



53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

RENDERING

HISTORIC DISTRICT COMMISSION WORK SESSION 4: MAY 5, 2021

 **CATHARTES**
EMBARC



1.0



THIS CURVED NAUTICAL FOCAL POINT IS FLANKED WITH A RIBBON OF BALCONIES SET BACK FROM THE MASONRY FLOORS BELOW AND DEFINED BY A LIGHT HORIZONTAL RAIL DETAIL. ADDITIONAL ACCENT CAP BANDING HAS BEEN ADDED TO THE INSET RIBBON. THE OVERHANG AND CAP ON THE RADIAL FORMS HAVE ADDITIONAL EDGE DETAIL AND PANELS FURTHER DEFINE THE BUILDING TEXTURE.



THE WHITE CAP RIBBON WRAPS AROUND THE FRONT TO CARRY THE LIGHTER TOP FLOOR THEME AROUND THE BUILDING.



RESIDENTIAL AND COMMERCIAL BASE FORMS ARE DEFINED BY TWO DISTINCTLY DIFFERENT DESIGN STYLES, TOPPED WITH ENTRANCE CANOPIES



THE CURVED NAUTICAL THEME CONTINUES TO STEP TOWARD NORTH MILL POND AND IS SET BACK FROM THE MASONRY. THE STRONG CAP PROFILE CONTINUES ON TOP OF THE VERTICAL BRICK PIERS THAT REACH THROUGH TWO FLOORS AND FIRMLY ANCHOR THE BUILDING TO THE GROUND. SOLID PANELED CORNERS SUPPORT THE BALCONIES ABOVE.



CORNER BALCONIES STEP BACK TO PROVIDE STRONG SUPPORT ON THE SIDES AND REVEAL A LIGHTER CURVED FACADE.



RECESSED BALCONY RIBBONS EXTEND DOWN TO REST ON A SOLID ARCHED BASE ELEMENT THAT CARRIES THE CURVILINEAR THEME TO THE GROUND. DECORATIVE GRILLWORK PROVIDES A BACKDROP FOR THE LANDSCAPED EARTH BERM AND LOW SEATING WALL.



WHITE PROJECTING BALCONIES PROVIDE VERTICAL RELIEF AND LAND ON A STRONG HORIZONTAL BAND - CAPPING OFF THE FIRST FLOOR. A SUBORDINATE BAND SEPARATES THE TOP FLOOR AND THE FORM IS FINISHED WITH AN ARTICULATED CAP.

53 GREEN STREET
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DESIGN ELEMENTS AND DETAILS

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MARKET STREET BUILDING VIEW
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2.1



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MARKET STREET BUILDING VIEW
LANDSCAPE FADED FOR CLARITY
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2.2



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MARKET STREET SITE CONTEXT VIEW
HISTORIC DISTRICT COMMISSION WORK SESSION 4: MAY 5, 2021

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2.3



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RUSSELL STREET BUILDING VIEW
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GREEN STREET BUILDING VIEW

