



### **53 Green Street - HDC Work Session and Public Hearing / Application for Approval**

We respectfully submit this Application for Approval for the construction of a new Mixed-Use building located at 53 Green Street.

#### **Work Session:**

- The Green Street Elevation has been shifted over 8' and grew by 4' total to meet zoning requirements.
- This modification allows for an increase in Commercial Space area with glazed corners, and maintains a 20 foot wide pedestrian way.
- The transformer has been relocated to a less prominent location improving the pedestrian experience at the Green Street entrance of the path.

#### **Design Development Summary:**

- After studying several options for a Signature Portsmouth Style, this Curved Nautical Form emerged as the preferred identity for this location along North Mill Pond.
- Window patterns have been refined for a decidedly more residential feel.
- The memory of the existing arches carries forward as a backdrop for a landscaped earth berm framed by a low seating wall.
- Strong stepping forms allow the building to recede away from North Mill Pond and reveal more of the lighter-toned horizontal siding.
- The top floor is set back in a light horizontal band with pronounced overhangs. Horizontal siding further enhances the top floor ribbon.
- Details at the base of the building include varied cast stone and textured brick.
- Horizontal cast stone banding elements encircle the building at key elevations.
- Light metal balcony rails add texture.
- Windows and doors are appropriately detailed with traditional lintels, brick sills, and soldier courses.
- A Public Art installation is planned in cooperation with 3S Artspace located along the pedestrian way.



Historic District Commission - City of Portsmouth  
1 Junkins Avenue - Portsmouth, NH 03801  
June 18, 2021

Please refer to the attached drawings for more information.

Thank you for your consideration.  
Sincerely,

A handwritten signature in black ink, appearing to read 'Carla Goodknight'.

Carla Goodknight, AIA  
Principal, CJ Architects

Representing:  
Jeff Johnston, Owner

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  - Landscape Plan





53 GREEN STREET  
PORTSMOUTH, NEW HAMPSHIRE

VIEW FROM MARKET STREET

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL: JULY 7, 2021

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1.0





53 GREEN STREET  
PORTSMOUTH, NEW HAMPSHIRE

VIEW FROM GREEN STREET

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CJ ARCHITECTS

1.1





53 GREEN STREET  
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MARKET STREET VIEW

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2.0





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RUSSELL STREET VIEW

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2.1





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GREEN STREET VIEW

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2.2





53 GREEN STREET  
PORTSMOUTH, NEW HAMPSHIRE

GREEN STREET VIEW

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53 GREEN STREET  
PORTSMOUTH, NEW HAMPSHIRE

VIEW FROM THE PARK

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2.4





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VIEW FROM AC HOTEL

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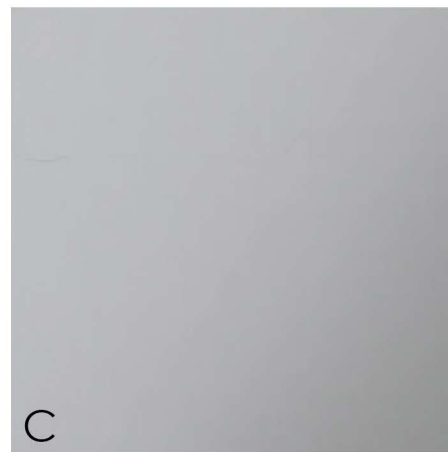
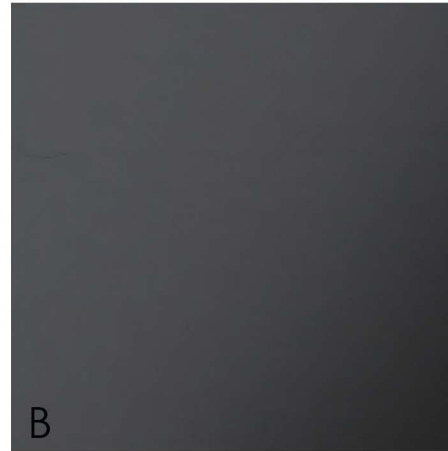
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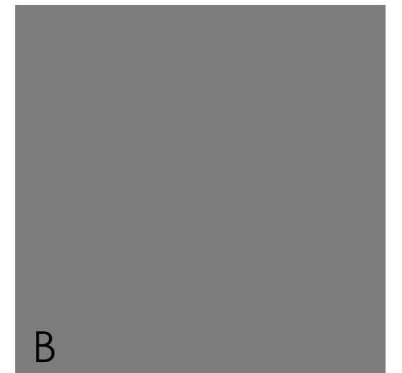
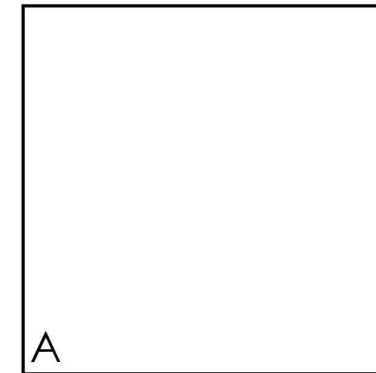
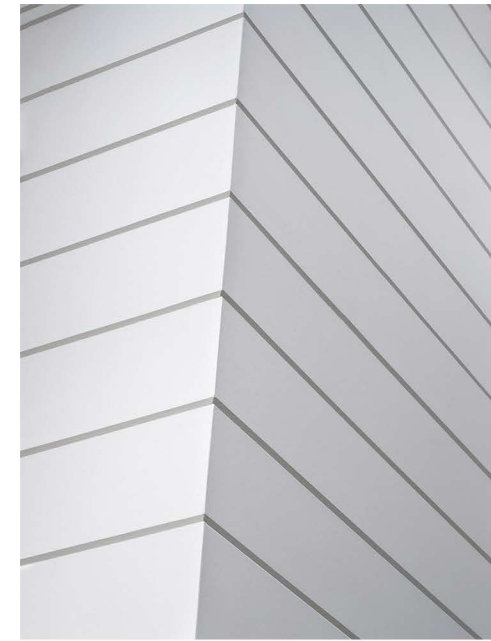
GARAGE SCREEN

MANUFACTURER: PARASOLEIL  
 PATTERN/COLOR: NUKUBALAVU / BLACK LICORICE



COMPOSITE METAL PANELS

MANUFACTURER: REYNOBOND  
 PATTERN/COLOR: A= PURE WHITE  
 B= PEWTER  
 C=CADET GREY



FIBER CEMENT SIDING

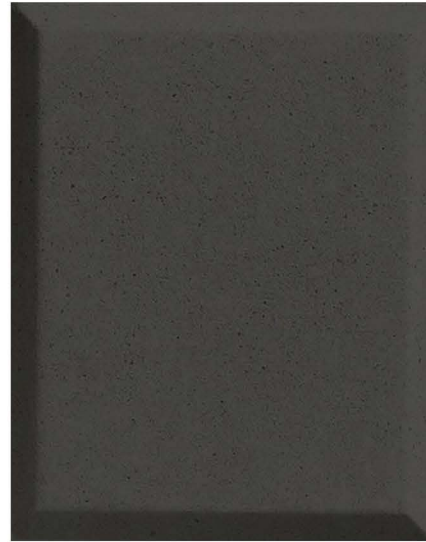
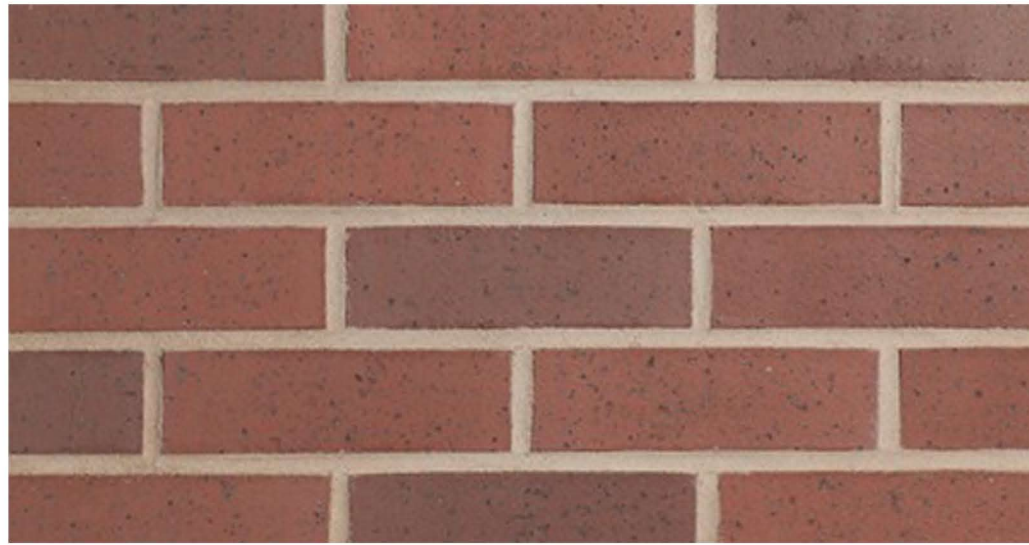
MANUFACTURER: ARTISAN SIDING  
 STYLE: V-GROOVE  
 COLOR: A=STONE WHITE (SHIPLAP)  
 B=GREY SLATE (PANEL)

53 GREEN STREET  
 PORTSMOUTH, NEW HAMPSHIRE

MATERIALS

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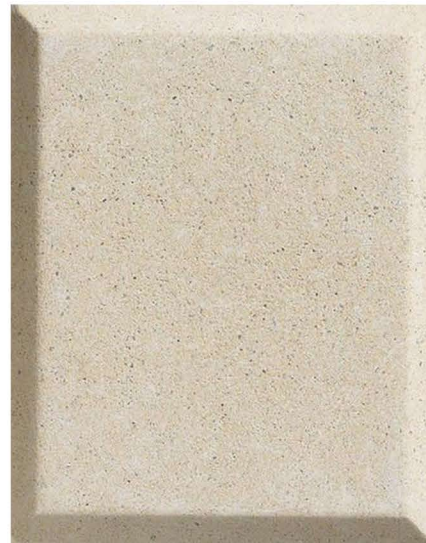




C



D



A



B



**BRICK**

MANUFACTURER: GLEN-GERY  
 COLOR: NAPA VALLEY SMOOTH IRONSPOT  
 MORTAR: NATURAL PORTLAND LIME CEMENT  
 SPECIAL INSTRUCTIONS: RUNNING BOND

**CAST STONE**

MANUFACTURER: NORTHERN DESIGN ARCHITECTURAL PRECAST & STONE  
 COLOR A: NATURAL LIMESTONE / LIGHT ETCH  
 COLOR B: SLATE / LIGHT ETCH  
 COLOR C: PEWTER / LIGHT ETCH  
 COLOR D: BRICK MATCH RED / LIGHT ETCH

**RAILINGS**

MANUFACTURER: JAKOB ROPE SYSTEMS  
 COLOR: PAINTED METAL TO MATCH ADJACENT WINDOW COLOR

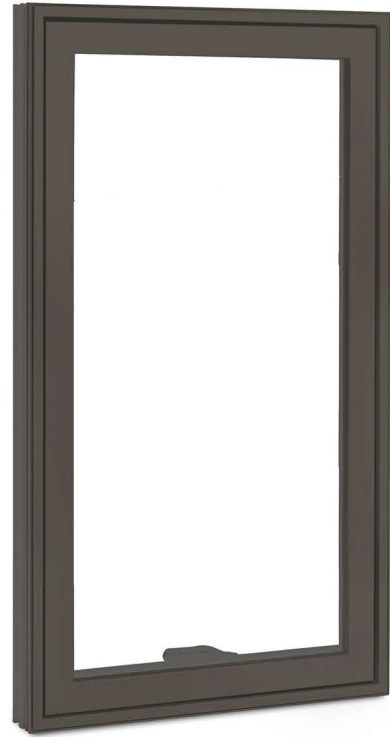
**MATERIALS**

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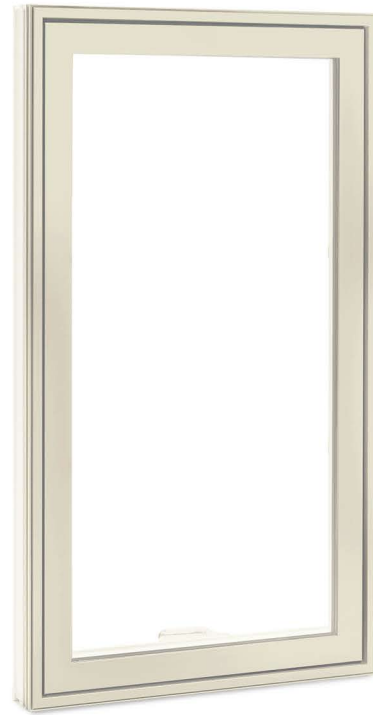
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COLOR: BRONZE

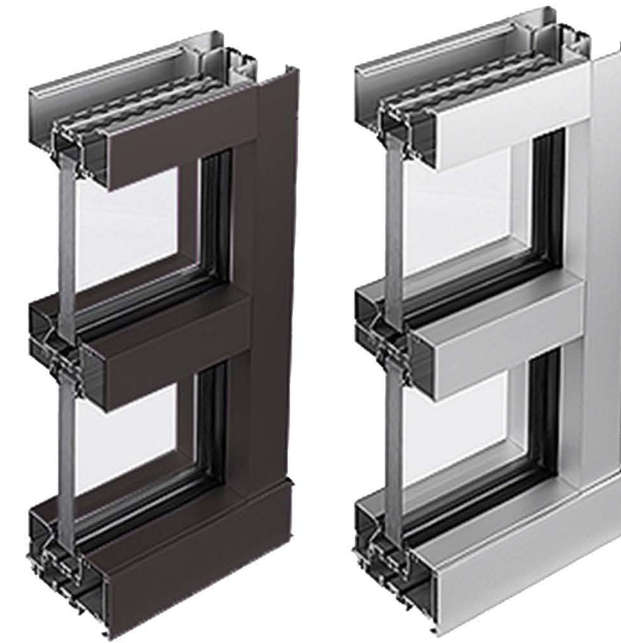


COLOR: STONE WHITE



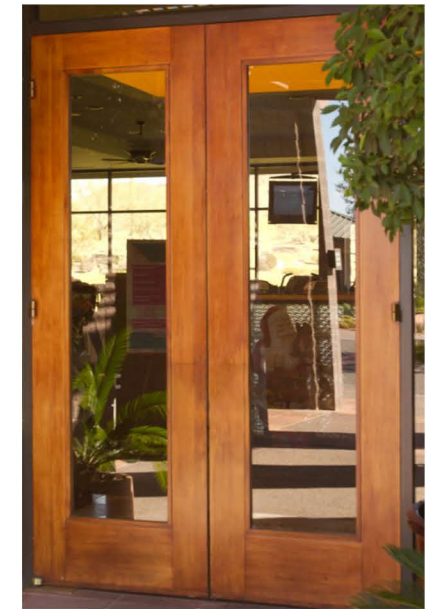
DOORS

MANUFACTURER: MARVIN  
SERIES: SIGNATURE ULTIMATE OUTSWING DOOR  
COLOR: MATCH WINDOWS



STOREFRONT

MANUFACTURER: TRIFAB  
SERIES/COLOR A: 451UT / DARK BRONZE  
SERIES/COLOR B: 451UT / ANODIZED ALUMINUM  
STOREFRONT DOOR: MAHOGANY



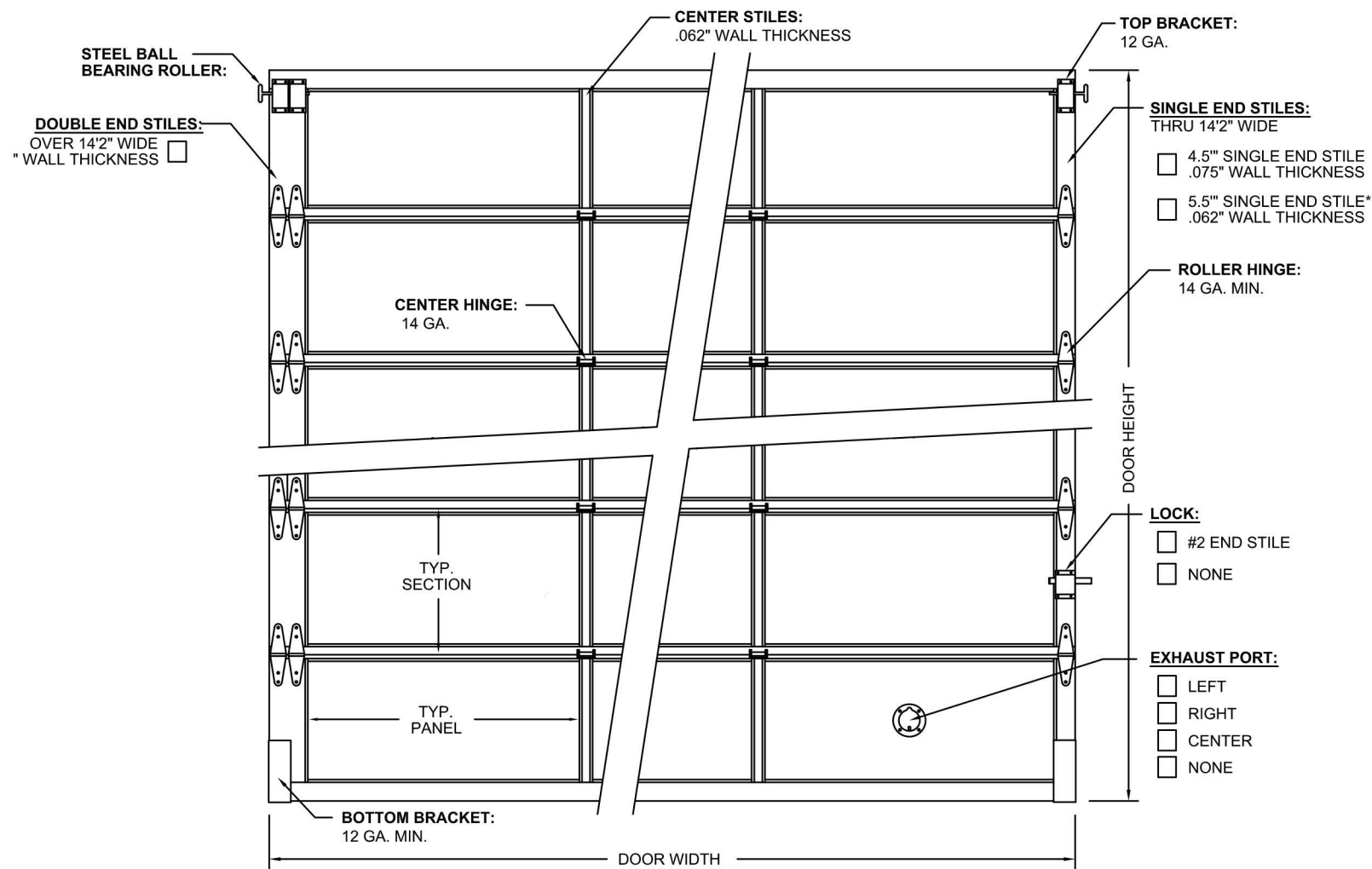
MATERIALS

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CASEMENT AND AWNING WINDOWS

MANUFACTURER: MARVIN  
SERIES: ESSENTIAL





ALUMINUM PANEL  
COLOR MATCH



DARK BRONZE  
ANODIZED\*

GARAGE DOOR

MANUFACTURER: CLOPAY  
 MODEL: #904  
 PANEL COLOR: ALUMINUM PANEL COLOR MATCH  
 FRAME COLOR: DARK BROZE

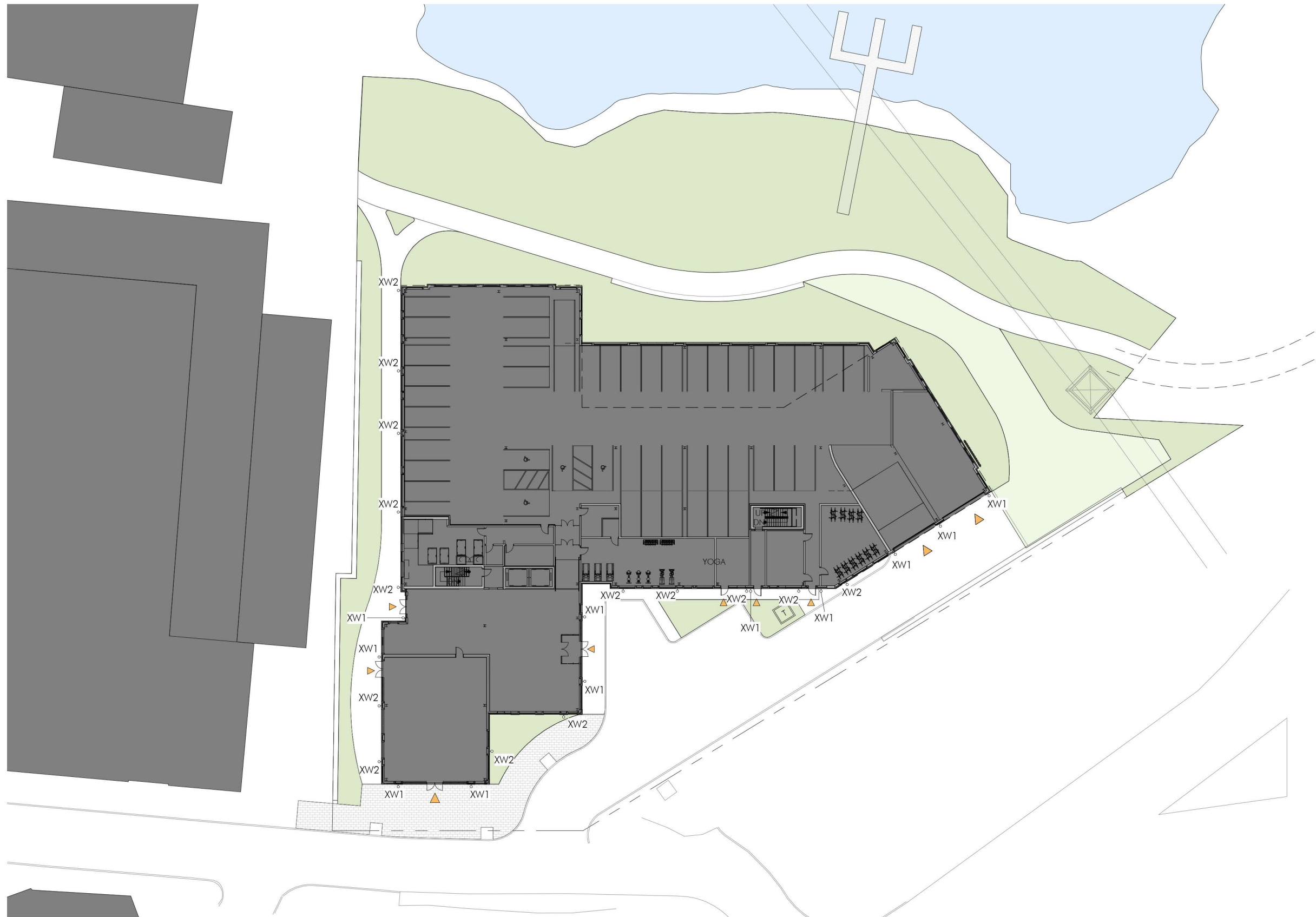
Satin Stainless Steel	US32D	630	
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Dark Oxidized Satin Bronze, Equivalent	US10BE	613E	
--	--------	------	--

DOOR PULLS

MANUFACTURER: ASSA ABLOY  
 SERIES/COLOR A: NOIRMET - RM3810 / DARK BRONZE  
 SERIES/COLOR B: NOIRMET - RM3810 / STAINLESS STEEL





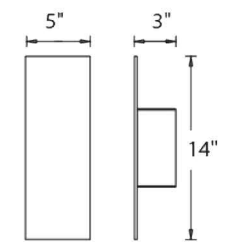
XW1- ICON



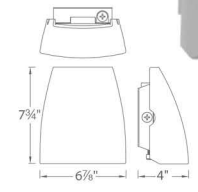
FINISHES:



LINE DRAWING:



XW2- FIN



**PRODUCT DESCRIPTION**  
Die cast aluminum factory sealed housings with patent pending design for a water and dust proof IP66 rated outdoor luminaire

FINISH: BRONZE

53 GREEN STREET  
PORTSMOUTH, NEW HAMPSHIRE

MATERIALS

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL: JULY 7, 2021



3.4



THE FOLLOWING SECTION INCLUDES SCALED DRAWINGS:

-FLOOR PLANS

-ELEVATIONS

-BUILDING SECTIONS

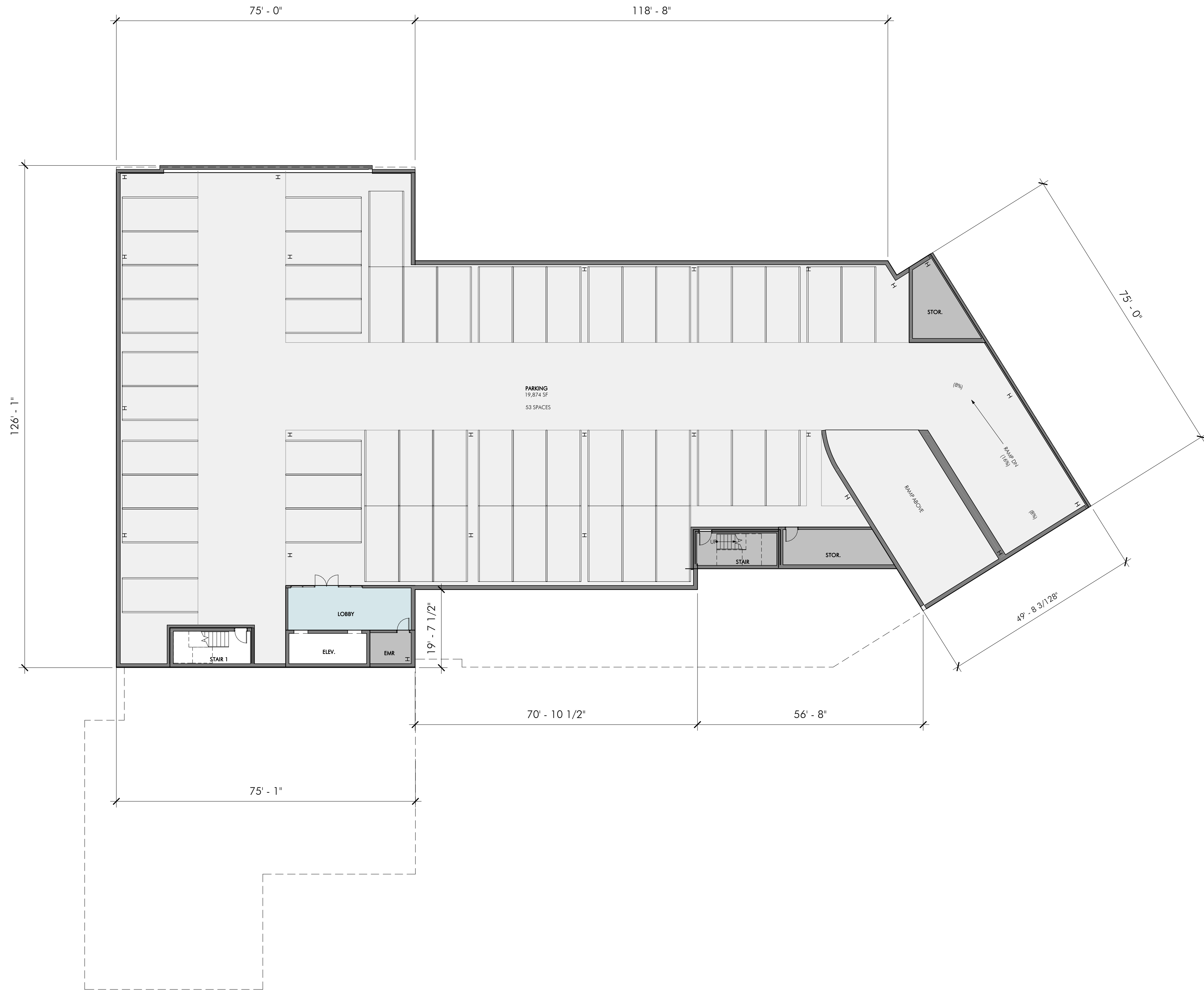
-WALL SECTIONS

-DETAILS

-SITE PLAN

- LANDSCAPE PLAN





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53 GREEN STREET PORTSMOUTH, NH  
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REVISIONS

