EXTERNAL BUILDING WASH DOWN WHERE DETERGENTS ARE NOT USED;
G. PAVEMENT WASH WATERS WHERE DETERGENTS ARE NOT USED;
H. UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATION;
I. UNCONTAMINATED GROUND WATER OR SPRING WATER;
J. FOUNDATION OR FOOTING DRAINS WHICH ARE UNCONTAMINATED;
K. UNCONTAMINATED EXCAVATION Dewatering;
L. LANDSCAPE IRRIGATION.

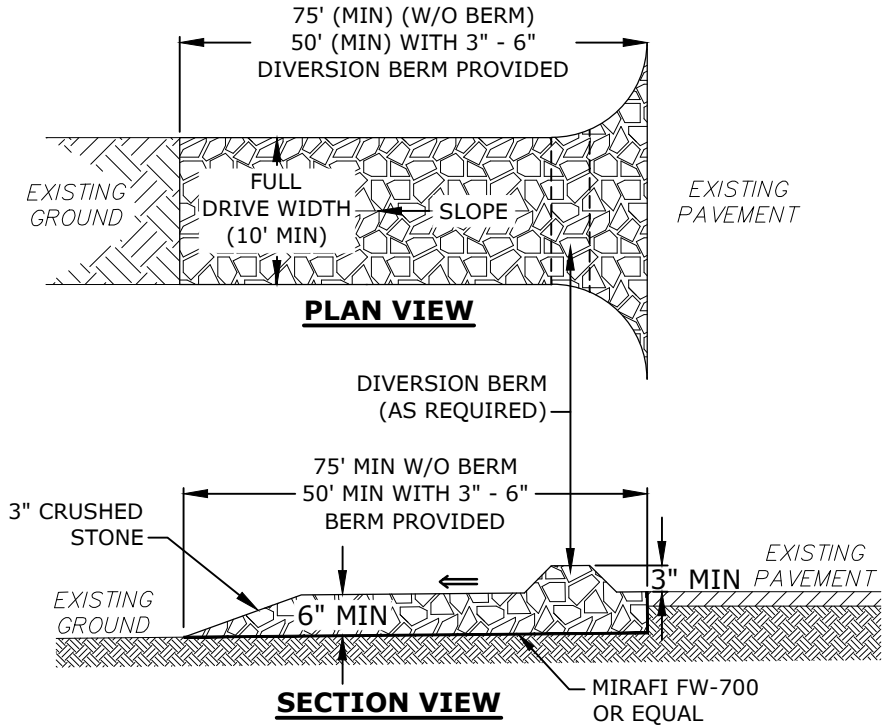
WASTE DISPOSAL:

- 1. WASTE MATERIAL:
A. ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS SHALL BE DEPOSITED IN A DUMPSTER;
B. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE;
C. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
2. HAZARDOUS WASTE:
A. ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER;
B. SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
3. SANITARY WASTE:
A. ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

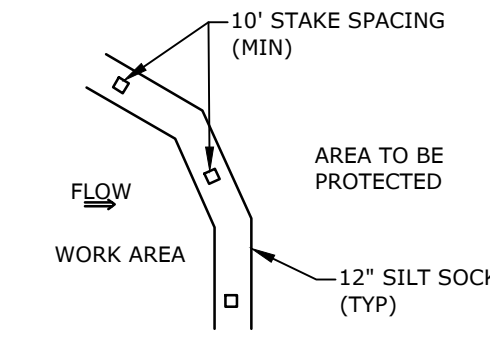
SPILL PREVENTION:

- 1. CONTRACTOR SHALL BE FAMILIAR WITH SPILL PREVENTION MEASURES REQUIRED BY ALL LOCAL, STATE AND FEDERAL REGULATIONS. AT A MINIMUM, CONTRACTOR SHALL FOLLOW THE BEST MANAGEMENT SPILL PREVENTION PRACTICES OUTLINED BELOW.
2. THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:
A. GOOD HOUSEKEEPING - THE FOLLOWING GOOD HOUSEKEEPING PRACTICE SHALL BE FOLLOWED ON SITE DURING CONSTRUCTION:
a. ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB SHALL BE STORED ON SITE;
b. ALL REGULATED MATERIALS STOCKED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE, ON AN IMPERVIOUS SURFACE;
c. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED;
d. THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS;
e. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER;
f. WHENEVER POSSIBLE ALL OF A PRODUCT SHALL BE USED UP BEFORE DISPOSING OF THE CONTAINER;
g. THE TRAINING OF ON-SITE EMPLOYEES AND THE ON-SITE POSTING OF RELEASE RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF REGULATED SUBSTANCES.
B. HAZARDOUS PRODUCTS - THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
a. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE;
b. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION;
c. SURPLUS PRODUCT THAT MUST BE DISPOSED OF SHALL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.
C. PRODUCT SPECIFIC PRACTICES - THE FOLLOWING PRODUCT SPECIFIC PRACTICES SHALL BE FOLLOWED ON SITE:
a. PETROLEUM PRODUCTS:
- ALL ON SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE;
- PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS;
- SECURE FUEL STORAGE AREAS AGAINST UNAUTHORIZED ENTRY;
- INSPECT FUEL STORAGE AREAS WEEKLY;
- WHEREVER POSSIBLE, KEEP REGULATED CONTAINERS THAT ARE STORED OUTSIDE MORE THAN 50 FEET FROM SURFACE WATER AND STORM DRAINS, 75 FEET FROM PRIVATE WELLS, AND 400 FEET FROM PUBLIC WELLS;
- COVER REGULATED CONTAINERS IN OUTSIDE STORAGE AREAS;
- SECONDARY CONTAINMENT IS REQUIRED FOR CONTAINERS CONTAINING REGULATED SUBSTANCES STORED OUTSIDE, EXCEPT FOR ON PREMISE USE HEATING FUEL TANKS, OR ABOVEGROUND OR UNDERGROUND STORAGE TANKS OTHERWISE REGULATED.
- THE FUEL HANDLING REQUIREMENTS SHALL INCLUDE:
(1) EXCEPT WHEN IN USE, KEEP CONTAINERS CONTAINING REGULATED SUBSTANCES CLOSED AND SEALED;
(2) PLACE DRIP PANS UNDER SPIGOTS, VALVES, AND PUMPS;
(3) HAVE SPILL CONTROL AND CONTAINMENT EQUIPMENT READILY AVAILABLE IN ALL WORK AREAS;
(4) USE FUNNELS AND DRIP PANS WHEN TRANSFERRING REGULATED SUBSTANCES;
(5) PERFORM TRANSFERS OF REGULATED SUBSTANCES OVER AN IMPERVIOUS SURFACE.
b. FUELING AND MAINTENANCE OF EXCAVATION, EARTHMOVING AND OTHER CONSTRUCTION RELATED EQUIPMENT SHALL COMPLY WITH THE REGULATIONS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES THESE REQUIREMENTS ARE SUMMARIZED IN WD-DWBG-22-6 BEST MANAGEMENT PRACTICES FOR FUELING AND MAINTENANCE OF EXCAVATION AND EARTHMOVING EQUIPMENT, OR ITS SUCCESSOR DOCUMENT.
https://www.des.nh.gov/sites/g/files/ehbenn341/files/documents/2020-01/dwbg-22-6.pdf
b. FERTILIZERS:
- FERTILIZERS USED SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS;
- ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE;
- EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM;
- EXCESS PAINT SHALL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.
D. SPILL CONTROL PRACTICES - IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
a. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES;
b. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHALL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE;
c. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY;
d. THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL SHALL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE;
e. SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE APPROPRIATE LOCAL, STATE OR FEDERAL AGENCIES AS REQUIRED;
f. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.
E. VEHICLE FUELING AND MAINTENANCE PRACTICE:
a. CONTRACTOR SHALL MAKE AN EFFORT TO PERFORM EQUIPMENT/VEHICLE FUELING AND MAINTENANCE AT AN OFF-SITE FACILITY;
b. CONTRACTOR SHALL PROVIDE AN ON-SITE FUELING AND MAINTENANCE AREA THAT IS CLEAN AND DRY;
c. IF POSSIBLE THE CONTRACTOR SHALL KEEP AREA COVERED;
d. CONTRACTOR SHALL KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA;
e. CONTRACTOR SHALL REGULARLY INSPECT VEHICLES FOR LEAKS AND DAMAGE;
f. CONTRACTOR SHALL USE DRIP PANS, DRIP CLOTHS, OR ABSORBENT PADS WHEN REPLACING SPENT FLUID.

- (3) HAVE SPILL CONTROL AND CONTAINMENT EQUIPMENT READILY AVAILABLE IN ALL WORK AREAS;
(4) USE FUNNELS AND DRIP PANS WHEN TRANSFERRING REGULATED SUBSTANCES;
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b. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHALL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE;
c. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY;
d. THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL SHALL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE;
e. SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE APPROPRIATE LOCAL, STATE OR FEDERAL AGENCIES AS REQUIRED;
f. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.
E. VEHICLE FUELING AND MAINTENANCE PRACTICE:
a. CONTRACTOR SHALL MAKE AN EFFORT TO PERFORM EQUIPMENT/VEHICLE FUELING AND MAINTENANCE AT AN OFF-SITE FACILITY;
b. CONTRACTOR SHALL PROVIDE AN ON-SITE FUELING AND MAINTENANCE AREA THAT IS CLEAN AND DRY;
c. IF POSSIBLE THE CONTRACTOR SHALL KEEP AREA COVERED;
d. CONTRACTOR SHALL KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA;
e. CONTRACTOR SHALL REGULARLY INSPECT VEHICLES FOR LEAKS AND DAMAGE;
f. CONTRACTOR SHALL USE DRIP PANS, DRIP CLOTHS, OR ABSORBENT PADS WHEN REPLACING SPENT FLUID.



STABILIZED CONSTRUCTION EXIT
NO SCALE

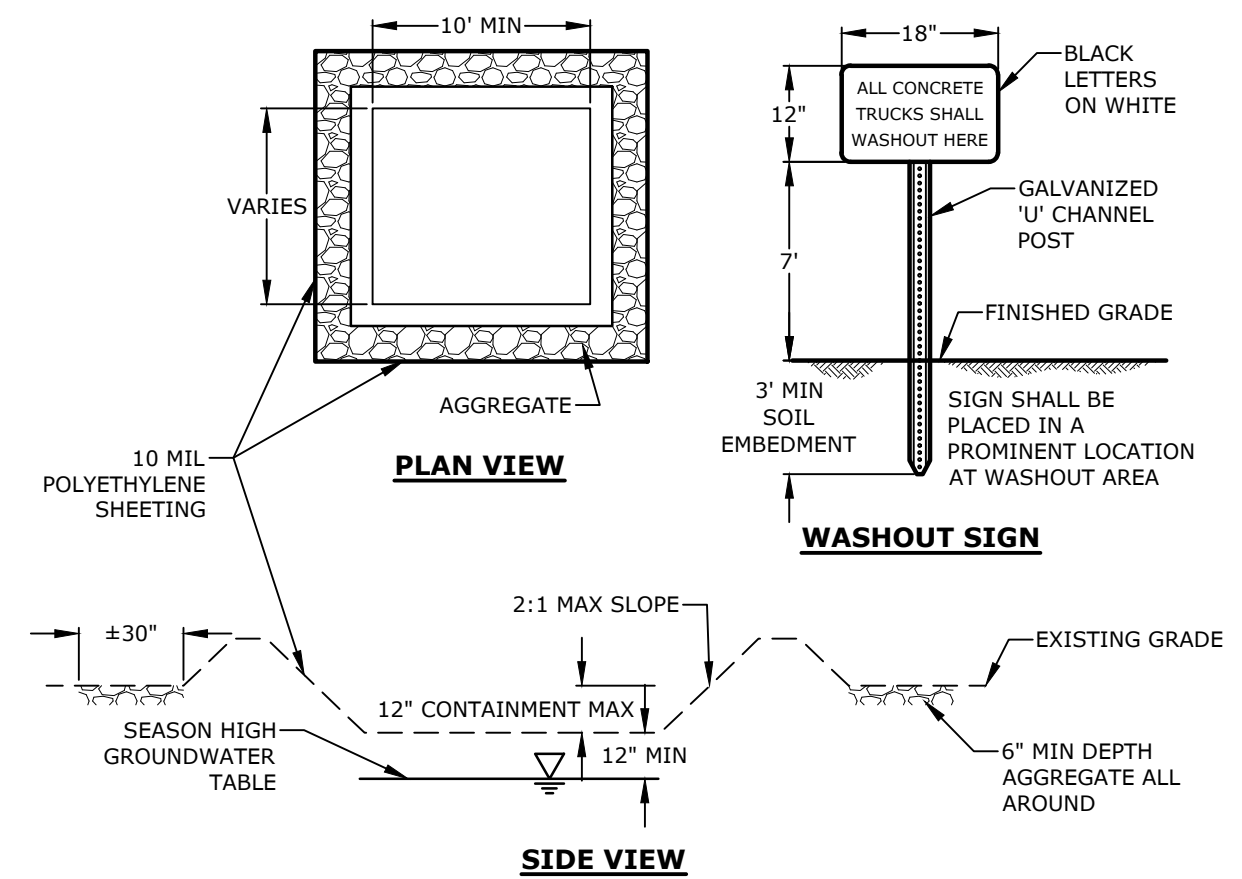


SILT SOCK
NO SCALE

NOTES:

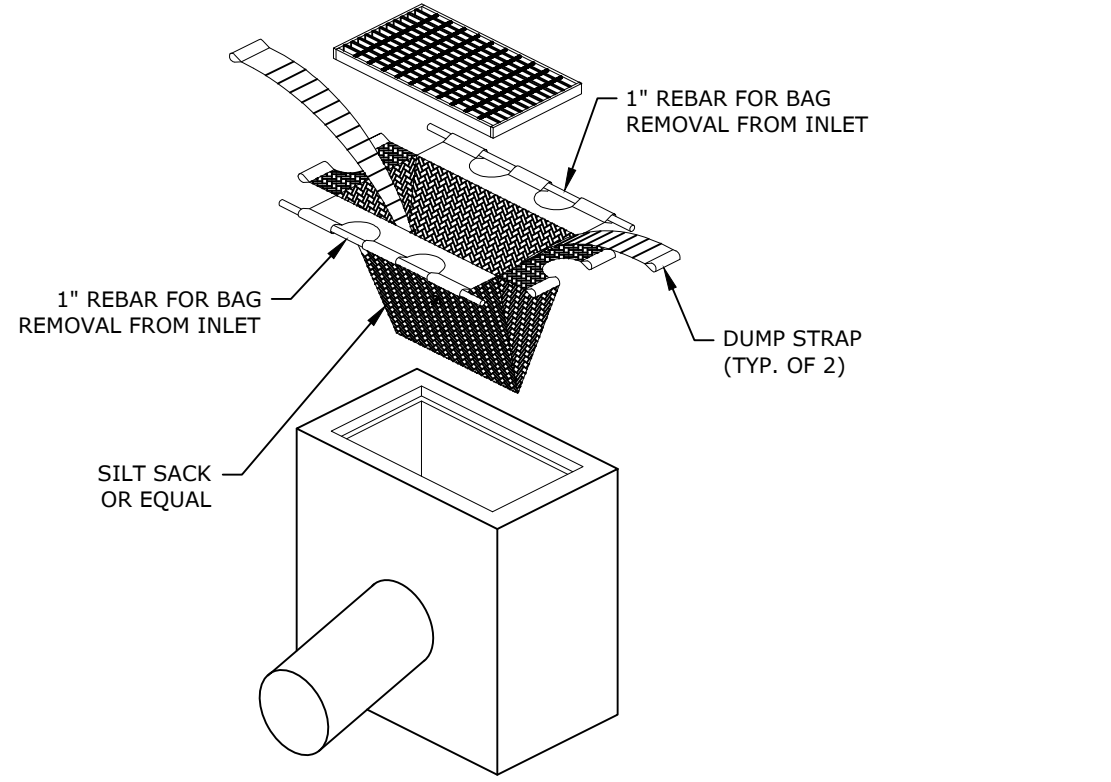
- 1. SILT SOCK SHALL BE SILT SOXX BY FILTREXX OR EQUAL.
2. SILT SOCK SHALL BE FILLED WITH A CERTIFIED COMPOST FILTERMEDIA BY FILTREXX OR EQUAL.
3. WHERE TWO SILT SOCKS ARE JOINED, A MINIMUM OF 2 FEET OF OVERLAP SHALL BE MAINTAINED.
4. CONTRACTOR SHALL INSTALL SILT SOCK IN "J-HOOK" OR "SMILE" CONFIGURATION TO LIMIT CONCENTRATION OF STORMWATER RUNOFF AT A SINGLE DISCHARGE POINT AS PER RECOMMENDATIONS IN THE "NEW HAMPSHIRE STORMWATER MANUAL VOLUME 3: EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION".
5. SILT SOCKS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

EROSION CONTROL BLANKET
NO SCALE



- NOTES:
1. CONTAINMENT SHALL BE STRUCTURALLY SOUND AND LEAK FREE AND CONTAIN ALL LIQUID WASTES.
2. CONTAINMENT DEVICES MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED.
3. WASHOUT SHALL BE CLEANED OR NEW FACILITIES CONSTRUCTED AND READY TO USE ONCE WASHOUT IS 75% FULL.
4. WASHOUT DEVICES SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS
5. ONE OR MORE AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
6. AT LEAST WEEKLY, REMOVE ACCUMULATION OF SAND AND AGGREGATE AND DISPOSE OF PROPERLY.

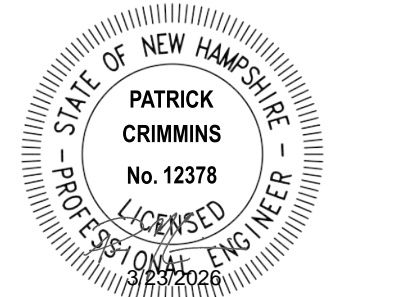
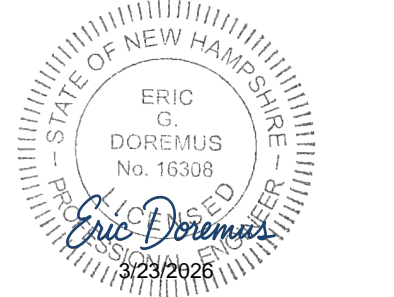
CONCRETE WASHOUT AREA
NO SCALE



- NOTES:
1. INLET PROTECTION BARRIER SHALL BE SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL.
2. INLET PROTECTION BARRIER SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASINS LOCATED WITHIN THE LIMIT OF WORK.
3. SILT SACK SHALL BE INSPECTED REGULARLY AND MAINTAIN IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

INLET PROTECTION BARRIER
NO SCALE

Tighe & Bond
177 Corporate Drive
Portsmouth, NH 03801
T 603.433.8818



New Franklin School

City of Portsmouth

Portsmouth, New Hampshire

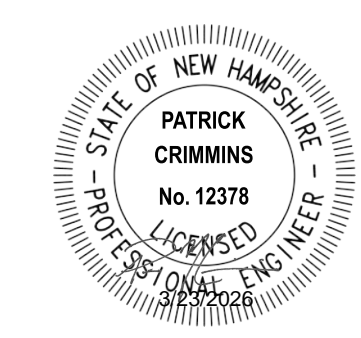
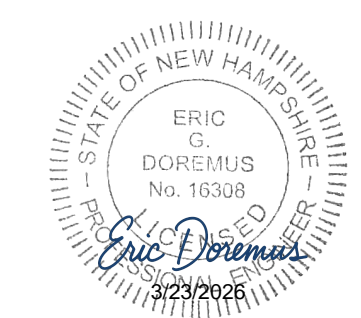
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FILE:	P0766-0009-DTLS.dwg	
DRAWN BY:	MKF	
DESIGNED BY:	EGD	
CHECKED BY:	EGD	
APPROVED BY:		

EROSION CONTROL NOTES & DETAILS SHEET

SCALE: AS SHOWN

C-600

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New Franklin School

City of Portsmouth

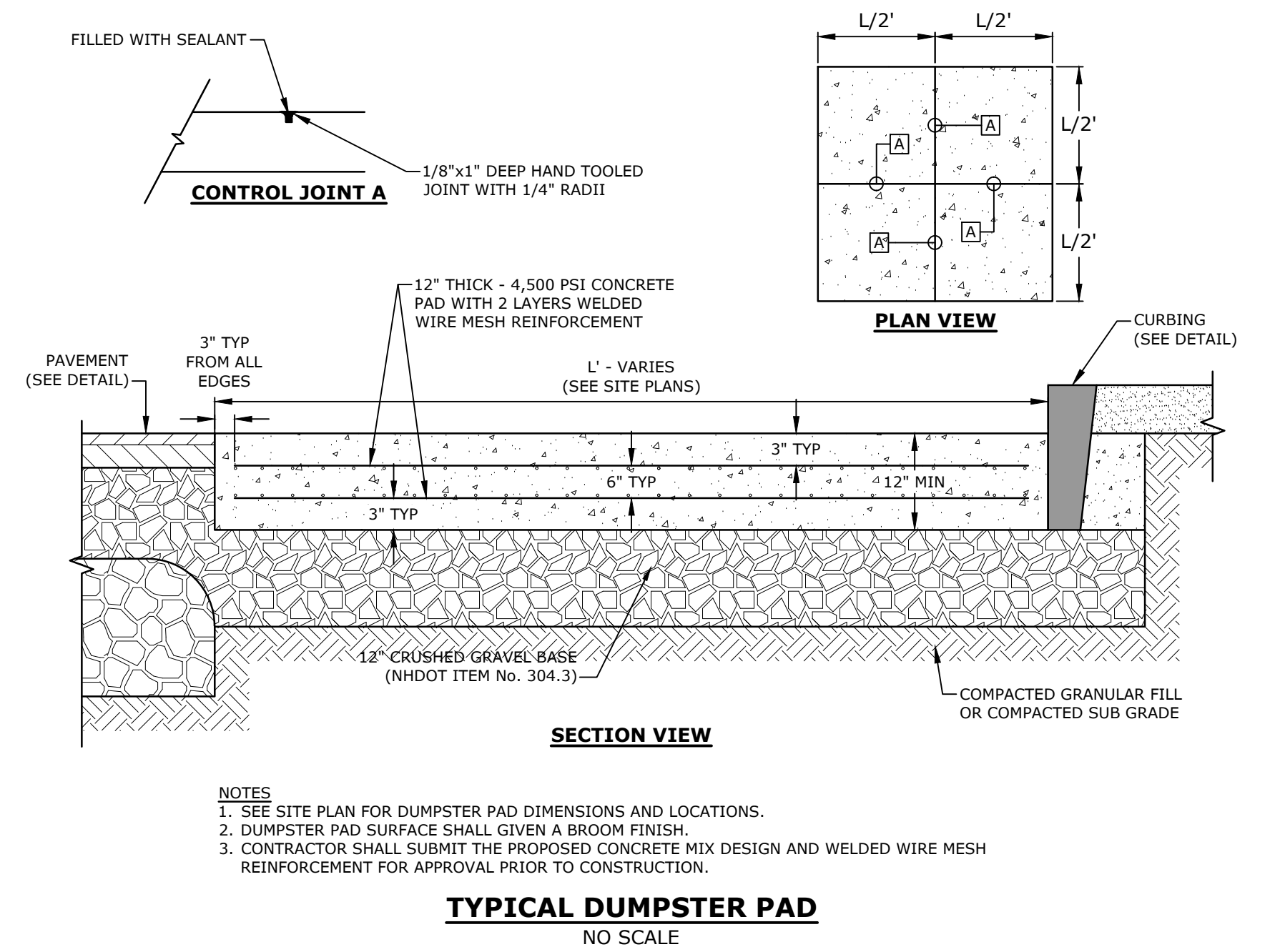
Portsmouth, New Hampshire

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APPROVED BY:		