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PARK BUILDING VIEW

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53 GREEN STREET
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PARK BUILDING VIEW
LANDSCAPE FADED FOR CLARITY
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53 GREEN STREET
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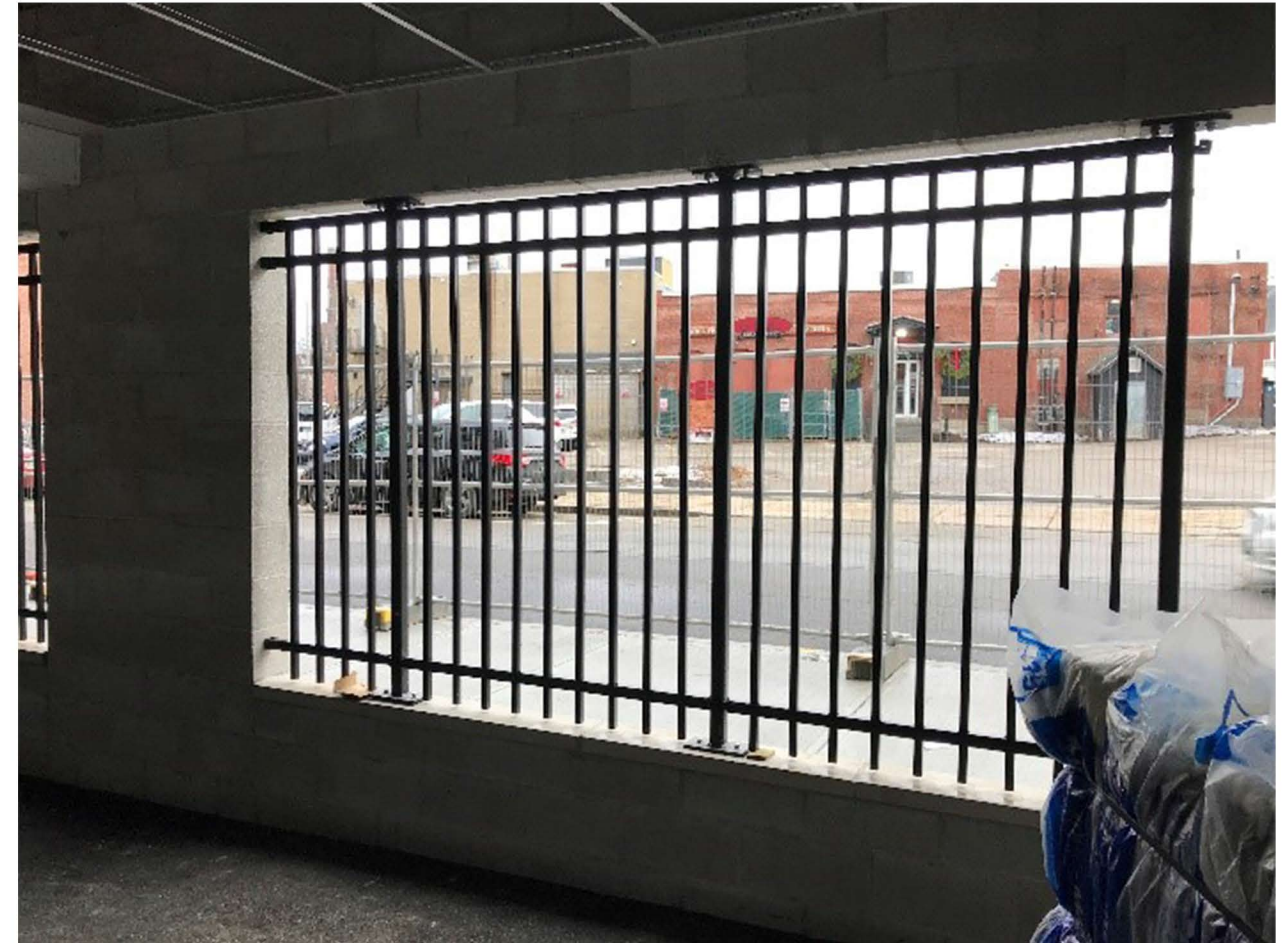
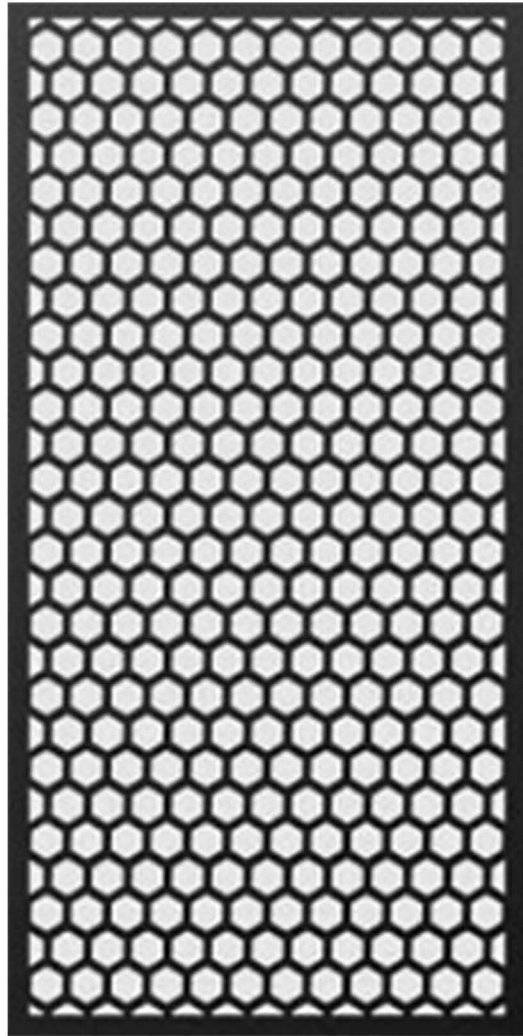
PARK SITE CONTEXT VIEW