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DRAWING INFORMATION

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DATE: JUNE 18, 2021  
PROJECT #: 20055  
SCALE: 1/16" = 1'-0"

DRAWING TITLE

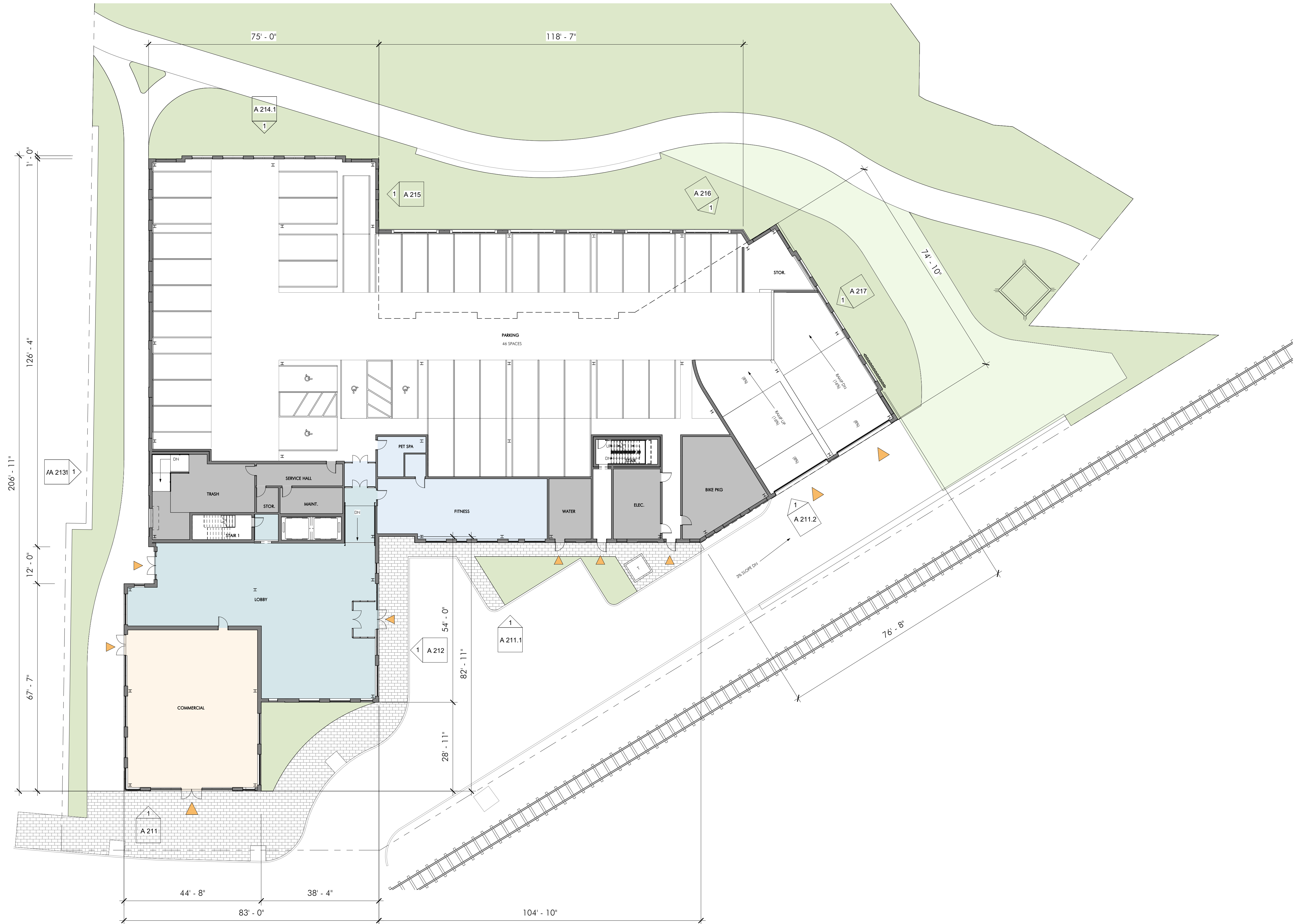
**BASEMENT  
FLOOR PLAN**

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**A 100**

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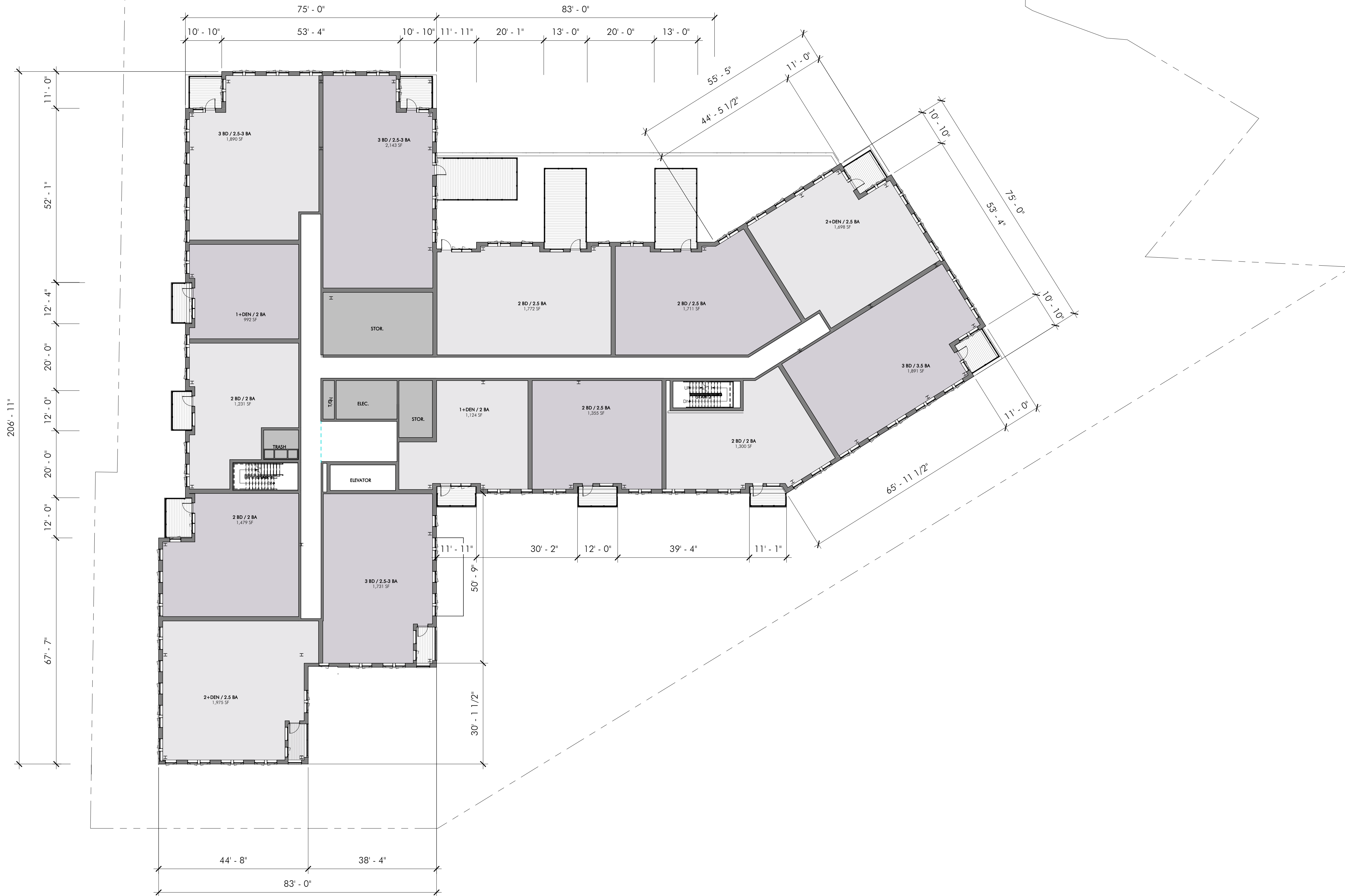
FIRST FLOOR  
PLAN

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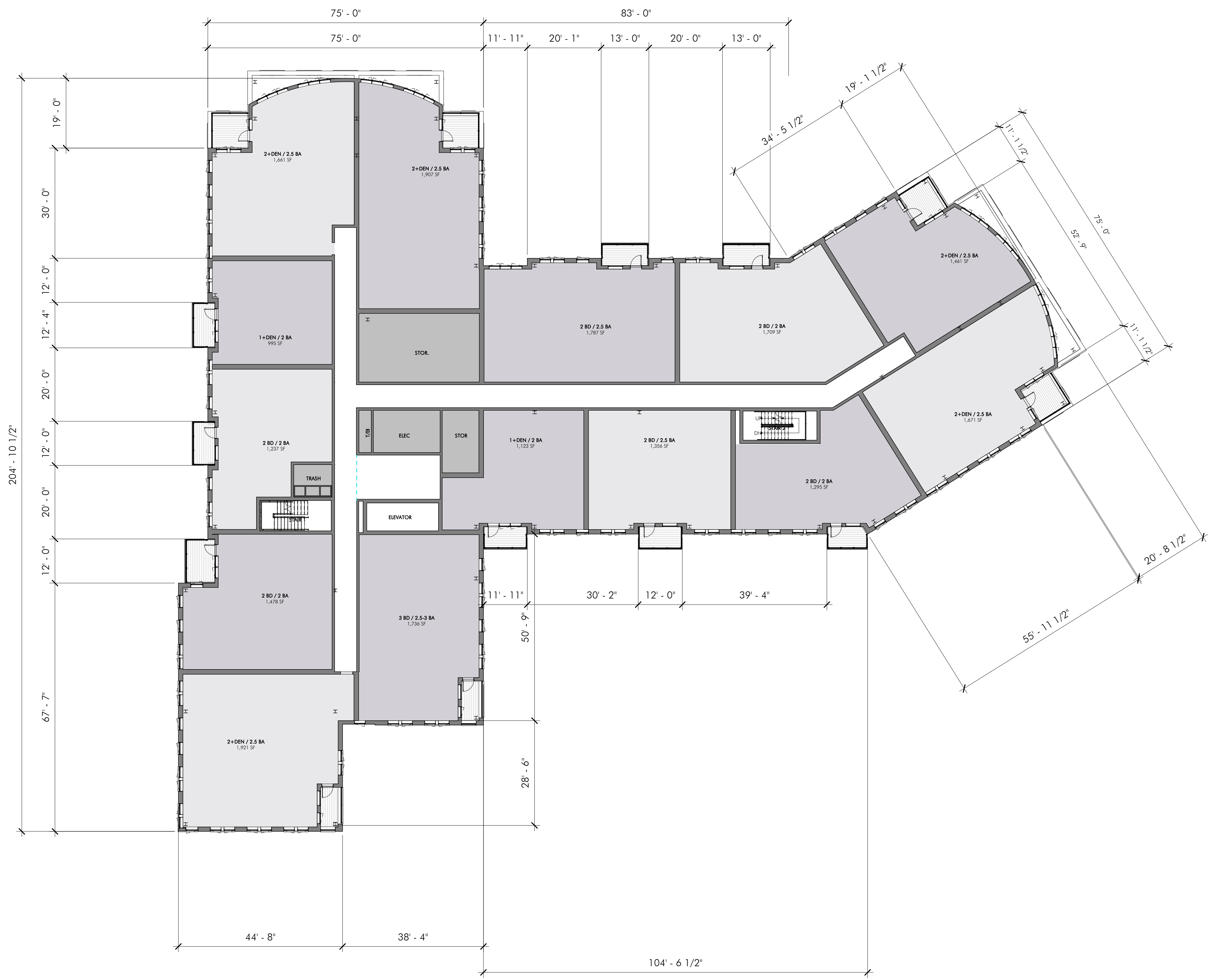
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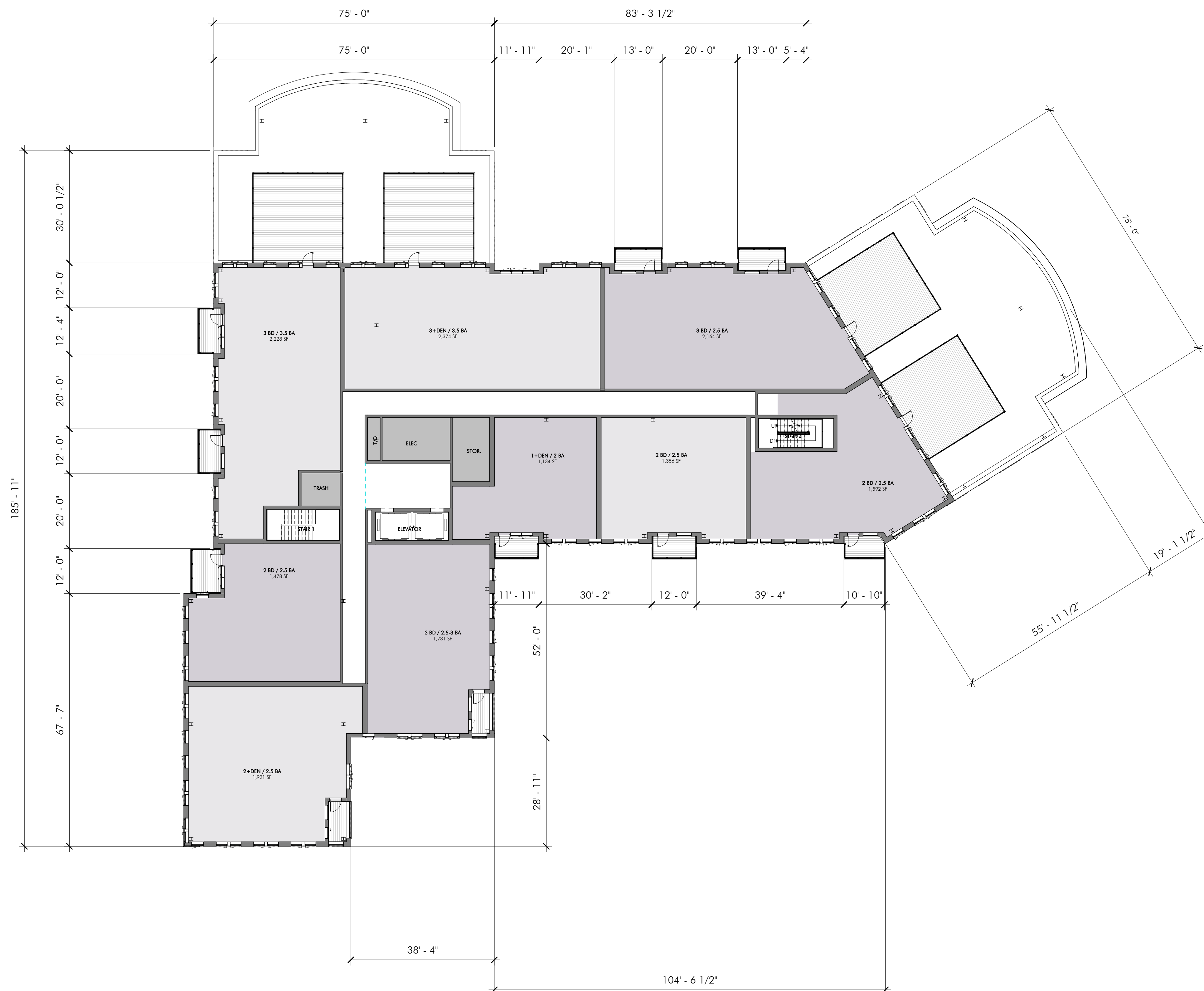
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 THIRD FLOOR  
 PLAN

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 FOURTH FLOOR  
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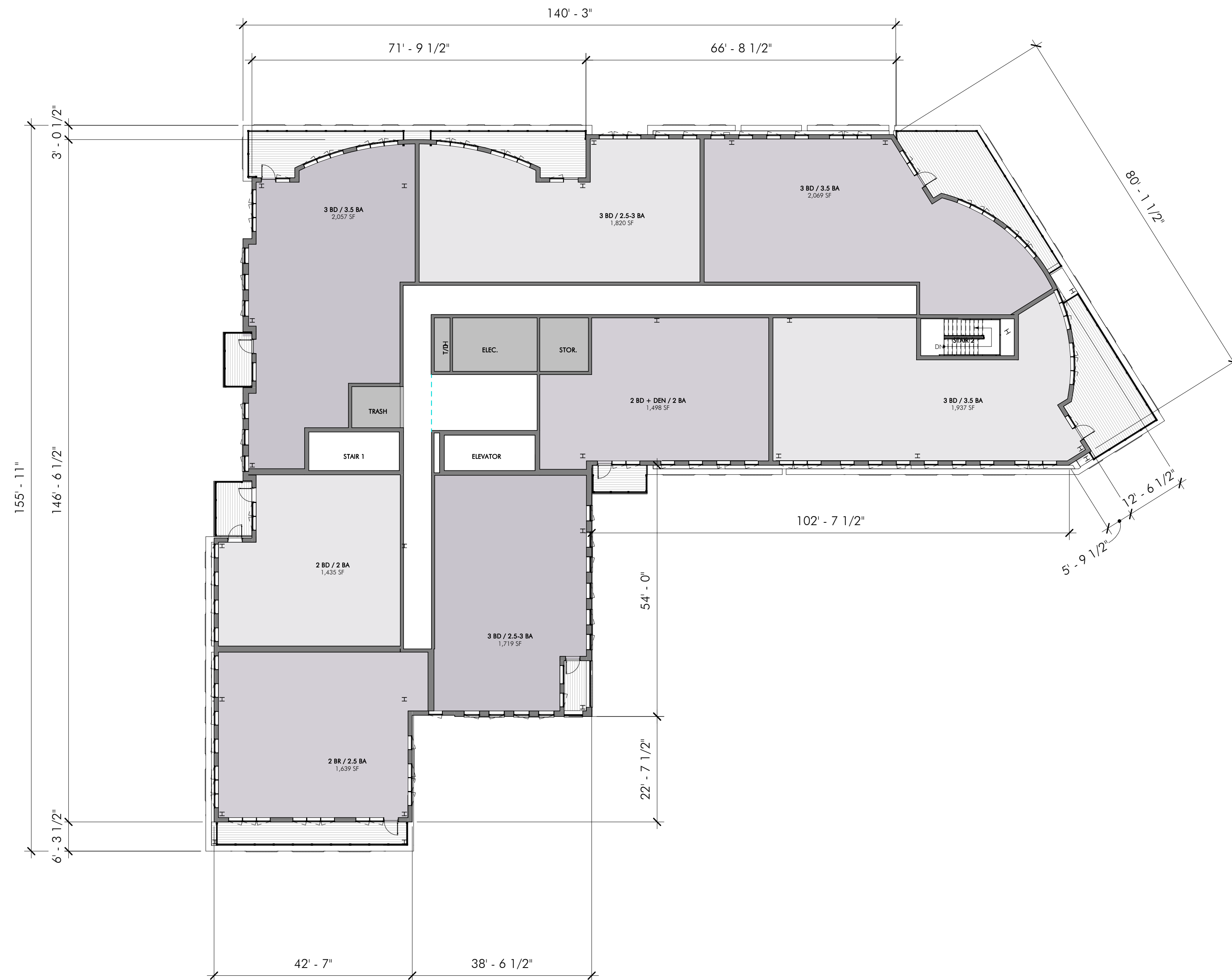
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FIFTH FLOOR  
PLANS

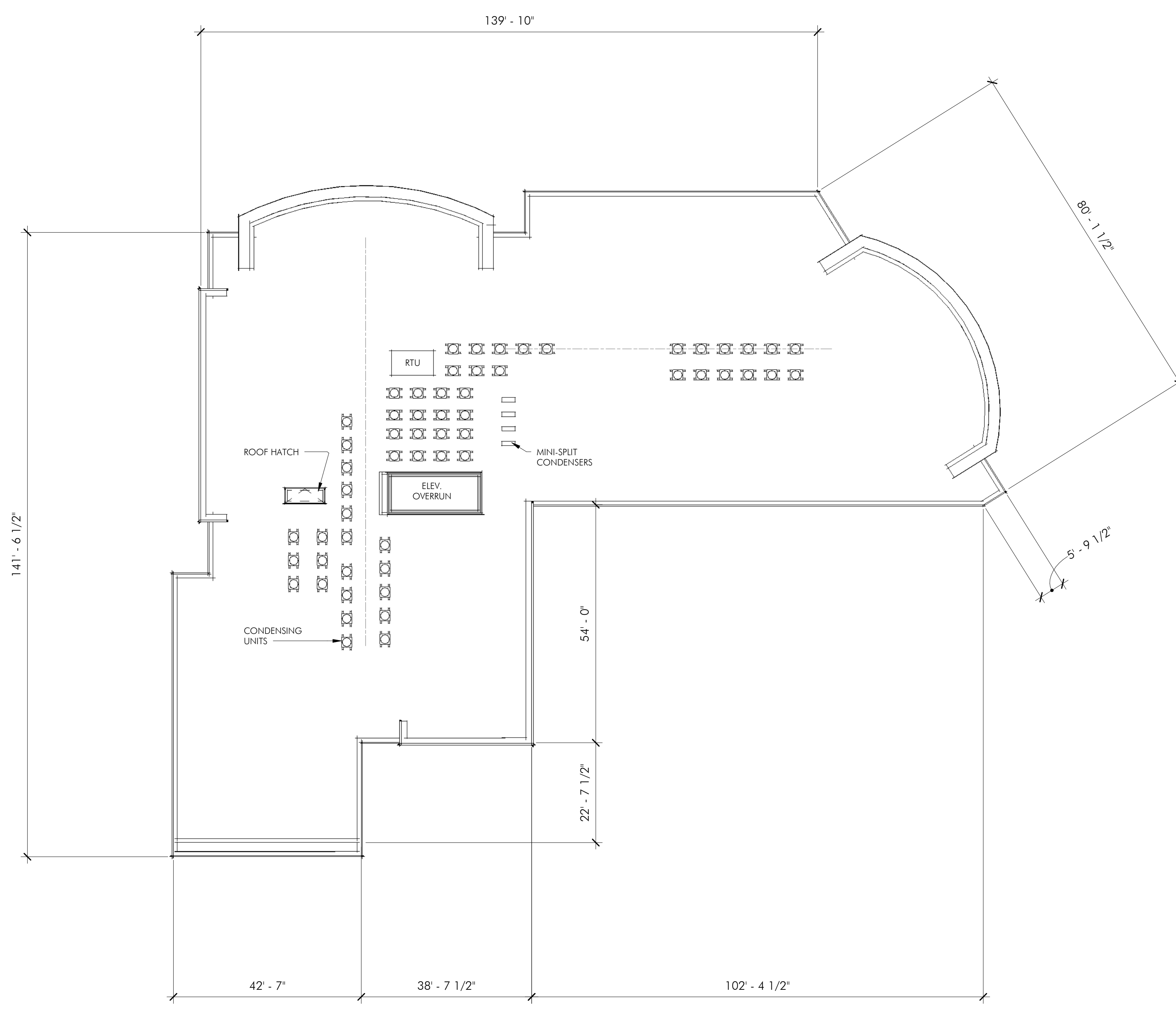
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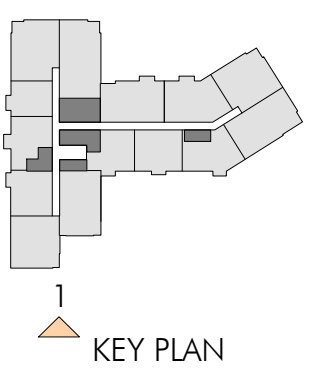
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**ROOF PLAN**

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1 SOUTH (GREEN STREET) ELEVATION - PART A  
1/4" = 1'-0"



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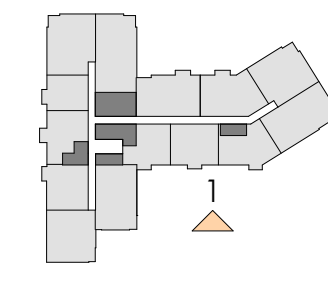
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BUILDING ELEVATIONS

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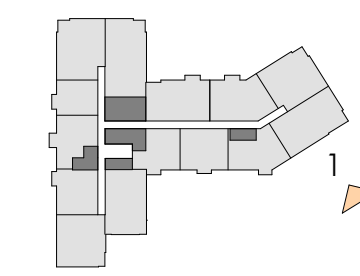
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 PROJECT #: 20055  
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**BUILDING ELEVATIONS**

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**A 201.2**  
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**1** HDC - SOUTH ELEVATION (GARAGE)  
 1/4" = 1'-0"

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**BUILDING ELEVATIONS**

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**A 202**

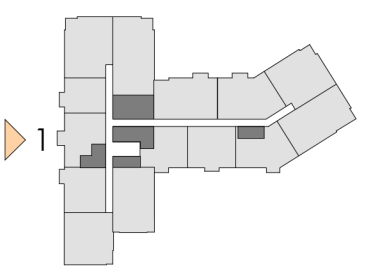
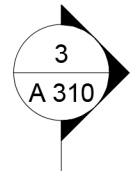
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**1 WEST ELEVATION (DROP OFF)**  
1/4" = 1'-0"

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**1 WEST ELEVATION - PART A**  
1/4" = 1'-0"

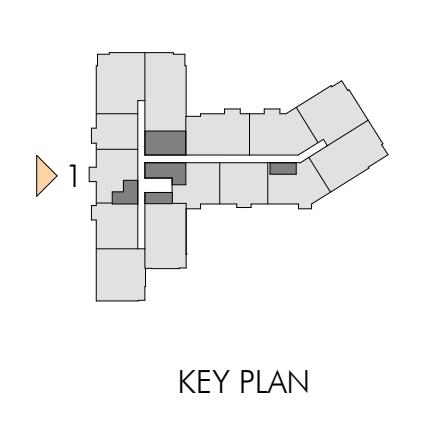
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1 WEST ELEVATION - PART B  
1/4" = 1'-0"



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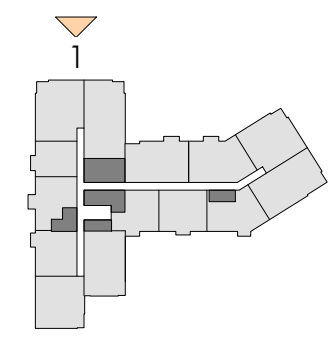
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**BUILDING ELEVATIONS**

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1  
A 301

1  
A 311



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CABLE RAIL GAURD RAIL SYSTEM  
PRE CAST CORNICE;  
COLOR A

'ARTISAN' SHIP LAP SIDING; COLOR A

COMPOSITE METAL PANEL  
CORNICE; COLOR A

KEY PLAN  
T.O. PARAPET  
60' - 0"

ROOF  
58' - 0"

'ARTISAN' SHIP LAP SIDING;  
COLOR A

FIBER CEMENT PANEL;  
COLOR A, WITH 1/2"  
REVEALS, PTD.

5TH FLOOR  
46' - 0"

PRECAST HEADER; COLOR A

FIBERGLASS WINDOW UNIT

4TH FLOOR  
35' - 0"

COMPOSITE METAL PANEL  
CORNICE; COLOR A

BRICK VENEER

3RD FLOOR  
24' - 0"

PRECAST CONCRETE  
CORNICE; COLOR A

2ND FLOOR  
13' - 0"

FIBER CEMENT PANEL;  
COLOR A, WITH 1/2"  
REVEALS; PTD.

