



53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

SITE CONTEXT VIEW - OPTION 1
HISTORIC DISTRICT COMMISSION WORK SESSION 3: APRIL 7, 2021

 **CATHARTES**
EMBARC



1.0



53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

MARKET STREET VIEW - OPTION 1
HISTORIC DISTRICT COMMISSION WORK SESSION 3: APRIL 7, 2021

 **CATHARTES**
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1.1



LIGHTER TOP FLOOR DESIGN MATERIALS & CLEAN SKYLINE ELEMENTS. ACTIVATED ROOF TOP.



BRICK FACADE PEELS AWAY TO REVEAL LIGHT METAL SKIN. STRONG CAP ELEMENT AND VERTICAL TEXTURED ELEMENTS ADD DIMENSION.



STRONG CORNERS SUPPORT PROJECTING BALCONIES.



PROJECTING BALCONIES ABOVE. SOLID TEXTURED BASE ELEMENTS WITH HORIZONTAL AND VERTICAL BANDING.

DESIGN INSPIRATION:

ECHELON SEAPORT

THE MANDARIN ORIENTAL RESIDENCES





53 GREEN STREET
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SITE CONTEXT VIEW - OPTION 2
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 **CATHARTES**
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1.3



53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

MARKET STREET VIEW - OPTION 2
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 **CATHARTES**
EMBARC



1.4



STRONG VERTICAL ELEMENTS REACH THROUGH THE TOP FLOOR.
 TOP FLOOR SETBACK FORMS WRAP AROUND BALCONIES WITH LIGHT HORIZONTAL RAIL DETAIL.
 BOTH VERTICAL AND HORIZONTAL ELEMENTS HAVE A STRONG OVERHANG AND CAP.
 ACTIVATED ROOF TOP

DESIGN INSPIRATION:

THE WATER CLUB

THE FLYNN



STRONG VERTICAL ELEMENTS EXTEND DOWN THROUGH THE MASONRY BASE.
 ARTICULATED OVERHANG AND CAP PROFILE PROVIDE TEXTURE AGAINST THE SKYLINE.
 VARIED HORIZONTAL BANDING WEAVES THROUGH ADDING INTEREST.



RECESSED CORNER BALCONIES ARE DEFINED BY HORIZONTAL BANDING AND LIGHT HORIZONTAL RAILS.



PUNCHED MASONRY OPENINGS FOR BALCONIES PROVIDE DEFINITION FOR THE STRONG VERTICAL FOCAL POINT.
 THE DECORATIVE ARCHED BACKDROP CAN BE SEEN BEHIND LANDSCAPED EARTH BERM AND LOW SEATING WALL.



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DESIGN ELEMENTS AND INSPIRATION - OPTION 2

HISTORIC DISTRICT COMMISSION WORK SESSION 3: APRIL 7, 2021



1.5



53 GREEN STREET
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SITE CONTEXT VIEW - OPTION 3
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 **CATHARTES**
EMBARC