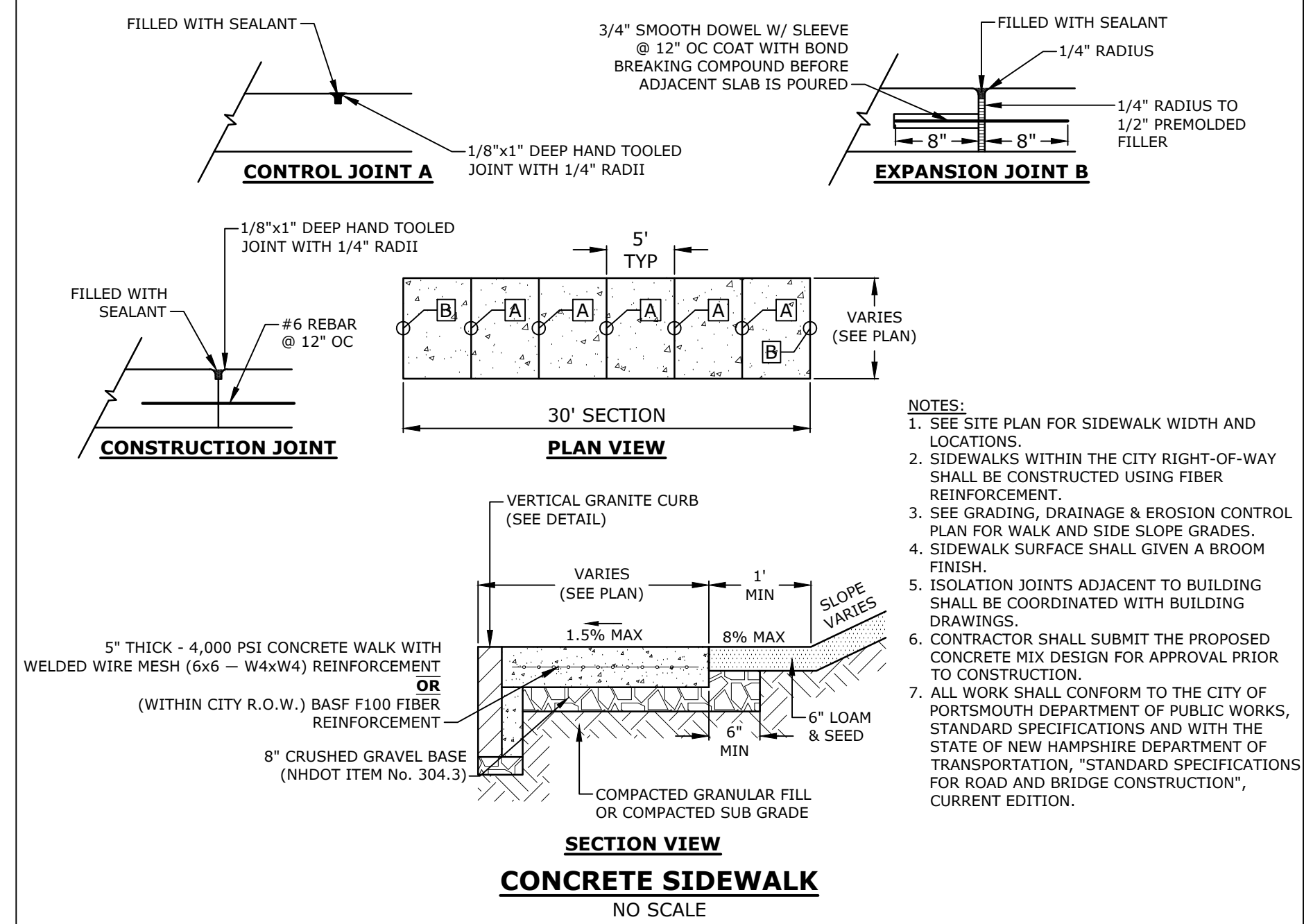
DETAILS SHEET

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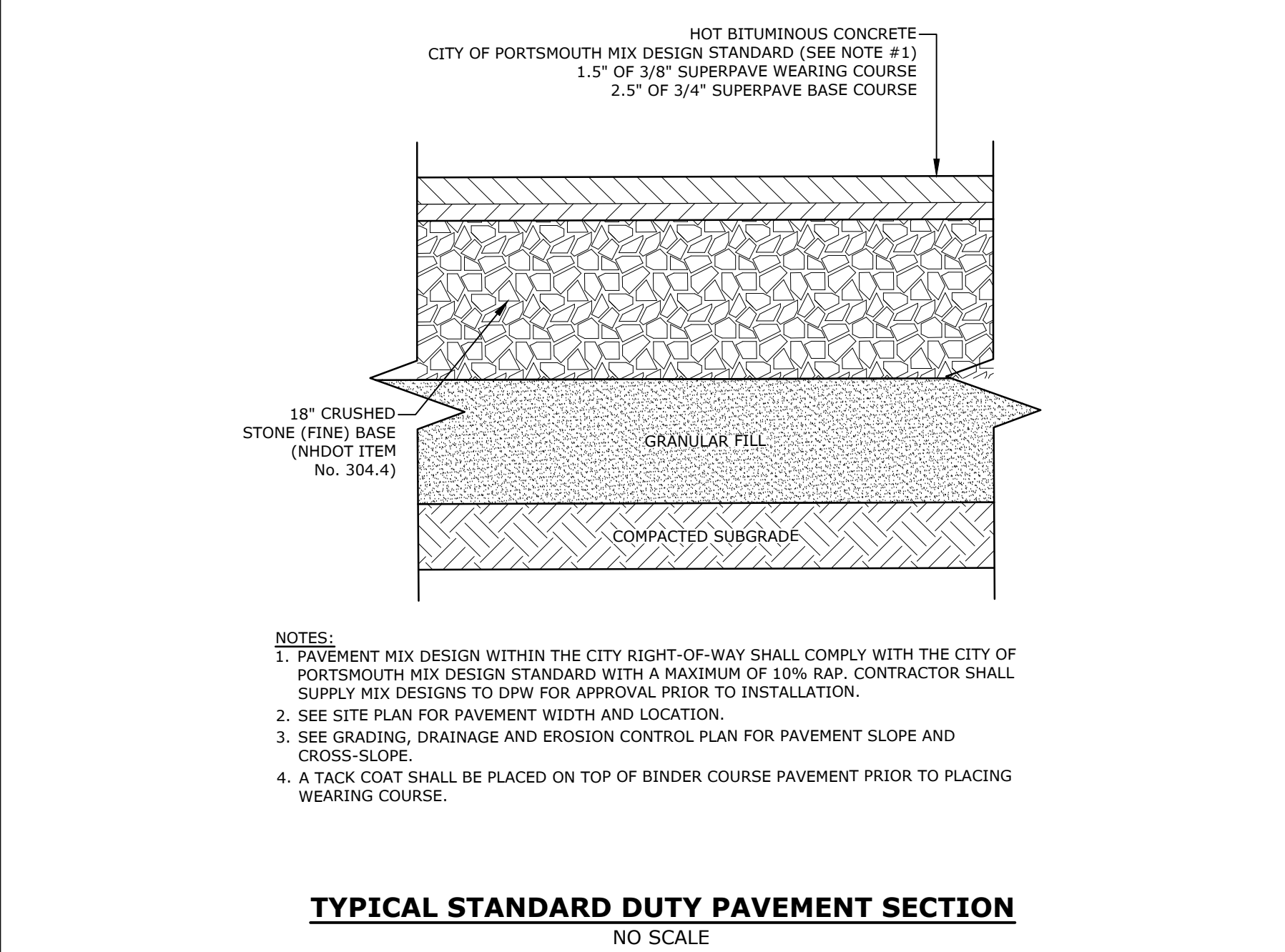
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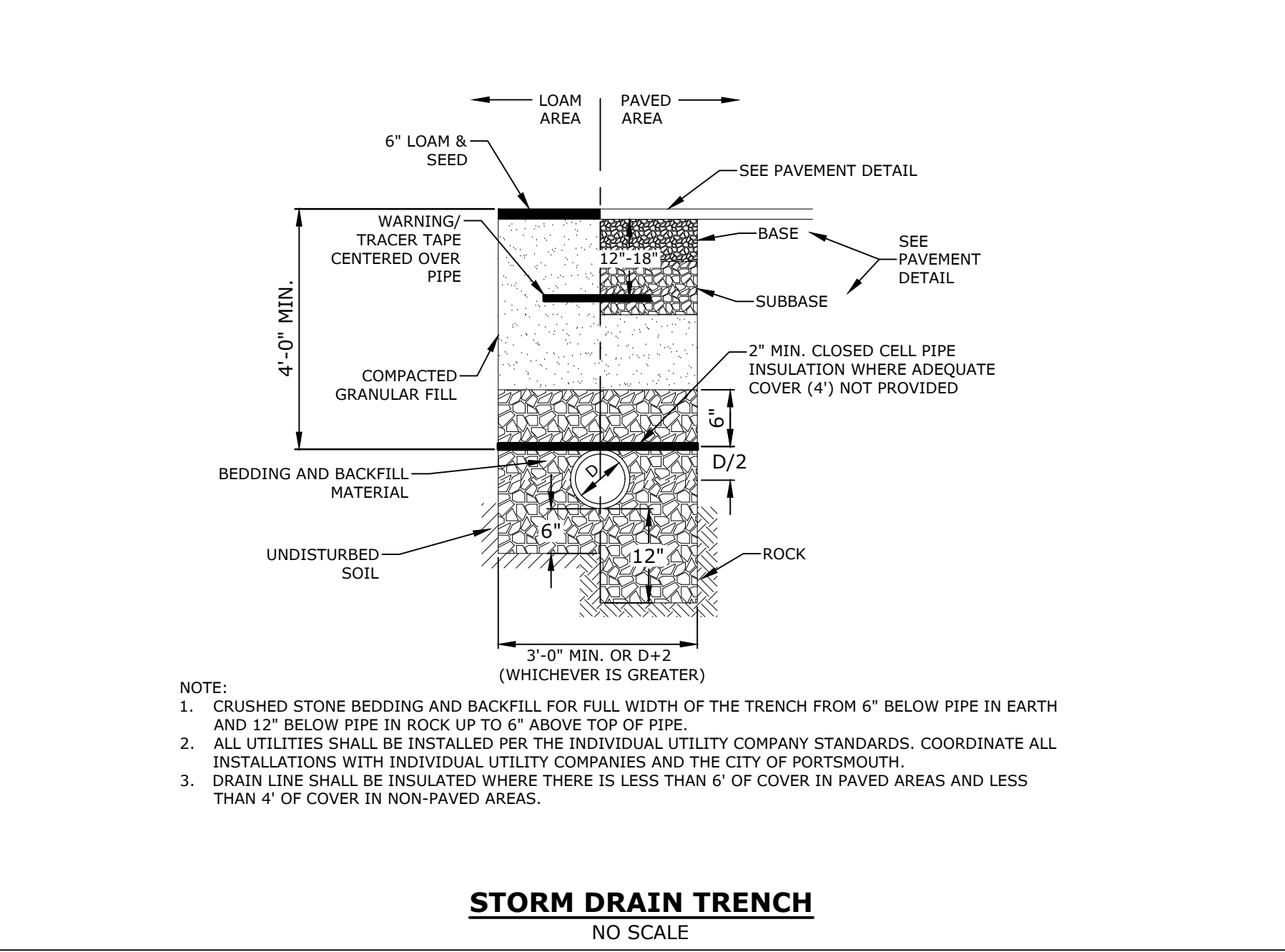
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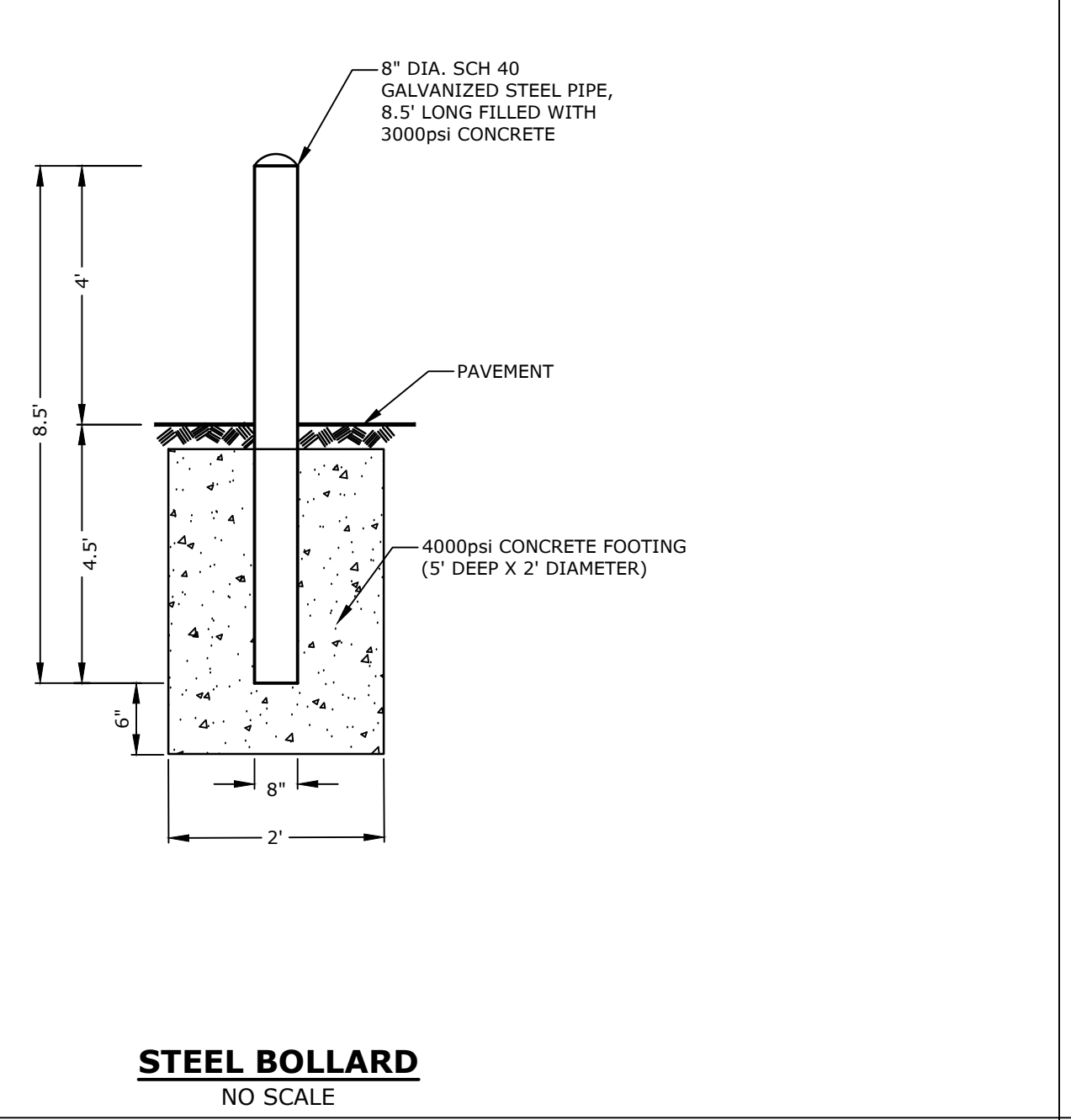
CONCRETE SIDEWALK
NO SCALE



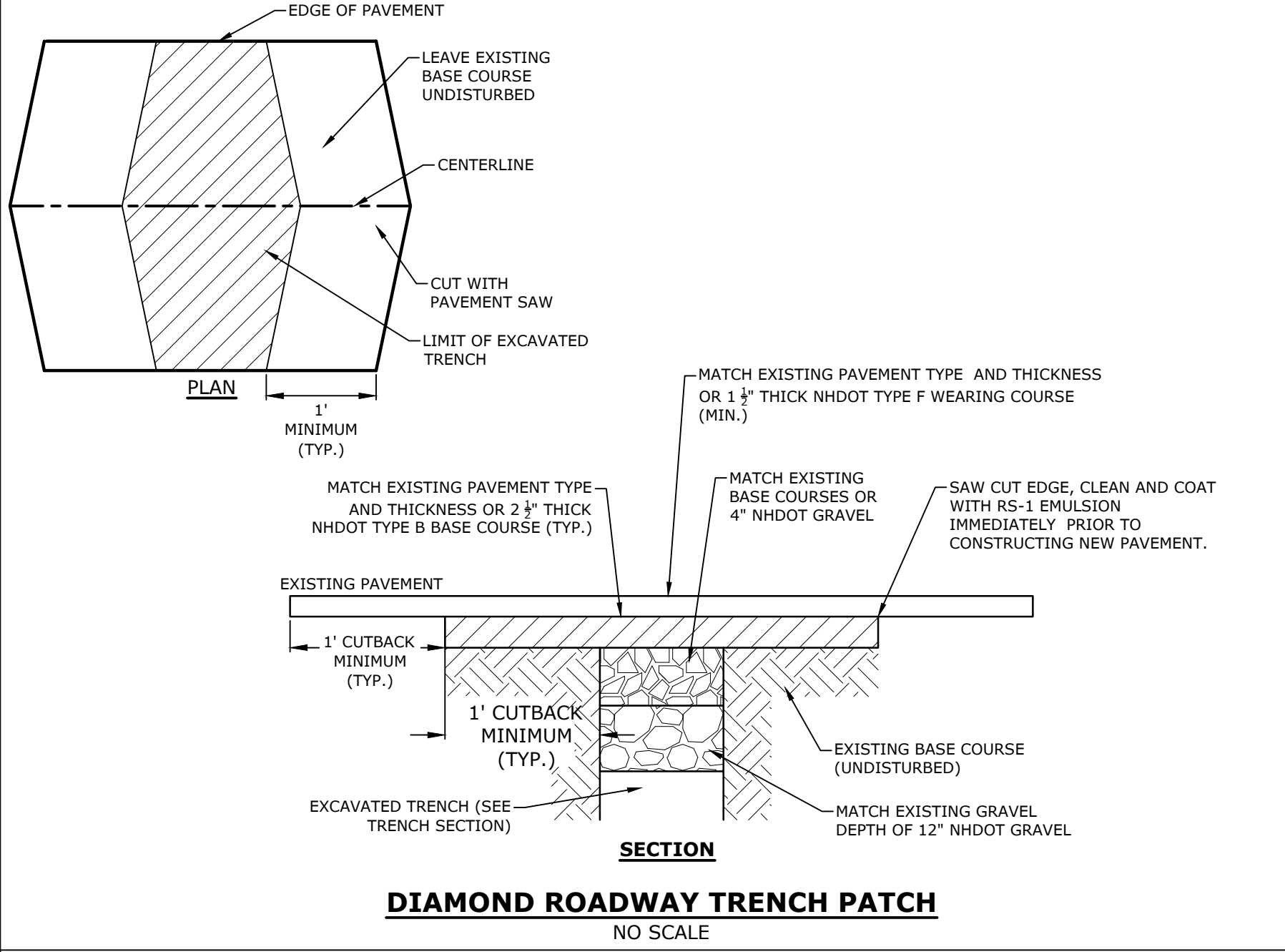
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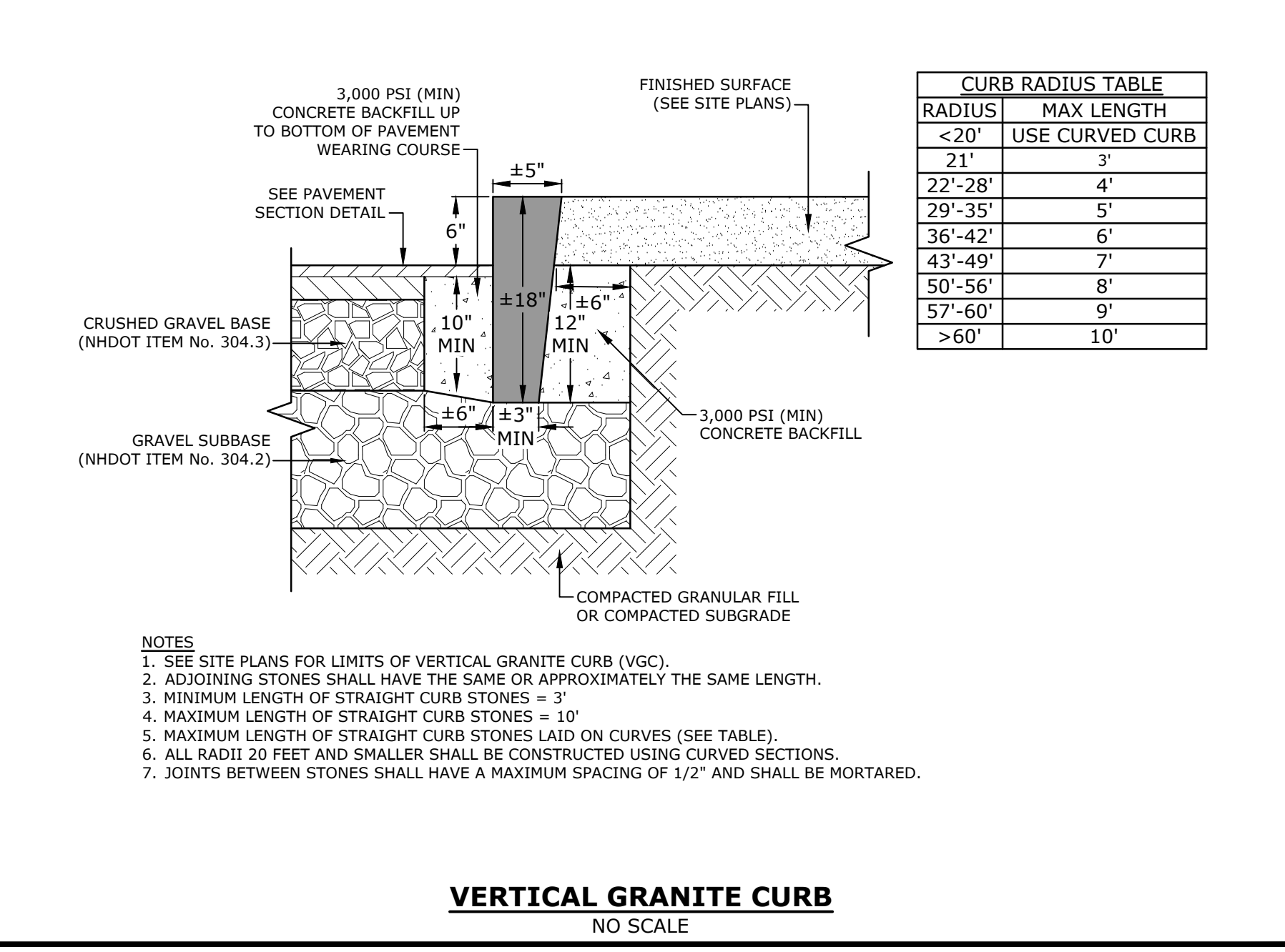
STORM DRAIN TRENCH
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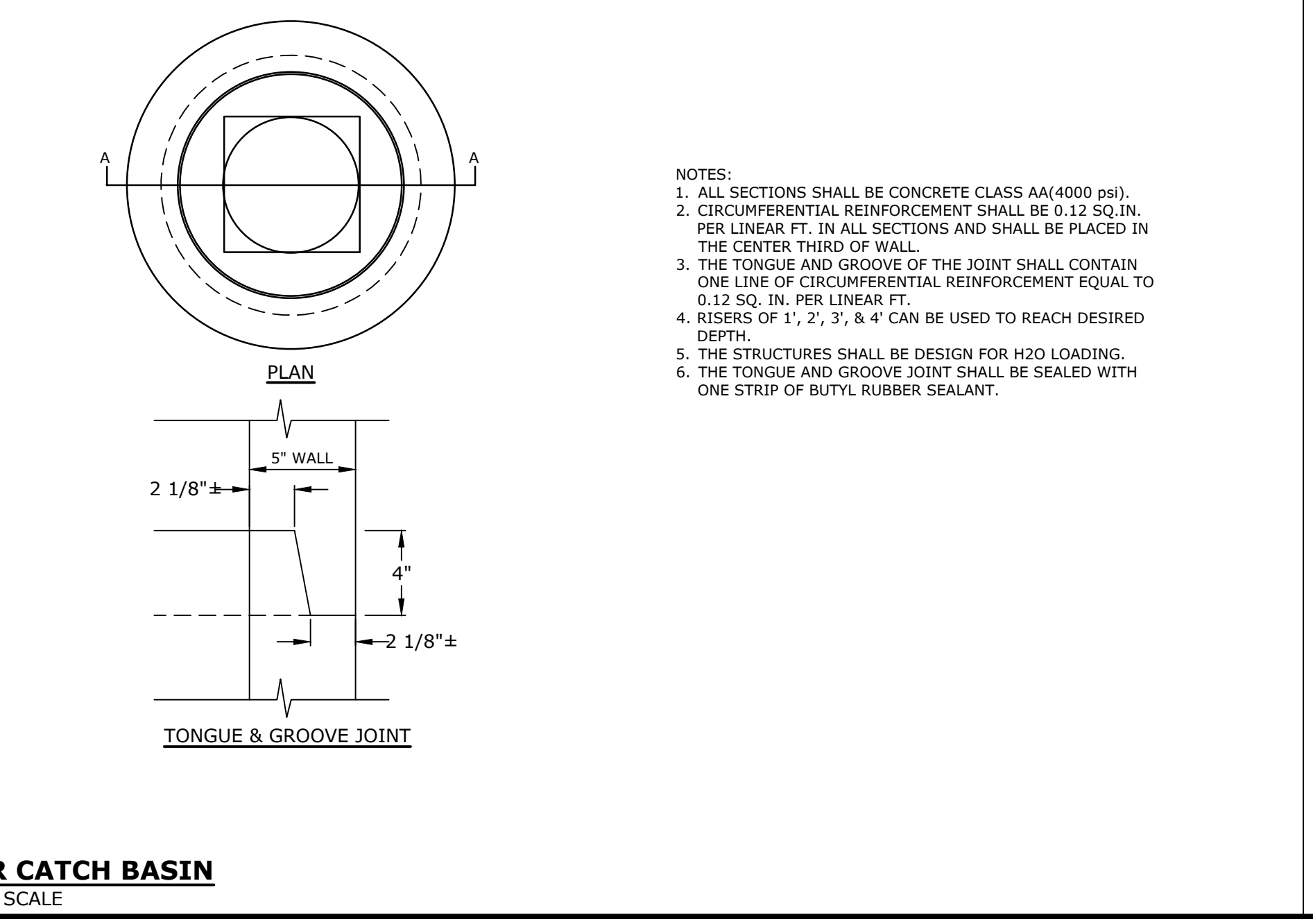
STEEL BOLLARD
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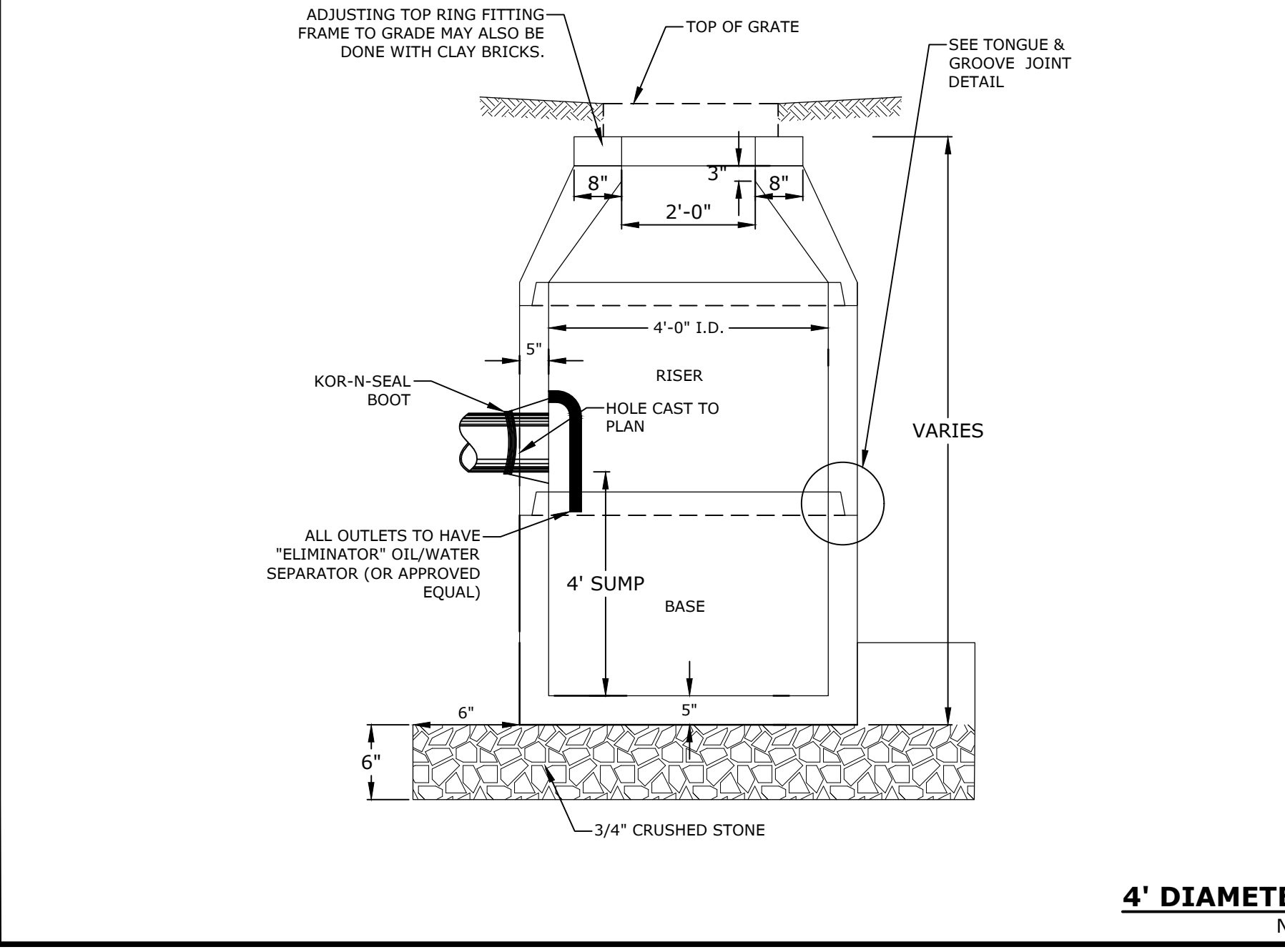
DIAMOND ROADWAY TRENCH PATCH
NO SCALE