UPPER PARKING  
0' - 0" (15.75')

1ST FLOOR  
0' - 0" (14.75')

LOWER PARKING  
0' - 0" (6.08')

PRE-CAST LINTEL; COLOR A

1  
A 601.1

2  
A 601.2

2  
A 601.1

5  
A 602.1

8  
A 601.1

PRE CAST CONCRETE BASE,  
COLOR D

PRE CAST CONCRETE BASE,  
COLOR D

FIBER CEMENT PANEL;  
COLOR B

DECORATIVE PERFORATED  
METAL SCREEN, SEE DETAILS

PRE CAST CONCRETE BASE,  
COLOR D

MURALS

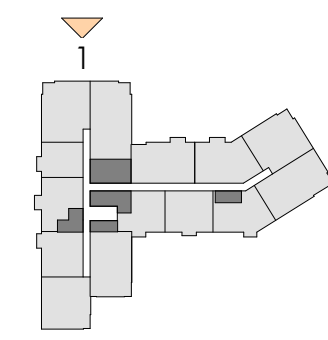
MURALS

1  
NORTH (WATER) ELEVATION - PART A  
1/4" = 1'-0"

1  
A 301

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2  
 A 311

COMPOSITE METAL PANEL  
 CORNICE; COLOR A

'ARTISAN' SHIP LAP SIDING; COLOR A

2  
 A 601.2

1  
 A 601.2

2  
 A 601.1

1  
 A 601.1

KEY PLAN

T.O. PARAPET  
 60' - 0"

ROOF  
 58' - 0"

5TH FLOOR  
 46' - 0"

4TH FLOOR  
 35' - 0"

3RD FLOOR  
 24' - 0"

2ND FLOOR  
 13' - 0"

UPPER PARKING  
 0' - 0" (15.75')

1ST FLOOR  
 0' - 0" (14.75')

4  
 A 602.1

METAL TRIM; COLOR B

PRECAST BASE; COLOR C

PRECAST BASE; COLOR B

FIBER CEMENT  
 PANEL; COLOR B

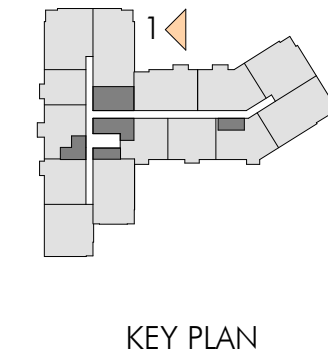
DECORATIVE PERFORATED METAL  
 SCREEN, SEE DETAILS

FIBER CEMENT PANEL; COLOR B,  
 WITH 1/2" REVEALS, PTD

1 NORTH (WATER) ELEVATION - PART B  
 1/4" = 1'-0"

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KEY PLAN

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BUILDING  
ELEVATIONS

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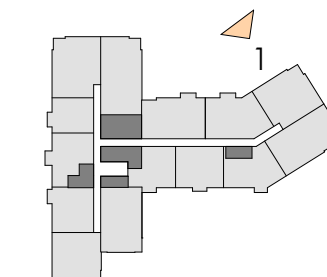
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1 EAST ELEVATION (WING)  
1/4" = 1'-0"





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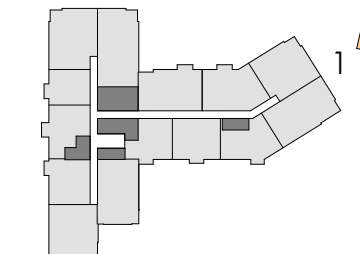
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**BUILDING ELEVATIONS**

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**1** NORTH ELEVATION (ANGLED)  
 1/4" = 1'-0"





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BUILDING  
ELEVATION

DRAWING NUMBER

A 207

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1.  
A 300

1.  
A 300

3  
A 601.2

2  
A 601.2

2  
A 601.1

5  
A 602.1

T.O. PARAPET  
60' - 0"

ROOF  
58' - 0"

5TH FLOOR  
46' - 0"

4TH FLOOR  
35' - 0"

3RD FLOOR  
24' - 0"

2ND FLOOR  
13' - 0"

UPPER PARKING  
0' - 0" (15.75)

1ST FLOOR  
0' - 0" (14.75)

1 EAST ELEVATION  
1/4" = 1'-0"

"ARTISAN" SHIPLAP SIDING;  
COLOR A

COMPOSITE METAL PANEL  
CORNICE; COLOR A  
FIBER CEMENT PANEL; COLOR  
A, WITH 1/2" REVEALS, PTD.

FIBER CEMENT PANEL;  
COLOR B  
PRE CAST CONCRETE BASE,  
COLOR D

DECORATIVE PERFORATED  
METAL SCREEN, SEE DETAILS

FIBER CEMENT PANEL ;  
COLOR B, WITH 1/2"  
REVEALS; PTD.  
PRE CAST CONCRETE BASE,  
COLOR D

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SCALE: 1/16" = 1'-0"

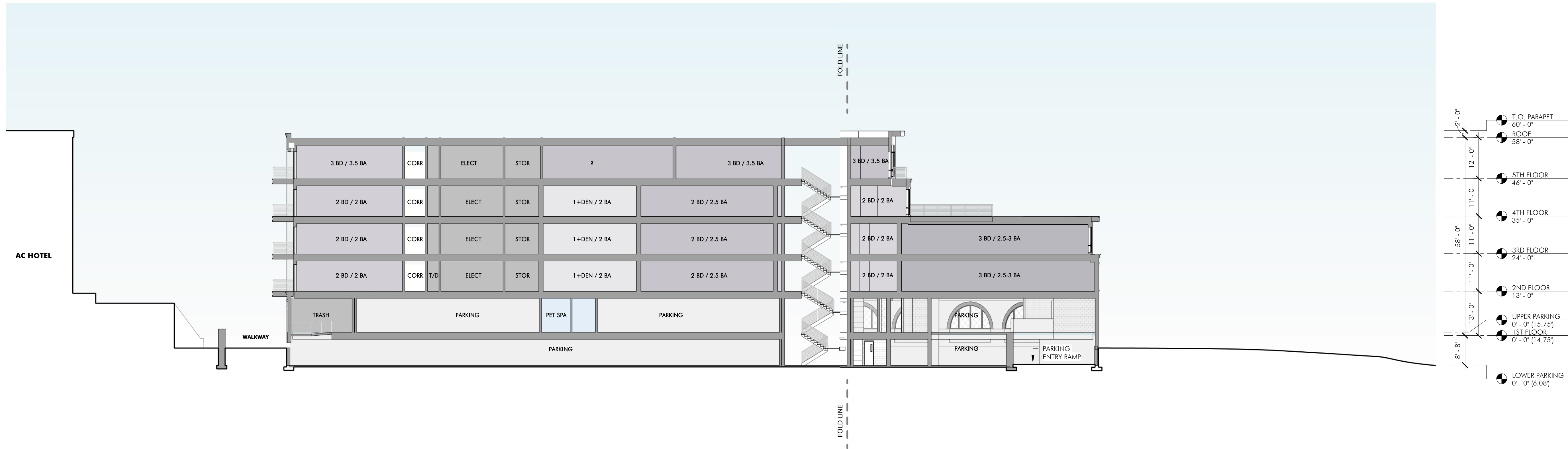
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SECTION  
DIAGRAM

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1 SITE SECTION - NORTH / SOUTH  
1/16" = 1'-0"



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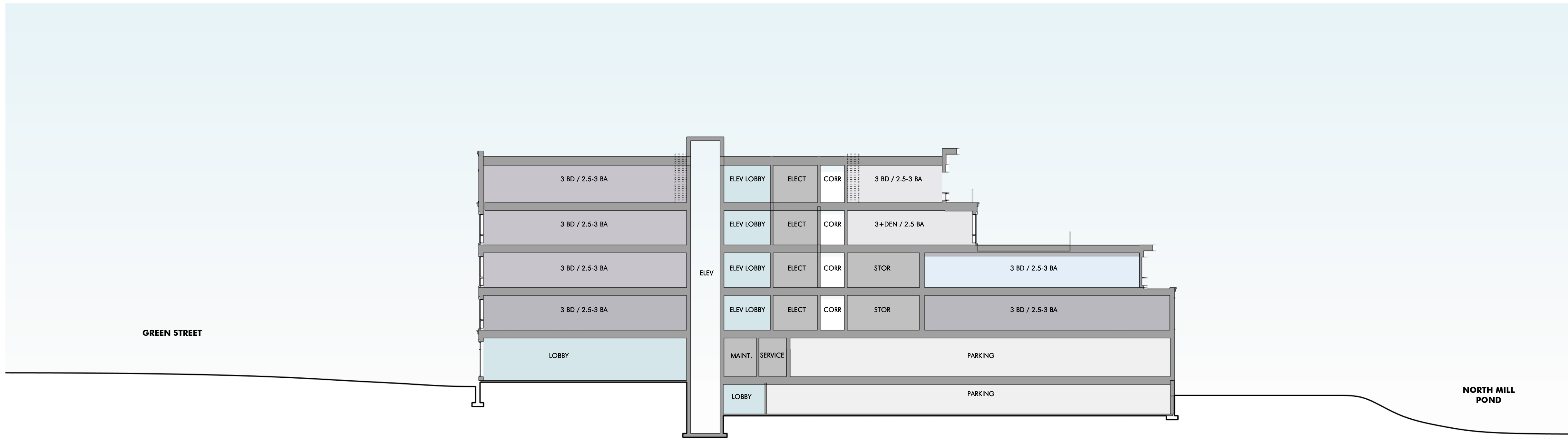
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**SECTION  
DIAGRAM**

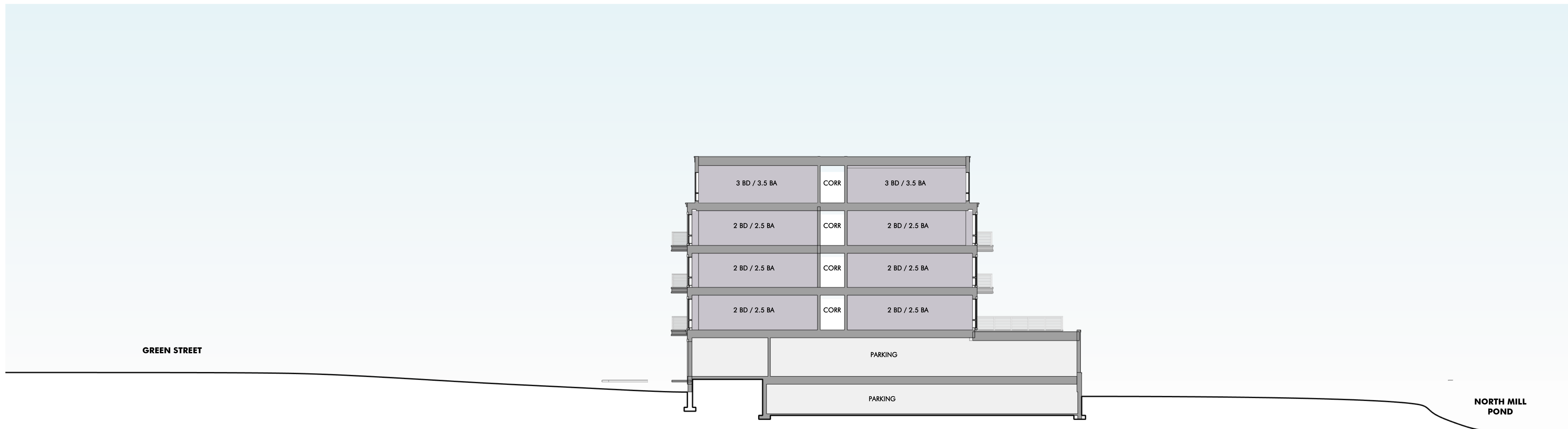
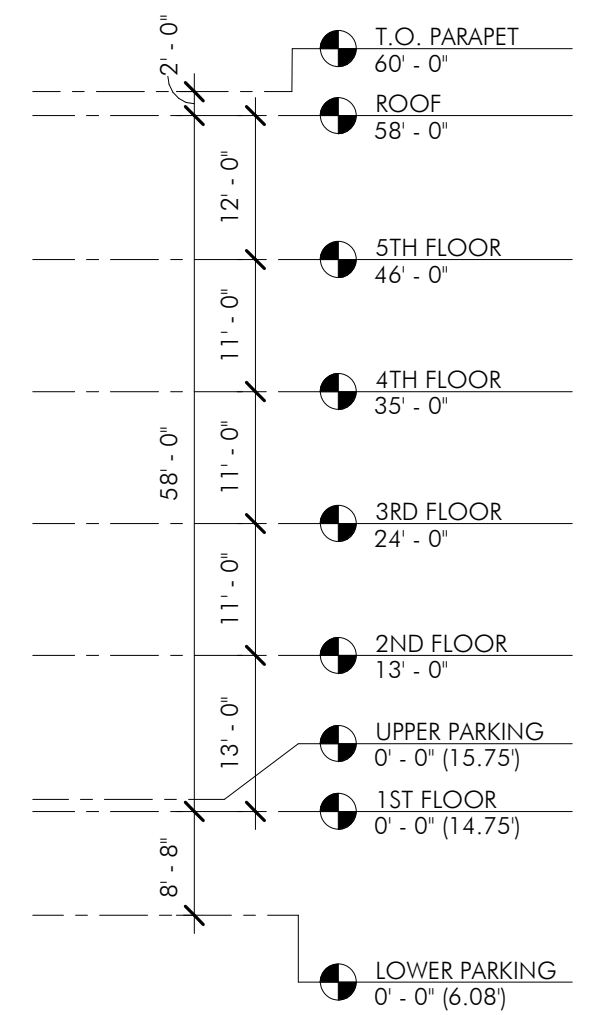
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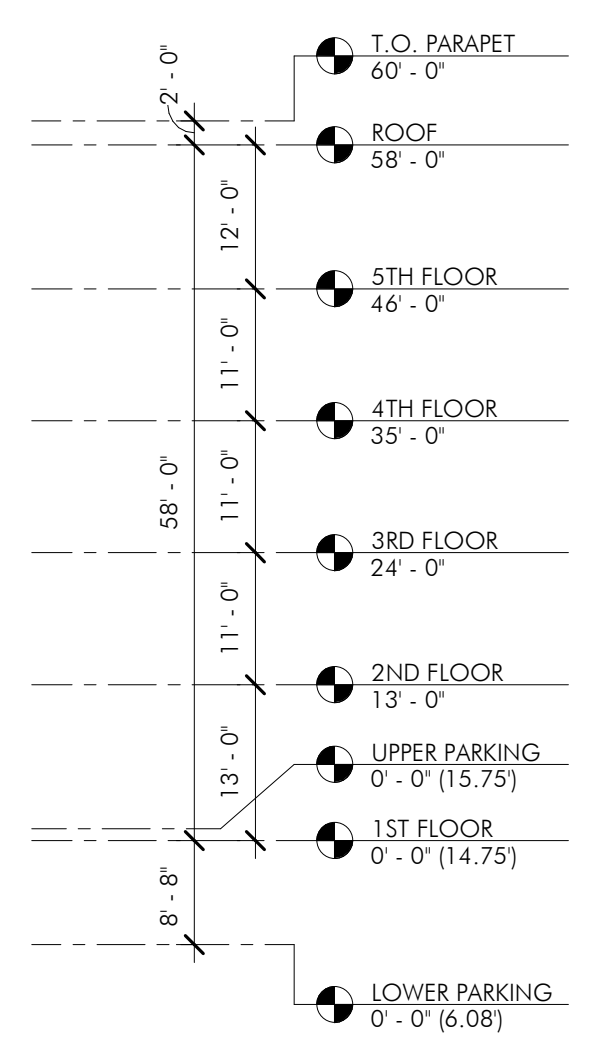
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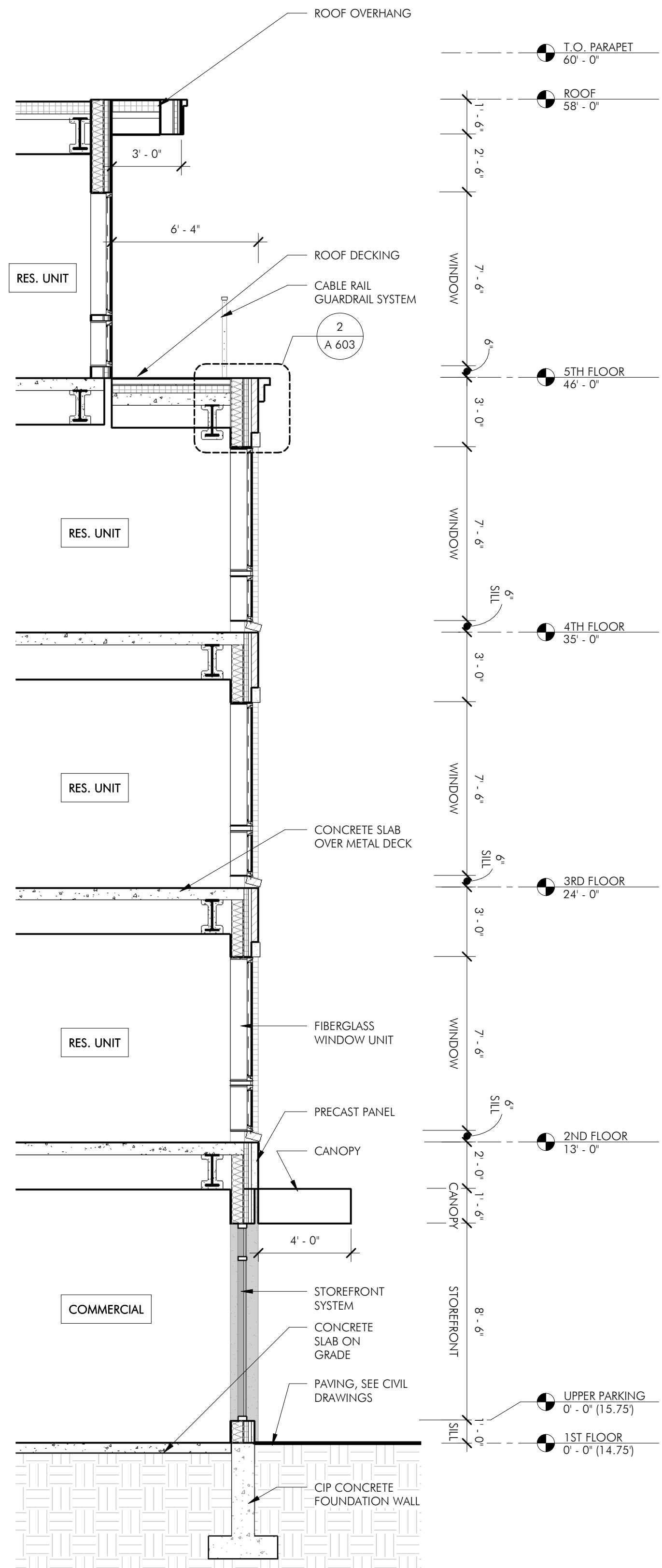
1 SITE SECTION - EAST / WEST  
1/16" = 1'-0"



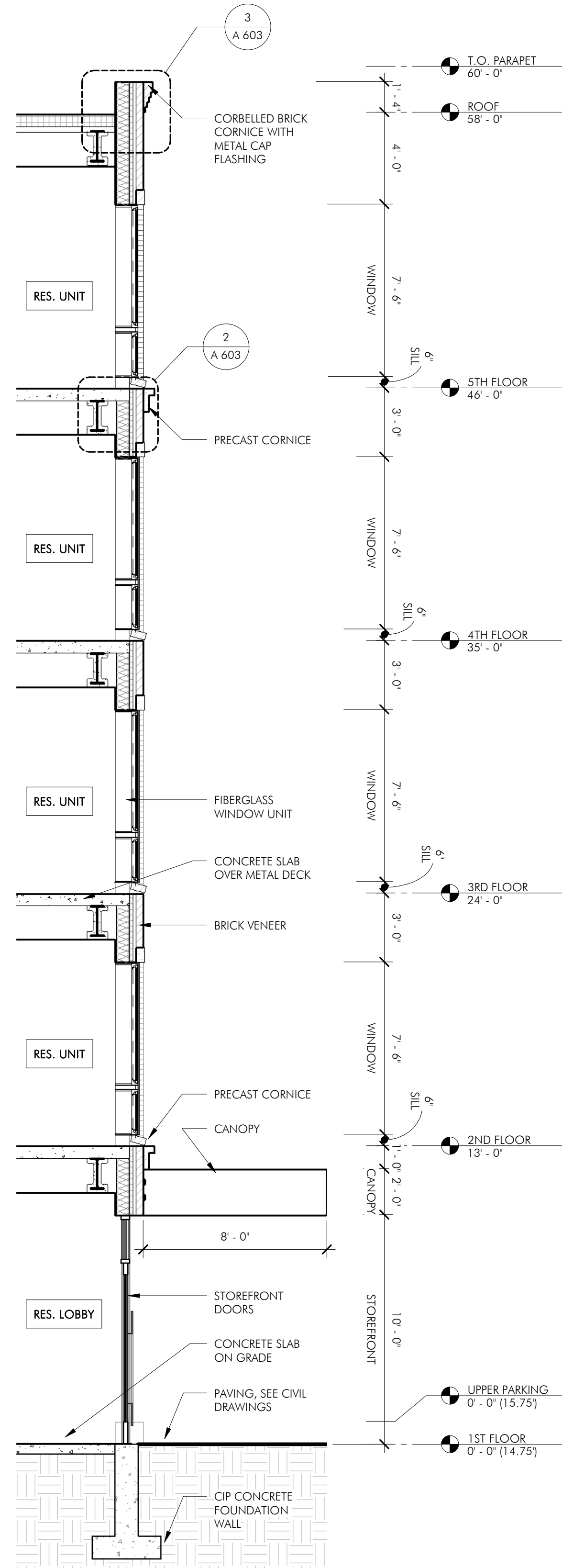
2 SITE SECTION - EAST WEST 1  
1/16" = 1'-0"



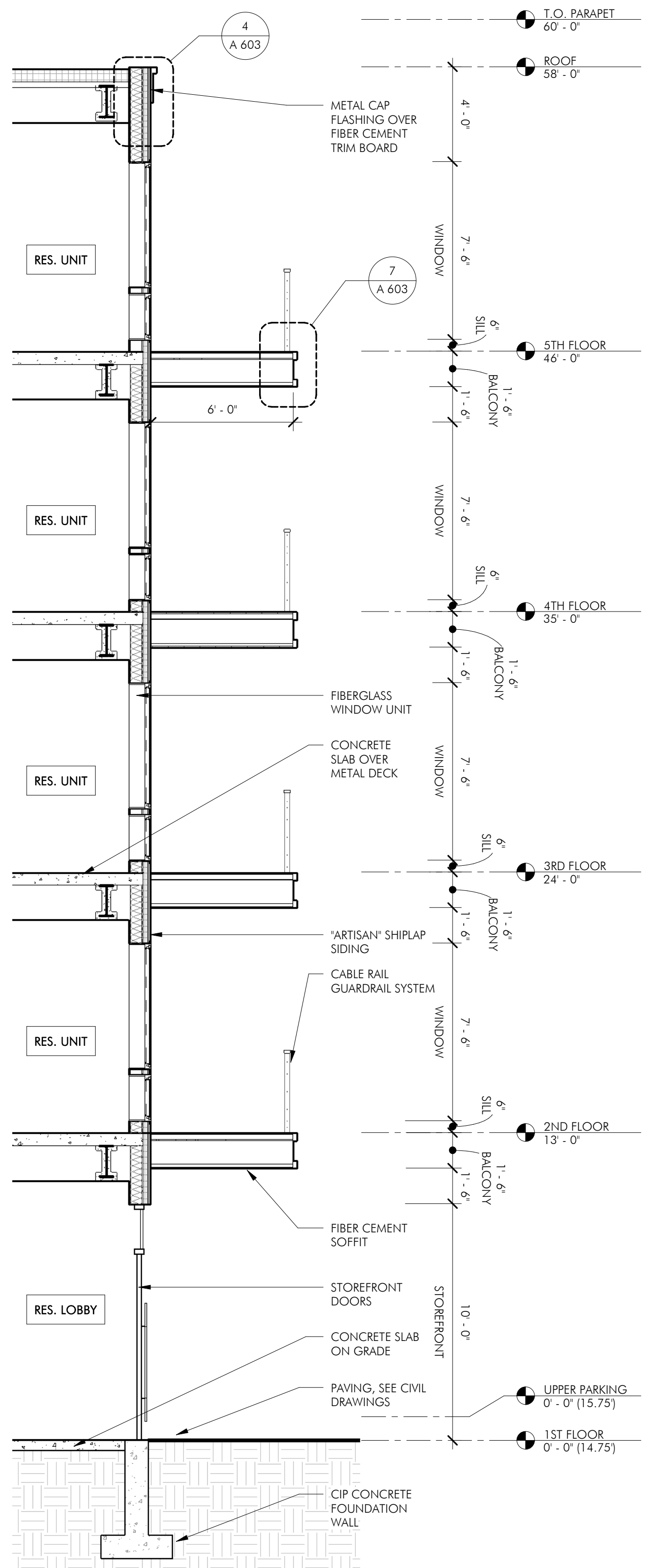




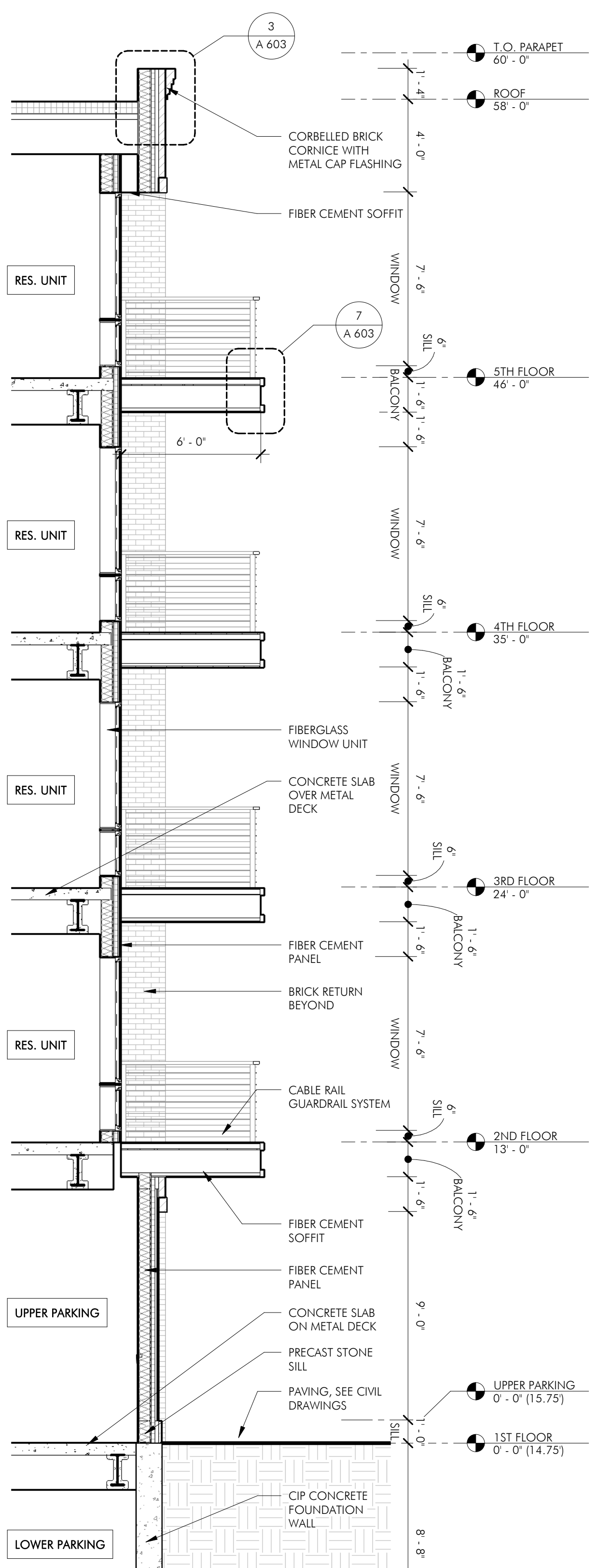
1 WALL SECTION 1  
1/4" = 1'-0"