1.6



53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

MARKET STREET VIEW - OPTION 3
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 **CATHARTES**
EMBARC



1.7

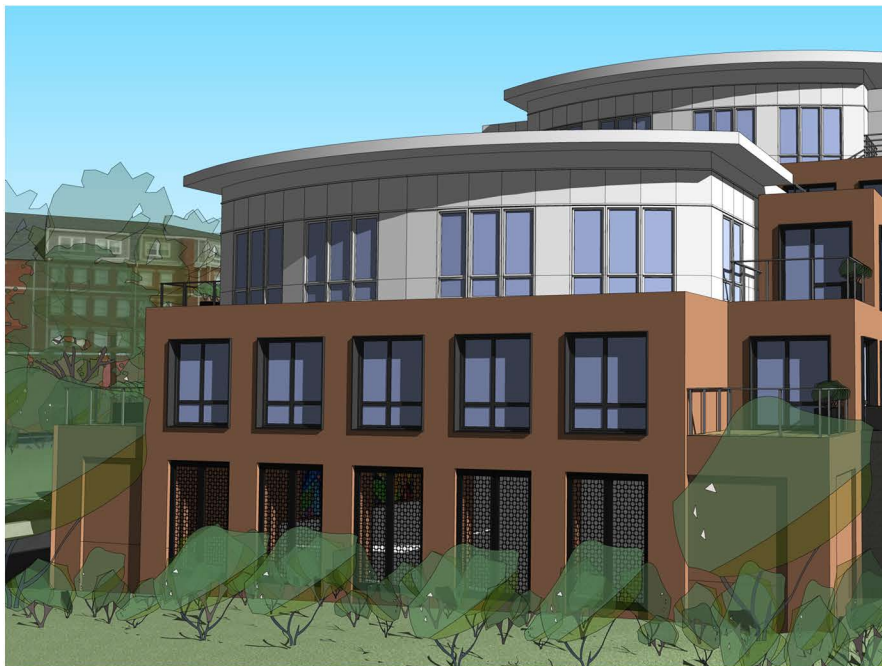


THIS CURVED NAUTICAL FOCAL POINT IS FLANKED WITH A RIBBON OF BALCONIES SET BACK FROM THE MASONRY FLOORS BELOW AND DEFINED BY A LIGHT HORIZONTAL RAIL DETAIL. THE RADIAL OVERHANG AND CAP HIGHLIGHT THE CURVED FORM AND OVERLOOK THE ACTIVATED ROOF TOP.

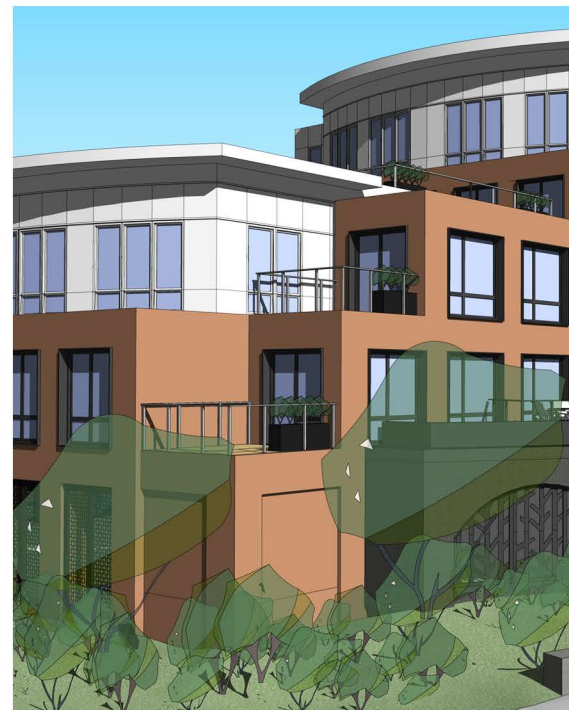
DESIGN INSPIRATION:

ROWES WHARF

NINE ON THE HUDSON



THE CURVED NAUTICAL THEME CONTINUES TO STEP TOWARD NORTH MILL POND AND IS SET BACK FROM THE MASONRY. A STRONG CAP PROFILE DEFINES THE CURVE AGAINST THE SKYLINE. PUNCHED OPENINGS WITH TALLER GRILLWORK PANELS AT THE BASE DEFINE THE MASONRY SUPPORT BELOW. SOLID MASONRY PANELED CORNERS SUPPORT THE BALCONIES ABOVE.



CORNER BALCONIES STEP BACK TO REVEAL A LIGHTER CURVED FACADE.



RECESSED BALCONY RIBBONS EXTEND DOWN TO REST ON A SOLID ARCHED BASE ELEMENT THAT CARRIES THE CURVILINEAR THEME TO THE GROUND. DECORATIVE GRILLWORK PROVIDES A BACKDROP FOR THE LANDSCAPED EARTH BERM AND LOW SEATING WALL.