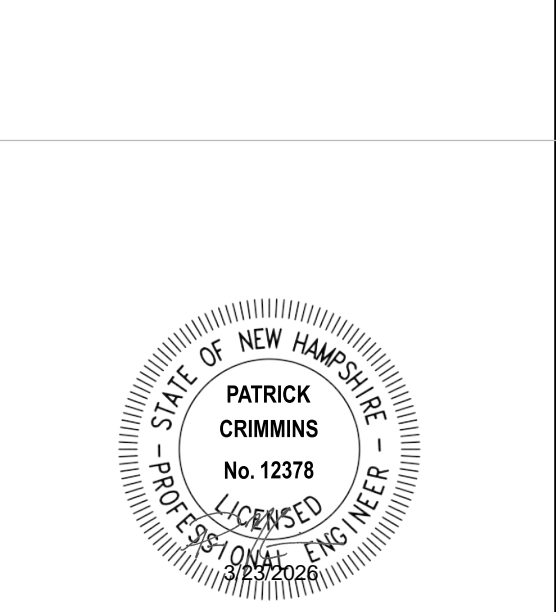
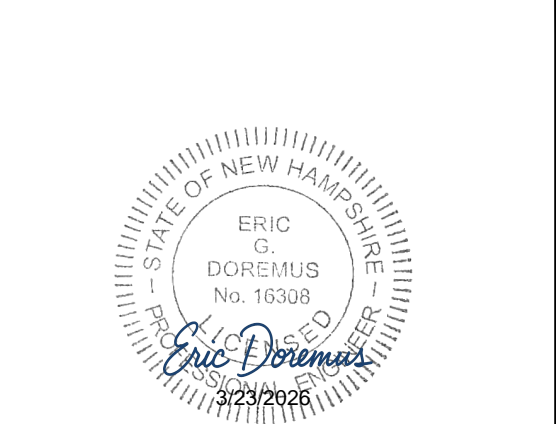
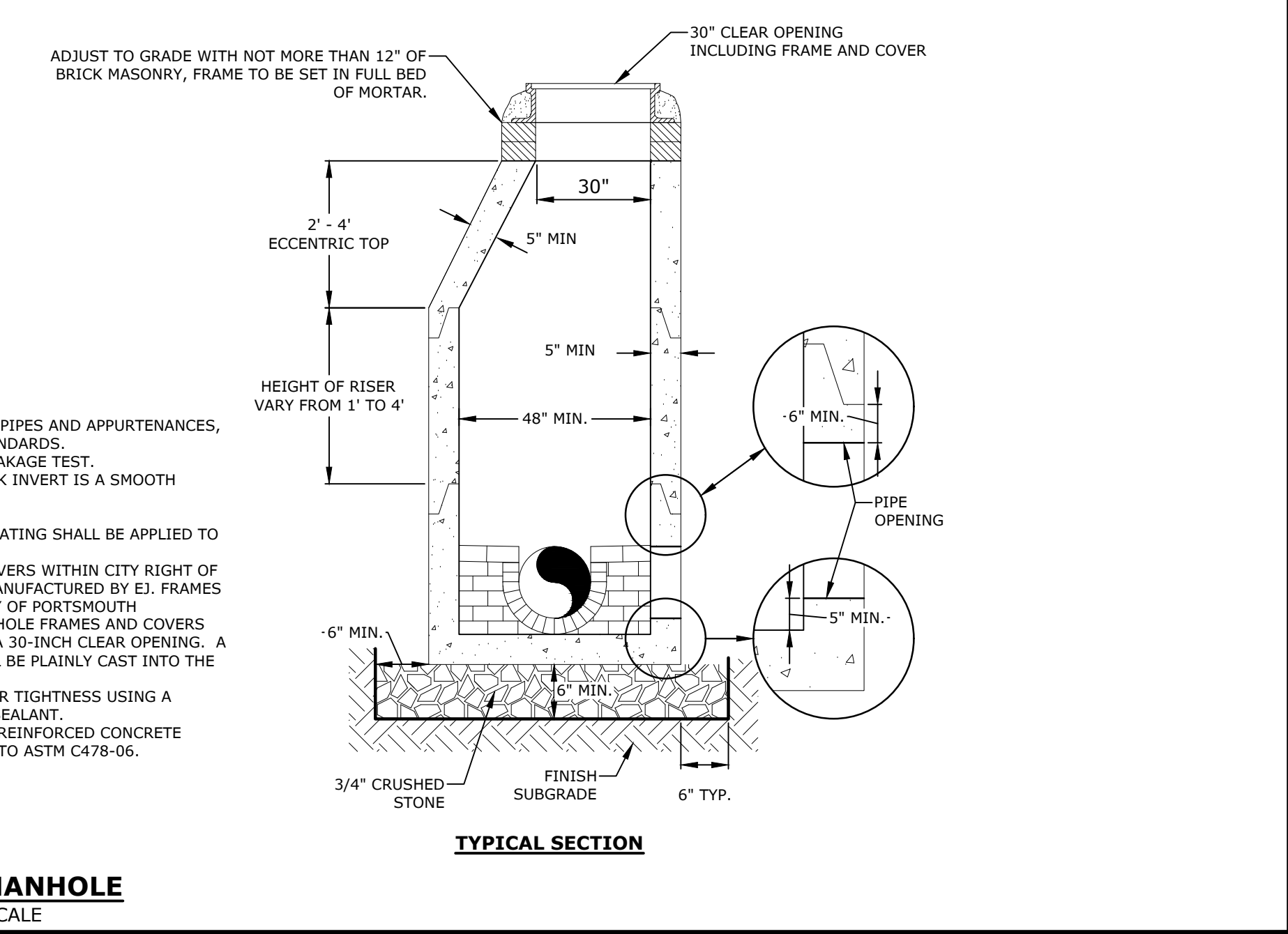
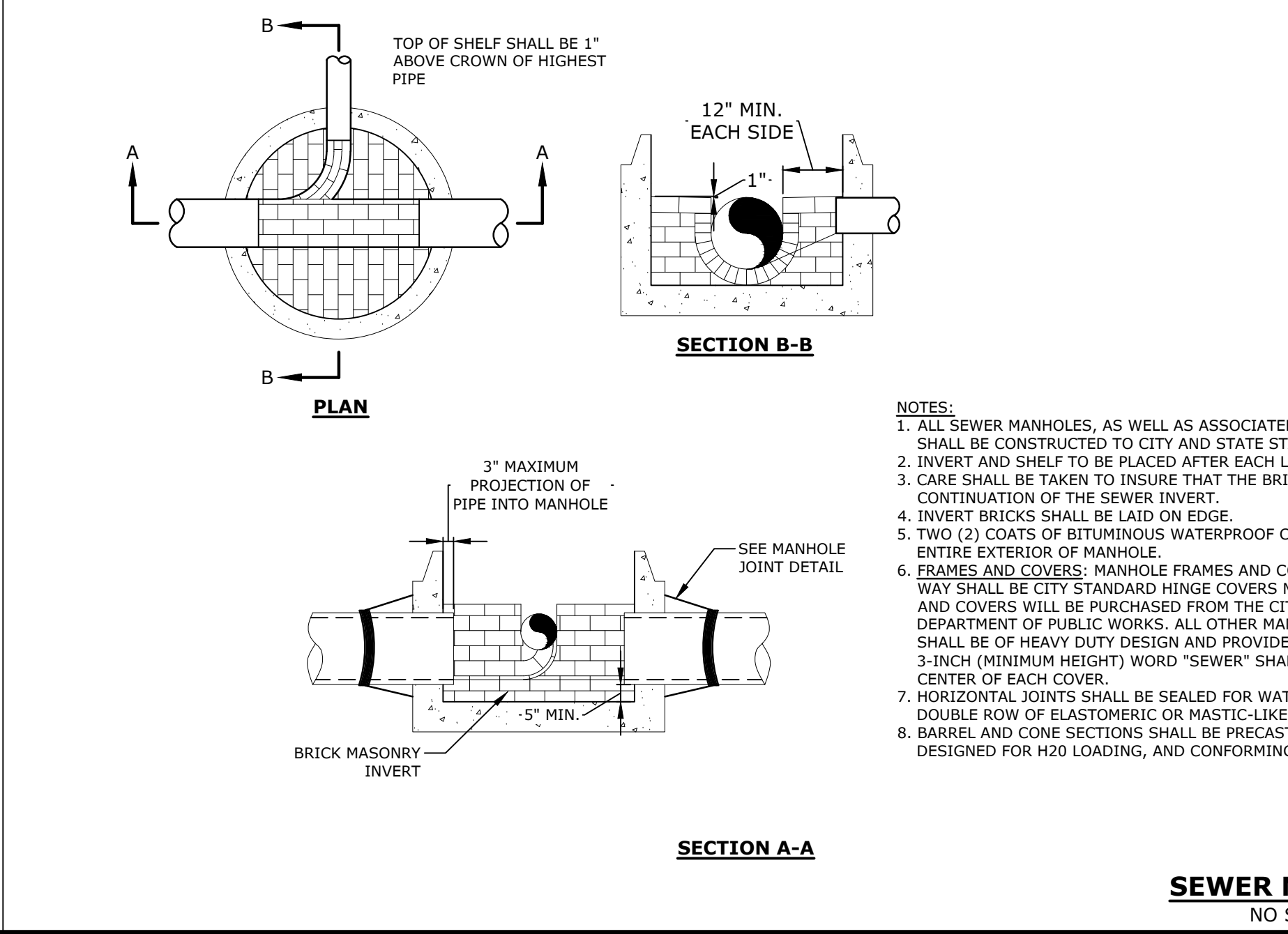
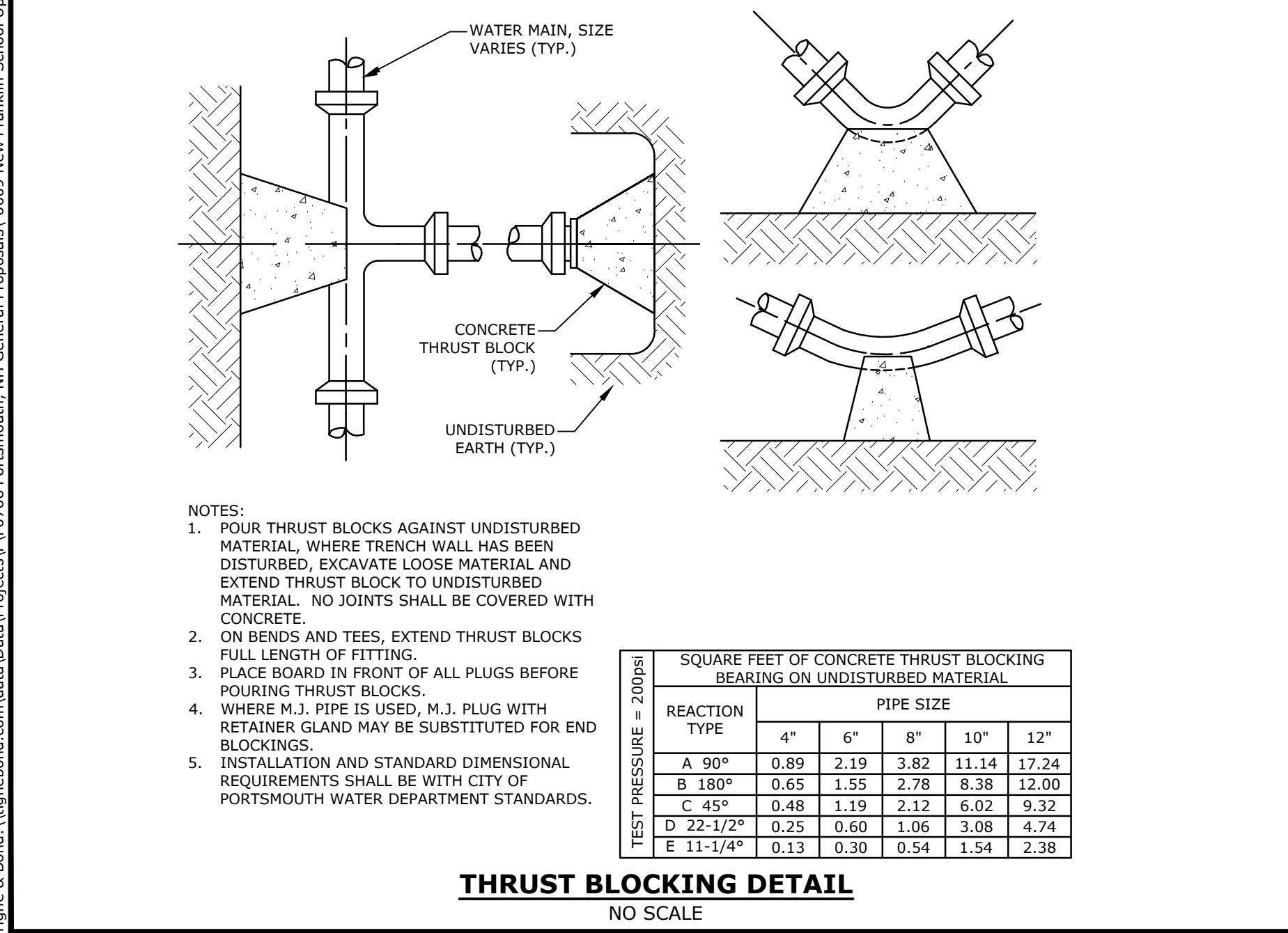
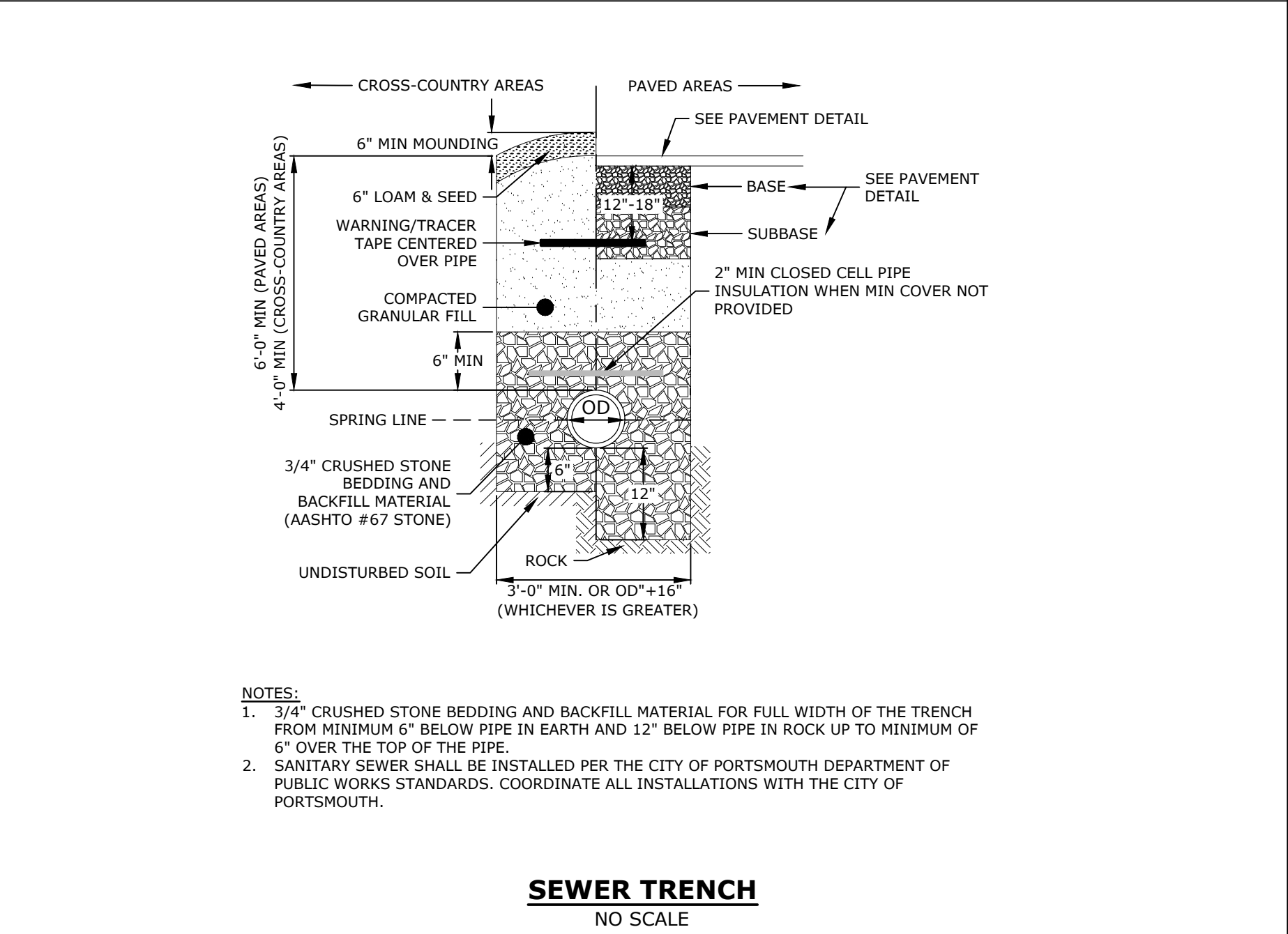
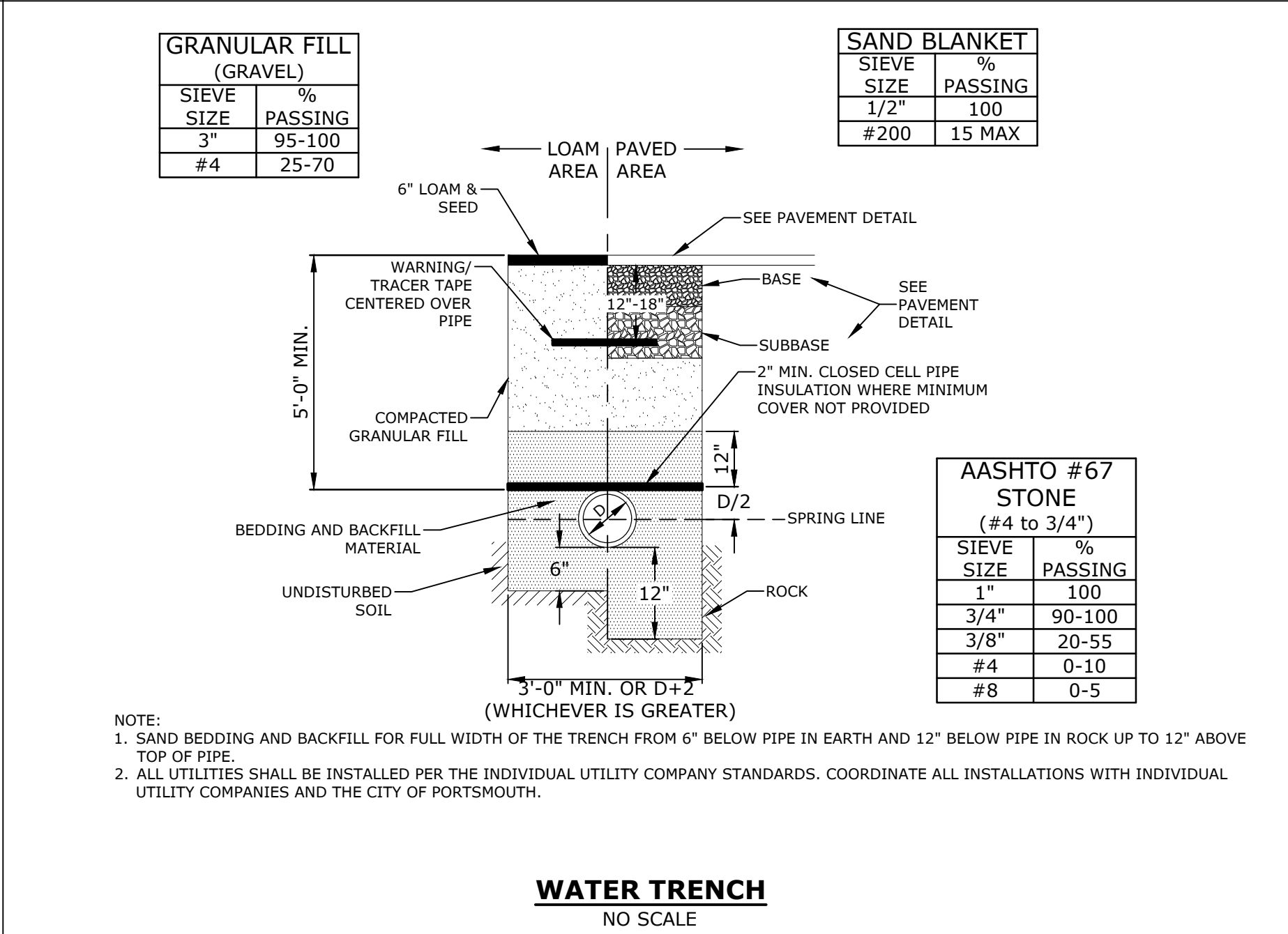
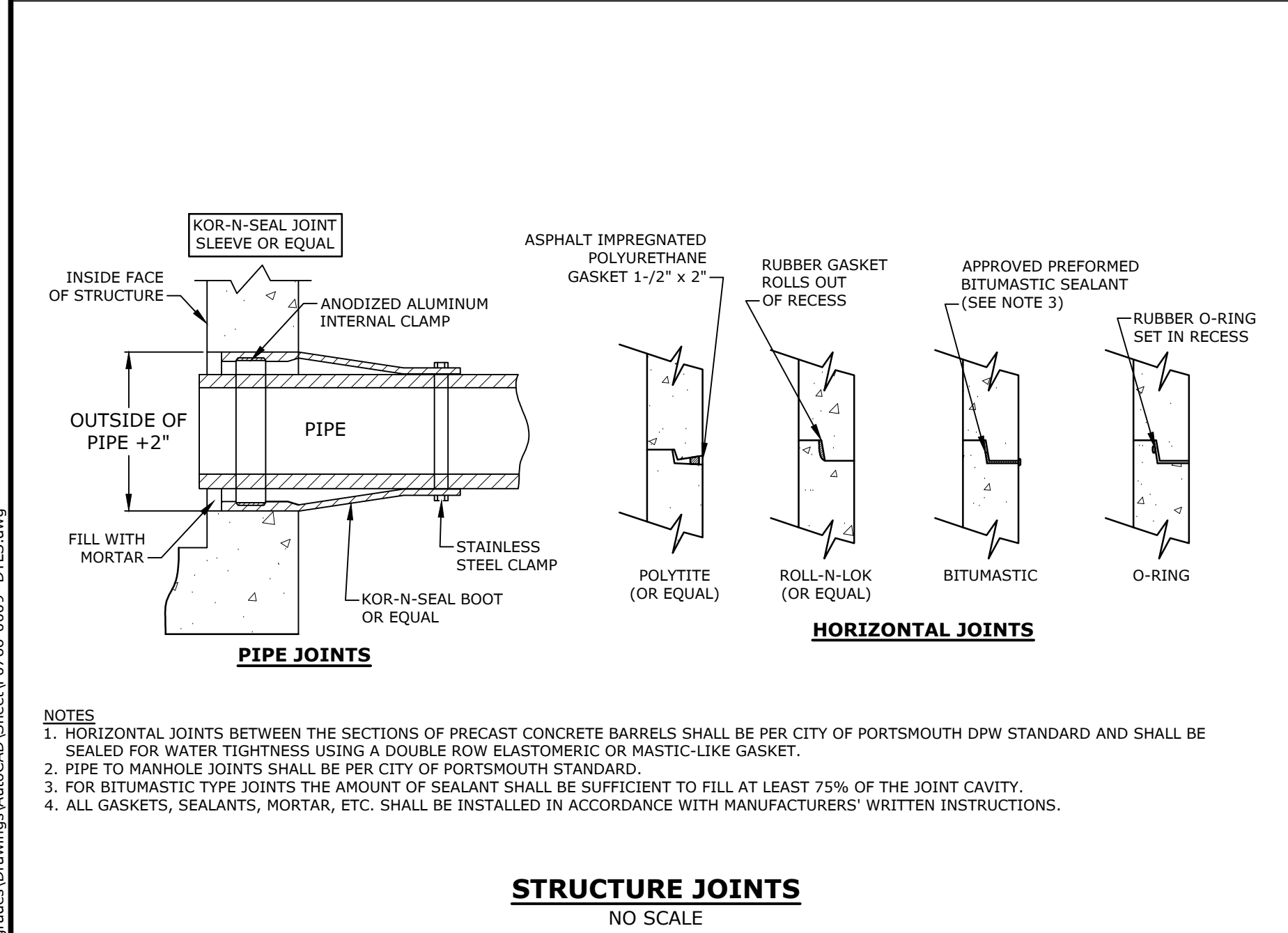
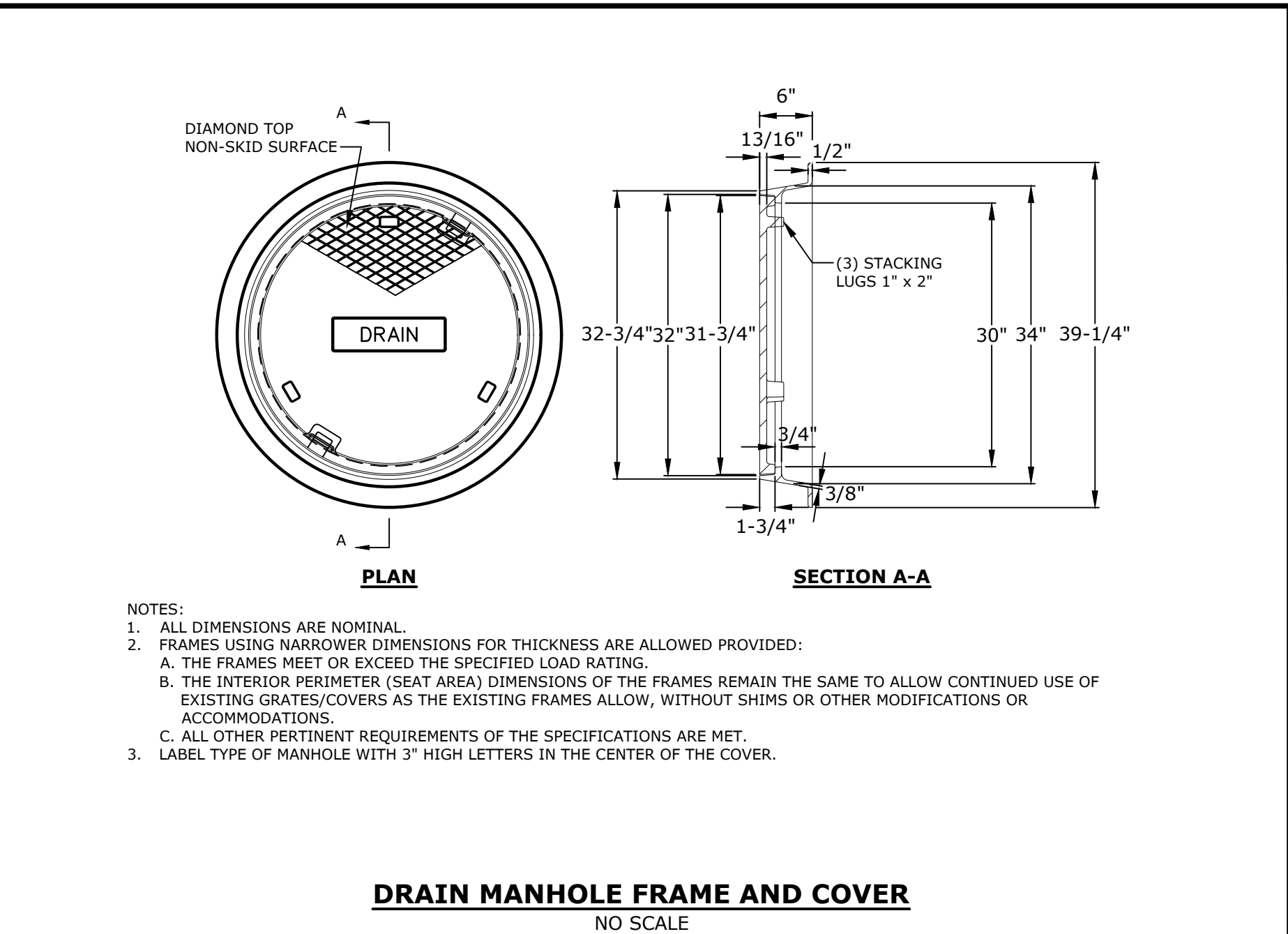
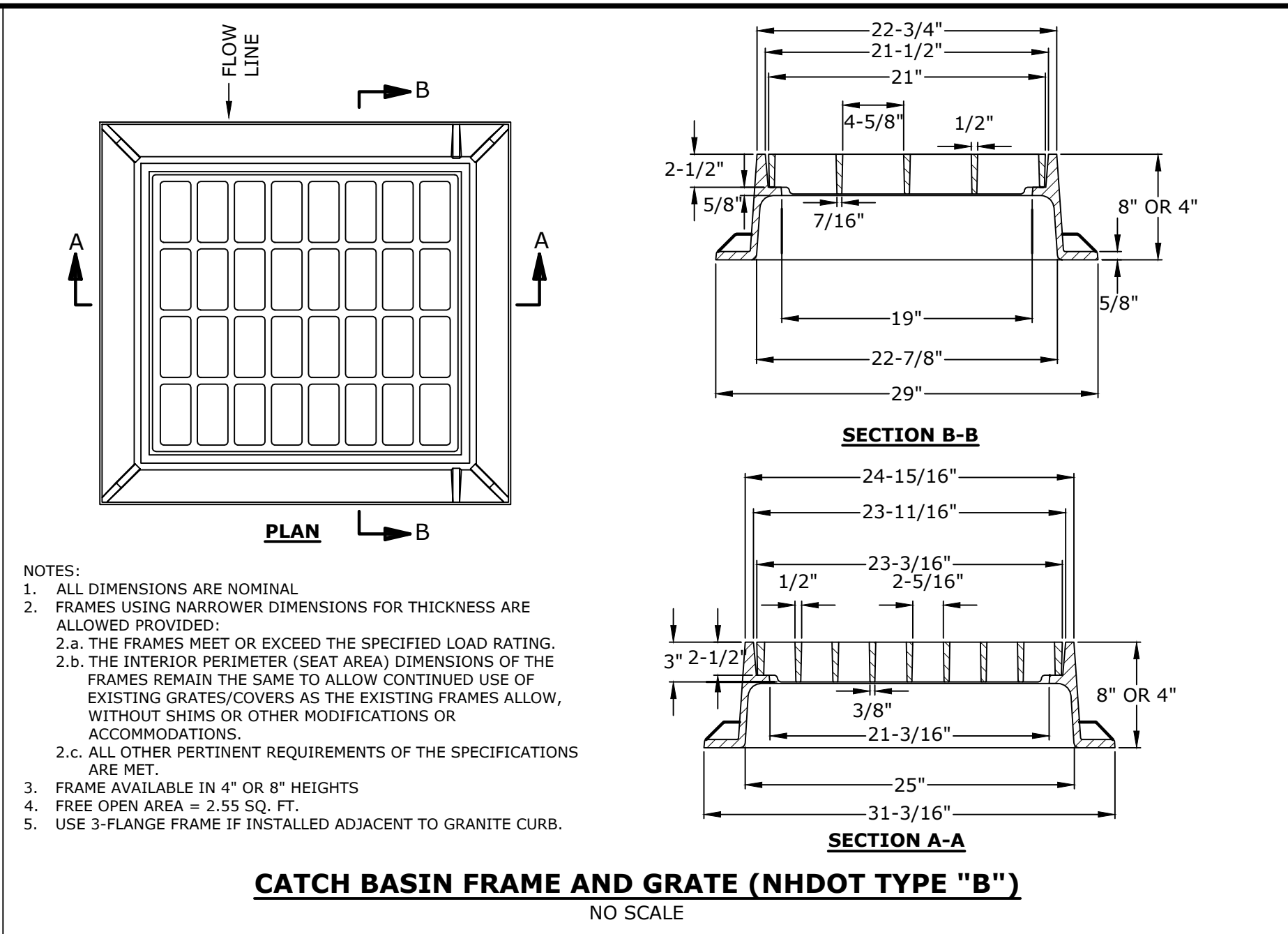
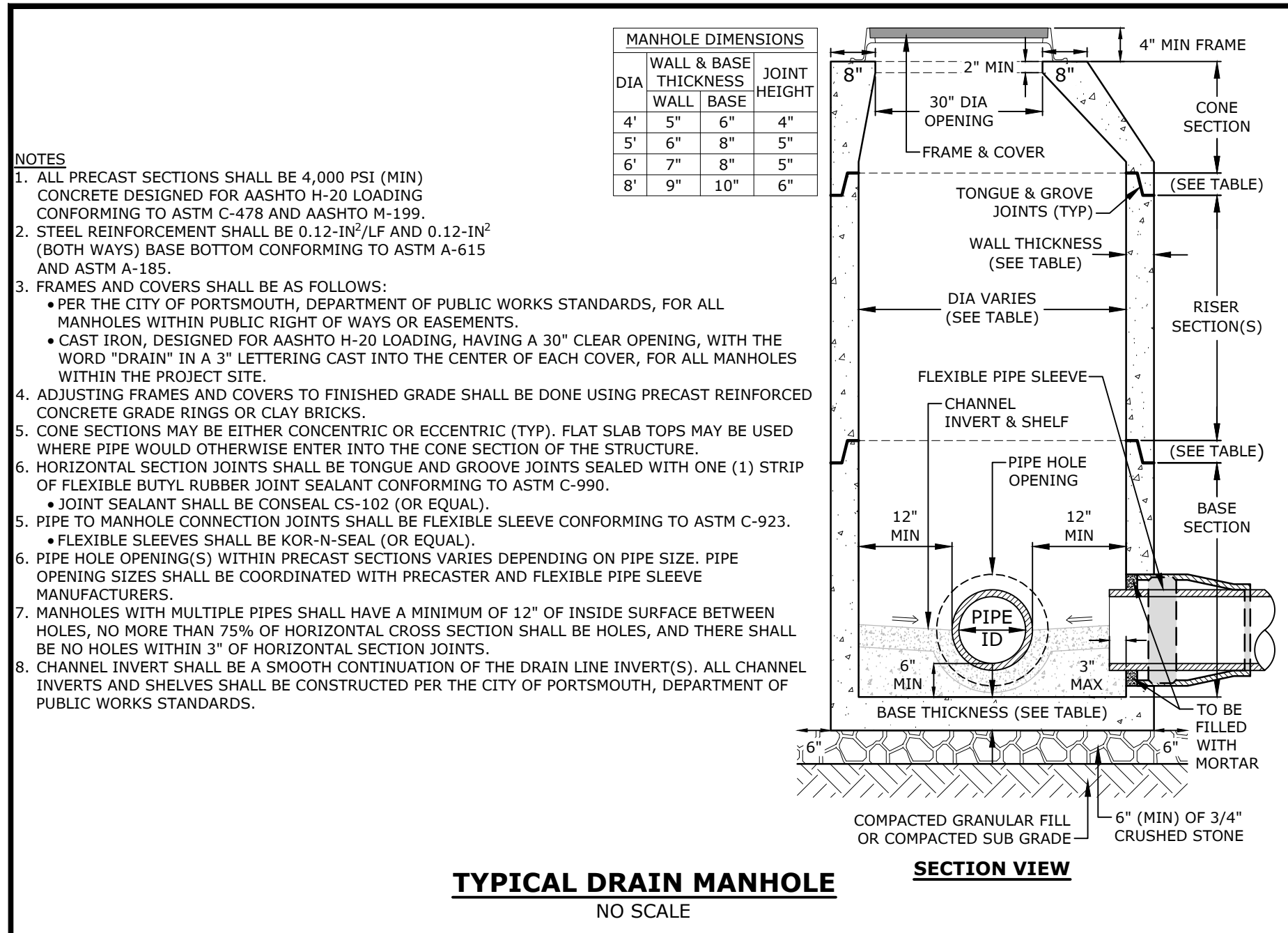
VERTICAL GRANITE CURB
NO SCALE