4 WALL SECTION 2  
1/4" = 1'-0"



3 WALL SECTION 3  
1/4" = 1'-0"



2 WALL SECTION 4  
1/4" = 1'-0"

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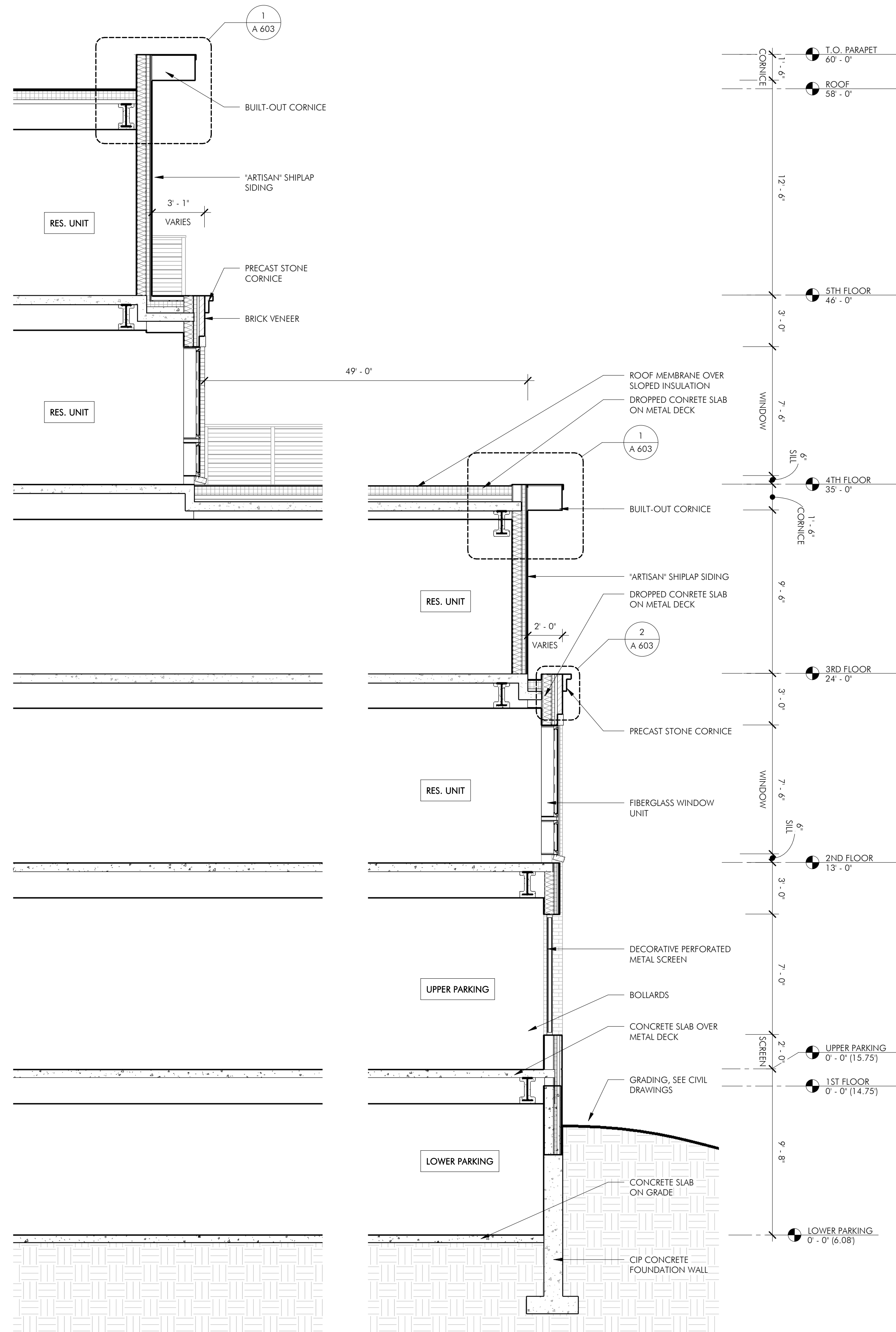
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**WALL SECTIONS**

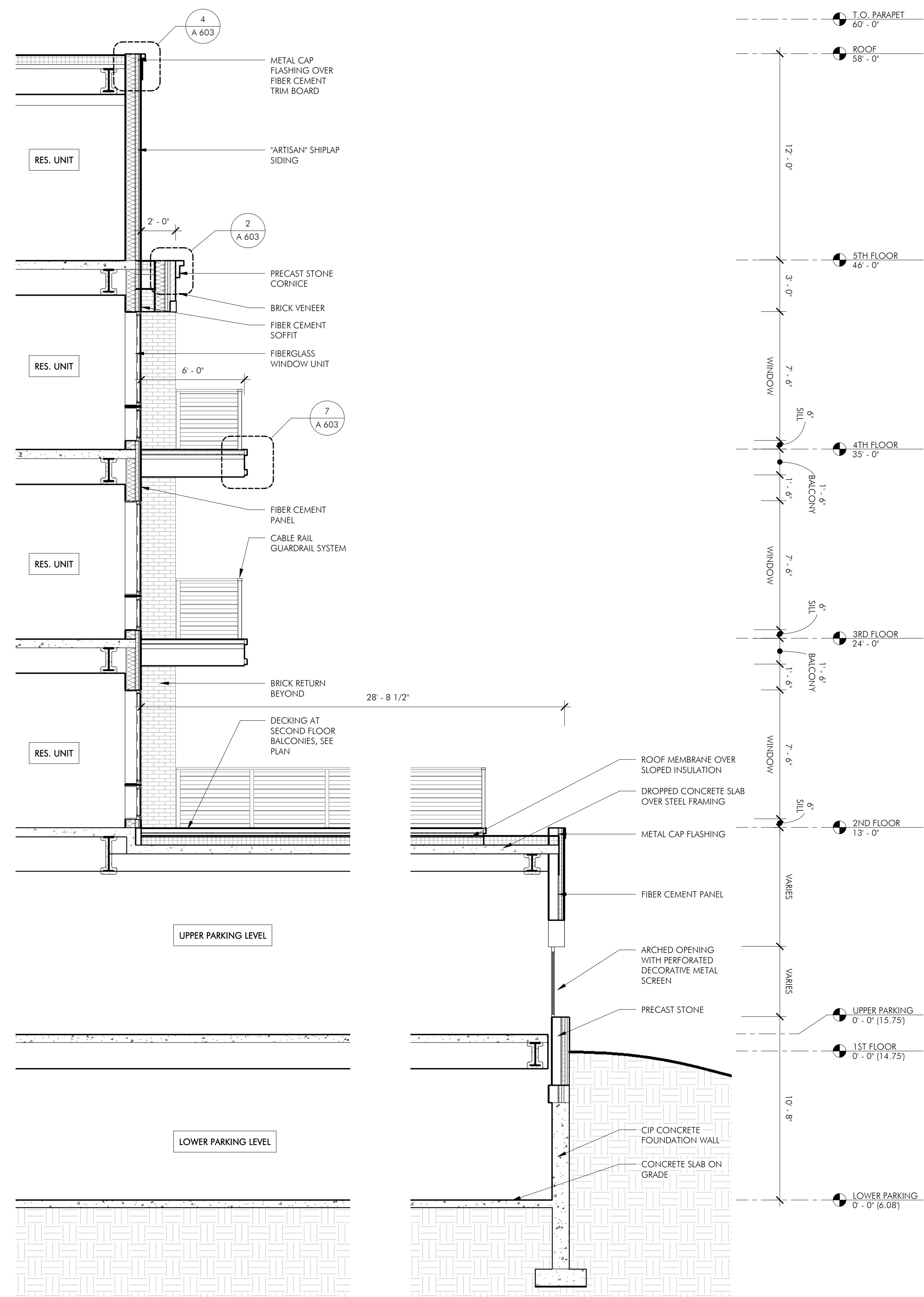
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**1** WALL SECTION 5  
1/4" = 1'-0"



**2** WALL SECTION 6  
1/4" = 1'-0"

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**WALL SECTIONS**

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**A 311**  
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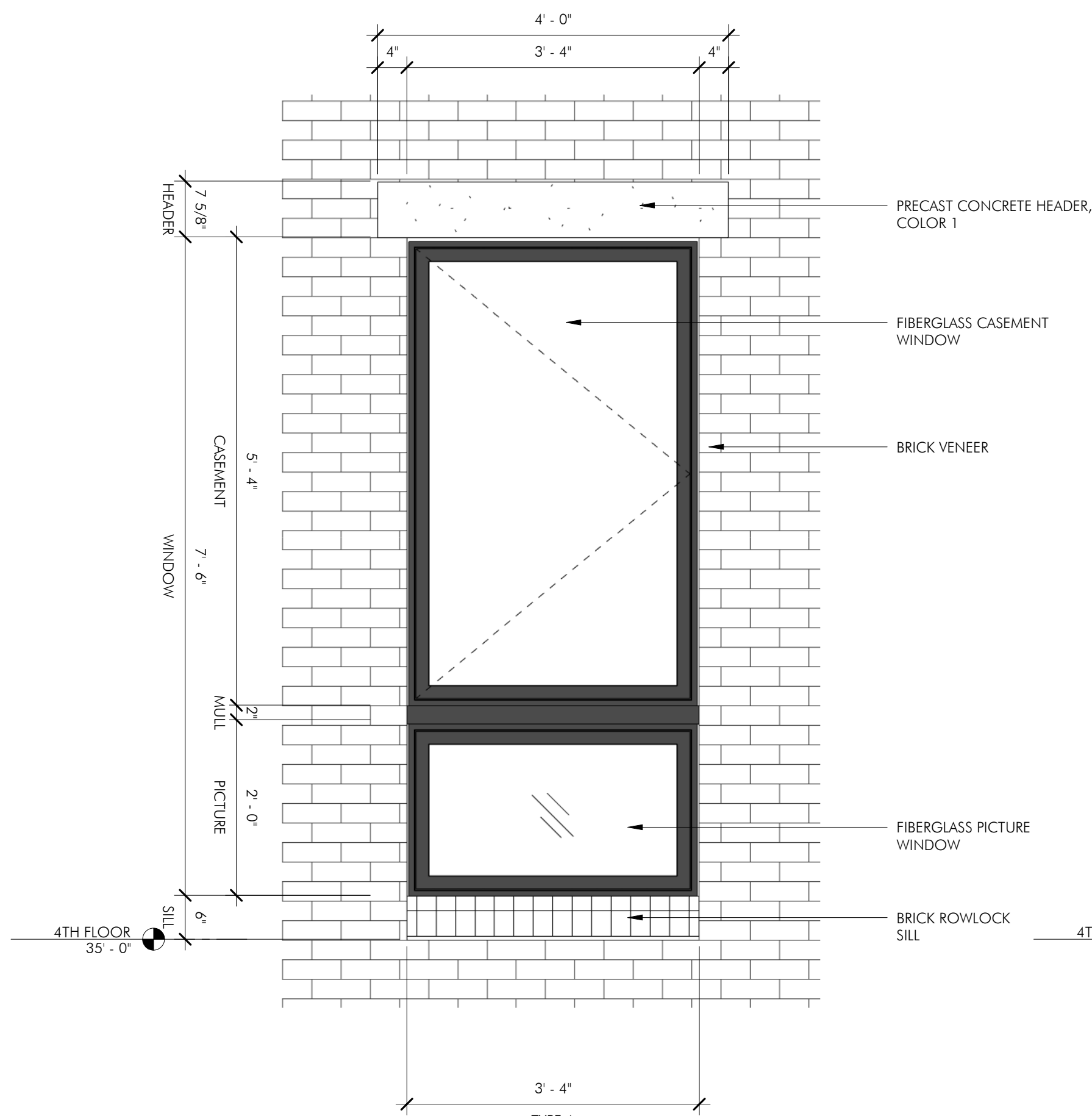
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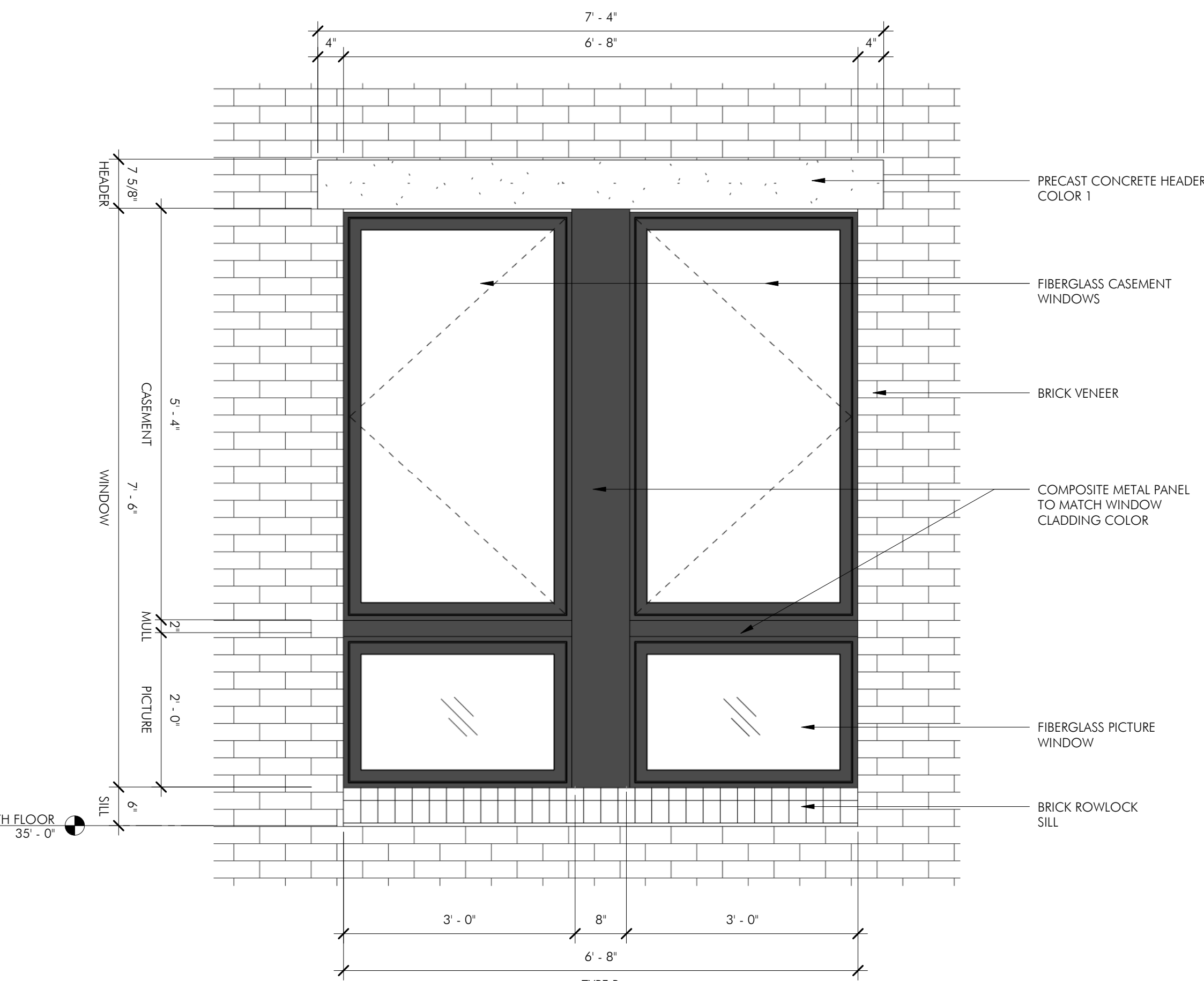
WINDOW  
 DETAILS AT BRICK

DRAWING NUMBER

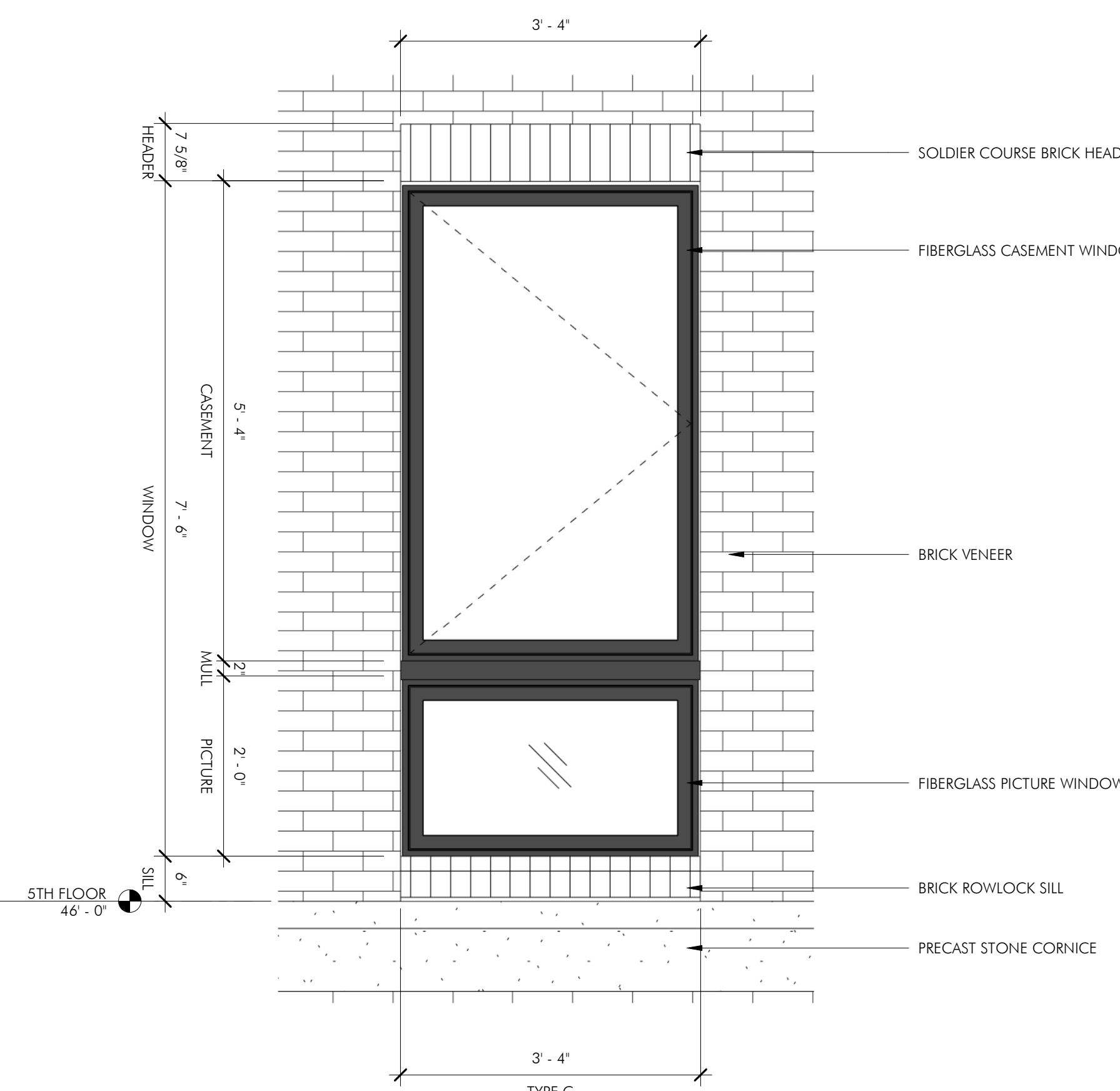
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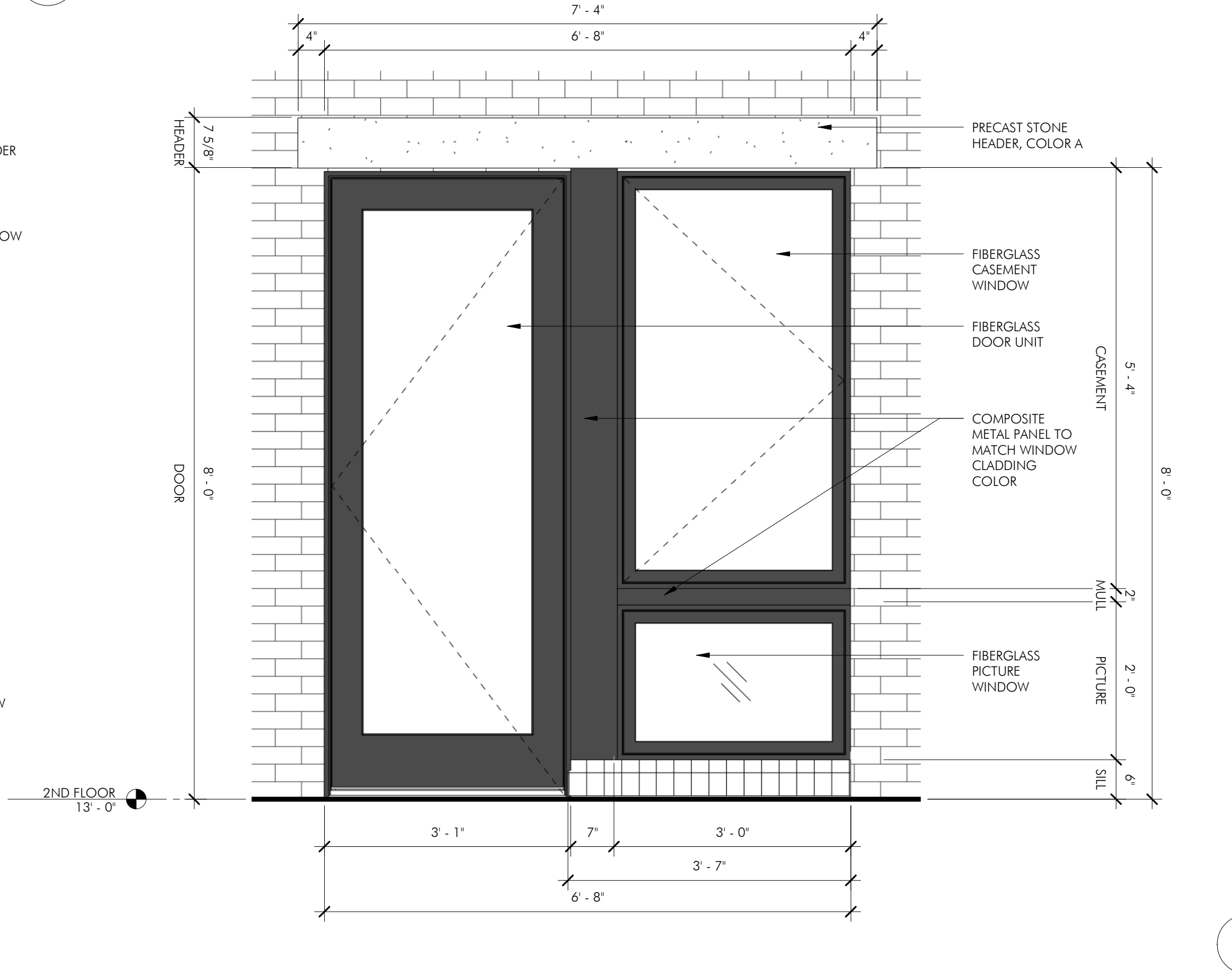
**1 ENLARGED BRICK WINDOW ELEVATION**  
 3/4" = 1'-0"



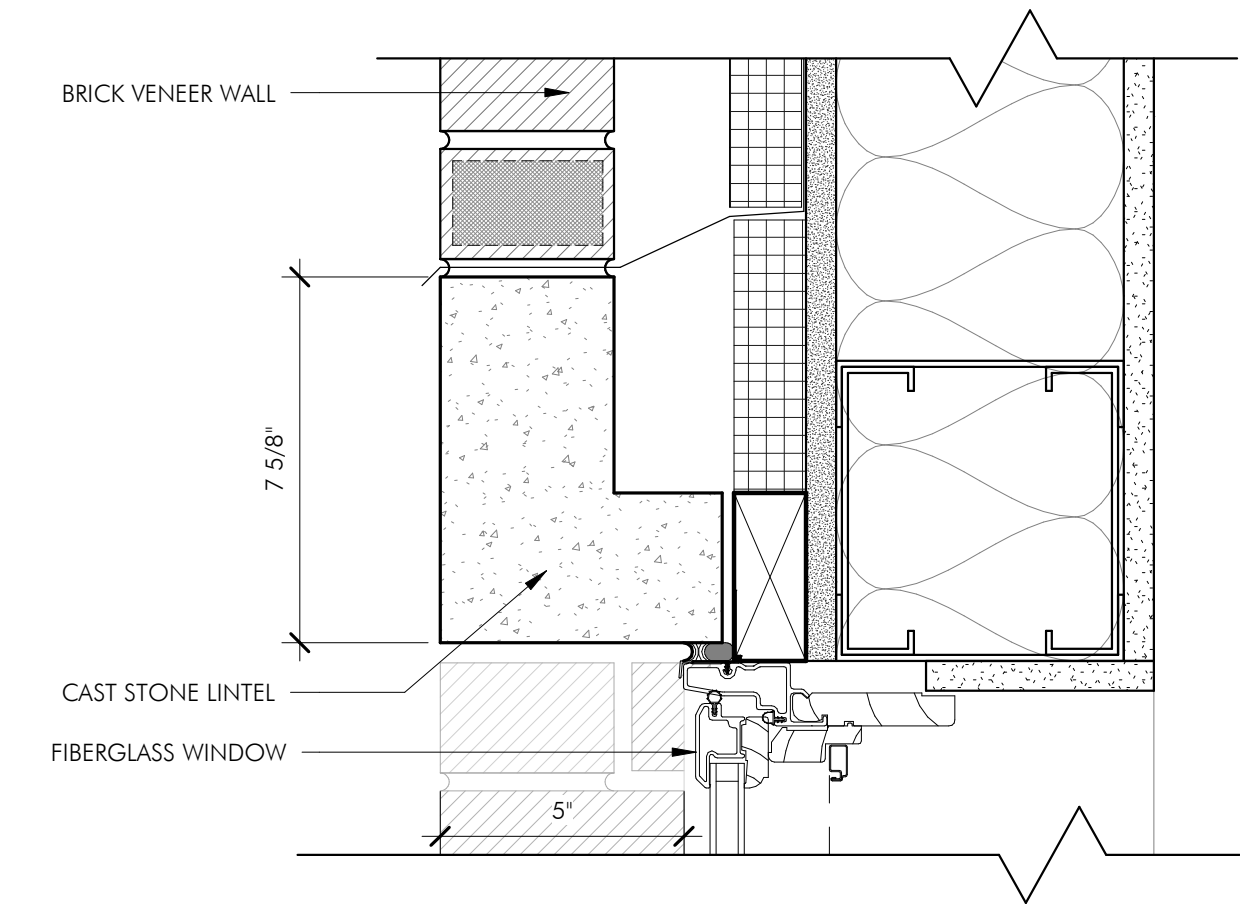
**2 ENLARGED BRICK (PAIRED) WINDOW ELEVATION**  
 3/4" = 1'-0"