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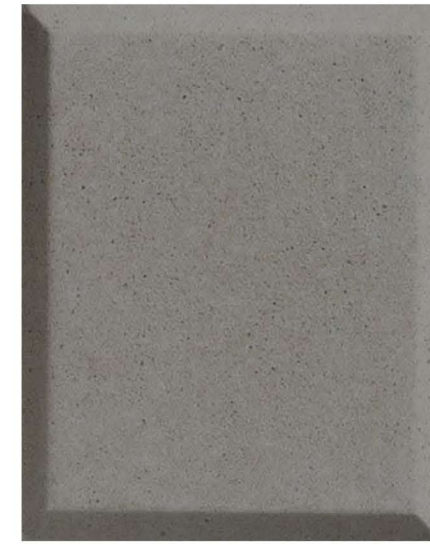
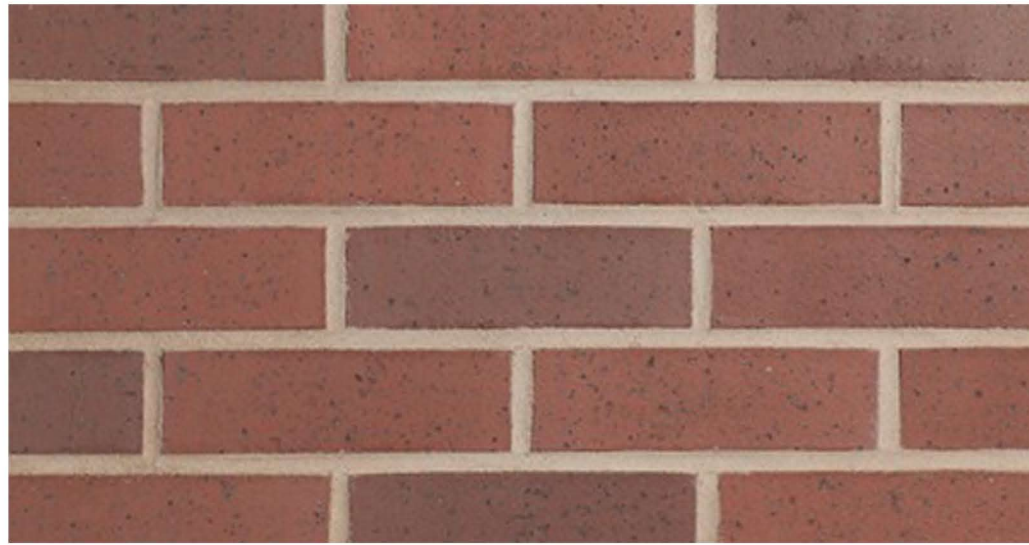


GARAGE SCREEN - OPTION A (GRILLES)

MANUFACTURER: PARASOLEIL
PATTERN/COLOR: AT ARCHED OPENINGS: NUKUBALAVU / BLACK LICORICE
AT BRICK OPENINGS: HIVE / BLACK LICORICE

GARAGE SCREEN - OPTION B (PICKETS)

MANUFACTURER: TBD
COLOR: BLACK POWDER COAT



BRICK

MANUFACTURER: GLEN-GERY
 COLOR: NAPA VALLEY SMOOTH IRONSPOT
 SPECIAL INSTRUCTIONS: RUNNING BOND

CAST STONE

MANUFACTURER: NORTHERN DESIGN ARCHITECTURAL PRECAST & STONE
 COLOR 1: NATURAL LIMESTONE / LIGHT ETCH
 COLOR 2: SLATE / LIGHT ETCH

RAILINGS

MANUFACTURER: JAKOB ROPE SYSTEMS
 COLOR: VARIES



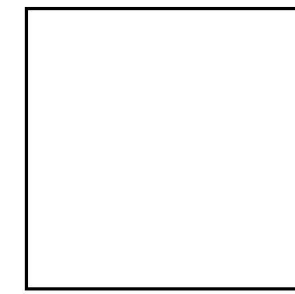
PURE WHITE



SLATE GREY



PEWTER



COTTON



FOG



NICKLE

METAL PANELS - OPTION A

MANUFACTURER: GLEN-GERY
SERIES: COMPOSITE METAL PANEL

FIBER CEMENT PANELS - OPTION B

MANUFACTURER: NICHICHA
SERIES: STOCK ILLUMINATION (SMOOTH)

FOR REFERENCE:

7.0 SITE DATA AND GREENWAY

7.1 AERIAL VIEW OF SITE AND SURROUNDINGS

7.2 SITE AND SURROUNDINGS VIEWS OF PROPERTY AT ENTRANCE

L1 LANDSCAPE PLAN



VIEW FROM MARKET STREET

SITE DATA

ZONING DISTRICT: CHARACTER DISTRICT 5 (CD5)
 DOWNTOWN OVERLAY DISTRICT
 NORTH END INCENTIVE OVERLAY DISTRICT
 HISTORIC DISTRICT
 FLOOD PLAIN DISTRICT