4' DIAMETER CATCH BASIN
NO SCALE



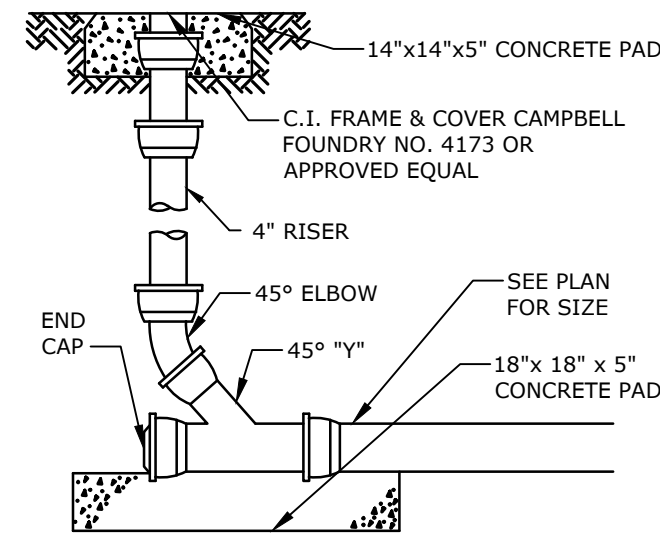
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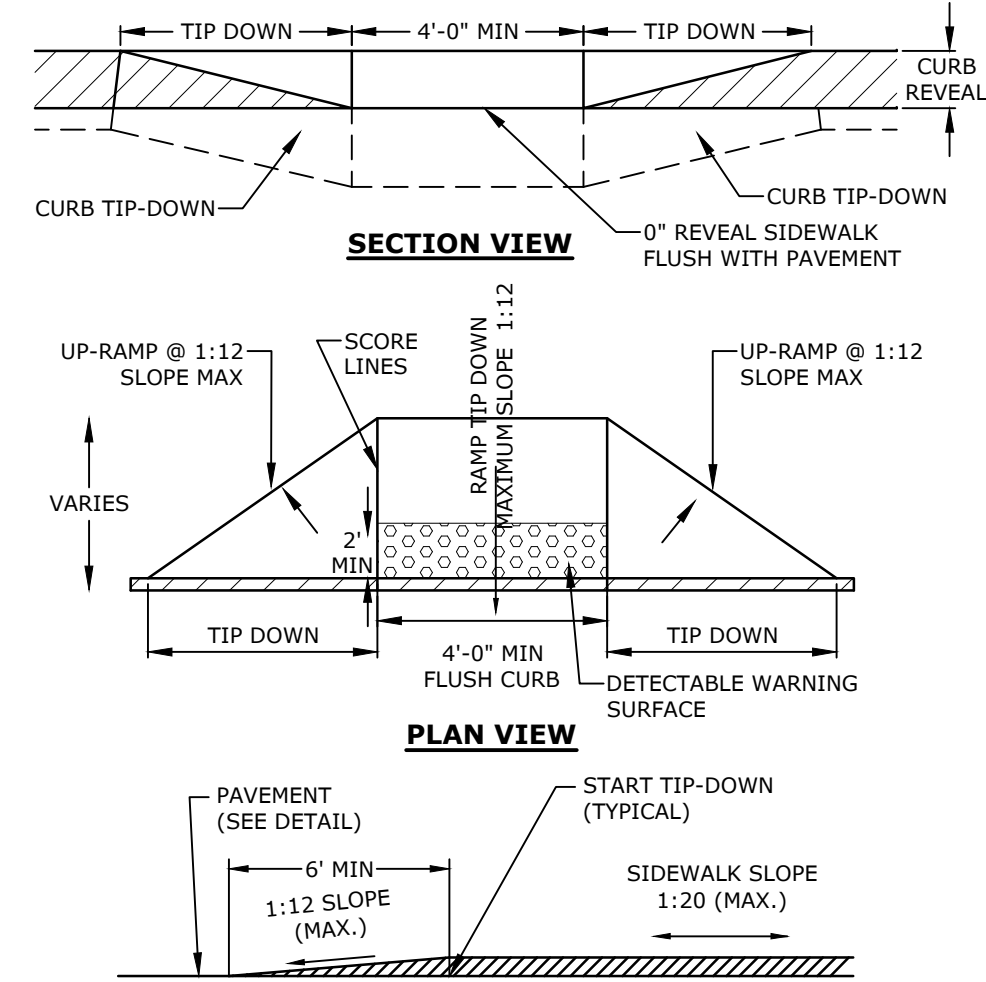
New Franklin School
City of Portsmouth
Portsmouth, New Hampshire

MARK	DATE	DESCRIPTION
PROJECT NO:	P0766-0009	
DATE:	03/05/2026	
FILE:	P0766-0009-DTLS.dwg	
DRAWN BY:	MKF	
DESIGNED BY:	EGD	
CHECKED BY:	EGD	
APPROVED BY:		
DETAILS SHEET		
SCALE:	AS SHOWN	
C-602		

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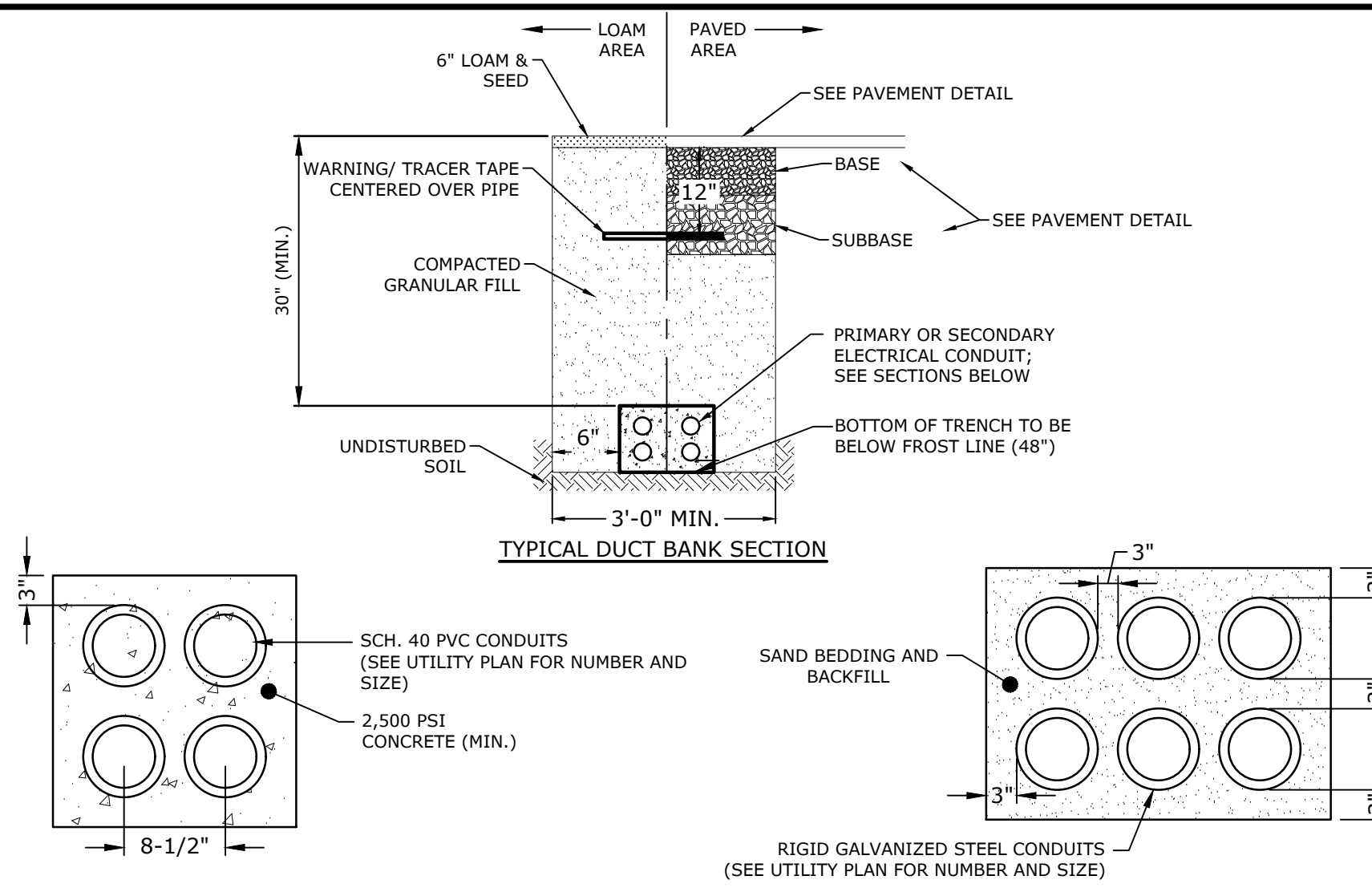


CLEAN OUT DETAIL
NO SCALE



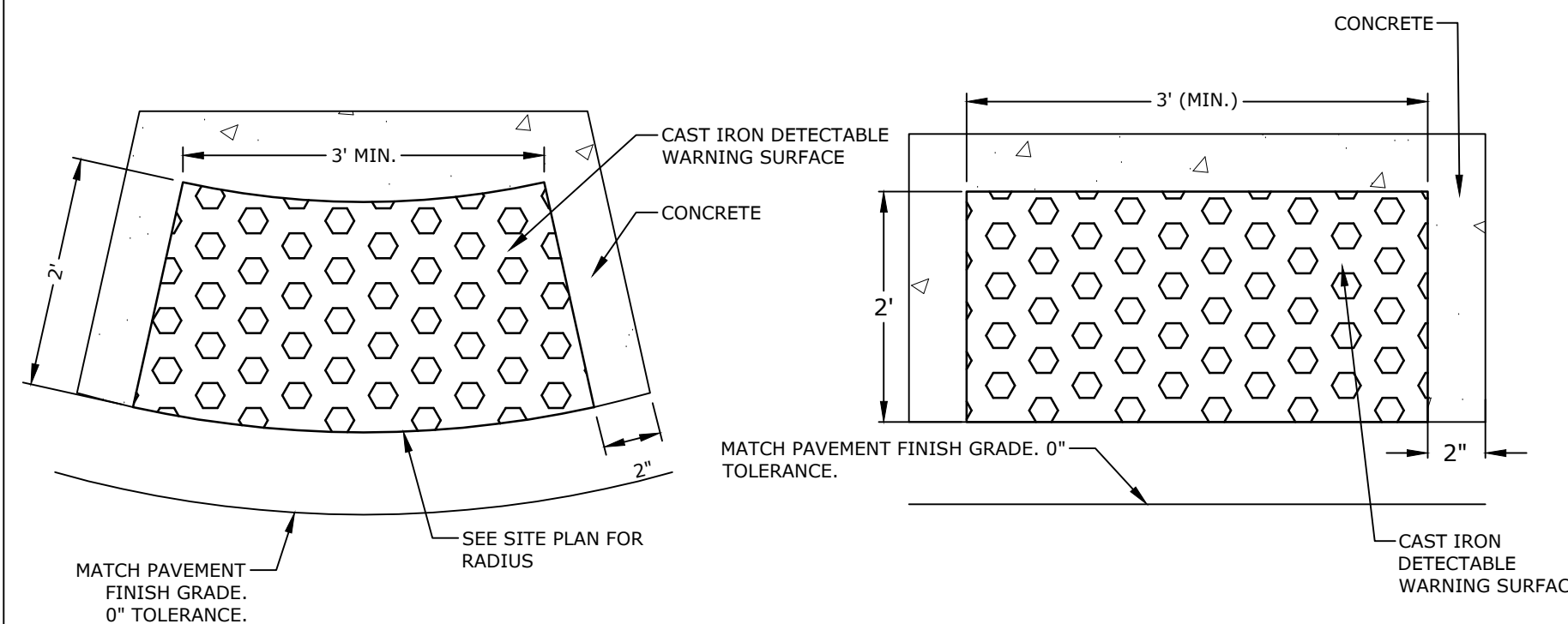
CONCRETE SIDEWALK TIP-DOWN RAMPS WITH DETECTIBLE WARNING SURFACE
NO SCALE

NOTES:
1. RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS.
2. A 9" COMPACTED CRUSHED GRAVEL BASE (NHDOT ITEM No. 304.3) SHALL BE PROVIDED BENEATH RAMPS.
3. DETECTABLE WARNING PANEL SHALL BE CAST IRON WITH BLACK COATING



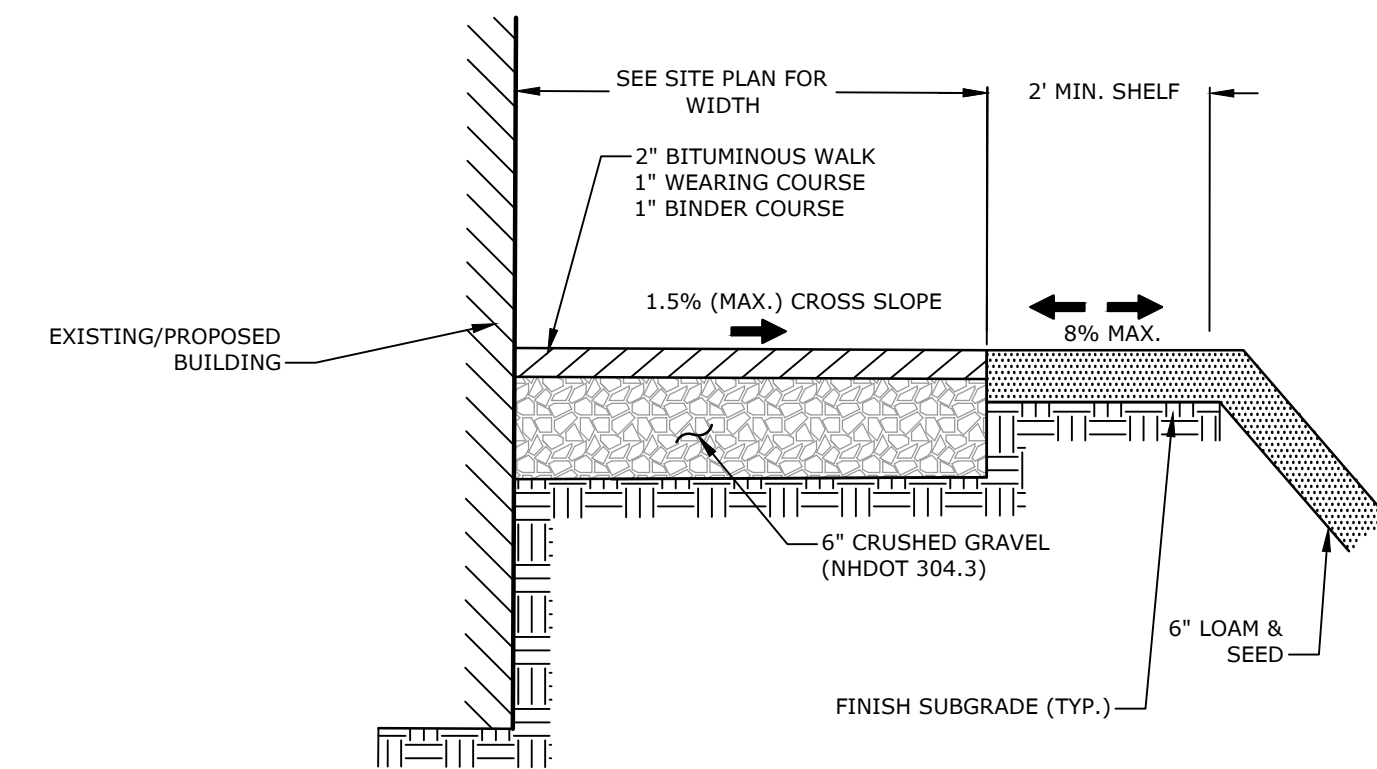
ELECTRICAL TRENCH DETAIL
NO SCALE

- NOTES:
1. NO CONDUIT RUN SHALL EXCEED 360 DEGREES IN TOTAL BENDS.
2. A SUITABLE PULLING STRING, CAPABLE OF 200 POUNDS OF PULL, SHALL BE INSTALLED IN THE CONDUIT PRIOR TO INSTALLING CONDUIT. THE STRING SHALL BE BLOWN INTO THE CONDUIT AFTER THE RUN IS ASSEMBLED TO AVOID BONDING THE STRING TO THE CONDUIT.
3. ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND WHERE APPLICABLE, THE NATIONAL ELECTRIC CODE.
4. SEE UTILITY PLAN FOR LIMITS.
5. ALL ELECTRICAL CONDUIT PENETRATING VAULTS AND FOUNDATION WALLS OR TRANSITIONING OUT OF A CONCRETE DUCT BANK SHALL BE RIGID GALVANIZED WITH TWO COATS OF CARBOLINE BITUMASTIC 300M COAL TAR EPOXY FOR PROTECTION.
6. PRIMARY ELECTRICAL CONDUITS SHALL BE SCH. 40 PVC IN A CONCRETE DUCT BANK. SECONDARY ELECTRICAL SHALL BE SCH. 40 PVC WITH SAND BEDDING AND BACKFILL.
7. PROVIDE 3" MIN. CONCRETE COVER OVER PRIMARY CONDUITS. SIDES OF CONCRETE DUCTBANKS SHALL BE FORMED VERTICAL. TOPS OF DUCTBANKS SHALL BE BULL-FLOATED.