VIEW FROM MARKET STREET

SITE DATA

ZONING DISTRICT: CHARACTER DISTRICT 5 (CD5)
 DOWNTOWN OVERLAY DISTRICT
 NORTH END INCENTIVE OVERLAY DISTRICT
 HISTORIC DISTRICT
 FLOOD PLAIN DISTRICT

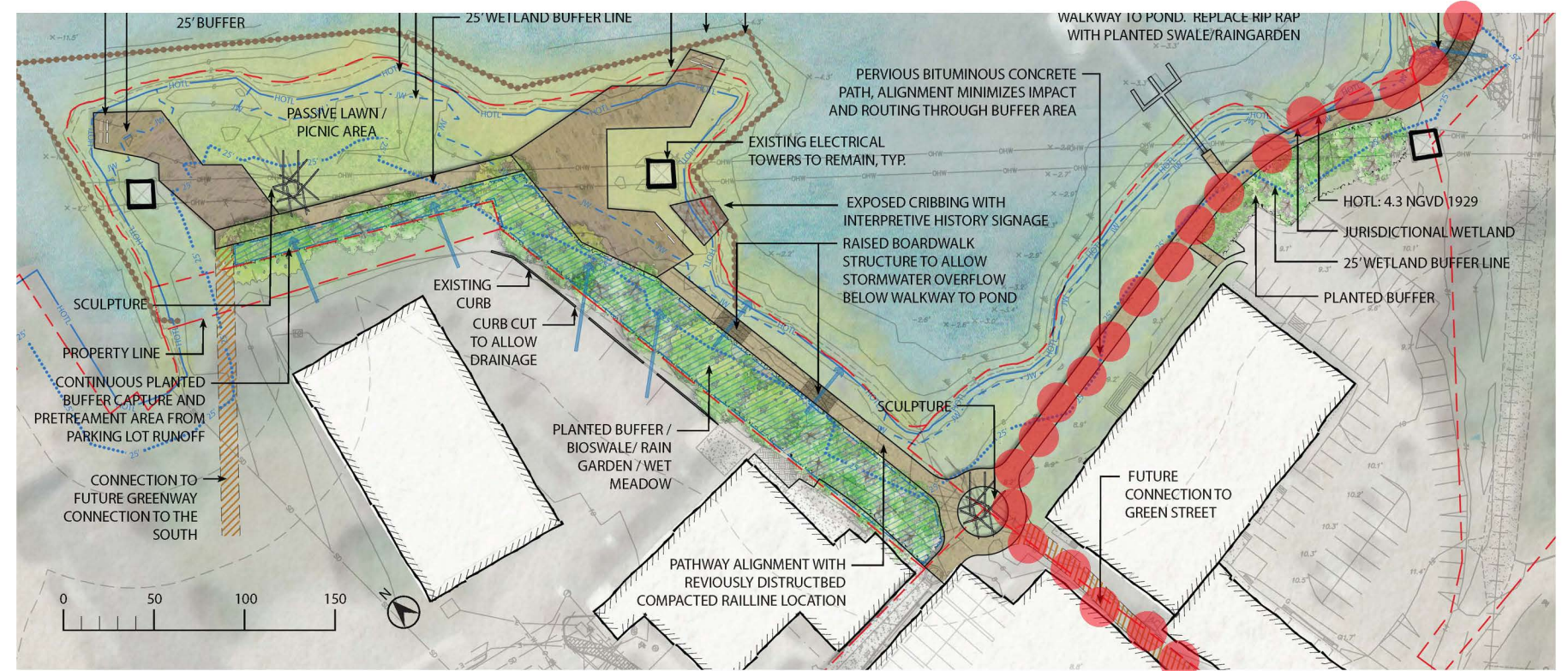
PROPOSED USE: MULTI-FAMILY RESIDENTIAL/COMMERCIAL
 PROPOSED LOT SIZE: +- 1.77 ACRES (+- 77,311 SF)
 19' WIDE SIDEWALK (1)