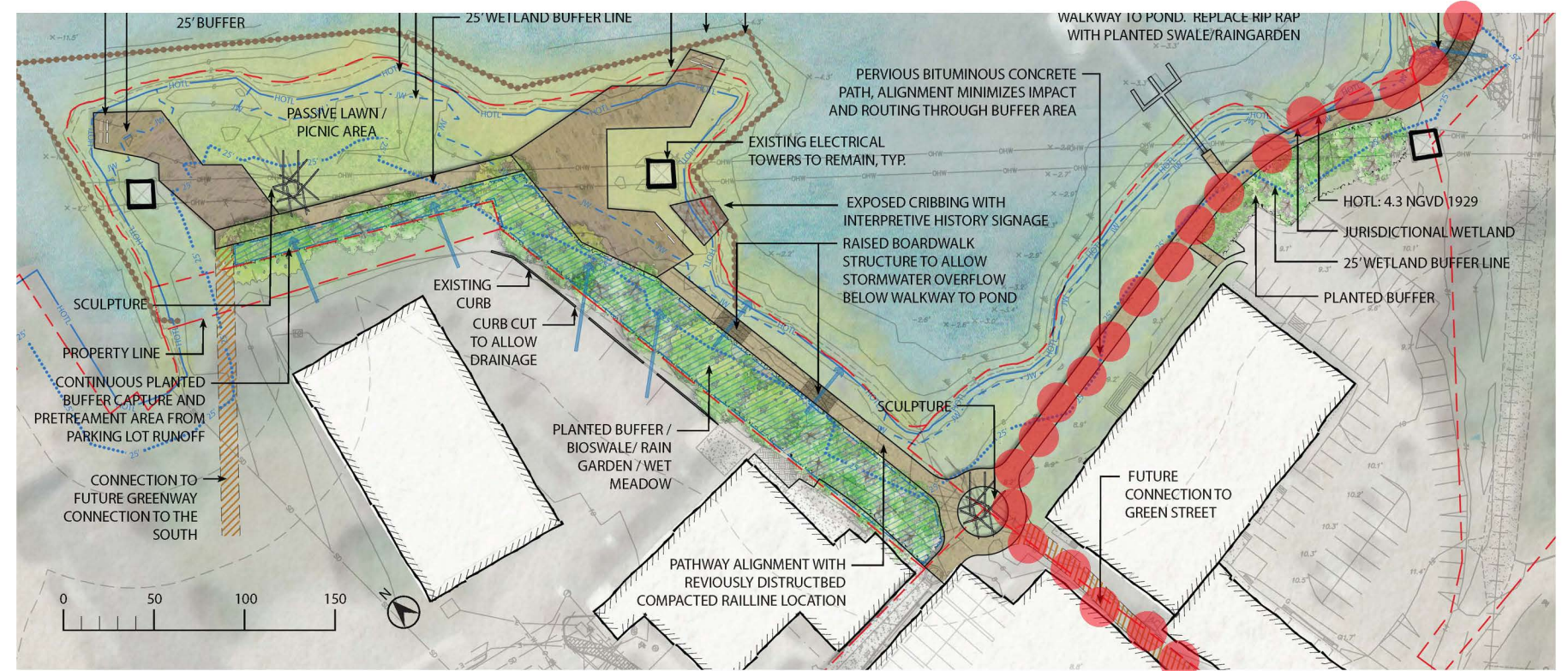
PROPOSED USE: MULTI-FAMILY RESIDENTIAL/COMMERCIAL
 PROPOSED LOT SIZE: +- 1.77 ACRES (+- 77,311 SF)
 19' WIDE SIDEWALK (1)

BUILDING AND LOT OCCUPATION:	REQUIRED	PROPOSED
MAXIMUM BUILDING COVERAGE:	95%	36%
MAXIMUM BUILDING FOOTPRINT:(2)	30,000 SF	27,738 SF
MINIMUM OPEN SPACE:	5%	35%
MAXIMUM GROUND FLOOR GFA PER USE:	15,000 SF	5,500 SF

BUILDING FORM (PRINCIPAL BUILDING):	REQUIRED	PROPOSED
BUILDING HEIGHT:(3)	5 STORIES	5 STORIES
MINIMUM GROUND STORY HEIGHT	60 FT	>60 FT
MINIMUM SECOND STORY HEIGHT:	12 FT	>12 FT
	10 FT	>10 FT

COMMUNITY SPACE:	REQUIRED	PROPOSED
	20%	20%
	15,462 SF	15,494 SF

- (1)- INCREASE ABOVE THE MAXIMUM ALLOWED PER 10.5A42.12
- (2)- INCREASE ABOVE 20,000 SF ALLOWED PER 10.5A46.10
- (3)- ADDITIONAL 1 STORY UP TO 10FT ALLOWED FOR PROVIDING AT LEAST 20% OF THE SITE TO BE ASSIGNED AS COMMUNITY SPACE



PROPOSED GREENWAY CONNECTON ON SITE

SITE DATA AND GREENWAY

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7.0



A.