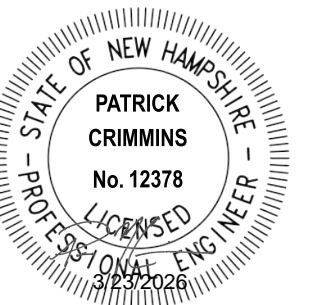
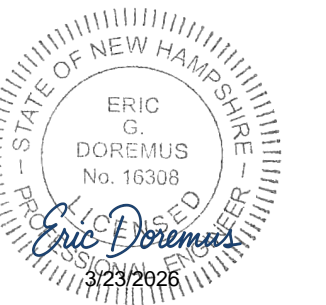
CAST IRON DETECTABLE WARNING SURFACE
NO SCALE

- NOTES:
1. DETECTABLE WARNING SURFACE SHALL BE CAST IRON PANEL SET IN CONCRETE.
2. CONCRETE THAT PLATES ARE SET IN SHALL BE NO LESS THAN 6" THICK, NHDOT TYPE AA (4000 PSI) WITH FIBER.
3. THE WARNING SURFACE SHALL EXTEND FULLY ACROSS AND WITHIN 2" OF THE EDGES OF THE SIDEWALK.
4. DETECTABLE WARNING SURFACES SHALL BE INSTALLED AT ALL MAJOR DRIVEWAYS AND STREET CROSSINGS.
5. DETECTABLE WARNING SURFACE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

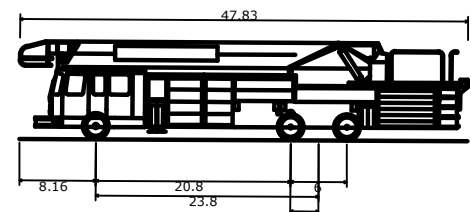


BITUMINOUS CONCRETE SIDEWALK
NO SCALE

- NOTES:
1. SEE SITE PLAN FOR SIDEWALK WIDTH, AND LOCATIONS.
2. SEE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR WALK AND SIDESLOPE GRADES.



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DESIGNED BY:	EGD	
CHECKED BY:	EGD	
APPROVED BY:		



Portsmouth Fire Truck
 Overall Length 47.830ft
 Overall Width 8.500ft
 Overall Body Height 10.432ft
 Min Body Ground Clearance 0.862ft
 Track Width 8.000ft
 Lock-to-lock time 6.00s
 Max Steering Angle (Virtual) 38.00°

INTERSTATE ROUTE 95 (I-95)
 (PUBLIC - VARIABLE WIDTH)

APPROXIMATE LIMITS OF WETLAND
 (PER CITY OF PORTSMOUTH GIS AND
 PRELIMINARY FIELD VERIFICATION BY
 TIGHE AND BOND ON 3/18/2026)

6"X6" CONCRETE BOUND
 W/ DRILL HOLE (NHB)
 FOUND, FLUSH

"VIOLET DAVIS MEMORIAL
 PLAYGROUND"

MAP 220 LOT 2
 13.27 Ac.±

BUILDING ADDITION 2
 2,340 SF

BUILDING ADDITION 1
 515 SF

BUILDING ADDITION 3
 5,970 SF

2-STORY BUILDING
 (NEW FRANKLIN SCHOOL)
 40,747 Sq.Ft. (FOOTPRINT)
 #1 FRANKLIN DRIVE

"ACCESSIBLE PARKING"
 SIGN ON BUILDING

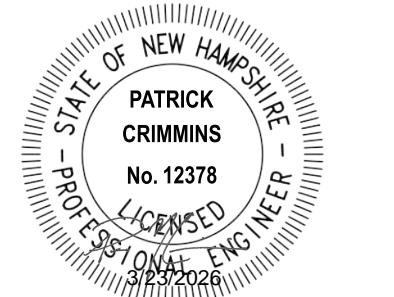
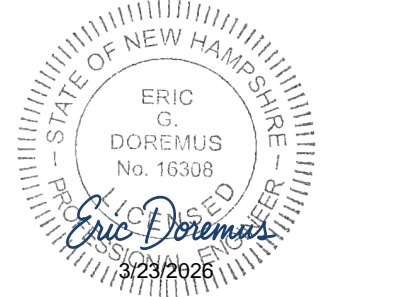
"NO IDLING CLEAN AIR"
 SIGN ON BUILDING

"NEW FRANKLIN
 SCHOOL"

ROUTE 1 BYPASS - PORTSMOUTH
 (PUBLIC - VARIABLE WIDTH)

STARK STREET
 (PUBLIC - VARIABLE WIDTH)

Tighe & Bond
 177 Corporate Drive
 Portsmouth, NH 03801
 T 603.433.8818



New Franklin School

City of Portsmouth

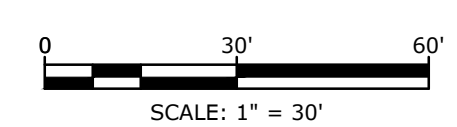
Portsmouth, New Hampshire

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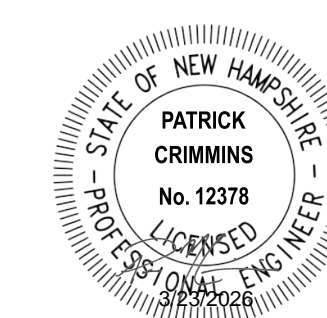
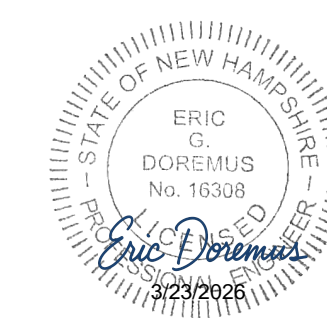
FIRE TRUCK TURNING PLAN

SCALE: AS SHOWN

C-700



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New Franklin School

City of Portsmouth

Portsmouth, New Hampshire

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DESIGNED BY:	EGD	
CHECKED BY:	EGD	
APPROVED BY:		

PRE-DEVELOPMENT WATERSHED PLAN

SCALE: AS SHOWN

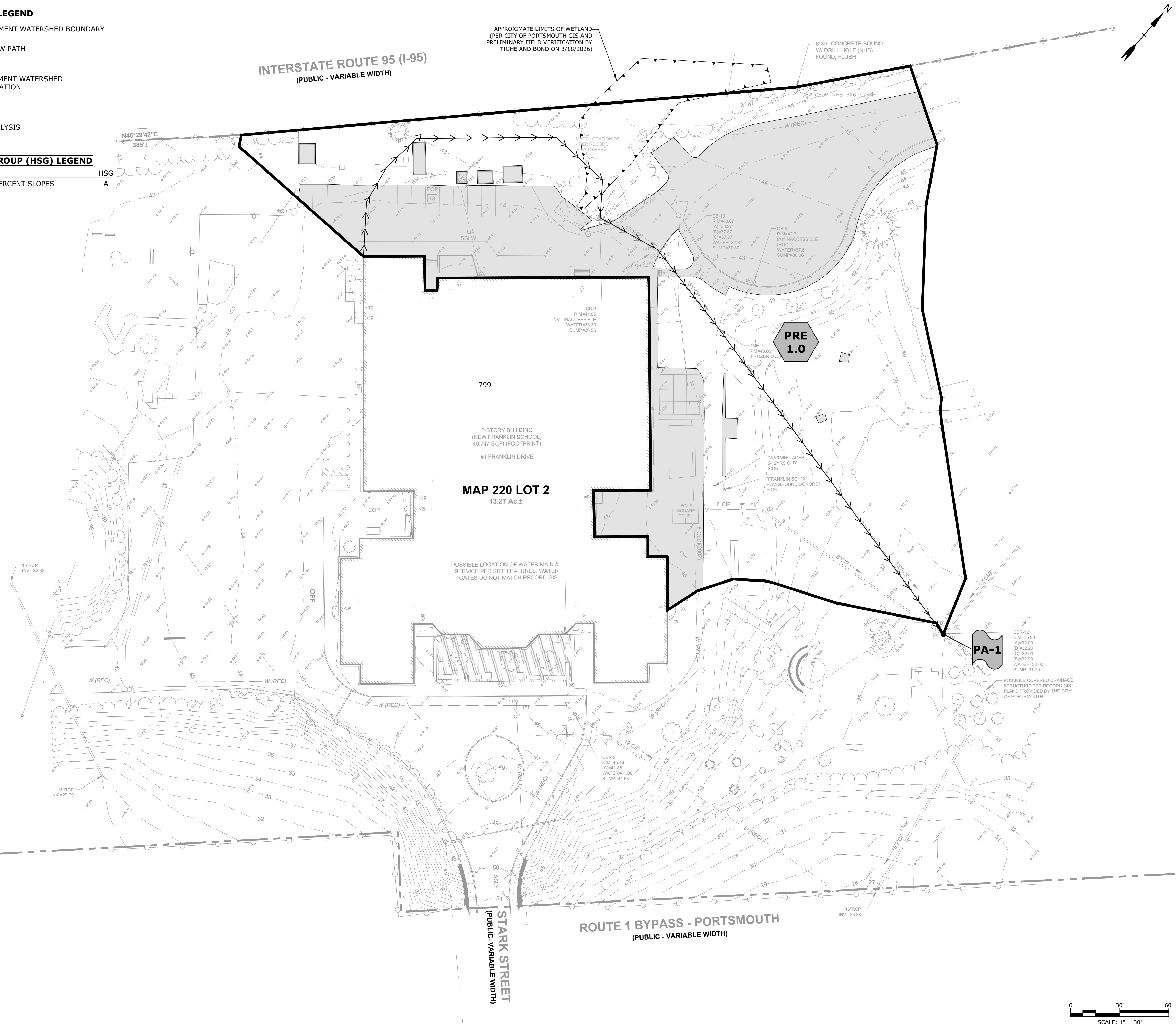
C-800

PRE-DEVELOPMENT WATERSHED LEGEND

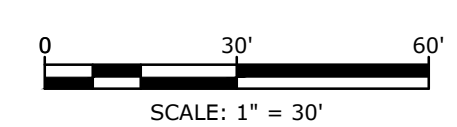
- PRE-DEVELOPMENT WATERSHED BOUNDARY
- LONGEST FLOW PATH
- PRE DEVELOPMENT WATERSHED AREA DESIGNATION
- POINT OF ANALYSIS

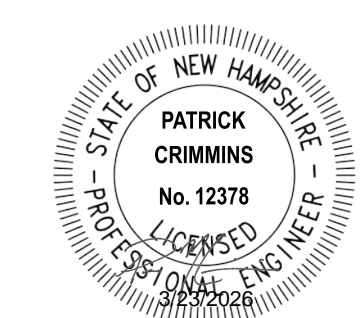
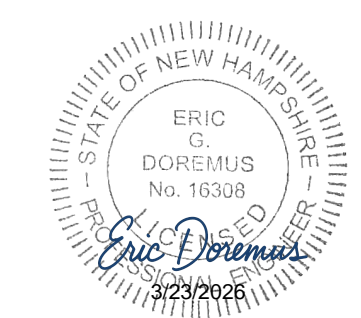
USDA WEB SOIL SURVEY HYDROLOGIC SOIL GROUP (HSG) LEGEND

SYMBOL	SOIL TYPE, SLOPE RATING	HSG
799	URBAN LAND-CANTON COMPLEX, 3 TO 15 PERCENT SLOPES	A



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New Franklin School

City of Portsmouth

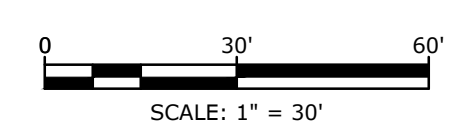
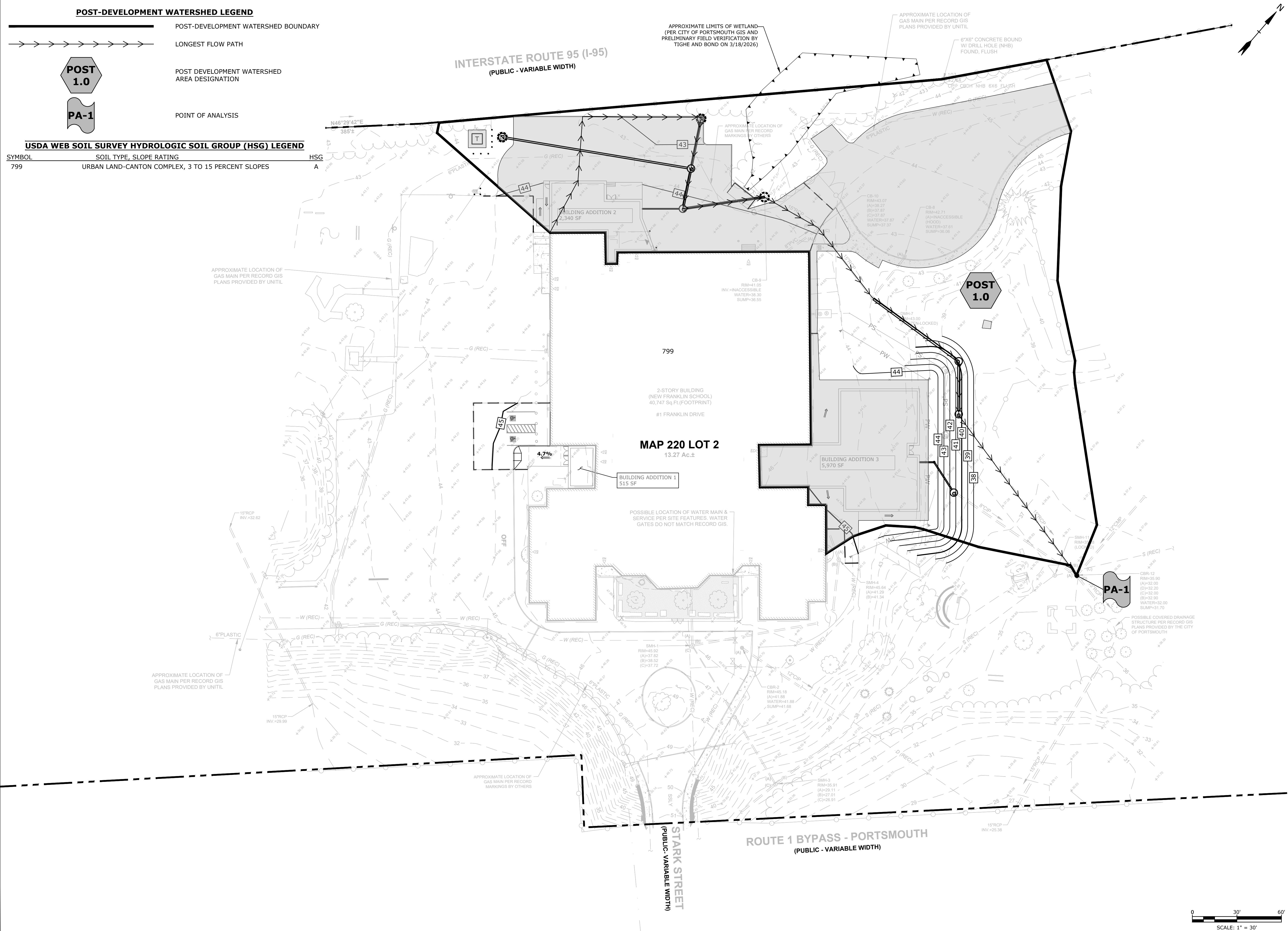
Portsmouth, New Hampshire

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DATE:	03/23/2026	
FILE:	P0766-0009-DSGN.dwg	
DRAWN BY:	MKF	
DESIGNED BY:	EGD	
CHECKED BY:	EGD	
APPROVED BY:		

POST-DEVELOPMENT WATERSHED PLAN

SCALE: AS SHOWN

C-801



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8
7
6
5
4
3
2
1
F
E
D
C
B
A



TAC INFORMATION:

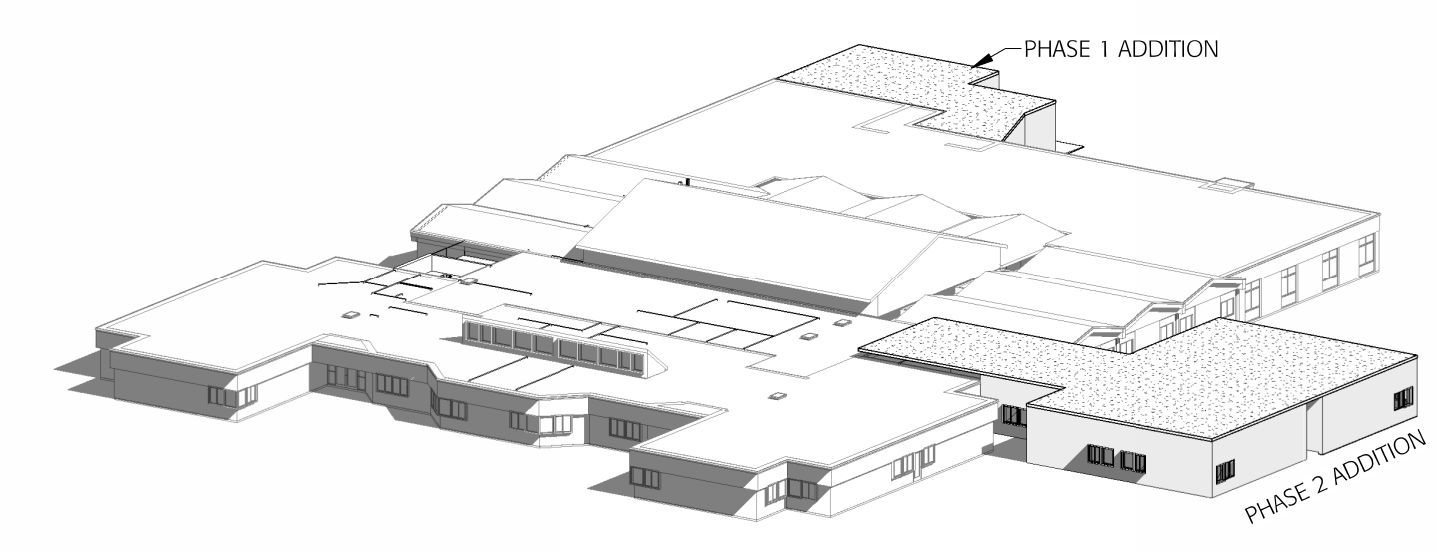
GROSS AREA (BUILDING ONLY)
 (NEW) PHASE 1: 3,281 SF
 (NEW) PHASE 2: 6,063 SF
 TOTAL: 9,344 SF
 (EXISTING) PHASE 3: 40,506 SF
 GRAND TOTAL (NEW + EXISTING): 49,850 SF

STATEMENT OF USES:
 BUILDING IS A SINGLE STORY ELEMENTARY SCHOOL (EDUCATIONAL OCCUPANCY) W/ BUSINESS (OFFICES), ASSEMBLY (GYM, CAFETERIA), STORAGE, AND MECHANICAL SUPPORT SPACES.

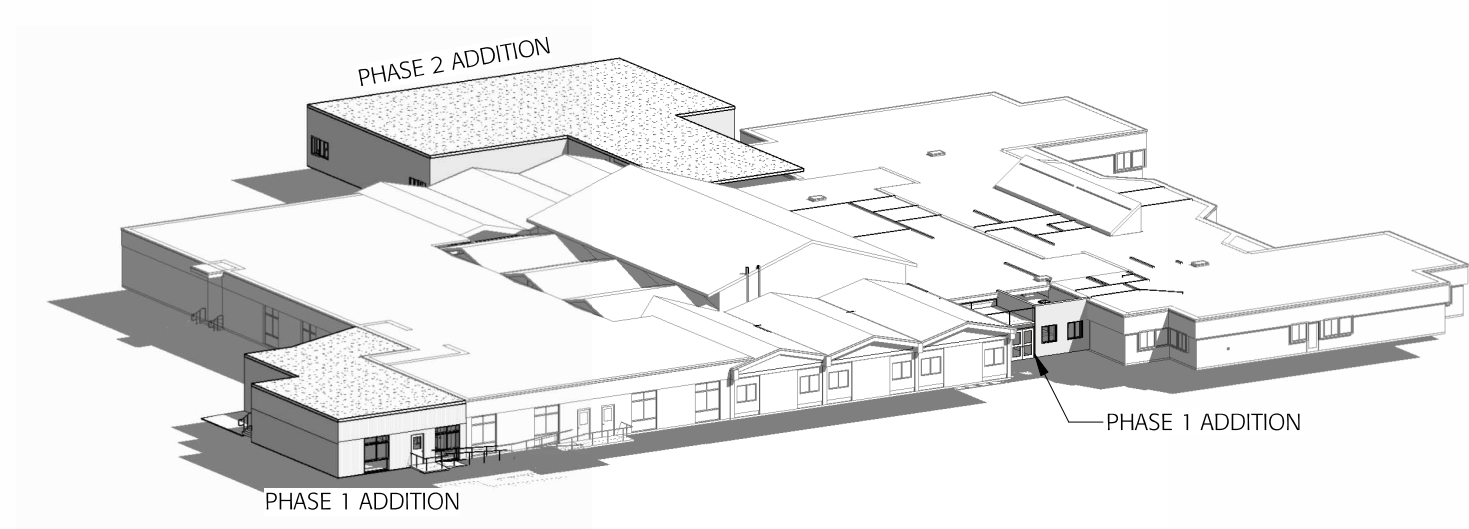
OVERHANGS:
 PROPOSED OVERHANGS NOT SHOWN. SOFFIT PROJECTIONS = 4"
 EXISTING OVERHANGS NOT SHOWN. SOFFIT PROJECTIONS RANGE FROM 2" TO 20".

FIRST FLOOR ELEVATION:
 SEE CIVIL PLAN / SURVEY FOR FIRST FLOOR ELEVATION AND GRADE PLANE.

MASSING:



2 MASSING FOR TAC 1
 Scale:



3 MASSING FOR TAC 2
 Scale:

REVISION	DATE	COMMENTS

KEY PLAN & NORTH ARROW:

PROJECT:
 NEW FRANKLIN ELEMENTARY SCHOOL - PHASE 1
 1 FRANKLIN DRIVE
 PORTSMOUTH, NH 03801

ISSUED:
 TAC REVIEW

DRAWING
 FLOOR PLAN DATA

PROJECT NO: 19-602 DATE: 3/23/2026
 SHEET NUMBER:

TAC 100

Owner Letter of Authorization

This letter is to authorize Tighe & Bond, Inc. (Civil Engineer), to represent and submit on behalf of Portsmouth School Department/SAU 52 (Owner/Applicant), applications and materials in all site design and permitting matters for the proposed *New Franklin School Addition Project* located at 1 Frankin Drive in Portsmouth, New Hampshire on parcel of land identified as Map 220 Lot 2. This project includes the construction of three separate additions to the existing school and associated on-site improvements. This authorization shall relate to those activities that are required for local, state and federal permitting for the above project and include any required signatures for those applications.



Signature

Zachary J. McLaughlin

Print Name

3/15/06

Date



Tighe & Bond

Partnership
with purpose

New Franklin School
1 Franklin Ave
Portsmouth, NH 03801

Drainage Analysis

Prepared For:

City of Portsmouth
1 Junkins Ave
Portsmouth, NH 03801

March 23, 2026

Drainage Analysis

TO: City of Portsmouth Technical Advisory Committee (TAC)
FROM: Eric Doremus, PE
Patrick M. Crimmins, PE
COPY: New Franklin School
DATE: March 23, 2026

1.0 Project Description

The project site is located at 1 Franklin Avenue and is identified as Map 220, Lot 2 on the City of Portsmouth Tax Maps.

The proposed project consists of the construction of three (3) additions to the existing New Franklin Elementary School. The first addition, approximately 500 square feet, will function as a vestibule entrance to serve student drop-off activities. The second addition, approximately 2,350 square feet, will provide an additional kindergarten classroom and a loading zone. The third addition, approximately 6,000 square feet, will accommodate new third- and fourth-grade classrooms.

The project also includes associated site, grading, drainage, and utilities improvements. These improvements consist of the installation of an accessible path of egress around the third building addition, as well as the creation of an accessible pathway at the main entrance located southwest of the existing building. The relocation of water, sewer, and electrical utilities will be required to allow for the proposed building expansion.

2.0 Drainage Analysis

The proposed project will create approximately 8,300 square feet of additional impervious surface compared to existing conditions. Currently, stormwater runoff from the existing Northwest parking area flows northwest toward an adjacent wetland, where it is collected by an existing catch basin and conveyed through a closed drainage system before discharging off-site.

To improve upon these existing conditions, runoff from the proposed parking area and building will be intercepted by new curbing and redirected to an offline deep sump catch basin equipped with an oil-water separator hood. The additional proposed roof runoff will be discharged directly to a closed drainage system. This system will provide an additional level of pre-treatment prior to discharge into the existing closed drainage network and subsequent off-site conveyance.

Due to project budget constraints, full stormwater quality treatment and detention for the proposed impervious surfaces is not being proposed at this time. However, the selected design approach represents a practical and cost-effective improvement over existing conditions by reducing the direct discharge of untreated runoff to the wetland.

Overall, the proposed improvements will limit the amount of untreated impervious surface runoff reaching the wetland while enhancing stormwater management relative to the current site conditions.

TECHNICAL MEMORANDUM

2.1 Pre- and Post-Development Comparison

The pre-development and post-development watershed areas have been evaluated using a single point of analysis, designated as PA-1. This point is located at the connection between the proposed drainage system and the existing catch basin, prior to discharge off-site.

The location of PA-1 remains unchanged between pre- and post-development conditions. Additionally, the overall contributing sub-catchment areas to this point will remain consistent under both scenarios.

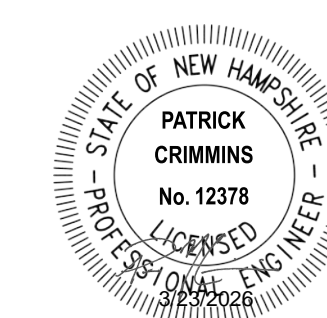
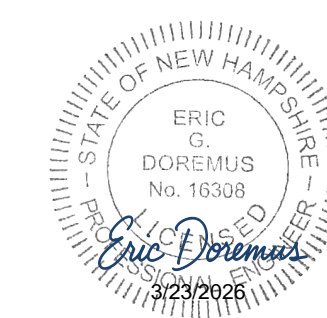
The post-development watershed will largely reflect existing site conditions, with the primary changes consisting of proposed building additions and a reconfigured parking area. These modifications will result in an increase of approximately ±8,300 square feet of impervious surface within the watershed.