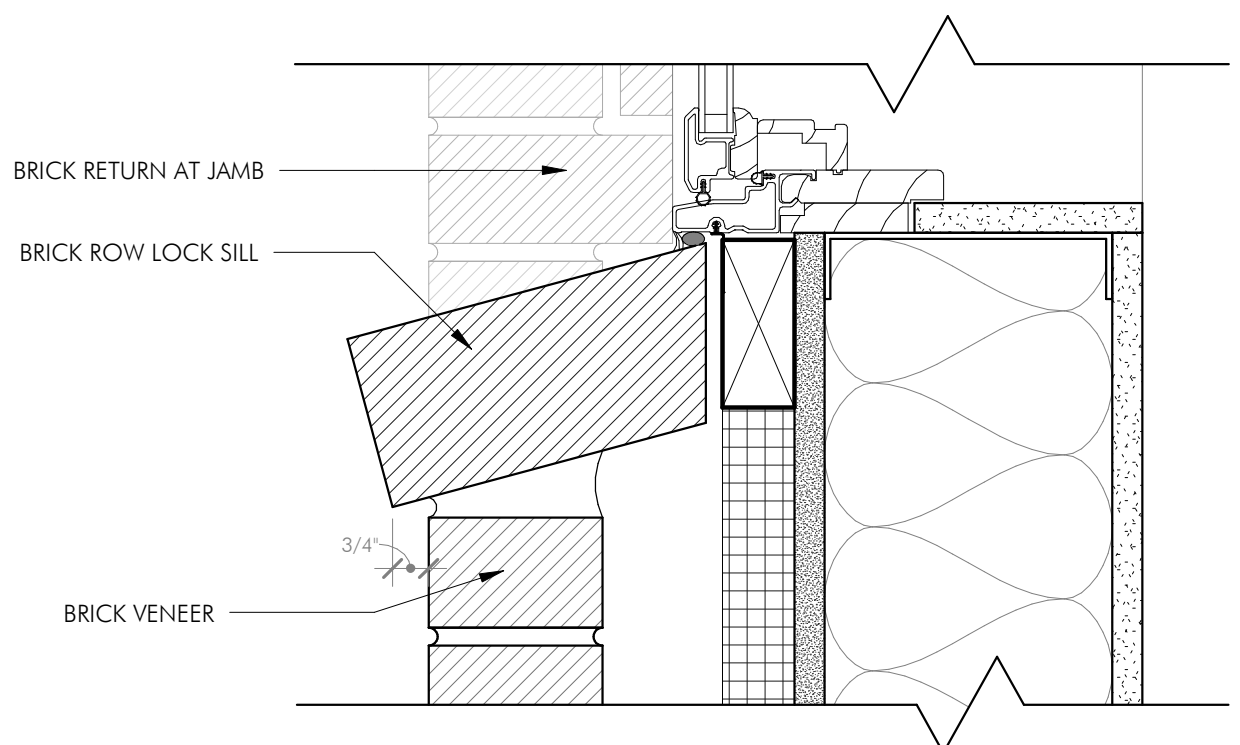
**3 ENLARGED BRICK WINDOW ELEVATION AT 5TH FLOOR**  
 3/4" = 1'-0"



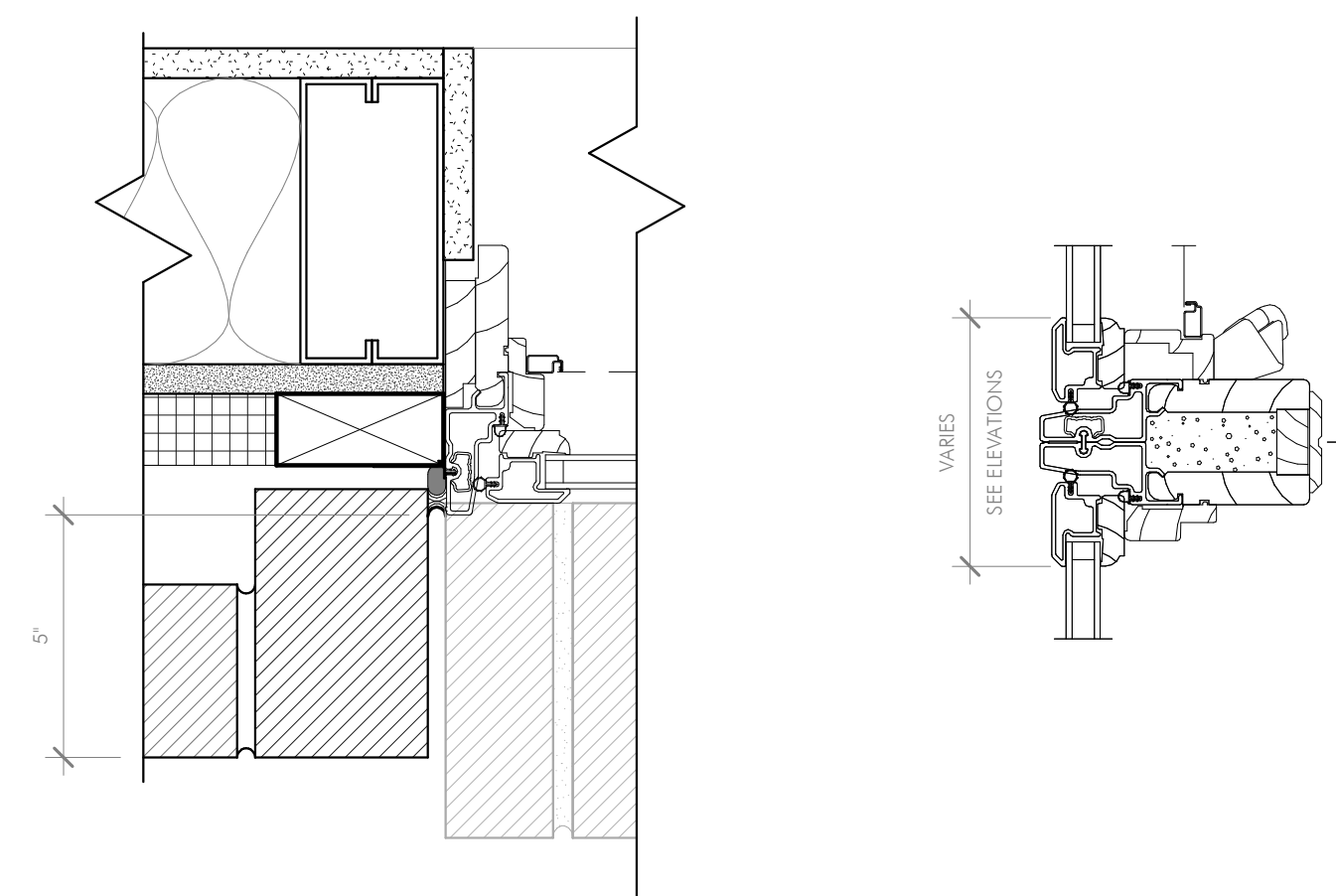
**8 ENLARGED BRICK (PAIRED WITH DOOR) WINDOW ELEVATION**  
 3/4" = 1'-0"



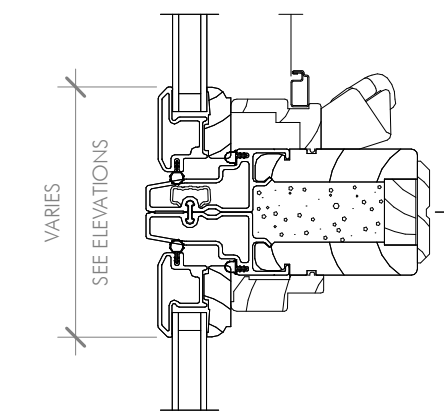
**4 WINDOW HEAD AT BRICK**  
 3" = 1'-0"



**5 WINDOW SILL AT BRICK**  
 3" = 1'-0"



**6 WINDOW JAMB AT BRICK**  
 3" = 1'-0"



**7 HORIZONTAL MULLION**  
 3" = 1'-0"



REVISIONS

MARK	ISSUE	DATE

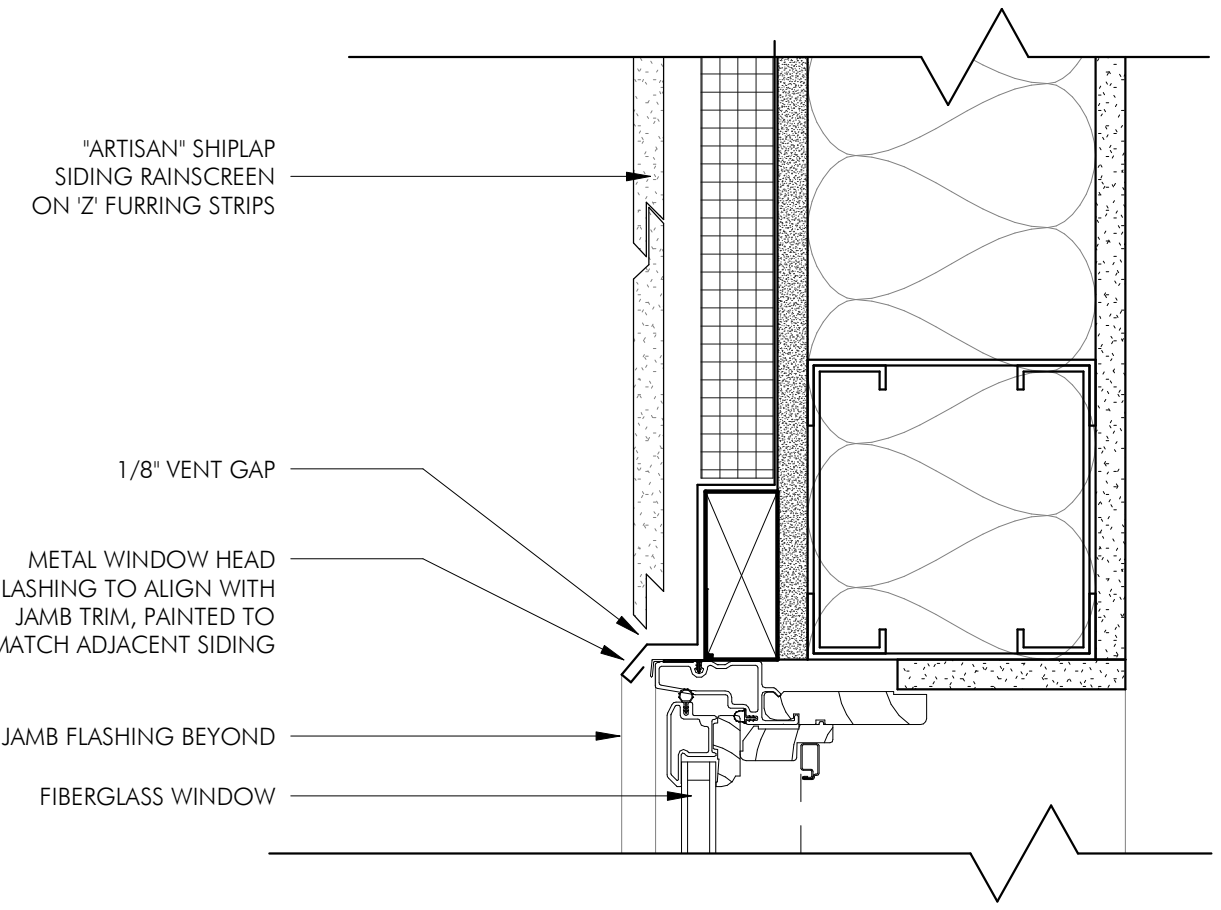
DRAWING INFORMATION

ISSUE: HDC SUBMISSION  
 DATE: JUNE 17, 2021  
 PROJECT #: 20055  
 SCALE: As indicated

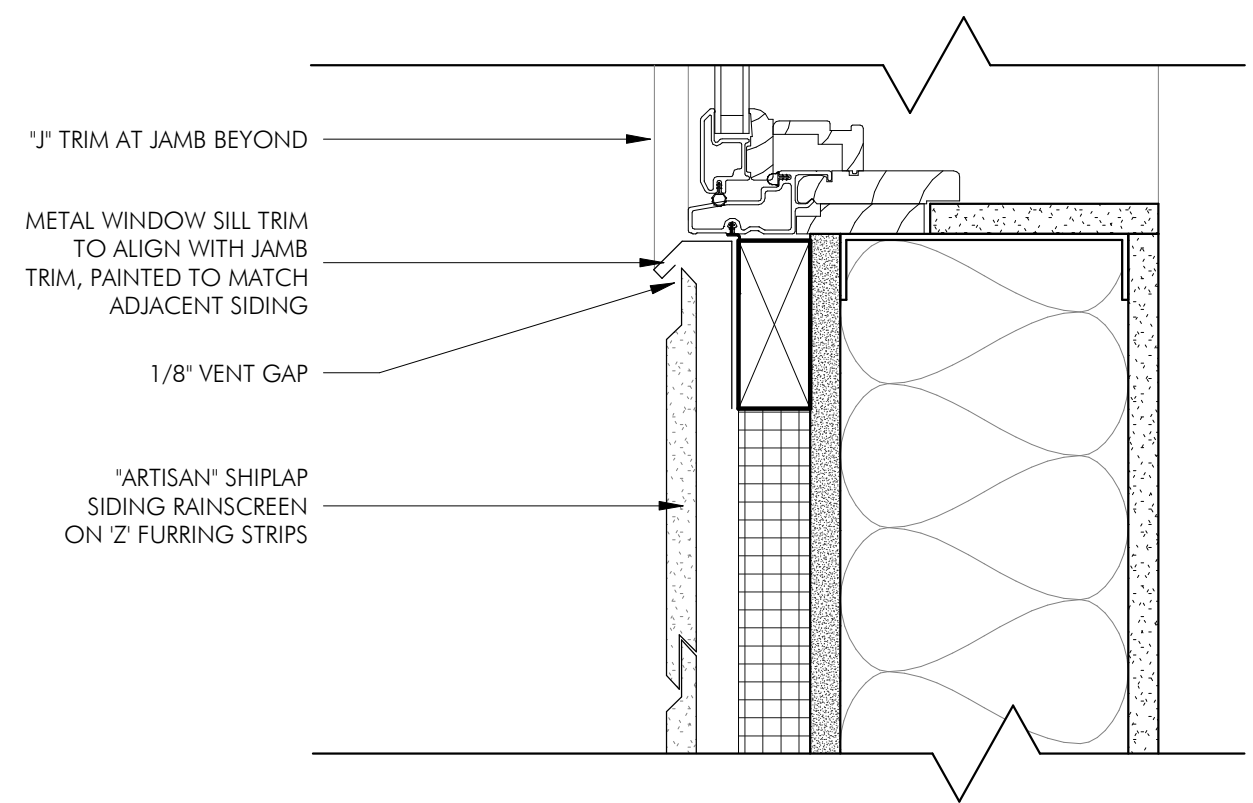
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WINDOW  
 DETAILS AT FIBER  
 CEMENT  
 DRAWING NUMBER

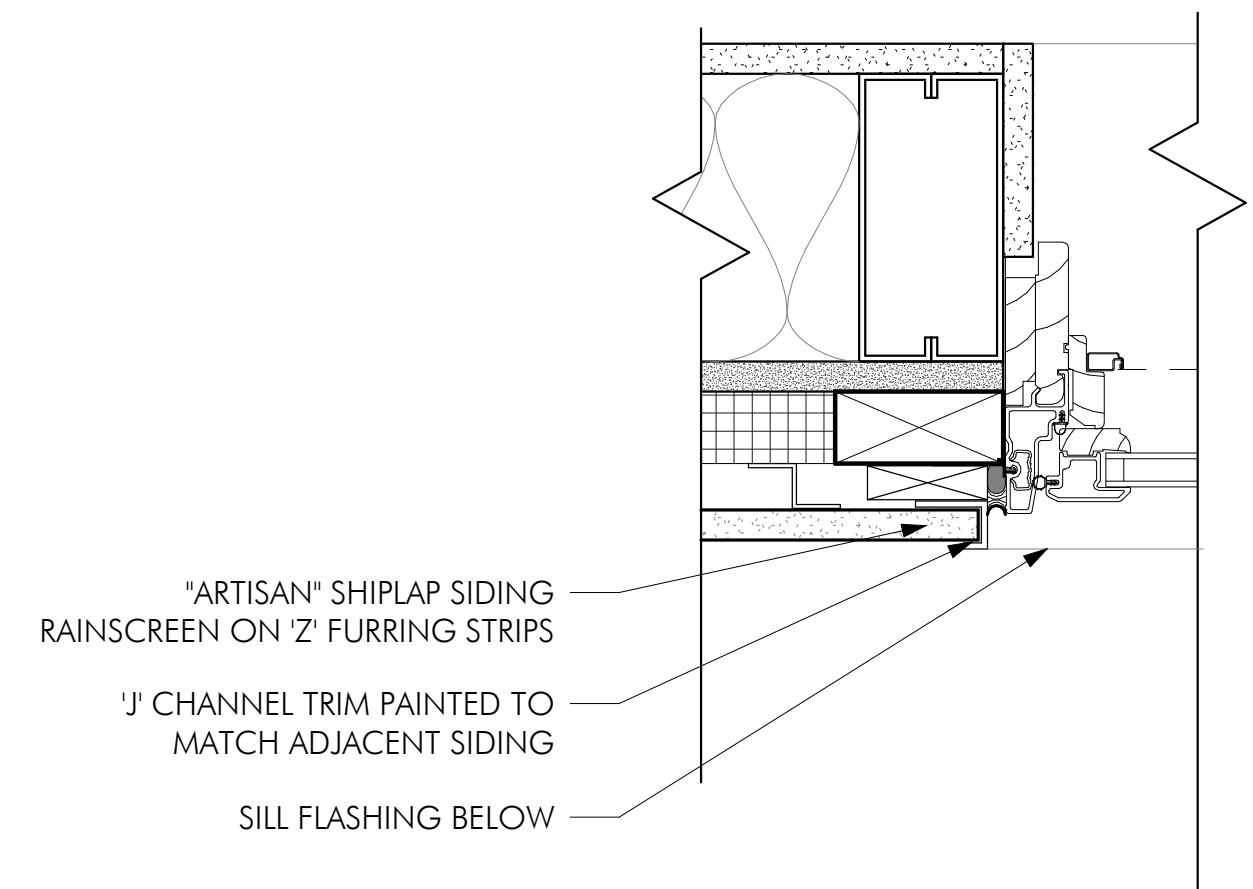
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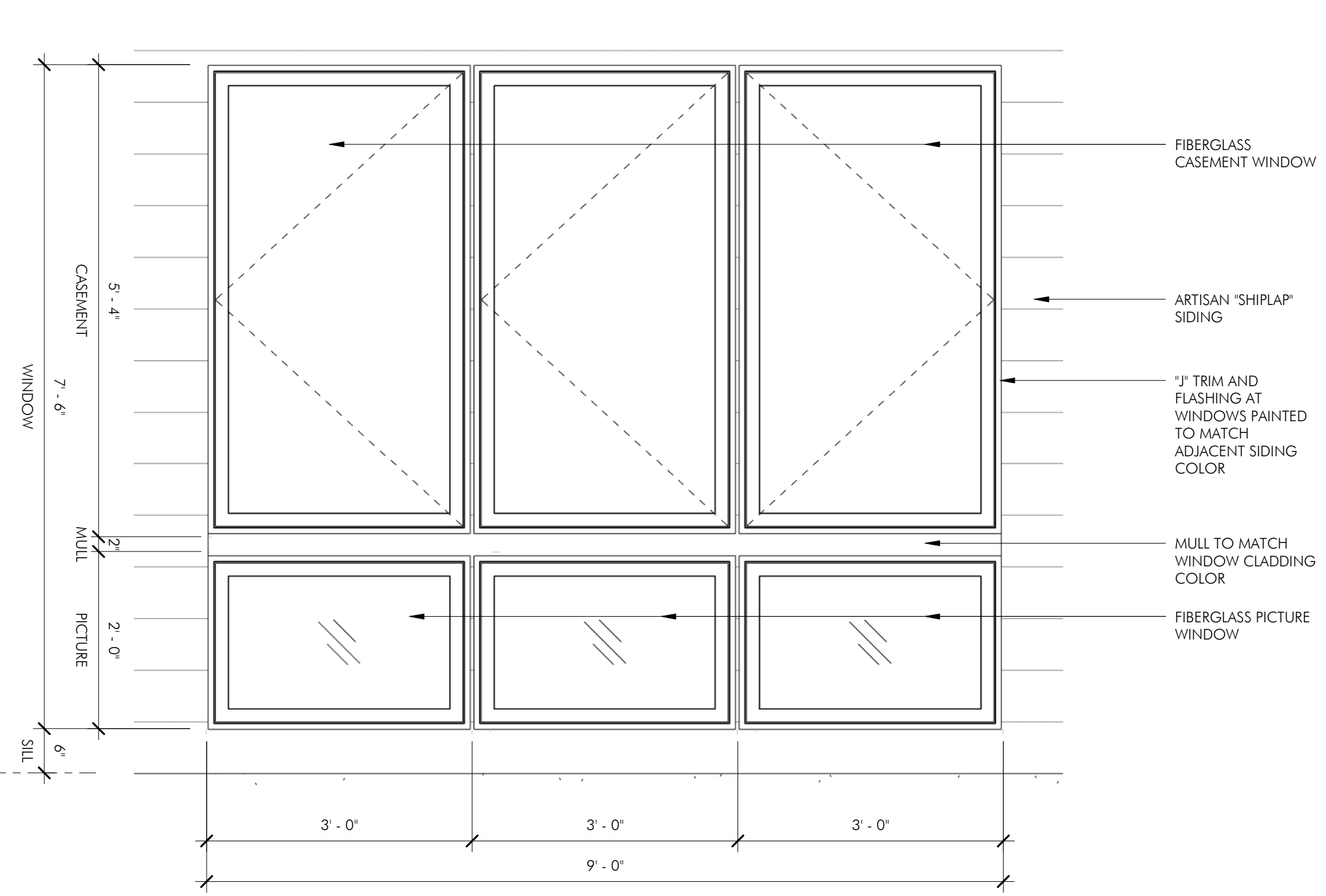
**4** WINDOW HEAD AT FIBER CEMENT  
 3\"/>



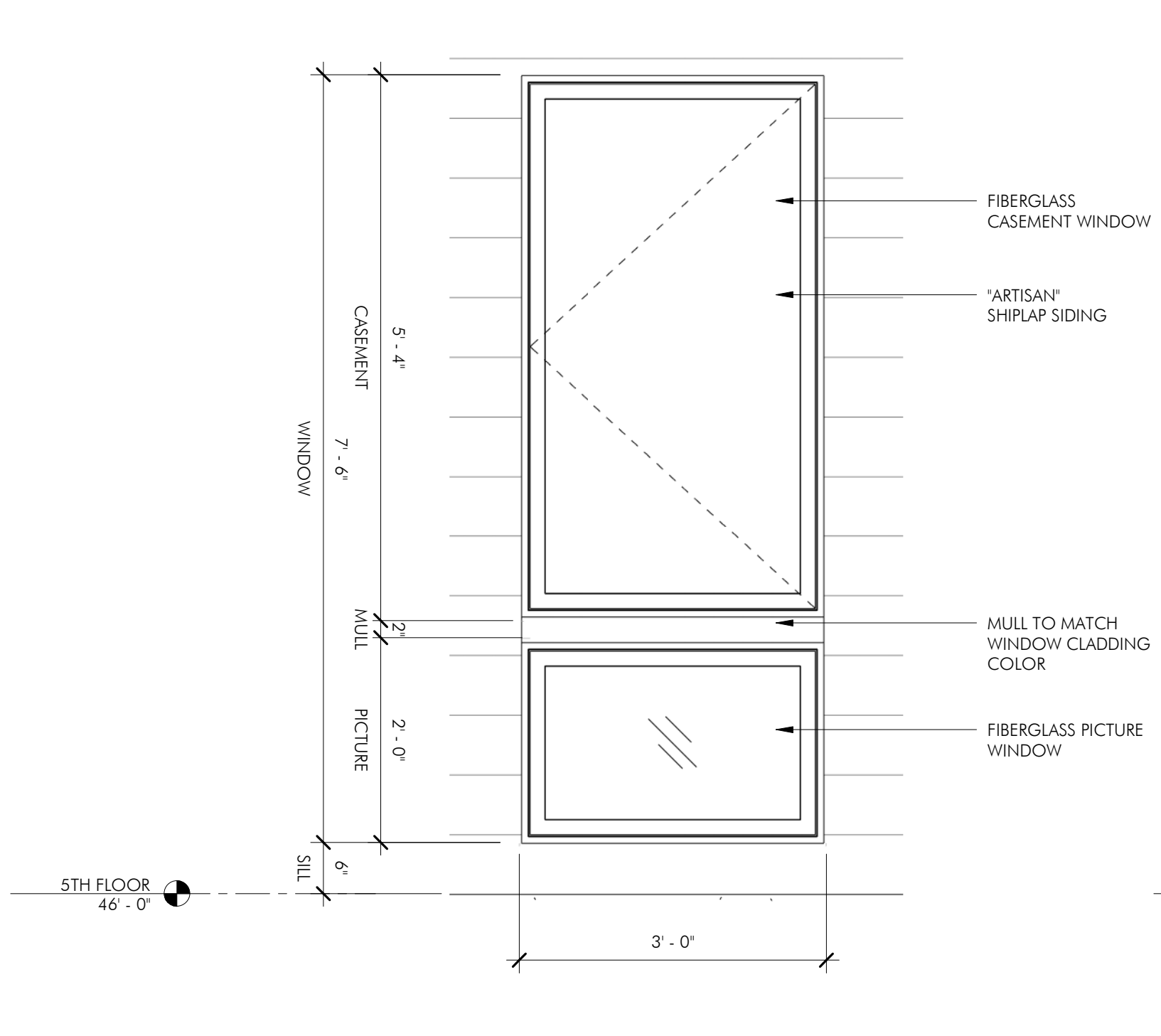
**5** WINDOW SILL AT FIBER CEMENT  
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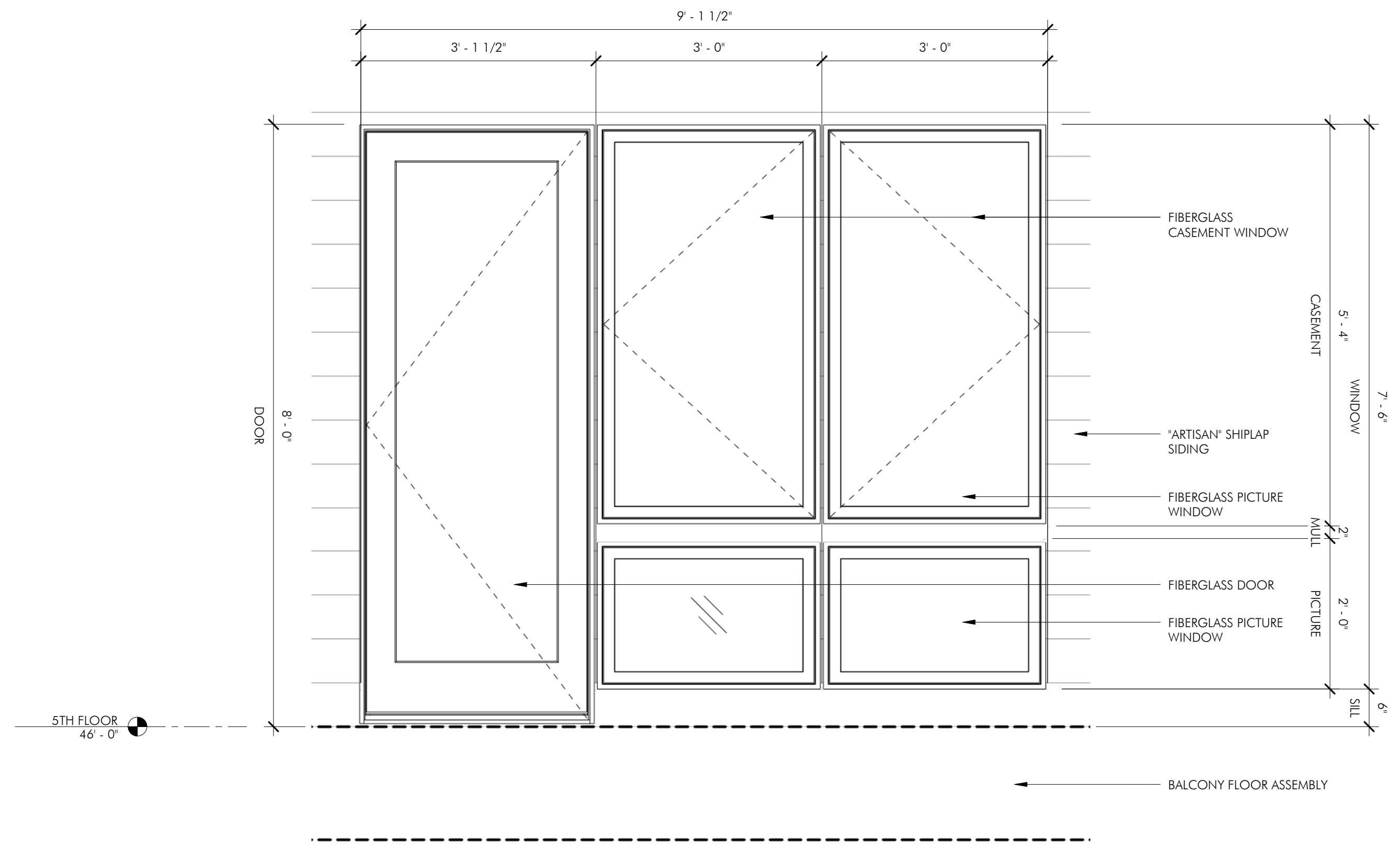
**6** WINDOW JAMB AT FIBER CEMENT  
 3\"/>