B.



C.

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PORTSMOUTH, NEW HAMPSHIRE

AERIAL VIEW OF
SITE AND SURROUNDINGS
HISTORIC DISTRICT COMMISSION WORK SESSION 4: MAY 5, 2021

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 CJ ARCHITECTS

7.1



A.



B.



C.



D.

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SITE AND SURROUNDINGS
VIEWS OF PROPERTY AT ENTRANCE
HISTORIC DISTRICT COMMISSION WORK SESSION 4: MAY 5, 2021

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7.2

Landscape Notes

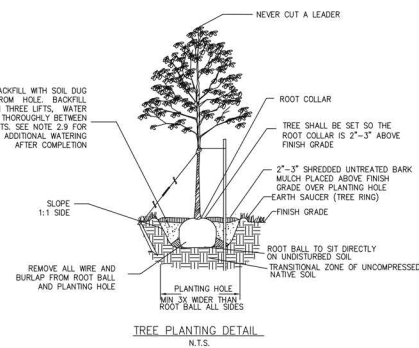
- Design is based on drawings by Tighe & Bond dated 4/19/2021 and may require adjustment due to actual field conditions.
- The contractor shall follow best management practices during construction and shall take all means necessary to stabilize and protect the site from erosion.
- Erosion Control shall be in place prior to construction.
- Erosion Control to consist of Hay Bales and Erosion Control Fabric shall be staked in place between the work and Water bodies, Wetlands and/or drainage ways prior to any construction.
- The Contractor shall verify layout and grades and inform the Landscape Architect or Client's Representative of any discrepancies or changes in layout and/or grade relationships prior to construction.
- It is the contractor's responsibility to verify drawings provided are to the correct scale prior to any bid, estimate or installation. A graphic scale bar has been provided on each sheet for this purpose. If it is determined that the scale of the drawing is incorrect, the landscape architect will provide a set of drawings at the correct scale, at the request of the contractor.
- Trees to Remain within the construction zone shall be protected from damage for the duration of the project by snow fence or other suitable means of protection to be approved by Landscape Architect or Client's Representative. Snow fence shall be located at the drip line at a minimum and shall include any and all surface roots. Do not fill or mulch on the trunk flare. Do not disturb roots. In order to protect the integrity of the roots, branches, trunk and bark of the tree(s) no vehicles or construction equipment shall drive or park in or on the area within the drip line(s) of the tree(s). Do not store any refuse or construction materials or portables within the tree protection area.
- Location, support, protection, and restoration of all existing utilities and appurtenances shall be the responsibility of the Contractor.
- The Contractor shall verify exact location and elevation of all utilities with the respective utility owners prior to construction. Call DIGSAFE at 1-888-344-7233.
- The Contractor shall procure any required permits prior to construction.
- Prior to any landscape construction activities Contractor shall test all existing loam and loam from off-site intended to be used for lawns and plant beds using a thorough sampling throughout the supply. Soil testing shall indicate levels of pH, nitrates, macro and micro nutrients, texture, soluble salts, and organic matter. Contractor shall provide Landscape Architect with test results and recommendations from the testing facility along with soil amendment plans as necessary for the proposed plantings to thrive. All loam to be used on site shall be amended as approved by the Landscape Architect prior to placement.
- Contractor shall notify landscape architect or owner's representative immediately if at any point during demolition or construction a site condition is discovered which may negatively impact the completed project. This includes, but is not limited to, unforeseen drainage problems, unknown subsurface conditions, and discrepancies between the plan and the site. If a contractor is aware of a potential issue, and does not bring it to the attention of the landscape architect or owner's representative immediately, they may be responsible for the labor and materials associated with correcting the problem.
- The Contractor shall furnish and plant all plants shown on the drawings and listed thereon. All plants shall be nursery-grown under climatic conditions similar to those in the locality of the project. Plants shall conform to the botanical names and standards of size, culture, and quality for the highest grades and standards as adopted by the American Association of Nurserymen, Inc. in the American Standard of Nursery Stock, American Standards Institute, Inc. 230 Southern Building, Washington, D.C. 20005.
- A complete list of plants, including a schedule of sizes, quantities, and other requirements is shown on the drawings. In the event that quantity discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.
- All plants shall be legibly tagged with proper botanical name.
- The Contractor shall guarantee all plants for not less than one year from time of acceptance.
- Owner or Owner's Representative will inspect plants upon delivery for conformity to Specification requirements. Such approval shall not affect the right of inspection and rejection during or after the progress of the work. The Owner reserves the right to inspect and/or select all trees at the place of growth and reserves the right to approve a representative sample of each type of shrub, herbaceous perennial, annual, and ground cover at the place of growth. Such sample will serve as a minimum standard for all plants of the same species used in this work.
- No substitutions of plants may be made without prior approval of the Owner or the Owner's Representative for any reason.
- All landscaping shall be provided with the following:
 - Outside hose attachments spaced a maximum of 150 feet apart, and
 - An underground irrigation system, or
 - A temporary irrigation system designed for a two-year period of plant establishment.
- If an automatic irrigation system is installed, all irrigation valve boxes shall be located within planting bed areas.
- The contractor is responsible for all plant material from the time their work commences until final acceptance. This includes but is not limited to maintaining all plants in good condition, the security of the plant material once delivered to the site, and watering of plants. Plants shall be appropriately watered prior to, during and after planting. It is the contractor's responsibility to provide clean water suitable for plant health from off site, should it not be available on site.
- All disturbed areas will be dressed with 6" of topsoil and planted as noted on the plans or seeded except plant beds. Plant beds shall be prepared to a depth of 12" with 75% loam and 25% compost.
- Trees, ground cover, and shrub beds shall be mulched to a depth of 2" with one-year-old, well-composted, shredded native bark not longer than 4" in length and 1/2" in width, free of woodchips and sawdust. Mulch for ferns and herbaceous perennials shall be no longer than 1" in length. Trees in lawn areas shall be mulched in a 5' diameter min. saucer. Color of mulch shall be black.
- Drip strip shall extend to 6" beyond roof overhang and shall be edged with 3/16" thick metal edger.
- In no case shall mulch touch the stem of a plant nor shall mulch ever be more than 3" thick total (including previously applied mulch) over the root ball of any plant.
- Secondary lateral branches of deciduous trees overhanging vehicular and pedestrian travel ways shall be pruned up to a height of 6' to allow clear and safe passage of vehicles and pedestrians under tree canopy. Within the sight distance triangles at vehicle intersections the canopies shall be raised to 8' min.
- Snow shall be stored a minimum of 5' from shrubs and trunks of trees.
- Landscape Architect is not responsible for the means and methods of the contractor.