BUILDING AND LOT OCCUPATION:	REQUIRED	PROPOSED
MAXIMUM BUILDING COVERAGE:	95%	36%
MAXIMUM BUILDING FOOTPRINT:(2)	30,000 SF	27,738 SF
MINIMUM OPEN SPACE:	5%	35%
MAXIMUM GROUND FLOOR GFA PER USE:	15,000 SF	5,500 SF

BUILDING FORM (PRINCIPAL BUILDING):	REQUIRED	PROPOSED
BUILDING HEIGHT:(3)	5 STORIES	5 STORIES
MINIMUM GROUND STORY HEIGHT	60 FT	>60 FT
MINIMUM SECOND STORY HEIGHT:	12 FT	>12 FT
	10 FT	>10 FT

COMMUNITY SPACE:	REQUIRED	PROPOSED
	20%	20%
	15,462 SF	15,494 SF

- (1)- INCREASE ABOVE THE MAXIMUM ALLOWED PER 10.5A42.12
- (2)- INCREASE ABOVE 20,000 SF ALLOWED PER 10.5A46.10
- (3)- ADDITIONAL 1 STORY UP TO 10FT ALLOWED FOR PROVIDING AT LEAST 20% OF THE SITE TO BE ASSIGNED AS COMMUNITY SPACE



PROPOSED GREENWAY CONNECTON ON SITE

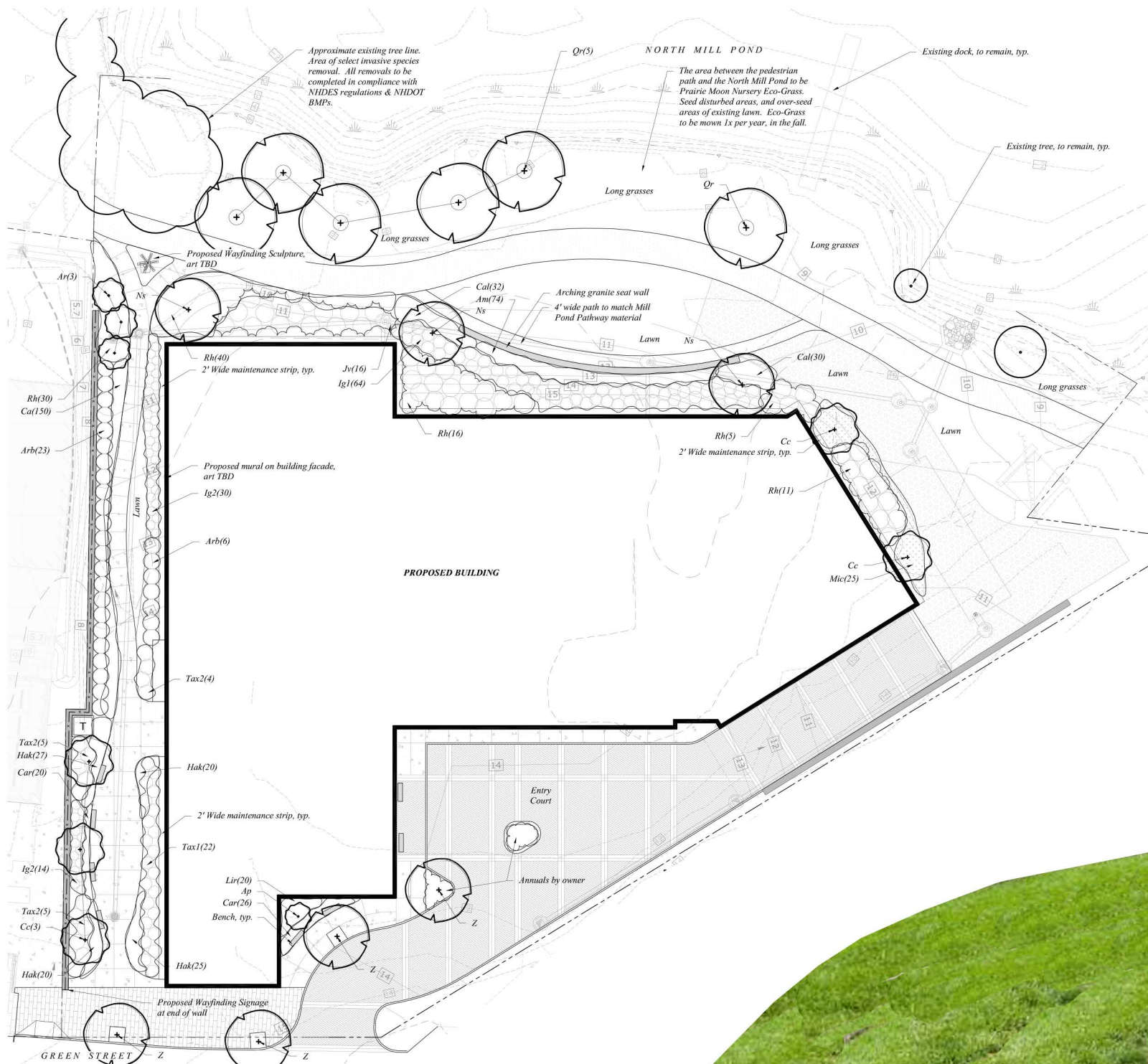
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NORTH MILL POND GREENWAY