2.2 Peak Rate Comparison

The peak discharge rates at these points of analysis were determined by analyzing Type III, 24-hour storm events. The rainfall data for these storm events were obtained from the data published by the Northeast Regional Climate Center at Cornell University.

The following table summarizes and compares the pre- and post-development peak runoff rates for the 2-year, 10-year, 25-year and 50-year storm events at the point of analysis.

Point of Analysis	Pre/ Post 2-Year Storm (cfs)	Pre/ Post 10-Year Storm (cfs)	Pre/ Post 25-Year Storm (cfs)	Pre/ Post 50-Year Storm (cfs)
PA1	2.11/ 3.06	5.43/ 6.89	8.39/ 10.18	11.23/ 13.37



New Franklin School

City of Portsmouth

Portsmouth, New Hampshire

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DESIGNED BY:	EGD	
CHECKED BY:	EGD	
APPROVED BY:		

PRE-DEVELOPMENT WATERSHED PLAN

SCALE: AS SHOWN

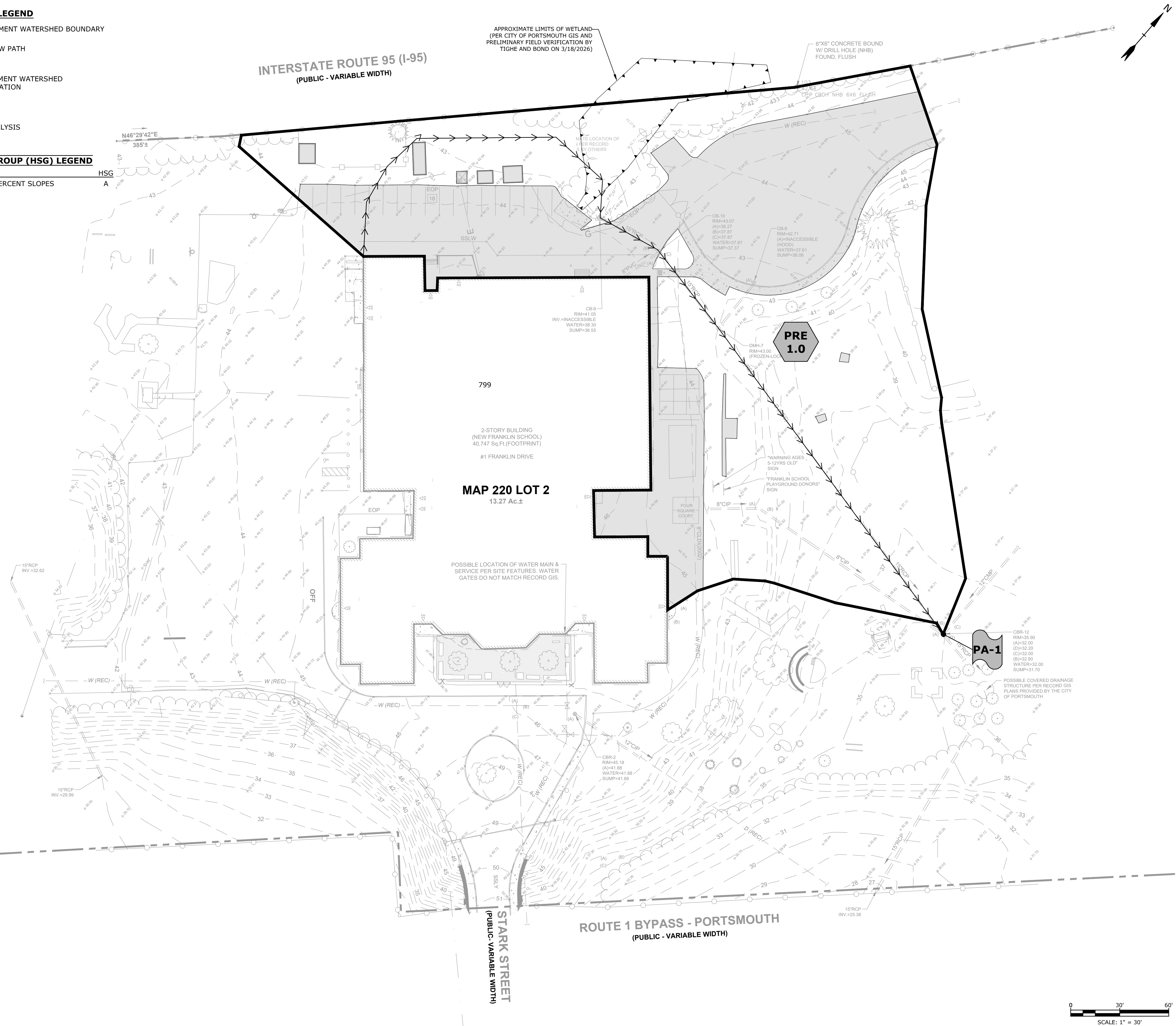
C-800

PRE-DEVELOPMENT WATERSHED LEGEND

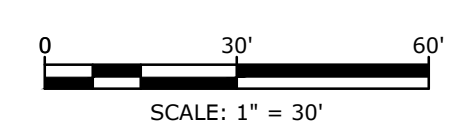
- PRE-DEVELOPMENT WATERSHED BOUNDARY
- LONGEST FLOW PATH
- PRE DEVELOPMENT WATERSHED AREA DESIGNATION
- POINT OF ANALYSIS

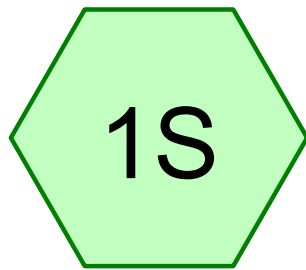
USDA WEB SOIL SURVEY HYDROLOGIC SOIL GROUP (HSG) LEGEND

SYMBOL	SOIL TYPE, SLOPE RATING	HSG
799	URBAN LAND-CANTON COMPLEX, 3 TO 15 PERCENT SLOPES	A

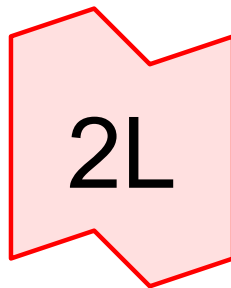


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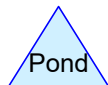
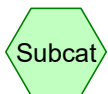




PRE-1.0



PA-1



Pre-Development Model

Prepared by Tighe & Bond

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Page 2

Rainfall Events Listing (selected events)

Event#	Event Name	Storm Type	Curve	Mode	Duration (hours)	B/B	Depth (inches)	AMC
1	2-yr	Type II 24-hr		Default	24.00	1	3.20	2
2	10-yr	Type II 24-hr		Default	24.00	1	4.86	2
3	25-yr	Type II 24-hr		Default	24.00	1	6.16	2
4	50-yr	Type II 24-hr		Default	24.00	1	7.38	2

Pre-Development Model

Prepared by Tighe & Bond

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Page 3

Area Listing (selected nodes)

Area (acres)	CN	Description (subcatchment-numbers)
1.087	49	50-75% Grass cover, Fair, HSG A (1S)
0.673	98	Paved parking, HSG A (1S)
1.761	68	TOTAL AREA

Pre-Development Model

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Soil Listing (selected nodes)

Area (acres)	Soil Group	Subcatchment Numbers
1.761	HSG A	1S
0.000	HSG B	
0.000	HSG C	
0.000	HSG D	
0.000	Other	
1.761		TOTAL AREA

Pre-Development Model

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Ground Covers (selected nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
1.087	0.000	0.000	0.000	0.000	1.087	50-75% Grass cover, Fair	1S
0.673	0.000	0.000	0.000	0.000	0.673	Paved parking	1S
1.761	0.000	0.000	0.000	0.000	1.761	TOTAL AREA	

Pre-Development Model

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Type II 24-hr 2-yr Rainfall=3.20"

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Page 6

Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: PRE-1.0

Runoff Area=76,696 sf 38.25% Impervious Runoff Depth>0.65"
Flow Length=568' Tc=6.1 min CN=68 Runoff=2.11 cfs 0.095 af

Link 2L: PA-1

Inflow=2.11 cfs 0.095 af
Primary=2.11 cfs 0.095 af

Total Runoff Area = 1.761 ac Runoff Volume = 0.095 af Average Runoff Depth = 0.65"
61.75% Pervious = 1.087 ac 38.25% Impervious = 0.673 ac

Pre-Development Model

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Type II 24-hr 2-yr Rainfall=3.20"

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Summary for Subcatchment 1S: PRE-1.0

Runoff = 2.11 cfs @ 11.99 hrs, Volume= 0.095 af, Depth> 0.65"
Routed to Link 2L : PA-1

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr 2-yr Rainfall=3.20"

Area (sf)	CN	Description
29,335	98	Paved parking, HSG A
47,361	49	50-75% Grass cover, Fair, HSG A
76,696	68	Weighted Average
47,361		61.75% Pervious Area
29,335		38.25% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.7	44	0.0180	1.12		Sheet Flow, Parking Area Smooth surfaces n= 0.011 P2= 3.20"
4.6	192	0.0100	0.70		Shallow Concentrated Flow, Woods Area Against Parking Short Grass Pasture Kv= 7.0 fps
0.8	332	0.0170	6.86	8.42	Pipe Channel, Pipe Network 15.0" Round Area= 1.2 sf Perim= 3.9' r= 0.31' n= 0.013 Cast iron, coated
6.1	568	Total			

Summary for Link 2L: PA-1

Inflow Area = 1.761 ac, 38.25% Impervious, Inflow Depth > 0.65" for 2-yr event
Inflow = 2.11 cfs @ 11.99 hrs, Volume= 0.095 af
Primary = 2.11 cfs @ 11.99 hrs, Volume= 0.095 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Pre-Development Model

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Type II 24-hr 10-yr Rainfall=4.86"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: PRE-1.0

Runoff Area=76,696 sf 38.25% Impervious Runoff Depth>1.62"
Flow Length=568' Tc=6.1 min CN=68 Runoff=5.43 cfs 0.237 af

Link 2L: PA-1

Inflow=5.43 cfs 0.237 af
Primary=5.43 cfs 0.237 af

Total Runoff Area = 1.761 ac Runoff Volume = 0.237 af Average Runoff Depth = 1.62"
61.75% Pervious = 1.087 ac 38.25% Impervious = 0.673 ac

Pre-Development Model

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Type II 24-hr 10-yr Rainfall=4.86"

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Summary for Subcatchment 1S: PRE-1.0

Runoff = 5.43 cfs @ 11.98 hrs, Volume= 0.237 af, Depth> 1.62"
Routed to Link 2L : PA-1

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr 10-yr Rainfall=4.86"

Area (sf)	CN	Description
29,335	98	Paved parking, HSG A
47,361	49	50-75% Grass cover, Fair, HSG A
76,696	68	Weighted Average
47,361		61.75% Pervious Area
29,335		38.25% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.7	44	0.0180	1.12		Sheet Flow, Parking Area Smooth surfaces n= 0.011 P2= 3.20"
4.6	192	0.0100	0.70		Shallow Concentrated Flow, Woods Area Against Parking Short Grass Pasture Kv= 7.0 fps
0.8	332	0.0170	6.86	8.42	Pipe Channel, Pipe Network 15.0" Round Area= 1.2 sf Perim= 3.9' r= 0.31' n= 0.013 Cast iron, coated
6.1	568	Total			

Summary for Link 2L: PA-1

Inflow Area = 1.761 ac, 38.25% Impervious, Inflow Depth > 1.62" for 10-yr event
Inflow = 5.43 cfs @ 11.98 hrs, Volume= 0.237 af
Primary = 5.43 cfs @ 11.98 hrs, Volume= 0.237 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Pre-Development Model

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Type II 24-hr 25-yr Rainfall=6.16"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: PRE-1.0

Runoff Area=76,696 sf 38.25% Impervious Runoff Depth>2.51"
Flow Length=568' Tc=6.1 min CN=68 Runoff=8.39 cfs 0.369 af

Link 2L: PA-1

Inflow=8.39 cfs 0.369 af
Primary=8.39 cfs 0.369 af

Total Runoff Area = 1.761 ac Runoff Volume = 0.369 af Average Runoff Depth = 2.51"
61.75% Pervious = 1.087 ac 38.25% Impervious = 0.673 ac

Pre-Development Model

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Type II 24-hr 25-yr Rainfall=6.16"

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Summary for Subcatchment 1S: PRE-1.0

Runoff = 8.39 cfs @ 11.98 hrs, Volume= 0.369 af, Depth> 2.51"
Routed to Link 2L : PA-1

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr 25-yr Rainfall=6.16"

Area (sf)	CN	Description
29,335	98	Paved parking, HSG A
47,361	49	50-75% Grass cover, Fair, HSG A
76,696	68	Weighted Average
47,361		61.75% Pervious Area
29,335		38.25% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.7	44	0.0180	1.12		Sheet Flow, Parking Area Smooth surfaces n= 0.011 P2= 3.20"
4.6	192	0.0100	0.70		Shallow Concentrated Flow, Woods Area Against Parking Short Grass Pasture Kv= 7.0 fps
0.8	332	0.0170	6.86	8.42	Pipe Channel, Pipe Network 15.0" Round Area= 1.2 sf Perim= 3.9' r= 0.31' n= 0.013 Cast iron, coated
6.1	568	Total			

Summary for Link 2L: PA-1

Inflow Area = 1.761 ac, 38.25% Impervious, Inflow Depth > 2.51" for 25-yr event
Inflow = 8.39 cfs @ 11.98 hrs, Volume= 0.369 af
Primary = 8.39 cfs @ 11.98 hrs, Volume= 0.369 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

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Type II 24-hr 50-yr Rainfall=7.38"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: PRE-1.0

Runoff Area=76,696 sf 38.25% Impervious Runoff Depth>3.43"
Flow Length=568' Tc=6.1 min CN=68 Runoff=11.23 cfs 0.503 af

Link 2L: PA-1

Inflow=11.23 cfs 0.503 af
Primary=11.23 cfs 0.503 af

Total Runoff Area = 1.761 ac Runoff Volume = 0.503 af Average Runoff Depth = 3.43"
61.75% Pervious = 1.087 ac 38.25% Impervious = 0.673 ac

Pre-Development Model

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Type II 24-hr 50-yr Rainfall=7.38"

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Summary for Subcatchment 1S: PRE-1.0

[47] Hint: Peak is 133% of capacity of segment #3

Runoff = 11.23 cfs @ 11.97 hrs, Volume= 0.503 af, Depth> 3.43"
Routed to Link 2L : PA-1

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr 50-yr Rainfall=7.38"

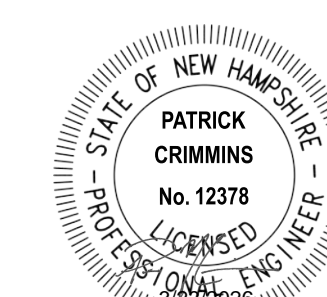
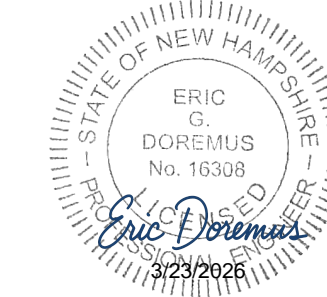
Area (sf)	CN	Description
29,335	98	Paved parking, HSG A
47,361	49	50-75% Grass cover, Fair, HSG A
76,696	68	Weighted Average
47,361		61.75% Pervious Area
29,335		38.25% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.7	44	0.0180	1.12		Sheet Flow, Parking Area Smooth surfaces n= 0.011 P2= 3.20"
4.6	192	0.0100	0.70		Shallow Concentrated Flow, Woods Area Against Parking Short Grass Pasture Kv= 7.0 fps
0.8	332	0.0170	6.86	8.42	Pipe Channel, Pipe Network 15.0" Round Area= 1.2 sf Perim= 3.9' r= 0.31' n= 0.013 Cast iron, coated
6.1	568	Total			

Summary for Link 2L: PA-1

Inflow Area = 1.761 ac, 38.25% Impervious, Inflow Depth > 3.43" for 50-yr event
Inflow = 11.23 cfs @ 11.97 hrs, Volume= 0.503 af
Primary = 11.23 cfs @ 11.97 hrs, Volume= 0.503 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs



New Franklin School

City of Portsmouth

Portsmouth, New Hampshire

MARK	DATE	DESCRIPTION
PROJECT NO:	P0766-0009	
DATE:	03/23/2026	
FILE:	P0766-0009-DSGN.dwg	
DRAWN BY:	MKF	
DESIGNED BY:	EGD	
CHECKED BY:	EGD	
APPROVED BY:		

POST-DEVELOPMENT WATERSHED PLAN

SCALE: AS SHOWN

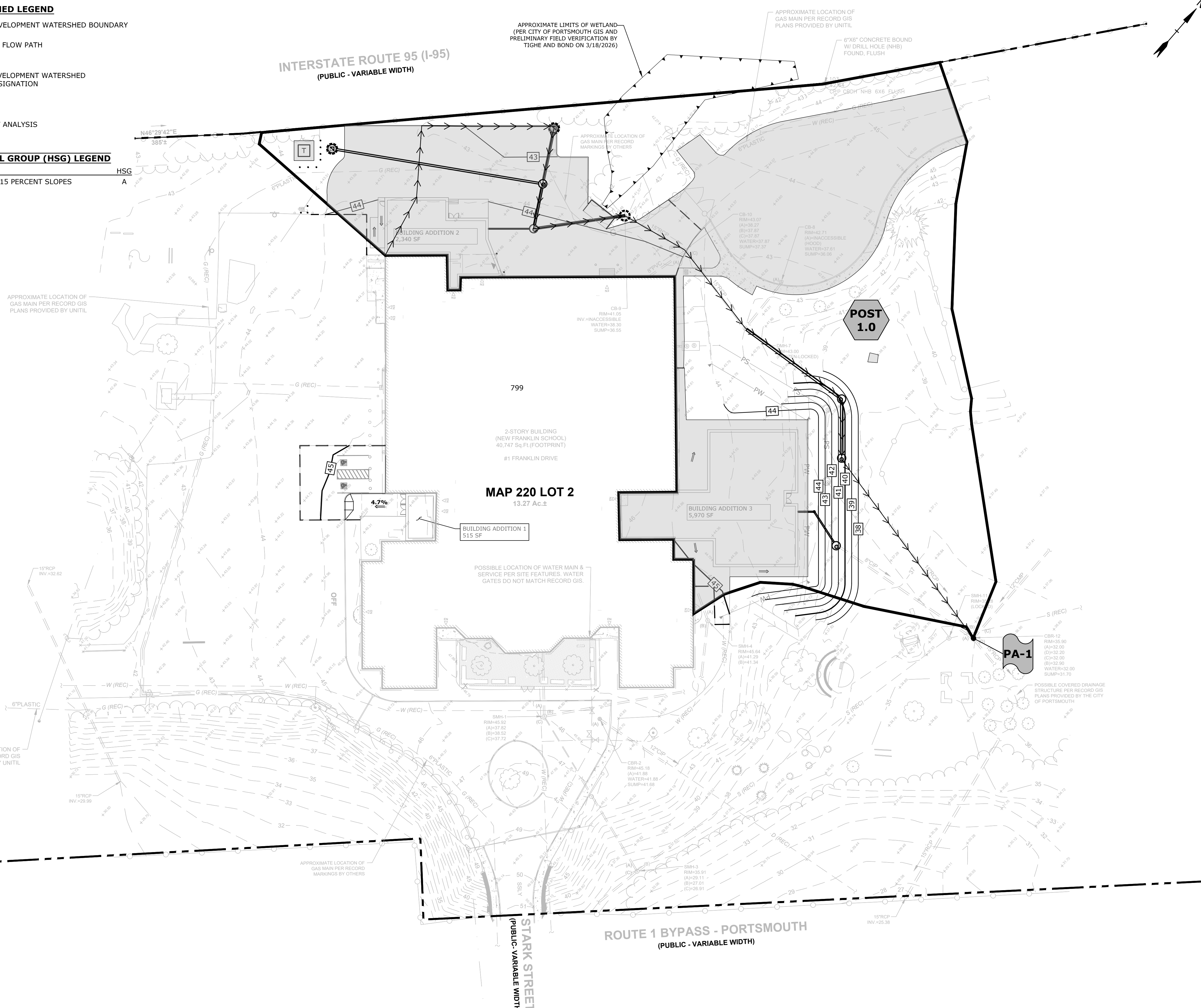
C-801

POST-DEVELOPMENT WATERSHED LEGEND

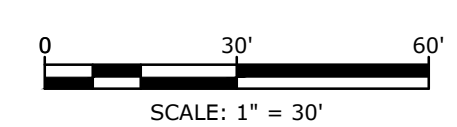
- POST-DEVELOPMENT WATERSHED BOUNDARY
- LONGEST FLOW PATH
- POST DEVELOPMENT WATERSHED AREA DESIGNATION
- POINT OF ANALYSIS

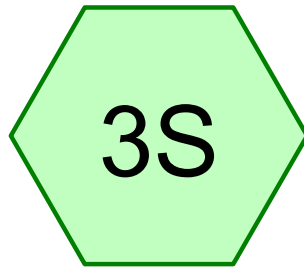
USDA WEB SOIL SURVEY HYDROLOGIC SOIL GROUP (HSG) LEGEND

SYMBOL	SOIL TYPE, SLOPE RATING	HSG
799	URBAN LAND-CANTON COMPLEX, 3 TO 15 PERCENT SLOPES	A

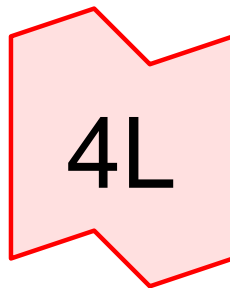


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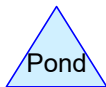
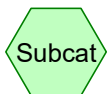




POST-1.0



PA-1



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Page 2

Rainfall Events Listing (selected events)

Event#	Event Name	Storm Type	Curve	Mode	Duration (hours)	B/B	Depth (inches)	AMC
1	2-yr	Type II 24-hr		Default	24.00	1	3.20	2
2	10-yr	Type II 24-hr		Default	24.00	1	4.86	2
3	25-yr	Type II 24-hr		Default	24.00	1	6.16	2
4	50-yr	Type II 24-hr		Default	24.00	1	7.38	2

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Area Listing (selected nodes)

Area (acres)	CN	Description (subcatchment-numbers)
0.900	49	50-75% Grass cover, Fair, HSG A (3S)
0.861	98	Paved parking, HSG A (3S)
1.761	73	TOTAL AREA

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Soil Listing (selected nodes)

Area (acres)	Soil Group	Subcatchment Numbers
1.761	HSG A	3S
0.000	HSG B	
0.000	HSG C	
0.000	HSG D	
0.000	Other	
1.761		TOTAL AREA

Pre-Development Model

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Ground Covers (selected nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.900	0.000	0.000	0.000	0.000	0.900	50-75% Grass cover, Fair	3S
0.861	0.000	0.000	0.000	0.000	0.861	Paved parking	3S
1.761	0.000	0.000	0.000	0.000	1.761	TOTAL AREA	

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Type II 24-hr 2-yr Rainfall=3.20"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment3S: POST-1.0

Runoff Area=76,696 sf 48.90% Impervious Runoff Depth>0.88"
Flow Length=614' Tc=5.0 min CN=73 Runoff=3.06 cfs 0.130 af

Link 4L: PA-1

Inflow=3.06 cfs 0.130 af
Primary=3.06 cfs 0.130 af

Total Runoff Area = 1.761 ac Runoff Volume = 0.130 af Average Runoff Depth = 0.88"
51.10% Pervious = 0.900 ac 48.90% Impervious = 0.861 ac

Pre-Development Model

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Type II 24-hr 2-yr Rainfall=3.20"

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Summary for Subcatchment 3S: POST-1.0

[49] Hint: Tc<2dt may require smaller dt

Runoff = 3.06 cfs @ 11.97 hrs, Volume= 0.130 af, Depth> 0.88"
 Routed to Link 4L : PA-1

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr 2-yr Rainfall=3.20"

Area (sf)	CN	Description
37,508	98	Paved parking, HSG A
39,188	49	50-75% Grass cover, Fair, HSG A
76,696	73	Weighted Average
39,188		51.10% Pervious Area
37,508		48.90% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.0	39	0.0050	0.65		Sheet Flow, Roof Smooth surfaces n= 0.011 P2= 3.20"
0.6	124	0.0270	3.34		Shallow Concentrated Flow, Parking Area Paved Kv= 20.3 fps
0.4	107	0.0100	4.54	3.56	Pipe Channel, Pipe Network 12.0" Round Area= 0.8 sf Perim= 3.1' r= 0.25' n= 0.013 Cast iron, coated
0.9	344	0.0150	6.45	7.91	Pipe Channel, Pipe Network 15.0" Round Area= 1.2 sf Perim= 3.9' r= 0.31' n= 0.013 Corrugated PE, smooth interior
2.9	614	Total, Increased to minimum Tc = 5.0 min			

Summary for Link 4L: PA-1

Inflow Area = 1.761 ac, 48.90% Impervious, Inflow Depth > 0.88" for 2-yr event
 Inflow = 3.06 cfs @ 11.97 hrs, Volume= 0.130 af
 Primary = 3.06 cfs @ 11.97 hrs, Volume= 0.130 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Pre-Development Model

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Type II 24-hr 10-yr Rainfall=4.86"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment3S: POST-1.0

Runoff Area=76,696 sf 48.90% Impervious Runoff Depth>1.99"
Flow Length=614' Tc=5.0 min CN=73 Runoff=6.89 cfs 0.292 af

Link 4L: PA-1

Inflow=6.89 cfs 0.292 af
Primary=6.89 cfs 0.292 af

Total Runoff Area = 1.761 ac Runoff Volume = 0.292 af Average Runoff Depth = 1.99"
51.10% Pervious = 0.900 ac 48.90% Impervious = 0.861 ac

Pre-Development Model

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Type II 24-hr 10-yr Rainfall=4.86"

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Summary for Subcatchment 3S: POST-1.0

[49] Hint: Tc<2dt may require smaller dt

[47] Hint: Peak is 193% of capacity of segment #3

Runoff = 6.89 cfs @ 11.96 hrs, Volume= 0.292 af, Depth> 1.99"
Routed to Link 4L : PA-1

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr 10-yr Rainfall=4.86"

Area (sf)	CN	Description
37,508	98	Paved parking, HSG A
39,188	49	50-75% Grass cover, Fair, HSG A
76,696	73	Weighted Average
39,188		51.10% Pervious Area
37,508		48.90% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.0	39	0.0050	0.65		Sheet Flow, Roof Smooth surfaces n= 0.011 P2= 3.20"
0.6	124	0.0270	3.34		Shallow Concentrated Flow, Parking Area Paved Kv= 20.3 fps
0.4	107	0.0100	4.54	3.56	Pipe Channel, Pipe Network 12.0" Round Area= 0.8 sf Perim= 3.1' r= 0.25' n= 0.013 Cast iron, coated
0.9	344	0.0150	6.45	7.91	Pipe Channel, Pipe Network 15.0" Round Area= 1.2 sf Perim= 3.9' r= 0.31' n= 0.013 Corrugated PE, smooth interior
2.9	614	Total, Increased to minimum Tc = 5.0 min			