PART 1 - GENERAL

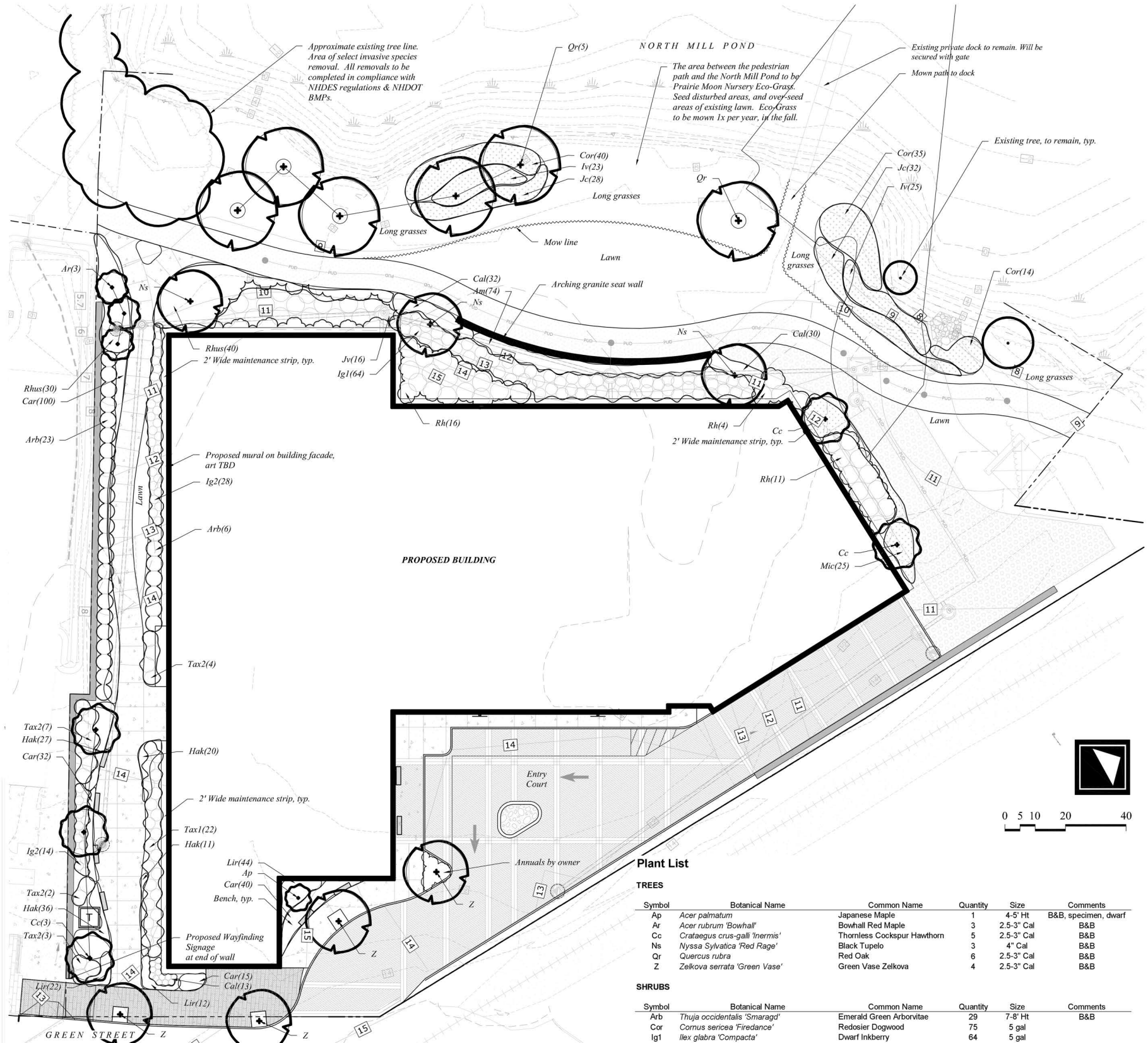
1.1 THE BASE OF THE CITY OF PORTSMOUTH TREE PLANTING REQUIREMENTS IS THE ANSI A300 PART 6 STANDARD PRACTICES FOR PLANTING AND TRANSPORTING. ANSI A300 PART 6 LAYS OUT TERMS AND BASIC STANDARDS AS SET FORTH BY INDUSTRY BUT IT IS NOT THE "END ALL" FOR THE CITY OF PORTSMOUTH. THE FOLLOWING ARE THE CITY OF PORTSMOUTH, NH TREE PLANTING REQUIREMENTS THAT ARE IN ADDITION TO OR THAT GO BEYOND THE ANSI A300 PART 6.

PART 2 - EXECUTION

- ALL PLANTING HOLES SHALL BE DUG BY HAND - NO MACHINES. THE ONLY EXCEPTIONS ARE NEW CONSTRUCTION WHERE NEW PLANTING PITS, PLANTING BEDS WITH GRANITE CURBING, AND PLANTING SITES WITH SILVA CELLS ARE BEING CREATED. IF A MACHINE IS USED TO DIG IN ANY OF THESE SITUATIONS AND PLANTING DEPTH NEEDS TO BE RAISED, THE MATERIAL IN THE BOTTOM OF THE PLANTING HOLE MUST BE FIRMED WITH MACHINES TO PREVENT SINKING OF THE ROOT BALL.
- ALL WIRE AND BURIAL SHALL BE REMOVED FROM THE ROOT BALL AND PLANTING HOLE.
- THE ROOT BALL OF THE TREE SHALL BE WORKED SO THAT THE ROOT COLLAR OF THE TREE IS VISIBLE AND NO GRIDLING ROOTS ARE PRESENT.
- THE ROOT COLLAR OF THE TREE SHALL BE 2"-3" ABOVE GRADE OF PLANTING HOLE FOR FINISHING DEPTH.