HISTORIC DISTRICT COMMISSION WORK SESSION 3: APRIL 7, 2021



2.0



Plant List

Symbol	Botanical Name	Common Name	Quantity	Size	Comments
TREES					
Ap	<i>Acer palmatum</i>	Japanese Maple	1	4-5' Ht	B&B, specimen, dwarf
Ar	<i>Acer rubrum 'Bowhall'</i>	Bowhall Red Maple	3	2.5-3' Cal	B&B
Cc	<i>Crataegus crus-galli 'Inermis'</i>	Thornless Cockspur Hawthorn	5	2.5-3' Cal	B&B
Ns	<i>Nyssa sylvatica 'Red Rage'</i>	Black Tupelo	3	4' Cal	B&B
Qr	<i>Quercus rubra</i>	Red Oak	6	2.5-3' Cal	B&B
Z	<i>Zelkova serrata 'Green Vase'</i>	Green Vase Zelkova	4	2.5-3' Cal	B&B
SHRUBS					
Rh	<i>Rhododendron maximum</i>	Rosebay Rhododendron	32	3-4' Ht	B&B
Mic	<i>Microbiota decussata</i>	Russian Cypress	25	3 gal	
Tax2	<i>Taxus media 'Greenwave'</i>	Greenwave Yew	14	5 gal	
Ig1	<i>Ilex glabra 'Compacta'</i>	Dwarf Inkberry	64	5 gal	
Ig2	<i>Ilex glabra 'Shamrock'</i>	Shamrock Inkberry	44	5 gal	full to ground
Jv	<i>Juniperus virginiana 'Emerald Sentinel'</i>	Emerald Sentinel Red Cedar	16	7-8' Ht	B&B
Rh	<i>Rhus aromatica 'Grow-Low'</i>	Grow Low Sumac	70	3 gal	
Tax1	<i>Taxus media 'Ever-Low'</i>	Ever-Low Yew	22	3 gal	
Arb	<i>Thuja occidentalis 'Smaragd'</i>	Emerald Green Arborvitae	29	7-8' Ht	B&B
PERENNIALS, GROUNDCOVERS, VINES and ANNUALS					
Am	<i>Amsonia hubrichtii</i>	Blue Star Flower	74	1 gal	
Ca	<i>Carex appalachica</i>	Appalachian Sedge	196	1 gal	
Cal	<i>Calamagrostis acutifolia 'Karl Foerster'</i>	Feather Reed Grass	62	1 gal	
Hak	<i>Hakonechloa macra</i>	Japanese Frost Grass	65	1 gal	
Lir	<i>Liriope spicata</i>	Lily Turf	20	1 gal	
Lawn	<i>Penninton Smartseed Tall Fescue Blend</i>				



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SEATING WALL DETAIL
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3.1