**2** ENLARGED WINDOW ELEVATION (PAIRED) AT HORIZONTAL FIBER CEMENT SIDING  
 3\"/>

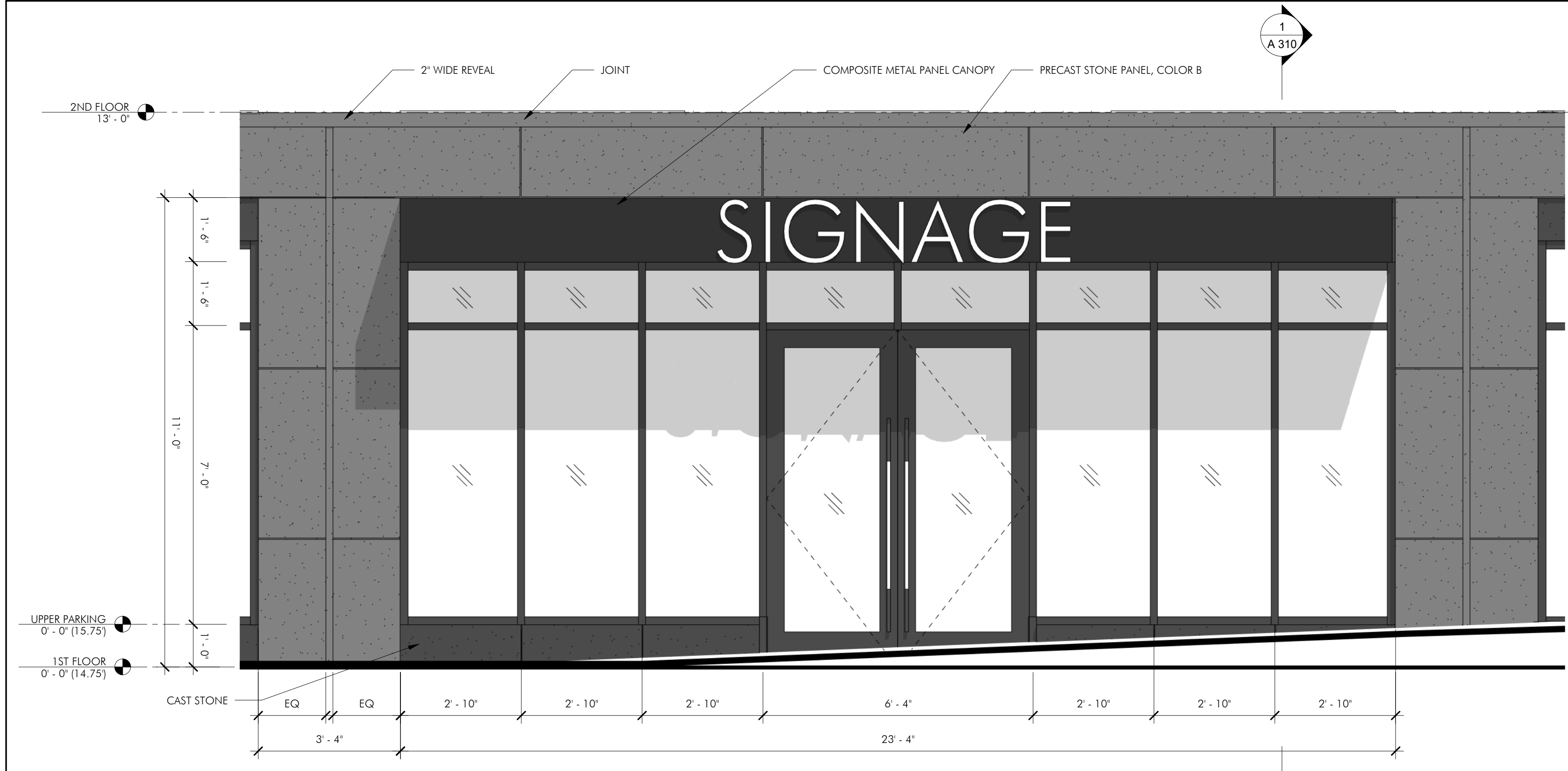


**1** ENLARGED WINDOW ELEVATION AT HORIZONTAL FIBER CEMENT SIDING  
 3\"/>



**3** ENLARGED WINDOW ELEVATION (PAIRED DOOR) AT HORIZONTAL FIBER CEMENT SIDING  
 3\"/>





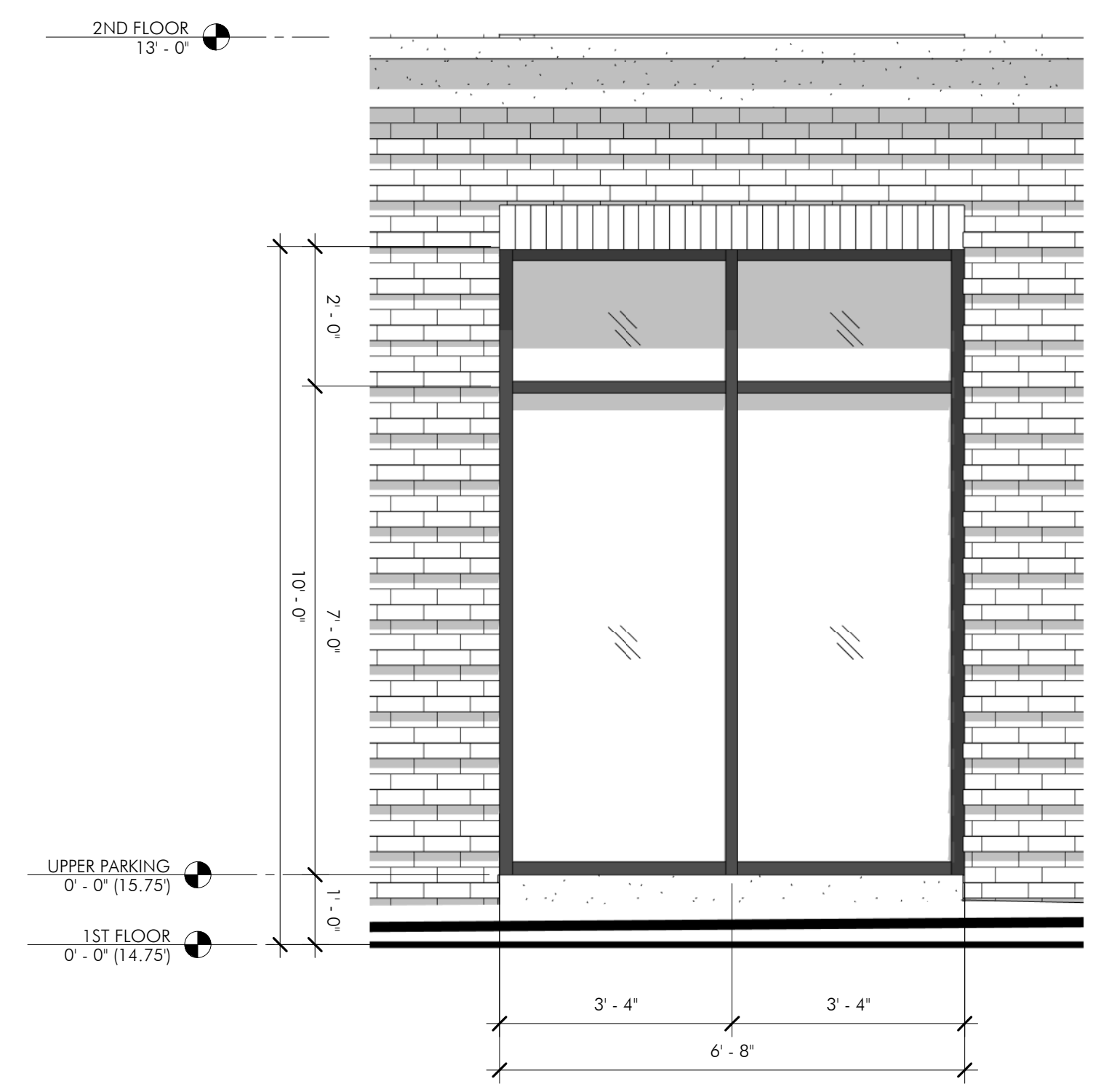
1 ENLARGED STOREFRONT ELEVATION AT COMMERCIAL ENTRY  
1/2" = 1'-0"



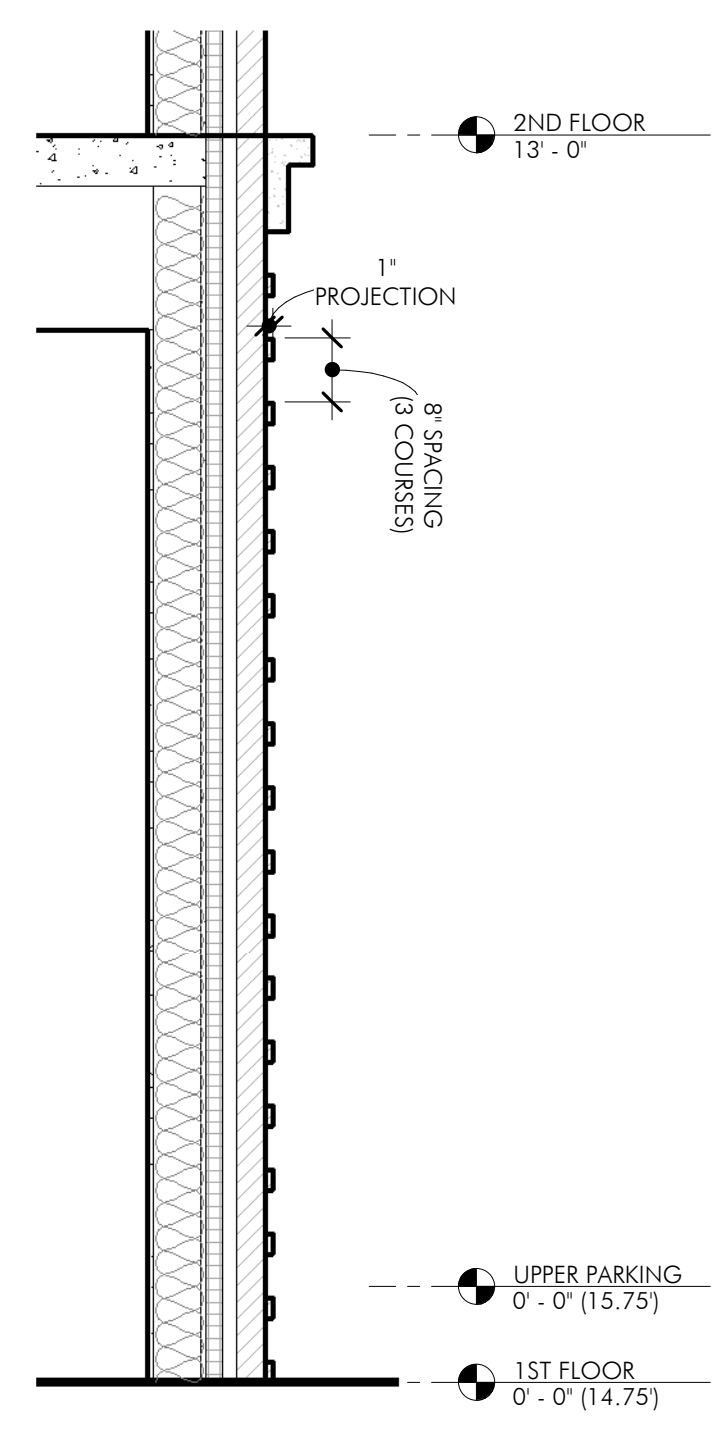
2 ENLARGED TYPICAL STOREFRONT ELEVATION AT COMMERCIAL SPACE  
1/2" = 1'-0"



3 ENLARGED STOREFRONT ELEVATION AT RESIDENTIAL ENTRY  
1/2" = 1'-0"



4 ENLARGED STOREFRONT ELEVATION AT RESIDENTIAL LOBBY  
1/2" = 1'-0"



5 RUSTICATED BRICK DETAIL  
1/2" = 1'-0"

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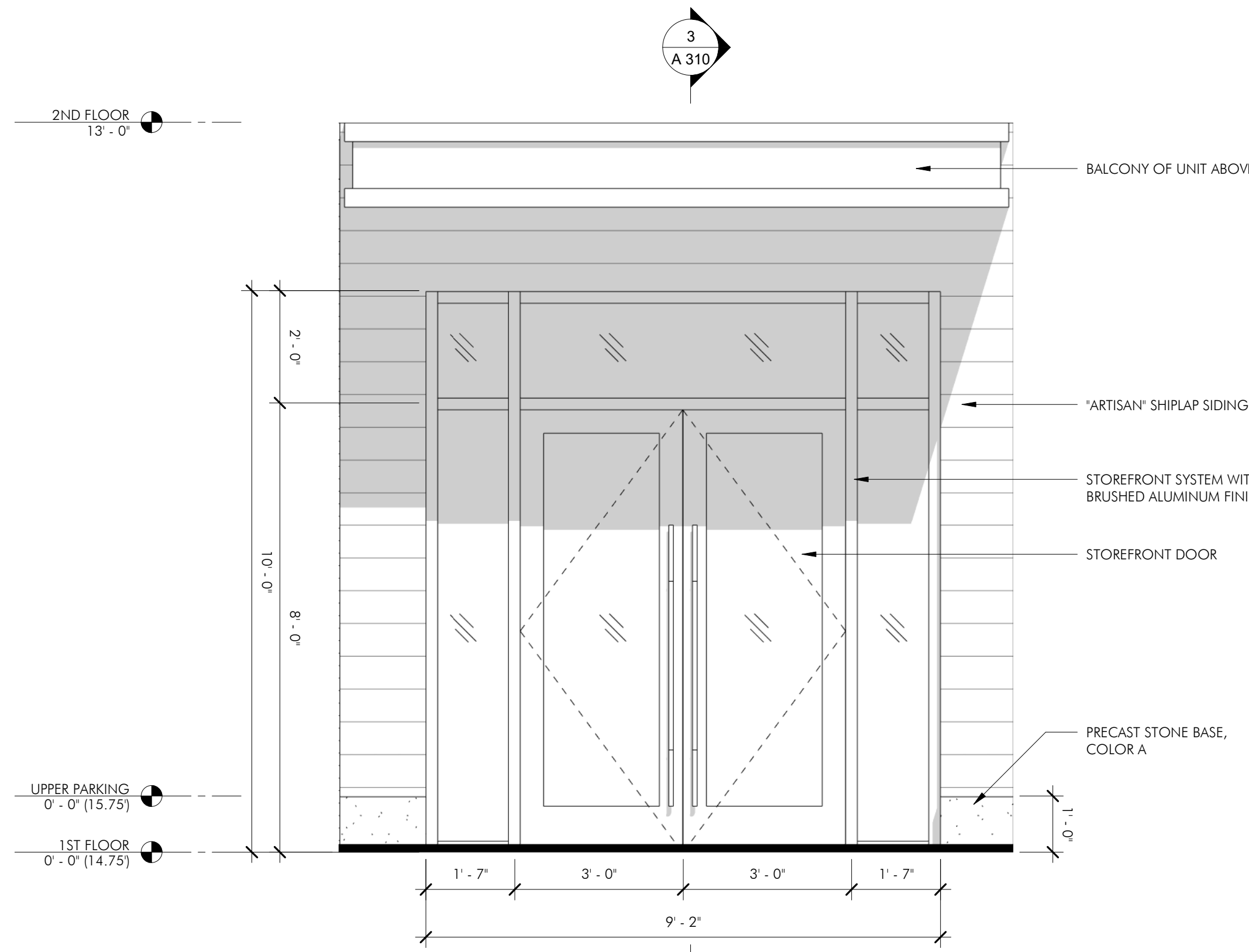
MARK	ISSUE	DATE

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PROJECT #: 20055  
SCALE: 1/2" = 1'-0"

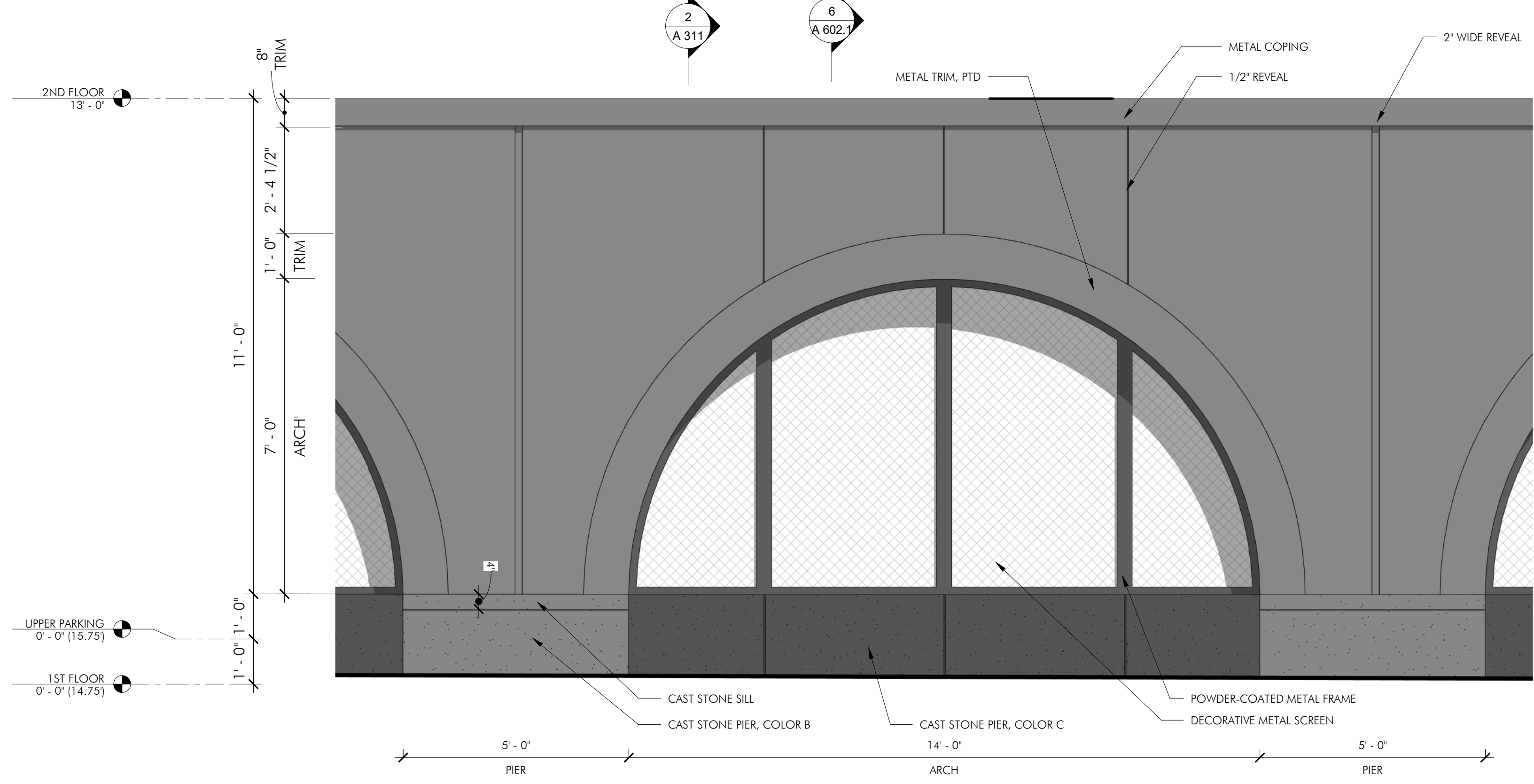
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ELEVATIONS AND  
DETAILS  
DRAWING NUMBER

A 602  
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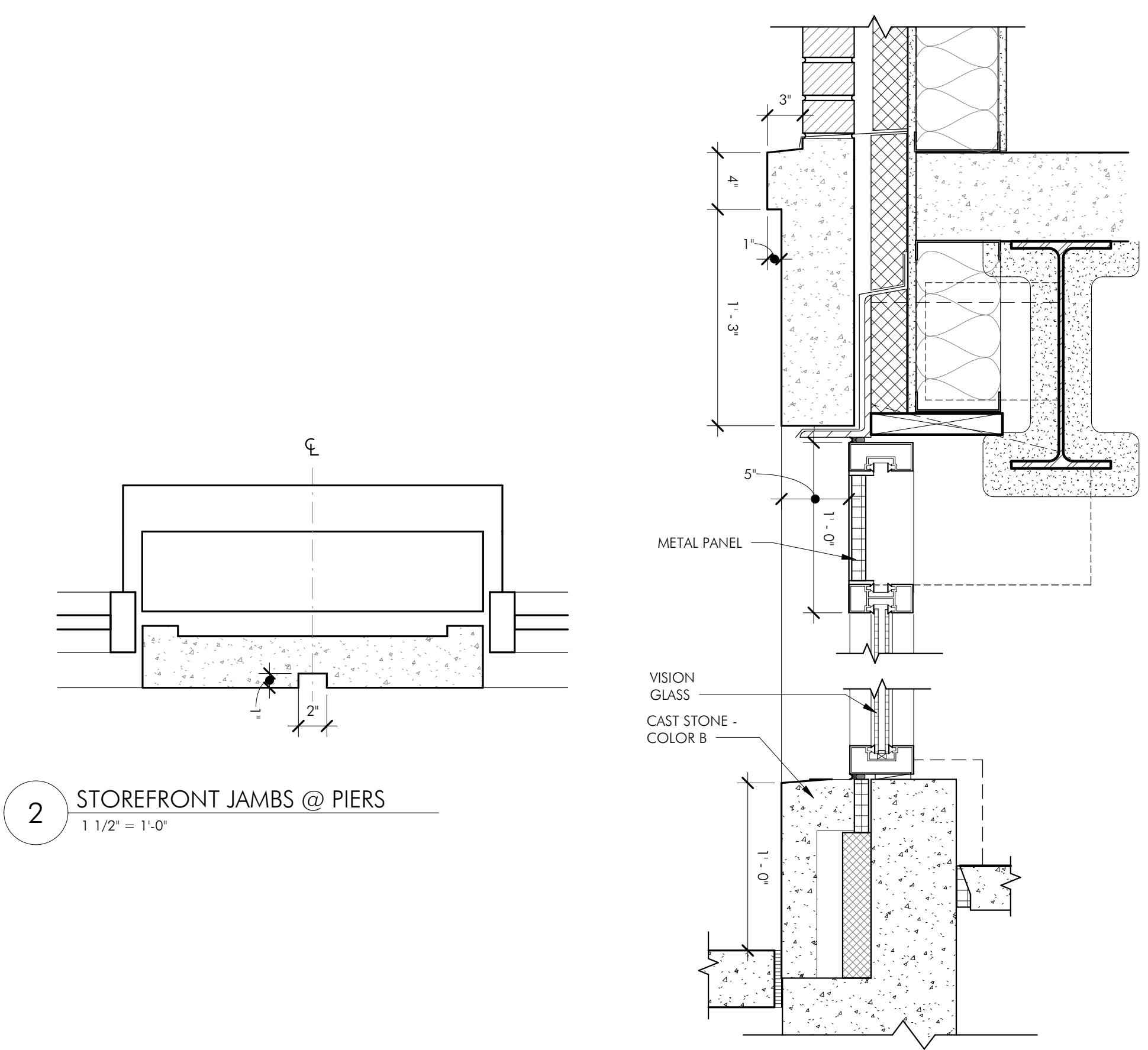