- ALL PLANTINGS SHALL BE BACKFILLED WITH SOIL FROM THE SITE AND AMENDED NO MORE THAN 20% WITH ORGANIC COMPOST. THE ONLY EXCEPTIONS ARE NEW CONSTRUCTION WHERE ENGINEERED SOIL IS BEING USED IN CONJUNCTION WITH SILVA CELLS AND WHERE NEW PLANTING BEDS ARE BEING CREATED.
- ALL PLANTINGS SHALL BE BACKFILLED IN THREE LIFTS AND ALL LIFTS SHALL BE WATERED SO THE PLANTING WILL BE SET AND FREE OF AIR POCKETS - NO EXCEPTIONS.
- AN EARTH BERM SHALL BE PLACED AROUND THE PERIMETER OF THE PLANTING HOLE EXCEPT WHERE CURBED PLANTING BEDS OR PITS ARE BEING USED.
- 2"-3" OF MULCH SHALL BE PLACED OVER THE PLANTING AREA.
- AT THE TIME OF PLANTING IS COMPLETE THE PLANTING SHALL RECEIVE ADDITIONAL WATER TO ENSURE COMPLETE HYDRATION OF THE ROOTS. BACKFILL MATERIAL AND MULCH LAYER.
- STAKES AND GUYS SHALL BE USED WHERE APPROPRIATE AND/OR NECESSARY. GUYS MATERIAL SHALL BE NON-DAMAGING TO THE TREE.
- ALL PLANTING STOCK SHALL BE SPECIMEN QUALITY, FREE OF DEFECTS, AND DISEASE OR INJURY. THE CITY OF PORTSMOUTH, NH RESERVES THE RIGHT TO REFUSE/PREJECT ANY PLANT MATERIAL OR PLANTING ACTION THAT FAILS TO MEET THE STANDARDS SET FORTH IN THE ANSI A300 PART 6 STANDARD PRACTICES FOR PLANTING AND TRANSPORTATION AND/OR THE CITY OF PORTSMOUTH, NH PLANTING REQUIREMENTS.