Summary for Link 4L: PA-1

Inflow Area = 1.761 ac, 48.90% Impervious, Inflow Depth > 1.99" for 10-yr event

Inflow = 6.89 cfs @ 11.96 hrs, Volume= 0.292 af

Primary = 6.89 cfs @ 11.96 hrs, Volume= 0.292 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Pre-Development Model

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Type II 24-hr 25-yr Rainfall=6.16"

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Page 10

Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment3S: POST-1.0

Runoff Area=76,696 sf 48.90% Impervious Runoff Depth>2.97"
Flow Length=614' Tc=5.0 min CN=73 Runoff=10.18 cfs 0.436 af

Link 4L: PA-1

Inflow=10.18 cfs 0.436 af
Primary=10.18 cfs 0.436 af

Total Runoff Area = 1.761 ac Runoff Volume = 0.436 af Average Runoff Depth = 2.97"
51.10% Pervious = 0.900 ac 48.90% Impervious = 0.861 ac

Pre-Development Model

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Type II 24-hr 25-yr Rainfall=6.16"

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Summary for Subcatchment 3S: POST-1.0

- [49] Hint: Tc<2dt may require smaller dt
- [47] Hint: Peak is 286% of capacity of segment #3
- [47] Hint: Peak is 129% of capacity of segment #4

Runoff = 10.18 cfs @ 11.96 hrs, Volume= 0.436 af, Depth> 2.97"
Routed to Link 4L : PA-1

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr 25-yr Rainfall=6.16"

Area (sf)	CN	Description
37,508	98	Paved parking, HSG A
39,188	49	50-75% Grass cover, Fair, HSG A
76,696	73	Weighted Average
39,188		51.10% Pervious Area
37,508		48.90% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.0	39	0.0050	0.65		Sheet Flow, Roof Smooth surfaces n= 0.011 P2= 3.20"
0.6	124	0.0270	3.34		Shallow Concentrated Flow, Parking Area Paved Kv= 20.3 fps
0.4	107	0.0100	4.54	3.56	Pipe Channel, Pipe Network 12.0" Round Area= 0.8 sf Perim= 3.1' r= 0.25' n= 0.013 Cast iron, coated
0.9	344	0.0150	6.45	7.91	Pipe Channel, Pipe Network 15.0" Round Area= 1.2 sf Perim= 3.9' r= 0.31' n= 0.013 Corrugated PE, smooth interior
2.9	614	Total, Increased to minimum Tc = 5.0 min			

Summary for Link 4L: PA-1

Inflow Area = 1.761 ac, 48.90% Impervious, Inflow Depth > 2.97" for 25-yr event
 Inflow = 10.18 cfs @ 11.96 hrs, Volume= 0.436 af
 Primary = 10.18 cfs @ 11.96 hrs, Volume= 0.436 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Pre-Development Model

Prepared by Tighe & Bond

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Type II 24-hr 50-yr Rainfall=7.38"

Printed 3/20/2026

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment3S: POST-1.0

Runoff Area=76,696 sf 48.90% Impervious Runoff Depth>3.95"
Flow Length=614' Tc=5.0 min CN=73 Runoff=13.37 cfs 0.580 af

Link 4L: PA-1

Inflow=13.37 cfs 0.580 af
Primary=13.37 cfs 0.580 af

Total Runoff Area = 1.761 ac Runoff Volume = 0.580 af Average Runoff Depth = 3.95"
51.10% Pervious = 0.900 ac 48.90% Impervious = 0.861 ac

Pre-Development Model

Prepared by Tighe & Bond

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Type II 24-hr 50-yr Rainfall=7.38"

Printed 3/20/2026

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Summary for Subcatchment 3S: POST-1.0

- [49] Hint: Tc<2dt may require smaller dt
- [47] Hint: Peak is 375% of capacity of segment #3
- [47] Hint: Peak is 169% of capacity of segment #4

Runoff = 13.37 cfs @ 11.96 hrs, Volume= 0.580 af, Depth> 3.95"
 Routed to Link 4L : PA-1

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr 50-yr Rainfall=7.38"

Area (sf)	CN	Description
37,508	98	Paved parking, HSG A
39,188	49	50-75% Grass cover, Fair, HSG A
76,696	73	Weighted Average
39,188		51.10% Pervious Area
37,508		48.90% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.0	39	0.0050	0.65		Sheet Flow, Roof Smooth surfaces n= 0.011 P2= 3.20"
0.6	124	0.0270	3.34		Shallow Concentrated Flow, Parking Area Paved Kv= 20.3 fps
0.4	107	0.0100	4.54	3.56	Pipe Channel, Pipe Network 12.0" Round Area= 0.8 sf Perim= 3.1' r= 0.25' n= 0.013 Cast iron, coated
0.9	344	0.0150	6.45	7.91	Pipe Channel, Pipe Network 15.0" Round Area= 1.2 sf Perim= 3.9' r= 0.31' n= 0.013 Corrugated PE, smooth interior
2.9	614	Total, Increased to minimum Tc = 5.0 min			

Summary for Link 4L: PA-1

Inflow Area = 1.761 ac, 48.90% Impervious, Inflow Depth > 3.95" for 50-yr event
 Inflow = 13.37 cfs @ 11.96 hrs, Volume= 0.580 af
 Primary = 13.37 cfs @ 11.96 hrs, Volume= 0.580 af, Atten= 0%, Lag= 0.0 min

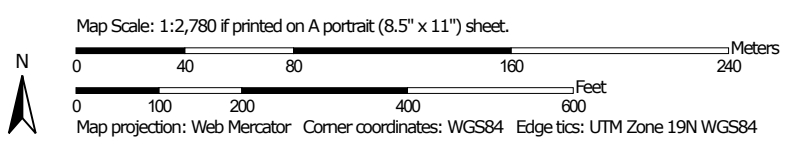
Primary outflow = Inflow, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Appendix A - Web Soil Survey

Soil Map—Rockingham County, New Hampshire
(New Franklin School - Web Soil Survey Map)




Soil Map may not be valid at this scale.




MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Rockingham County, New Hampshire
Survey Area Data: Version 28, Sep 9, 2025

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jun 19, 2020—Sep 20, 2020

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
799	Urban land-Canton complex, 3 to 15 percent slopes	15.0	100.0%
Totals for Area of Interest		15.0	100.0%

Map Unit Description

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions in this report, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named, soils that are similar to the named components, and some minor components that differ in use and management from the major soils.

Most of the soils similar to the major components have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Some minor components, however, have properties and behavior characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. All the soils of a series have major horizons that are similar in composition, thickness, and arrangement. Soils of a given series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

Additional information about the map units described in this report is available in other soil reports, which give properties of the soils and the limitations, capabilities, and potentials for many uses. Also, the narratives that accompany the soil reports define some of the properties included in the map unit descriptions.

Rockingham County, New Hampshire

799—Urban land-Canton complex, 3 to 15 percent slopes

Map Unit Setting

National map unit symbol: 9cq0

Elevation: 0 to 1,000 feet

Mean annual precipitation: 42 to 46 inches

Mean annual air temperature: 45 to 48 degrees F

Frost-free period: 120 to 160 days

Farmland classification: Not prime farmland

Map Unit Composition

Urban land: 55 percent

Canton and similar soils: 20 percent

Minor components: 25 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Canton

Setting

Parent material: Till

Typical profile

H1 - 0 to 5 inches: gravelly fine sandy loam

H2 - 5 to 21 inches: gravelly fine sandy loam

H3 - 21 to 60 inches: loamy sand

Properties and qualities

Slope: 3 to 8 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Well drained

Runoff class: Low

Capacity of the most limiting layer to transmit water (Ksat): High
(2.00 to 6.00 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: None

Frequency of ponding: None

Available water supply, 0 to 60 inches: Low (about 5.3 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2e

Hydrologic Soil Group: A

Ecological site: F144AY034CT - Well Drained Till Uplands

Hydric soil rating: No

Minor Components

Udorthents

Percent of map unit: 5 percent

Hydric soil rating: No

Squamscott and scitico

Percent of map unit: 4 percent

Landform: Marine terraces

Hydric soil rating: Yes

Boxford and eldridge

Percent of map unit: 4 percent

Hydric soil rating: No

Walpole

Percent of map unit: 4 percent

Landform: Depressions

Hydric soil rating: Yes

Scituate and newfields

Percent of map unit: 4 percent

Hydric soil rating: No

Chatfield

Percent of map unit: 4 percent

Hydric soil rating: No

Data Source Information

Soil Survey Area: Rockingham County, New Hampshire

Survey Area Data: Version 28, Sep 9, 2025

Appendix B - Rainfall Data

Extreme Precipitation Tables

Northeast Regional Climate Center

Data represents point estimates calculated from partial duration series. All precipitation amounts are displayed in inches.

Metadata for Point	
Smoothing	Yes
State	New Hampshire
Location	New Hampshire, United States
Latitude	43.077 degrees North
Longitude	70.777 degrees West
Elevation	10 feet
Date/Time	Thu Mar 19 2026 16:53:08 GMT-0400 (Eastern Daylight Time)

Extreme Precipitation Estimates

	5min	10min	15min	30min	60min	120min		1hr	2hr	3hr	6hr	12hr	24hr	48hr		1day	2day	4day	7day	10day	
1yr	0.26	0.40	0.50	0.65	0.81	1.04	1yr	0.70	0.98	1.21	1.56	2.03	2.66	2.92	1yr	2.35	2.80	3.21	3.93	4.54	1yr
2yr	0.32	0.50	0.62	0.81	1.02	1.30	2yr	0.88	1.18	1.51	1.94	2.48	3.20	3.56	2yr	2.84	3.43	3.93	4.67	5.32	2yr
5yr	0.37	0.58	0.73	0.97	1.24	1.60	5yr	1.07	1.46	1.88	2.42	3.13	4.06	4.57	5yr	3.59	4.39	5.03	5.92	6.69	5yr
10yr	0.41	0.65	0.82	1.11	1.45	1.88	10yr	1.25	1.72	2.22	2.88	3.74	4.86	5.52	10yr	4.30	5.31	6.07	7.09	7.96	10yr
25yr	0.48	0.76	0.96	1.33	1.77	2.33	25yr	1.52	2.13	2.76	3.62	4.73	6.16	7.09	25yr	5.45	6.81	7.78	9.00	10.03	25yr
50yr	0.53	0.85	1.09	1.53	2.06	2.74	50yr	1.78	2.52	3.27	4.31	5.64	7.38	8.57	50yr	6.53	8.24	9.39	10.78	11.96	50yr
100yr	0.59	0.96	1.24	1.76	2.40	3.24	100yr	2.07	2.96	3.88	5.13	6.75	8.84	10.36	100yr	7.82	9.96	11.34	12.93	14.25	100yr
200yr	0.67	1.09	1.41	2.03	2.80	3.81	200yr	2.42	3.50	4.59	6.10	8.05	10.59	12.52	200yr	9.37	12.04	13.70	15.50	16.99	200yr
500yr	0.79	1.30	1.70	2.46	3.45	4.73	500yr	2.97	4.35	5.72	7.66	10.18	13.46	16.11	500yr	11.91	15.49	17.59	19.72	21.46	500yr

Lower Confidence Limits

	5min	10min	15min	30min	60min	120min		1hr	2hr	3hr	6hr	12hr	24hr	48hr		1day	2day	4day	7day	10day	
1yr	0.23	0.36	0.44	0.59	0.73	0.88	1yr	0.63	0.87	0.92	1.32	1.67	2.22	2.49	1yr	1.96	2.40	2.85	3.16	3.87	1yr
2yr	0.31	0.49	0.60	0.81	1.00	1.19	2yr	0.86	1.16	1.37	1.82	2.34	3.05	3.45	2yr	2.70	3.32	3.82	4.54	5.07	2yr
5yr	0.35	0.54	0.67	0.92	1.17	1.40	5yr	1.01	1.37	1.61	2.12	2.74	3.78	4.19	5yr	3.35	4.03	4.71	5.52	6.23	5yr
10yr	0.38	0.59	0.73	1.02	1.32	1.60	10yr	1.14	1.56	1.81	2.39	3.07	4.37	4.86	10yr	3.86	4.67	5.43	6.40	7.19	10yr
25yr	0.44	0.67	0.83	1.18	1.56	1.90	25yr	1.34	1.86	2.10	2.77	3.55	4.68	5.89	25yr	4.14	5.66	6.64	7.78	8.67	25yr
50yr	0.48	0.73	0.91	1.31	1.76	2.17	50yr	1.52	2.12	2.35	3.09	3.95	5.28	6.80	50yr	4.67	6.54	7.71	9.03	10.01	50yr
100yr	0.54	0.81	1.01	1.46	2.01	2.47	100yr	1.73	2.41	2.62	3.43	4.37	5.92	7.85	100yr	5.24	7.55	8.97	10.49	11.54	100yr
200yr	0.59	0.89	1.13	1.63	2.28	2.82	200yr	1.96	2.75	2.93	3.81	4.82	6.63	9.07	200yr	5.86	8.72	10.41	12.20	13.34	200yr
500yr	0.68	1.02	1.31	1.90	2.71	3.37	500yr	2.34	3.29	3.41	4.35	5.50	7.69	10.96	500yr	6.81	10.54	12.69	14.92	16.15	500yr

Upper Confidence Limits

	5min	10min	15min	30min	60min	120min		1hr	2hr	3hr	6hr	12hr	24hr	48hr		1day	2day	4day	7day	10day	
1yr	0.28	0.44	0.54	0.72	0.89	1.08	1yr	0.77	1.06	1.26	1.74	2.21	2.99	3.15	1yr	2.64	3.03	3.58	4.37	5.04	1yr
2yr	0.33	0.52	0.64	0.86	1.06	1.27	2yr	0.92	1.24	1.48	1.96	2.51	3.42	3.69	2yr	3.03	3.55	4.08	4.83	5.63	2yr
5yr	0.40	0.61	0.76	1.05	1.33	1.62	5yr	1.15	1.58	1.88	2.53	3.24	4.33	4.95	5yr	3.83	4.76	5.36	6.36	7.14	5yr
10yr	0.47	0.72	0.89	1.24	1.60	1.97	10yr	1.38	1.92	2.28	3.10	3.94	5.33	6.18	10yr	4.72	5.94	6.79	7.81	8.73	10yr
25yr	0.57	0.87	1.08	1.55	2.04	2.56	25yr	1.76	2.50	2.94	4.06	5.13	7.81	8.31	25yr	6.91	7.99	9.10	10.30	11.38	25yr
50yr	0.67	1.01	1.26	1.82	2.44	3.11	50yr	2.11	3.04	3.58	4.98	6.28	9.78	10.41	50yr	8.66	10.01	11.37	12.68	13.92	50yr
100yr	0.78	1.18	1.48	2.14	2.94	3.78	100yr	2.53	3.70	4.36	6.13	7.71	12.25	13.04	100yr	10.84	12.54	14.20	15.63	17.04	100yr
200yr	0.92	1.38	1.74	2.53	3.52	4.62	200yr	3.04	4.51	5.31	7.55	9.46	15.38	16.36	200yr	13.62	15.73	17.77	19.27	20.86	200yr
500yr	1.13	1.69	2.17	3.15	4.49	5.99	500yr	3.87	5.85	6.89	9.96	12.43	20.81	22.08	500yr	18.42	21.23	23.91	25.40	27.27	500yr



City of Portsmouth, New Hampshire

Site Plan Application Checklist

This site plan application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. The checklist is required to be completed and uploaded to the Site Plan application in the City's online permitting system. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan review regulations for full details.

Applicant Responsibilities (Section 2.5.2): Applicable fees are due upon application submittal along with required attachments. The application shall be complete as submitted and provide adequate information for evaluation of the proposed site development. Waiver requests must be submitted in writing with appropriate justification.

Name of Applicant: City of Portsmouth Date Submitted: 03/23/2026

Application # (in City's online permitting): _____

Site Address: 1 Franklin Drive Portsmouth, NH 03801 Map: 220 Lot: 02

Application Requirements			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Complete application form submitted via the City's web-based permitting program (2.5.2.1(2.5.2.3A))	Enclosed	N/A
<input type="checkbox"/>	All application documents, plans, supporting documentation and other materials uploaded to the application form in viewpoint in digital Portable Document Format (PDF). One hard copy of all plans and materials shall be submitted to the Planning Department by the published deadline. (2.5.2.8)	Enclosed	N/A

Site Plan Review Application Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Statement that lists and describes "green" building components and systems. (2.5.3.1B)	Enclosed	
<input type="checkbox"/>	Existing and proposed gross floor area and dimensions of all buildings and statement of uses and floor area for each floor. (2.5.3.1C)	Enclosed	N/A
<input type="checkbox"/>	Tax map and lot number, and current zoning of all parcels under Site Plan Review. (2.5.3.1D)	Enclosed	N/A

Site Plan Review Application Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. (2.5.3.1E)	Cover Sheet, Owner Authorization	N/A
<input type="checkbox"/>	Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property. (2.5.3.1F)	Abutters List Enclosed	N/A
<input type="checkbox"/>	Names, addresses and telephone numbers of all professionals involved in the site plan design. (2.5.3.1G)	Cover Sheet	N/A
<input type="checkbox"/>	List of reference plans. (2.5.3.1H)	Sheet C-100	N/A
<input type="checkbox"/>	List of names and contact information of all public or private utilities servicing the site. (2.5.3.1I)	Sheet C-500, Note 4	N/A

Site Plan Specifications

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director.. (2.5.4.1A)	Required on all plan sheets	N/A
<input type="checkbox"/>	Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans. (2.5.4.1B)	Required on all plan sheets	N/A
<input type="checkbox"/>	GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. (2.5.4.1C)	Included	N/A
<input type="checkbox"/>	Plans shall be drawn to scale and stamped by a NH licensed civil engineer. (2.5.4.1D)	Required on all plan sheets	N/A
<input type="checkbox"/>	Wetlands shall be delineated by a NH certified wetlands scientist and so stamped. (2.5.4.1E)	Formal wetland delineation prior to construction	N/A
<input type="checkbox"/>	Title (name of development project), north point, scale, legend. (2.5.4.2A)	all sheets	N/A
<input type="checkbox"/>	Date plans first submitted, date and explanation of revisions. (2.5.4.2B)	all sheets	N/A
<input type="checkbox"/>	Individual plan sheet title that clearly describes the information that is displayed. (2.5.4.2C)	Required on all plan sheets	N/A
<input type="checkbox"/>	Source and date of data displayed on the plan. (2.5.4.2D)	C-100, Notes	N/A

Site Plan Specifications – Required Exhibits and Data

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	<p>1. Existing Conditions: (2.5.4.3A)</p> <ul style="list-style-type: none"> • Surveyed plan of site showing existing natural and built features; • Existing building footprints and gross floor area; • Existing parking areas and number of parking spaces provided; • Zoning district boundaries; • Existing, required, and proposed dimensional zoning requirements including building and open space coverage, yards and/or setbacks, and dwelling units per acre; • Existing impervious and disturbed areas; • Limits and type of existing vegetation; • Wetland delineation, wetland function and value assessment (including vernal pools); • SFHA, 100-year flood elevation line and BFE data, as required. 	C-100, Additional Information Provided on C-300	
<input type="checkbox"/>	<p>2. Buildings and Structures: (2.5.4.3B)</p> <ul style="list-style-type: none"> • Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation; • Elevations: Height, massing, placement, materials, lighting, façade treatments; • Total Floor Area; • Number of Usable Floors; • Gross floor area by floor and use. 	Architectural Drawings, TAC 100 and TAC 200	
<input type="checkbox"/>	<p>3. Access and Circulation: (2.5.4.3C)</p> <ul style="list-style-type: none"> • Location/width of access ways within site; • Location of curbing, right of ways, edge of pavement and sidewalks; • Location, type, size and design of traffic signing (pavement markings); • Names/layout of existing abutting streets; • Driveway curb cuts for abutting prop. and public roads; • If subdivision; Names of all roads, right of way lines and easements noted; • AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC). 	C-300 Site Plan and C-700 Fire Truck Turning Plan	
<input type="checkbox"/>	<p>4. Parking and Loading: (2.5.4.3D)</p> <ul style="list-style-type: none"> • Location of off street parking/loading areas, landscaped areas/buffers; • Parking Calculations (# required and the # provided). 	C-300 Site Plan	
<input type="checkbox"/>	<p>5. Water Infrastructure: (2.5.4.3E)</p> <ul style="list-style-type: none"> • Size, type and location of water mains, shut-offs, hydrants & Engineering data; • Location of wells and monitoring wells (include protective radii). 	C-500 Utilities Plan	
<input type="checkbox"/>	<p>6. Sewer Infrastructure: (2.5.4.3F)</p> <ul style="list-style-type: none"> • Size, type and location of sanitary sewage facilities & Engineering data, including any onsite temporary facilities during construction period. 	C-500 Utilities Plan	

<input type="checkbox"/>	7. Utilities: (2.5.4.3G) <ul style="list-style-type: none"> The size, type and location of all above & below ground utilities; Size type and location of generator pads, transformers and other fixtures. 	C-500 Utilities Plan	
<input type="checkbox"/>	8. Solid Waste Facilities: (2.5.4.3H) <ul style="list-style-type: none"> The size, type and location of solid waste facilities. 	C-300 Site Plan (dumpster location identified)	
<input type="checkbox"/>	9. Storm water Management: (2.5.4.3I) <ul style="list-style-type: none"> The location, elevation and layout of all storm-water drainage. The location of onsite snow storage areas and/or proposed off-site snow removal provisions. Location and containment measures for any salt storage facilities Location of proposed temporary and permanent material storage locations and distance from wetlands, water bodies, and stormwater structures. 	C-400 Grading, Drainage and Erosion Control Plan	
<input type="checkbox"/>	10. Outdoor Lighting: (2.5.4.3J) <ul style="list-style-type: none"> Type and placement of all lighting (exterior of building, parking lot and any other areas of the site) and photometric plan. 	Electrical Drawings - PM	
<input type="checkbox"/>	11. Indicate where dark sky friendly lighting measures have been implemented. (10.1)	Enclosed	
<input type="checkbox"/>	12. Landscaping: (2.5.4.3K) <ul style="list-style-type: none"> Identify all undisturbed area, existing vegetation and that which is to be retained; Location of any irrigation system and water source. 	No irrigation is proposed as a part of this project, see Erosion Control Note #11 on Sheet C-600	
<input type="checkbox"/>	13. Contours and Elevation: (2.5.4.3L) <ul style="list-style-type: none"> Existing/Proposed contours (2 foot minimum) and finished grade elevations. 	C-300 Grading Drainage and Erosion Control Sheet	
<input type="checkbox"/>	14. Open Space: (2.5.4.3M) <ul style="list-style-type: none"> Type, extent and location of all existing/proposed open space. 	C-300 Site Plan	
<input type="checkbox"/>	15. All easements, deed restrictions and non-public rights of ways. (2.5.4.3N)		
<input type="checkbox"/>	16. Character/Civic District (All following information shall be included): (2.5.4.3P) <ul style="list-style-type: none"> Applicable Building Height (10.5A21.20 & 10.5A43.30); Applicable Special Requirements (10.5A21.30); Proposed building form/type (10.5A43); Proposed community space (10.5A46). 	N/A	
<input type="checkbox"/>	17. Special Flood Hazard Areas (2.5.4.3Q) <ul style="list-style-type: none"> The proposed development is consistent with the need to minimize flood damage; All public utilities and facilities are located and construction to minimize or eliminate flood damage; Adequate drainage is provided so as to reduce exposure to flood hazards. 	N/A	

Other Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Traffic Impact Study or Trip Generation Report, as required. (3.2.1-2)		
<input type="checkbox"/>	Indicate where Low Impact Development Design practices have been incorporated. (7.1)		
<input type="checkbox"/>	Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. (7.3.1)	N/A	
<input type="checkbox"/>	Stormwater Management and Erosion Control Plan. (7.4)	Sheet C-400	
<input type="checkbox"/>	Inspection and Maintenance Plan (7.6.5)		

Final Site Plan Approval Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	All local approvals, permits, easements and licenses required, including but not limited to: <ul style="list-style-type: none"> • Waivers; • Driveway permits; • Special exceptions; • Variances granted; • Easements; • Licenses. (2.5.3.2A)	N/A	
<input type="checkbox"/>	Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: <ul style="list-style-type: none"> • Calculations relating to stormwater runoff; • Information on composition and quantity of water demand and wastewater generated; • Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls; • Estimates of traffic generation and counts pre- and post-construction; • Estimates of noise generation; • A Stormwater Management and Erosion Control Plan; • Endangered species and archaeological / historical studies; • Wetland and water body (coastal and inland) delineations; • Environmental impact studies. (2.5.3.2B)	Drainage Report Enclosed	
<input type="checkbox"/>	A document from each of the required private utility service providers indicating approval of the proposed site plan and indicating an ability to provide all required private utilities to the site. (2.5.3.2D)	N/A	

Final Site Plan Approval Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	A list of any required state and federal permit applications required for the project and the status of same. (2.5.3.2E)	N/A	
<input type="checkbox"/>	A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations." (2.5.4.2E)		N/A
<input type="checkbox"/>	For site plans that involve land designated as "Special Flood Hazard Areas" (SFHA) by the National Flood Insurance Program (NFIP) confirmation that all necessary permits have been received from those governmental agencies from which approval is required by Federal or State law, including Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S.C. 1334. (2.5.4.2F)	N/A	
<input type="checkbox"/>	Plan sheets submitted for recording shall include the following notes: <ul style="list-style-type: none"> a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds." b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director." (2.13.3)		N/A

Applicant's Signature: _____ **Date:** _____



March 20, 2026

City of Portsmouth
Attn: Site Plan Review Technical Advisory Committee
City Hall
1 Junkins Ave, 3rd Floor
Portsmouth, NH

RE: NEW FRANKLIN ELEMENTARY SCHOOL

To whom it may concern:

In response to the "City of Portsmouth, NH - Site Plan Application Checklist", item 2.5.3.1B, the following outlines "green" building components and systems.

Roof:

Roof is flat and is designed with extra structural capacity to support installation of future photovoltaics. Roof is black which takes advantage of solar heat gains during the colder seasons which benefits buildings in the Northern Climate.

Site:

Conduits are being installed from the electrical panel to (2) parking spaces to support future EV charging.

Thermal envelope:

In lieu of energy code minimum, the wall and roof systems will be designed with continuous insulation exceed energy code R-value minimums.