1 ENLARGED STOREFRONT ELEVATION AT REAR RESIDENTIAL ENTRY  
1/2" = 1'-0"

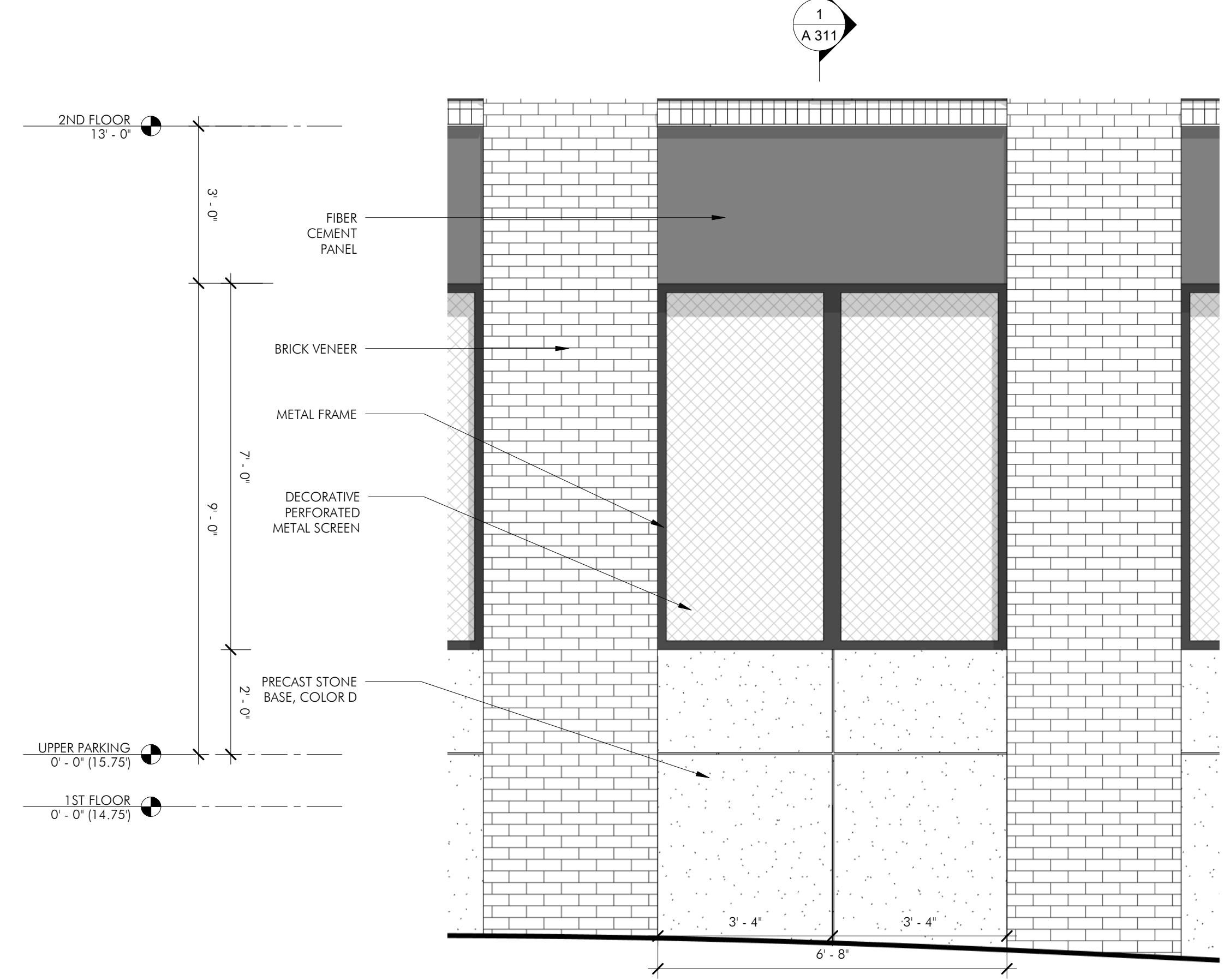


4 ARCHED SCREEN ELEVATION DETAIL  
1/2" = 1'-0"

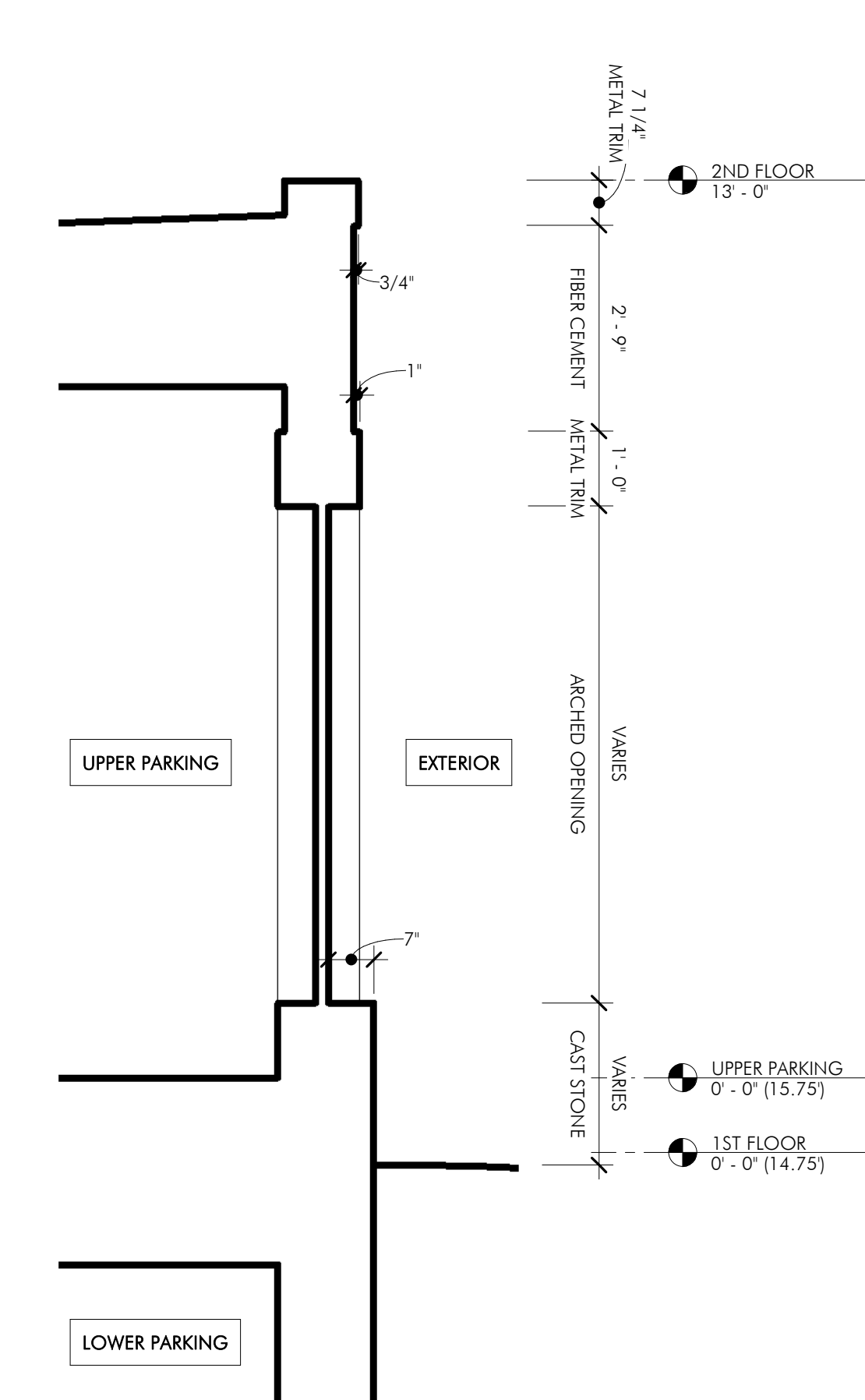


2 STOREFRONT JAMBS @ PIERS  
1 1/2" = 1'-0"

3 STOREFRONT HEAD & SILL  
1 1/2" = 1'-0"



5 ENLARGED ELEVATION AT DECORATIVE SCREENS IN BRICK  
1/2" = 1'-0"



6 WALL SECTION PROFILE AT ARCHED OPENINGS  
1/2" = 1'-0"

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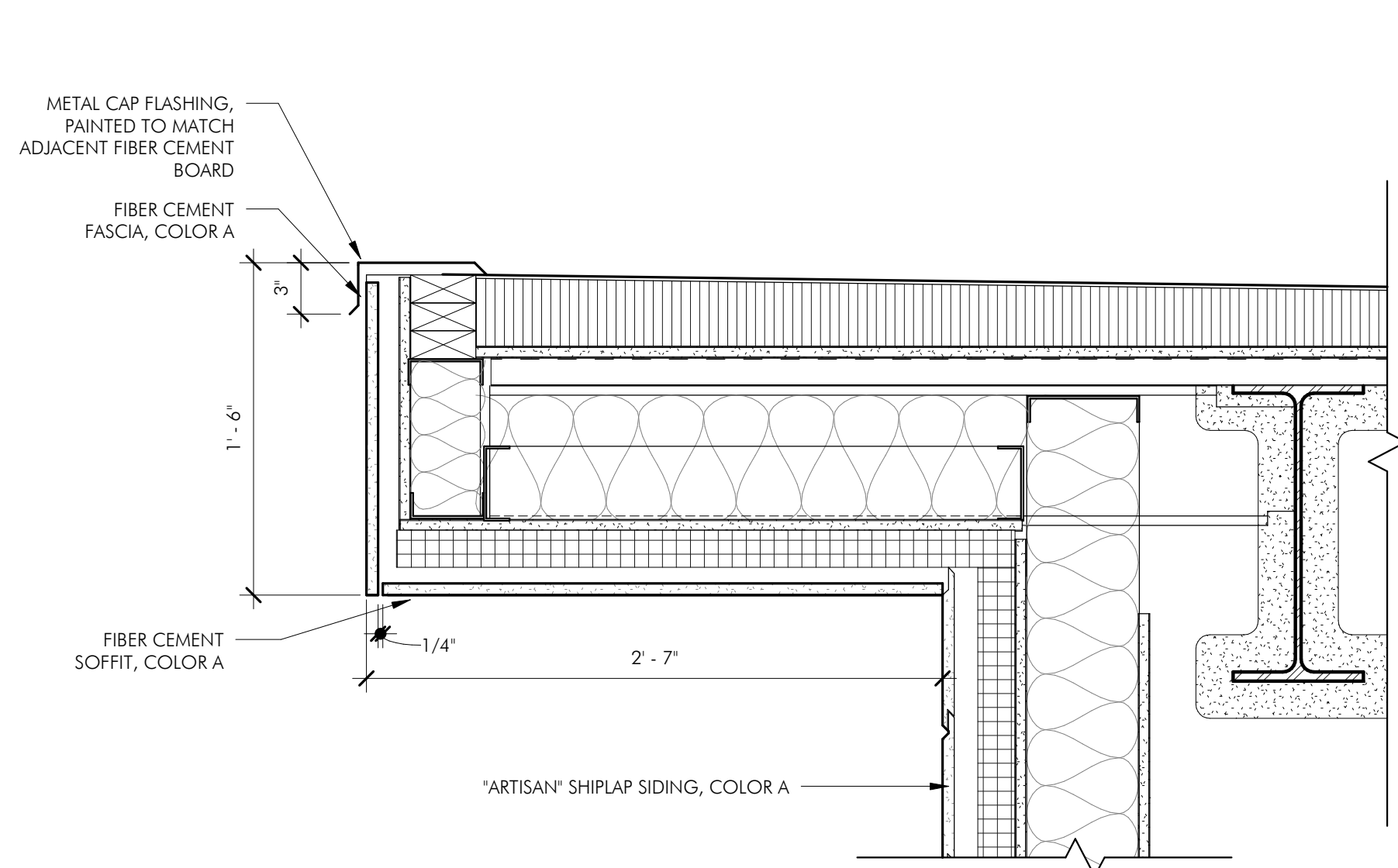
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ISSUE: HDC SUBMISSION  
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PROJECT #: 20055  
SCALE: As indicated

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DRAWING NUMBER

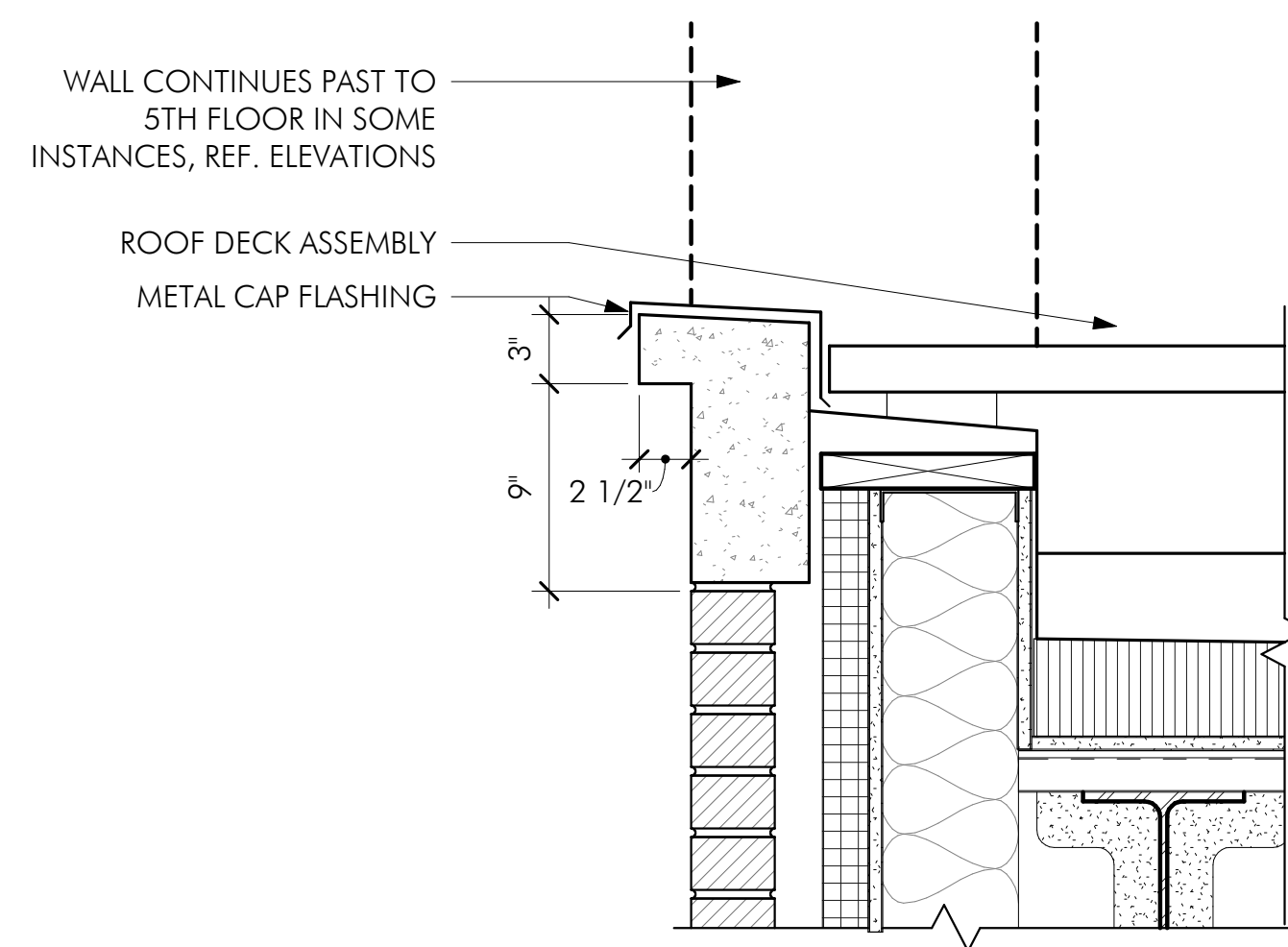
**A 602.1**  
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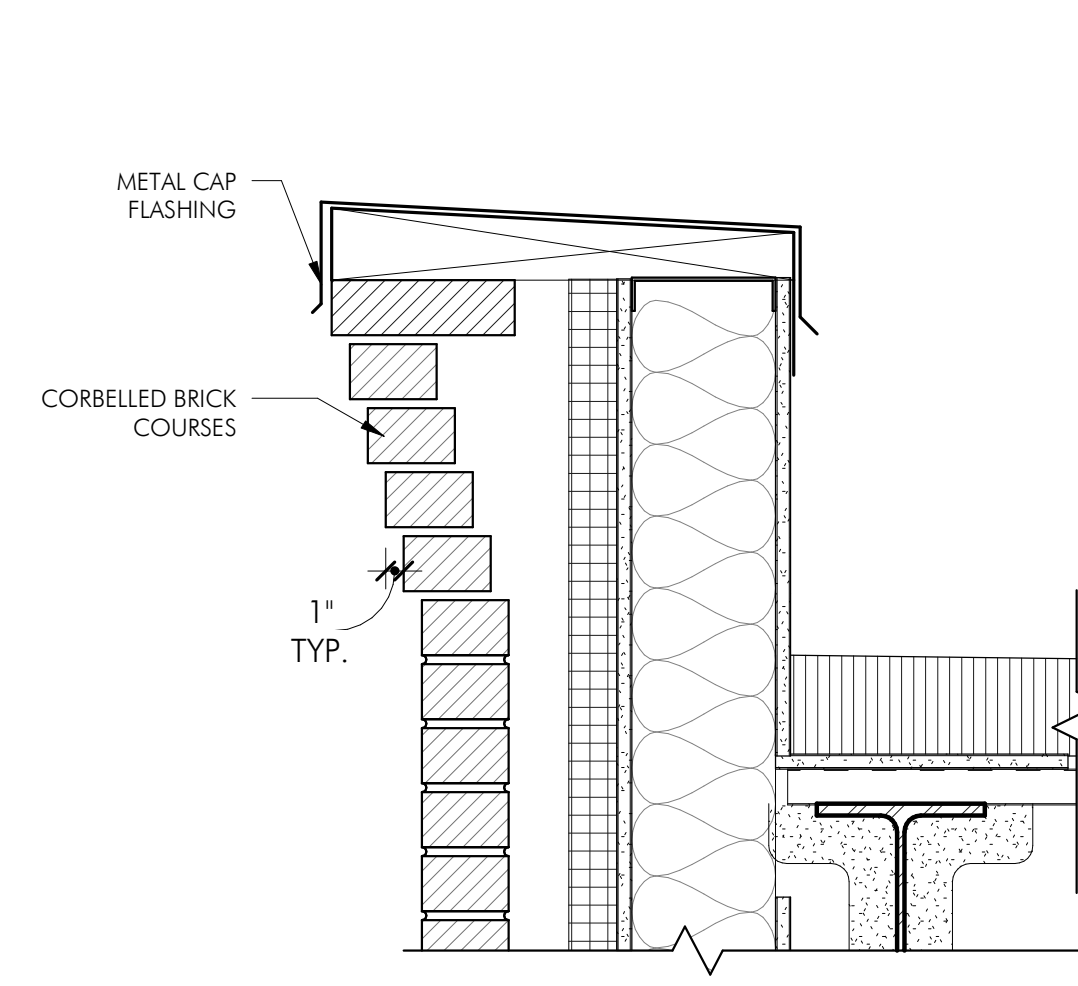




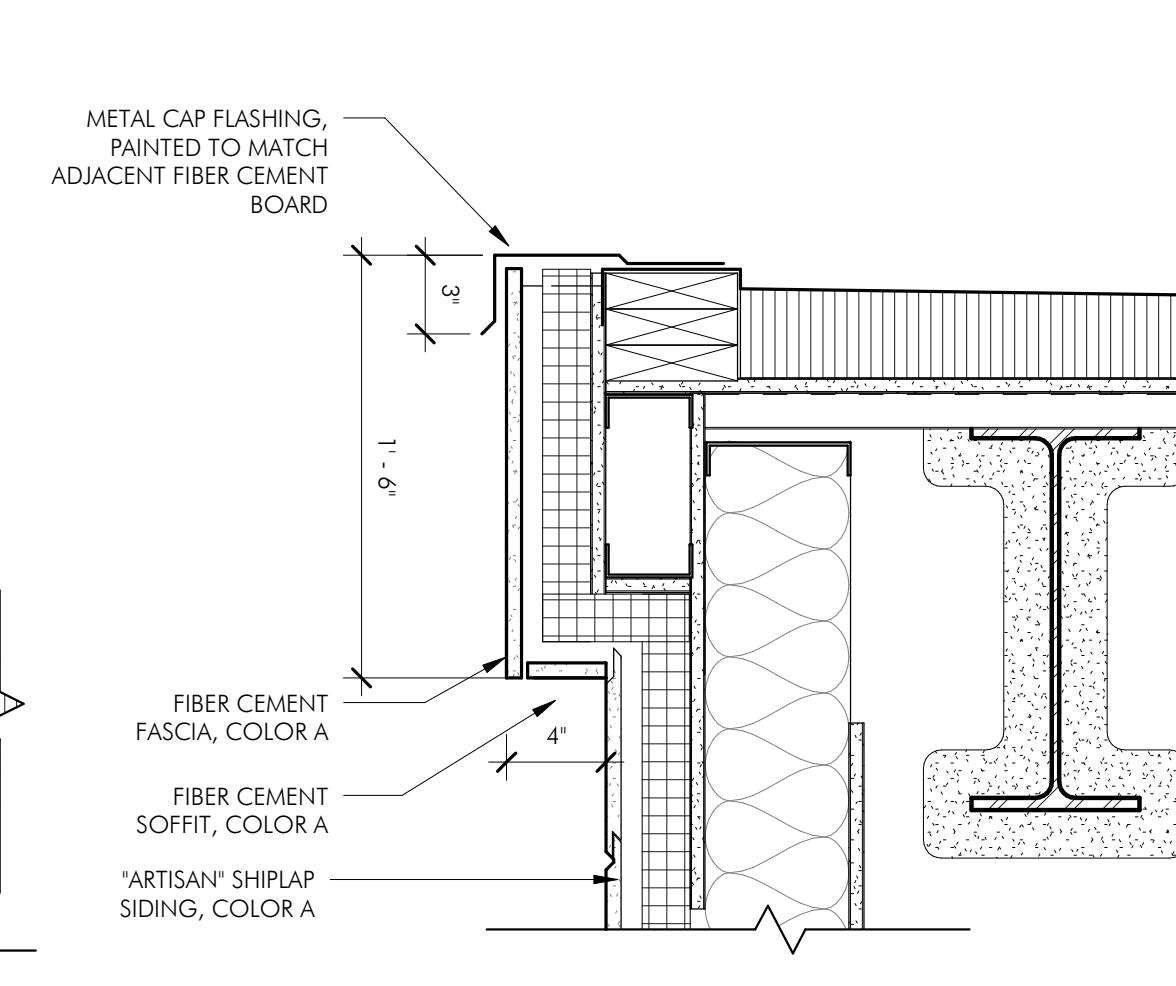
**1 BUILT-OUT CORNICE AT CURVED ROOF**  
1 1/2" = 1'-0"



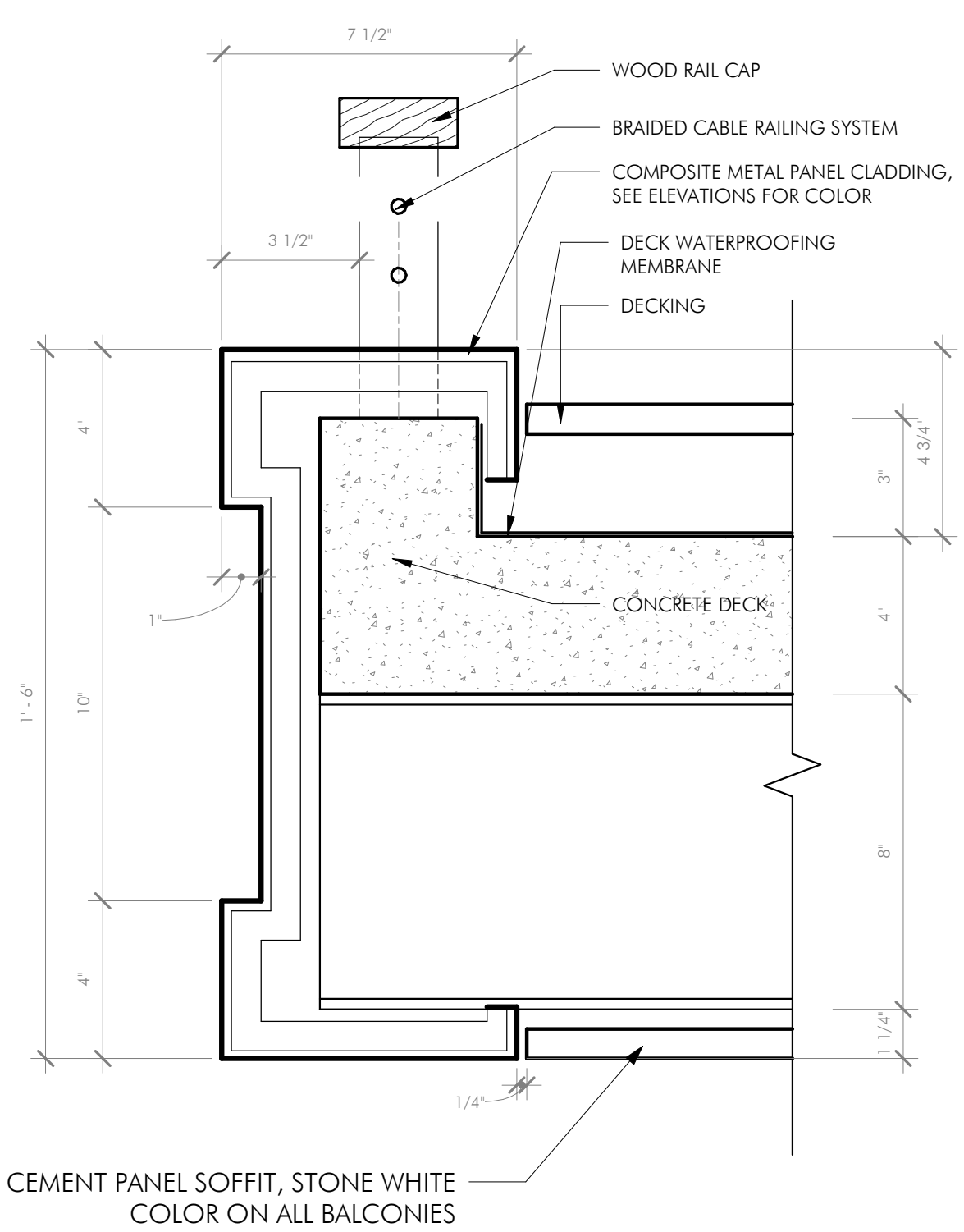
**2 CAST STONE CORNICE @ 4TH FLOOR AND ROOF**  
1 1/2" = 1'-0"



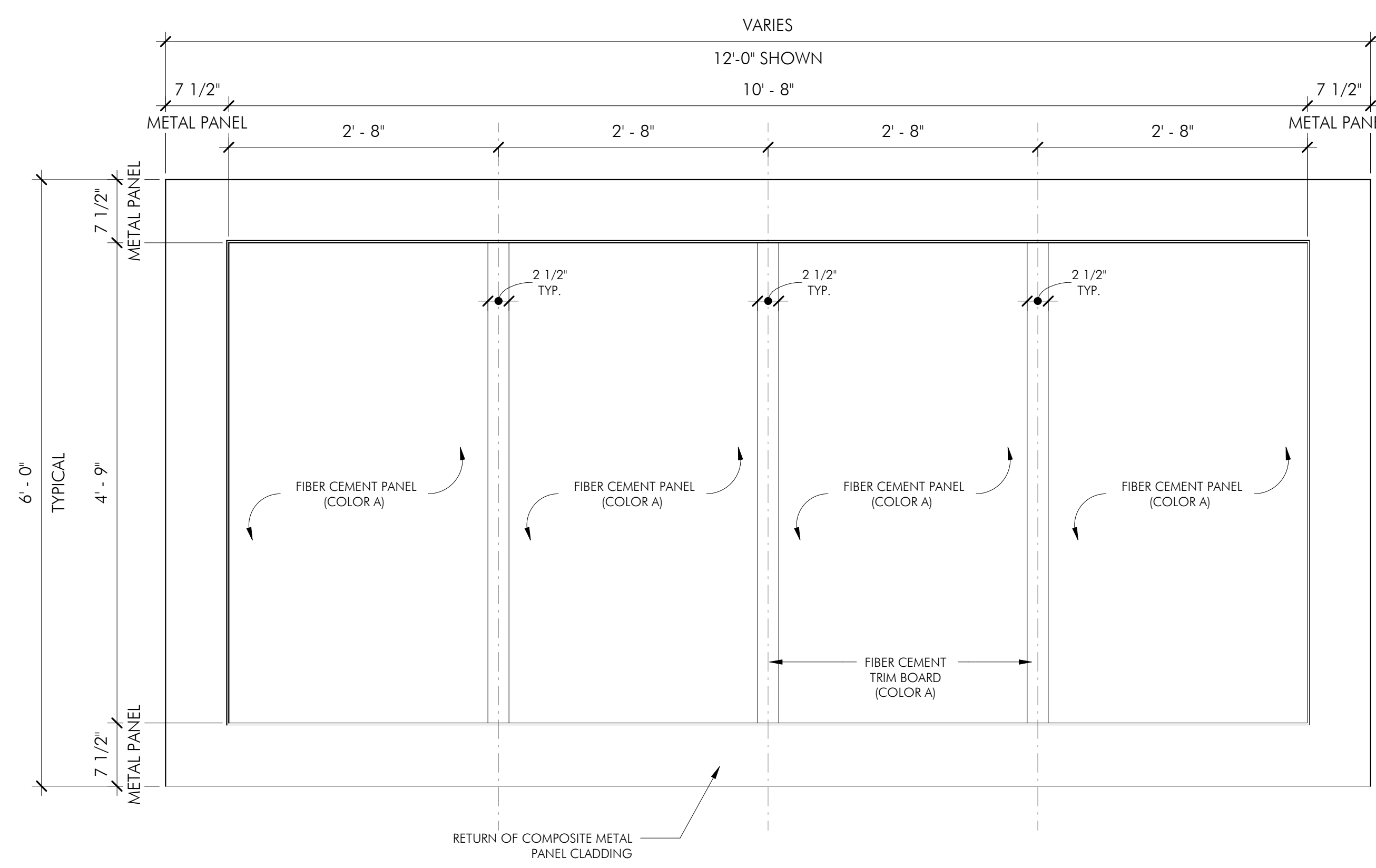
**3 BRICK CORBEL CORNICE**  
1 1/2" = 1'-0"