City of Portsmouth Tree Planting Detail



Plant List

Symbol	Botanical Name	Common Name	Quantity	Size	Comments
Ap	<i>Acer palmatum</i>	Japanese Maple	1	4-5' Ht	B&B, specimen, dwarf
Ar	<i>Acer rubrum</i> 'Bowhall'	Bowhall Red Maple	3	2.5-3' Cal	B&B
Cc	<i>Crataegus crus-galli</i> 'Inermis'	Thornless Cockspear Hawthorn	5	2.5-3' Cal	B&B
Ns	<i>Nyssa sylvatica</i> 'Red Rage'	Black Tupelo	3	4" Cal	B&B
Qr	<i>Quercus rubra</i>	Red Oak	6	2.5-3' Cal	B&B
Z	<i>Zelkova serrata</i> 'Green Vase'	Green Vase Zelkova	4	2.5-3' Cal	B&B

Symbol	Botanical Name	Common Name	Quantity	Size	Comments
Arb	<i>Thuja occidentalis</i> 'Smaragd'	Emerald Green Arborvitae	29	7-8' Ht	
Cor	<i>Cornus sericea</i> 'Firedance'	Redosier Dogwood	75	5 gal	B&B
Ig1	<i>Ilex glabra</i> 'Compacta'	Dwarf Inkberry	64	5 gal	
Ig2	<i>Ilex glabra</i> 'Shamrock'	Shamrock Inkberry	42	5 gal	full to ground
Iv	<i>Ilex verticillata</i> 'Red Sprite'	Red Sprite Winterberry	48	5 gal	
Jc	<i>Juniperus communis</i> 'Blueberry Delight'	Blueberry Delight Juniper	60	3 gal	
Jv	<i>Juniperus virginiana</i> 'Emerald Sentinel'	Emerald Sentinel Red Cedar	16	7-8' Ht	B&B
Mic	<i>Microbiota decussata</i>	Russian Cypress	25	3 gal	
Rh	<i>Rhododendron maximum</i>	Rosebay Rhododendron	31	3-4' Ht	B&B
Rhus	<i>Rhus aromatica</i> 'Grow-Low'	Grow Low Sumac	70	3 gal	
Tax1	<i>Taxus media</i> 'Ever-Low'	Ever-Low Yew	22	3 gal	
Tax2	<i>Taxus media</i> 'Greenwave'	Greenwave Yew	16	5 gal	

PERENNIALS, GROUNDCOVERS, VINES and ANNUALS

Symbol	Botanical Name	Common Name	Quantity	Size	Comments
Am	<i>Amsonia hubrichtii</i>	Blue Star Flower	74	1 gal	
Ca	<i>Carex appalachica</i>	Appalachian Sedge	198	1 gal	
Cal	<i>Calamagrostis acutifolia</i> 'Karl Foerster'	Feather Reed Grass	75	1 gal	
Hak	<i>Hakonechloa macra</i>	Japanese Frost Grass	94	1 gal	
Lir	<i>Liriope spicata</i>	Lily Turf	68	1 gal	
Lawn	Pennington Smartseed Tall Fescue Blend				

woodburn & company
LANDSCAPE ARCHITECTURE
103 Kent Place, New Hampton, New Hampshire
Phone: 603.659.5949

Proposed Mixed Use Development
LANDSCAPE PLAN
53 Green Street Portsmouth, New Hampshire

Drawn By: VM
Checked By: RW
Scale: 1" = 20' - 0"
Date: March 22, 2021
Revisions: April 21, 2021

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Sheet 1 of 2