Windows/Doors:

Aluminum, thermally broken frames with glazing that meets or exceeds the U-factor, SHGC, and air sealing energy code minimums.

Building materials:

Masonry is specified for exterior walls which has a longer life span than other traditional building materials. Aluminum windows and doors are specified in order to better withstand salt degradation, as a result of being located close to the ocean.

Lighting:

LED light fixtures will be installed.

HVAC:

Air handling units and ventilation systems incorporate heat and energy recovery on exhaust and makeup air. All motors incorporate variable frequency drives or ECM motors for speed modulation and electrical savings. Classrooms have demand control ventilation based on CO2 monitoring. Air handler will reduce airflow to unoccupied spaces or those with lower outside air requirements. New control integration provides energy savings through system night setbacks and scheduling for occupied and unoccupied hours. Ventilation control system incorporates free cooling by monitoring outside and inside temperatures.

Sincerely,

A handwritten signature in black ink, appearing to read 'Ingrid Moulton Nichols', with a long horizontal line extending to the right.

Ingrid Moulton Nichols, AIA
Principal
LEED™ Accredited Professional



WEDGE2 LED

Architectural Wall Sconce

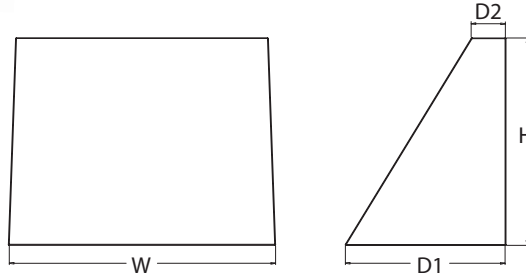
Precision Refractive Optic



Catalog No. **WFGE2 LED P3 80 CRI T4M**

Specifications

Depth (D1):	7"
Depth (D2):	1.5"
Height:	9"
Width:	11.5"
Weight: (without options)	13.5 lbs



Catalog Number	New Franklin School Portsmouth, NH
Notes	Fixture W1 Dark Skies Approved DLC Premium Rated
Type	

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The WEDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WEDGE family provides additional energy savings and code compliance.

WEDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WEDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect.
*See ordering tree for details

WEDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)						
					P0	P1	P2	P3	P4	P5	P6
WEDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--
WEDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--
WEDGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--
WEDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight	--	7,500	8,500	10,000	12,000	--	--
WEDGE4 LED	Precision Refractive			Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WEDGE2 LED P3 40K 80CRI T3M MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WEDGE2 LED	P0 ¹	27K 2700K	40K 4000K	70CRI ⁴	MVOLT	Shipped included SRM Surface mounting bracket
	P1 ²	30K 3000K	50K 5000K	80CRI		
	P2 ²	35K 3500K	AMB ³ Amber	LW ³ Limited Wavelength		
	P3 ²					
	P4 ²					
				T1S Type I Short	347 ⁵	Shipped separately AWS 3/8inch Architectural wall spacer ⁷ PBBW Surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available ⁷
				T2M Type II Medium	480 ⁵	
				T3M Type III Medium		
				T4M Type IV Medium		
				TFTM Forward Throw Medium		

Options	Finish
<p>E10WH Emergency battery backup, Certified in CA Title 20 MAEDBS (10W, 5°C min)</p> <p>E20WC Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min)</p> <p>PE Photocell, Button Type⁸</p> <p>DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)⁹</p> <p>BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points.</p> <p>CCE Coastal Construction⁷</p>	<p>DDBXD Dark bronze</p> <p>DBLXD Black</p> <p>DNAXD Natural aluminum</p> <p>DWHXD White</p> <p>DSSXD Sandstone</p> <p>DDBTXD Textured dark bronze</p> <p>DBLTXD Textured black</p> <p>DNATXD Textured natural aluminum</p> <p>DWHGXD Textured white</p> <p>DSSTXD Textured sandstone</p>
<p>Standalone Sensors/Controls</p> <p>PIR Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.</p> <p>PIRH Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.</p> <p>PIR1FC3V Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation.</p> <p>PIRH1FC3V Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.</p> <p>Networked Sensors/Controls</p> <p>NLTAIR2 PIR Embedded wireless controls by nLight with Passive Infrared Occ sensor and on/off photocell for 8-15' mounting heights.</p> <p>NLTAIR2 PIRH Embedded wireless controls by nLight with Passive Infrared Occ sensor and on/off photocell for 15-30' mounting heights.</p> <p>NLTAIREM2 PIR Embedded wireless controls by nLight with UL924 listed emergency operation, Passive Infrared Occ sensor and on/off photocell for 8-15' mounting heights.</p> <p>NLTAIREM2 PIRH Embedded wireless controls by nLight with UL924 listed emergency operation, Passive Infrared Occ sensor and on/off photocell for 15-30' mounting heights.</p> <p>See page 4 for out of box functionality</p>	



Accessories

Ordered and shipped separately.

WDGEAWS DDBXD U	WDGE 3/8inch Architectural Wall Spacer (specify finish)
WDGE2PBBW DDBXD U	WDGE2 surface-mounted back box (specify finish)

NOTES

- 1 P0 option not available with sensors/controls.
- 2 P1-P4 not available with AMB and LW.
- 3 AMB and LW always go together.
- 4 70CRI only available with T3M and T4M.
- 5 347V and 480V not available with E10WH or E20WC.
- 6 Not qualified for DLC. Not available with emergency battery backup or sensors/controls.
- 7 For PBBW and AWS with CCE option, require an RFA.
- 8 PE not available in 480V or with sensors/controls.
- 9 DMG option not available with sensors/controls.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K (2700K, 80 CRI)					30K (3000K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)					Amber (Limited Wavelength)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P0	7W	T1S	636	92	0	0	0	666	97	0	0	0	699	101	0	0	1	691	100	0	0	1	712	47	0	0	1
		T2M	662	96	0	0	0	693	101	0	0	0	728	106	0	0	0	719	104	0	0	0	741	48	0	0	0
		T3M	662	96	0	0	0	693	101	0	0	0	728	106	0	0	0	719	104	0	0	0	741	48	0	0	0
		T4M	648	94	0	0	0	679	98	0	0	0	712	103	0	0	0	704	102	0	0	0	726	47	0	0	0
		TFTM	652	95	0	0	0	683	99	0	0	0	717	104	0	0	0	708	103	0	0	0	730	48	0	0	1
P1	11W	T1S	1,105	99	0	0	1	1,157	104	0	0	1	1,215	109	0	0	1	1,200	107	0	0	1					
		T2M	1,150	103	0	0	1	1,204	108	0	0	1	1,264	113	0	0	1	1,249	112	0	0	1					
		T3M	1,150	103	0	0	1	1,205	108	0	0	1	1,265	113	0	0	1	1,250	112	0	0	1					
		T4M	1,126	101	0	0	1	1,179	106	0	0	1	1,238	111	0	0	1	1,223	110	0	0	1					
		TFTM	1,133	101	0	0	1	1,186	106	0	0	1	1,245	112	0	0	1	1,230	110	0	0	1					
P2	19W	T1S	1,801	95	1	0	1	1,886	99	1	0	1	1,981	104	1	0	1	1,957	103	1	0	1					
		T2M	1,875	99	1	0	1	1,963	103	1	0	1	2,061	109	1	0	1	2,037	107	1	0	1					
		T3M	1,876	99	1	0	1	1,964	103	1	0	1	2,062	109	1	0	1	2,038	107	1	0	1					
		T4M	1,836	97	1	0	1	1,922	101	1	0	1	2,018	106	1	0	1	1,994	105	1	0	1					
		TFTM	1,847	97	1	0	1	1,934	102	1	0	1	2,030	107	1	0	1	2,006	106	1	0	1					
P3	32W	T1S	2,809	87	1	0	1	2,942	92	1	0	1	3,089	96	1	0	1	3,052	95	1	0	1					
		T2M	2,924	91	1	0	1	3,062	95	1	0	1	3,215	100	1	0	1	3,176	99	1	0	1					
		T3M	2,925	91	1	0	1	3,063	95	1	0	1	3,216	100	1	0	1	3,177	99	1	0	1					
		T4M	2,862	89	1	0	1	2,997	93	1	0	1	3,147	98	1	0	1	3,110	97	1	0	1					
		TFTM	2,880	90	1	0	1	3,015	94	1	0	1	3,166	99	1	0	1	3,128	97	1	0	1					
P4	47W	T1S	3,729	80	1	0	1	3,904	84	1	0	1	4,099	88	1	0	1	4,051	87	1	0	1					
		T2M	3,881	83	1	0	1	4,063	87	1	0	1	4,267	91	1	0	1	4,216	90	1	0	1					
		T3M	3,882	83	1	0	1	4,065	87	1	0	1	4,268	91	1	0	1	4,217	90	1	0	1					
		T4M	3,799	81	1	0	1	3,978	85	1	0	1	4,177	90	1	0	1	4,127	88	1	0	1					
		TFTM	3,822	82	1	0	1	4,002	86	1	0	1	4,202	90	1	0	1	4,152	89	1	0	1					

Performance Package	System Watts	Dist. Type	27K (2700K, 70 CRI)					30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)									
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G					
P0	7W	T3M	737	107	0	0	0	763	111	0	0	0	822	119	0	0	0	832	121	0	0	1					
		T4M	721	105	0	0	0	746	108	0	0	0	804	117	0	0	1	814	118	0	0	1					
P1	11W	T3M	1,280	115	0	0	1	1,325	119	0	0	1	1,427	128	1	0	1	1,445	129	1	0	1					
		T4M	1,253	112	0	0	1	1,297	116	0	0	1	1,397	125	0	0	1	1,415	127	0	0	1					
P2	19W	T3M	2,087	110	1	0	1	2,160	114	1	0	1	2,327	123	1	0	1	2,357	124	1	0	1					
		T4M	2,042	108	1	0	1	2,114	111	1	0	1	2,278	120	1	0	1	2,306	121	1	0	1					
P3	32W	T3M	3,254	101	1	0	1	3,369	105	1	0	1	3,629	113	1	0	1	3,675	114	1	0	1					
		T4M	3,185	99	1	0	1	3,297	103	1	0	1	3,552	111	1	0	1	3,597	112	1	0	1					
P4	47W	T3M	4,319	93	1	0	1	4,471	96	1	0	1	4,817	103	1	0	2	4,878	105	1	0	2					
		T4M	4,227	91	1	0	1	4,376	94	1	0	2	4,714	101	1	0	2	4,774	102	1	0	2					

Electrical Load

Performance Package	System Watts	Current (A)					
		120Vac	208Vac	240Vac	277Vac	347Vac	480Vac
P0	7.0	0.061	0.042	0.04	0.039	--	--
	9.0	--	--	--	--	0.031	0.021
P1	11.0	0.100	0.064	0.059	0.054	--	--
	14.1	--	--	--	--	0.046	0.031
P2	19.0	0.168	0.106	0.095	0.083	--	--
	22.8	--	--	--	--	0.067	0.050
P3	32.0	0.284	0.163	0.144	0.131	--	--
	37.1	--	--	--	--	0.107	0.079
P4	47.0	0.412	0.234	0.207	0.185	--	--
	53.5	--	--	--	--	0.153	0.112

Lumen Output in Emergency Mode (4000K, 80 CRI, T3M)

Option	Lumens
E10WH	1,358
E20WC	2,230

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.93	>0.87

Photometric Diagrams

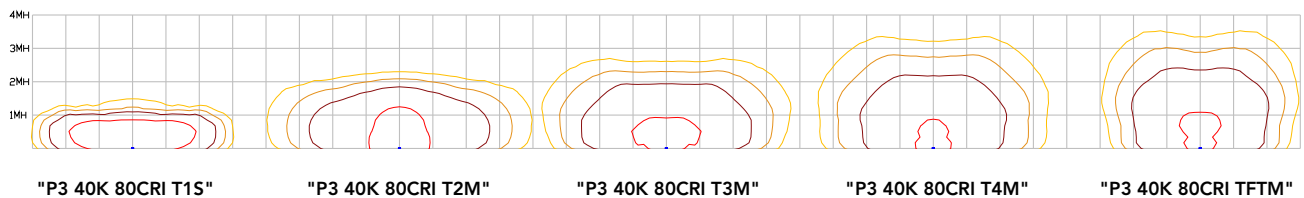
To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDGE LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

LEGEND

- 0.25 fc
- 0.5 fc
- 1.0 fc
- 3.0 fc

MH = 10ft

Grid = 10ft x 10ft



Emergency Egress Options

Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90 minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

Control / Sensor Options

Motion/Ambient Sensor (PIR, PIRH)

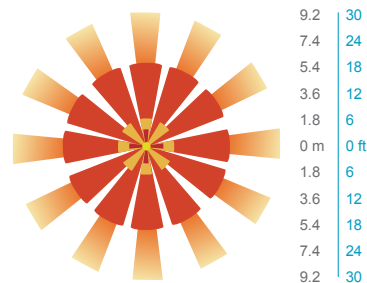
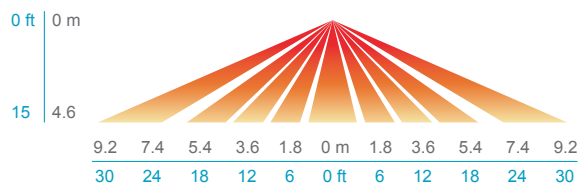
Motion/Ambient sensor (Sensor Switch MSOD) is integrated into the the luminaire. The sensor provides both Motion and Daylight based dimming of the luminaire. For motion detection, the sensor utilizes 100% Digital Passive Infrared (PIR) technology that is tuned for walking size motion while preventing false tripping from the environment. The integrated photocell enables additional energy savings during daytime periods when there is sufficient daylight. Optimize sensor coverage by either selecting PIR or PIRH option. PIR option comes with a sensor lens that is optimized to provide maximum coverage for mounting heights between 8-15ft, while PIRH is optimized for 15-40ft mounting height.

Networked Control (NLTAIR2)

nLight® AIR is a wireless lighting controls platform that allows for seamless integration of both indoor and outdoor luminaires. Five-tier security architecture, 900 MHz wireless communication and app (CLAIRITY™ Pro) based configurability combined together make nLight® AIR a secure, reliable and easy to use platform.

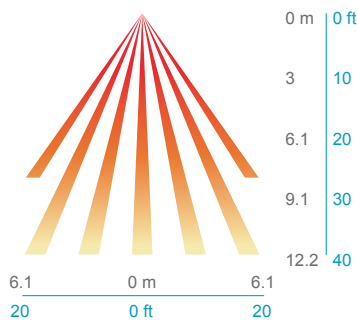
PIR

HIGH VIEW

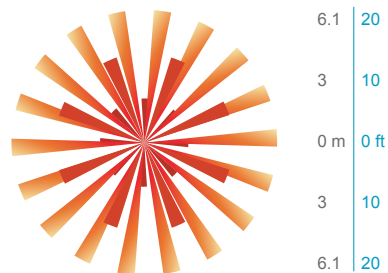


PIRH

SIDE VIEW



TOP VIEW



Option	Dim Level	High Level (when triggered)	Photocell Operation	Motion Time Delay	Ramp-down Time	Ramp-up Time
PIR or PIRH	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
PIR1FC3V, PIRH1FC3V	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 1fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
NLTAIR2 PIR, NLTAIR2 PIRH, NLTAIREM2 PIR, NLTAIREM2 PIRH (out of box)	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	7.5 min	5 min	Motion - 3 sec Photocell - 45 sec

UL 924 Response – nLight AIR Devices with EM Option

- NLTAIREM2 devices will remain at their high-end trim and ignore wireless lighting control commands, unless a normal-power-sensed (NPS) broadcast is received at least every 8 seconds.
- Using the CLAIRITY+ mobile app, NLTAIREM2 devices must be associated with a group that includes a normal power sensing device to receive NPS broadcasts.
- The non-emergency devices, NLTAIR2 PIR and NLTAIR2 PIRH, with version 3.4 or later firmware can be used for normal power sensing.



Motion/Ambient Sensor

D = 7"
 H = 9" (Standalone controls)
 11" (nLight AIR controls, 2" antenna will be pointing down behind the sensor)
 W = 11.5"



PBBW – Surface-Mounted Back Box Use when there is no junction box available.

D = 1.75"
 H = 9"
 W = 11.5"



AWS – 3/8inch Architectural Wall Spacer

D = 0.38"
 H = 4.4"
 W = 7.5"

FEATURES & SPECIFICATIONS

INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Individually formed acrylic lenses are engineered for superior application efficiency which maximizes the light in the areas where it is most needed. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2). Fixture ships standard with 0-10v dimmable driver.

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

GOVERNMENT PROCUREMENT

BABA – Build America Buy America: Product qualifies as produced in the United States under the definitions of the Build America, Buy America Act. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



City of Portsmouth, New Hampshire

Site Plan Application Checklist

This site plan application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. The checklist is required to be completed and uploaded to the Site Plan application in the City's online permitting system. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan review regulations for full details.

Applicant Responsibilities (Section 2.5.2): Applicable fees are due upon application submittal along with required attachments. The application shall be complete as submitted and provide adequate information for evaluation of the proposed site development. Waiver requests must be submitted in writing with appropriate justification.

Name of Applicant: City of Portsmouth Date Submitted: 03/23/2026

Application # (in City's online permitting): _____

Site Address: 1 Franklin Drive Portsmouth, NH 03801 Map: 220 Lot: 02

Application Requirements			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Complete application form submitted via the City's web-based permitting program (2.5.2.1(2.5.2.3A))	Enclosed	N/A
<input type="checkbox"/>	All application documents, plans, supporting documentation and other materials uploaded to the application form in viewpoint in digital Portable Document Format (PDF). One hard copy of all plans and materials shall be submitted to the Planning Department by the published deadline. (2.5.2.8)	Enclosed	N/A

Site Plan Review Application Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Statement that lists and describes "green" building components and systems. (2.5.3.1B)	Enclosed	
<input type="checkbox"/>	Existing and proposed gross floor area and dimensions of all buildings and statement of uses and floor area for each floor. (2.5.3.1C)	Enclosed	N/A
<input type="checkbox"/>	Tax map and lot number, and current zoning of all parcels under Site Plan Review. (2.5.3.1D)	Enclosed	N/A

Site Plan Review Application Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. (2.5.3.1E)	Cover Sheet, Owner Authorization	N/A
<input type="checkbox"/>	Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property. (2.5.3.1F)		N/A
<input type="checkbox"/>	Names, addresses and telephone numbers of all professionals involved in the site plan design. (2.5.3.1G)	Cover Sheet	N/A
<input type="checkbox"/>	List of reference plans. (2.5.3.1H)	Sheet C-100	N/A
<input type="checkbox"/>	List of names and contact information of all public or private utilities servicing the site. (2.5.3.1I)	Sheet C-500, Note 4	N/A

Site Plan Specifications

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director.. (2.5.4.1A)	Required on all plan sheets	N/A
<input type="checkbox"/>	Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans. (2.5.4.1B)	Required on all plan sheets	N/A
<input type="checkbox"/>	GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. (2.5.4.1C)	Included	N/A
<input type="checkbox"/>	Plans shall be drawn to scale and stamped by a NH licensed civil engineer. (2.5.4.1D)	Required on all plan sheets	N/A
<input type="checkbox"/>	Wetlands shall be delineated by a NH certified wetlands scientist and so stamped. (2.5.4.1E)	Formal wetland delineation prior to construction	N/A
<input type="checkbox"/>	Title (name of development project), north point, scale, legend. (2.5.4.2A)	all sheets	N/A
<input type="checkbox"/>	Date plans first submitted, date and explanation of revisions. (2.5.4.2B)	all sheets	N/A
<input type="checkbox"/>	Individual plan sheet title that clearly describes the information that is displayed. (2.5.4.2C)	Required on all plan sheets	N/A
<input type="checkbox"/>	Source and date of data displayed on the plan. (2.5.4.2D)	C-100, Notes	N/A

Site Plan Specifications – Required Exhibits and Data

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	<p>1. Existing Conditions: (2.5.4.3A)</p> <ul style="list-style-type: none"> • Surveyed plan of site showing existing natural and built features; • Existing building footprints and gross floor area; • Existing parking areas and number of parking spaces provided; • Zoning district boundaries; • Existing, required, and proposed dimensional zoning requirements including building and open space coverage, yards and/or setbacks, and dwelling units per acre; • Existing impervious and disturbed areas; • Limits and type of existing vegetation; • Wetland delineation, wetland function and value assessment (including vernal pools); • SFHA, 100-year flood elevation line and BFE data, as required. 	C-100, Additional Information Provided on C-300	
<input type="checkbox"/>	<p>2. Buildings and Structures: (2.5.4.3B)</p> <ul style="list-style-type: none"> • Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation; • Elevations: Height, massing, placement, materials, lighting, façade treatments; • Total Floor Area; • Number of Usable Floors; • Gross floor area by floor and use. 	Architectural Drawings, TAC 100 and TAC 200	
<input type="checkbox"/>	<p>3. Access and Circulation: (2.5.4.3C)</p> <ul style="list-style-type: none"> • Location/width of access ways within site; • Location of curbing, right of ways, edge of pavement and sidewalks; • Location, type, size and design of traffic signing (pavement markings); • Names/layout of existing abutting streets; • Driveway curb cuts for abutting prop. and public roads; • If subdivision; Names of all roads, right of way lines and easements noted; • AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC). 	C-300 Site Plan and C-700 Fire Truck Turning Plan	
<input type="checkbox"/>	<p>4. Parking and Loading: (2.5.4.3D)</p> <ul style="list-style-type: none"> • Location of off street parking/loading areas, landscaped areas/buffers; • Parking Calculations (# required and the # provided). 	C-300 Site Plan	
<input type="checkbox"/>	<p>5. Water Infrastructure: (2.5.4.3E)</p> <ul style="list-style-type: none"> • Size, type and location of water mains, shut-offs, hydrants & Engineering data; • Location of wells and monitoring wells (include protective radii). 	C-500 Utilities Plan	
<input type="checkbox"/>	<p>6. Sewer Infrastructure: (2.5.4.3F)</p> <ul style="list-style-type: none"> • Size, type and location of sanitary sewage facilities & Engineering data, including any onsite temporary facilities during construction period. 	C-500 Utilities Plan	

<input type="checkbox"/>	7. Utilities: (2.5.4.3G) <ul style="list-style-type: none"> The size, type and location of all above & below ground utilities; Size type and location of generator pads, transformers and other fixtures. 	C-500 Utilities Plan	
<input type="checkbox"/>	8. Solid Waste Facilities: (2.5.4.3H) <ul style="list-style-type: none"> The size, type and location of solid waste facilities. 	C-300 Site Plan (dumpster location identified)	
<input type="checkbox"/>	9. Storm water Management: (2.5.4.3I) <ul style="list-style-type: none"> The location, elevation and layout of all storm-water drainage. The location of onsite snow storage areas and/or proposed off-site snow removal provisions. Location and containment measures for any salt storage facilities Location of proposed temporary and permanent material storage locations and distance from wetlands, water bodies, and stormwater structures. 	C-400 Grading, Drainage and Erosion Control Plan	
<input type="checkbox"/>	10. Outdoor Lighting: (2.5.4.3J) <ul style="list-style-type: none"> Type and placement of all lighting (exterior of building, parking lot and any other areas of the site) and photometric plan. 	Electrical Drawings - PM	
<input type="checkbox"/>	11. Indicate where dark sky friendly lighting measures have been implemented. (10.1)	Enclosed	
<input type="checkbox"/>	12. Landscaping: (2.5.4.3K) <ul style="list-style-type: none"> Identify all undisturbed area, existing vegetation and that which is to be retained; Location of any irrigation system and water source. 	No irrigation is proposed as a part of this project, see Erosion Control Note #11 on Sheet C-600	
<input type="checkbox"/>	13. Contours and Elevation: (2.5.4.3L) <ul style="list-style-type: none"> Existing/Proposed contours (2 foot minimum) and finished grade elevations. 	C-300 Grading Drainage and Erosion Control Sheet	
<input type="checkbox"/>	14. Open Space: (2.5.4.3M) <ul style="list-style-type: none"> Type, extent and location of all existing/proposed open space. 	C-300 Site Plan	
<input type="checkbox"/>	15. All easements, deed restrictions and non-public rights of ways. (2.5.4.3N)		
<input type="checkbox"/>	16. Character/Civic District (All following information shall be included): (2.5.4.3P) <ul style="list-style-type: none"> Applicable Building Height (10.5A21.20 & 10.5A43.30); Applicable Special Requirements (10.5A21.30); Proposed building form/type (10.5A43); Proposed community space (10.5A46). 	N/A	
<input type="checkbox"/>	17. Special Flood Hazard Areas (2.5.4.3Q) <ul style="list-style-type: none"> The proposed development is consistent with the need to minimize flood damage; All public utilities and facilities are located and construction to minimize or eliminate flood damage; Adequate drainage is provided so as to reduce exposure to flood hazards. 	N/A	

Other Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Traffic Impact Study or Trip Generation Report, as required. (3.2.1-2)		
<input type="checkbox"/>	Indicate where Low Impact Development Design practices have been incorporated. (7.1)		
<input type="checkbox"/>	Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. (7.3.1)	N/A	
<input type="checkbox"/>	Stormwater Management and Erosion Control Plan. (7.4)	Sheet C-400	
<input type="checkbox"/>	Inspection and Maintenance Plan (7.6.5)		

Final Site Plan Approval Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	All local approvals, permits, easements and licenses required, including but not limited to: <ul style="list-style-type: none"> • Waivers; • Driveway permits; • Special exceptions; • Variances granted; • Easements; • Licenses. (2.5.3.2A)	N/A	
<input type="checkbox"/>	Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: <ul style="list-style-type: none"> • Calculations relating to stormwater runoff; • Information on composition and quantity of water demand and wastewater generated; • Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls; • Estimates of traffic generation and counts pre- and post-construction; • Estimates of noise generation; • A Stormwater Management and Erosion Control Plan; • Endangered species and archaeological / historical studies; • Wetland and water body (coastal and inland) delineations; • Environmental impact studies. (2.5.3.2B)	Drainage Report Enclosed	
<input type="checkbox"/>	A document from each of the required private utility service providers indicating approval of the proposed site plan and indicating an ability to provide all required private utilities to the site. (2.5.3.2D)	N/A	

Final Site Plan Approval Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	A list of any required state and federal permit applications required for the project and the status of same. (2.5.3.2E)	N/A	
<input type="checkbox"/>	A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations." (2.5.4.2E)		N/A
<input type="checkbox"/>	For site plans that involve land designated as "Special Flood Hazard Areas" (SFHA) by the National Flood Insurance Program (NFIP) confirmation that all necessary permits have been received from those governmental agencies from which approval is required by Federal or State law, including Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S.C. 1334. (2.5.4.2F)	N/A	
<input type="checkbox"/>	Plan sheets submitted for recording shall include the following notes: <ul style="list-style-type: none"> a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds." b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director." (2.13.3)		N/A

Applicant's Signature: _____ **Date:** _____