**4 CORNICE PANEL SIDING**  
1 1/2" = 1'-0"



**7 BALCONY EDGE DETAIL**  
3" = 1'-0"



**5 CEILING PLAN OF UNDERSIDE OF BALCONY**  
1" = 1'-0"

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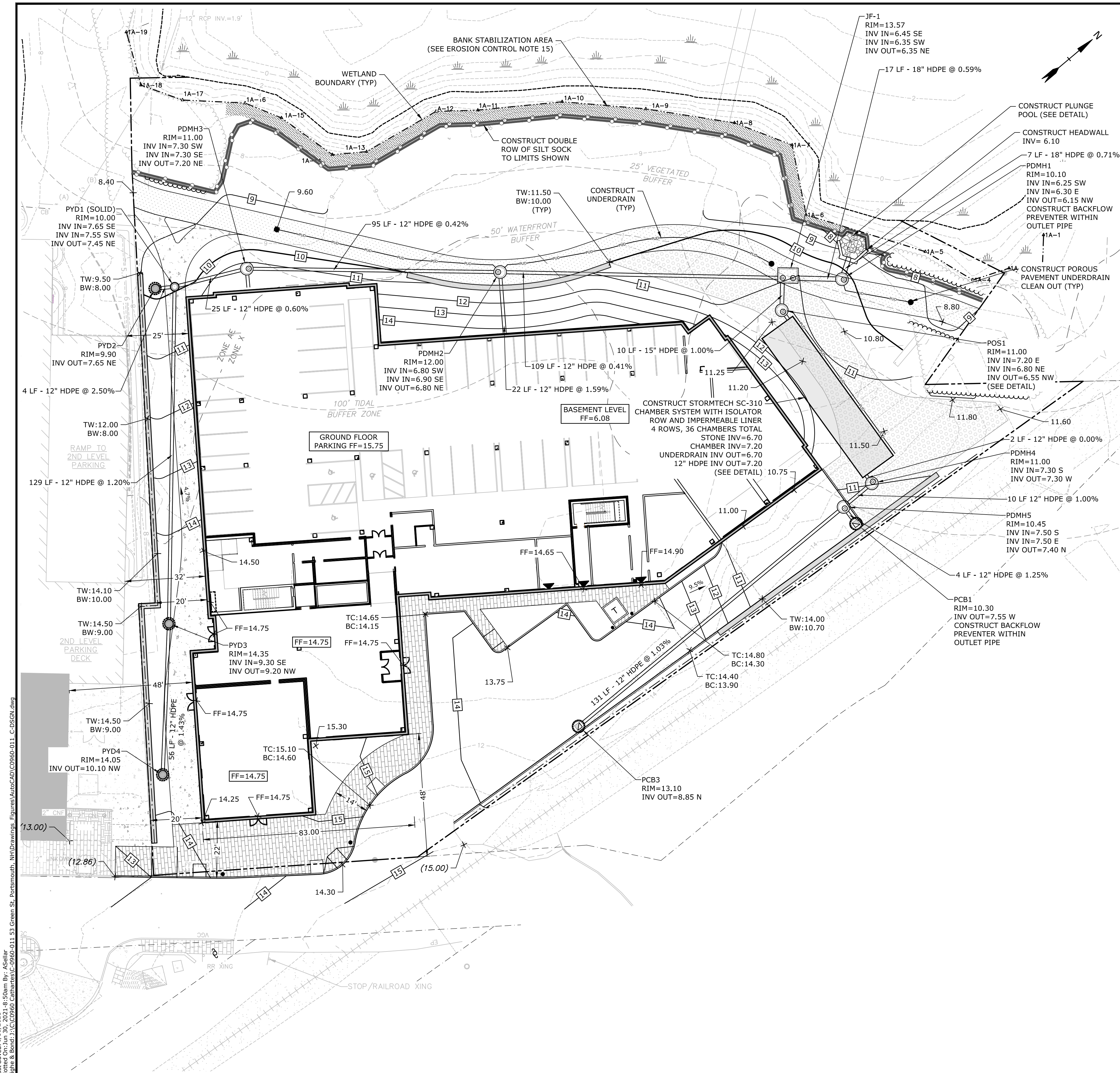
MARK	ISSUE	DATE

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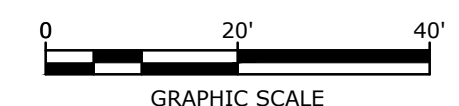
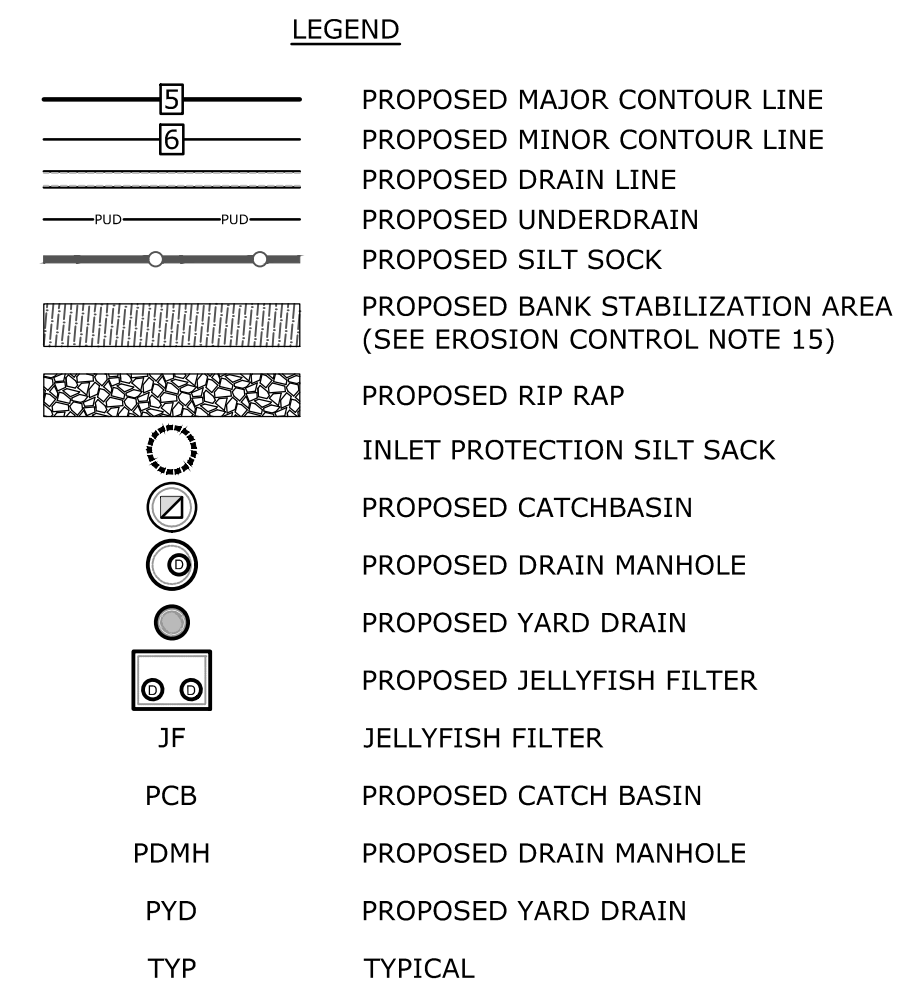
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- GRADING AND DRAINAGE NOTES:**
1. COMPACTION REQUIREMENTS:  
BELOW PAVED OR CONCRETE AREAS 95%  
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL 95%  
BELOW LOAM AND SEED AREAS 90%  
\* ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
  2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12 OR EQUAL), UNLESS OTHERWISE SPECIFIED.
  3. SEE UTILITY PLAN FOR ALL SITE UTILITY INFORMATION.
  4. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
  5. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
  6. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
  7. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
  8. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED FERTILIZER AND MULCH.
  9. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NHDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
  10. ALL PROPOSED CATCH BASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4' SUMPS.
  11. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS AND CONSTRUCTION SPECIFICATIONS, LATEST REVISIONS.
  12. CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILE) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
  13. SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.
  14. ALL DRAIN LINES WITH LESS THAN FOUR (4) FEET OF COVER SHALL BE INSULATED.
  15. THE INSIDE OF THE DRAINAGE STRUCTURE SHALL BE TREATED WITH A SILOXANE COATING. SILOXANE COATING SHALL BE SIKAGARD-705L OR APPROVED EQUAL.

- EROSION CONTROL NOTES:**
1. INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
  2. SEE GENERAL EROSION CONTROL NOTES ON "EROSION CONTROL NOTES & DETAILS SHEET".
  3. PROVIDE INLET PROTECTION AROUND ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS. MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED.
  4. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
  5. INSPECT INLET PROTECTION AND PERIMETER EROSION CONTROL MEASURES DAILY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
  6. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER AND MULCH.
  7. CONSTRUCT EROSION CONTROL BLANKET ON ALL SLOPES STEEPER THAN 3:1.
  8. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
  9. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARID CONDITIONS.
  10. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
  11. ALL CATCH BASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN FULLY PAVED.
  12. TEMPORARY SOIL STOCKPILE SHALL BE SURROUNDED BY SILT FENCE AND SHALL BE STABILIZED BY TEMPORARY EROSION CONTROL SEEDING. STOCKPILE AREAS TO BE LOCATED AS FAR AS POSSIBLE FROM THE DELINEATED EDGE OF WETLANDS.
  13. SAFETY FENCING SHALL BE PROVIDED AROUND STOCKPILES OVER 10 FT.
  14. CONCRETE TRUCKS WILL BE REQUIRED TO WASH OUT (IF NECESSARY) SHOOTS ONLY WITHIN AREAS WHERE CONCRETE HAS BEEN PLACED. NO OTHER WASH OUT WILL BE ALLOWED.
  15. THE BANK STABILIZATION AREA SHALL BE REVIEWED BY THE CONTRACTOR UPON THE START OF CONSTRUCTION ACTIVITIES AND INSTALL EROSION CONTROL BLANKET ON ANY AREA EXHIBITING ACTIVE EROSION.



**Proposed Mixed Use Development**

CPI Management, LLC

53 Green Street  
Portsmouth, NH

MARK	DATE	DESCRIPTION
E	7/7/2021	PB Submission
D	5/19/2021	TAC Resubmission
C	4/21/2021	TAC Resubmission
B	3/22/2021	TAC & CC Submission
A	1/27/2021	CC Work Session

PROJECT NO:	C0960-011
DATE:	January 27, 2021
FILE:	C0960-011_C-DSGN.DWG
DRAWN BY:	AFS
CHECKED:	NAH/PMC
APPROVED:	BLM

**GRADING, DRAINAGE, AND EROSION CONTROL PLAN**

SCALE: AS SHOWN

Last Saved: 6/30/2021  
 Plotted On: Jun 30, 2021 10:50am By: Asellar  
 Tighe & Bond File: C:\Projects\C0960-011\_53 Green St. Portsmouth, NH\Drawings\_Figures\AutoCAD\C0960-011\_C-DSGN.dwg



# Landscape Notes

- Design is based on drawings by Tighe & Bond dated 6/22/2021 and may require adjustment due to actual field conditions.
- The contractor shall follow best management practices during construction and shall take all means necessary to stabilize and protect the site from erosion.
- Erosion Control shall be in place prior to construction.
- Erosion Control to consist of Hay Bales and Erosion Control Fabric shall be staked in place between the work and Water bodies, Wetlands and/or drainage ways prior to any construction.
- The Contractor shall verify layout and grades and inform the Landscape Architect or Client's Representative of any discrepancies or changes in layout and/or grade relationships prior to construction.
- It is the contractor's responsibility to verify drawings provided are to the correct scale prior to any bid, estimate or installation. A graphic scale bar has been provided on each sheet for this purpose. If it is determined that the scale of the drawing is incorrect, the landscape architect will provide a set of drawings at the correct scale, at the request of the contractor.
- Trees to Remain within the construction zone shall be protected from damage for the duration of the project by snow fence or other suitable means of protection to be approved by Landscape Architect or Client's Representative. Snow fence shall be located at the drip line at a minimum and shall include any and all surface roots. Do not fill or mulch on the trunk flare. Do not disturb roots. In order to protect the integrity of the roots, branches, trunk and bark of the tree(s) no vehicles or construction equipment shall drive or park in or on the area within the drip line(s) of the tree(s). Do not store any refuse or construction materials or portalets within the tree protection area.
- Location, support, protection, and restoration of all existing utilities and appurtenances shall be the responsibility of the Contractor.
- The Contractor shall verify exact location and elevation of all utilities with the respective utility owners prior to construction. Call DIGSAFE at 1-888-344-7233.
- The Contractor shall procure any required permits prior to construction.
- Prior to any landscape construction activities Contractor shall test all existing loam and loam from off-site intended to be used for lawns and plant beds using a thorough sampling throughout the supply. Soil testing shall indicate levels of pH, nitrates, macro and micro nutrients, texture, soluble salts, and organic matter. Contractor shall provide Landscape Architect with test results and recommendations from the testing facility along with soil amendment plans as necessary for the proposed plantings to thrive. All loam to be used on site shall be amended as approved by the Landscape Architect prior to placement.
- Contractor shall notify landscape architect or owner's representative immediately if at any point during demolition or construction a site condition is discovered which may negatively impact the completed project. This includes, but is not limited to, unforeseen drainage problems, unknown subsurface conditions, and discrepancies between the plan and the site. If a contractor is aware of a potential issue, and does not bring it to the attention of the landscape architect or owner's representative immediately, they may be responsible for the labor and materials associated with correcting the problem.
- The Contractor shall furnish and plant all plants shown on the drawings and listed thereon. All plants shall be nursery-grown under climatic conditions similar to those in the locality of the project. Plants shall conform to the botanical names and standards of size, culture, and quality for the highest grades and standards as adopted by the American Association of Nurserymen, Inc. in the American Standard of Nursery Stock, American Standards Institute, Inc. 230 Southern Building, Washington, D.C. 20005.
- A complete list of plants, including a schedule of sizes, quantities, and other requirements is shown on the drawings. In the event that quantity discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.
- All plants shall be legibly tagged with proper botanical name.
- The Contractor shall guarantee all plants for not less than one year from time of acceptance.
- Owner or Owner's Representative will inspect plants upon delivery for conformity to Specification requirements. Such approval shall not affect the right of inspection and rejection during or after the progress of the work. The Owner reserves the right to inspect and/or select all trees at the place of growth and reserves the right to approve a representative sample of each type of shrub, herbaceous perennial, annual, and ground cover at the place of growth. Such sample will serve as a minimum standard for all plants of the same species used in this work.
- No substitutions of plants may be made without prior approval of the Owner or the Owner's Representative for any reason.
- All landscaping shall be provided with the following:
  - Outside hose attachments spaced a maximum of 150 feet apart, and
  - An underground irrigation system, or
  - A temporary irrigation system designed for a two-year period of plant establishment.
- If an automatic irrigation system is installed, all irrigation valve boxes shall be located within planting bed areas.
- The contractor is responsible for all plant material from the time their work commences until final acceptance. This includes but is not limited to maintaining all plants in good condition, the security of the plant material once delivered to the site, and watering of plants. Plants shall be appropriately watered prior to, during and after planting. It is the contractor's responsibility to provide clean water suitable for plant health from off site, should it not be available on site.
- All disturbed areas will be dressed with 6" of topsoil and planted as noted on the plans or seeded except plant beds. Plant beds shall be prepared to a depth of 12" with 75% loam and 25% compost.
- Trees, ground cover, and shrub beds shall be mulched to a depth of 2" with one-year-old, well-composted, shredded native bark not longer than 4" in length and 1/2" in width, free of woodchips and sawdust. Mulch for ferns and herbaceous perennials shall be no longer than 1" in length. Trees in lawn areas shall be mulched in a 5' diameter min. saucer. Color of mulch shall be black.
- Drip strip shall extend to 6" beyond roof overhang and shall be edged with 3/16" thick metal edger.
- In no case shall mulch touch the stem of a plant nor shall mulch ever be more than 3" thick total (including previously applied mulch) over the root ball of any plant.
- Secondary lateral branches of deciduous trees overhanging vehicular and pedestrian travel ways shall be pruned up to a height of 6' to allow clear and safe passage of vehicles and pedestrians under tree canopy. Within the sight distance triangles at vehicle intersections the canopies shall be raised to 8' min.
- Snow shall be stored a minimum of 5' from shrubs and trunks of trees.
- Landscape Architect is not responsible for the means and methods of the contractor.

### PART 1 - GENERAL

1.1 THE BASE OF THE CITY OF PORTSMOUTH TREE PLANTING REQUIREMENTS IS THE ANSI A300 PART 6 STANDARD PRACTICES FOR PLANTING AND TRANSPLANTING. ANSI A300 PART 6 LAYS OUT TERMS AND BASIC STANDARDS AS SET FORTH BY INDUSTRY BUT IT IS NOT THE "SINCE ALL" FOR THE CITY OF PORTSMOUTH. THE FOLLOWING ARE THE CITY OF PORTSMOUTH, NH TREE PLANTING REQUIREMENTS THAT ARE IN ADDITION TO OR THAT GO BEYOND THE ANSI A300 PART 6.

### PART 2 - EXECUTION

2.1 ALL PLANTING HOLES SHALL BE DUG BY HAND - NO MACHINES. THE ONLY EXCEPTIONS ARE NEW CONSTRUCTION WHERE NEW PLANTING PITS, PLANTING BEDS WITH GRANITE CURBS, AND PLANTING SITES WITH SILVA CELLS ARE BEING CREATED. IF A MACHINE IS USED TO DIG IN ANY OF THESE SITUATIONS AND PLANTING DEPTH NEEDS TO BE RAISED THE MATERIAL IN THE BOTTOM OF THE PLANTING HOLE MUST BE FIRMED WITH MACHINE TO PREVENT SINKING OF THE ROOT BALL.

2.2 ALL WIRE AND BURIAL SHALL BE REMOVED FROM THE ROOT BALL AND PLANTING HOLE.

2.3 THE ROOT BALL OF THE TREE SHALL BE WORKED SO THAT THE ROOT COLLAR OF THE TREE IS VISIBLE AND NO GRIDLING ROOTS ARE PRESENT.

2.4 THE ROOT COLLAR OF THE TREE SHALL BE 2"-3" ABOVE GRADE OF PLANTING HOLE FOR FINISHING DEPTH.

2.5 ALL PLANTINGS SHALL BE BACKFILLED WITH SOIL FROM THE SITE AND AMENDED NO MORE THAN 20% WITH ORGANIC COMPOST. THE ONLY EXCEPTIONS ARE NEW CONSTRUCTION WHERE ENGINEERED SOIL IS BEING USED IN CONJUNCTION WITH SILVA CELLS AND WHERE NEW PLANTING BEDS ARE BEING CREATED.

2.6 ALL PLANTINGS SHALL BE BACKFILLED IN THREE LIFTS AND ALL LIFTS SHALL BE WATERED SO THE PLANTING WILL BE SET AND FREE OF AIR POCKETS - NO EXCEPTIONS.

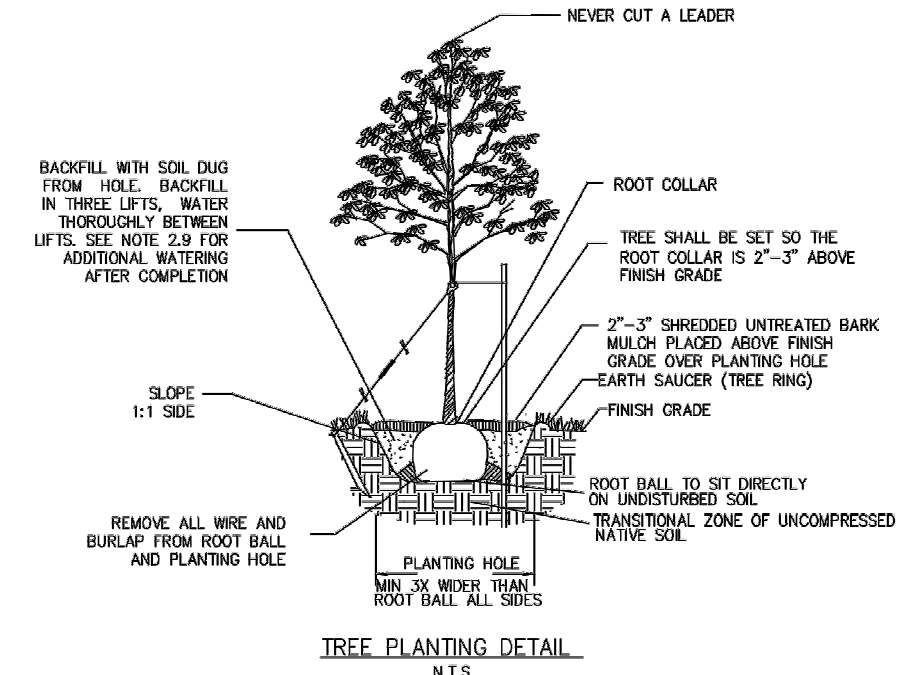
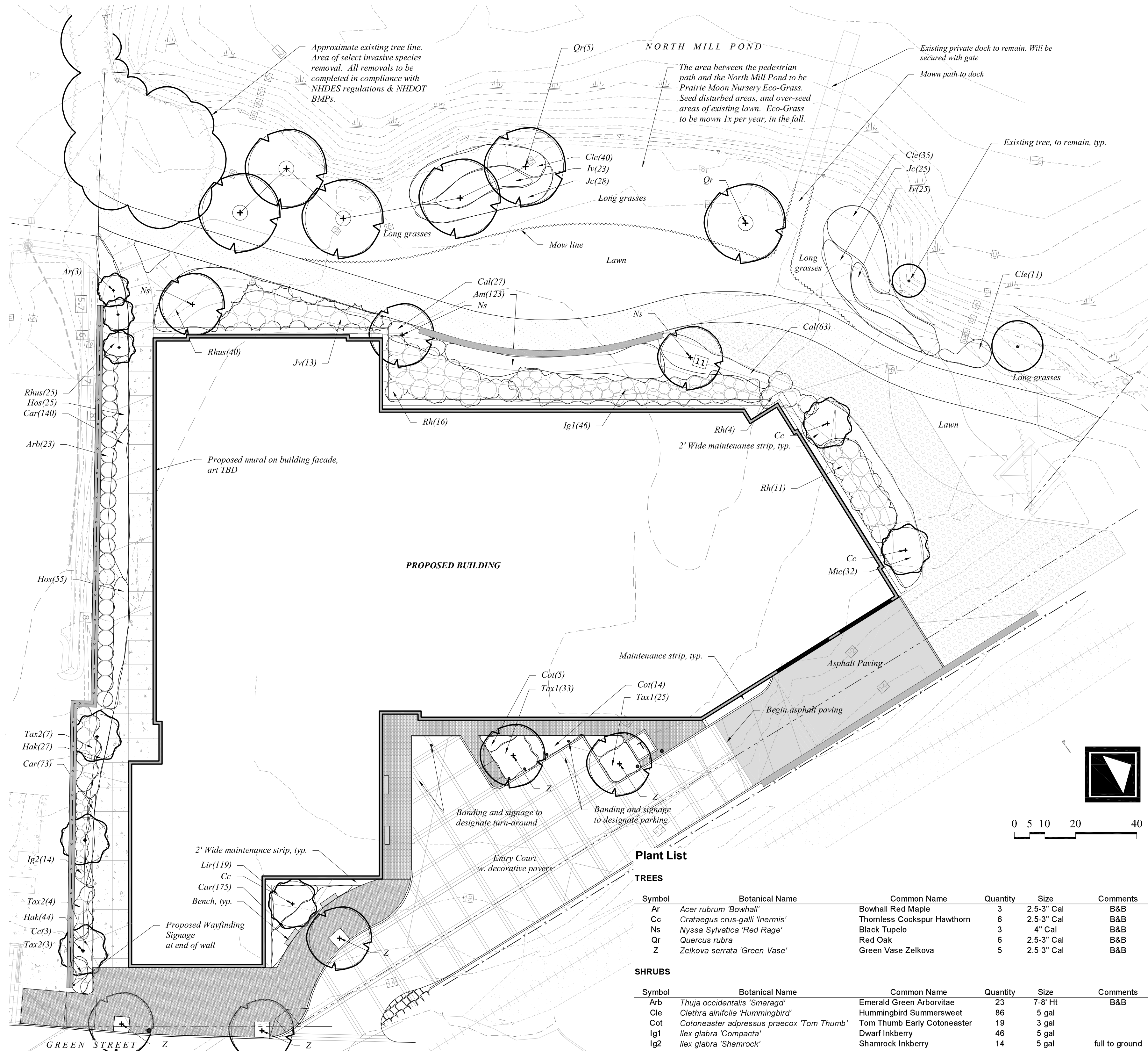
2.7 AN EARTH BEEM SHALL BE PLACED AROUND THE PERIMETER OF THE PLANTING HOLE EXCEPT WHERE CURBED PLANTING BEDS OR PITS ARE BEING USED.

2.8 2"-3" OF MULCH SHALL BE PLACED OVER THE PLANTING AREA.

2.9 AT THE TIME OF PLANTING IS COMPLETE, THE PLANTING SHALL RECEIVE ADDITIONAL WATER TO ENSURE COMPLETE HYDRATION OF THE ROOTS, BACKFILL MATERIAL AND MULCH LAYER.

2.10 STAKES AND GUYS SHALL BE USED WHERE APPROPRIATE AND/OR NECESSARY. GUY MATERIAL SHALL BE NON-DAMAGING TO THE TREE.

2.11 ALL PLANTING STOCK SHALL BE SPECIMEN QUALITY, FREE OF DEFECTS, AND DISEASE OR INJURY. THE CITY OF PORTSMOUTH, NH RESERVES THE RIGHT TO REFUSE/PREJECT ANY PLANT MATERIAL OR PLANTING ACTION THAT FAILS TO MEET THE STANDARDS SET FORTH IN THE ANSI A300 PART 6 STANDARD PRACTICES FOR PLANTING AND TRANSPORTATION AND/OR THE CITY OF PORTSMOUTH, NH PLANTING REQUIREMENTS.



### Plant List

Symbol	Botanical Name	Common Name	Quantity	Size	Comments
Ar	<i>Acer rubrum</i> 'Bowhall'	Bowhall Red Maple	3	2.5-3" Cal	B&B
Cc	<i>Crataegus crus-galli</i> 'Inermis'	Thornless Cockspur Hawthorn	6	2.5-3" Cal	B&B
Ns	<i>Nyssa sylvatica</i> 'Red Rage'	Black Tupelo	3	4" Cal	B&B
Qr	<i>Quercus rubra</i>	Red Oak	6	2.5-3" Cal	B&B
Z	<i>Zelkova serrata</i> 'Green Vase'	Green Vase Zelkova	5	2.5-3" Cal	B&B

### SHRUBS

Symbol	Botanical Name	Common Name	Quantity	Size	Comments
Arb	<i>Thuja occidentalis</i> 'Smaragd'	Emerald Green Arborvitae	23	7-8" Ht	B&B
Cle	<i>Clethra alnifolia</i> 'Hummingbird'	Hummingbird Summersweet	86	5 gal	
Cot	<i>Cotoneaster adpressus praecox</i> 'Tom Thumb'	Tom Thumb Early Cotoneaster	19	3 gal	
Ig1	<i>Ilex glabra</i> 'Compacta'	Dwarf Inkberry	46	5 gal	
Ig2	<i>Ilex glabra</i> 'Shamrock'	Shamrock Inkberry	14	5 gal	fill to ground
Iv	<i>Ilex verticillata</i> 'Red Sprite'	Red Sprite Winterberry	48	5 gal	
Jc	<i>Juniperus communis</i> 'Blueberry Delight'	Blueberry Delight Juniper	53	3 gal	
Jv	<i>Juniperus virginiana</i> 'Emerald Sentinel'	Emerald Sentinel Red Cedar	13	7-8" Ht	B&B
Mic	<i>Microbiota decussata</i>	Russian Cypress	32	3 gal	
Rh	<i>Rhododendron maximum</i>	Rosebay Rhododendron	31	3-4' Ht	B&B
Rhus	<i>Rhus aromatica</i> 'Grow-Low'	Grow Low Sumac	65	3 gal	
Tax1	<i>Taxus media</i> 'Ever-Low'	Ever-Low Yew	58	3 gal	
Tax2	<i>Taxus media</i> 'Greenwave'	Greenwave Yew	14	5 gal	

### PERENNIALS, GROUNDCOVERS, VINES and ANNUALS

Symbol	Botanical Name	Common Name	Quantity	Size	Comments
Am	<i>Amsonia hubrichtii</i>	Blue Star Flower	123	1 gal	
Car	<i>Carex appalachica</i>	Appalachian Sedge	368	1 gal	
Cal	<i>Calamagrostis acutifolia</i> 'Karl Foerster'	Feather Reed Grass	90	1 gal	
Hak	<i>Hakonechloa macra</i>	Japanese Frost Grass	71	1 gal	
Hos	<i>Hosta 'Guacamole'</i>	Guacamole Hosta	80	1 gal	
Lir	<i>Liriope spicata</i>	Lily Turf	119	1 gal	
Lawn	Pennington Smartseed Tall Fescue Blend				

## City of Portsmouth Tree Planting Detail

**woodburn & company**  
LANDSCAPE ARCHITECTURE  
103 Kent Place, New Hampshire  
Phone: 603.659.5949

**Proposed Mixed Use Development**  
**LANDSCAPE PLAN**  
53 Green Street Portsmouth, New Hampshire

Drawn By: VM  
Checked By: RW  
Scale: 1" = 20' - 0"  
Date: March 22, 2021  
Revisions: April 21, 2021  
May 19, 2021  
June 29, 2021

**L-1**  
Sheet 1 of 1